



FARRAGUT BOARD OF MAYOR AND ALDERMEN
Farragut Town Hall
11408 Municipal Center Drive

AGENDA
May 8, 2025

BMA MEETING
6:00 PM

- I. Roll Call, Silent Prayer, Pledge of Allegiance**
- II. Approval of Agenda**
- III. Approval of Minutes**
 - A. April 24, 2025
- IV. Mayor's Report**
- V. Ordinances & Resolutions**
 - A. Ordinance
 - 1. First Reading
 - a) Approval of Ordinance 25-07 amending Farragut Municipal Code Chapter 12 Municipal Court, Section 12-8, Office of municipal court clerk; to replace the existing section in its entirety with a new ordinance; court clerk to be designated by the Town Administrator
- VI. Business Items**
 - A. Approval of re-appointment for Brittany Moore to the Visual Resources Review Board.
 - B. Approval for a contract with ADT/Everon for the installation of Access Control, Burglary, and Camera Systems at both the Farragut Community Center and Farragut Public Works facilities, through the Omnia Partners cooperative purchasing agreement (Contract #R220701)
 - C. Approval of Contract 2025-15, Mayor Bob Leonard Park Pickleball Complex
- VII. Citizens Forum**
- VIII. Town Administrator's Report**
- IX. Town Attorney's Report**

11408 MUNICIPAL CENTER DR | FARRAGUT, TN 37934 | 865.966.7057 |
WWW.TOWNOFFARRAGUT.ORG

It is the policy of the Town of Farragut not to discriminate on the basis of race, color, natural origin, gender, gender identity, sexual orientation, age, religion, disability or veteran status pursuant to Title VI of the Civil Rights Act of 1964, Public Law 93-112 and 101-336 in its hiring, employment practices and programs. To request accommodations due to disabilities, please call 865-966-7057 in advance of the meeting

The Board of Mayor and Aldermen welcomes and invites Farragut residents to participate in public meetings.

Public Participation Guidelines for Farragut Board of Mayor and Aldermen meetings

At the end of each business meeting, there will be time reserved for public comment under the Citizen Forum agenda item. If you are interested in speaking, please fill out a blue comment card and turn it in to the Town Recorder or staff member. This time is set aside specifically for comments on items that are not on the Board of Mayor and Aldermen regular agenda for the meeting. Each speaker will be given three (3) minutes to speak on his/her topic.

The Board also seeks public comment on regular agenda items during the portion of the meeting devoted to discussion and consideration of the specific agenda item.

The Mayor may recognize individuals for public comment during both the regular agenda and Citizen Forum portions of the meeting based on the following guidelines.

1. The Mayor shall maintain and control the meeting to provide a professional and objective environment conducive to presentation and discussion of the agenda items;
2. Any Farragut resident interested in speaking should fill out a blue comment card stating which agenda item they would like to comment on and turn it in to the Town Recorder or a staff member;
3. Speakers shall come to the podium and identify themselves by name and street address;
4. Public comment shall be limited to three (3) minutes per individual. Time for public comment may be amended at the discretion of the Mayor; provided that when additional time is allowed, speakers with differing points of view are allowed the same amount of time if requested. Time is not transferable to other speakers;
5. Speakers should strive to avoid redundancy; different considerations than expressed by previous speakers on a subject are encouraged;
6. Comments that threaten violence or imminent physical harm toward any individual will not be tolerated.
7. Comments may support or oppose issues or measures;
8. Personal attacks on the character of individuals who hold different points of view that have no relationship to the merits of the matter or issue raised for discussion will not be tolerated.
9. An applicant, and/or their representative(s), for an item on the regular agenda shall be afforded the time necessary to present their request and respond to questions. The three (3) minute limitation shall not apply. However, the Mayor may ask an applicant to stay on point in order to facilitate the efficiency of the meeting.

Each speaker will be asked if they can agree to abide by the Comment Protocol. If so, please be prepared to speak when your name is called.

Tennessee Code Annotated 39-17-306. Disrupting meetings or processions.

- (a) A person commits an offense if, with the intent to prevent or disrupt a lawful meeting, procession, or gathering, the person substantially obstructs or interferes with the meeting, procession, or gathering by physical action or verbal utterance.
- (b) A violation of this section is a Class A misdemeanor.



MINUTES
April 24, 2025

TOWN HALL RIBBON CUTTING
5:00 PM

The Farragut Board of Mayor and Aldermen members Cain, Meyer, White and Williams were present for the ribbon cutting.

BMA MEETING
6:00 PM

Roll Call, Silent Prayer, Pledge of Allegiance

Mayor Williams called the meeting to order at 6:00 PM. Roll Call for attendance: Alderman Burnette, yes; Alderman Cain, yes; Vice-Mayor Meyer, yes; Alderman White, yes; Mayor Williams, yes; in addition to staff and member of the press.

Approval of Agenda

Motion was made to approve the agenda as presented. Moved by Vice-Mayor Meyer, seconded by Alderman White; voting yes, Mayor Williams, Vice-Mayor Meyer, Aldermen Burnette, Cain, and White; no nays; motion passed.

Approval of Minutes

Motion was made to approve the minutes of April 10, 2025, as presented. Moved by Vice-Mayor Meyer, seconded by Alderman Cain; voting yes, Mayor Williams, Vice-Mayor Meyer, Aldermen Burnette, Cain, and White; no nays; motion passed.

Mayor's Report

A proclamation was read proclaiming May 2025 as Building Safety Month.

Candace Viox, Farragut Business Alliance, gave an overview of the FBA events.

Mayor Williams appointed Derick Wright to the Farragut Planning Commission.

Ordinances & Resolutions

Resolutions

Approval of Resolution R-2025-07, Revised FY2025 Fee Schedule

Motion was made to approve Resolution R-2025-07. Moved by Vice-Mayor Meyer, seconded by Alderman Cain; Roll call vote; Alderman Burnette, yes; Alderman Cain, yes; Alderman White, yes; Vice-Mayor Meyer, yes; Mayor Williams, yes; motion passed.

Business Items

Approval of a revised concept master plan as required for modifications to the commercial portion of the Kingston Pike Village Planned Commercial Development, 13106-13140 Kingston Pike, 18.5 Acres, Zoned PCD (Kingston Pike Properties 2, LLC., Applicant)

Motion was made to approve the updated concept master plan as recommended by the Farragut Planning Commission. Moved by Vice-Mayor Meyer, seconded by Alderman Cain; voting yes, Mayor Williams, Vice-Mayor Meyer, Aldermen Burnette, Cain, and White; no nays; motion passed.

Approval of the Race for a Reason 5K through Sweet Briar Subdivision

Motion was made to approve the event application on June 1, 2025, involving the use of the Town of Farragut's public rights of ways and pedestrian facilities for the Race for a Reason 5K. Moved by Alderman Burnette, seconded by Vice-Mayor Meyer; voting yes, Mayor Williams, Vice-Mayor Meyer, Aldermen Burnette, Cain, and White; no nays; motion passed.

Approval of Change Order 2 (Replacement of Mast Arm), Contract 2022-07, Farragut Advanced Traffic Management System Phase 1

Motion was made to approve Change Order 2, Contract 2022-07, Farragut Advanced Traffic Management System Phase 1. Moved by Alderman Burnette, seconded by Vice-Mayor Meyer; voting yes, Mayor Williams, Vice-Mayor Meyer, Aldermen Burnette, Cain, and White; no nays; motion passed.

Approval of Change Order 3 (New Electrical Services), Contract 2022-07, Farragut Advanced Traffic Management System Phase 1

Motion was made to approve Change Order 3, Contract 2022-07, Farragut Advanced Traffic Management System Phase 1. Moved by Alderman Burnette, seconded by Vice-Mayor Meyer; voting yes, Mayor Williams, Vice-Mayor Meyer, Aldermen Burnette, Cain, and White; no nays; motion passed.

Approval of Change Order 4 (Fiber Termination Cabinets), Contract 2022-07, Farragut Advanced Traffic Management System Phase 1

Motion was made to approve Change Order 4, Contract 2022-07, Farragut Advanced Traffic Management System Phase 1. Moved by Vice-Mayor Meyer, seconded by Alderman Burnette; voting yes, Mayor Williams, Vice-Mayor Meyer, Aldermen Burnette, Cain, and White; no nays; motion passed.

Approval of Change Order 1, Contract 2025-06, McFee Park Phase 4, Stormwater Parking Facilities

Motion was made to approve Change Order 1, McFee Phase 4, Stormwater Parking Facilities, in the amount of \$2,172.83. Moved by Vice-Mayor Meyer, seconded by Alderman Burnette; voting yes, Mayor Williams, Vice-Mayor Meyer, Aldermen Burnette, Cain, and White; no nays; motion passed.

Town Administrator's Report

David Smoak, Town Administrator, thanked all the staff for all of the hard work and dedication for the Town Hall renovation project.

REPORT TO THE BOARD OF MAYOR AND ALDERMEN

PREPARED BY: Allison Myers, Finance Director/Town Recorder

SUBJECT: Approval of Ordinance 25-07 amending Farragut Municipal Code Chapter 12 Municipal Court, Section 12-8, Office of municipal court clerk; to replace the existing section in its entirety with a new ordinance; court clerk to be designated by the Town Administrator

INTRODUCTION: To approve an ordinance amending the appointment of the Court Clerk from the Board of Mayor and Aldermen to the Town Administrator.

DISCUSSION: The Municipal Court Clerk role is currently a position that is appointed by the Board of Mayor and Aldermen through a resolution process. The Town’s long serving court clerk recently resigned leaving a vacancy in the position. After researching how other municipalities fill similar roles, it is being recommended to the Board of Mayor and Aldermen to amend the ordinance to authorize the Town Administrator to appoint an employee as the Municipal Court Clerk. The court clerk role is not a full-time position, however their duties are extremely important in carrying out and adhering to proper court procedures. This amendment will help streamline the appointment process and allow for current job functions to align with the duties of the clerk.

RECOMMENDATION BY: Town Administrator David Smoak and Allison Myers, Finance Director/Town Recorder, for approval.

PROPOSED MOTION: To approve Ordinance 25-07 on first reading.

BOARD ACTION:

MOTION BY:_____ **SECONDED BY:**_____

<u>VOTE/TOTAL</u>	<u>BURNETTE</u>	<u>CAIN</u>	<u>WHITE</u>	<u>MEYER</u>	<u>WILLIAMS</u>
YES	_____	_____	_____	_____	_____
NO	_____	_____	_____	_____	_____
ABSTAIN	_____	_____	_____	_____	_____

Sec. 12-8. Office of municipal court clerk.

There is hereby established the office of municipal court clerk which office shall be filled by a resolution of appointment by the board of mayor and aldermen. The continuing education requirements of the municipal court clerk are governed by T.C.A. § 16-18-309.

(Code 1985, § 1-508; Code 2007, § 3-108; Ord. No. 09-25, § 2, 1-14-2010)

Sec. 12-8. Office of municipal court clerk.

There is hereby established the office of municipal court clerk which office shall be filled ~~by a resolution of appointment by the board of mayor and aldermen~~ and designated by the Town Administrator. The continuing education requirements of the municipal court clerk are governed by T.C.A. § 16-18-309.

(Code 1985, § 1-508; Code 2007, § 3-108; Ord. No. 09-25, § 2, 1-14-2010)

ORDINANCE	25-07
PREPARED BY	Myers
PUBLIC HEARING	May 22, 2025
PUBLISHED IN	Farragut Press
DATE	May 7, 2025
1 ST READING	May 8, 2025
2 nd READING	May 22, 2025
PUBLISHED IN	Farragut Press
DATE	_____

AN ORDINANCE TO AMEND THE FARRAGUT MUNICIPAL CODE, CHAPTER 12, MUNICIPAL COURT, SECTION 12-8. TO REPLACE THE EXISTING OFFICE OF MUNICIPAL COURT CLERK IN ITS ENTIRETY WITH A NEW ORDINANCE

WHEREAS, the Board of Mayor and Aldermen of the Town of Farragut, Tennessee, wishes to amend the Farragut Municipal Code, Chapter 12, Section 12-8, Office of Municipal Clerk.

NOW, THEREFORE, BE IT ORDAINED by the Board of Mayor and Aldermen of the Town of Farragut, Tennessee, that the Farragut Municipal Code is hereby amended by replacing the existing Office of Municipal Clerk section in its entirety with a new ordinance as follows:

SECTION 1.

Sec. 12-8. Office of municipal court clerk.

There is hereby established the office of municipal court clerk, which office shall be filled and designated by the Town Administrator. The continuing education requirements of the municipal court clerk are governed by T.C.A. § 16-18-309.

SECTION 2.

This ordinance shall take effect from and after its final passage and publication, the public welfare requiring it.

Ron Williams, Mayor

Allison Myers, Town Recorder

REPORT TO THE BOARD OF MAYOR AND ALDERMEN

PREPARED BY: Allison Myers, Town Recorder

SUBJECT: Approval of Re-Appointment Brittany Moore to the Visual Resources Review Board.

INTRODUCTION: The purpose of this business item is to consider the re-appointment of Brittany Moore to the Visual Resources Review Board. The reappointment is necessary due to the member missing three meetings and is seeking re-appointment. The re-appointment request is attached.

RECOMMENDATION BY: Allison Myers, Town Recorder/Treasurer, for approval.

PROPOSED MOTION: To re-appoint Brittany Moore to the Visual Resources Review Board.

BOARD ACTION:

MOTION BY: SECONDED BY:

<u>VOTE/TOTAL</u>	<u>BURNETTE</u>	<u>MEYER</u>	<u>WHITE</u>	<u>CAIN</u>	<u>WILLIAMS</u>
YES					
NO					
ABSTAIN					



Town of Farragut Citizen Board/Committee Application

First Name Brittany

Last Name Moore

Street Address

City Farragut

State TN

Zip 37934

Primary Phone Number

E-mail

Occupation Director, Learning & Development

Education Bachelors of Science in Business Administration with a concentration in Marketing and Logistics and Transportation

Why would you like to serve on a Town of Farragut committee? I would like to continue serving on the VRRB as I enjoy serving the community and being involved. I believe that to make a difference, you have to be involved. I was born and raised in Farragut and hope to help support it being the great place it has always been to live, work, and play.

Intro to Farragut Program Graduate? No

Board or Commission of first choice: Visual Resources Review Board (VRRB)

I give my permission to the Town of Farragut to use my likeness on the web and/or Town publications. I have read and understand the Code of Ethics Ordinance and the applicable committee charter, ordinance or and/or by-laws. I Agree.

Signature

Date 04/25/2025

REPORT TO THE BOARD OF MAYOR AND ALDERMEN

PREPARED BY: Travis Ramsey, IT Manager

SUBJECT: Approval for a contract with ADT/Everon for the installation of Access Control, Burglary, and Camera Systems at both the Farragut Community Center and Farragut Public Works facilities, through the Omnia Partners cooperative purchasing agreement (Contract #R220701)

INTRODUCTION: As part of the Town’s ongoing efforts to enhance facility security, new access control systems, security cameras, and burglary alarms will be installed at the Community Center, Town Hall, and Public Works. These upgrades will create a seamless integration across facilities ensure consistency, reliability, and centralized management of the security infrastructure across all Town-owned buildings.

DISCUSSION: The IT Department has contracted Everon for this project through Omnia Contract R220701. Everon will be responsible for supplying all materials and installation. Everon was also contracted to install the security system in the renovated Town Hall. The funding is through the Fiscal Year 2025 CIP for the Town Facilities Security Plan.

These upgrades significantly enhance the Town’s overall security posture by providing greater control, visibility, and responsiveness across all key facilities. Installing access control systems allows the Town to restrict and monitor who can enter specific areas, reducing the risk of unauthorized access. Security cameras deter criminal behavior and provide real-time monitoring and evidence collection in case of incidents. Burglar alarm systems offer immediate alerts during unauthorized entries, enabling faster emergency responses.

FINANCIAL SECTION: Town Facilities Security Plan

Account Number: 310-41640-9451			
<u>Total Budget</u>	<u>Requested Amount</u>	<u>Contracted Amount</u>	<u>Remaining Amount</u>
\$128,000	\$45,267.23	\$56,533.68	\$26,199.09
Approved By: <u>Allison Myers</u>			

RECOMMENDATION BY: Travis Ramsey, IT Manager

PROPOSED MOTION: Motion to approve the security installation contract with ADT/Everon through Omnia Partners cooperative purchasing agreement #R220701 in the amount of \$45,267.23.

BOARD ACTION:

MOTION BY:_____ **SECONDED BY:**_____

<u>VOTE/TOTAL</u>	<u>BURNETTE</u>	<u>CAIN</u>	<u>WHITE</u>	<u>MEYER</u>	<u>WILLIAMS</u>
YES	_____	_____	_____	_____	_____
NO	_____	_____	_____	_____	_____
ABSTAIN	_____	_____	_____	_____	_____



Proposal prepared for:

Town of Farragut TH Additional Access Door

Presented by:

Greg Sheppard

4.29.2025

Sales Agreement ID: 892069318

Proposal pricing is valid for 30 days

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1. Executive summary

1.1. Powered by Experience. Driven by Excellence.

Everon is a leading national integrator and premier service provider of commercial security, fire and life safety. We support more than 300,000 customer locations backed by our national strength and local knowledge of over 5,000 employees – including 2,300 technicians – across 100 offices, and two dedicated monitoring and operations centers. Our corporate offices are based in Boca Raton, Florida with our Innovation & Operations HQ in Dallas, Texas.

Everon draws on an outstanding legacy of service excellence that is strengthened by over a decade of industry expertise – with many leaders having spent the majority of their careers in the industry. Our organization was built over the last decade by some of the most trusted names in commercial security that include ADT Commercial, Protection 1, and Red Hawk Fire & Security. In that time, we focused on providing comprehensive, scalable solutions to address unique needs of mid-market, national and large-scale organizations, and established a new industry standard for customer-driven service excellence and delivery. With GTCR's acquisition of ADT Commercial in 2023, we've now emerged as an innovator and service excellence champion protecting commercial people, property, and assets across industries. Through our predecessor companies, we built a reputation as one of the nation's best commercial security providers, with decades of experience and a proven record of excellence in customer service.

Today, we are Everon. We are ever focused on being game-changers and innovators, breaking new ground to propel the industry forward with a customer-focused approach to optimizing your security and life safety ecosystem. We are ever committed to being the dedicated partner and security advisor you can trust.

Everon is committed to protecting your organization at every level. Engaging with us gives you access to an industry-leading range of security, fire, and life safety offerings, backed by our state-of-the-art, national-scale 24/7/365 monitoring infrastructure. And it means you will benefit from our commitment to innovation: Ongoing investment in new technologies and new capabilities, including cutting-edge technology in unique applications, AI-powered solutions, enterprise-level systems for complex environments, and much more.

Our commitment to our customers is based on a foundational principle: We commit to the protection of your facilities and assets as though they are our own. And we respond to your dedication to your people's safety with our own tenacity. We consistently deliver a great customer experience—making us a trusted

300,000+
Customer Locations

100+
Locations with Local
Leadership

2,300+
Technicians

2
Company-Owned UL Listed
Monitoring and Operations
Centers



partner across industries and solutions. Our experienced security, fire, and life safety experts, paired with our innovative approach to providing best-in-class service, allow us to deliver exceptional customer service across your enterprise, whether you have one location or 1,000.

Our specialized commercial team members have deep technical knowledge, complex design skillsets, and multiple enterprise-level technology, security, and fire certifications. Our Integrated Solutions team provides design development oversight, technical support and engineering, and cross-discipline project management for your complex commercial environments. Our National Fire & Life Safety Team provides fire alarm, sprinkler, and suppression system expertise from NICET and NFPA certified specialists; voice evacuation and mass notification solutions; and in-house system design-build services. The experts at our Network Operations Center design, deploy, and manage security networks, as well as provide hosted infrastructure (IaaS), cloud device health and environmental monitoring, and managed administrative services. And our industry experts have decades of specialized experience and in-depth understanding of the unique solutions and technologies needed to address your specific business challenges.

We know standard, off-the-shelf solutions don't work for leading-edge, complex organizations. We can help you build a flexible and customizable security, fire, and life safety program to meet your unique business challenges, and to help protect your people, property, and assets—while minimizing risk to your organization. We aim to build customer-driven partnerships by helping identify the products and services that work best for your business needs and meet your security, fire, and life safety objectives in the most effective manner. Building solutions to meet your enterprise-level objectives is our specialty—we'll help you find the best combination of products and services from our comprehensive suite of security, fire, and life safety technologies to cover your locations inside and out.

1.2 Our Guiding Principles

- **Customers Are Our True North:** We know that our reputation is based on how we serve our customers.
- **Our People Are the Difference:** We strive to be the best technically trained team in the business.
- **Dedicated to Commercial:** We are purposefully built to serve the integrated security, fire, and life safety needs of our customers.
- **One Ideal Partner:** We are a full-service national company with nimble local delivery teams.

Investment Summary

Total Proposal Option	
Installation Price	\$2,639.73
Total Installation Price*	\$2,639.73
Total Monthly Recurring Services Charges*	\$0.00
<i>*Plus applicable tax Proposal pricing is valid for 30 days</i>	

If Everon and Customer are parties to a mutually signed, written agreement, then the terms of that agreement control. If Everon and Customer are not parties to a signed contract, then the scope of work and prices set forth above are based upon and subject to the Everon Terms and Conditions ("Terms") available at <https://www.everonsolutions.com/terms-and-conditions-sale>. Any modifications to the Terms may result in pricing changes. Any other terms and conditions are rejected by Everon unless in a document signed by an authorized representative of Everon.



Proposal prepared for:

Town of Farragut Community Center

Burglary & Access Control Systems Installation

Presented by:

Greg Sheppard

4.10.2025

Sales Agreement ID: 892016799

Proposal pricing is valid for 30 days

everonsolutions.com

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Investment Summary

Summary of Charges for: Farragut Community Burglary

Installation Price	\$4,169.12
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Total Installation Price	\$4,169.12
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Total Monthly Recurring Services Charges	\$0.00
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Proposal pricing is valid for 30 days

Summary of Charges for: Farragut Community Access 3 Add Doors

Installation Price	\$14,654.55
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Total Installation Price	\$14,654.55
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Total Monthly Recurring Services Charges	\$0.00
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Proposal pricing is valid for 30 days

Total Proposal Option

Installation Price	\$18,823.67
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Total Installation Price	\$18,823.67
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Total Monthly Recurring Services Charges	\$0.00
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Proposal pricing is valid for 30 days

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Proposal prepared for:

Town of Farragut Public Works Rear Building CCTV & Burglary

Presented by:

Greg Sheppard

4.29.2025

Sales Agreement ID: 892104724

Proposal pricing is valid for 30 days

everonsolutions.com

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Investment Summary

Summary of Charges for: PW Rear Building Camera

Installation Price	\$2,571.77
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Total Installation Price*	\$2,571.77
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Total Monthly Recurring Services Charges*	\$0.00
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*Plus applicable tax

Proposal pricing is valid for 30 days

Summary of Charges for: PW Rear camera license

Installation Price	\$615.09
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Total Installation Price*	\$615.09
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Total Monthly Recurring Services Charges*	\$0.00
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*Plus applicable tax

Proposal pricing is valid for 30 days

Summary of Charges for: PW Rear Building DMP Burglary

Installation Price	\$1,647.30
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Total Installation Price*	\$1,647.30
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Total Monthly Recurring Services Charges*	\$0.00
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*Plus applicable tax

Proposal pricing is valid for 30 days

Total Proposal Option

Installation Price	\$4,834.16
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Total Installation Price*	\$4,834.16
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Total Monthly Recurring Services Charges*	\$0.00
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*Plus applicable tax

Proposal pricing is valid for 30 days

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Proposal prepared for:

Town of Farragut Public Works Bld 1

Access Control, Burglary, Camera Systems

Presented by:

Greg Sheppard

4.10.2025

Sales Agreement ID: 891977344

Proposal pricing is valid for 30 days

Investment Summary Installation Public Works

Summary of Charges for: PW Building 1 Access Control 3 Doors	
Installation Price	\$9,374.21
Total Installation Price*	\$9,374.21
Total Monthly Recurring Services Charges*	\$0.00
Proposal pricing is valid for 30 days	

Summary of Charges for: PW Building 1 DMP Burglary	
Installation Price	\$4,569.99
Total Installation Price*	\$4,569.99
Total Monthly Recurring Services Charges*	\$0.00
Proposal pricing is valid for 30 days	

Summary of Charges for: PW Building 1 Cameras	
Installation Price	\$3,795.01
Total Installation Price	\$3,795.01
Total Monthly Recurring Services Charges	\$0.00
Proposal pricing is valid for 30 days	

Total Proposal Install Option	
Installation Price	\$17,739.21
Total Installation Price*	\$17,739.21
Total Monthly Recurring Services Charges	\$0.00
Proposal pricing is valid for 30 days	

Public Works Building 1 Camera License

Site Information: Town Of Farragut Public Works, 727 Fretz Rd, Building 1, FARRAGUT, TN 37934

Scope of Work:

The terms and conditions of OMNIA Partners Master Contract R220701 "Facility Technology Integration & Security System Services" apply in addition to the ADT Commercial standard terms and conditions. In the event of a conflict of terms, the OMNIA Partners Master Contract R220701 terms will prevail.

install 2 Ava Aware License 5 Year Subscription to Ava Aware Cloud, per camera.

Summary of Charges for: PW Building 1 Camera License		
Installation Price		\$1,230.46
Total Installation Price		\$1,230.46
Schedule of Values	Manual	Manual Schedule of Values/Milestone Billing
Proposal pricing is valid for 30 days		

Public Works Building 1 Camera License Summary

Installation Price	\$1,230.46
Total Installation Price	\$1,230.46
Total Monthly Recurring Services Charges	\$0.00

Proposal pricing is valid for 30 days

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REPORT TO THE BOARD OF MAYOR AND ALDERMEN

PREPARED BY: Ron Oestreich, Parks and Recreation Director

SUBJECT: Approval of Bids for Contract 2025-15 Mayor Bob Leonard Park Pickleball Courts

INTRODUCTION: The purpose of this item is consideration of bids and award of Contract 2025-15, Mayor Bob Leonard Park Pickleball Courts

BACKGROUND: The Town of Farragut Board of Mayor and Aldermen requested pricing for a 9-court pickleball complex to be constructed at Mayor Bob Leonard Park where soccer field #6 is currently. The new pickleball complex would consist of 9-courts, LED lighting, interior and exterior fencing, two handicap parking spaces, and an exterior shaded seating area. The Budget for this project is \$1,450,000.

DISCUSSION: Staff received two qualifying bids on April 10, 2025

Staff is recommending Baseline Sports Construction with a base bid of **\$856,742** and an add alternate of **\$36,000** for the tennis court resurfacing at McFee Park; for a total project cost of **\$892,742**. Baseline has a strong reputation in Pickleball Court construction throughout the US. References were checked and came back strong as expected.

The second qualified bid received was from GeoSurfaces, Inc. at **\$1,098,000.00** with an added alternate of **\$75,000** for McFee tennis court resurfacing.

Once approved by the Board of Mayor and Aldermen, the awarded company will finalize design documents with our staff. Once the design is completed, construction of the pickleball courts will begin, and completion is estimated at October 1, 2025.

FINANCIAL SECTION: 310-43939-9170

Project: Contract 2025-15 Mayor Bob Leonard Park Pickleball Courts			
<u>Project Budget</u>	<u>Requested Amount</u>	<u>Contracted Amount</u>	<u>Remaining Amount</u>
\$1,450,000	\$892,742	\$91,605	\$465,653
Approved By: <u>Allison Myers</u>			

RECOMMENDATION BY: Ron Oestreich, Parks & Recreation Director and Blake Travis, Parks Manager

PROPOSED MOTION: Approval of bids and award of Contract 2025-15 to Baseline Sports Construction for their base bid and alternates totaling **\$892,742.00**.

MOTION BY:_____ **SECONDED BY:**_____

<u>VOTE/TOTAL</u>	<u>WILLIAMS</u>	<u>MEYER</u>	<u>WHITE</u>	<u>CAIN</u>	<u>BURNETTE</u>
YES	_____	_____	_____	_____	_____

NO ABSTAIN	_____	_____	_____	_____	_____
	_____	_____	_____	_____	_____

AGREEMENT

Contract No. 2025-15

Mayor Bob Leonard Park Pickleball Courts

This agreement made as of the 28th day of April in the year 2025 by and between the;

TOWN OF FARRAGUT
11408 Municipal Center Drive
Farragut, TN 37934

(Hereinafter called Owner) and

Baseline Sports Construction, LLC
3600 Henson Roads
Knoxville, TN 37921

(Hereinafter called Contractor)

WITNESSETH THAT OWNER and CONTRACTOR in consideration of the mutual covenants hereinafter set forth agree as follows:

ARTICLE 1. WORK

The Contractor shall perform all Work as specified or indicated in the Contract Documents for the completion of the project generally described as follows:

Completion of Mayor Bob Leonard Park Pickleball Courts as directed per each Work Order to minimum contract specifications.

ARTICLE 2. ADMINISTRATOR

The Town Engineer will act as Administrator in connection with completion of the work in accordance with the Contract Documents.

ARTICLE 3. CONTRACT TIME

The work shall begin upon receipt of a written notice to proceed from the Town Engineer and shall be completed on or before **September 30th, 2025.**

ARTICLE 4. CONTRACT PRICE

The Owner will pay the Contractor for the performance of the contract in current funds for the total quantities of work performed at the prices stipulated in the bid for the several respective items of work completed, the total amount to be due upon completion and final acceptance of the Work, and the receipt of lien releases from the Contractor and all Subcontractors.

ARTICLE 5. CONTRACT DOCUMENTS

The Contract Documents which comprise the contract between Owner and Contractor are attached hereto and made a part hereof and consist of the following:

- A. Agreement
- B. Instructions to Bidders
- C. Special Conditions
- D. General Conditions
- E. Specifications for Mayor Bob Leonard Park Pickleball Courts
- F. On-Call Work Order(s)
- G. Contractor's Bid
- H. Addenda Numbers 1-5
- I. Change Orders, duly delivered and executed by each party execution of this Agreement.
- J. Affidavits and Certifications

ARTICLE 6. MISCELLANEOUS

- A. Neither Owner nor Contractor shall, without the prior written consent of the other, assign or sublet in whole or in part his interest under any of the Contract Documents; and, specifically, Contractor shall not assign any monies due or to become due without the prior written consent of the Owner.
- B. Owner and Contractor each binds himself, his partners, successors, assigns and legal representatives to the other party hereto in respect to all covenants, agreements and obligations contained in the Contract Documents.
- C. The Contract Documents constitute the entire agreement between Owner and Contractor and may be altered, amended or repealed only by a written instrument signed by the party to be charged.
- D. Guarantee and Correction of Work After Final Payment: Neither the final certificate nor payment nor any provisions in the Contract Documents shall relieve the Contractor of responsibility for faulty materials or workmanship and, unless otherwise specified, he shall remedy any defects due thereto and pay for any damage to other work resulting there from, which shall appear within a period of one year from the date of final acceptance of the work by the Owner.

The Owner shall give notice of observed defects with reasonable promptness. The Engineer subject to arbitration shall decide all questions arising under this article.

The Contractor and through it each Subcontractor, in accepting the contract for this construction or respective portions of the construction covered by this contract and specifications, does hereby agree to replace and make good, without expense to the Owner, any work or material which may be found to be defective within one year from the date of the final certificate of payment to said Contractor. The deterioration due to ordinary use and normal wear is accepted from this guarantee.

The Contractor shall reimburse the Owner for cost of damage, if any, as well as cost of replacing defective materials or workmanship. If replacements are not made within fourteen days after notice is given of such defect in workmanship, or thirty days in case of materials, then the Owner shall have the right to make replacements and charge cost of same to Contractor or his bondsman.

- E. The Contractor shall comply with the Department of Labor Safety and Health Regulations for construction promulgated under the Occupational and Health Act of 1970 (PL 91-596) and under Section 107 of the Contract Work Hours and Safety Standards Act (PL 92-54).
- F. Subcontracting. The Contractor shall not assign this Contract or enter into a subcontract for any of the services performed under this Contract without obtaining the prior written approval of the Town. If such subcontracts are approved by the Town, each shall contain, at a minimum, sections of this contract pertaining to "Lobbying" and "Nondiscrimination," (as identified by the section headings). Notwithstanding any use of approved subcontractors, the Contractor shall be the prime contractor and shall be responsible for all work performed.
- G. Lobbying. The Contractor certifies, to the best of its knowledge and belief, that:
 - (a) No federally appropriated funds have been paid or will be paid, by or on behalf of the undersigned, to any person for influencing or attempting to influence an officer or employee of an agency, a Member of Congress, an officer or employee of Congress, or an employee of a Member of Congress in connection with the awarding of any Federal contract, the making of any Federal grant, the making of any federal loan, the entering into of any cooperative agreement, and the extension, continuation, renewal, amendment, or modification of any federal contract, grant, loan, or cooperative agreement.
 - (b) If any funds other than federally appropriated funds have been paid or will be paid to any person for influencing or attempting to influence an officer or employee of any agency, a Member of Congress, an officer or employee of Congress, or an employee of a Member of Congress in connection with this contract, grant, loan, or cooperative agreement, the Contractor shall complete and submit Standard Form-LLL, "Disclosure Form to Report Lobbying," in accordance with its instructions.

- (c) The Contractor shall require that the language of this certification be included in the award documents for all sub-awards at all tiers (including subcontracts, sub-grants, and contracts under grants, loans, and cooperative agreements) and that all sub-recipients shall certify and disclose accordingly.

This certification is a material representation of fact upon which reliance was placed when this transaction was made or entered into and is a prerequisite for making or entering into this transaction imposed by section 1352, title 31, *U.S. Code*.

- H. Nondiscrimination. The Contractor hereby agrees, warrants, and assures that no person shall be excluded from participation in, be denied benefits of, or be otherwise subject to discrimination in the performance of this Contract or in the employment practices of the Contractor on the grounds of handicap or disability, age, race, color, religion, sex, nation origin, or any other classification protected by Federal, Tennessee State constitutional, or statutory law. The Contractor shall, upon request, show proof of such nondiscrimination and shall post in conspicuous places, available to all employees and applicants, notices of nondiscrimination.

The undersigned, having become familiar with the existing and proposed conditions of the project affecting the cost of the work, hereby proposes to furnish all supervision, technical personnel, labor, machinery, tools, appurtenances, equipment and services, including utility and transportation services required of Contract 2025-15 Mayor Bob Leonard Park Pickleball Courts, all in accordance with the bid specifications and Contract Documents listed above at and for the unit prices for work in place for the following items and quantities:

Per Bid Form signed and submitted on 4.10.25.

IN WITNESS WHEREOF, the parties hereto have executed this Agreement the day and year first above written.

OWNER:

Town of Farragut

11408 Municipal Center Drive

Farragut, TN 37934

BY:

(Printed or Typed)

Title _____

ATTEST:

CONTRACTOR:

Baseline Sports Construction LLC

3600 Henson Rd

Knoxville, TN 37921

BY:

John W. Ferguson

John W. Ferguson
(Printed or Typed)

Title President

ATTEST:

David Brown

copy 1

BASELINE



SPORTS CONSTRUCTION

865.588.4320
www.baselinellc.com

Sealed Proposal
ITB# 2025-15
Mayor Bob Leonard Park (MBLP)
Pickleball Courts
April 10, 2025 @ 2:00 PM

Town of Farragut Community Center
239 Jamestowne Blvd.
Attn: Finance Department, Anissa Pratte
Farragut, TN 37934

David Clapp, Vice President
Baseline Sports Construction, LLC
3600 Henson Road, Knoxville, TN 37921
Office: 865-588-4320, Cell: 865-567-2822
David@baselinellc.com
TN General Contractor License 46732
Unlimited; BC-25; BC-B; HRA-B; HRA-E
Expiration: January 31, 2026



Town of Farragut

Invitation to Bid #2025-15

For

Mayor Bob Leonard Park Pickleball Courts

All Bids Must be Submitted To:

Farragut Community Center

239 Jamestowne Blvd

Farragut, TN 37934

Deadline for Bid Submissions: Date: April 10th, 2025 Time: 2:00 PM

PLEASE COMPLETE AND SUBMIT THIS FORM WITH YOUR BID

Company Name Baseline Sports Construction, LLC	DBA, If Applicable N/A
Street Address 3600 Henson Road	Phone Number 865-588-4320
City, State, Zip Code Knoxville, TN 37921	Email Address David@baselinellc.com
FEIN: 62-1837086	

Are quotes firm for 120 days?

Yes ☒ No ☐ Other ☐

List of Deviations (if any) attached?

Yes ☒ No ☐ Other ☐
Attached w/ Bond

Bid Bond is Required

If submitting a "No Proposal" state reason _____

John W. Ferguson
Authorized Signature

President
Title (Printed)

John W. Ferguson
Name (Printed)

April 10, 2025
Date



Contractor's Form of Bid

For

ITB# 2025-15 Mayor Bob Leonard Park Pickleball Courts

To: Town of Farragut
239 Jamestowne Blvd
Farragut, TN 37934

From: Baseline Sports Construction, LLC (Contractor)

Address: 3600 Henson Road, Knoxville, TN 37921

Email Address: Will@baselinellc.com

The undersigned, having carefully familiarized themselves with the existing conditions at the site and with the Drawings and Specifications prepared by Ross/Fowler, P.C., 5103 Kingston Pike, Suite 105, Knoxville, TN 37919, hereby proposes to furnish all labor, materials and equipment, and to perform all work required to construct the Mayor Bob Leonard Park (MBLP) Pickleball courts, in accordance with the drawings and specifications for the sum hereinafter referred to as the Base Bid.

Base Bid (Everything on plans)

\$ 856,742.00

Add Alternate of \$36,000 for McFae Resurfacing

Receipt of Drawings

Receipt is acknowledged of the Drawings and Project Manual identified by "Mayor Bob Leonard Park Pickleball Courts", ITB #2025-15 and addenda and supplementary drawings listed under "Addenda".

PROJECT MANUAL FOR

MAYOR BOB LEONARD PARK PICKLEBALL COURTS

Farragut, Tennessee

CONSTRUCTION DOCUMENTS PACKAGE

January 17, 2025

ROSS/FOWLER, P.C.
5103 Kingston Pike
Suite 105
Knoxville, Tennessee 37919
T: 865-637-1100
E-mail: dcraig@rossfowler.com

SET NO. _____

All specifications and written material appearing herein constitute original and unpublished work of the landscape architect and may not be duplicated, used, or disclosed without written consent of the landscape architect.

SECTION 01 11 00 - SUMMARY OF WORK

PART 1 - GENERAL

1.1 DESCRIPTION OF SCOPE

- A. The work of this Contract shall include the furnishing of all labor, materials, equipment, tools, construction equipment, water, telephone, electric, utilities, transportation, safety measures, insurance, permits, taxes, supervision, coordination and other services required for the construction and completion of the work. All work shall be performed and completed in strict conformance to the Contract documents including but not limited to the following: Pickleball courts, court lighting, fencing, shade structures, site grading, concrete curbs, asphalt parking lot, concrete walks, new storm drainage, turf planting, and other site improvements as called for in the contract documents.
- B. Pedestrian Safety and traffic Plan:
 - 1. The Contractor shall prepare and submit for approval in accordance with Section 01 a project phasing plan which will allow construction of the project while allowing safe pedestrian and traffic movement around the perimeter of the site
- C. Related Requirements Specified Elsewhere include drawings and general provisions of the contract, General and Supplementary Conditions as well as the following:
 - 1. Section 012973: Schedule of Values
 - 2. Section 013200: Construction Progress
 - 3. Section 015000: Temporary Facilities and Controls

1.2 CONTRACTOR'S DUTIES

- A. Contractor shall limit his use of the construction area for work and for storage to allow for:
 - 1. Limited traffic around the site for access to the buildings.
 - 2. Access for emergency/security/service vehicles
- B. On-site working rules for the Contractor, subcontractors, material suppliers, and all employees shall be as follows:
 - 1. Sexual harassment will not be tolerated. This shall include but not be limited to, catcalls, whistling, hooting, physical gestures and suggestive working or graphics on clothing.
 - 2. Proper attire must be worn at all times.
 - 3. Workers shall wear shirts at all times.
 - 4. Unacceptable or foul language is not allowed.
- C. Parking, storage and loading/unloading at the site is restricted and shall be coordinated with the Owner.
- D. Assume full responsibility for site safety and security and the protection and safe keeping of products under this Contract, stored on and off the site.

- E. Move any stored products, under the Contractor's control which interfere with operations of the Owner or separate Contractor.
- F. Obtain and pay for the use of additional storage or work areas needed for operations.
- G. Except as specifically noted, provide and pay for:
 - 1. Labor, materials and equipment.
 - 2. Tools, construction equipment, and machinery.
 - 3. Water, heat, electricity and all utilities required for construction.
 - 4. Other facilities and services necessary for proper execution and completion of work.
 - 5. Aids to construction required for proper completion of the work.
- H. Pay legally required sales, consumer, and use taxes.
- I. Contractor shall secure, coordinate and pay for, as necessary for proper execution and completion of work and as applicable at time of receipt of bids:
 - 1. All Permits, including but not limited to grading, building, right of way, traffic, and NPDES Storm Water Protection permits.
 - 2. All fees and licenses.
- J. Give all required notices.
- K. Comply with codes, ordinances, rules, regulations, orders, and other legal requirements of public authorities which bear performance of work.
- L. Promptly submit written notice to Architect of observed variances of Contract Documents from legal requirements. It is not Contractor's responsibility to make certain that drawing and specifications comply with codes and regulations.
 - 1. Appropriate modifications to Contract Documents will adjust necessary changes.
 - 2. Assume responsibility for work known to be contrary to such requirements without notice.
- M. Enforce strict discipline and good working order among employees. Employ persons whom are fit and skilled in the assigned tasks.
- N. Install and maintain functioning erosion control measures throughout the life of the project.

1.3 CONTRACTS

- A. Project will be constructed under a single contract under the direction of the General Contractor. It is anticipated that the site furniture will be furnished and installed by the Town.
- B. There shall be complete cooperation between Contractor and Subcontractors to ensure satisfactory progress and performance of the work.

- C. The Owner reserves the right to award other contacts for additional work in connection with this project as required to furnish or equip the project.

1.4 COORDINATION WITH THE LANDSCAPE ARCHITECT

- A. Representatives of the design team will be available for assistance in construction document coordination during construction.

1.5 WORK SCHEDULE

Contractor shall submit in accordance with Section 01 32 00, a schedule of work sequence for the major portions of the work to be done. This schedule shall indicate the time the work will commence and be completed on each separate portion.

1.6 CONTRACTOR USE OF PREMISES

- A. The Contractor shall have full use of premises for construction operations, including use of the Project site, during the construction period. Each Contractor's use of premises is limited only by Owner's right to perform work or to retain other contractors on portions of Project. The Contractor shall confine the construction operations at the project site to the areas defined by the Contract documents and as permitted by:
 - 1. Law.
 - 2. Ordinances.
 - 3. Permits.
- B. Do not encumber site with materials or equipment.
- C. Assume full responsibility for protection and safekeeping of products stored on premises.

1.7 PARTIAL OWNER OCCUPANCY

- A. The Contractor shall allow the Owner to take possession of and use any completed or partially completed portion of the work, or to place and install as much of his own equipment during the progress of the work as is possible without interference before its entire completion; such possession and use of structure or work or such placing and installation of equipment, or both, shall not in any way evidence completion of the work or any part of it.
- B. After the specified time of completion, it shall be understood that the Owner will not be liable for any inconvenience caused the Contractor by the Owner's occupancy.

1.8 OWNER-FURNISHED PRODUCTS

- A. Products furnished and paid for by the Owner shall be incorporated into the project by the Contractor as required.
- B. Owner's Responsibilities:
 - 1. Inspect deliveries jointly with Contractor.
 - 2. Arrange for replacement of damaged or defective items.

C. Contractor's Responsibilities:

1. Promptly inspect products jointly with the Owner, record damaged and defective items.
2. Handle products at the site, including un-crating and storage.
3. Protect products from exposure to the elements and from damage.
4. Assemble, install, connect, adjust and finish products as stipulated in the respective section of the specifications.
5. Repair or replace items damaged by the Contractor.

1.9 PROTECTION OF EXISTING STRUCTURES AND UNDERGROUND SYSTEMS

- A. The Contractor shall protect the existing structures in the project limits from damage caused by his workmen and be responsible for any damage thus caused.
- B. The Contractor shall locate and protect from damage the existing underground splash pad piping system in the project limits.
- C. The Contractor shall be responsible to repair or replace to its original condition all areas disturbed by construction, including but not limited to utilities, drives, paving, walls, walks, lawns, landscaping, etc.

1.10 SITE INVESTIGATION

- A. The Contractor acknowledges that he has satisfied himself as to the nature and location of the work, the general and local conditions, particularly those bearing upon transportation, disposal, handling and storage of materials, availability of labor, water, power, roads and the uncertainties of weather, or other physical conditions of the site, the location and probable depth of underground utilities, the quality and character of surface materials to be encountered and all other matters which can affect the work or the cost thereof under this contract. Any failure by the Contractor to acquaint himself with all the available information concerning these conditions will not relieve him from the responsibility for estimating properly the difficulty or cost of successfully performing the work.

1.11 PROTECTION REQUIREMENTS

- A. The Contractor shall protect all finished surfaces against damage.
- B. All finished surfaces including factory-finished and job-finished items, shall be clean and not marred upon delivery to the Owner. The Contractor shall, without extra compensation, refinish all such spaces where surfaces prove to have been inadequately protected and are damaged.
- C. The Contractor shall be responsible for the prevention of water or dust leakage into adjacent buildings that may result from the activities involved in the construction and completion of the project. He shall pay for and provide the necessary devices or materials that he may deem necessary to provide such protection, all of which are subject to the approval of the Owner and the designer.
- D. Plywood sheathing shall be laid under any materials that are stored on finished

concrete surfaces. Reinforced non-staining Kraft paper and plywood shall be laid over all types of finished surfaces in traffic areas and before moving any material over these finished areas. Wheelbarrows, if used over such areas, shall have rubber tires.

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION (Not Used)

END OF SECTION 01 11 00

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MAYOR BOB LEONARD PARK- PICKLEBALL COURTS & PARKING

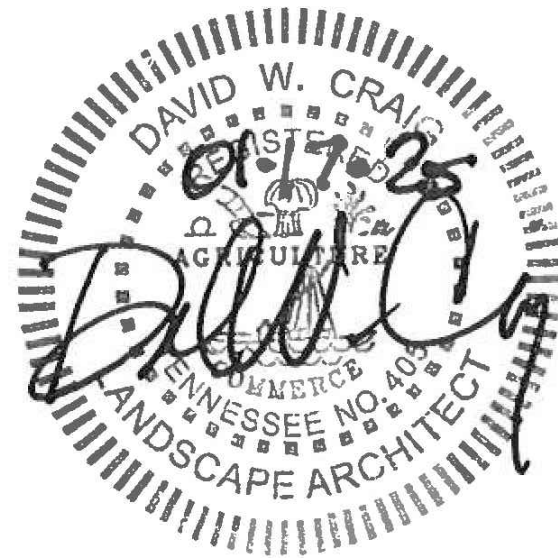
TOWN OF FARRAGUT

301 WATT ROAD
FARRAGUT, TENNESSEE, 37934

100% CONSTRUCTION DOCUMENTS PACKAGE
JANUARY 17, 2025

DESIGN TEAM:

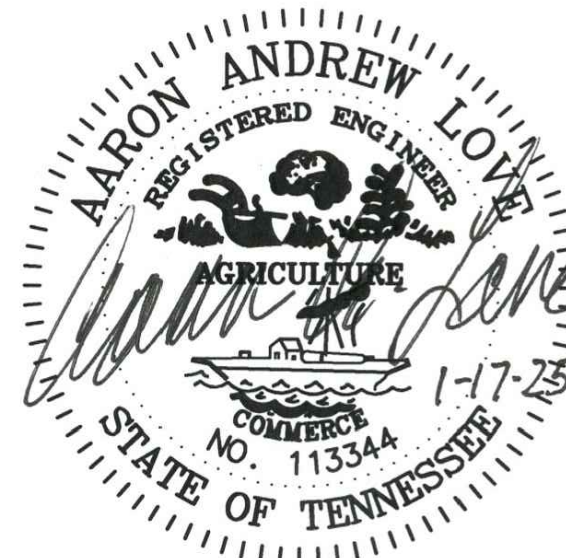
ROSS/FOWLER, P.C.
LANDSCAPE ARCHITECT
5103 Kingston Pike, Suite 105
Knoxville, Tennessee 37919
Telephone: (865) 637-1100
Fax: (865) 637-1101



HAROLD BROWN DESIGN, LLC.
CIVIL ENGINEER
5424 Riverbend Drive
Knoxville, Tennessee 37919
Telephone: (865)-806-3539



VREELAND ENGINEERS, INC.
ELECTRICAL ENGINEER
3107 Sutherland Avenue
Knoxville, Tennessee 37919
Telephone: (865)-637-4451



DRAWING INDEX

SURVEY

SURVEY SHEET 413-24

LANDSCAPE ARCHITECTURE

L100 OVERALL SITE PLAN
L101 ADD. ALT. ENLARGED SITE PLAN
L300 GRADING PLAN
L400 LAYOUT PLAN
L500 SITE DETAILS
L501 SITE DETAILS
L700 PLANTING PLAN

CIVIL

C100 DRAINAGE
C200 EROSION CONTROL
C300 CONSTRUCTION DETAILS

ELECTRICAL

ES100 SITE PLAN - ELECTRICAL

ARCHITECTURAL

A100 SHADE STRUCTURE

PROJECT DATA

OWNER

Town of Farragut
11408 Municipal Center Drive
Farragut, TN 37934

CODES AND STANDARDS

The following Codes and Standards were used in the preparation of these drawings

2018 INTERNATIONAL BUILDING CODE
2018 INTERNATIONAL MECHANICAL CODE
2017 NFPA 70 NATIONAL ELECTRIC CODE
2018 INTERNATIONAL FIRE CODE
2018 INTERNATIONAL PLUMBING CODE
2010 ADA STANDARDS FOR ACCESSIBLE DESIGN
2018 INTERNATIONAL ENERGY CONSERVATION CODE
2018 NFPA 101 LIFE SAFETY CODE
ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES
ICC A117.1-2017, ANSI AMERICAN NATIONAL STANDARD
ZONING AND PARKING
TOWN OF FARRAGUT ZONING ORDINANCE
CURRENT ZONING: OS (OPEN SPACE)

PARCEL ID: 045, PARCEL 045.02
SURVEY Cannon & Cannon Inc.
10025 Investment Dr.
Knoxville, TN 37932
(865) 670-8555

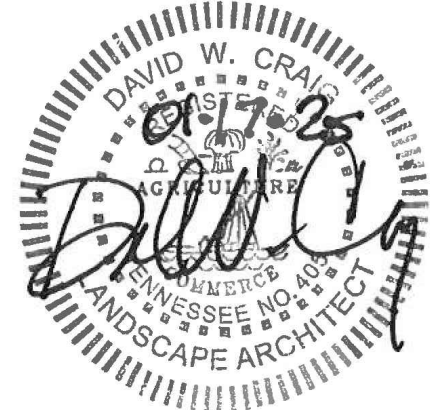
VICINITY MAP



- NOT TO SCALE -



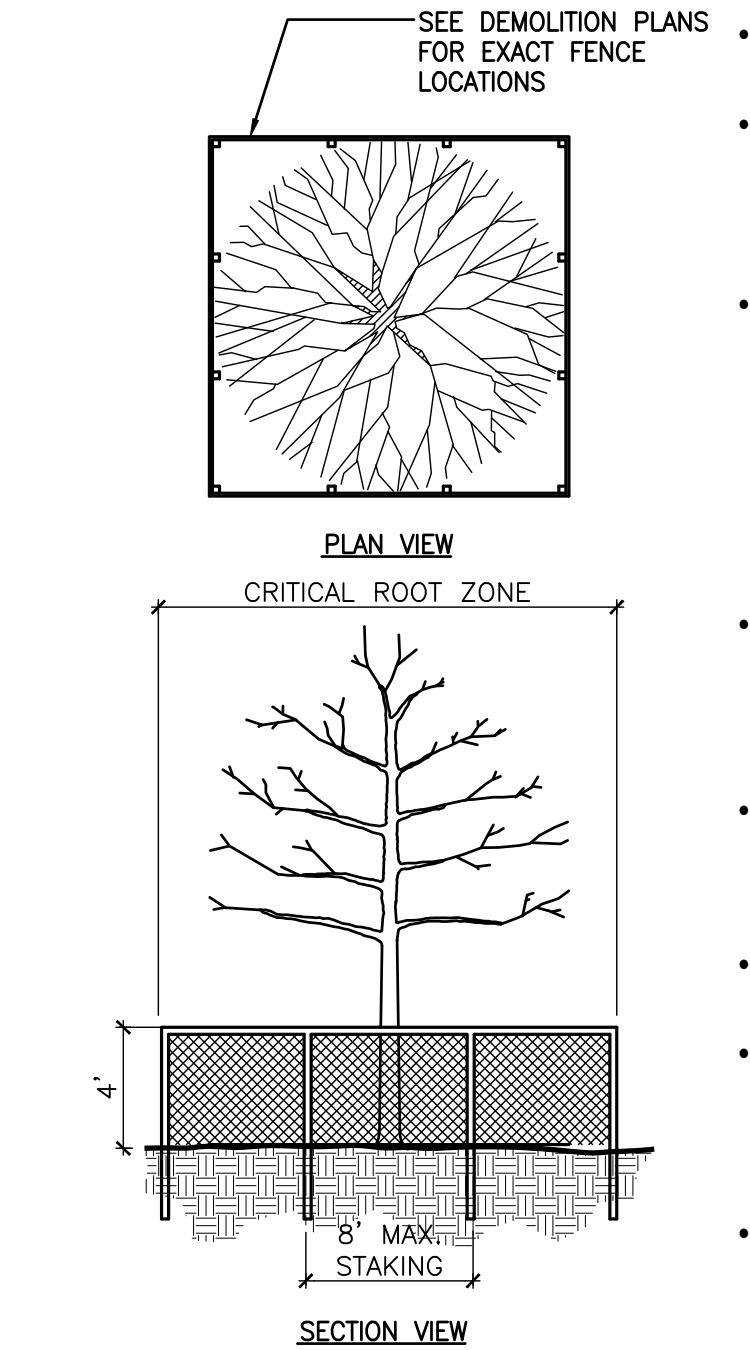
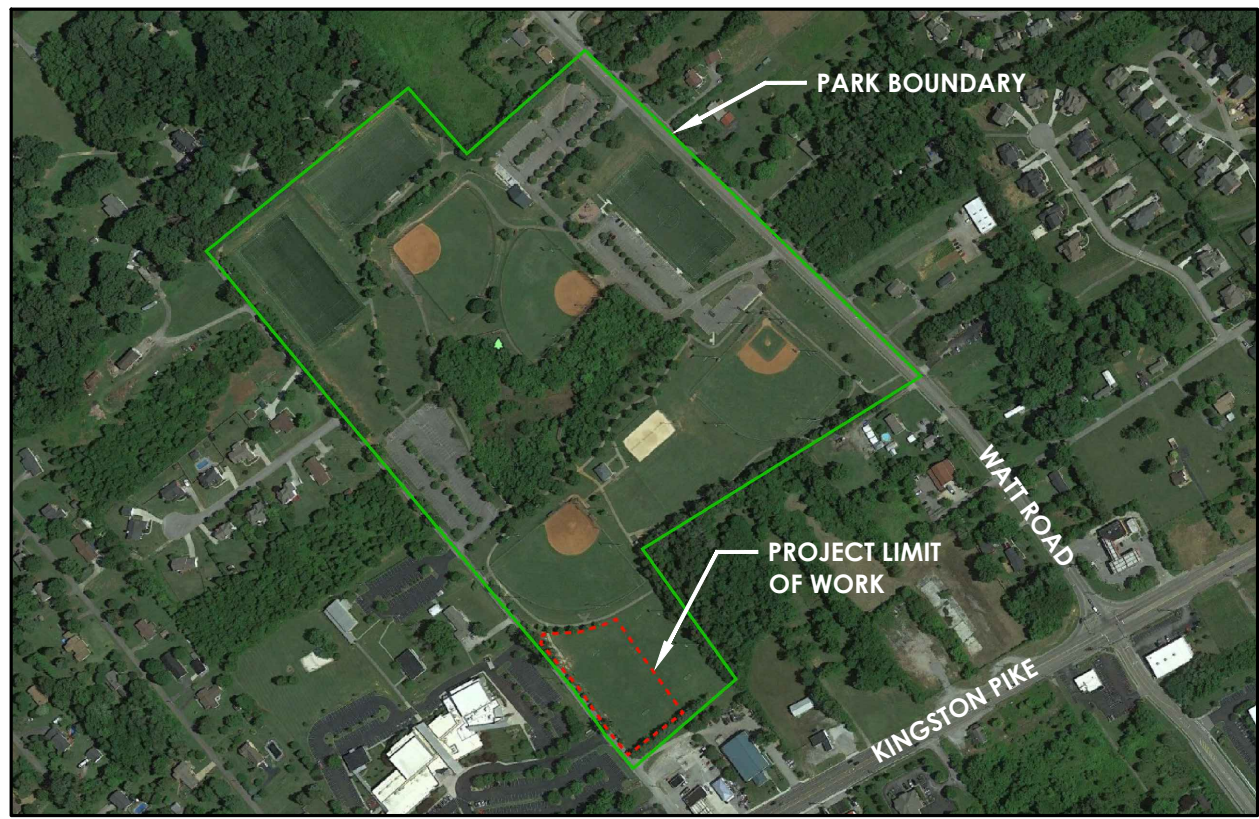
MAYOR BOB LEONARD PARK - PICKLEBALL COURTS
FARRAGUT, TN
TOWN OF FARRAGUT



REVISIONS

COPYRIGHT © ROSS/FOWLER, P.C. 2024
PROJECT NUMBER: 24009
ISSUE DATE: 01-17-2025

PARK LOCATION MAP



1 TREE PROTECTION DETAIL
L100 SCALE: 1/8"=1'-0"

- PROTECTIVE FENCING TO PRESERVE TRUNK, BRANCHES, AND ROOT SYSTEM.
- NO DEMOLITION OR CONSTRUCTION WORK SHALL COMMENCE BEFORE INSPECTION AND RECEIVING WRITTEN APPROVAL OF TREE PROTECTION FENCING INSTALLATION BY THE LANDSCAPE ARCHITECT.
- INSTALL TREE PROTECTION FENCING IN THE CRZ (CRITICAL ROOT ZONE) OF EACH TREE. THE CRZ IS DETERMINED BY MEASURING 1 FOOT RADIUS FROM THE TRUNK FOR EVERY INCH OF TREE TRUNK DIAMETER AT BREAST HEIGHT (DBH - MEASURED AT 4.5' ABOVE EXISTING GRADE). FOR EXAMPLE: 15" DBH TREE WOULD HAVE A TREE PROTECTION FENCE INSTALLED AROUND THE TREE WITH 15.0' RADIUS.
- FENCING TO CONSIST OF 48" HIGH FLOURESCENT ORANGE POLYETHYLENE FENCE WITH METAL POSTS DRIVEN 18" MIN. INTO EXISTING GRADE OUTSIDE THE CRITICAL ROOT ZONE OF THE TREE STAKED @ 8' O.C. MAXIMUM.
- HEAVY EQUIPMENT, VEHICULAR TRAFFIC, FOOT TRAFFIC, STOCKPILING, STORAGE OR CONSTRUCTION ACTIVITY OF ANY KIND SHALL NOT BE PERMITTED WITHIN TREE PROTECTION FENCE.
- NO TOXIC MATERIALS TO BE STORED WITHIN 100' OF TREE DRIP-LINE.
- IN AREAS WHERE FOOTINGS & PAVEMENT WILL PENETRATE INTO THE DRIPLINE AREA. A LICENSED ARBORIST SHALL BE ENGAGED TO DO ROOT PRUNING TO TOWN OF FARRAGUT STANDARDS PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL MONITOR AND MAINTAIN TREE PROTECTION FENCING THROUGHOUT THE DURATION OF THE PROJECT.

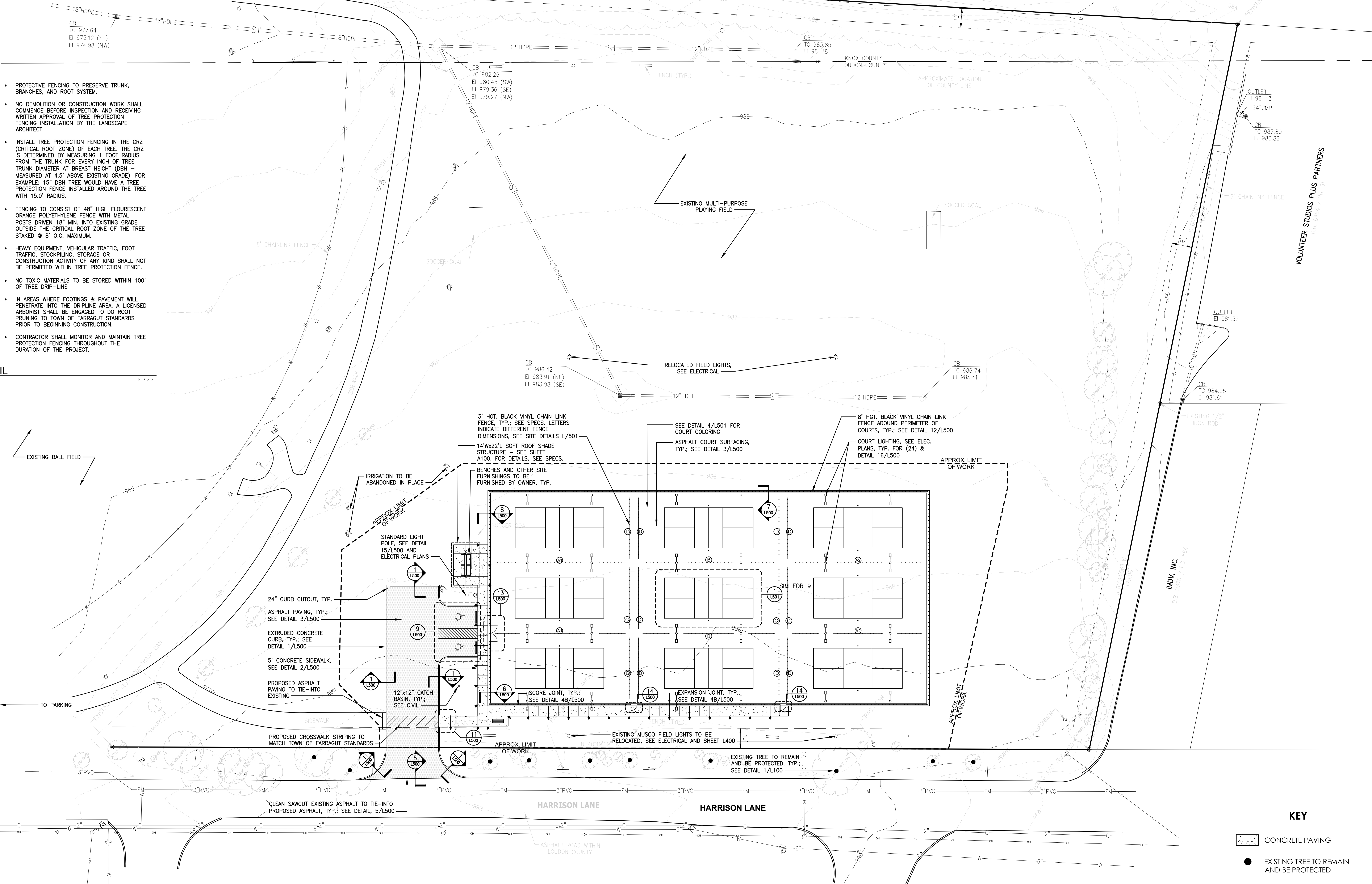
SITE NOTES:

- ALL ELEVATIONS ARE IN REFERENCE TO THE BENCHMARK AND MUST BE VERIFIED BY THE CONTRACTOR AT GROUND BREAK. SURVEY PROVIDED BY CANNON & CANNON INC., 10025 INVESTMENT DRIVE, SUITE 120 KNOXVILLE, TN 37932. PHONE: 865.670.8555
- HALF-TONE IMAGES WITHIN LIMITS OF WORK ARE OF EXISTING CONDITIONS.
- STRIP ALL TOPSOIL AND ORGANIC MATERIAL WITHIN THE AREA TO BE GRADED.
- TOPSOIL SHALL BE STORED ON SITE IN LOCATIONS APPROVED BY THE OWNER'S REPRESENTATIVE. DRAINAGE SHALL ROUTE AROUND THESE TOPSOIL STOCKPILES FOR THE DURATION OF THE GRADING OPERATIONS.
- FINISHED GRADES SHALL SLOPE AWAY FROM PAVEMENTS. ALL AREAS SHALL BE GRADED TO BE FREELY DRAINING AND TO PREVENT STANDING WATER. FINISHED GRADES SHALL NOT EXCEED 2:1.
- SEED ALL DISTURBED AREAS IMMEDIATELY UPON COMPLETION OF GRADING OPERATIONS, UNLESS OTHERWISE NOTED, WITH TALL FESCUE BLEND AT 4 POUNDS PER 1,000 S.F. AND COVER WITH TWO FIFTY POUND BALES OF STRAW MULCH PER 1,000 S.F.
- PLACE A MINIMUM 4" OF APPROVED TOPSOIL ON CLEAN SUBGRADE WITHIN AREAS DESIGNATED TO BE SEEDED.
- ALL AREAS TO BE SEEDED OR PLANTED SHALL BE FREE OF CONTINUOUS LAYERS OF GRAVEL AND OF OBSTRUCTIONS LARGER THAN ONE INCH IN SIZE TO A DEPTH OF 3'-6" MINIMUM AND CONTAIN APPROVED SOIL MATERIAL.
- PLACE A MINIMUM OF 6" OF APPROVED TOPSOIL ON CLEAN SUBGRADE WITHIN

- AREAS DESIGNATED TO BE PLANTED WITH SHRUBS, ANNUALS, AND/OR GROUNDCOVER, SEE PLANTING PLANS.
- SEE SITE ELECTRICAL PLANS FOR ADDITIONAL REQUIREMENTS.
- SEE CIVIL DRAWINGS FOR PROPOSED STORM SEWER IMPROVEMENTS. COORDINATE COVER/GRADE ELEVATIONS WITH SITE PLANS. IN THE EVENT OF DISCREPANCIES, IMMEDIATELY NOTIFY LANDSCAPE ARCHITECT IN WRITING TO REQUEST CLARIFICATION.
- FLAG EXISTING TREES TO REMAIN INDICATED ON THE SITE PLANS AND AS MARKED BY LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL PROTECT FROM DAMAGE TOPS, TRUNKS AND ROOTS OF TREES AND EXISTING PLANTS ON PROJECT THAT ARE TO REMAIN AS SPECIFIED AND AS DIRECTED BY LANDSCAPE ARCHITECT. EXISTING TREES AND OTHER PLANTS SHALL BE FENCED OR OTHERWISE PROTECTED BEFORE ANY WORK IS STARTED. DO NOT PERMIT HEAVY EQUIPMENT OR STOCKPILES WITHIN BRANCH SPREAD. REMOVE INTERFERING PLANTS OR TREE BRANCHES ONLY UNDER DIRECTION OF THE LANDSCAPE ARCHITECT.
- SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

KEY TO ABBREVIATIONS AND SYMBOLS:

TC	TOP OF CURB	NIC	NOT IN CONTRACT
BC	BOTTOM OF CURB	●	EXISTING TREE TO REMAIN
TR	TOP OF RAMP	LD	LANDSCAPE DRAIN
BR	BOTTOM OF RAMP	AD	AREA DRAIN (PEDESTRIAN SAFE)
TS	TOP OF STAIR	CB	CATCH BASIN
BS	BOTTOM OF STAIR	CI	CURB INLET
FS	FINISHED SURFACE	HW	HEAD WALL
FG	FINISHED GRADE	JB	JUNCTION BOX
HP	HIGH POINT	INV	INVERT ELEVATION
LP	LOW POINT	◆	EXPANSION JOINT - SEE DTL. 34/L501
BW	BOTTOM OF WALL		
TW	TOP OF WALL		
VIF	VERIFY IN FIELD		



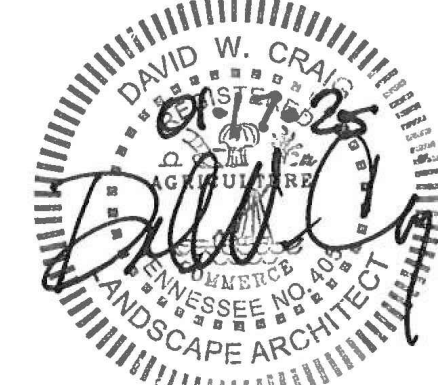
KEY

- CONCRETE PAVING
- EXISTING TREE TO REMAIN AND BE PROTECTED

R/F

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LANDSCAPE ARCHITECTURE
URBAN DESIGN & PLANNING
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MAYOR BOB LEONARD PARK - PICKLEBALL COURTS
FARRAGUT, TN
TOWN OF FARRAGUT



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ISSUE DATE: 01-17-2025

OVERALL
SITE PLAN
L100

MAYOR BOB LEONARD PARK - PICKLEBALL COURTS
MCFEE PARK TENNIS COURT RESURFACING
TOWN OF FARRAGUT



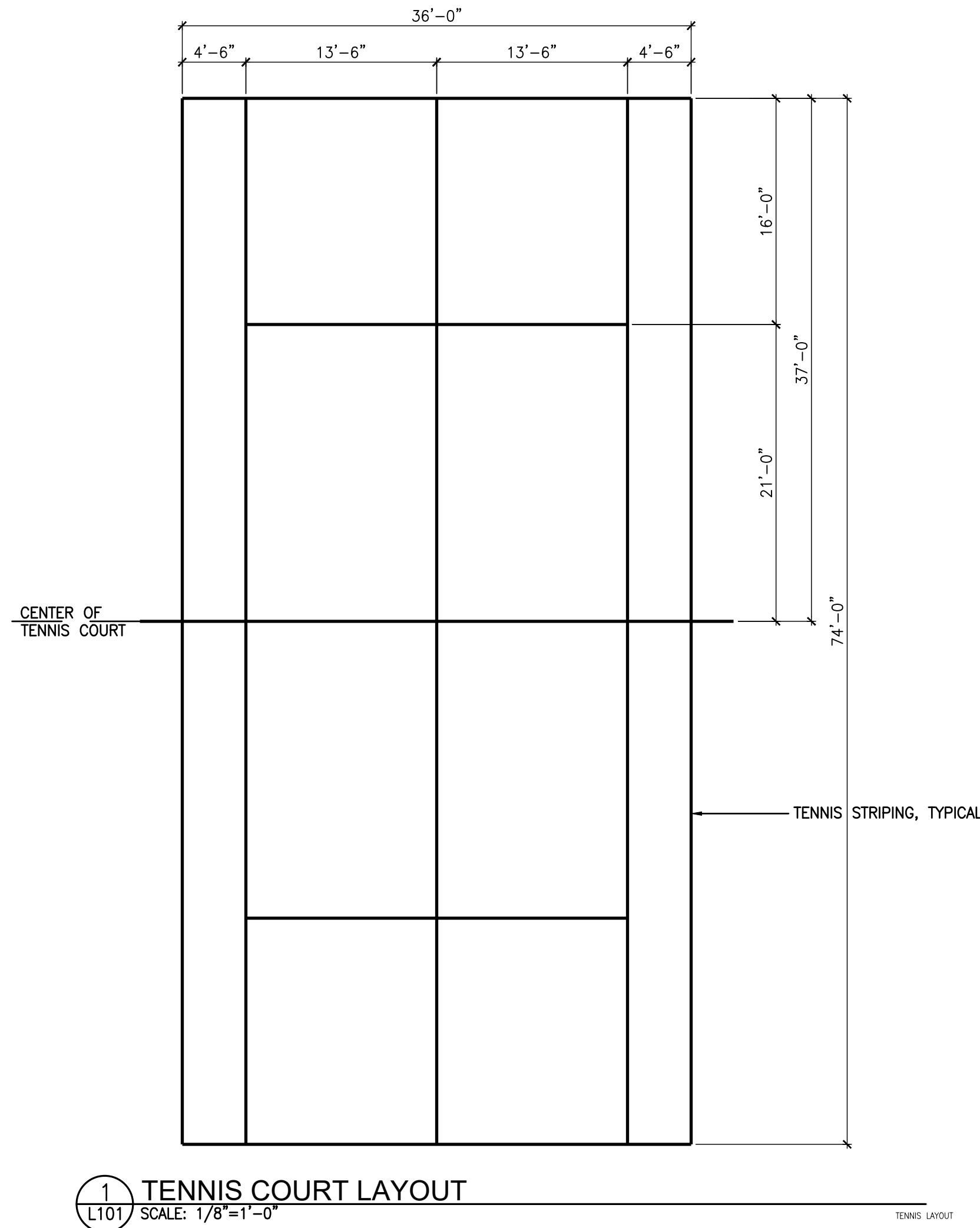
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ENLARGED
SITE PLAN
ADD ALT. #1

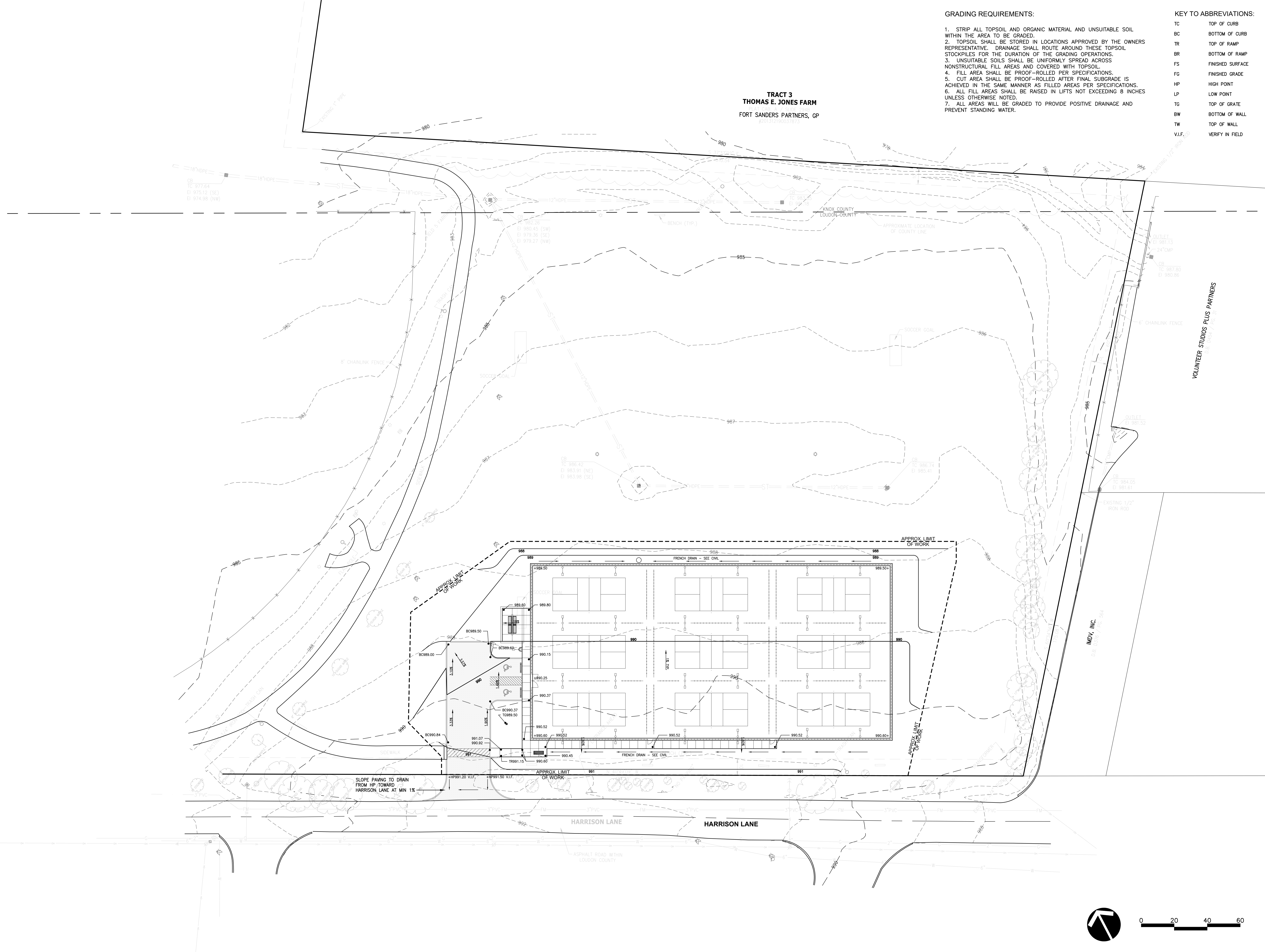
L101

ADD ALTERNATE #1:
EXISTING TENNIS COURTS TO BE
RESURFACED WITH 3 COATS OF
COLORED SEALER, ACRYLIC
EMULSION AND A TWO COLOR
APPLICATION. STRIPE FOR
TENNIS AS DETAILED.



1 TENNIS COURTS @ MCFEE PARK
L101 SCALE: 1/16"=1'-0"





GRADING REQUIREMENTS:

1. STRIP ALL TOPSOIL AND ORGANIC MATERIAL AND UNSUITABLE SOIL WITHIN THE AREA TO BE GRADED.
2. TOPSOIL SHALL BE STORED IN LOCATIONS APPROVED BY THE OWNERS REPRESENTATIVE. DRAINAGE SHALL ROUTE AROUND THESE TOPSOIL STOCKPILES FOR THE DURATION OF THE GRADING OPERATIONS.
3. UNSUITABLE SOILS SHALL BE UNIFORMLY SPREAD ACROSS NONSTRUCTURAL FILL AREAS AND COVERED WITH TOPSOIL.
4. FILL AREA SHALL BE PROOF-ROLLED PER SPECIFICATIONS.
5. CUT AREA SHALL BE PROOF-ROLLED AFTER FINAL SUBGRADE IS ACHIEVED IN THE SAME MANNER AS FILLED AREAS PER SPECIFICATIONS.
6. ALL FILL AREAS SHALL BE RAISED IN LIFTS NOT EXCEEDING 8 INCHES UNLESS OTHERWISE NOTED.
7. ALL AREAS WILL BE GRADED TO PROVIDE POSITIVE DRAINAGE AND PREVENT STANDING WATER.

KEY TO ABBREVIATIONS:

TC	TOP OF CURB
BC	BOTTOM OF CURB
TR	TOP OF RAMP
BR	BOTTOM OF RAMP
FS	FINISHED SURFACE
FG	FINISHED GRADE
HP	HIGH POINT
LP	LOW POINT
TG	TOP OF GRATE
BW	BOTTOM OF WALL
TW	TOP OF WALL
V.I.F.	VERIFY IN FIELD

R/F

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FARRAGUT, TN
TOWN OF FARRAGUT



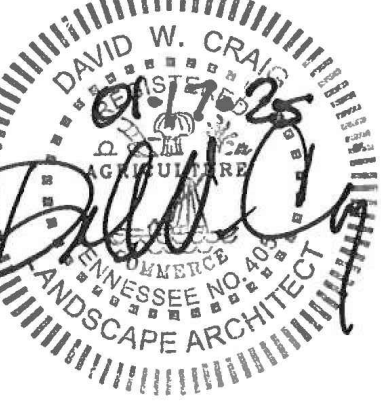
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GRADING
PLAN
L300



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FARRAGUT, TN
TOWN OF FARRAGUT

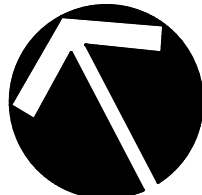
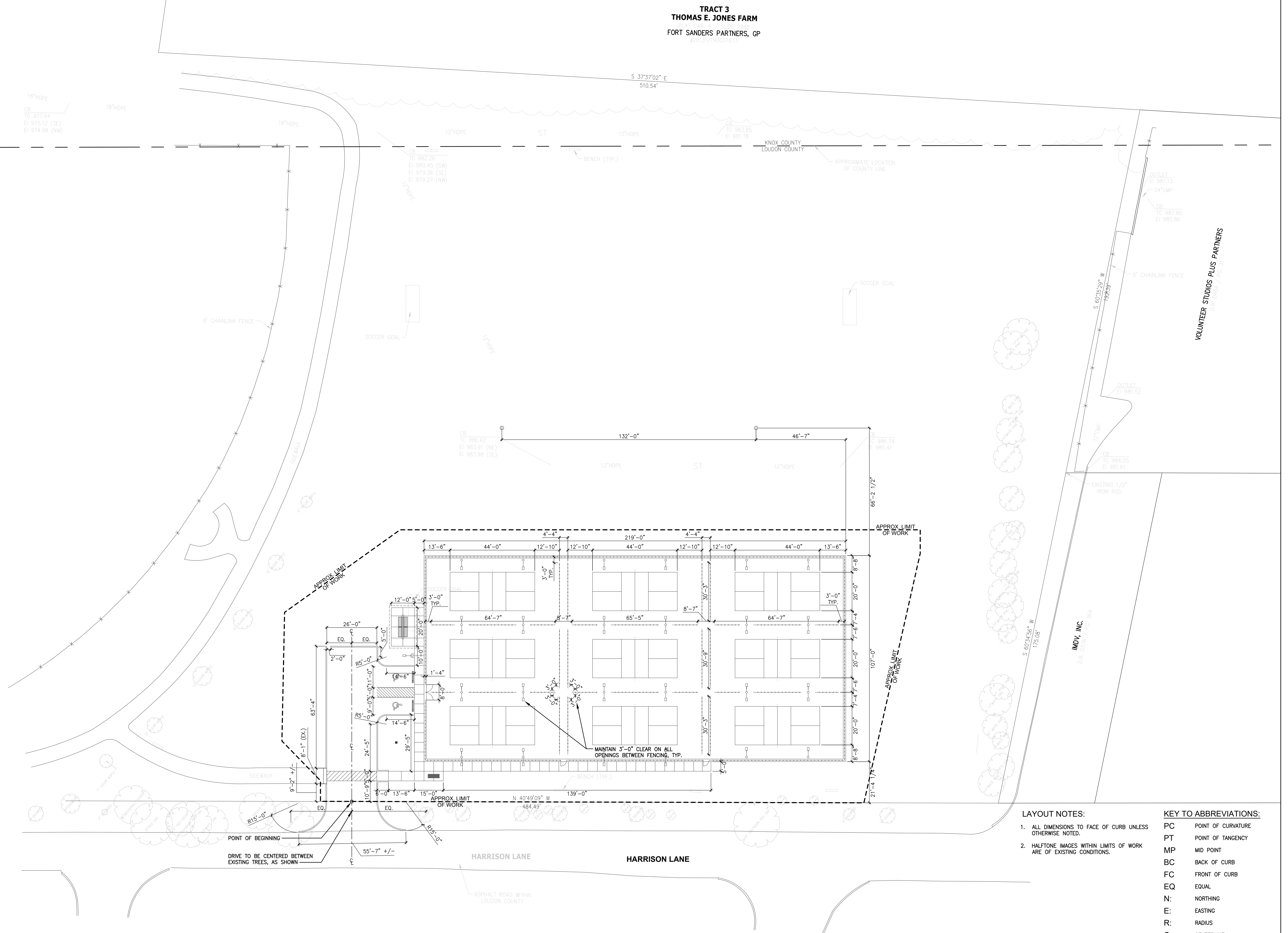


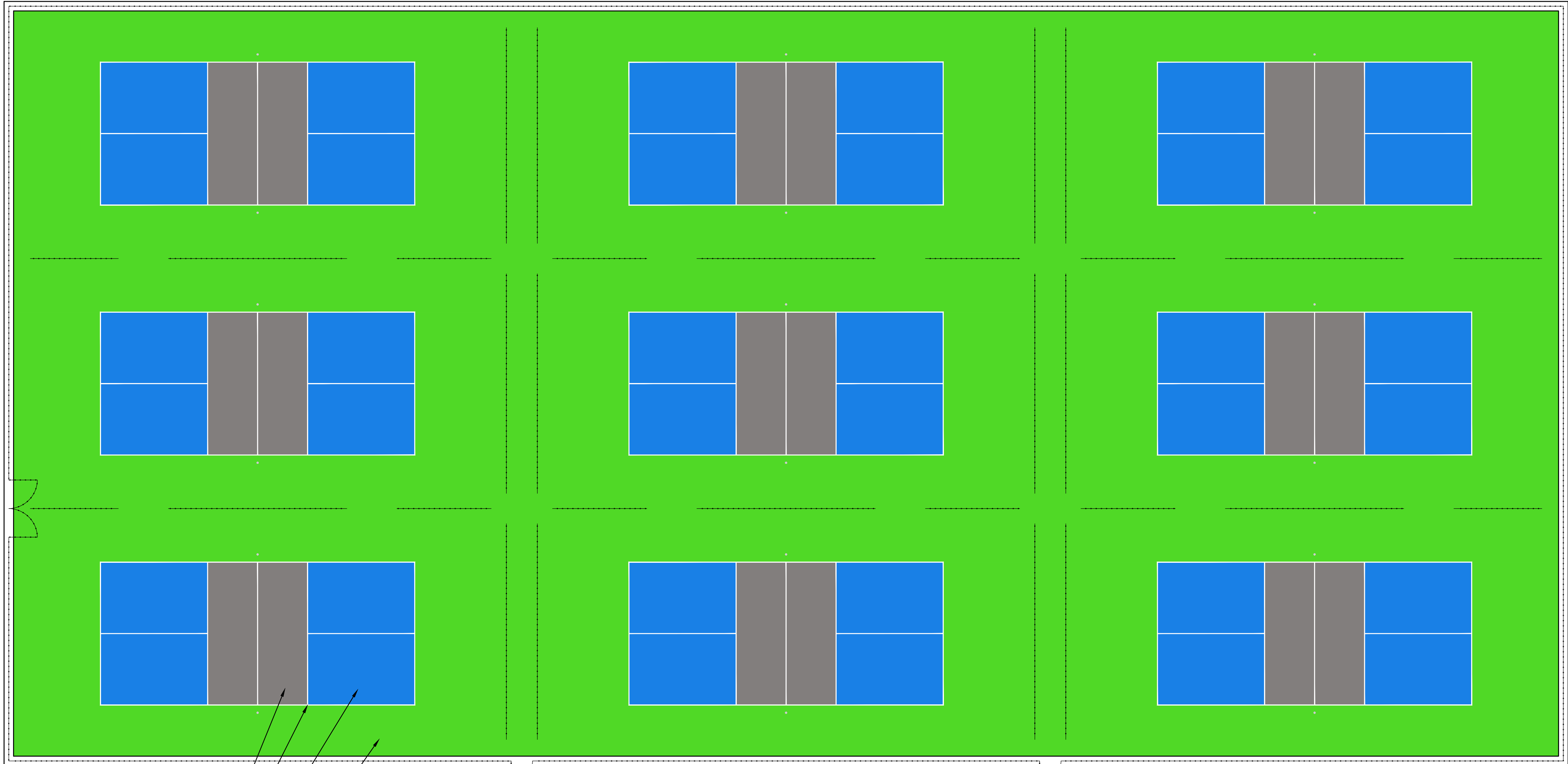
DISCUSSION

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 DATE..... 01-17-2024

LAYOUT PLAN

L400

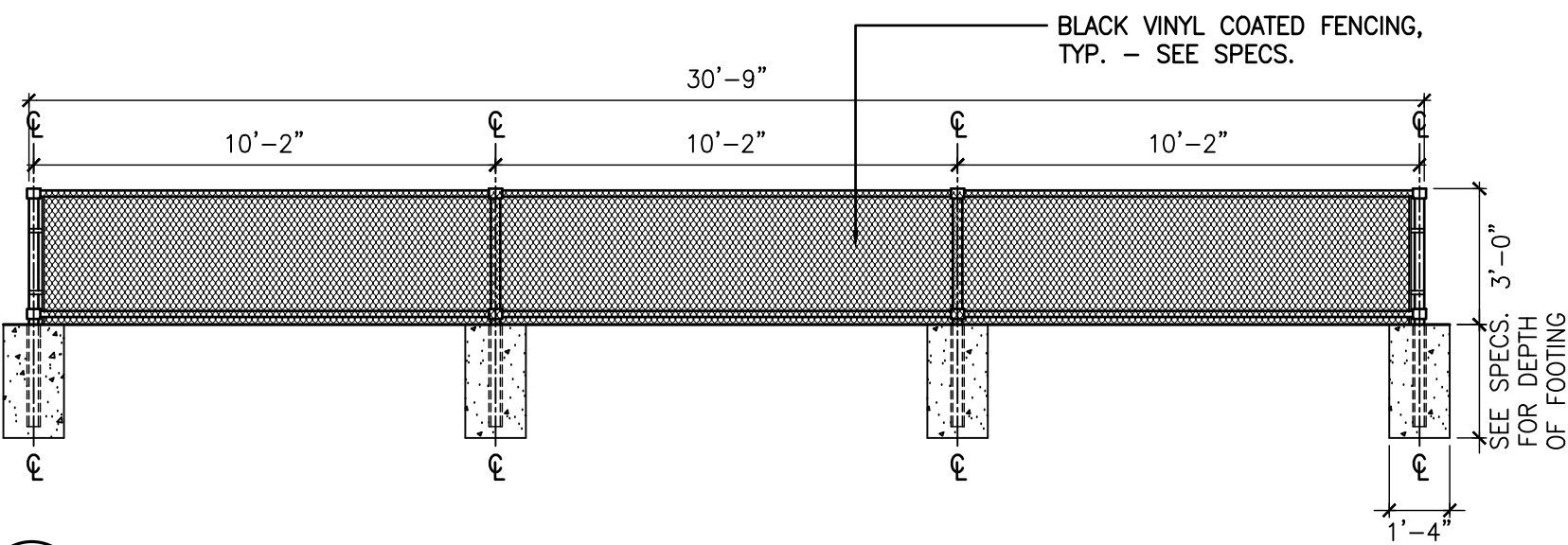




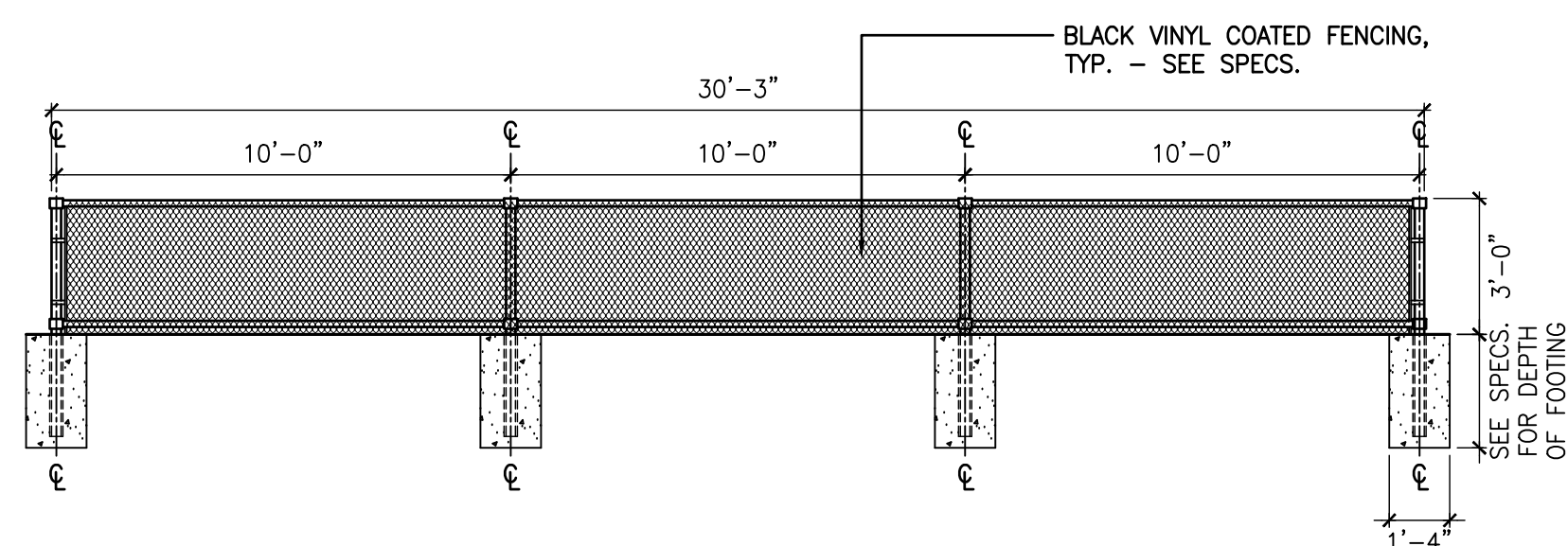
PICKLEBALL "KITCHEN" TO BE GRAY, TYP.
PICKLEBALL STRIPING TO BE WHITE, TYP.
PICKLEBALL BACK COURT TO BE BLUE, TYP.
PICKLEBALL COURT EXTERIOR TO BE GREEN, TYP.

NOTE:
SEE MANUFACTURER'S
DRAWINGS AND SPECS FOR
INSTALLATION INSTRUCTIONS

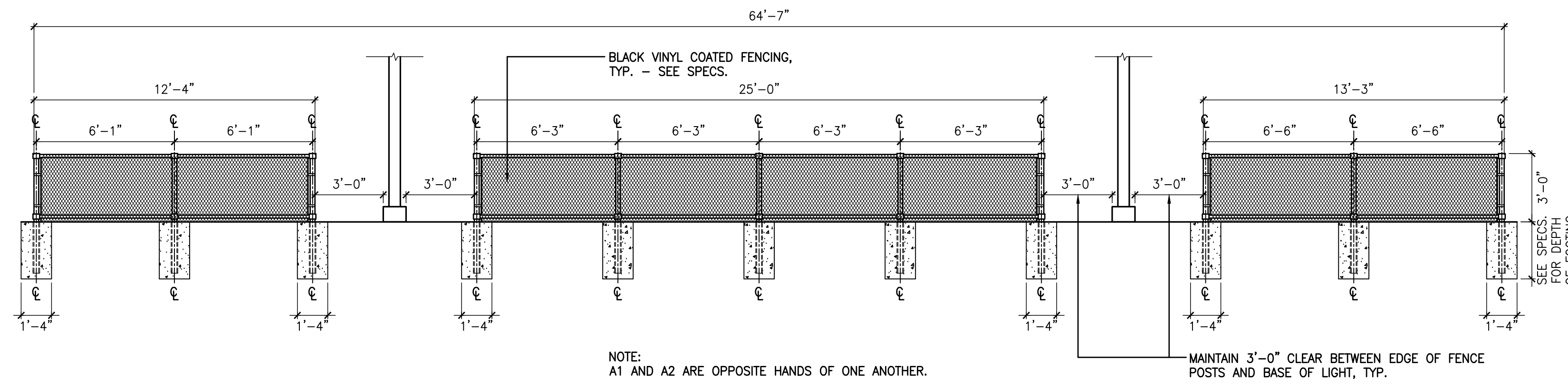
4 PICKLEBALL COURT COLOR SCHEME
SCALE: 1/8"=1'-0"



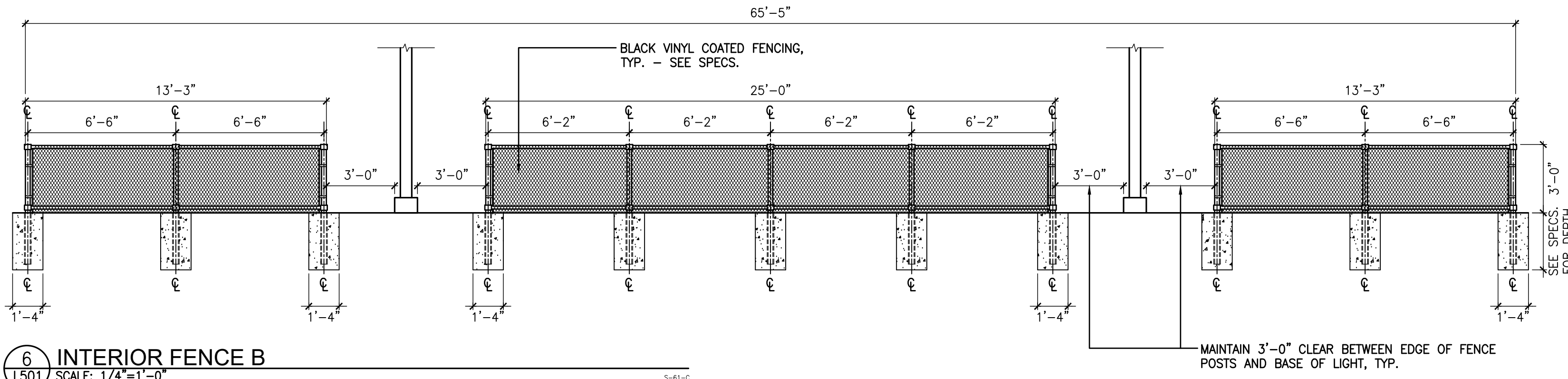
7 INTERIOR FENCE C
SCALE: 1/4"=1'-0"



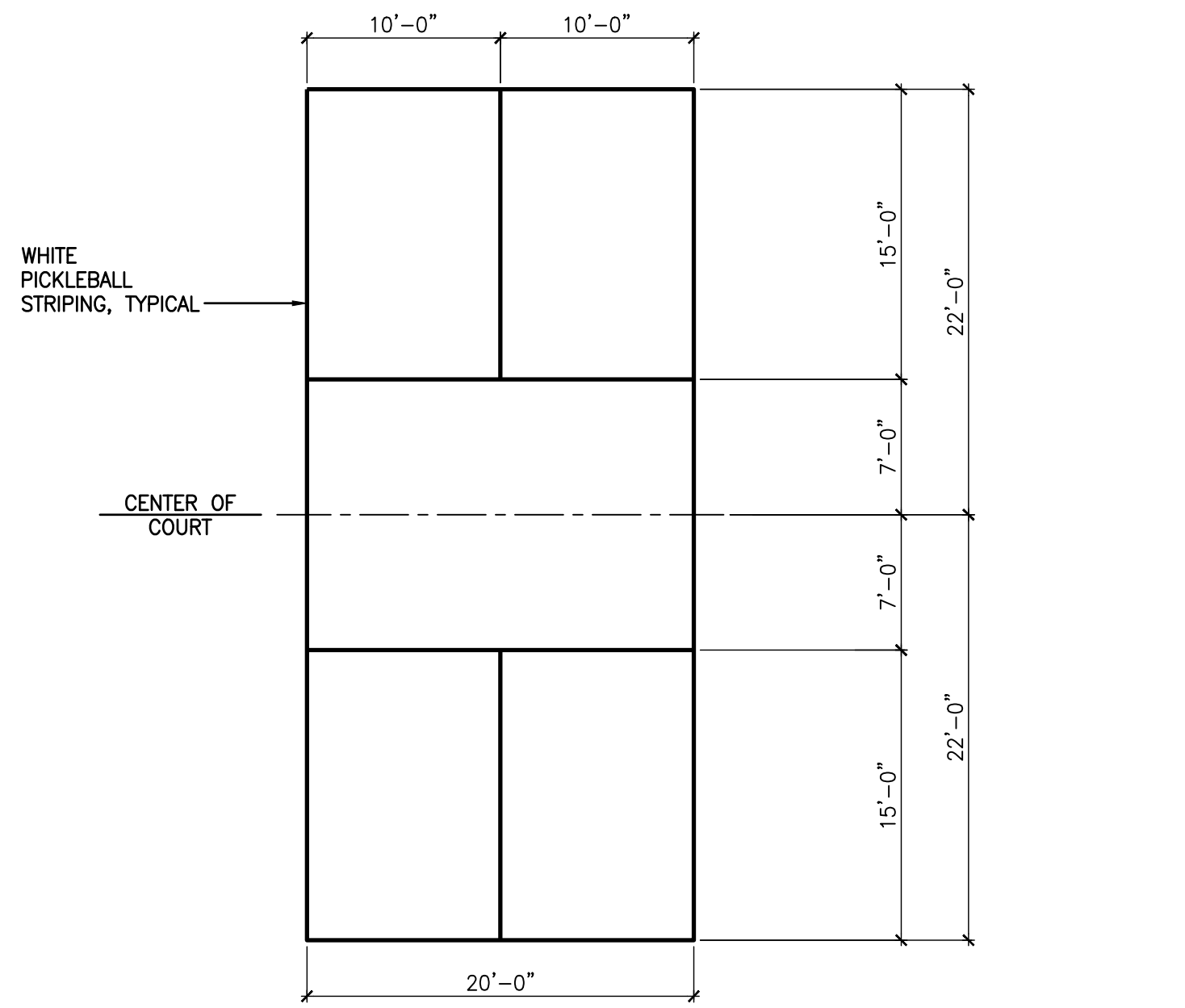
8 INTERIOR FENCE D
SCALE: 1/4"=1'-0"



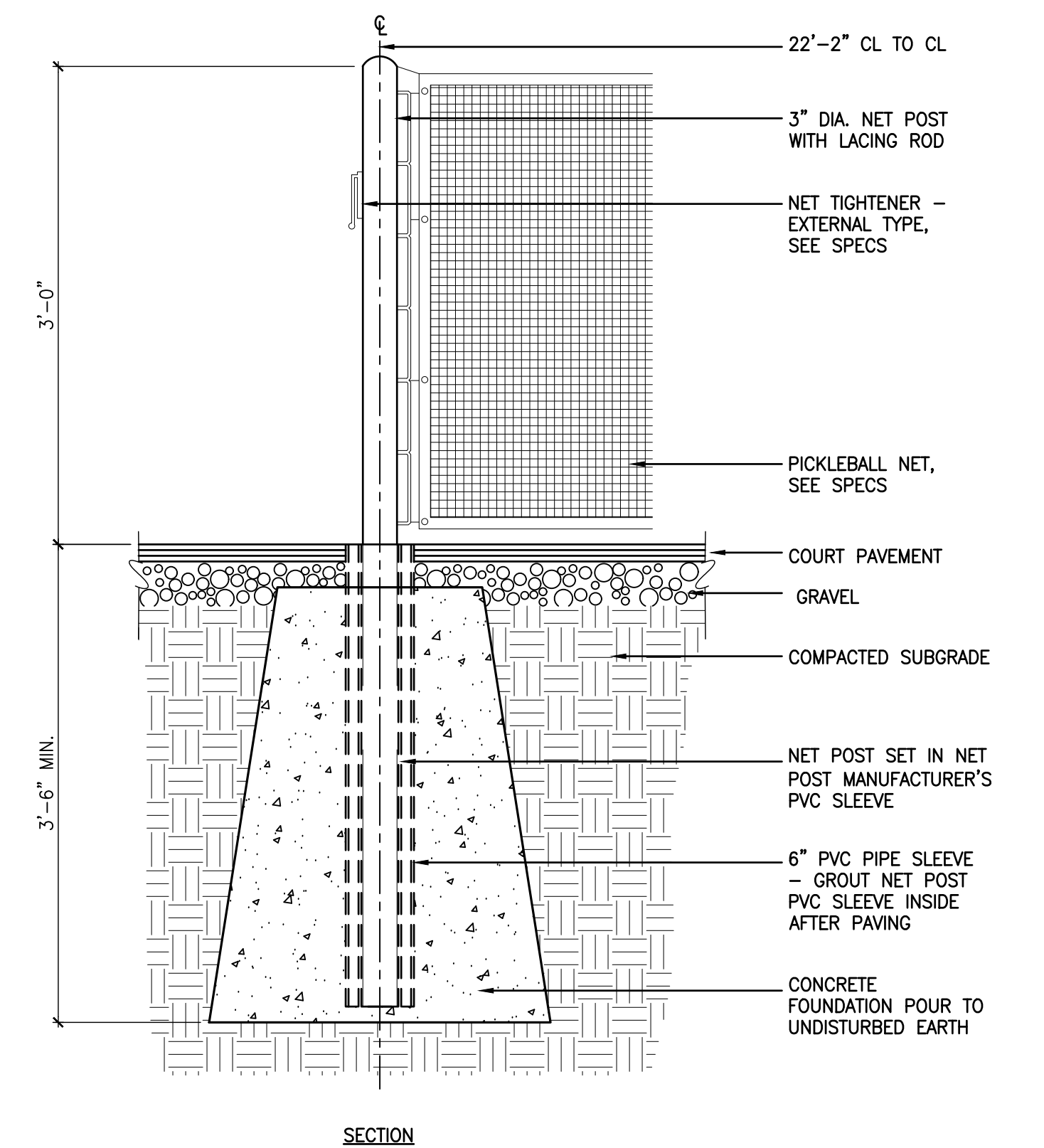
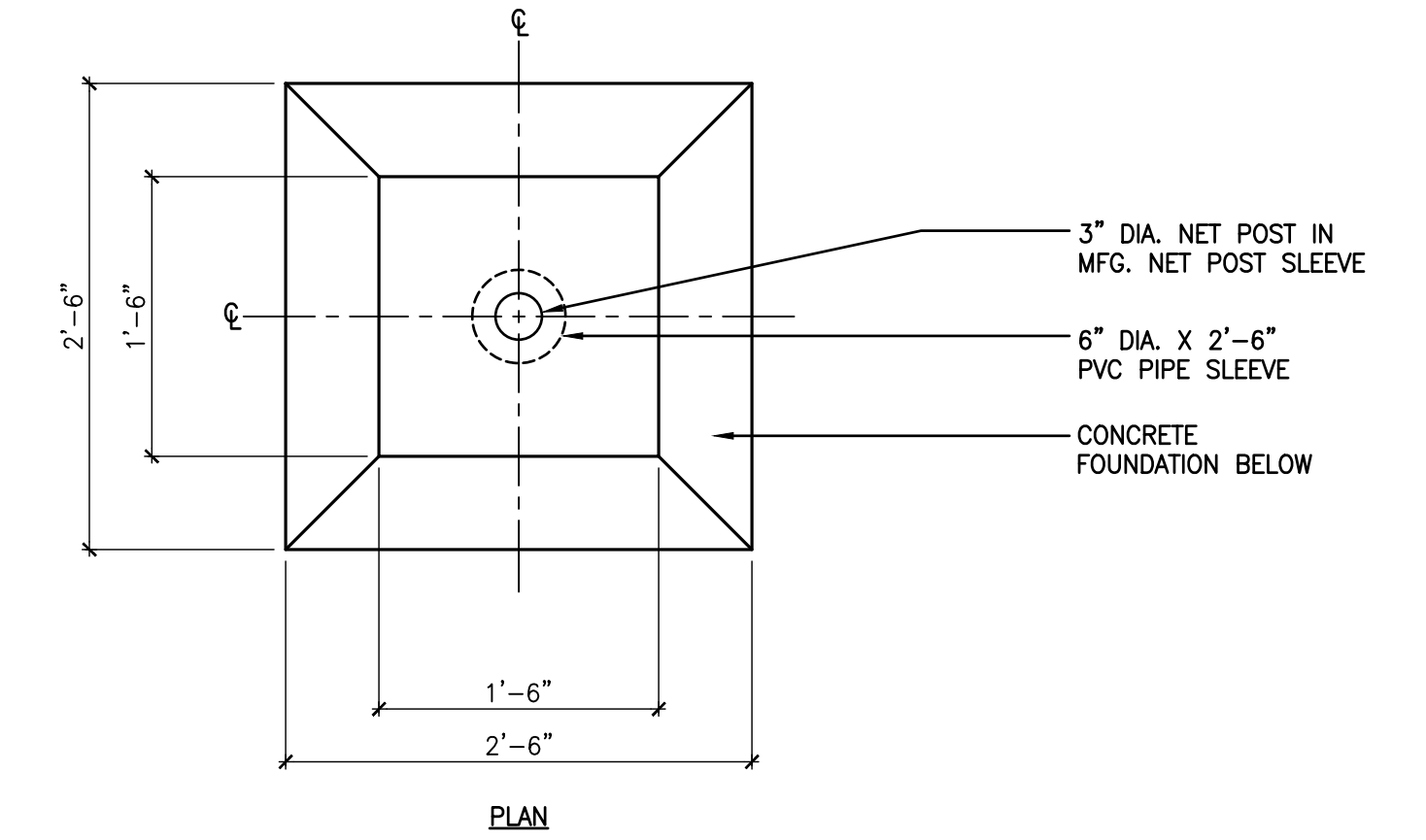
5 INTERIOR FENCE A (A1 & A2)
SCALE: 1/4"=1'-0"



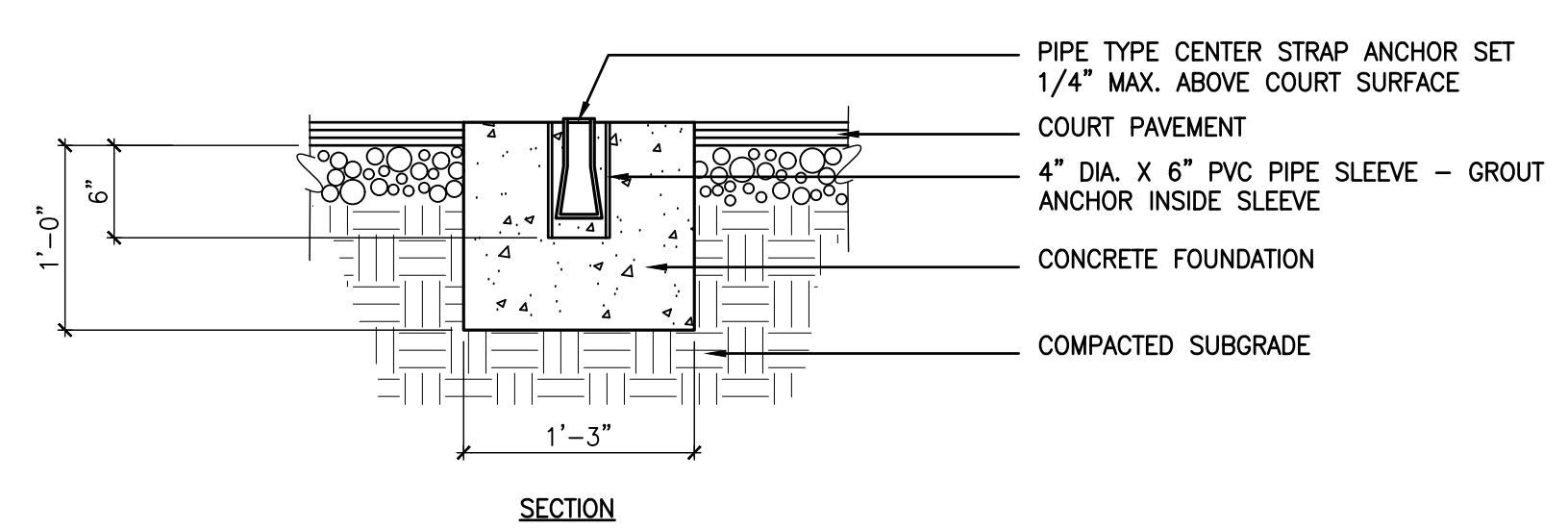
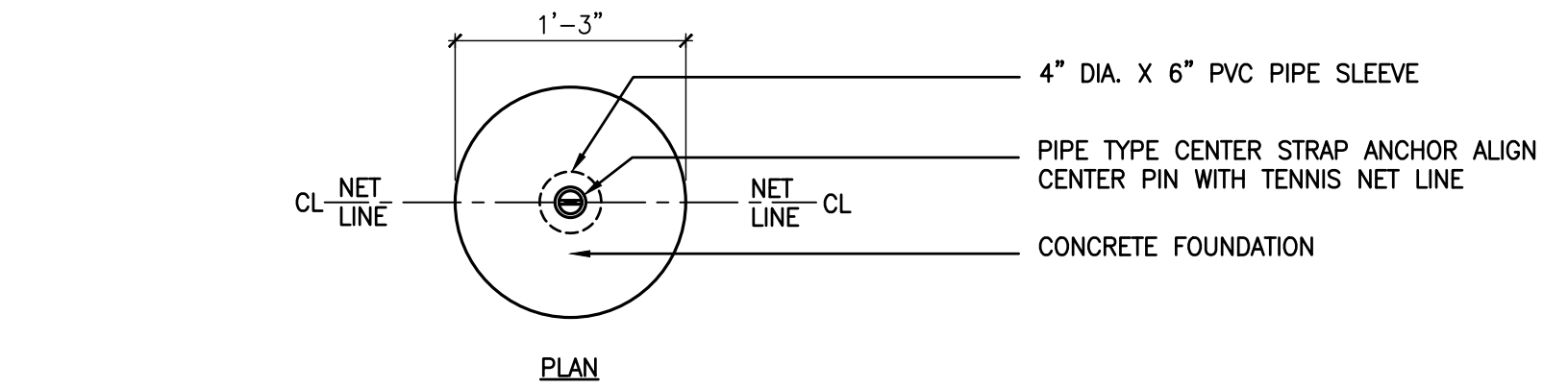
6 INTERIOR FENCE B
SCALE: 1/4"=1'-0"



1 PICKLEBALL COURT LAYOUT
SCALE: 1/8"=1'-0"



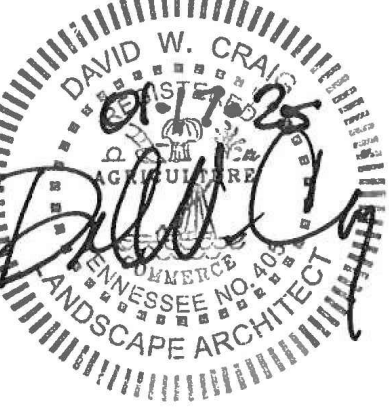
2 NET POST DETAIL
SCALE: 1"=1'-0"



3 CENTER STRAP ANCHOR DETAIL
SCALE: 1"=1'-0"



MAYOR BOB LEONARD PARK - PICKLEBALL COURTS
FARRAGUT, TN
TOWN OF FARRAGUT

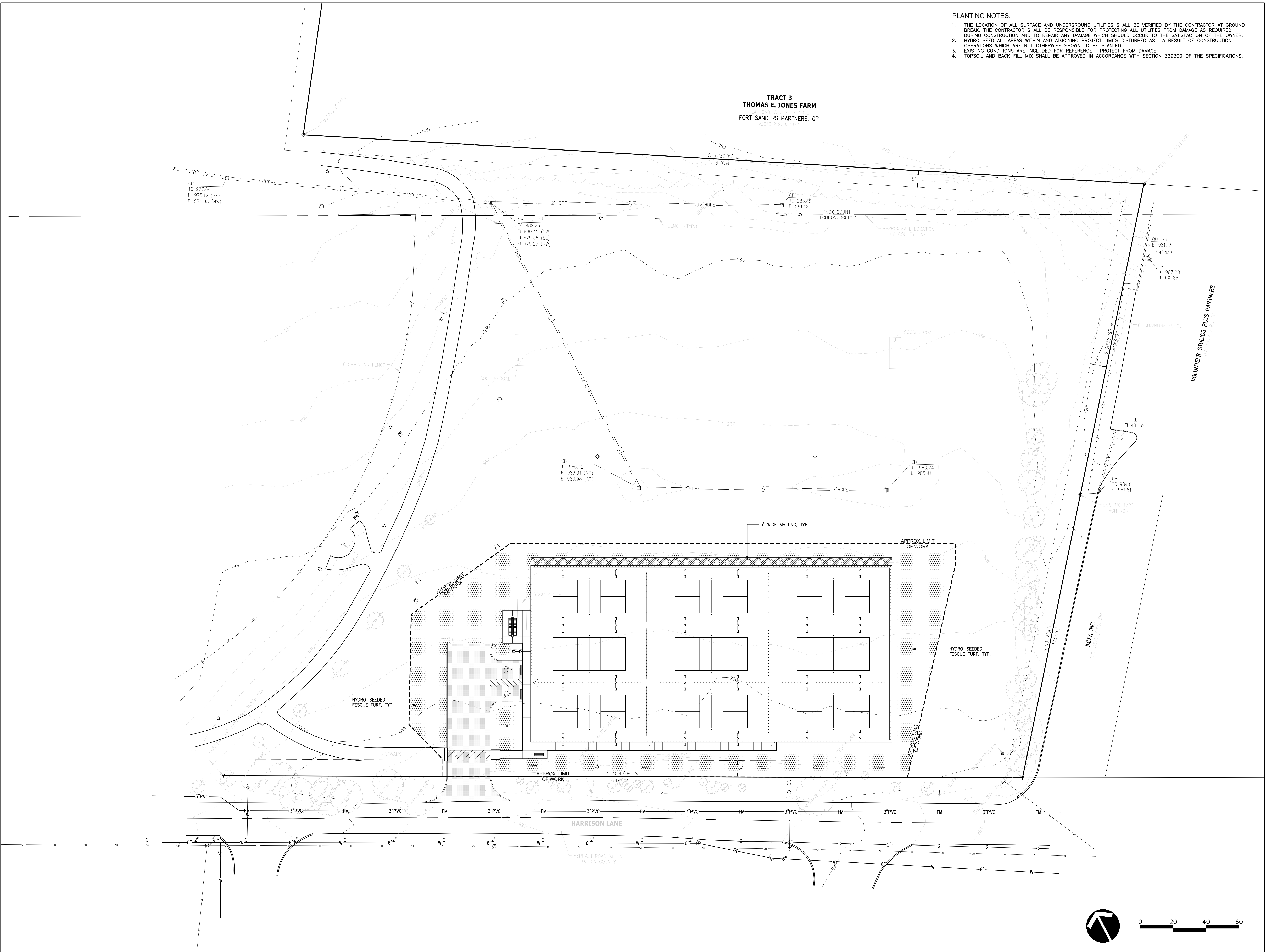


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PLANTING PLAN

L600



SHADESURE
FABRIC

Lead & Phthalate Free*

HEAT

UV

MOISTURE

WHITE
SHADE 37%
UV 84%

SILVER
SHADE 38%
UV 93%

LAGUNA BLUE
SHADE 92%
UV 94%

ROYAL BLUE
SHADE 84%
UV 91%

NAVY BLUE
SHADE 90%
UV 94%

TURQUOISE
SHADE 83%
UV 92%

RAINFOREST
SHADE 89%
UV 96%

DESERT SAND
SHADE 80%
UV 92%

BLACK
SHADE 93%
UV 96%

SUNFLOWER
YELLOW
SHADE 70%
UV 94%

TERRACOTTA
SHADE 84%
UV 91%

ARIZONA
SHADE 84%
UV 91%

ATOMIC
ORANGE
SHADE 81%
UV 94%

RED
SHADE 91%
UV 92%

MULBERRY
SHADE 90%
UV 91%

ELECTRIC
PURPLE
SHADE 84%
UV 90%

ZESTY LIME
SHADE 83%
UV 92%

CINNAMON
SHADE 88%
UV 93%

OLIVE
SHADE 93%
UV 95%

CHOCOLATE
SHADE 92%
UV 91%

Our fabrics carry a 10-year limited manufacturer's warranty from the date of installation against failure from significant fading, deterioration, breakdown, mildew, outdoor heat, cold, or discoloration, with the exceptions of Sunflower Yellow, Atomic Orange, Red, Mulberry, Electric Purple, Zesty Lime, Cinnamon, Olive, and Chocolate which carry a 5-year pro-rated warranty. Coolarella shade structure fabrics carry a 3-year warranty. Should the fabric need to be replaced under the warranty, USA SHADE will manufacture and ship a new replacement fabric at no charge for the first six years, thereafter pro-rated at 20% per year over the last four years.

ASTM INTERNATIONAL

ASTM E84

NFPA

701

Test Method 1

Test Method 2

USASHADE
& Fabric Structures

www.usa-shade.com

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USASHADE
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STANDARD POWDER COAT COLORS CHART

BLACK
115618BLK

COBALT
115618CBB

BLUE
115618BLU

FOREST GREEN
115618FRG

RED
115618RED

YELLOW
115618YLW

DARK BROWN
115618DBW

LIGHT IVORY
115893

WHITE
115618WHT

TELE-GRAY
115892

Powder coat colors may vary slightly based on the media of which flyer is printed out on or distributed as pdf.

www.usa-shade.com

US-03-2015
US000355

CUSTOMER NAME: Farragut City

PROJECT NAME: Mayor Bob Leonard Park Pickleball Courts

LOCATION: Farragut TN

CONFIGURATION #: Q-078511

USASHADE
& Fabric Structures

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USA Shade & Fabric Structures
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CUSTOMER NAME: Farragut City

PROJECT NAME: Mayor Bob Leonard Park Pickleball Courts

LOCATION: Farragut TN

CONFIGURATION #: Q-078511

REINFORCED CONCRETE NOTES

1. CONCRETE WORK SHALL BE EXECUTED IN ACCORDANCE WITH THE LATEST EDITION OF THE AMERICAN CONCRETE INSTITUTE SPECIFICATION FOR STRUCTURAL CONCRETE ACI 301 AND BUILDING CODE ACI 318. CONCRETE SPECIFICATIONS SHALL BE AS FOLLOWS:

• 28 DAY STRENGTH: 2500 PSI

• SLUMP: 3-5

• PORTLAND CEMENT SHALL CONFORM TO C-150

• AGGREGATE SHALL CONFORM TO ASTM C-33

2. ALL REINFORCEMENT STEEL SHALL CONFORM TO ASTM A-615 GRADE 60, AND SHALL BE DETAILED, FABRICATED AND PLACED IN ACCORDANCE WITH THE LATEST ACI SPECIFICATION FOR STRUCTURAL CONCRETE ACI 301, ACI DETAILING MANUAL AND CRSI MANUAL OF STANDARD PRACTICE.

3. ALL ANCHOR BOLTS SET IN NEW CONCRETE (WHEN APPLICABLE) SHALL COMPLY WITH ASTM F-1554 GRADE 55 (GALVANIZED).

4. ALL NON-SHRINK GROUT SHALL HAVE A MINIMUM 28 DAYS COMPRESSIVE STRENGTH OF 5000 PSI, AND SHALL COMPLY THE REQUIREMENTS OF ASTM C109, ASTM C939, ASTM C1090 ASTM C1107, WHEN APPLICABLE.

5. SOIL PARAMETERS FOR FOOTING ANALYSIS; TABLE 1806.2, CLASS : 5 - 1500(PSF)

6. FOR SPREAD FOOTING, EDGE OF COLUMN OR ANCHOR BOLTS MUST BE SET AT LEAST 12" FROM THE EDGE OF SPREAD FOOTING EDGE.

7. SPREAD FOOTING ALLOWED TO BE ROTATED AS REQUIRED.

TABLE FOR NON-CONSTRAINED DRILLED PIER FOOTING								
DIAMETER	DEPTH	VERTICAL REBAR	TIES		MIN. COLUMN EMBEDMENT (EMBED)	MIN. ANCHOR EMBEDMENT (RECESS & SURFACE)		
(FT)	(FT)	QTY.	SIZE	QTY. @ LOOP (FT)	SIZE (IN)	(IN)	(IN)	(IN)
2.00	4.00	6.00	#6	9.00	1.50	#3	33	19

TABLE FOR SPREAD FOOTING								
LENGTH	THICKNESS	TOP AND BOTTOM REINFORCEMENT			MIN. COLUMN EMBEDMENT (EMBED)	MIN. ANCHOR EMBEDMENT (RECESS & SURFACE)		
(FT)	(FT)	QTY.	SIZE	SPACING (IN)	(IN)	(IN)	(IN)	(IN)
3.50	3.00	5.00	#5	@ 9.00	O.C.E.W.	33	19	

NOT FOR
CONSTRUCTION
OR PERMITS

NOTE: ADDITIONAL
INSTALLATION COSTS
FOR SPREAD FOOTING

SPREAD FOOTING TYPE
EMBEDDED
SCHEMATIC VIEW ONLY
REFER TO TABLE FOR VARIABLE DIMENSIONS

DRILLED PIER FOOTING TYPE
EMBEDDED
SCHEMATIC VIEW ONLY
REFER TO TABLE FOR VARIABLE DIMENSIONS & QTY.

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CUSTOMER NAME: Farragut City

PROJECT NAME: Mayor Bob Leonard Park Pickleball Courts

LOCATION: Farragut TN

CONFIGURATION #: Q-078511

GENERAL NOTES

DESIGN LOADS

BUILDING CODE: INTERNATIONAL BUILDING CODE 2018

LIVE LOADS: 5 PSF

SNOW LOAD: 5 PSF

WIND LOADS: 115 MPH*
3-Sec. Gust, RISK CATEGORY II & EXPOSURE C

* 115 MPH ACCORDING TO THE BASIC WIND SPEED MAPS OF ASCE 7-16 IS EQUIVALENT TO THE ALLOWABLE STRESS DESIGN WIND SPEED OF 90 MPH ACCORDING TO ASCE 7-05 AND IBC 2018 EQ 16-33.

ESTIMATED STEEL WEIGHT

Total Structure Weight	775.23 lbs
Single Column Weight	123.2 lbs
Total Upper Frame Weight	528.8 lbs
Steel Sizes	5.0 GA 07 RD TUBING

DIMENSIONS

L	A	W	H	HT	CL	CW	CHT
22'-0"	11' 6"	14'-0"	9' 0"	11' 8"	1' 5"	0' 11"	11' 8"

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TOWN OF FARRAGUT

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SHADE STRUCTURE

A100