

FARRAGUT BOARD OF ZONING APPEALS AGENDA

August 26, 2020
7:00 p.m.

This meeting can be viewed live on Charter channel 193 and TDS channel 3." The meeting will be held virtually, as authorized by Governor Lee's executive orders regarding the COVID19 pandemic.

1. Approval of Minutes for the July 22, 2020 meeting
2. Public hearing on a request for a special exception related to the approval of site related modifications at the ORNL FCU, 11405 Municipal Center Drive, 1.3 Acres, Zoned General Commercial (Joshua Holden, Applicant)
3. Public hearing on a request for a variance related to site related modifications at the ORNL FCU, 11405 Municipal Center Drive, 1.3 Acres, Zoned General Commercial (Joshua Holden, Applicant)

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**MINUTES
FARRAGUT BOARD OF ZONING APPEALS**

July 22, 2020

Present: Keith Alley, Michael Wilson, Jim Holladay, and Jennifer Collins (present for Agenda Item #3)
Absent: Scott Meyer
Staff: Mark Shipley, Community Development Director

Item 1. Approval of Minutes for the March 27, 2019 meeting

A motion was made by Wilson to approve the minutes. The motion was seconded by Holladay and the motion passed 2-0-1 with Alley abstaining.

Ayes: Wilson and Holladay
Nays: None
Absent: Meyer and Collins
Abstaining: Alley

Item 2. Election of Officers

Chairman

A motion was made by Holladay to re-appoint Alley as Chairman. The motion was seconded by Wilson and motion passed 3-0.

Ayes: Holladay, Wilson, and Alley
Nays: None
Absent: Meyer and Collins
Abstaining: None

Vice Chairman

A motion was made by Alley to re-appoint Wilson as Vice-Chairman. The motion was seconded by Holladay and motion passed 3-0.

Ayes: Holladay, Wilson, and Alley
Nays: None
Absent: Meyer and Collins
Abstaining: None

Secretary

A motion was made by Wilson to re-appoint Collins as Secretary. The motion was seconded by Holladay and motion passed 3-0.

Ayes: Holladay, Wilson, and Alley
Nays: None
Absent: Meyer and Collins
Abstaining: None

Item 3. Public hearing on a request for an administrative review related to terminal island landscaping provisions in the Farragut Zoning Ordinance (Josh Holden, Applicant)

Staff reviewed this item and noted that it involved an administrative review regarding what is considered a terminal island and subject to the landscaping requirements provided for in the Farragut Zoning Ordinance.

A long discussion ensued. The applicant was represented by Josh Holden and Mr. Holden reviewed the applicant's position as outlined in their application submittal memorandum and exhibits.

Board members questioned staff and the applicant and a motion was made by Wilson to uphold the staffs' interpretation of what a terminal island would be considered and that, in accordance with the Parking and Loading Section of the Zoning Ordinance, is required at the end of parking spaces and, in accordance with the Landscaping Section of the Zoning Ordinance is required to be landscaped. The motion was seconded by Collins and motion passed on a roll call vote of 4-0.

Ayes: Wilson, Holladay, Alley, and Collins
Nays: None
Absent: Meyer
Abstaining: None

The meeting adjourned at 8:18 p.m.

Jennifer Collins, Secretary _____

FARRAGUT BOARD OF ZONING APPEALS

August 26, 2020 Meeting - Staff Recommendations

2. Public hearing on a request for a special exception related to the approval of site related modifications at the ORNL FCU, 11405 Municipal Center Drive, 1.3 Acres, Zoned General Commercial (Joshua Holden, Applicant)

The two items on the agenda this month are a follow up to the administrative review considered last month on whether the term “terminal islands,” as defined in Chapter 2 of the Farragut Zoning Ordinance (Exhibit A), would include the end of parking rows that abut a building. If so and by definition, and as stated in Chapter 4., Section XII., - Landscaping, Subsection D., 3., *Landscaping within parking lots* (Exhibit B), such islands would be required to be landscaped with grass and/or trees, shrubs, or ground cover in combination with mulch.

During the discussion, the definition and illustration regarding a terminal island was reviewed and staff also clarified that terminal islands were further described in Chapter 4, Section XX., - Parking and Loading (Exhibit C). Based on the evidence presented, the Board voted unanimously to uphold the staffs’ interpretation of what constitutes a terminal island and that it is to be landscaped.

Though the administrative review was not site specific, the applicant tied this to a specific location - the ORNL building at 11405 Municipal Center Drive. In response, staff noted that, in relation to the ORNL site, the entire issue and all of the applicant’s expressed concerns over accessibility, parking compliance, landscaping provisions, and terminal island maintenance could have been addressed in a manner that would have ensured compliance with all applicable Town requirements had there been plans submitted to and approved by the Town ahead of time.

Having been denied on the administrative review, the applicant is now requesting separately a special exception and then, in agenda item 3, a variance for the unapproved and noncompliant work completed to the affected portions of the parking lot at the ORNL at 11405 Municipal Center Drive. In the applicant’s memorandum in support of their request(s), the applicant includes the language in Chapter 4 of the Zoning Ordinance that governs variances and special exceptions and attempts to provide justification in the statute for the unapproved work.

In terms of the special exception, one of the conditions is that the use meets all Town requirements with regards to, among other provisions, landscaping. Clearly this is not satisfied. Again, this is a self-inflicted matter that could have been avoided by obtaining approved plans for the work proposed before the work was initiated and completed. The applicant references that plans were submitted in June 2019 showing the reconfiguration of the handicapped accessible parking spaces. This is inaccurate as there were no plans submitted for the work completed in the affected portion of the parking lot. Otherwise, this would have

likely been included as an exhibit by the applicant. Staff has included in the packet for this meeting the approved plans that were issued to the contractor for this project. There is no information in these plans related to the work completed in the parking lot. In fact, as provided last month, the Architectural Design Standards checklist specifically noted that in relation to landscaping and surface parking “existing site work is to remain unchanged.”

Essentially, through the special exception and variance request presented at this time, the Board is being asked to forgive the applicant for not obtaining approvals for work that ultimately was noncompliant. Even the bicycle rack, which was mentioned last month, and that was added in the concrete island is noncompliant and creates an obstruction with its placement (see photo included in packet).

If the parking lot is brought into compliance with all Town related requirements, this in no way would affect the reasonable use of the property. The property, in fact, would be in a condition of compliance so that a permanent Certificate of Occupancy could be issued for the construction project that was largely completed a few months ago.

Consistent with the governing statute and past practice in these matters, staff would note that relief would be appropriate where a condition inherent in the property itself (not a condition created by an applicant’s actions) would, without relief, render the property un-usable. Obviously, this is not the case before you.

Staff would recommend that the applicant have their designers submit a site plan that will address the existing noncompliant issues and have this reviewed and approved by the Town. Then the approved plan would need to be completed in the field. This is the process that should have been followed initially.

3. Public hearing on a request for a variance related to site related modifications at the ORNL FCU, 11405 Municipal Center Drive, 1.3 Acres, Zoned General Commercial (Joshua Holden, Applicant)

See previous agenda item.





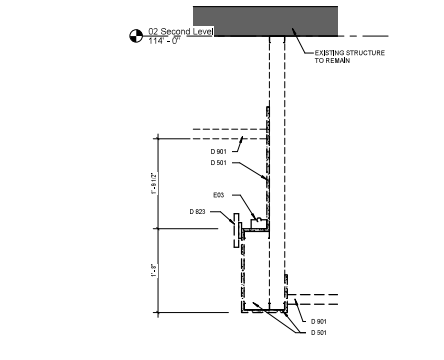
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GENERAL DEMOLITION NOTES

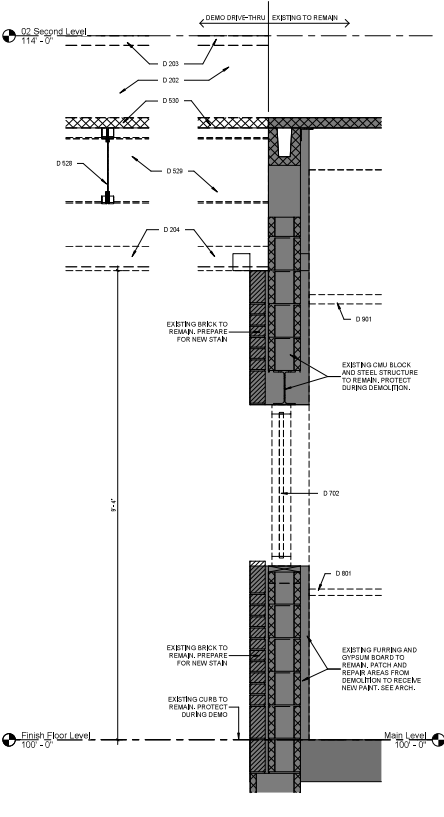
- 1 CONTRACTOR TO VERIFY EXISTING CONDITIONS.
- 2 COORDINATE ALL DEMOLITION WORK WITH OWNER AND OWNER'S BANK EQUIPMENT CONTRACTOR.
- 3 PROVIDE ANY NECESSARY TEMPORARY PROTECTION TO MAINTAIN SECURE AND SAFE SITE/WORKING.
- 4 THE DEMOLITION PLANS ARE DERIVED FROM EXISTING BUILDING PLANS AND ARE INTENDED TO REASONABLY REPRESENT EXISTING CONDITIONS.
- 5 ILLUSTRATIONS, DIMENSIONS AND INFORMATION IN THESE DRAWINGS ARE BASED BY WHAT THE EXISTING DRAWINGS FURNISHED BY THE OWNER. EXISTING CONDITIONS ARE AVAILABLE UPON REQUEST FROM THE DRAWINGS. ACTUAL CONDITIONS MAY DEVIATE FROM THAT SHOWN ON THE DRAWINGS. THE DEMOLITION NOTES IDENTIFY SPECIFIC AREAS OF WORK BUT MAY NOT BE COMPLETE IN THE INDICATION OF ALL REMOVALS. THE CONTRACTOR SHALL VERIFY ACTUAL CONDITIONS PRIOR TO BIDDING AND PRIOR TO CONSTRUCTION AND COORDINATE THE DEMOLITION WITH NEW WORK SO THAT DEMOLITION IS COMPLETE.
- 6 REMOVE FRUIT SETS, DEMOLISH MATERIALS, DEBRIS, AND RUBBISH PER LOCAL REQUIREMENTS. CONTRACTOR IS RESPONSIBLE FOR ALL ASSOCIATED COSTS. DO NOT ACCUMULATE DEBRIS ON THE SITE.
- 7 ALL BUILDING COMPONENTS, SURFACE MATERIALS, AND FINISHES WHICH ARE TO REMAIN IN PLACE SHALL BE PROTECTED FROM DAMAGE.
- 8 PATCH AND REPAIR ALL EXISTING SURFACES DESTROYED FOR NEW WORK AND FINISH TO MATCH EXISTING/ADJACENT.

DEMOLITION KEYNOTES

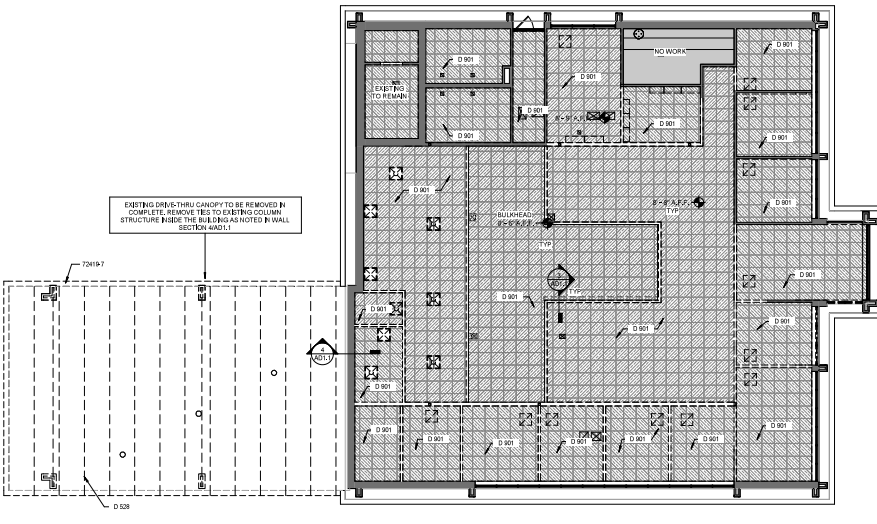
- 724197 EXISTING CEILING TO BE CLEANED AND PAINTED. CEILING TO BE SHOWN IN YELLOW. SEE D-101.
- D 101 REMOVE VICINARITY FLOORING AND BASE COMPLETE. PREPARE SUBSTRATE FOR NEW FINISHES AS NOTED.
- D 102 REMOVE TILE FLOORING AND BASE COMPLETE. CONTRACTOR TO CLEAN UP ALL ADHESIVES AND CLEAN EXISTING CONCRETE SLAB AS REQUIRED FOR NEW FLOOR FINISH INSTALLATION AS SCHEDULED.
- D 200 REMOVE EXISTING EPDM MEMBRANE AT DRIVE-THRU IN COMPLETE.
- D 203 REMOVE EXISTING METAL CORING AT DRIVE-THRU IN COMPLETE.
- D 204 REMOVE EXISTING SOFFIT SYSTEM INCLUDING HANGERS, SHEATHING, AND FORMING CHANNELS COMPLETE.
- D 501 REMOVE GYPSUM BOARD AND STUD WALL PARTITIONS. COMPLETE OR PATCH AND REPAIR. PATCH AND REPAIR ADJOINING WALLS AS REQUIRED TO MATCH EXISTING.
- D 505 REMOVE RESTROOM PARTITION WALL IN ITS ENTIRETY. PATCH AND REPAIR HOLES IN WALL. PREPARE FOR NEW TOILET PARTITIONS - SEE ARCHITECTURAL.
- D 527 REMOVE EXISTING TUBS AND CUPBORN ROOM LOW WALLS IN COMPLETE.
- D 528 REMOVE EXISTING STEEL BAR JOISTS IN DRIVE THRU LANES. REFERENCE EXISTING PLANS PROVIDED FOR SIZES AND QUANTITY.
- D 529 REMOVE EXISTING STEEL BEAMS IN DRIVE THRU AS INDICATED ON DRAWINGS. TWO EXISTING BEAMS TO BE INTO COLUMN. INSIDE OF BUILDING AND WALL. REQUIRE SELECTIVE DEMOLITION EXISTING EXTERIOR WALL - REFERENCE EXISTING DRAWINGS PROVIDED AS REFERENCE SET FOR LOCATIONS.
- D 530 REMOVE EXISTING METAL DECKING AND ALL CONNECTIONS IN COMPLETE IN HATCHED AREAS AT DRIVE-THRU.
- D 531 REMOVE EXISTING DRIVE-THRU CURB IN COMPLETE IN HATCHED AREA. TYPICAL AT ALL LANES. COORDINATE REMOVAL OF BANKING EQUIPMENT WITH OWNER. SEE ELECTRICAL NOTES FOR MORE DEMO INFORMATION.
- D 532 REMOVE EXISTING WALL TIE IN ITS ENTIRETY. TYPICAL OF THE HATCHED AREAS. PREP WALLS TO RECEIVE NEW FINISH. ARCHITECTURAL.
- D 702 REMOVE WINDOW AND FRAME COMPLETE. SEE ARCHITECTURAL.
- D 703 REMOVE EXISTING DOOR AND FRAME COMPLETE.
- D 705 REMOVE EXISTING DOOR SLAB EXISTING FRAME TO REMAIN - PREPARE FOR NEW DOOR SLAB. SEE ARCHITECTURAL.
- D 712 REMOVE AND RELOCATE EXISTING SLIDING GLASS DOOR. SEE ARCHITECTURAL SHEET FOR MORE INFORMATION.
- D 801 REMOVE AND DISCARD EXISTING CURBS IN ITS ENTIRETY (OR PORTION AS INDICATED). COORDINATE ANY BANK EQUIPMENT REMOVAL WITH OWNER. VERIFY IF CASEWORK/CABINETS IS BEING REMOVED ON EXISTING WALL THAT IS TO REMAIN. PATCH AND REPAIR WALL TO PREPARE FOR NEW PAINT.
- D 822 EXISTING BANK EQUIPMENT TO REMAIN. PROTECT DURING CONSTRUCTION. COORDINATE ANY WORK WITH OWNER AND BANK EQUIPMENT VENDOR.
- D 823 REMOVE EXISTING COVE TRIM IN COMPLETE.
- D 901 REMOVE EXISTING ACQUISITION TILE CEILING PANEL, GRID, AND ACCESSORIES COMPLETE.
- 903 REMOVE EXISTING COVE LIGHT FIXTURE. SEE ELECTRICAL DEMO NOTES.



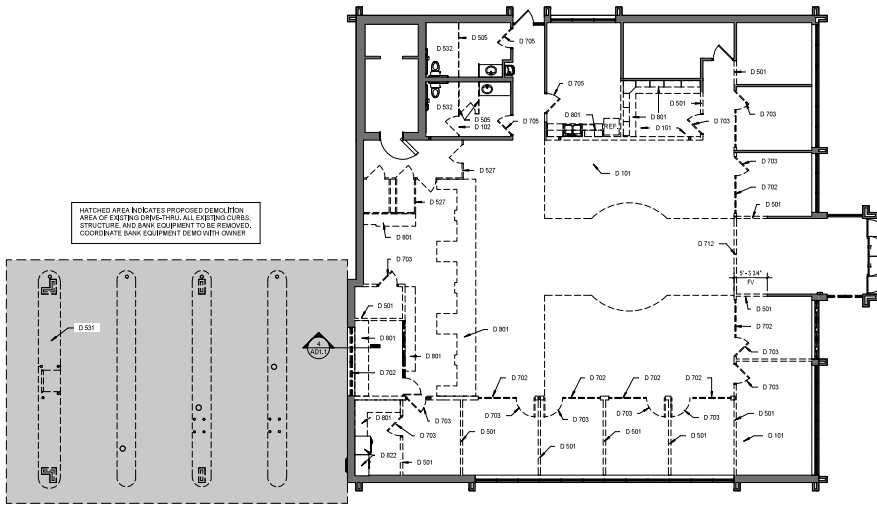
3 Existing Cove Bulkhead Typical Demo
SCALE: 1" = 1'-0"



4 Drive-Thru Canopy Demo
SCALE: 1" = 1'-0"



2 Reflected Ceiling Plan - Main Level
SCALE: 1/8" = 1'-0"



1 Floor Plan - Main Level
SCALE: 1/8" = 1'-0"

ORNL FEDERAL CREDIT UNION
FARRAGUT BRANCH
FARRAGUT, TENNESSEE

REVISIONS		
NO.	DESCRIPTION	DATE

DATE	PROJECT
05/17/2019	2018.0122
TITLE	
Demolition Floor Plan - Main Level	
SHEET	



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REVISIONS		
NO.	DESCRIPTION	DATE

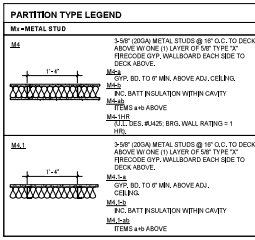
DATE	PROJECT
05/17/2019	2018.0122
TITLE	
Floor Plan - Main Level	
SHEET	

- ### GENERAL CONSTRUCTION NOTES
1. DIMENSIONS ARE FROM FACE OF DRYWALL TO FACE OF DRYWALL. REFER TO PARTITION TYPES, ROOM FINISH SCHEDULE AND INTERIOR ELEVATIONS FOR FINISHES. ALL CEILING HEIGHTS ARE MEASURED FROM TOP OF SLAB TO THE BOTTOM FACE OF THE FINISH MATERIAL, WHETHER THAT BE GYPSUM BOARD, SUSPENDED CEILING, ETC.
 2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS SHOWN ON DRAWINGS AT THE JOB SITE AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES. CORRECTING WORK COMPLETES BEFORE PROCEEDING WITH THE WORK.
 3. MECHANICAL AND PLUMBING CONTRACTORS ARE RESPONSIBLE FOR THE FIELD VERIFICATION OF ALL CONDITIONS AND OPENINGS PRIOR TO FABRICATING/INSTALLING. INFORM ARCHITECT OF ANY DISCREPANCIES.
 4. ALL INTERIOR WALLS AND BULKHEADS SHALL BE BRACED AS REQUIRED ABOVE CEILING.
 5. PROVIDE FIRE-RATED RESISTANT GYPSUM BOARD AT ALL PARTITIONS WITH PLUMBING FEATURES AND ALL WALLS ADJACENT TO VEST LOCATIONS.
 6. PROVIDE IN WALL BRACING AS NECESSARY FOR SUPPORT OF ALL WALL MOUNTED SUBJECTS.
 7. REFER TO FINISH SCHEDULE AND INTERIOR ELEVATIONS FOR FINISHES.

- ### PLAN LEGEND
- SYMBOLS WITH LIGHTER LINEWEIGHTS OR WITH POOLS, AS SHOWN AT LEFT, INDICATE EXISTING WALLS, PARTITIONS, DOORS, WINDOWS, OTHER STRUCTURE OR APPLIANCES. DIMENSIONS TO REMAIN. TYPICAL UNLESS NOTED OTHERWISE (ON THE DEMOLITION PLAN).
 - DASHED SYMBOLS WITH DARKER LINEWEIGHTS INDICATE EXISTING WALLS, PARTITIONS, DOORS, WINDOWS, OTHER STRUCTURE OR APPLIANCES. DIMENSIONS TO BE DEMOLISHED, REMOVED, OR RELOCATED (TYPICAL UNLESS NOTED OTHERWISE) ON THE DEMOLITION PLAN.
 - SOLID SYMBOLS INDICATE NEW WALLS, PARTITIONS, DOORS, WINDOWS, OTHER STRUCTURE OR APPLIANCES. DIMENSIONS TO BE CONSTRUCTED. SEE PARTITION TYPES FOR WALL MAKE UP.
 - DOTTED SYMBOLS WITH HATCHED INFILL INDICATES TEMPORARY WALLS, PARTITIONS, DOORS, WINDOWS, OTHER STRUCTURE OR APPLIANCES. DIMENSIONS TO BE CONSTRUCTED. SEE PARTITION TYPES FOR WALL MAKE UP.

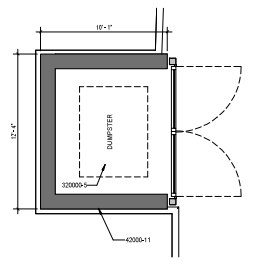
- ### WALL PARTITION TYPE NOTES
1. ALL PARTITIONS ARE OF TYPE #46B UNLESS OTHERWISE NOTED.
 2. REFER TO PLAN AND WALL SECTIONS FOR THE CONSTRUCTION OF ALL EXTERIOR WALLS.
 3. WALLS INDICATED TO HAVE A RATING, FIRE OR SOUND, SHALL EXTEND TO THE DECK STRUCTURE ABOVE AND BE SEALED TIGHT.
 4. ALL INTERIOR METAL STUDS AND MBRG. FRAMING SHALL BE 20 GA. UNLESS NOTED OTHERWISE.
 5. ALL INTERIOR COLUMN WRAPS TO BE METAL STUD FRAMING W/ 5/8" GYPSUM BOARD TO 2" MIN. ABOVE AUL. CEILING, UNLESS INDICATED OTHERWISE.

- ### PLAN CONSTRUCTION KEYNOTES
- 42005-11 EXISTING 8'-0" TALL WALL OF 4" BRICK AND 2" BLOCK WALL TO REMAIN. EXISTING WALL CLEAN WALL AND PAINT TO MATCH BUILDING ON BOTH SIDES. COLOR TO BE SHERMAN WALLPAPER STAMPED CONCRETE.
 - 44313-10-42 8" INSULATED LIGHTSTONE WALL CAP REQUIRED TO STRUCTURE BELOW. CAP TO BE SLOPED TWO WAYS AWAY. FINAL COLOR TO BE SELECTED BY ARCHITECT.
 - 041616-12 SHOP FABRICATED PLASTIC LAMINATE COUNTERTOP. TOP OF COUNTERTOP TO BE FINISHED 32" AFF. PROVIDE BRACKET AS NEEDED TO SUPPORT COUNTERTOP. PLASTIC LAMINATE TO BE PLAIN. REFER TO INTERIOR FINISH LEGEND.
 - 123681-16 QUANTZ COUNTERTOP. SEE FINISH PLANS FOR LOCATIONS & COLORS. SEE ALL SERIES SHEETS FOR COUNTERTOP HEIGHTS.
 - 330000-05 8" HIGH x 14'-0" WIDE ALUM. LOCKABLE GATE W/ DOUBLE DOORS. UPPER FASTENING INDENTATION BELLS PROVIDE 6" DIAMETER POST AT EACH JOB SET MINIMUM 4'-0" DEEP INTO EXISTING CONCRETE. GATE EQUAL TO ADJACENT TOTAL EQUIPSET IN STANDARD BLACK COLOR. PROVIDE SLIDE BOLT.

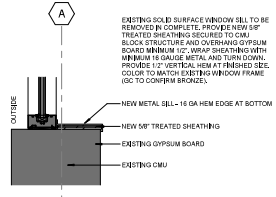


TOILET ACCESSORY SCHEDULE

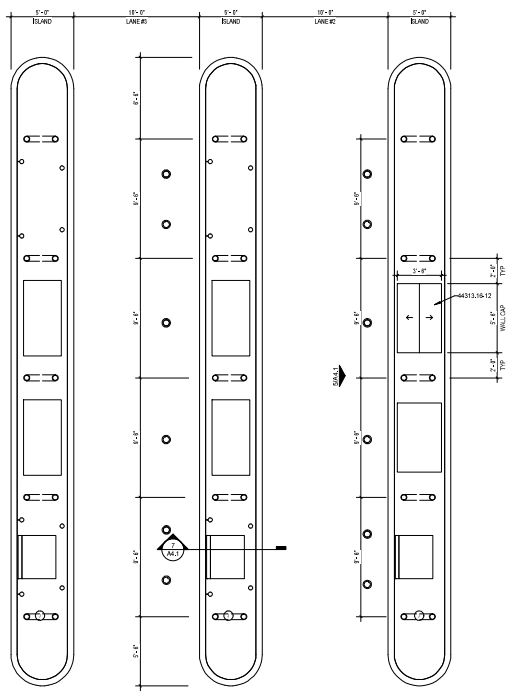
ITEM	NAME	MANUFACTURER	MODEL NUMBER
1	GRAB BAR - 16" LONG (VERTICAL)	BOBROCK OR EQUAL	BR3000 SERIES
2	GRAB BAR - 36" LONG	BOBROCK OR EQUAL	BR3000 SERIES
3	GRAB BAR - 42" LONG	BOBROCK OR EQUAL	BR3000 SERIES
4	PAPER TOWEL DISPENSER & TRASH RECEPTACLE (RECESSED)	COWNER PROVIDED & INSTALLED	
5	TOILET TISSUE HOLDER, SURFACE-MOUNTED	COWNER PROVIDED & INSTALLED	
6	SANITARY NAPAIN DISPOSAL, SURFACE-MOUNTED	COWNER PROVIDED & INSTALLED	
7	20X30 WIPERON	BOBROCK OR EQUAL	BR3000 SERIES
8	SOAP DISPENSER	COWNER PROVIDED & INSTALLED	



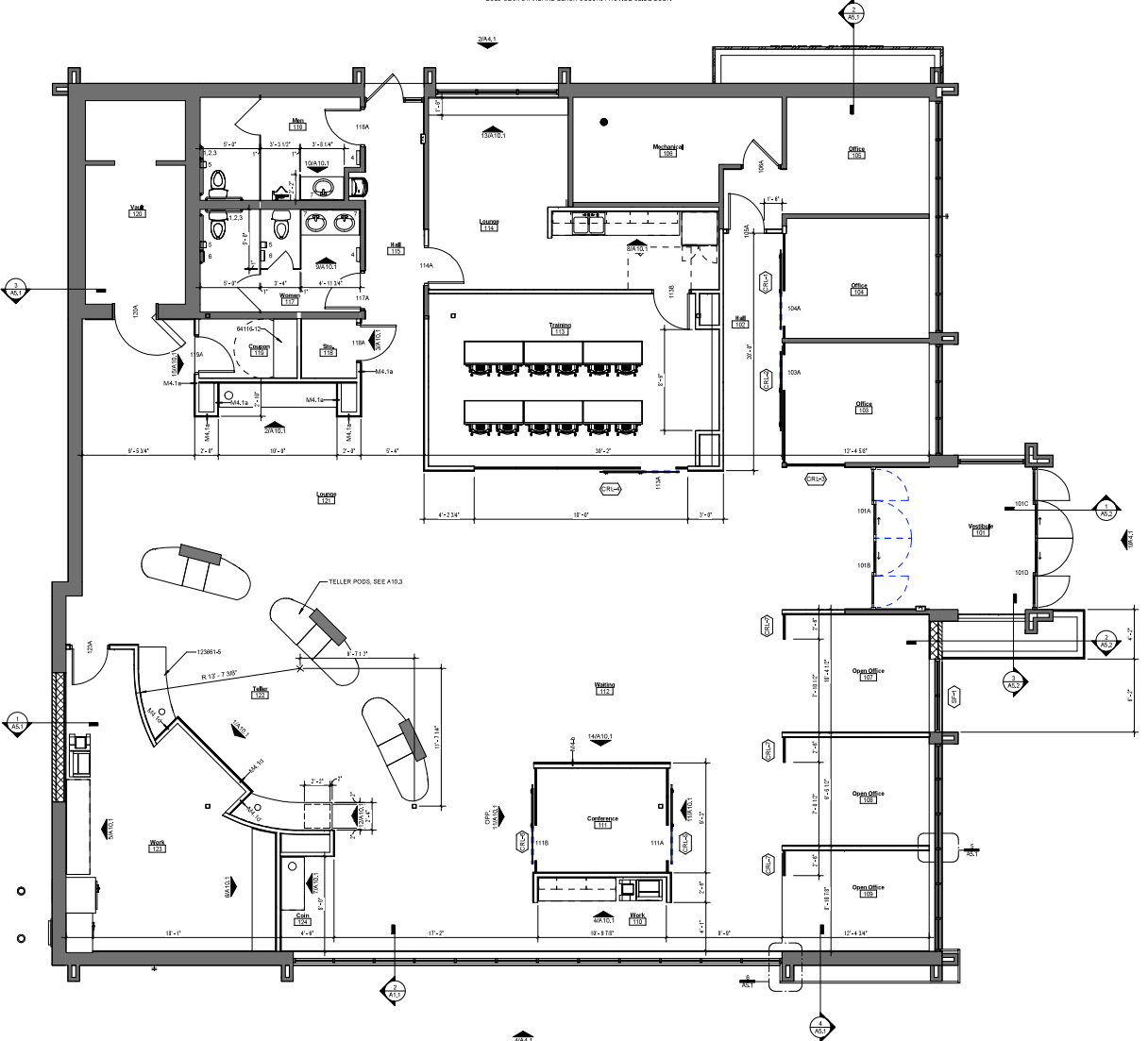
3 Dumpster Pad Plan
SCALE: 1/4" = 1'-0"



2 Window Sill Detail
SCALE: 1/16" = 1'-0"



1 Floor Plan - Main Level
SCALE: 1/4" = 1'-0"

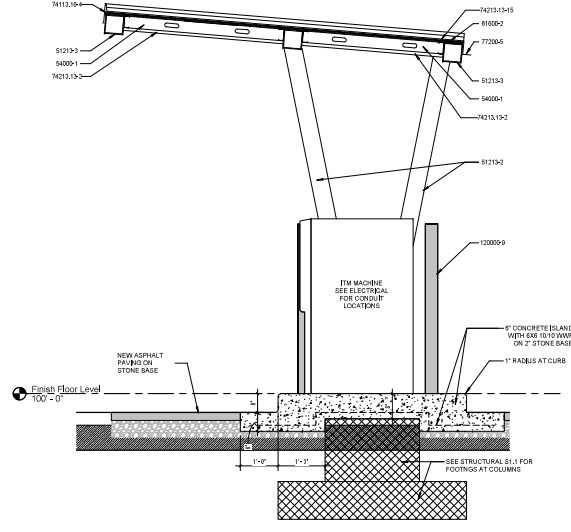




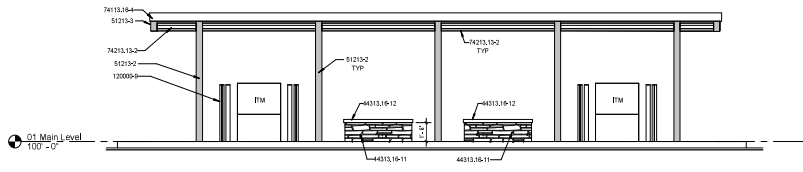
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EXTERIOR ELEVATION KEYNOTES

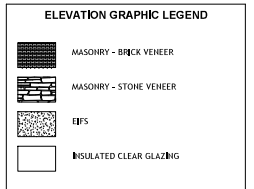
- 42113-1 EXISTING BRICK VENEER TO REMAIN, CLEAN AND PREPARE FOR NEW BRICK STAIN. COLOR TO BE SHERRIN VILLAGES STAMPED CONCRETE.
- 44313-16 ACHIEVED ARCHITECTURAL STONE VENEER OVER EXISTING CAST STONE BASE. EXISTING BRICK TO BE CLEANED AND PREPARED FOR NEW ARCHITECTURAL STONE VENEER PER MASONRY VENEER MANUFACTURER'S ASSOCIATION INSTALLATION GUIDELINES. STONE TO RANDOM PATTERN - ELDORADO, LEDGESOUT 33 BRCK, BLEND LEDGESOUT.
- 44313-19-1 ACHIEVED ARCHITECTURAL STONE VENEER OVER NEW 4" CMU BLOCK. INSTALL NEW ADHERED STONE MASONRY PER MASONRY VENEER MANUFACTURER'S ASSOCIATION INSTALLATION GUIDELINES FOR CMU BACKUP WALL. STONE TO BE RANDOM PATTERN - ELDORADO, LEDGESOUT 33 BRCK, BLEND LEDGESOUT.
- 44313-16-2 BRILLIANT Limestone WALL CAP SECURED TO STRUCTURE BELOW. CAP TO BE SLOPED TWO WAYS AWAY. FINAL COLOR TO BE SELECTED BY ARCHITECT.
- 51213-2 EXPRESSED STEEL COLUMN. SEE STRUCTURAL DRAWINGS. PAINT TO BE HIGH PERFORMANCE MARINE GRADE POLYURETHANE FINISH. ONE COAT PRIMER AND FINISH COAT PER MANUFACTURER'S RECOMMENDATIONS. BASE OF DESIGN: SW ACHOLON ULTRA. COLOR TO BE SELECTED BY ARCHITECT TO MATCH ON. BLUE.
- 51213-4 EXPRESSED STEEL BEAM. SEE STRUCTURAL DRAWINGS. PAINT TO BE HIGH PERFORMANCE MARINE GRADE POLYURETHANE FINISH. ONE COAT PRIMER AND FINISH COAT PER MANUFACTURER'S RECOMMENDATIONS. BASE OF DESIGN: SW ACHOLON ULTRA. COLOR TO BE SELECTED BY ARCHITECT.
- 54000-1 20# METAL STUDS: 18 GA. @ 19" O.C. TOP TRACK TO BE DEFLECTION TRACK.
- 52213-4 EXISTING FENCE TO REMAIN. PAINT COLOR TO MATCH NEW COLOR OF EXISTING ROOF.
- 61900-2 50# POLYWOOD SHEATHING EXTERIOR GRADE.
- 72416-2 EXISTING EPS TO BE CLEANED AND PAINTED. COLOR TO BE OBERLIN VILLAGES - GRIZZLY GRAY.
- 74113-16-3 EXISTING STANDING SEAM METAL ROOF TO REMAIN. PAINT COLOR TO MATCH EXISTING STANDING SEAM METAL ROOF COATING IN STAMPED CONCRETE.
- 74113-16-4 PREFABRICATED METAL FLASH SYSTEM INTEGRATED WITH STANDING SEAM METAL ROOFING. FLASHA SYSTEM TO MATCH EXISTING SEE WITH OWNER.
- 74213-13-1 ARCHITECTURAL METAL PANEL. RAHSCREEN SYSTEM. BASES OF DESIGN: SODICOTE SLEDDO DRY JOINT SYSTEM IN OIL BLUE COLOR. ARCHITECT TO APPROVE FINAL COLOR OPTICAL PANEL. SEE AS SHOWN.
- 74213-13-2 1" PREFINISHED WOOD LOOK METAL SOFFIT PANEL. SYSTEM WOOD TO MATCH IN COLOR AND STYLE OF ALUMINUM METAL WOOD. SEE OF NOTE 7400-1.
- 74213-13-3 PREFINISHED HORIZONTAL METAL CORRUGATED WALL PANEL. BASE OF DESIGN: RHOSANDY NOW IN INTEGRATED CONCRETE FASTENER 2x3 IN CHAMPAGNE COLOR. ARCHITECT TO APPROVE FINAL COLOR SELECTION. PROVIDE MATCHING HORIZONTAL TRIM ALONG BOTTOM EDGE OF PANEL.
- 74213-13-4 PREFINISHED STANDING SEAM METAL ROOF SYSTEM OVER MFR. APPROVED SLIP MEMBRANE. BASES OF DESIGN: KRIBBON MOHR. SEE PROJECT COLOR: CHAMPAGNE (SEE COLOR).
- 74600-1 6" ALUMINUM SIDING. BASES OF DESIGN: LONGBOARD 6" V GROOVE WOOD GRAY (DARK CHERRY). CONFORM FINAL WOOD SELECTION WITH OWNER AND ARCHITECT.
- 77200-4 ALUMINUM RAIN DISPERSION SYSTEM EQUAL TO RAH-HANDLER FASTENED TO STEEL STRUCTURE. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
- 84113-14 THERMOHALL BRUSH ALUMINUM WINDOW WALL SYSTEM TO MATCH EXISTING. GLAZING TO BE LOWE AND MATCH EXISTING TRIM OR WINDOW. FRAME COLOR TO MATCH EXISTING - DARK ANODIZED BRONZE. BASES OF DESIGN: YAMMER. TRIM ASH TO MATCH EXISTING. FINAL COLOR AND SELECTION WITH ARCHITECT AND OWNER.
- 107300-6 EXTRUDED DECCA METAL CANOPY WITH INTEGRAL GUTTER AND SUPPORT ROOF TO BE SAME PER SUPPLIER. LUMBER ALUMINUM GANTRY WITH FINISHED FLAT FINISH AND FLAT FACED WRAP FASCIA WITH ALUMINUM METAL SIDING OF LONGBOARD 6" V GROOVE WOOD GRAY. SUPPORT ROOF TO BE SECURED TO EXISTING BLOCK WALL USING APPROVED MAPES PATTERNS OR APPROVED EQUAL.
- 110000-8 SIGNAGE BY OWNER - G.C. TO PROVIDE AND INSTALL. ACCEPTABLE SIGNAGE BETWEEN STUDS AS REQUIRED. G.C. TO PROVIDE NEW CONDITIED POWER CIRCUIT TO SIGN COORDINATE BOTH WITH OWNER'S VENDOR.
- 120000-4 54" HIGH STEEL PIPE BOLLARD, 4" DIAMETER. PAINTED. ALL 4" BOLLARDS SHALL BE EQUIPPED WITH FINISH FOR MARIAGE. NEW 4" DIAMETER CONCRETE FLEED - FINISHED BOLLARD. PROTECT BOLLARD SUCH THAT STEEL PIPE IS IN THE SAME PLANE AS THE FACE OF ISLAND CURB. BOLLARD TO EXTEND MINIMUM 30" BELOW CONCRETE SURFACE AND BE BURIED WITH 4" WHITE CONCRETE TO BOLLARD. COORDINATE FINAL LOCATIONS WITH OWNER'S BANK EQUIPMENT SUPPLIER. FIN DESCRIPTION: CONTOUR-SHELD NARROW EDGE OF 4X4" STEEL PLATE TO QUADRANT POINT OF BOLLARD. FIN TO START APPROXIMATELY 4" ABOVE TOP OF ISLAND AND EXTEND TO TOP OF BOLLARD.



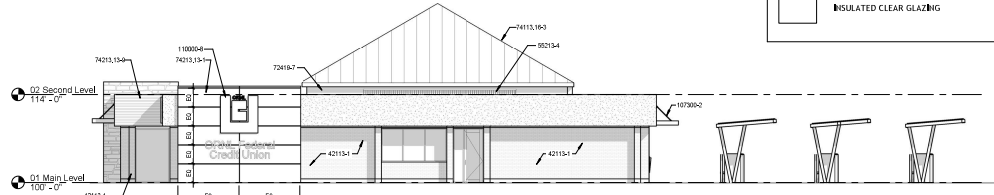
7 ITM Canopy Section
SCALE: 3/4" = 1'-0"



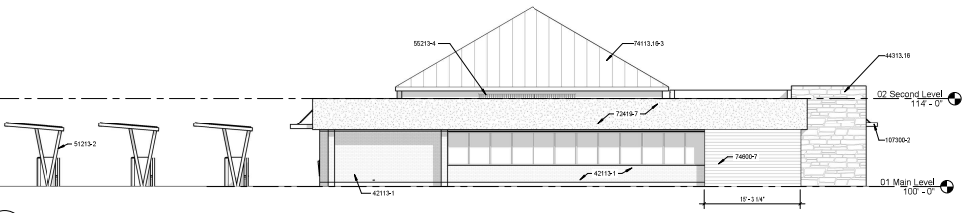
5 ITM Drive-Thru Front Elevation
SCALE: 1/4" = 1'-0"



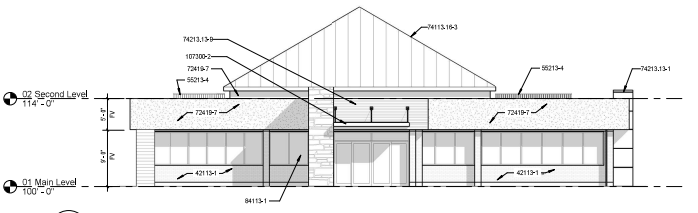
3 Exterior Elevation - West
SCALE: 1/8" = 1'-0"



2 Exterior Elevation - North
SCALE: 1/8" = 1'-0"



4 Exterior Elevation - South
SCALE: 1/8" = 1'-0"



1 Exterior Elevation - East
SCALE: 1/8" = 1'-0"

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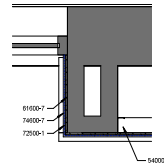
TITLE	
Exterior Elevations	
SHEET	



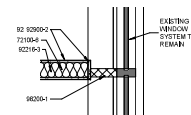
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WALL SECTION KEYNOTES

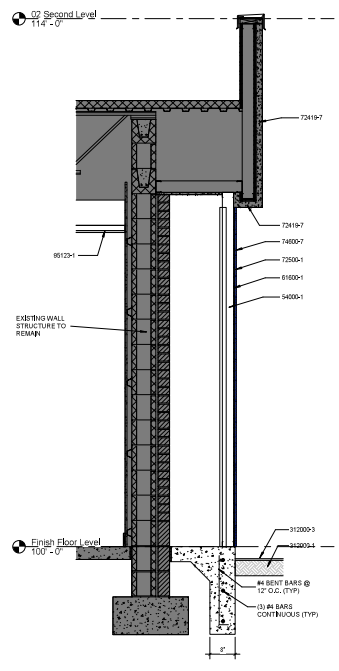
- 33000-12 4" CONCRETE SLAB WITH 6# W/2" X 2" X 8" W/W OVER 15 MIL VAPOR BARRIER OVER 4" MIN COMPACTED/TESTED GRADED STONE AND 12" COMPACTED STRUCTURAL FILL WITH TURN-DOWN TO EXISTING FOUNDATION.
- 33000-13 1/2" EXPANSION JOINT
- 33000-16 8# REBAR EPOXY FINISH TO EXISTING AT 3# O.C.
- 4213-3 FACE BRK, VENEER, MODULAR, SOLDIER COURSE SECURED AS NOTED IN 4213-4 ABOVE.
- 51200-18 EXISTING STEEL BEAM TO REMAIN. PROTECT DURING DEMOLITION.
- 54000-1 3/8" METAL STUDS, 18 GA. @ 16" O.C., TOP TRACK TO BE DEFLECTION TRACK.
- 54000-3 6" GALVANIZED METAL STUDS, 18 GA @ 16" O.C., TOP TRACK TO BE DEFLECTION TRACK (VENEER REQUIRED AT STRUCTURAL CONNECTIONS).
- 54000-13 3/8" GALVANIZED METAL STUD, 18 GA @ 16" O.C., SECURE NEW BOTTOM TRACK TO EXISTING CONSTRUCTION METAL STUDS AT PARAPET WALL.
- 54000-14 1/2" PLYWOOD SHEATHING EXTERIOR GRADE
- 61000-1 1/2" FIRE RATED PLYWOOD SHEATHING WITH PLASTIC LAMINATE FACED FEATURE WALL. INCLUDES WALL RETURN. SEE FINISH SCHEDULE.
- 72100-6 SOUND ATTENUATION BATT INSULATION
- 72116-6 NEW DRAINABLE EPS SYSTEM ON 2" INSULATION BOARD SECURED TO SUBSTRATE. BASES OF DESIGN SYSTEM NEXT SYSTEM. FINISH TO MATCH EXISTING EPS FINISH SCHEDULE FOR COLOR.
- 72416-7 EXISTING EPS TO BE CLEANED AND PAINTED. COLOR TO BE SHERMAN VELMAINS-GRILLICE GRAY.
- 72500-1 WEATHER BARRIER MEMBRANE SYSTEM COMPLETE. EQUAL TO 'UPPOINT' TYPE COMMERCIAL MAP.
- 74213-13-1 ARCHITECTURAL METAL PANEL RAINSCREEN SYSTEM-BASIS OF DESIGN: SHOWER DRABURY JOINT SYSTEM IN DRINK BLUE COLOR. ARCHITECT TO APPROVE FINAL COLOR OPTION. PANEL SEE AS SHOWN.
- 74213-13-10 PREFINISHED METAL COILING CLIP DOWN CONCEALED FASTENER SYSTEM TO BE COLOR MATCHED TO METAL PANEL.
- 74600-7 6" ALUMINUM BEAMS, BASES OF DESIGN. LONGBOARD 6" V GROOVE WOOD GRAB LARK CREST. CONTRY FIN. WOOD SELECTED BY OWNER AND ARCHITECT.
- 7532-2 NEW SINGLE PLY MEMBRANE FLASHING. RUN UP UNDER COILING AND DOWN FACE 2" MIN. AND OVER ROOF MEMBRANE 4" MIN.
- 7542-1 SINGLE PLY ROOFING MEMBRANE SYSTEM.
- 76000-1 SHOP FABRICATED, PREFINISHED, SHEET METAL ROOF & WALL FLASHING. REFER TO 'BRACKING' CHAPTER # FOR APPLICATIONS AND DETAILS. THE NEW FLASHING AND MEMBRANE SYSTEM FIT TO EXISTING ROOF SYSTEM.
- 76000-6 EPS MANUFACTURER APPROVED TERNUMETER BAR WITH CONTINUOUS BEAD OF SEALANT AND COUNTERFLASHING. INSTALL MINIMUM 4 INCHES BELOW EXISTING MEMBRANE OR PER MANUFACTURER'S RECOMMENDATIONS.
- 8216-3 3/8" METAL STUDS, 20 GA. @ 16" O.C. SECURED TO UNDERSIDE OF STRUCTURE. PROVIDE DEFLECTION TRACK AT TOP TRACK.
- 8216-16 3/8" METAL STUDS, 20 GA. @ 16" O.C. SECURED TO STRUCTURE ABOVE. PROVIDE DEFLECTION FRAMING AT TOP TRACK.
- 82600-0 8# TYPE 'C' DFR. RD. HANDED. SEE FINISH SCHEDULE
- 85123-1 2"x2" SUSPENDED ACOUSTICAL TILE (ACT) SYSTEM. SEE REFLECTED CEILING PLAN FOR SIZE & LOCATIONS.
- 85200-1 ACOUSTICAL JOINT FILLER BETWEEN GYPSUM WALL AND WINDOW MULLION BASES OF DESIGN. BASES SUBMIT JOINT SW-COLOR TO BE SELECTED BY ARCHITECT.
- 91200-4 FINISHED GRADE. SLOPE AWAY FROM STRUCTURE.
- 91200-3 RIVER ROCK MULCH-MATCH EXISTING ROCK USED AT SITE



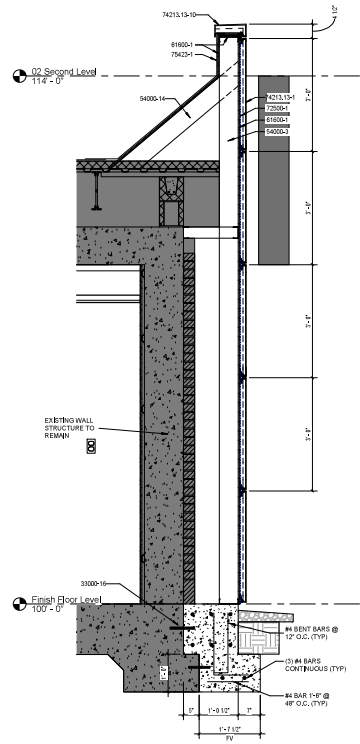
6 Enlarged Wood Wall Plan Detail
SCALE: 1" = 1'-0"



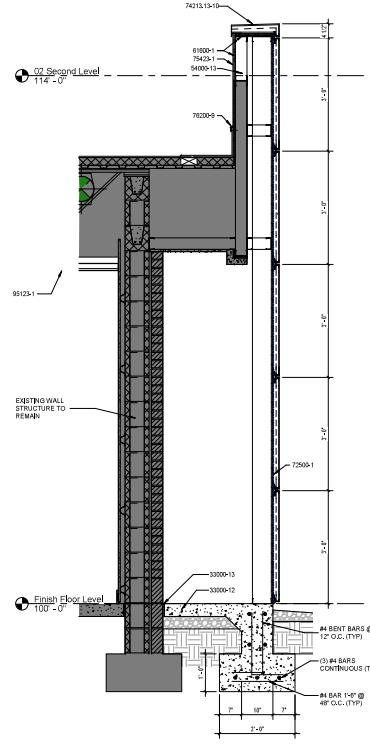
5 Enlarged Wall at Window Mullion
SCALE: 1" = 1'-0"



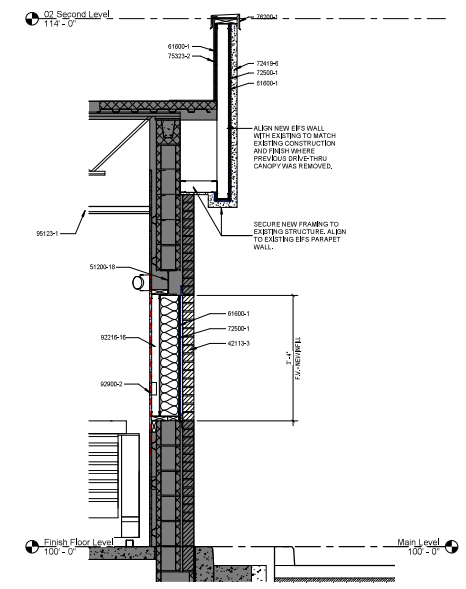
4 Wood Wall
SCALE: 3/4" = 1'-0"



3 Metal Panel Wall Section
SCALE: 3/4" = 1'-0"



2 Metal Panel Wall
SCALE: 3/4" = 1'-0"



1 Infill Wall
SCALE: 3/4" = 1'-0"

NO.	REVISIONS DESCRIPTION	DATE

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TITLE

Wall Sections

SHEET

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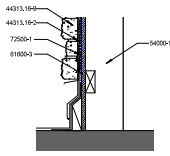
ORNL FEDERAL CREDIT UNION
FARRAGUT BRANCH
FARRAGUT, TENNESSEE



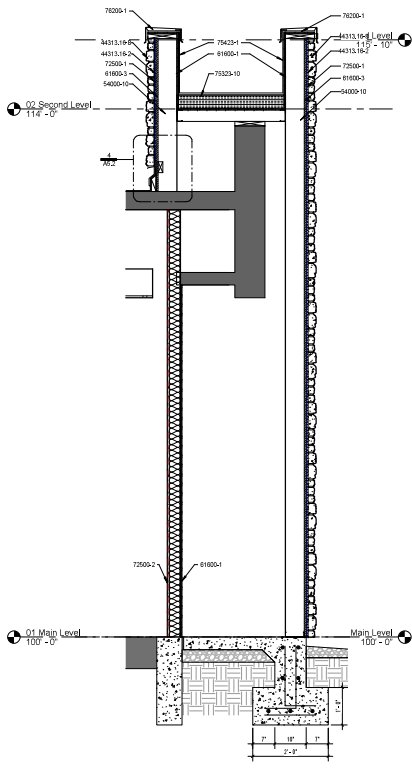
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WALL SECTION KEYNOTES

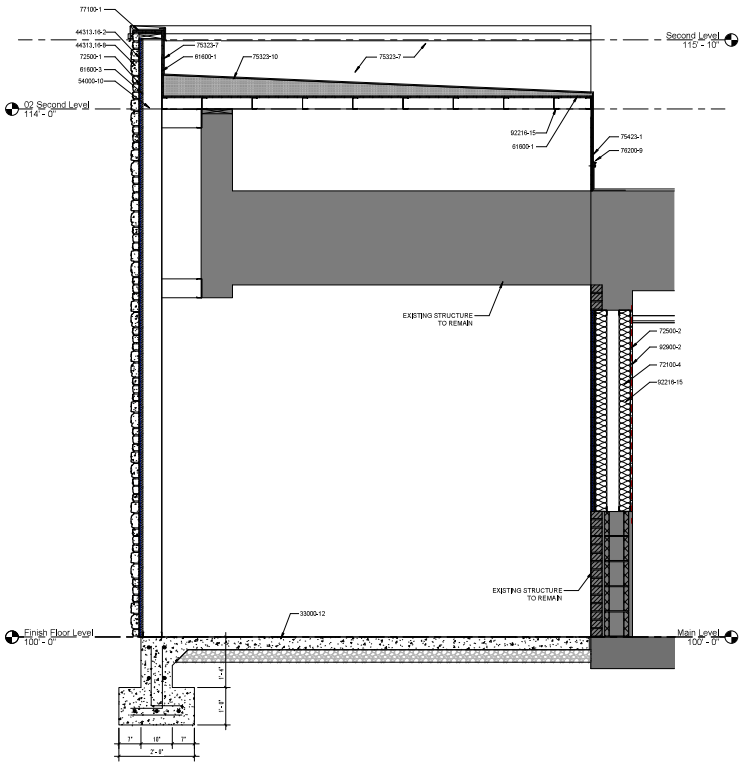
- 33000-12 4" CONCRETE SLAB WITH 6#12@24"X 8" W/AF OVER 16 MIL VAPOR BARRIER OVER 4" MIN COMPACTED CRUSHED STONE AND 12" COMPACTED STRUCTURAL FILL WITH TURNDOWN TO EXISTING FOUNDATION.
- MOISTURE BIEE
- 44313.16-2 ADHERED ARCHITECTURAL STONE VENEER, STONE TO BE RANDOM PATTERN - EXISTING LEDESSECT 33 BROWN BLEND LEDESSTONE.
- 54000-10 6" GALVANIZED METAL STUD, 18 GA. @ 16" O.C.
- 61800-1 1/2" PLY WOOD SHEATHING, EXTERIOR GRADE
- 61800-3 5/8" DENS-GUAF SHEATHING WITH TAPED JOINTS.
- 72100-4 5/4" BATT INSULATION (MIN. R-13)
- 72500-1 WEATHER BARRIER MEMBRANE SYSTEM COMPLETE, EQUAL TO "DUPONT" TYVEK COMMERICAL WRAP.
- 72500-2 8 MIL PLASTIC VAPOR BARRIER ON WARM SIDE OF INSULATION, TAPE ALL JOINTS.
- 74213.13-9 PREFINISHED HORIZONTAL METAL CORRUGATED WALL PANEL, BASES OF DESIGN - RINGSPAN MODRN INTEGRITY SERIES CONCEALED FASTENER, IN 1/2" CHAMFERED COLOR, ARCHITECT TO APPROVE FINAL COLOR SELECTION. PROVIDE MATCHING HORIZONTAL TRIM ALONG BOTTOM EDGE OF PANEL.
- 75320-7 SINGLE PLY MEMBRANE FLASHING, RUN UP UNDER COPING AND DOWN FACE 2" MINIMUM AND OUTSIDE EXISTING ROOF TO THE EXISTING MEMBRANE ROOFING SYSTEM WITH TERMINATION BAR.
- 75320-10 NEW 2-PLY PLY MEMBRANE FLASHING OVER NEW ADHERED TAPERED POLYISOCYANURATE INSULATION, BUILD UP INSULATION TO ACHIEVE MINIMUM SLOPE OF 1/8" TO THE EXISTING ROOFING MEMBRANE.
- 76200-1 SINGLE PLY ROOFING MEMBRANE SYSTEM.
- 76200-9 SHEET PILING, PREFINISHED, SHEET METAL, ROOF & WALL FLASHING, REFER TO "SMACNA CHAPTER 4 FOR APPLICATIONS AND DETAILS", THE NEW FLASHING AND MEMBRANE SYSTEM INTO EXISTING ROOF SYSTEM.
- 76200-9 6" 20# MANUFACTURER APPROVED TERMINATION BAR WITH CONTINUOUS BEAD OF SEALANT AND COUNTER FLASHING. INSTALL MINIMUM 4" RICHES BELOW EXISTING MEMBRANE OR PER MANUFACTURER'S RECOMMENDATIONS.
- 76200-10 REMOVE EXISTING COPING TO RECEIVE NEW METAL COPING FOR NEW METAL WALL PANEL, MATCH EXISTING COPING COLOR. TIE INTO EXISTING COPING WITH NEOLCALK AND SEALS.
- 77100-1 PREFINISHED METAL COPING SYSTEM, SINGLE SLOPE, SHAWN OVER METAL FLASH SECURED TO SUBSTRATE, INCLUDING SPRINGON CLOSURE AT EACH JOINT, REFER TO "SMACNA DETAIL 3.4 SERIES, 3-48" METAL STUD, 20 GA. @ 16" O.C.
- 82216-15 60# TYPE "X" O/P, BL. PAINTED, SEE FINISH SCHEDULE
- 107300-2 EXTRUDED DECK METAL CANOPY WITH BEZEL, GUTTER AND SUPPORT RODS TO BE HAPPS SUPER LUMINOX ALUMINUM CANOPY WITH EXTRUDED FLAT FOOT FLASHING, W/AF FROM METAL ALUMINUM METAL BEZEL OF LONGSHARD 4" GROOVE WOOD GRAIN, SUPPORT RODS TO BE SECURED TO EXISTING WALL USING APPROVED HAPPS FASTENER OR APPROVED EQUAL.
- 107300-3 THRU BOLT CONNECTION WITH COMPRESSION SLUVE SECURED TO EXISTING METAL STUD OR OTHER APPROVED MANUFACTURED APPROVED CONNECTION.
- 107300-4 REMOVE EXISTING EPS FINISH TO PROVIDE WOOD BLOCCING FOR CONNECTION POINT OF EXTRUDED METAL CANOPY.
- 107300-5 PROVIDE TERMINATION CAP AT UNDERSIDE OF CANOPY TO TIE INTO EXISTING FINISH.



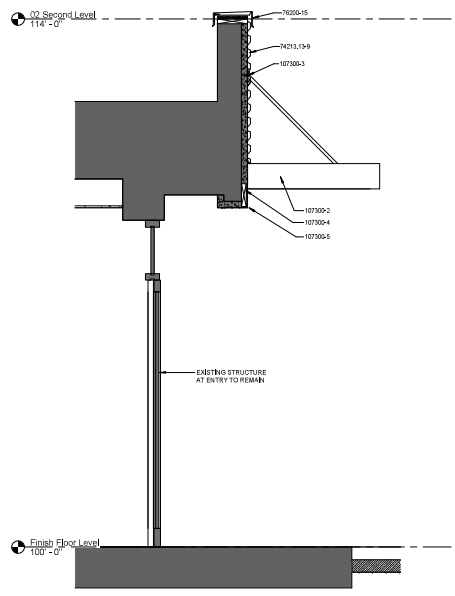
4 Enlarged Stone Wall Section
SCALE: 1/12" = 1'-0"



3 Stone Wall Section
SCALE: 3/4" = 1'-0"



2 Stone Wall and Vestibule
SCALE: 3/4" = 1'-0"



1 Entry Canopy Section
SCALE: 3/4" = 1'-0"

REVISIONS		
NO.	DESCRIPTION	DATE

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05/17/2019	2018.0122

TITLE

Wall Sections

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WINDOW GLAZING AND FRAME TYPES

NOTES

- A. ALL ALUM. WINDOW FRAMES SHALL SHOW WALL ASSEMBLY UNLESS NOTED OTHERWISE OR INDICATED IN THE DETAILS.
- B. ALL ALUM. FRAMES ARE TO BE PAINTED. SEE ROOM FINISH SCHEDULE FOR ADDITIONAL INFORMATION.
- C. ALL GLAZING TO MEET REQUIREMENTS FOR CHAPTER 34, 2015 INTERNATIONAL BUILDING CODE.
- D. ALL WINDOW FRAMES ARE TO RECEIVE SEALANT BOTH SIDES, TYP.
- E. WINDOW FRAME DIMENSIONS SHOWN ARE NOMINAL.

SYMBOLS LEGEND

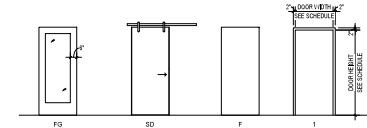
- ◇ 1/4" ANNEALED GLASS. SEE SPECIFICATIONS
- ◇ 1/4" TEMPERED GLASS. SEE SPECIFICATIONS
- ◇ INSULATED, HEAT-STRENGTHENED. SEE SPECIFICATIONS
- ◇ INSULATED, FULLY-TEMPERED GLAZING. SEE SPECIFICATIONS
- ◇ INSULATED, STRUCTURAL SILICONE GLAZING.
- ◇ INSULATED, HEAT-STRENGTHENED, SPANDREL GLASS. SEE SPECIFICATIONS
- ◇ INSULATED, METAL PANEL (PREFINISHED).
- ◇ COVER BY MECHANICAL.

DOOR SCHEDULE COMMENTS

- 1. EXISTING ENTRY SLIDING GLASS DOOR TO BE RELOCATED. SEE ARCHITECTURAL.
- 2. SLIDING BARN DOOR BASE OF DESIGN CRL LAGUNA SERIES GLASS DOOR AND WALL MOUNT SINGLE GLIDER NOT CATALOG #500000
- 3. ORNL FURNISHED "OCCUPIED AND OCCUPIED" THUMB LOCK
- 4. NEW DOOR AT EXISTING DOOR FRAME. PAINT FRAME-SEE FINISH SCHEDULE
- 5. CARD-READER, COORDINATE WITH SECURITY VENDOR
- 6. DAY GATE.

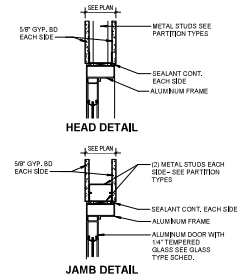
DOOR SCHEDULE									
NO.	DOOR		FRAME		HEAD/ JAMBS	FIRE RATING	COMMENTS		
	W	H	MAT.	ELEV.				MAT.	ELEV.
101A	2'-2 1/2"	10'-7 1/2"	7'-0"	1-3/4"	AL	EXIST	EXIST	304.3	1
101B	2'-2 1/2"	10'-7 1/2"	7'-0"	1-3/4"	AL	EXIST	EXIST	304.3	1
102A	3'-4"	7'-0"	7'-0"	1-3/4"	GLASS	SD	-	104.3	2
102B	3'-4"	7'-0"	7'-0"	1-3/4"	GLASS	SD	-	104.3	2
102C	3'-4"	7'-0"	7'-0"	1-3/4"	GLASS	SD	-	104.3	2
102D	3'-4"	7'-0"	7'-0"	1-3/4"	GLASS	SD	-	104.3	2
102E	3'-4"	7'-0"	7'-0"	1-3/4"	GLASS	SD	-	104.3	2
102F	3'-4"	7'-0"	7'-0"	1-3/4"	GLASS	SD	-	104.3	2
102G	3'-4"	7'-0"	7'-0"	1-3/4"	GLASS	SD	-	104.3	2
102H	3'-4"	7'-0"	7'-0"	1-3/4"	GLASS	SD	-	104.3	2
102I	3'-4"	7'-0"	7'-0"	1-3/4"	GLASS	SD	-	104.3	2
102J	3'-4"	7'-0"	7'-0"	1-3/4"	GLASS	SD	-	104.3	2
102K	3'-4"	7'-0"	7'-0"	1-3/4"	GLASS	SD	-	104.3	2
102L	3'-4"	7'-0"	7'-0"	1-3/4"	GLASS	SD	-	104.3	2
102M	3'-4"	7'-0"	7'-0"	1-3/4"	GLASS	SD	-	104.3	2
102N	3'-4"	7'-0"	7'-0"	1-3/4"	GLASS	SD	-	104.3	2
102O	3'-4"	7'-0"	7'-0"	1-3/4"	GLASS	SD	-	104.3	2
102P	3'-4"	7'-0"	7'-0"	1-3/4"	GLASS	SD	-	104.3	2
102Q	3'-4"	7'-0"	7'-0"	1-3/4"	GLASS	SD	-	104.3	2
102R	3'-4"	7'-0"	7'-0"	1-3/4"	GLASS	SD	-	104.3	2
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102U	3'-4"	7'-0"	7'-0"	1-3/4"	GLASS	SD	-	104.3	2
102V	3'-4"	7'-0"	7'-0"	1-3/4"	GLASS	SD	-	104.3	2
102W	3'-4"	7'-0"	7'-0"	1-3/4"	GLASS	SD	-	104.3	2
102X	3'-4"	7'-0"	7'-0"	1-3/4"	GLASS	SD	-	104.3	2
102Y	3'-4"	7'-0"	7'-0"	1-3/4"	GLASS	SD	-	104.3	2
102Z	3'-4"	7'-0"	7'-0"	1-3/4"	GLASS	SD	-	104.3	2
103A	3'-0"	7'-0"	7'-0"	1-3/4"	WD	F	HD	1	304.3
103B	3'-0"	7'-0"	7'-0"	1-3/4"	WD	F	HD	1	304.3
103C	3'-0"	7'-0"	7'-0"	1-3/4"	WD	F	HD	1	304.3
103D	3'-0"	7'-0"	7'-0"	1-3/4"	WD	F	HD	1	304.3
103E	3'-0"	7'-0"	7'-0"	1-3/4"	WD	F	HD	1	304.3
103F	3'-0"	7'-0"	7'-0"	1-3/4"	WD	F	HD	1	304.3
103G	3'-0"	7'-0"	7'-0"	1-3/4"	WD	F	HD	1	304.3
103H	3'-0"	7'-0"	7'-0"	1-3/4"	WD	F	HD	1	304.3
103I	3'-0"	7'-0"	7'-0"	1-3/4"	WD	F	HD	1	304.3
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103K	3'-0"	7'-0"	7'-0"	1-3/4"	WD	F	HD	1	304.3
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103M	3'-0"	7'-0"	7'-0"	1-3/4"	WD	F	HD	1	304.3
103N	3'-0"	7'-0"	7'-0"	1-3/4"	WD	F	HD	1	304.3
103O	3'-0"	7'-0"	7'-0"	1-3/4"	WD	F	HD	1	304.3
103P	3'-0"	7'-0"	7'-0"	1-3/4"	WD	F	HD	1	304.3
103Q	3'-0"	7'-0"	7'-0"	1-3/4"	WD	F	HD	1	304.3
103R	3'-0"	7'-0"	7'-0"	1-3/4"	WD	F	HD	1	304.3
103S	3'-0"	7'-0"	7'-0"	1-3/4"	WD	F	HD	1	304.3
103T	3'-0"	7'-0"	7'-0"	1-3/4"	WD	F	HD	1	304.3
103U	3'-0"	7'-0"	7'-0"	1-3/4"	WD	F	HD	1	304.3
103V	3'-0"	7'-0"	7'-0"	1-3/4"	WD	F	HD	1	304.3
103W	3'-0"	7'-0"	7'-0"	1-3/4"	WD	F	HD	1	304.3
103X	3'-0"	7'-0"	7'-0"	1-3/4"	WD	F	HD	1	304.3
103Y	3'-0"	7'-0"	7'-0"	1-3/4"	WD	F	HD	1	304.3
103Z	3'-0"	7'-0"	7'-0"	1-3/4"	WD	F	HD	1	304.3

DOOR HARDWARE IS TO BE PROVIDED BY FM, GEORGE FRING MESECO LOCKS, ETC TO COORDINATE AND SUBMIT DOOR SCHEDULE TO ARCHITECT FOR FINAL APPROVAL WITH VENDOR.



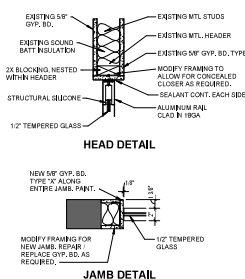
Door & Frame Elevations

SCALE: 1/4" = 1'-0"



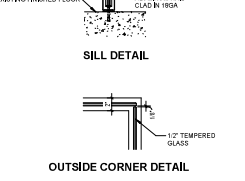
2 Metal Stud - Alum Frame

SCALE: 1 1/2" = 1'-0"



3 Metal Stud - HM Frame

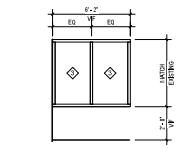
SCALE: 1 1/2" = 1'-0"



1 Metal Stud - Glass Wall Details

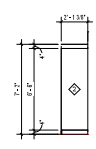
SCALE: 1 1/2" = 1'-0"

NOTE: NEW WINDOW TO MATCH EXISTING IN FRAME AND GLASS COLOR.



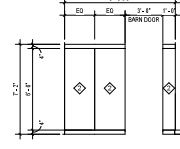
SF-1

SCALE: 1/4" = 1'-0"



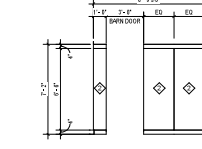
CRL-7

SCALE: 1/4" = 1'-0"



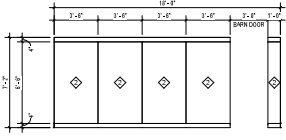
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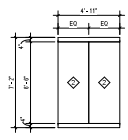
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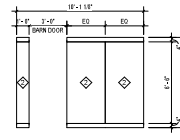
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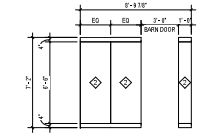
CRL-3

SCALE: 1/4" = 1'-0"



CRL-2

SCALE: 1/4" = 1'-0"



CRL-1

SCALE: 1/4" = 1'-0"

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Frame Elevations, Schedules & Details

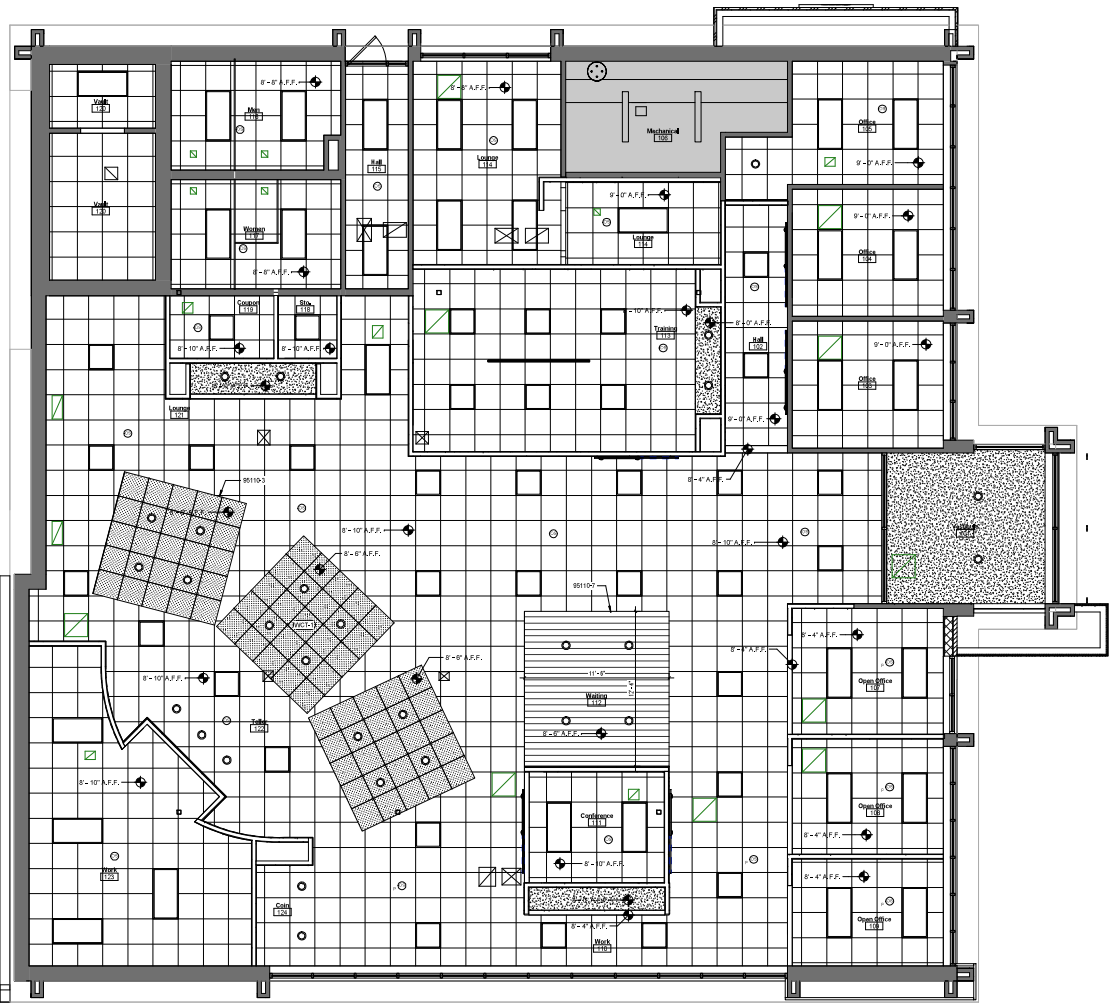
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- GENERAL RCP NOTES**
- 1 ALL SUSPENDED ACOUSTICAL CEILING TILE TO BE 9'-0" A.F.F., UNLESS NOTED OTHERWISE.
 - 2 ALL ELEVATION MARKS MEASURED FROM DESIGNATED FLOOR TO CEILING SURFACE.
 - 3 PAINT ALL HORIZONTAL AND VERTICAL GYP. BD. BULKHEADS. SEE FINISH SCHEDULE FOR PAINT.

- REFLECTED CEILING PLAN KEYNOTES**
- 55115-3 6" FINISH BEVEL A-1800 EDGE TRIM. REFER TO FINISH PLAN FOR FINISH.
- 55115-7 DECORATIVE WOOD CEILING. MOD. AT EXPOSED CLOUD EDGES. PROVIDE WOOD WORKS 4" TRIM. COLOR TO MATCH MOD.



1 Reflected Ceiling Plan - Main Level
SCALE: 1/4" = 1'-0"

RCP SYMBOLS LEGEND

- 2x2' SUSPENDED ACOUSTICAL CEILING TILE AND GRID SYSTEM ACT-1. SEE FINISH LEGEND & SPECIFICATIONS FOR PANEL TYPE.
- 2x2' SUSPENDED WOOD TILE AND GRID SYSTEM WCH-1. SEE FINISH LEGEND & SPECIFICATIONS FOR PANEL TYPE. COORDINATE QUANTITY NEEDED WITH OWNER.
- WOOD PLANK CEILING, WD-4. SEE FINISH LEGEND, PROVIDE 4" WOODWORKS TRIM TO MATCH AT EXPOSED CLOUD EDGES.
- GYP. BD. CEILING. SEE FINISH LEGEND & SPECIFICATIONS FOR PAINT COLOR.
- EXPOSED STRUCTURE ABOVE. SEE GENERAL REFLECTED CEILING PLAN NOTES FOR FINISH REQUIREMENTS.
- SLOPE ARROW - INDICATES SLOPE OF CEILING
- 2x4' FLUORESCENT LIGHT FEATURE
- 2x4' FLUORESCENT LIGHT FEATURE NIGHT LIGHT
- CAN OR PENDANT LIGHT FEATURE
- WALL SCONCE LIGHT FEATURE
- TRACK LIGHT FEATURES
- OCCUPANCY SENSOR
- EMERGENCY LIGHT FEATURE
- EMERGENCY EXIT FEATURE
- SUPPLY AIR DIFFUSER
- RETURN AIR DIFFUSER
- LINEAR SLOT AIR DIFFUSER
- CEILING FAN UNIT

NOTE
SOME SYMBOLS MAY NOT BE USED. SYMBOLS SHOWN ON PLAN ARE FOR REFERENCE ONLY. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.

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TITLE
Reflected Ceiling Plan - Main Level

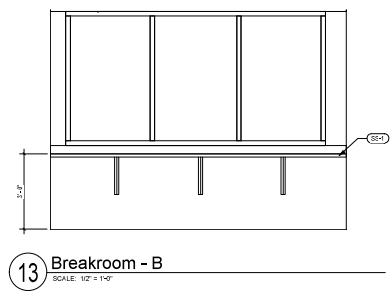
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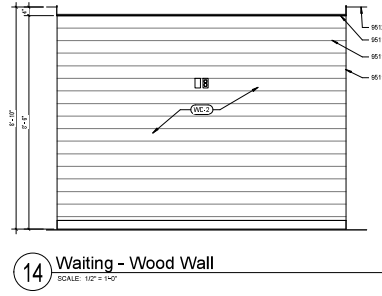
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INTERIOR ELEVATION KEYNOTES

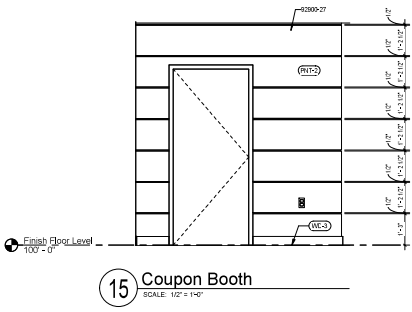
92000-25 1/2" GYP. BD, PAINTED, SEE FINISH SCHEDULE
 92000-27 1/2" FINISHABLE ORIGINAL REPAIRS TO WARP WALL AND EYE INTO CORNER AS CALLED FOR ON FLOOR FINISH PLAN.
 95110-7 DECORATIVE WOOD CEILING, WDC-2, AT SUSPENDED CEILING EDGES PROVIDE WOOD WORKS 4" TRIM, COLOR TO MATCH WDC-2.
 95110-8 DECORATIVE WOOD WALL FINISH, WDC-2, SEE INTERIOR FINISH LEGEND.
 95110-9 AT EDGE OF DECORATIVE WOOD WALL, PROVIDE WOOD WORKING WOOD TRIM, COLOR TO MATCH WDC-2, GROUT TO SEE TO COVER EXPOSED EDGE OF DECORATIVE WOOD WALL.
 95125-1 2" X 2" SOSPENSES ADJUSTABLE TILE LIGHT SYSTEM, SEE REFLECTED CEILING PLAN FOR SIZE & LOCATIONS.
 110000-3 OWNER FURNISHES/OWNER INSTALLED EQUIPMENT, GC TO PROVIDE NEW POWER CIRCUIT AND DATA ROUTING.



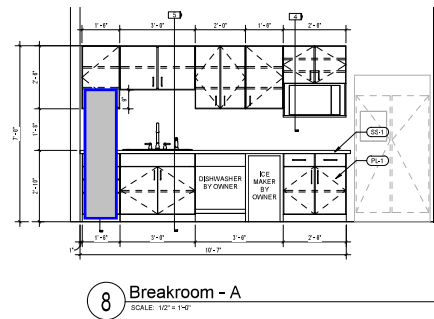
13 Breakroom - B
SCALE: 1/2" = 1'-0"



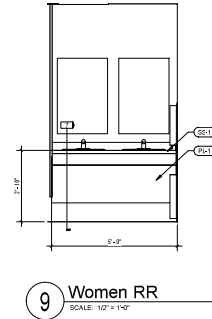
14 Waiting - Wood Wall
SCALE: 1/2" = 1'-0"



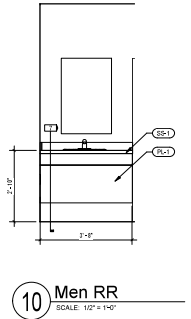
15 Coupon Booth
SCALE: 1/2" = 1'-0"



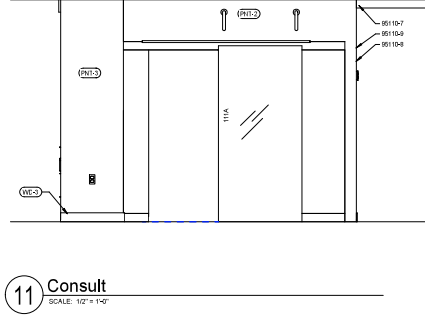
8 Breakroom - A
SCALE: 1/2" = 1'-0"



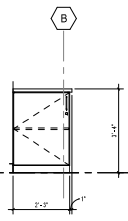
9 Women RR
SCALE: 1/2" = 1'-0"



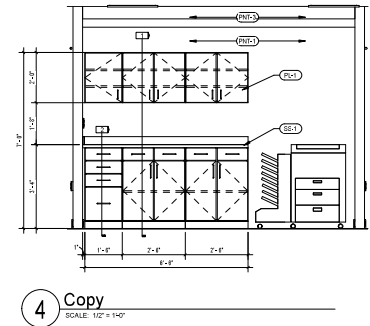
10 Men RR
SCALE: 1/2" = 1'-0"



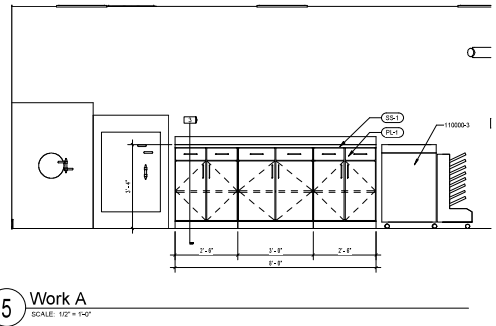
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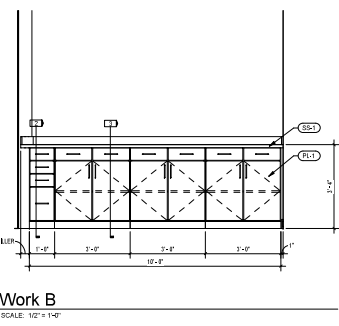
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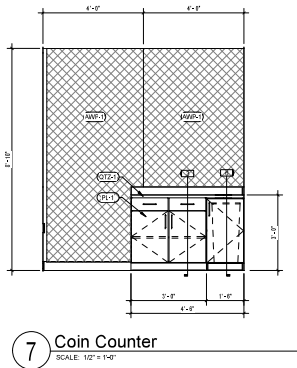
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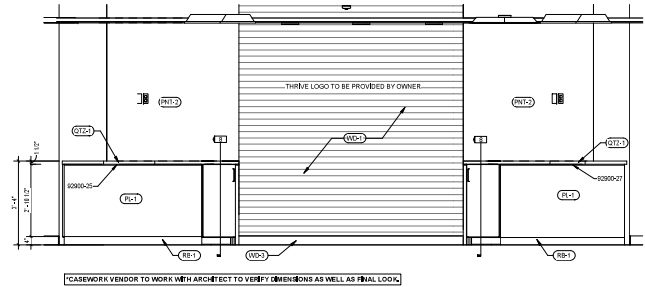
5 Work A
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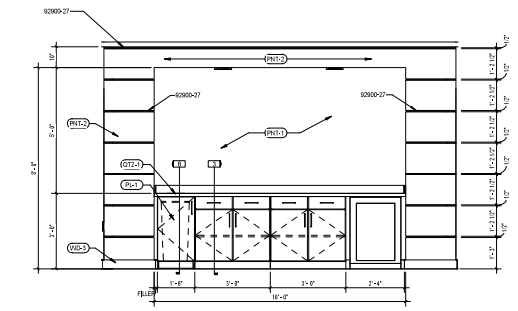
6 Work B
SCALE: 1/2" = 1'-0"



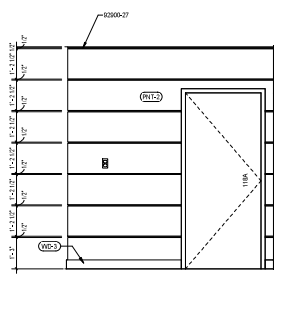
7 Coin Counter
SCALE: 1/2" = 1'-0"



1 Teller - Brand Wall
SCALE: 1/2" = 1'-0"



2 Waiting Coffee Bar
SCALE: 1/2" = 1'-0"



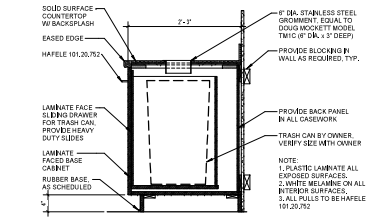
3 Coffee Bar - Side
SCALE: 1/2" = 1'-0"

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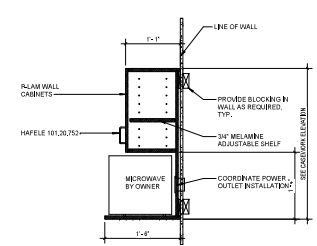
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TITLE	
Interior & Casework Elevations	
SHEET	



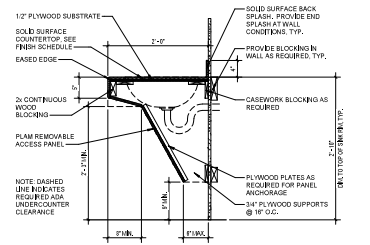
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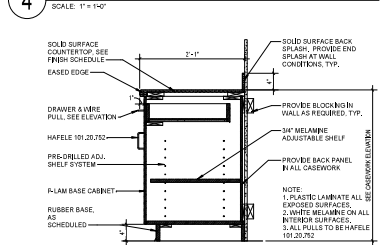
8 Casework - Base - Trash - Sliding - SS - Deep
SCALE: 1" = 1'-4"



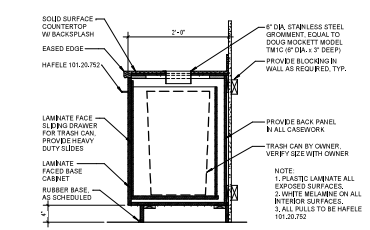
4 Casework - Wall - Micro - PL
SCALE: 1" = 1'-4"



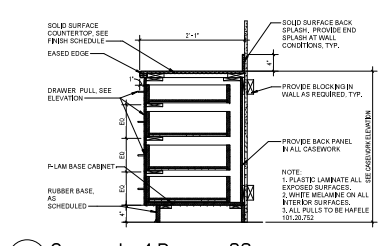
7 Casework - ADA Sink 1 - SS
SCALE: 1" = 1'-4"



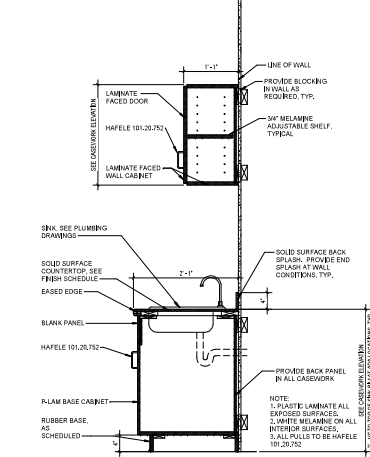
3 Casework - Typ. Base w/ Drawer - SS
SCALE: 1" = 1'-4"



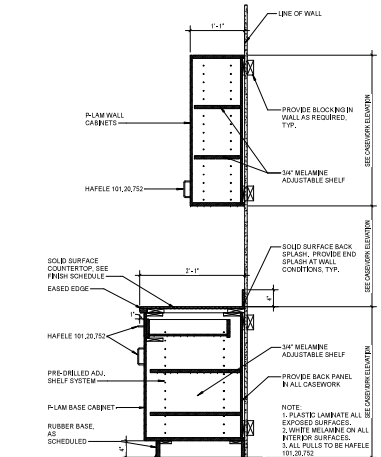
6 Casework - Base - Trash - Sliding - SS
SCALE: 1" = 1'-4"



2 Casework - 4 Drawer - SS
SCALE: 1" = 1'-4"



5 Casework - Typ. Sink Base & Wall - SS
SCALE: 1" = 1'-4"



1 Casework - Typ. Base & Wall - SS
SCALE: 1" = 1'-4"

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Casework Sections

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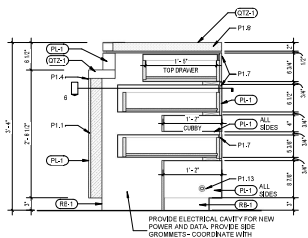
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GENERAL POD CASEWORK NOTES

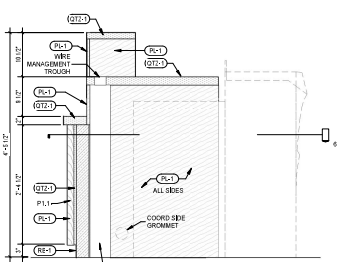
- 1 THERE SHALL BE NO PRE-DRILLED GROUMENTS IN CABINETS. ALL ONITE GROUMENT CUTOUTS ARE TO RECEIVE STAINLESS GROUMENT COVERS.
- 2 ALL ELECTRICAL CUTOUTS ARE TO BE MADE IN THE FIELD.
- 3 ALL DRAWERS TO HAVE PULL EXTEND SLIDES - COLOR BLACK.
- 4 ALL LOCKS ARE TO BE KEYS THE SAME PER BRANCH. WITH THE EXCEPTION OF CASH DRAWERS, EACH BRANCH TO BE KEYS DIFFERENTLY.
- 5 ALL HANDMADE AND DRAWER SLIDES TO BE HEAVY DUTY, COLOR BLACK AT ALL DRAWERS AND PULL OUT SHELVES. DO NOT PROVIDE SOFT CLOSE HANDWARE.
- 6 ALL CASH DRAWERS TO HAVE THEIR OWN LINQUE KEY.
- 7 CONTRACTORS INSTALLED WORK TO COMPLY WITH ALL LOCAL, STATE, AND NATIONAL BUILDING CODES AND THE AMERICANS WITH ABILITY ACT.
- 8 NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO SHOP DRAWINGS PREPARATION. MATERIAL FABRICATION AND/OR INSTALLATION OF WORK.
- 9 VERIFY ALL DIMENSIONS PRIOR TO FABRICATION.
- 10 CONTRACTOR SHALL COORDINATE ALL WORK WITH THE BANK EQUIPMENT PROVIDOR TO INSURE APPROVED POWER, DATA AND CLEARANCE REQUIREMENTS ARE MET IN ORDER TO INSTALL EQUIPMENT.
- 11 COORDINATE ALL OUTLET AND DATA LOCATIONS WITH ELECTRICAL CONTRACTOR.
- 12 FINAL LOCATION AND QUANTITY OF ALL GROUMENTS TO BE COORDINATED WITH OWNER.

TELLER POD KEYNOTES

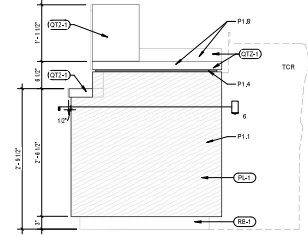
- PL1.1 PLASTIC LAMINATE PANEL PL-1. REFER TO FINISH SCHEDULE.
- PL1.2 PROVIDE 5/8" LAMINATE FOR PULLOUT SHELF AT INSTALLED LOCATION. SHELF TO BE PL-1.
- PL1.3 3/4" PLASTIC LAMINATE FINISH PL-1.
- PL1.4 1/2" STAINLESS STEEL REVEAL.
- PL1.5 PROVIDE LOCKS ON ALL DRAWERS AND DOORS, EACH BRANCH TO BE KEYS DIFFERENTLY.
- PL1.6 TRASH PAPER SLOT TYP.
- PL1.7 ALL DOORS AND DRAWERS TO HAVE 5" ROUTED GROOVE ON TOP OF DOOR OR DRAWER FOR WALL. 3/8" THICK QUARTZ SLAB. FINISH TO BE QTZ-1. REFER TO FINISH SCHEDULE.
- PL1.8 QTZ-2 HAS BEEN REMOVED FROM WORK.
- PL1.9 CORE DRILL AT FACE OF POD FOR INSTALL OF OWNER PROVIDED LIGHTED SIGN. FINAL LOCATION AND SIZE OF CORE DRILL SHOULD BE COORDINATED WITH THE OWNER'S SIGNAGE COMPANY, NEON SERVICE CO. (WWW.NEON-SERVICE.COM). NEON SERVICE TO PROVIDE CONTRACTOR SPECS AND TEMPLATE FOR THE POD SIGNAGE.
- PL1.11 PROVIDE LOCK ON CASH DRAWER. CASH DRAWER TO BE KEYS DIFFERENT THAN OTHER DRAWERS.
- PL1.12 AT VENDOR, PROVIDE VENTED FRONT AT FACE OF DRAWER.
- PL1.13 STAINLESS STEEL FOOT REST BAR.
- PL1.14 PROVIDE MONITOR ARMS AT BOTH SIDE OF POD. MODEL AND FINAL LOCATION TO BE COORDINATED WITH OWNER.
- PL1.15 PLASTIC LAMINATE PANEL PL-2. REFER TO FINISH SCHEDULE.



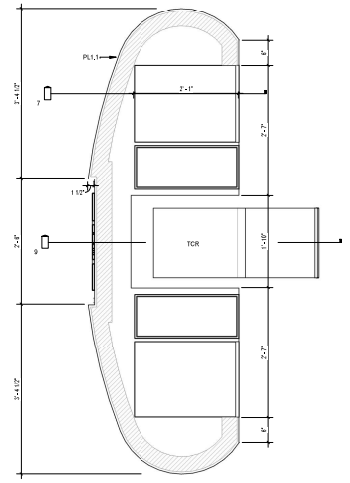
7 Teller Pod - Section @ Drawers
SCALE: 1" = 1'-0"



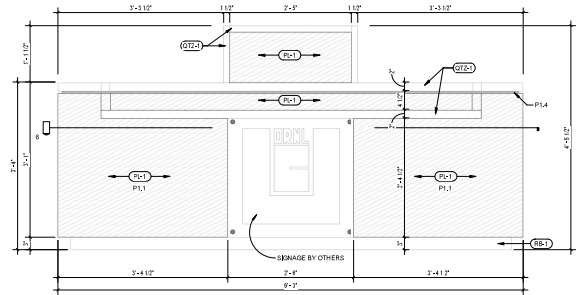
9 Teller Pod - Section @ TCR
SCALE: 1" = 1'-0"



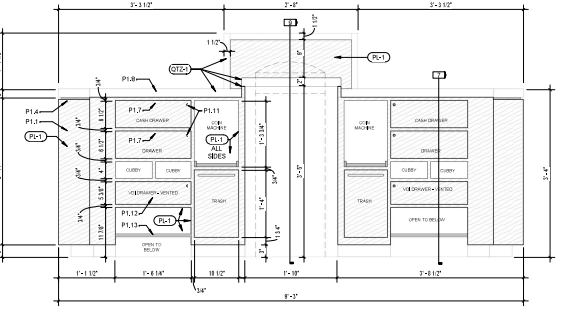
8 Pod - Side Elevation
SCALE: 1" = 1'-0"



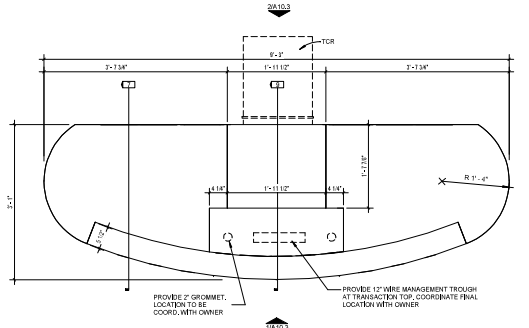
6 Teller Pod - Pod Section
SCALE: 1" = 1'-0"



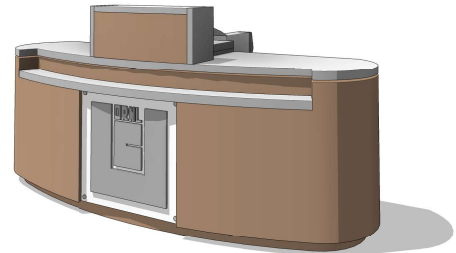
1 Teller Pod - Member Side
SCALE: 1" = 1'-0"



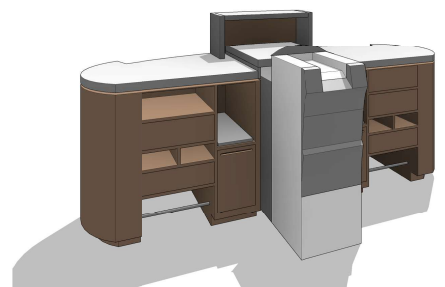
2 Teller Pod - Teller Side
SCALE: 1" = 1'-0"



5 Teller Pod - Pod Plan
SCALE: 1" = 1'-0"



Teller Pod - Member Side Perspective
SCALE: FOR REFERENCE ONLY



Teller Pod - Teller Side Perspective
SCALE: FOR REFERENCE ONLY

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Teller Pod

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PLAN CONSTRUCTION KEYNOTES

- 81000-1 3/4" WOOD BLOCKING, SECURE TO SUBSTRATE.
- 81000-2 1/2" PLYWOOD SHEATHING WITH PLASTIC LAMINATE, SEE FINISH SCHEDULE.
- 84184-1 SHOP FABRICATED PLASTIC LAMINATE COUNTERTOP, TOP OF COUNTER TO BE INSTALLED BY WHV, PROVIDE BRACKET AS NEEDED TO SUPPORT COUNTER, PLASTIC LAMINATE TO BE PAINT REFER TO INTERIOR FINISH SCHEDULE.
- 84800-8 SELECT GRADE MAPLE, TYPE #1&2 TONGUE AND GROOVE SQUARE EDGE PLANKS, VCL REFER TO INTERIOR FINISH SCHEDULE.
- 82300-20 FINISH TILE WALL TO RECEIVE LEVEL, FINISH FOR FINISH WALL, GRAPHS, COORDINATE AND VERIFY WITH OWNER SELECTED OFFER WALL BEFORE STARTING WORK.
- 85110-9 AT EDGE OF DECORATIVE WOOD WALL, PROVIDE WOOD WORKING WOOD FINN COLOR TO MATCH WOOD, CUT TO SEE TO COVER EXPOSED EDGE OF DECORATIVE WOOD WALL.

GENERAL ROOM FINISH NOTES

- 1 SEE "GENERAL" SHEETS IN THE FRONT OF THE WORKING DRAWINGS SET FOR DEFINITION OF ABBREVIATIONS.
- 2 THE SCHEDULED MATERIALS AND FINISHES SHALL NOT BE INSTALLED BEFORE THE CONTRACTOR'S ACTUAL COLOR SAMPLE SUBMITTALS HAVE BEEN APPROVED AS CALLED FOR IN THE SPECIFICATIONS.
- 3 ALL FLOOR FINISH TRANSITIONS TO OCCUR IN THE MIDDLE OF DOOR FRAME UNLESS NOTED OTHERWISE.
- 4 PROVIDE 3/4" DIE JOHNSONITE RUBBER TRANSITION STRIP WHEREVER DIFFERING FLOOR MATERIALS MEET, UNLESS NOTED OTHERWISE.
- 5 ALL HORIZONTAL DOOR FRAMES AND WINDOW FRAMES TO BE PAINTED PNT-4 WITH ZERO VOC ACRYLIC BASED PAINT WITH A SEMI-GLOSS FINISH.
- 6 ANY EXISTING WOOD DOORS ARE TO BE REFINISHED AND STAINED TO MATCH PNT-1. ALL NEW DOORS SHOULD HAVE A CUSTOM COLOR STAIN TO MATCH PNT-1.
- 7 REFER TO INTERIOR FINISH SCHEDULE FOR ADDITIONAL INTERIOR FINISH CALLOUTS.
- 8 ALL DRYWALL REVEALS TO BE FINISHED WITH 1/2" DRYWALL REVEALS, REVEALS TO BE PAINTED SAME AS WALL COLOR, ALL DRYWALL REVEALS TO BE FINISHED NEAREST CORNER CALLED OUT ON INTERIOR FINISH SCHEDULE.
- 9 WHERE CARPET TILE MEETS CERAMIC TILE, PROVIDE SCHLUTER SCHEIBEN TRANSITION STRIP WITH EB FINISH.
- 10 ALL CARPET TO BE INSTALLED IN AN ASHLAR PATTERN WITH PLANKS RUNNING THE EAST TO WEST, CARRY SAME DIRECTION INTO OFFICE AND COVER FRINGS.
- 11 BOTTOM OF ALL HEADKASERS TO BE PAINTED PNT-4 WITH FLAT FINISH, REFER TO REFLECTED CEILING PLAN FOR HEADKASER COLOR, IF COLOR IS NOT NOTED, PAINT FACE PNT-4.
- 12 ALL CABINET PULLS TO BE BEHAFLE, STAINLESS STEEL, LOOK, SIZE 18mm, NUMBER: 101.2D.752
- 13 ALL TILE GROUT JOINTS TO BE 1/8" OF AN INCH.
- 14 ALL WALLS TO RECEIVE MOH SHOWER WALL SHOULD HAVE WOOD BASE WD-1 INSTALLED AT BASE OF WALL.
- 15 ALL WALLS TO RECEIVE WOOD SHOULD BE INSTALLED DOWN TO FINISHED FLOOR, DO NOT PROVIDE WALL BASE.
- 16 WHERE CPT-1 AND CPT-2 ARE TO BE INSTALLED TOGETHER, PROVIDE 1/4" CPT-1 AND 1/4" CPT-2.
- 17 ALL GYP BS, CEILING TO BE PAINTED PNT-5 WITH FLAT FINISH.
- 18 ALL WALLPAPER TO BE REMOVED, SHIP COAT AND PATCH ALL WALLS WHERE WALLPAPER IS REMOVED.
- 19 EXISTING WINDOW SILLS TO REMAIN, REPLACE OR REPAIR AS NEEDED TO MATCH EXISTING.
- 20 EXPOSED STEEL COLUMNS TO BE REFINISHED WITH SEMI-GLOSS FINISH, PRIOR TO PAINTING, REMOVE ALL DEBRIS FROM FACE OF COLUMN AND PREP FOR PAINTING.
- 21 ALL TOILET PARTITIONS TO BE STAINLESS STEEL.
- 22 ALL WOODWORK TO RECEIVE DRAWER CLUTCH OPERATED FLO-GLOSS, CLOTH COLOR, WHITE, CHAIN TYPE, STAINLESS, INCL TENSION DEVICE (KASCA WITH SQUARE END CAPS, HARDWARE FINISH CLEAR ANODIZED, SHADE FABRIC, STYLE: SW2000 50 OPENNESS, OYVERPEARL, GRAY PROVIDE ALLOWANCE OF \$8.00 FOR FUTURE PAINTING COSTS, PER OWNER REQUEST.



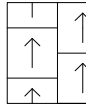
FINISH LEGEND

- Acoustic Ceiling Tile Base**
 - AW-1 ARMSTRONG, STYLE: DUNE 1774, PROFILE: ANGLED TEGULAR 1519", SIZE: 24"X24", COLOR: WHITE, GRID: 1519" WHITE
- Acoustic Wall Panel**
 - AWP-1 MID-CENTRAL, ACOUSTIC TEXTURES PANEL, TEXTURE: TRAPPE, COLOR: COBALT, SIZE: 4'X8' PANEL, CUT TO SIZE, INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- Carpet**
 - CPT-1 SHAW, STYLE: FOLDED EDGE TILE 5700, COLOR: SHIMMER PNT 5696, SIZE: 18"X36"
 - CPT-2 SHAW, STYLE: COLOR FORM ET112, COLOR: PRISM, SIZE: 18"X36"
 - CPT-3 SHAW, STYLE: EXPANDED TILE 5709, COLOR: FINE 5696, SIZE: 18"X36"
- Ceramic Tile**
 - CT-1 CROSSVILLE, STYLE: SPEAK EASY, COLOR: SEBCAR, SIZE: 6"X6", INSTALL: 3/8" OFFSET, GROUT: TEC EPOXY, 827 LIGHT PEWTER, JOINTS: 1/8"
 - CT-2 CROSSVILLE, STYLE: SPEAK EASY, COLOR: SEBCAR, SIZE: 12"X24", GROUT: TEC EPOXY, 827 LIGHT PEWTER, JOINTS: 1/8"
- Ceramic Wall Tile**
 - CWT-1 DALTILE, STYLE: EWBIRCH, COLOR: TAYLOR BEIGE, SIZE: 12"X12", INSTALL: RUN TILES VERTICALLY UP WALL WITH 1/2" OFFSET, GROUT: LATERITE EPOXY, 24 NATURAL GRAY
- Ceramic Wall Tile Base**
 - CWTB-1 CROSSVILLE, STYLE: SPEAK EASY, COLOR: SEBCAR, SIZE: 6"X6" BULLNOSE BASE, GROUT: TEC EPOXY, 827 LIGHT PEWTER, JOINTS: 1/8"
- Luxury Vinyl Tile**
 - LVT-1 MANHATTAN, STYLE: SPACK, COLOR: SATHI WEAVE 55A3865, SIZE: 18"X18", INSTALL: QUARTER TURN
- Mesh Ceiling Tile**
 - MCT-1 ARMSTRONG, STYLE: METALWORKS TEXTURES PANEL 9640A, SIZE: 6"X6", COLOR: EFFECTS DARK CHERRY, PERFORATION: EM MICRO PERFORATION, GRID COLOR: SILVER, GATE SA, IF ABOVE TRIM AT CEILING TO MATCH GRID, REFER TO CEILING PLAN AND SCHEDULE.
- Paint**
 - PNT-1 SHERWIN WILLIAMS, COLOR: SW705 ANGELO, FINISH: EGGSHELL
 - PNT-2 SHERWIN WILLIAMS, COLOR: SW608 BLUE CHIP, FINISH: EGGSHELL
 - PNT-3 SHERWIN WILLIAMS, COLOR: SW608 BLUE CHIP, FINISH: EGGSHELL
 - PNT-4 SHERWIN WILLIAMS, COLOR: SW705 ANGELO, FINISH: SEMI-GLOSS
 - PNT-5 SHERWIN WILLIAMS, COLOR: SW005 PURE WHITE, FINISH: FLAT
- Plastic Laminate**
 - PL-1 VILSONART, PATTERN: SHAKER CHERRY 783967
 - PL-2 HIGH PRESSURE LAMINATE, PATTERN TO BE SELECTED
- Quartz**
 - QT-2 CAMBRIC, COLLECTION: WATERSTONE, COLOR: TORQUAY, EDGE: RIBBONLINE
 - QT-2 CAMBRIC, COLOR TO BE SELECTED, EDGE: RIBBONLINE
- Rubber Base**
 - RB-1 JOHNSONITE, COLLECTION: PERCEPTIONS, STYLE: RECESS TEO RUBBER BASE, SIZE: 4.25", COLOR: BURNT LUMBER, 80003
- S&H Surface**
 - SS-1 CORIAN, COLLECTION: TERRA, COLOR: MILLOW
- Stacked Stone**
 - ST-1 ELDRADO, STYLE: LEDGEOUT 33, COLOR: BIRCH, DRY STACK
- Web of Mat**
 - WM-1 LEES, COLLECTION: TUFF STUFF 8", STYLE: FIRST STEP 8", TILE COLOR: BUSH GREY, SIZE: 24"X24"
- Wood**
 - WD-1 SPECIES: MAPLE, TYPE: #7&8 TONGUE AND GROOVE SQUARE EDGE PLANKS, CONDITION: MINWAX WATER BASED PRE-STAIN CONDITIONER, STAIN COLOR: MINWAX BLENDED WATER, WATER BASED WOOD STAIN WITH CLEAR TINT BASE, FINISH: COAT MINWAX WATER BASED POLYURETHANE PROTECTIVE FINISH - CLEAR SEMI-GLOSS, STAGGER JOINT CONTRACTOR TO PROVIDE MOLDINGS PRIOR TO INSTALLATION FOR ARCHITECT TO REVIEW, PROVIDE 1"X1" MAPLE EDGE TRIM AT ALL EXPOSED FINISHED EDGES, STAINED TO MATCH WD-1, SEE SPECS FOR DETAILED INSTRUCTIONS.
 - WD-2 ARMSTRONG, WOODWORKS LINEX VENEERED PLANKS 6MM/10MM, COLOR: NATURAL VARIATIONS, DARK CHERRY, SIZE: 4" X 7" X 7/2", BAKING ADJUSTUAL FLEECE, INSTALLATION WALL AND CEILING, BENDS, RIBS, ELABORATIONS AND DETAILS AS TO SPECIES, AS WELL AS TO A SERIES, PROVIDE 8" WOODWORKS CONDUGAL WOOD TRIM AT CEILING CLOUD EDGES, COLOR TO MATCH WOOD PLANKS.
 - WD-3 1 3/4" POPLAR STRAIGHT-BASE PAINTED FINN WITH SEMI-GLOSS FINISH.
 - WD-4 SPECIES: MAPLE, TYPE: #7&8 TONGUE AND GROOVE SQUARE EDGE PLANKS, CONDITION: MINWAX WATER BASED PRE-STAIN CONDITIONER, STAIN COLOR: STAINED TO MATCH PNT-4, WATER BASED WOOD STAIN WITH CLEAR TINT BASE, FINISH: COAT MINWAX WATER BASED POLYURETHANE PROTECTIVE FINISH - CLEAR SEMI-GLOSS, STAGGER JOINTS, CONTRACTOR TO PROVIDE MOLDINGS PRIOR TO INSTALLATION FOR ARCHITECT TO REVIEW, PROVIDE 1"X1" MAPLE EDGE TRIM AT ALL EXPOSED FINISHED EDGES, STAINED TO MATCH WD-1, SEE SPECS FOR DETAILED INSTRUCTIONS.
- Wood Ceiling Tile**
 - WCT-1 ARMSTRONG WOODWORKS TEGULAR CEILING TILE TO BE PROVIDED BY OWNER, CONTRACTOR TO PROVIDE 8"X8" SILVER GRID AND 4" SATHI SILVER ALUMINUM AROUND ALL WOOD CLOUD EDGES, COORDINATE QUANTITY OF WOOD TILE WITH OWNER, IF MORE IS NEEDED, CONTRACTOR TO ORDER MORE TO MATCH EXISTING.

FINISH SCHEDULE - 01 FIRST FLOOR										
#	ROOM	NAME	FLOOR	WALLS				CEILING	COMMENTS	
				BASE	NORTH	SOUTH	EAST			WEST
101	vestibule	WOOD-1	WB-1	PNT-1	PNT-1	PNT-1	PNT-1	PNT-1		
102	hall	CPT-1	WB-2	SEE PLANS	SEE PLANS	SEE PLANS	SEE PLANS	ACTH	2.3,4	
103	office	CPT-1	WB-1	PNT-1	PNT-1	PNT-1	PNT-1	ACTH	0	
104	office	CPT-1	WB-1	PNT-1	PNT-1	PNT-1	PNT-1	ACTH	0	
105	office	CPT-1	WB-1	PNT-1	PNT-1	PNT-1	PNT-1	ACTH	0	
106	Menchance	LE-1	WB-1	WB-1	WB-1	WB-1	WB-1	EXPPOSED	0	
107	Open Office	CPT-1	WB-1	PNT-1	PNT-1	PNT-1	PNT-1	ACTH	2.4	
108	Open Office	CPT-1	WB-2	PNT-1	PNT-1	PNT-1	PNT-1	ACTH	2.4	
109	Open Office	CPT-1	WB-1	PNT-1	PNT-1	PNT-1	PNT-1	ACTH	2.4	
110	Ventr	CT-1	WB-1	SEE PLANS	SEE PLANS	SEE PLANS	SEE PLANS	ACTH	2.4	
111	Conference	CPT-1	WB-1	SEE PLANS	SEE PLANS	SEE PLANS	SEE PLANS	ACTH	2.3,4	
112	Waiting	CPT-1	WB-2	SEE PLANS	SEE PLANS	SEE PLANS	SEE PLANS	WCT-1	2.3,4	
113	Training	CPT-1	WB-1	PNT-1	PNT-1	PNT-1	PNT-1	PNT-1	ACTH, WCT-1	2.4,5
114	Lounge	LVT-1	WB-1	PNT-1	PNT-1	PNT-1	PNT-1	ACTH	2.4	
115	Hall	WOOD-1	WB-1	PNT-1	PNT-1	PNT-1	PNT-1	ACTH	2	
116	Rest	CPT-1	WB-1	CPT-1	PNT-1	CPT-1	PNT-1	ACTH	2.2	
117	Woman	CT-2	WB-1	CWT-1	PNT-1	CWT-1	PNT-1	CWT-1	ACTH	2.2
118	Site	CPT-1	WB-1	PNT-1	PNT-1	PNT-1	PNT-1	ACTH	2.4	
119	Conon	CPT-1	WB-1	SEE PLANS	SEE PLANS	SEE PLANS	SEE PLANS	ACTH	2.3,4	
120	Zone	CPT-1	WB-1	PNT-1	PNT-1	PNT-1	PNT-1	ACTH	0	
121	Lounge	CPT-1	WB-1	SEE PLANS	SEE PLANS	SEE PLANS	SEE PLANS	PNT-1	2.3	
122	Table	CPT-1	WB-1	SEE PLANS	SEE PLANS	SEE PLANS	SEE PLANS	ACTH	WCT-1	2.3,5
123	Norn	CPT-1	WB-1	PNT-1	PNT-1	PNT-1	PNT-1	ACTH	2.4	
124	Con	CPT-1	WB-1	SEE PLANS	SEE PLANS	SEE PLANS	SEE PLANS	ACTH	2.3	

FINISH COMMENTS

- 1 NO WORKING INDICATED AREA
- 2 REFER TO FLOOR FINISH PLAN FOR FLOORING TRANSITIONS AND PATTERNS
- 3 REFER TO FLOOR FINISH PLAN FOR WALL FINISH AND PATTERN CALLOUTS.
- 4 CARPET TO BE INSTALLED IN AN ASHLAR PATTERN, INITIAL TO BE A RANDOM 48" WITH 48% CPT-1 AND 15% CPT-2
- 5 FOR WCT-1, CONTRACTOR TO COORDINATE QUANTITY OF PRODUCT NEEDED WITH OWNER, OR, TO PROVIDE CONTRACTOR WITH UNKNOWN QUANTITY OF ATTC STOCK.
- 6 REFER TO SCHEDULE 341.1 FOR RESTROOM TILE INSTALL PATTERN, AT EXPOSED TILE EDGES, PROVIDE SCHLUTER RONDEE EDGE PROTECTION WITH EB FINISH.



RR Wall Tile Installation
SCALE: 1/2" = 1'-0"

Ashlar Install Pattern
SCALE: 1/2" = 1'-0"

WD-1 Edge Trim Detail
SCALE: 1/2" = 1'-0"

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FARRAGUT BRANCH
FARRAGUT, TENNESSEE

NO.	DESCRIPTION	DATE

DATE	PROJECT
05/17/2019	2018.0122

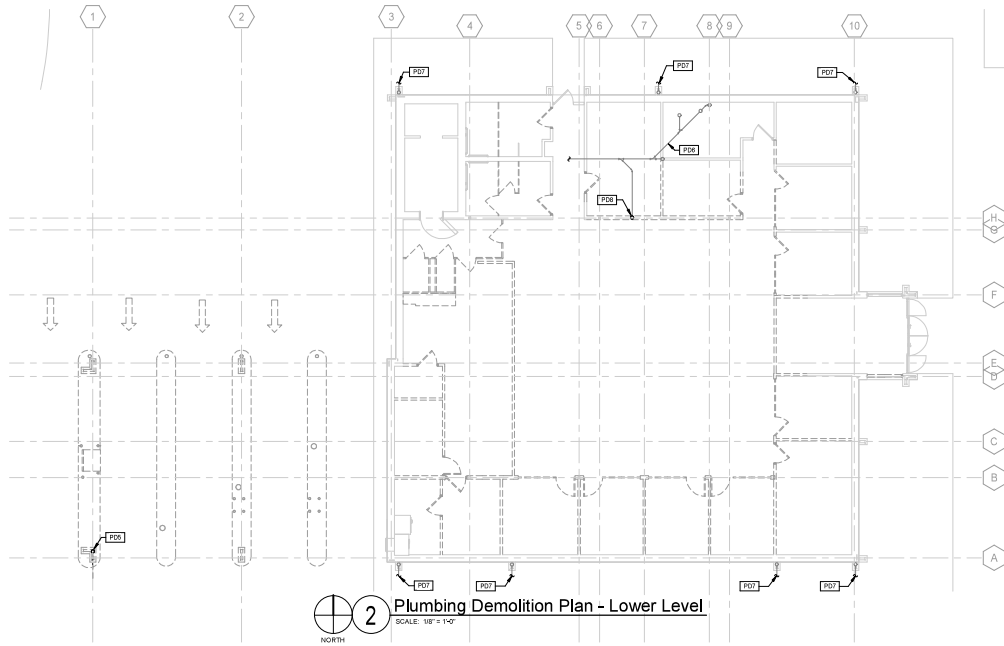
Floor Finish Plan - Main Level

A11.1

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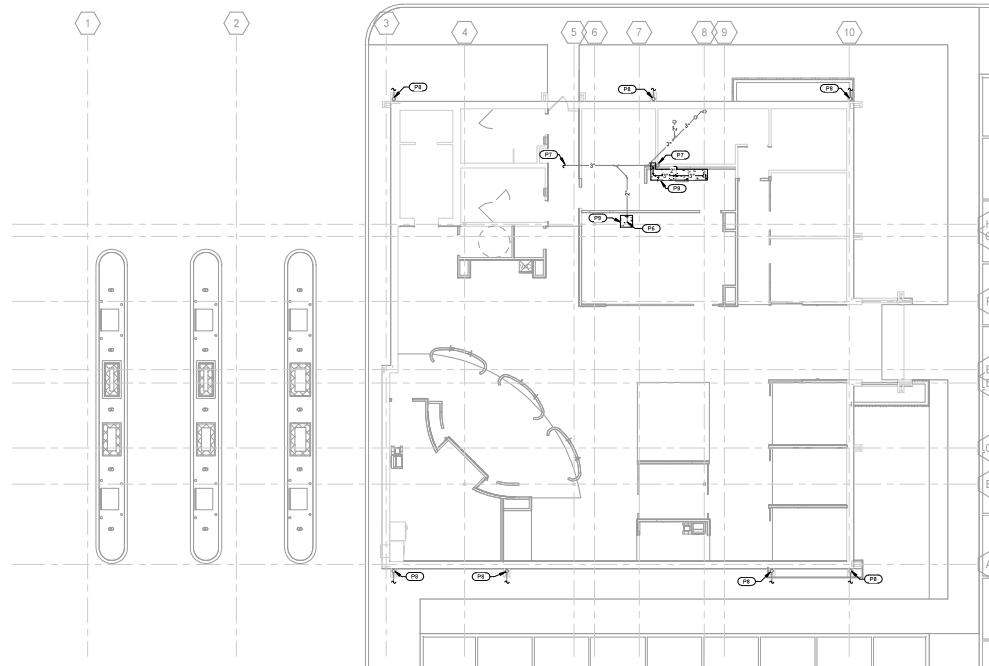
2 Plumbing Demolition Plan - Lower Level
SCALE: 1/8" = 1'-0"

GENERAL PLUMBING DEMOLITION NOTES

1. LOCATIONS OF ALL EXISTING PIPING AND EQUIPMENT SHALL BE VERIFIED ON SITE TO DETERMINE EXACT LOCATIONS, SIZES AND INVERTS.
2. ALL PIPING TO REMAIN UNLESS SHOWN TO REMOVE.
3. PATCH ALL CEILING WALLS, FLOORS AND ROOFS WHERE PIPING AND EQUIPMENT ARE REMOVED WITH A MATERIAL MATCHING THE EXISTING CONSTRUCTION TYPICAL OF ALL AREAS.

PLUMBING DEMOLITION NOTES

- P05 ALL ROOF DRAINING AND STORM PIPING FOR DRIVE THROUGH TELLERS TO BE DEMOLISHED TO GROUND AND CAPPED.
- P06 EXISTING SANITARY LINE IN THIS APPROXIMATE LOCATION TO REMAIN SHOWN FOR REFERENCE ONLY.
- P07 EXISTING STORM LINE IN THIS APPROXIMATE LOCATION TO REMAIN SHOWN FOR REFERENCE ONLY.
- P08 ABANDON SANITARY LINE AT EXISTING LOCATION AND CAP EXISTING.



1 Plumbing Plan - Underground
SCALE: 1/8" = 1'-0"

GENERAL PLUMBING NOTES

1. ALL NEW LAVATORY FAUCETS FOR PUBLIC USE SHALL BE PROVIDED WITH AN AUTOMATIC SAFETY WATER SHUTTING DEVICE AND SHALL COMPLY WITH ANGRASSE 101-0.985 OR 101-1001. THE SAFETY SHUTTING DEVICE SHALL BE ADJUSTED TO A MAXIMUM SETTING OF 115 DEGREES FAHRENHEIT, AT THE TIME OF INSTALLATION.
2. PIPING LOCATIONS, INVERTS AND SIZES SHALL BE VERIFIED ON SITE TO DETERMINE EXACT LOCATION AND SIZE.

PLUMBING NOTES

- P6 CAP EXISTING SANITARY LINE AT APPROXIMATE LOCATION.
- P7 EXISTING SANITARY LINE IN THIS APPROXIMATE LOCATION TO REMAIN SHOWN FOR REFERENCE ONLY.
- P8 EXISTING STORM LINE IN THIS APPROXIMATE LOCATION TO REMAIN SHOWN FOR REFERENCE ONLY.
- P9 SAW CUT FLOOR FOR INSTALLATION OF NEW SANITARY LINE. FILL IN FLOOR WITH NONSHRINK CONCRETE FLUSH WITH FLOOR.

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CREDIT UNION**
FARRAGUT BRANCH
FARRAGUT, TENNESSEE

NO.	REVISIONS DESCRIPTION	DATE

DATE	PROJECT
05/17/2019	2018.0122

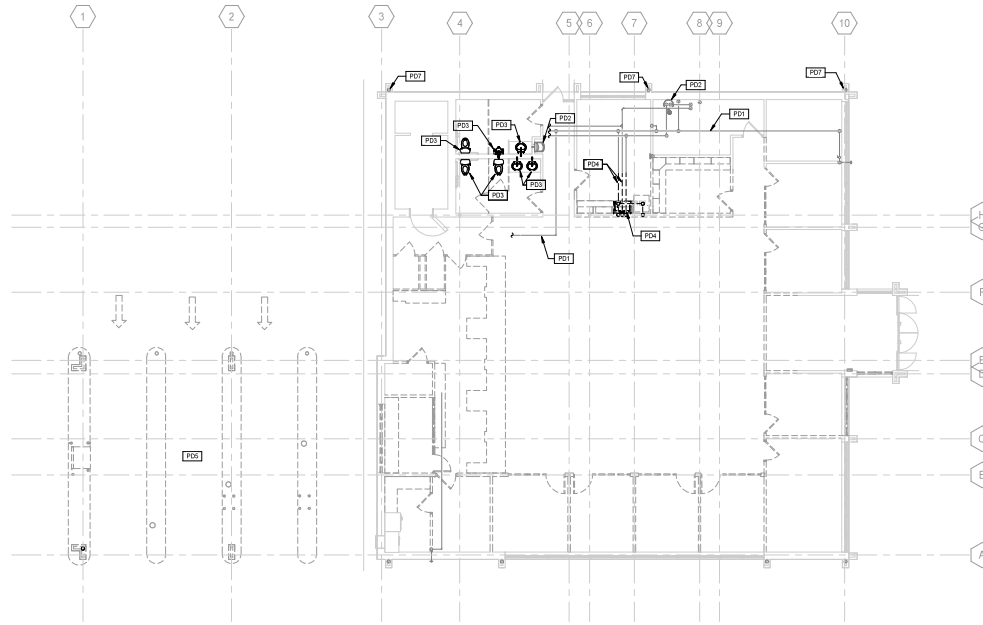
TITLE
Plumbing and Demolition Plan - Underground

SHEET

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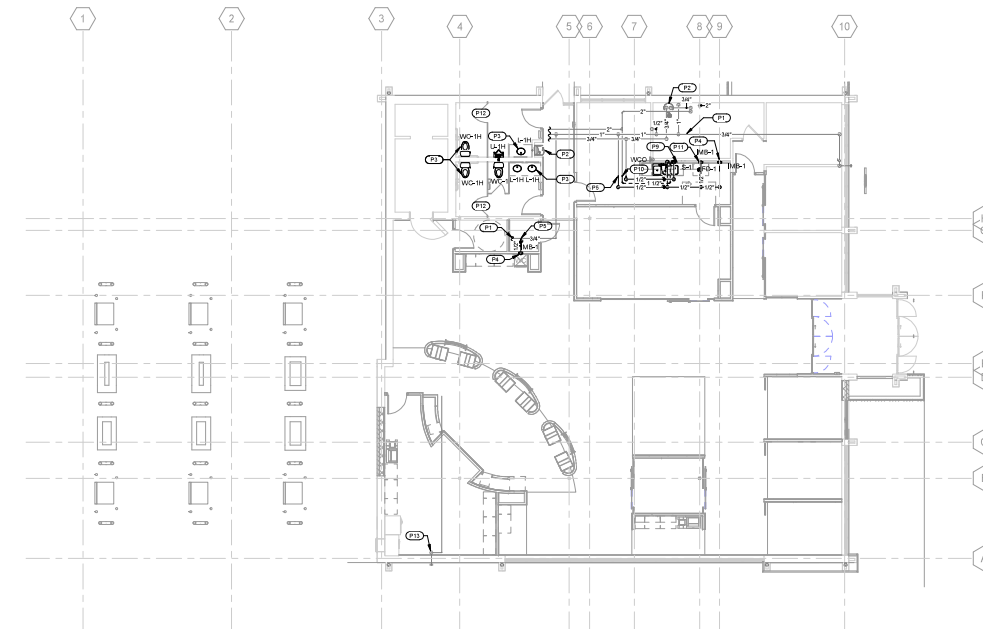
2 Plumbing Demolition Plan - Main Level
SCALE: 1/8" = 1'-0"
NORTH

GENERAL PLUMBING DEMOLITION NOTES

1. LOCATIONS OF ALL EXISTING PIPING AND EQUIPMENT SHALL BE VERIFIED ON SITE TO DETERMINE EXACT LOCATIONS, SIZES AND INVERTS.
2. ALL PIPING TO REMAIN UNLESS SHOWN TO BE DEMOLISHED.
3. PATCH ALL CEILING, WALLS, FLOORS AND ROOFS WHERE PIPING AND EQUIPMENT ARE REMOVED WITH A MATERIAL MATCHING THE EXISTING CONSTRUCTION, TYPICAL OF ALL AREAS.

PLUMBING DEMOLITION NOTES

- P01 EXISTING WATER LINE IN THE APPROXIMATE LOCATION TO REMAIN, SHOWN FOR REFERENCE ONLY.
- P02 EXISTING FEATURE TO REMAIN, SHOWN FOR REFERENCE ONLY.
- P03 DEMOLISH EXISTING FEATURE AND PREPARE CONNECTIONS FOR NEW FEATURE.
- P04 EXISTING FEATURE TO BE DEMOLISHED, ALL ASSOCIATED PIPING TO BE DEMOLISHED, DEMOLISH SANITARY TO BELOW FLOOR CARP AND FILL FLOOR WITH NON-SHRINKING CONCRETE FLOOR WITH FLOOR.
- P05 ALL ROOF DRAINS AND STORM PIPING FOR DRIVE THROUGH TELLERS TO BE DEMOLISHED TO SINKING AND CAPPED.
- P07 EXISTING STORM LINE IN THE APPROXIMATE LOCATION TO REMAIN, SHOWN FOR REFERENCE ONLY.



1 Plumbing Plan - Main Level
SCALE: 1/8" = 1'-0"
NORTH

GENERAL PLUMBING NOTES

1. ALL NEW LABORATORY FAUCETS FOR PUBLIC USE SHALL BE PROVIDED WITH AN AUTOMATIC SAFETY WATERING DEVICE AND SHALL COMPLY WITH ANSIS Z37.1-2013. THE SAFETY WATERING DEVICE SHALL BE ADJUSTED TO A MAXIMUM SETTING OF 110 DEGREES FAHRENHEIT AT THE TIME OF INSTALLATION.
2. PIPING LOCATIONS, INVERTS AND SIZES SHALL BE VERIFIED ON SITE TO DETERMINE EXACT LOCATION AND SIZE.

PLUMBING NOTES

- P1 EXISTING WATER LINE IN THE APPROXIMATE LOCATION TO REMAIN, SHOWN FOR REFERENCE ONLY.
- P2 EXISTING FEATURE TO REMAIN, SHOWN FOR REFERENCE ONLY.
- P3 INSTALL NEW VENTURE AND CONNECT INTO EXISTING SANITARY, VENT, DOMESTIC HOT AND COLD WATER, TYPICAL.
- P4 INSTALL ICE MAKER BOX UNDER COUNTER FOR ABOVE COUNTER COFFEE MAKER, CONTRACTOR TO FISH PIPE WITHIN WALL AND INSTALL AND SECURE TO ISM BOX ON PRESISTERS, FILL CONNECTING TO COFFEE MAKER BY PLUMBING CONTRACTOR, COFFEE MAKER AND WATER FILTER BY OTHERS.
- P5 CONNECT NEW WATER LINE INTO EXISTING, PROVIDE AN ISOLATION VALVE AS SHOWN.
- P6 SAW CUT FLOOR FOR INSTALLATION OF NEW SANITARY LINE, FILL IN FLOOR WITH NON-SHRINKING CONCRETE FLOOR WITH FLOOR.
- P7 CONNECT NEW VENT LINE INTO EXISTING.
- P8 INSTALL ICE MAKER BOX UNDER COUNTER FOR UNDER COUNTER ICE MACHINE.
- P9 PROVIDE NEW FLOOR DRAIN COVER FOR EXISTING FLOOR DRAIN, CONTRACTOR TO VERIFY FLOOR DRAIN SIZE AND LOCATION.
- P10 EXTERIOR WOOD BEE LINE TO REMAIN, VERIFY EXISTING LINE WILL BE WITHIN WALL CAVITY, RE ROUTE TO BE WITHIN WALL AS NEEDED.

REVISIONS		
NO.	DESCRIPTION	DATE

DATE	PROJECT
05/17/2019	2018.0122

TITLE
Plumbing and Demolition Plan - Main Level
SHEET

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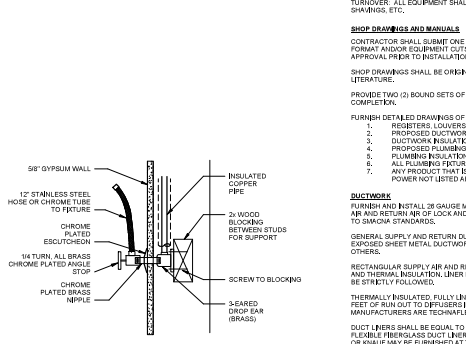
TAG	FIXTURE					TRIM		MINIMUM CONNECTION SIZE					ACCESSORIES				NOTES		
	MANUFACTURER	MODEL	EQUALS	FINISH	RIM HEIGHT	MANUFACTURER	MODEL	EQUALS	FINISH	COLD	HOT	VENT	WASTE	STOPS	TUBES	GRID DRAIN		P-TRAP	ADA WRAP
WC1	AMERICAN STANDARD	3154A04	KOHLER TOILET	WHITE	17"					1/2"		2"	4"	Yes	Yes				TANK TYPE WATER CLOSET WITH ELONGATED BOWL AND TANK. CHURCH 8000 OPEN FRONT SEAT LESS COVER. W/WRAP
WC-H	AMERICAN STANDARD	3154A04	KOHLER ELKER	WHITE	17"					1/2"		2"	4"	Yes	Yes				ADA TANK TYPE WATER CLOSET WITH ELONGATED BOWL AND TANK. CHURCH 8000 OPEN FRONT SEAT LESS COVER. W/WRAP
LN-H	AMERICAN STANDARD	3540J01 "WALKERBOOK"	KOHLER	WHITE	17 1/4"	ZURN	ZER800R-CPM		POLISHED CHROME	3/4"		1 1/2"	2"	Yes	Yes				UNDERCOUNTER MOUNTED OVAL BOWL. PROVIDE TEMPLATE FOR HOLE CUTTING BY G.C. LOCATIONS: DOUBLE BOWL, 10 CENTER LINE 1 CARRIER
LN-H	AMERICAN STANDARD	3540J01	KOHLER	WHITE	34"	ZURN	ZB600LS FACET HARDWARE		POLISHED CHROME	1/2"	1/2"	1 1/4"	1 1/2"	Yes	Yes	Yes	Yes	No	UNDERCOUNTER MOUNTED OVAL BOWL. PROVIDE TEMPLATE FOR HOLE CUTTING BY G.C. LOCATIONS: DOUBLE BOWL, 10 CENTER LINE 1 CARRIER
S-1	ELKAY	ELK31110	JUST	STAINLESS STEEL	34"	KOHLER	KF043		BALUCHED CHROME	1/2"	1/2"	1 1/4"	1 1/2"	Yes	Yes	Yes	Yes	No	1" STRAINER. KNOB/BL. OUTLET. SEE DRAWINGS FOR SECS. NECESSARY TO MAKE BOX WITH QUARTER TURN BRASS PLATED VALVE AND COVER PLATE
FD-1	ZURN	241678	JOHN WADE	NICKEL BRONZE						1/2"									
IBH4	PERGOLY GRAY	189118	GATEY	WHITE						1/2"									

1. USE MANUFACTURERS CURRENT COMPARISON CHARTS FOR CROSS REFERENCE FOR FITURE EQUALS. SUBMIT EQUALS TO ENGINEER PRIOR TO BID. SEE DRAWINGS FOR OUTLET SIZES.
2. PLUMBING ACCESSORIES SHALL BE THE FOLLOWING ACCEPTABLE MANUFACTURERS ARE INQUIRE BRASSCRAFT, ZURN, KENEY
3. STOPS- CHROME PLATED BRASS ANGLE STOPS WITH 1/2" F.I.P. INLET AND 3/8" OUTLET. QUARTER TURN HANDLE. CHROME PLATED ESCUTCHEON
4. TUBES- 1/2" LONG BRASS/STAINLESS STEEL HOSES
5. GRID DRAIN- POLISHED CHROME 17 GA. CAST BRASS SOLID TOP OPEN GRID STRAINER WITH TAILPIECE
6. OFFSET GRID- POLISHED CHROME 17 GA. CAST BRASS SOLID TOP OPEN GRID STRAINER WITH OFFSET TAILPIECE (ADA COMPLIANT) INLET- AND DOWN TUBE WITH THROUGH COMPRESSION RINGS. PVC ARM AND ESCUTCHEON AT WALL.
8. ADA WRAP- WHITE POLYURETHANE WRAP FOR SUPPLY TUBES, STOPS, TAILPIECE, TRAP AND ARM.

1 MECHANICAL AND PLUMBING SPECIFICATIONS

GENERAL
FURNISH ALL MATERIALS, LABOR, TOOLS, ADMINISTRATION, TRANSPORTATION, INCIDENTALS AND APPURTENANCES WHICH ARE REQUIRED TO COMPLETE IN EVERY DETAIL AND LEAVE IN WORKING ORDER ALL ITEMS OF WORK CALLED FOR HEREIN OR SHOWN ON THE ACCOMPANYING DRAWINGS.
INCLUDE ALL MINOR ITEMS OF WORK NECESSARY TO PROVIDE A FULLY OPERATIVE HVAC SYSTEM.
CONSULT ALL CONTRACT DRAWINGS WHICH MAY AFFECT THE LOCATION OF ANY EQUIPMENT OR APPARATUS FURNISHED UNDER THIS WORK AND MAKE MINOR ADJUSTMENTS IN LOCATION AS NECESSARY TO SECURE COORDINATION.
SYSTEM LAYOUT IS SCHEMATIC AND EXACT LOCATIONS SHALL BE DETERMINED BY STRUCTURAL AND OTHER CONDITIONS. THIS SHALL NOT BE CONSTRUED TO MEAN THAT THE DESIGN OF THE SYSTEM MAY BE CHANGED. THE EQUIPMENT LAYOUT IS COORDINATED WITH EQUIPMENT INCLUDED UNDER OTHER DIVISIONS OF THE SPECIFICATIONS.
CONTRACTOR SHALL BE ALL DRAWINGS FOR ALL REES AND OTHER PERMITS AND CERTIFICATES OR INSPECTOR APPROVALS. THE CONTRACTOR SHALL ARRANGE INSPECTIONS WITH PROPER AUTHORITIES AND INCLUDE COSTS OF INSPECTION IN BID.
COMPLETE INSTALLATION SHALL CONFORM TO ALL APPLICABLE CODES, STATE AND LOCAL LAWS, CODES AND ORDINANCES.
NOTHING CONTAINED IN THE DRAWINGS AND SPECIFICATIONS SHALL BE CONSTRUED TO CONTRADICT WITH THESE LAWS, CODES AND ORDINANCES AND THESE STANDARDS ARE HEREBY INCLUDED IN THESE SPECIFICATIONS.
CONTRACTOR SHALL WARRANT WORK AND ALL MATERIALS AND EQUIPMENT FURNISHED OR INSTALLED FOR A PERIOD OF ONE YEAR UNLESS OTHERWISE SPECIFIED.
WARRANT SHALL BE #2 AWG MINIMUM UNLESS SPECIFICALLY NOTED OTHERWISE WITH THIRTYMIN INSULATION AND COPPER CONDUCTION.
ALL MATERIALS AND EQUIPMENT SHALL BE NEW. ALL MOTORS ABOVE 1HP TO BE PREMIUM EFFICIENCY STYLE.
LOCATIONS OF ALL PIPING, DUCTWORK, FITURES AND EQUIPMENT ARE APPROXIMATE ONLY AND MAY BE CHANGED TO MEET ARCHITECTURAL AND STRUCTURAL CONDITIONS AS REQUIRED AND APPROVED BY THE DESIGN ENGINEER.
ALL DIMENSIONS SHALL BE VERIFIED AT THE SITE.
THE EXISTING EQUIPMENT AND PIPING SHOWN ON THE DRAWINGS IS BELIEVED TO BE A REASONABLE INDICATION OF THE EXISTING LAYOUT. EXACT QUANTITY AND LOCATIONS SHALL BE DETERMINED BY THE CONTRACTOR ONLY AND SHALL NOT BE USED FOR THE BASIS OF BIDDING. ALL MECHANICAL REMEDIATION THAT IS REQUIRED FOR THE INSTALLATION OF THE NEW SHOWN SYSTEMS SHALL BE BY THIS CONTRACTOR. REMOVE ALL DEBRIS FROM SITE.
THE PERMANENT MECHANICAL SYSTEM SHALL NOT BE USED FOR TEMPORARY HEATING, COOLING OR VENTILATION OF THE SPACE. THE CONTRACTOR SHALL MONITOR THE NON-USE OF THE EQUIPMENT AND APPROVED BY THE DESIGN ENGINEER.
CLEANING
THROUGHOUT THE CONSTRUCTION PERIOD, MAINTAIN THE BUILDING AND SITE IN A STANDARD OF CLEANLINESS AS DESCRIBED IN THE SECTION.
BUILDING SHALL BE BROOM CLEANED AT THE END OF EACH WORKING DAY. DIRT, DUST AND DEBRIS WILL NOT BE TOLERATED. AT THE END OF THE CONSTRUCTION PERIOD, CLEAN AT THE END OF DAY. THE OWNER WILL CLEAN AND COST WILL BE BILLED TO THE CONTRACTOR IF BUILDING IS NOT SUPERBLY CLEAN. OWNER WILL CLEAN AND BILL COST TO THE CONTRACTOR.
TURNOVER: ALL EQUIPMENT SHALL BE FREE OF ALL DUST, DIRT, GREASE, OIL, METAL SHavings, ETC.

REVISIONS
FURNISH AND INSTALL REVISIONS, LOUVERS, GRILLES AND DIFFUSERS WHICH SHOWN AND AS SCHEDULED ON DRAWINGS AS WELL AS ACCESSORIES, AIR DISTRIBUTION DEVICES SHALL BE AS SHOWN ON THE ACCOMPANYING SCHEDULE.
FURNISH ALL AIR DISTRIBUTION DEVICES WITH PRIME COATED AND BAKED ENAMEL FINISH AS SELECTED BY ARCHITECT. EXPOSED GRILLES AND DIFFUSERS ON WALLS AND IN EXPOSED CEILING AREAS SHALL BE PAINTED TO MATCH THE WALL OR CEILING COLOR BY THE G.C.
PRODUCTS SHALL BE BASED ON THE LOOK, QUALITY AND PERFORMANCE AS INDICATED ON THE SCHEDULE OR EQUIPMENT PRODUCTS FROM THE FOLLOWING MANUFACTURERS:
1. TURTLE & BAILEY
2. PINE INDUSTRIES
3. TRU
4. ANEMOSTAL
TEMPERATURE CONTROL
INDICATE ALL EXPOSED CONTROL DEVICES I.E. THERMOSTATS, RELAYS, SWITCHES, ETC. AND WIRING TO PROVIDE A COMPLETE 24VOLT CONTROL SYSTEM. INCLUDE INTERCONNECT WIRING FROM POINTS TO UNITS ALL THERMOSTATS.
WALL THERMOSTATS WILL CYCLE IN RESPECTIVE UNITS FAN WITH HEATING OR COOLING. FLOOR MOUNTED SPACE SET POINT HEAT AND COOLING SET POINTS SHALL NOT OVERLAP. EACH THERMOSTAT SENSOR TO HAVE A SUB-BASE WITH A MANUALLY OPERATED ON/OFF SWITCH PROVIDING HEAT/COOL/HEAT/COOL/FAN SWITCH PROVIDING ON/OFF SELECTION. RUN ALL CONTROL WIRING IN EMT CONDUIT BY THE CONTRACTOR. PROVIDE A MINIMUM 1/2" CLEARANCE BETWEEN THERMOSTAT AND HVAC UNIT. PROVIDE CONTROL WIRING BETWEEN THERMOSTATS AND UNITS PER MANUFACTURERS DRAWINGS.
TEST AND BALANCE
A TEST AND BALANCE AGENCY NOT AFFILIATED WITH THE AWARDING CONTRACTOR AND APPROVED BY AISC AND NIBS SHALL PERFORM A FULL TEST AND BALANCE OF THE AIR AND WATER SYSTEMS IN THE SPACE.
THE TEST AND BALANCE CONTRACTOR SHALL WARRANT THEIR WORK FOR A PERIOD OF 90 DAYS AFTER SUBMITTAL. COMPLETION OF THE PROJECT. DURING WHICH A RE-CHECK OR RE-SETTING OF EQUIPMENT OR DAMPERS MAY BE REQUIRED AT THE ENGINEERS DISCRETION.
ALL WORK SHALL BE IN ACCORDANCE TO VOLUME 4 NATIONAL STANDARDS FOR FIELD MEASUREMENTS & INSTRUMENTATION BY AISC. ALL INSTRUMENTS SHALL BE ACCURATELY CALIBRATED AND MANUFACTURED TO GOOD MEASUREMENT PRACTICES. SYSTEM BALANCE SHALL NOT COMMENCE UNTIL ALL EQUIPMENT IS INSTALLED AND ALL SYSTEM COMPONENTS ARE FULLY OPERATIONAL.
THIS CONTRACTOR SHALL PROVIDE TO THE ARCHITECT/ENGINEER A TWENTYFOUR HOUR REPORT INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING:
EACH ROOM
1. ROOM TOTAL CFM
2. EACH ROOM DIFFUSER CFM PLUS OR MINUS 5%
3. EQUIPMENT MANUFACTURER AND MODEL
4. EACH ROOM OFFUSER, AND REGISTER SHALL BE IDENTIFIED AS TO LOCATION AND AREA.
PLUMBING
ALL COLD WATER DOMESTIC WATER LINES SHALL BE TYPE "L" HARD COPPER WITH WROUGHT FITTINGS WITH 30%MINIUM LEAD FREE SOLDER.
DOMESTIC WATER PIPING SHALL BE COVERED INSULATED WITH 3/4" ARMAFLEX INSULATION ON SIZES 1/4" AND SMALLER AND WITH 1" ARMAFLEX INSULATION ON SIZES 1/2" AND LARGER. APPLY INSULATION PER THE MANUFACTURERS RECOMMENDATIONS. STENCIL LABELS INDICATING CONTENTS AND FLOW DIRECTION AT EVERY 5 FEET OR LESS.
ALL PIPING TO BE SUSPENDED FROM THE STRUCTURE SHALL HAVE THE SPRAY APPLIED FIRE PROOFING SCRAPED OFF FOR ATTACHMENT OF STRUCTURAL SUPPORTS AND THE AREA SHALL BE TOUCHED UP WITH THE PROTECTIVE FINISH TO MAINTAIN THE FIRE RATINGS OF THE STRUCTURAL STEEL. PER THE SHELL BUILDING REQUIREMENTS.
ALL PORTABLE LINES SHALL BE IDENTIFIED WITH A 500 PPM CHLORINE SOLUTION FOR A 24 HOUR PERIOD. THEN FLUSHED TO A CONCENTRATION OF LESS THAN 50 PPM. VERIFY THE RESULTS WITH A COUNTY BOARD OF HEALTH WATER TEST AND SUBMIT THE RESULTS TO THE DESIGN ENGINEER.
ALL HANGING LINES SHALL BE ON NOT MORE THAN 10 FOOT CENTERS WITH 3/8" RODS AND UL LISTED PEAR HANGERS, PROVIDE SADDLES BELOW ALL INSULATED LINES.
ALL WATER VALVES 2" AND BELOW SHALL BE APOLLO 8770-100 SERIES FULL PORT 2-PIECE BALL VALVES WITH EXTENDED STEMS OR EQUAL AS MANUFACTURED BY WATTS OR RED-WHITE.
ALL CONNECTIONS BETWEEN DISSEMBLABLE PIPING MATERIALS SHALL BE MADE WITH PROOF BELT CLIPS. UNLESS TO PREVENT GALVANIC ACTION.
UNIONS AND VALVES SHALL BE PROVIDED AT CONNECTIONS TO ALL EQUIPMENT FOR SERVICE AND REMOVAL.
INSTALL VACUUM BREAKERS WHERE REQUIRED BY CODE AND AT ALL FUSH VALVES, HOSE REELS AND BILL COCKS.
THE CONTRACTOR SHALL FURNISH, SET AND CONNECT ALL PLUMBING FITURES AS SHOWN ON THE MECHANICAL AND PLUMBING DRAWINGS. THE ARCHITECTURAL DRAWINGS SHALL BE FOLLOWED IN LOCATING ALL FITURES. ALL FITURES ARE TO BE SET LEVEL AND SQUARE WITH RELATION TO FLOOR FINISH FLOOR AND WALL LINES. FITURES OCCURRING IN GROUPS SHALL BE SPACED EQUAL DISTANCE AT THE HEIGHT FROM FLOOR SPECIFIED UNLESS OTHERWISE NOTED. PARTS TO BE CHROME PLATED OR STAINLESS STEEL. ALL FITURES SHALL BE NEW AND OF THE BEST QUALITY AND BEAT THE MANUFACTURERS SPECIFICATIONS. LABEL OR TRADEMARK INDICATING FIRST QUALITY. EACH FITURE SHALL BE PROVIDED WITH INDIVIDUAL SHUT-OFF VALVES OF PROPER TYPE AS SPECIFIED AND APPROVED.
CONTRACTOR SHALL FURNISH AND INSTALL ALL CONCEALED AND EXPOSED SUPPORTS FOR ALL PLUMBING FITURES EXCEPT AS NOTED. ALL FITURES AND TRIM TO BE BY THE SAME MANUFACTURER FOR EACH PRODUCT SPECIFIED THROUGHOUT.
VERTICUS CHINA PLUMBING FITURES OF QUALITY MANUFACTURED BY AMERICAN BRANDED OR KENLEY WILL BE ACCEPTED. USE CURRENT MANUFACTURERS COMPARISON CHARTS FOR CROSS-REFERENCE. EXCEPT NUMBER OF FITURES. CONSULT BOTH ARCHITECTURAL AND MECHANICAL DRAWINGS.



2 FIXTURE CONNECTION DETAIL

FURNISH AND INSTALL 3/8 GAUGE MINIMUM GALVANIZED STEEL DUCTWORK FOR SUPPLY AIR AND RETURN AIR OF LOCK AND SEAM CONSTRUCTION AND CONSTRUCTED ACCORDING TO SMPSA STANDARDS.
GENERAL SUPPLY AND RETURN DUCTS SHALL BE GALVANIZED STEEL SHEET METAL. EXPOSED SHEET METAL DUCTWORK SHALL BE CLEAN AND READY FOR PAINTING BY OTHERS.
RECTANGULAR SUPPLY AIR AND RETURN AIR DUCTS SHALL BE LINED WITH ACoustical AND THERMAL INSULATION. LINER MANUFACTURERS APPLICATION INSTRUCTIONS SHALL BE STRICTLY FOLLOWED.
THERMALLY INSULATED, FULLY LINED FLEXIBLE AIR DUCTS MAY BE USED FOR THE LAST 5 FEET OF RUN OUT TO DIFFUSERS IN CONCEALED LOCATIONS. ACCEPTABLE MANUFACTURERS ARE: TECHNOLUX, FLEXMASTER, THERMAFLEX AND UNIFLEX.
DUCT LINERS SHALL BE EQUAL TO 1/4" THICK R-2 JOHNS MANVILLE "M" ACOUSTIC RC" FLEXIBLE FIBERGLASS INSULATION. LINER PRODUCT TO BE CERTIFIED. OVERSIZING OR UNLAP MAY BE FURNISHED AT THE CONTRACTOR'S OPTION. GLUE AND FIN LINDER TO THE CONTRACTOR. MANUFACTURERS INSTRUCTIONS SHALL BE FOLLOWED. BUTTER THE END OF ALL DUCT LINER PRIOR TO INSTALLATION. SPRAY COATING THE LINER ENDS IS NOT ACCEPTABLE. V-G AND R-2 JOHNS MANVILLE LINERS SHALL BE BONDING MAT OF GLASS FIBER WITH BLACK FIRE RESISTANT COATING ON SIDE TOWARD AIR STREAM. LINER SHALL ACT AS ACUSTICAL AND THERMAL INSULATION. LINER SHALL BE CERTIFIED. DUCT AIR VELOCITIES UP TO 400 FPM AND DUCT AIR TEMPERATURE UP TO 250 DEGREES. DUCT OVERSIZING SHOULD BE PRELIEVED AND SHALL NOT BE REQUIRED.
ALL DUCTWORK TO BE SUSPENDED FROM THE STRUCTURE SHALL HAVE THE SPRAY APPLIED FIRE PROOFING SCRAPED OFF FOR ATTACHMENT OF STRUCTURAL SUPPORTS AND THE AREA SHALL BE TOUCHED UP WITH THE PROTECTIVE FINISH TO MAINTAIN THE FIRE RATINGS OF THE STRUCTURAL STEEL. PER THE SHELL BUILDING REQUIREMENTS.
ALL ROUND GALVANIZED SUPPLY DUCTWORK EXPOSED FROM VIEW SHALL BE WRAPPED WITH 2" FSK DUCT WRAP. PER ALL OTHERS WITH PER DUCT TAPE.
ALL VENTILATION AIR DUCTWORK (OUTSIDE AIR) SHALL BE WRAPPED IN ALL AREAS WITH 2" FSK DUCT WRAP. PER ALL OTHERS WITH PER DUCT TAPE.
ALL DUCT SYSTEMS SHALL BE PROVIDED WITH DAMPERS NECESSARY FOR PROPER CONTROL AND BALANCING OF THE AIR SYSTEMS.
SINGLE BLADE DAMPERS FOR ROUND DUCTS SHALL BE EQUAL TO AMERICAN WARMING AND VENTILATING MODEL V022 WITH LOCKING BRASS SELF-LOCKING REGULATOR.
MULTI-LEAF DAMPERS FOR RECTANGULAR OR SQUARE DUCT SHALL BE EQUAL TO AMERICAN WARMING AND VENTILATING MODEL V0-31 WITH VENTILOK #84 SELF-LOCKING REGULATOR.

NO.	REVISIONS	DATE

DATE	PROJECT
05/17/2019	2018.0122

TITLE
Plumbing Schedules, Details, and Specifications
SHEET



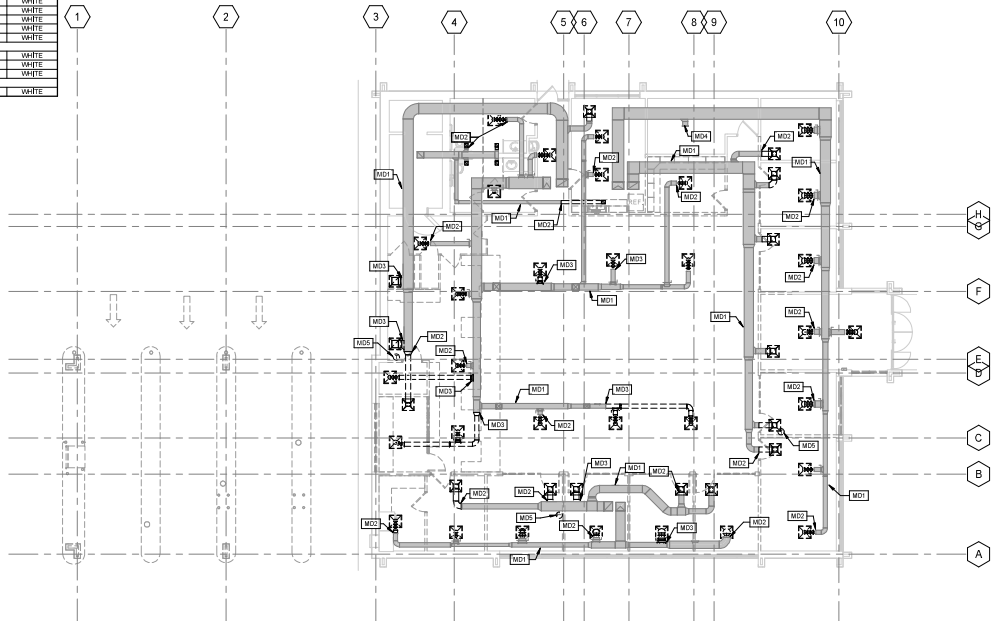
CERTIFICATION



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AIR TERMINAL SCHEDULE								
TAG	MANUFACTURER	MODEL	NECK SIZE	FACE SIZE	SYSTEM	MOUNTING	MATERIAL	FINISH
A	TUTTLE & BAILEY	T1100-06SP	6" DIA	12" x 12"	SUPPLY	SURFACE	STEEL	WHITE
B	TUTTLE & BAILEY	T1100-06LT	6" DIA	24" x 24"	SUPPLY	LAY-IN	STEEL	WHITE
C	TUTTLE & BAILEY	T1100-06LT	6" DIA	24" x 24"	SUPPLY	LAY-IN	STEEL	WHITE
D	TUTTLE & BAILEY	T1100-06LT	10" DIA	24" x 24"	SUPPLY	LAY-IN	STEEL	WHITE
E	TUTTLE & BAILEY	T1100-12LT	12" DIA	24" x 24"	SUPPLY	LAY-IN	STEEL	WHITE
RS-1	TUTTLE & BAILEY	CRS500	10" x 10"	12" x 12"	RETURN	SURFACE	ALUMINUM	WHITE
RS-2	TUTTLE & BAILEY	CRS500	22" x 10"	24" x 12"	RETURN	SURFACE	ALUMINUM	WHITE
RS-3	TUTTLE & BAILEY	CRS500	22" x 22"	24" x 24"	RETURN	LAY-IN	ALUMINUM	WHITE
ES-1	TUTTLE & BAILEY	CRS500	6" x 6"	8" x 8"	EXHAUST	SURFACE	ALUMINUM	WHITE

- 1 INTEGRAL VOLUME DAMPER ADJUSTABLE FROM FACE OF GRILLE
- 2 INSULATED BOOT BEHIND GRILLE
- 3 DROVALL FLANGE



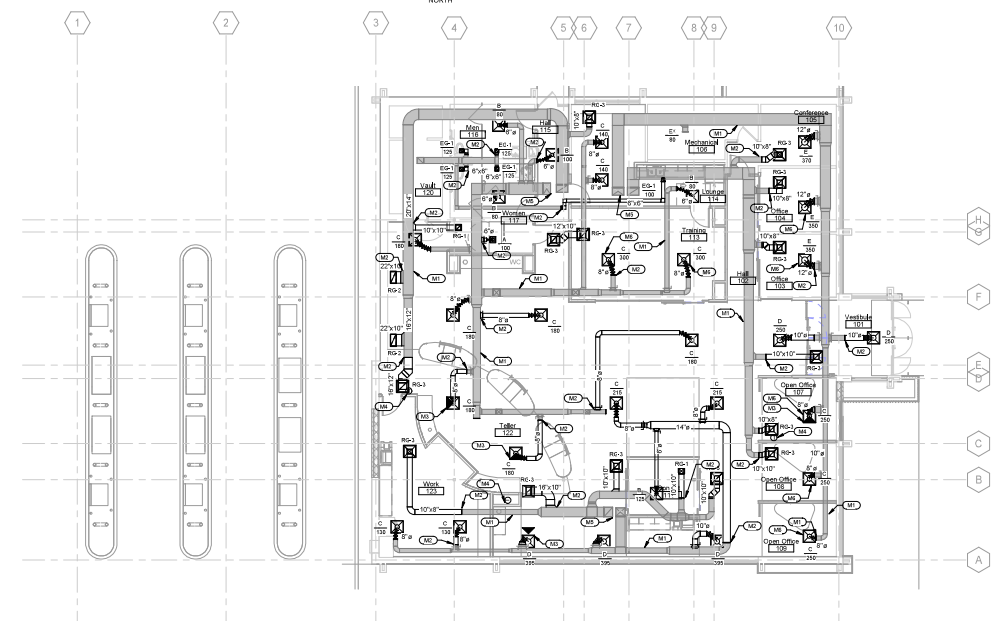
2 Mechanical Demolition Plan - Main Level
SCALE: 1/8" = 1'-0"
NORTH

GENERAL MECHANICAL DEMOLITION NOTES

1. CLEAN AND PAINT ALL EXISTING DIFFUSERS AND GRILLES SHOWN TO REMAIN.
2. REFINISH ALL GRILLES AND DIFFUSERS SHOWN TO REMAIN TO THE APPLICABLE FINISH SHOWN ON THE RENOVATION PLANS.
3. VERIFY ALL EXACT LOCATIONS OF EXISTING DUCTS, PIPING AND EQUIPMENT AS WELL AS SIZES.
4. NOT ALL PIPING, DUCT AND EQUIPMENT TO BE REMOVED IS SHOWN ON THE DRAWINGS. CONTRACTOR SHALL VISIT THE SITE TO VERIFY ALL EXISTING ITEMS.
5. ALL DUCTS, DIFFUSERS AND GRILLES IN THE ENTIRE PROJECT LIMITS TO REMAIN UNLESS SPECIFICALLY SHOWN TO BE DEMOLISHED.
6. GENERALLY, THIS PROJECT HAS EXISTING DIFFUSERS REMOVED. DUCTWORK PREPARED FOR NEW DIFFUSERS AND NEW DIFFUSERS PLACED IN NEW CEILING GRIDS PER ARCHITECTURE REFLECTED CEILING PLANS.

MECHANICAL DEMOLITION NOTES

- M01. EXISTING LIGHTLY SHADED DUCT TO REMAIN, SHOWN FOR REFERENCE ONLY, TYPICAL.
- M02. DEMOLISH EXISTING DIFFUSER AND DUCT TO THIS LOCATION, PREPARE FOR FUTURE CONNECTION, TYPICAL.
- M03. DEMOLISH EXISTING DIFFUSER AND DUCT TO THIS LOCATION AND CAP.
- M04. EXISTING DIFFUSER TO REMAIN, SHOWN FOR REFERENCE ONLY.
- M05. EXISTING THERMOSTAT SHOWN AS DEMOLISHED TO BE CAREFULLY REMOVED AND RELOCATED.



1 Mechanical Plan - Main Level
SCALE: 1/8" = 1'-0"
NORTH

GENERAL MECHANICAL NOTES

1. MECHANICAL CONTRACTOR SHALL PROVIDE ANY ADDITIONAL OFFSETS AS REQUIRED TO COMPLETE THE INSTALLATION OF THE DUCT SYSTEMS. LAYOUTS ARE SCHEMATIC IN NATURE AND PROVIDE GENERAL ROUTING SOLUTIONS. CONTRACTOR SHALL COORDINATE ALL PORTS ON SITE.
2. ALL NEW DUCTS SHALL BE SEALED AND INSULATED PER SPECIFICATIONS.
3. INSTALL ALL DUCTS AND PIPING AS HIGH AS POSSIBLE TO ALLOW FOR CLEARANCE WITH CEILING AND OTHER TRACES.
4. SEE THE REFLECTED CEILING PLANS FOR EXACT LOCATIONS OF ALL DIFFUSERS IN THE CEILING.

MECHANICAL NOTES

- M1. EXISTING LIGHTLY SHADED DUCT TO REMAIN, SHOWN FOR REFERENCE ONLY, TYPICAL.
- M2. CONNECT NEW DUCT INTO EXISTING, TYPICAL.
- M3. BLANK OFF SIDE OF DIFFUSER SHADED BLACK TO MINIMIZE AIRFLOW OR THERMISTATITY.
- M4. MOVE EXISTING THERMOSTAT TO THIS LOCATION; SEE ELECTRICAL FOR LOCATING HEIGHT.
- M5. EXISTING SUPPLY AND RETURN MAINS UP TO EXISTING RTU, RTU ON ROOF TO REMAIN OPERATIONAL. CONTRACTOR TO PERFORM REFRIGERANT CHARGE CHECK AND REPLACE ALL FILTERS AT PROJECT COMPLETION. IN ADDITION, PERFORM CHECK ON ALL GAS REFRIGERANT FOR ANY LEAKS. ANY LEAKS FOUND SHALL BE REPAIRED WITH A CHANGE ORDER TO THE CONTRACTOR. ASSUME UNIT IS FULLY FRESH REFRIGERANT (R410A).
- M6. INSTALL NEW AIR TERMINAL AND CONNECT TO EXISTING DUCTWORK. PROVIDE AND INSTALL BUTTERFLY VOLUME CONTROL DAMPER IN DIFFUSER.

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REVISIONS		
NO.	DESCRIPTION	DATE

DATE	PROJECT
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TITLE
Mechanical and Demolition Plan - Main Level

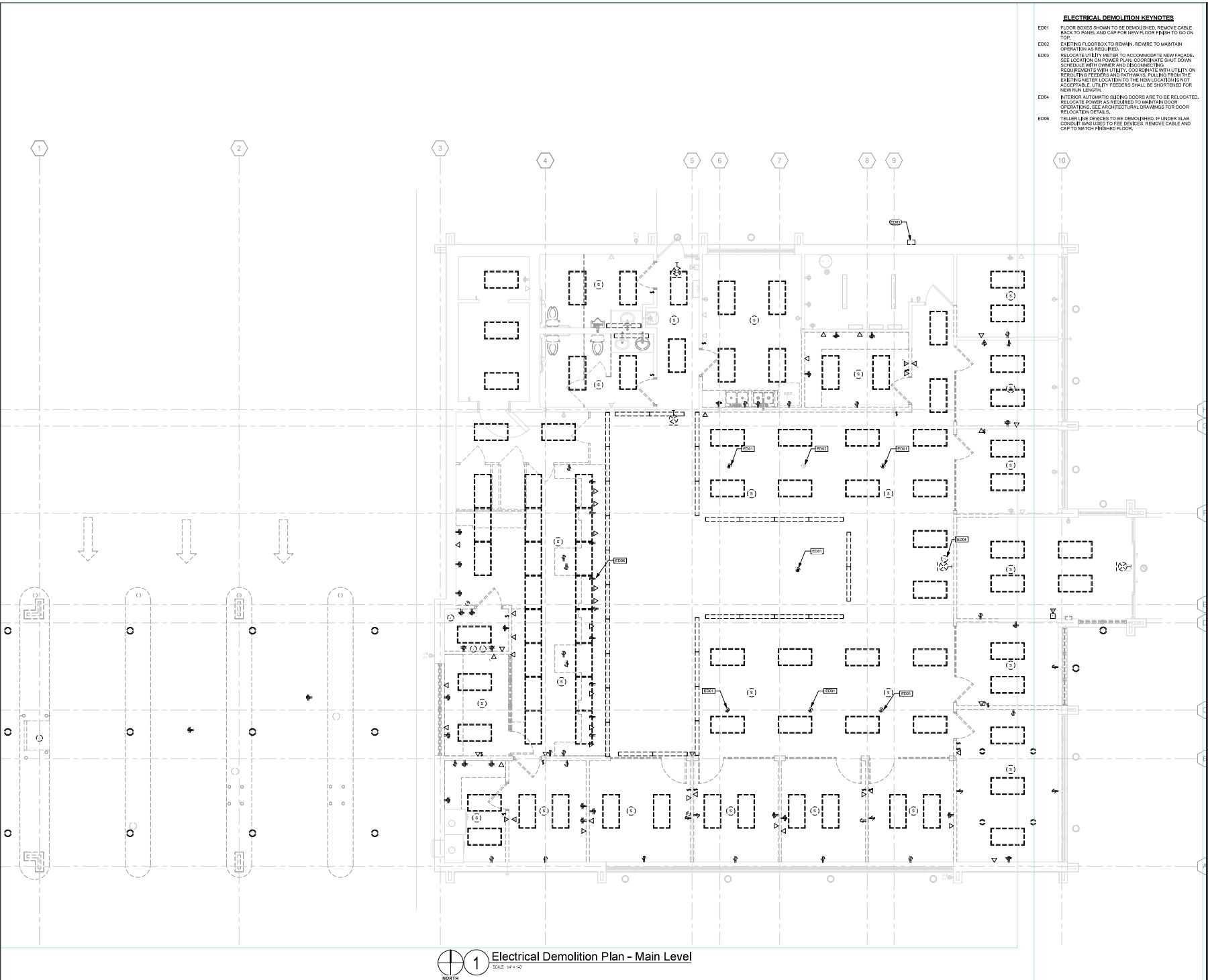
SHEET

M1.1



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- ELECTRICAL DEMOLITION KEYNOTES**
- ED01 FLOOR BOXES SHOWN TO BE DEMOLISHED. REMOVE CABLE BACK TO PANEL AND CAP FOR NEW FLOOR FINISH TO GO ON TOP.
 - ED02 EXISTING FLOORBOX TO REMAIN. REWIRE TO MAINTAIN OPERATION AS REQUIRED.
 - ED03 RELOCATE UTILITY METER TO ACCOMMODATE NEW FACADE. SEE LOCATION ON POWER PLAN. COORDINATE SHUT DOWN SCHEDULE WITH OWNER AND DISCONNECTING REQUIREMENTS WITH UTILITY. COORDINATE WITH UTILITY ON NEW RERUN FEEDERS AND THREATS. PULLING FROM THE EXISTING METER LOCATION TO THE NEW LOCATION IS NOT ACCEPTABLE. IF FEEDERS SHALL BE SHORTENED FOR NEW RUN LENGTH.
 - ED04 INTERIOR AUTOMATIC SLIDING DOORS ARE TO BE RELOCATED. RELOCATE POWER AS REQUIRED TO MAINTAIN DOOR OPERATING. SEE ARCHITECTURAL DRAWINGS FOR DOOR RELOCATION DETAILS.
 - ED05 TELLER LINE DEVICES TO BE DEMOLISHED. IF UNDER SLAB CIRCUIT VANS USED TO FREE SPACES. REMOVE CABLE AND CAP TO MATCH FINISHED FLOOR.



1 Electrical Demolition Plan - Main Level
 SCALE: 1/4" = 1'-0"

NO.	REVISIONS	DATE

DATE	PROJECT
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TITLE
Electrical Demolition Plan - Main Level

SHEET

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GENERAL ELECTRICAL DEMOLITION NOTES

- REMOVE ELECTRICAL WORK FROM WALLS, CEILING AND OTHER SURFACES TO BE REMOVED. EXISTING RINGS AND CONDUIT MAY BE REMOVED IF ALL REQUIREMENTS SHOWN ON DRAWINGS ARE SATISFIED.
- REMOVE ALL EXISTING CONDUITS, ELECTRICAL EQUIPMENT AND ACCESSIBLE RACKWAYS INCLUDING LOW-VOLTAGE, INTERCOM BELLS AND FIRE ALARM SYSTEMS.
- EXISTING EQUIPMENT DEVICES, ETC. INDICATED TO REMAIN ARE INTENDED TO REMAIN OPERATIONAL. EXISTING CIRCUIT CIRCUITS AS REQUIRED TO KEEP DOWN STREAM DEVICES OPERATIONAL.
- REMOVE EXISTING LIGHT FIXTURES FROM ALL AREAS WHERE NEW LIGHTINGS INDICATED. EXISTING CIRCUITS MAY BE REUSED, E.C. IS RESPONSIBLE FOR PROPER REPAIRS OF EXISTING LAMPS.
- EXISTING EQUIPMENT AND CIRCUITS ARE INTENDED TO BE A REASONABLE APPROPRIATION AND BE FOR CONVENIENCE ONLY. NOT FOR THE SAKE OF BEING, DETERMINE EXACT QUANTITIES. LOCATIONS AND WIRING METHODS AT JOB SITE.
- ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR DEMONSTRATING REMOVAL AND RELOCATION TO ALL EXISTING EQUIPMENT SHOWN TO BE REMOVED OR RELOCATED.
- FOR GENERAL SECURITY SYSTEMS AND OTHER SIMILAR EQUIPMENT - E.C. TO SUPPORT EQUIPMENT WHERE CABLES ARE SHOWN TO BE REPLACED, AND RENEWAL UNDER NEW CEILING IN PLACE. ANY OF THIS EQUIPMENT SHOWN AS DEMOLISHED SHALL BE RETURNED TO THE OWNER.
- EXISTING LIGHTING CONTROLS SHOWN TO BE REMOVED. REMOVE COILS AND WIRING. REMOVAL BACKBOX, PATCH AND MOUNT OVER OPENING.

GENERAL ELECTRICAL NOTES

- THE SCOPE OF THE WORK COVERED BY THESE DRAWINGS AND SPECIFICATIONS INCLUDES LABOR, EQUIPMENT, AND MATERIALS FOR THE COMPLETE ELECTRICAL SYSTEM.
- THE ENTIRE ELECTRICAL SYSTEM SHALL COMPLY WITH THE NEC AND ALL STATE AND LOCAL CODES.
- THE ENTIRE ELECTRICAL SYSTEM SHALL BE GROUNDED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE.
- EACH CONDUIT RUN SHALL HAVE A SEPARATE GROUND WIRE. ALL BRANCH CIRCUITS SHALL HAVE SEPARATE GROUND CONDUCTORS, DIVISIONS OF NEUTRAL WIRE SHALL BE ACCEPTABLE.
- COORDINATE WITH VENDOR DRAWINGS FOR ADDITIONAL LOW VOLTAGE DEVICES. LOCATIONS OF ALL DEVICES INCLUDING THE PROVIDE POWER AS REQUIRED. NOT SHOWN ON ELECTRICAL DRAWINGS.
- FIELD VERIFY EVERY CIRCUIT AND PROVIDE UPDATED TYPED CIRCUIT DIRECTORY AND CLEAN PROTECTIVE COVERING OVER THE DOOR OF EVERY ELECTRICAL PANEL.
- NEC TYPE CABLE ALLOWABLE IN CONCEALED HORIZONTAL RUNS. INSTALLED CONCEALED IN IT'S OWN WALLS BETWEEN OUTLET DEVICES, CONNECTING TO MAIN OR VENTILATED EQUIPMENT, AND FOR FINAL CONNECTION TO LIGHT FIXTURES (6 FT. MAX).
- USE BOLTED CLAMP TYPE HANGERS FOR SUPPORTING CONDUITS, SINGLE END STRAP AND SPRING TYPE CONDUIT HANGERS ARE NOT ACCEPTABLE.
- ALL EXISTING TO REMAIN RECEPTACLES AND SWITCHES ARE TO BE REPLACED AND COORDINATE WITH WIRE DEVICES AND WHITE COVERPLATES TO MATCH NEW.

GENERAL LIGHTING NOTES

- FIXTURES LABELED AS EMERGENCY FIXTURE SHALL HAVE EMERGENCY BATTERY PACK LOCATED IN DRIVER COMPARTMENT OF FIXTURE. WHERE FIXTURE IS LABELED AS NIGHT LIGHT, THE FIXTURE IS UNSWITCHED DIRECTLY TO CIRCUIT. WHERE FIXTURE IS ALSO SHOWN TO BE SWITCHED, PROVIDE ADDITIONAL UNSWITCHED LEAD TO BATTERY PACK TO SENSE POWER LOSS AND TRANSFER POWER. WHERE EMERGENCY FIXTURES ARE SHOWN ON EXTERIOR OR IN OR WALL CEILING, LOCATE BATTERY REMOTELY IN UNOCCUPIED SPACE. ABOVE ACCESSIBLE CEILING.
- CONNECT ALL EXISTING, SELF CONTAINED, BATTERY POWERED EMERGENCY LIGHTS AND LIGHT FIXTURES LABELED AS NIGHT LIGHTS UNSWITCHED TO LIGHTING CIRCUIT IN THAT AREA, BY PASSING ALL SWITCHES OR CONTROLS.
- CEILING MOUNTED OCCUPANCY SENSORS MOUNTED IN WOOD OR PAINTED CEILING SHALL BE PAINTED TO MATCH CEILING COLOR. VERIFY FINISH WITH ARCHITECT PRIOR TO PAINTING.
- WALL MOUNTED SWITCHES SHALL HAVE INTERNAL ON/OFF OVERRIDE SWITCH. ADJUSTABLE TIME DELAY AND PROGRAMMABLE MODES OF OPERATION SHALL BE PROVIDED. AUTO ON/OFF OFF. EXISTING SENSORS SHALL BE CAPABLE OF BEING MASKED OFF TO PREVENT FALSE OR SERIAL FROM CERTAIN AREAS OF COVERAGE.
- WHERE CEILING MOUNTED STAND ALONE SENSORS ARE SHOWN IN ROOMS WITH LINE VOLTAGE SWITCHES, SWITCH AND SENSOR SHALL BE WIRING IN SERIES.
- E.C. SHALL PROVIDE ALL REQUIRED CABLES AND WIRING TO CONNECT ALL CONTROL DEVICES, INCLUDING R-45 PLUGS ON ALL CABLES.
- REMOVE EXISTING LIGHTING CIRCUITS FOR NEW LIGHTING. ADD NEW CIRCUITS AND BRACKETS AS REQUIRED. CONNECT TO WIRE MORE THAN 18" TO ANY 20A CIRCUIT.

GENERAL FIRE ALARM NOTES

- THE OWNER HAS A CONTRACT WITH FLEETOR SECURITY SYSTEMS FOR ALL FIRE ALARM NEEDS. THE DEVICES SHOWN ARE FOR REFERENCE ONLY.
- COORDINATE WITH FLEETOR SECURITY SYSTEMS AND OWNER FOR SCOPE OF WORK PERTAINING TO THE REMOVAL AND INSTALLATION OF FIRE ALARM DEVICES.
- MOUNT NEW FIRE ALARM DEVICES AT CODE REQUIRED HEIGHTS. REMOVE EXISTING BACKBOXES WITH EXTENDER WHERE NEW DEVICES ARE LOCATED. REMOVE EXISTING DEVICES THAT HAVE BEEN REWORKED.
- NEW BRACKETS TO BE RUN NEARLY ABOVE CEILING PARALLEL OR PERPENDICULAR TO BUILDING STRUCTURE.
- E.C. TO PROVIDE (25) OCTAGON BACK BOXES TO BE INSTALLED BY FLEETOR.

VOLTAGE DROP SCHEDULE (all sizes based on copper conductors)

LOAD AMPACITY	WIRE SIZE	MAX WIRE LENGTH - 100% DROP		MAX WIRE LENGTH - 27% DROP	
		2% DROP - FEEDERS	3% DROP - BRANCH CKTS	2% DROP - FEEDERS	3% DROP - BRANCH CKTS
50 A	#8	99	103	158	236
50 A	#6	107	160	246	337
50 A	#4	100	247	370	554
50 A	#2	200	300	462	692
50 A	#1	342	397	554	837
60 A	#8	89	133	205	308
60 A	#6	133	207	308	462
60 A	#4	127	262	385	572
60 A	#2	200	307	462	692
60 A	#1	350	376	572	860
80 A	#4	100	160	231	348
80 A	#3	120	188	282	432
80 A	#2	190	297	348	520
80 A	#1	310	381	432	650
80 A	#1/2	231	348	533	792
100 A	#3	100	160	231	348
100 A	#2	130	180	277	430
100 A	#1	190	220	348	520
100 A	#1/2	180	277	420	640
100 A	#2/3	210	320	504	760
150 A	#1/2	123	183	284	420
150 A	#2/3	146	219	370	554
150 A	#3/4	170	260	393	590
150 A	#1/2	200	300	462	692
150 A	#2/3	219	329	506	759
200 A	#2/3	128	192	295	420
200 A	#3/4	150	220	346	520
200 A	#1/2	180	247	380	560
200 A	#3/4	180	277	420	640
200 A	#1/2	200	300	462	692
300 A	#1/2	114	172	264	390
300 A	#2/3	123	184	283	424
300 A	#3/4	137	200	317	470
300 A	#1/2	146	219	337	505
400 A	#1/2	128	192	295	442

ELECTRICAL DEVICES

- ⊕ DUPLEX RECEPTACLE - +2" INDICATES MOUNTING HEIGHT
- HORIZONTAL MOUNT
- ⊕ GROUND FAULT INTERRUPTER
- ⊕ QUAD RECEPTACLE
- ⊕ DEDICATED 20 AMP
- SPLIT WIRE
- ISOLATED GROUND
- ⊕ GF/WH/IN WEATHER PROOF - RH USE COVER
- ⊕ DUPLEX RECEPTACLE WITH (2) USB JACKS
- ⊕ FLOOR OUTLET / POKER THRU DEVICE
- ⊕ MOUNTED IN OTHERS EQUIPMENT
- SPECIAL RECEPTACLE - AS NOTED
- TWIST LOCK RECEPTACLE - AS NOTED
- JUNCTION BOX

TELECOMMUNICATION DEVICES

- ⊕ TELECOMMUNICATIONS OUTLET - 6" FROM CEILING UNO.
- ⊕ 12" INDICATES MTS HEIGHT (REQUIRES 1 1/4" CONDUIT TO BE INSTALLED IN ACCESSIBLE CEILING SPACE)
- ⊕ TELEPHONE TERMINAL BOARD
- ⊕ FIREPROOF PAINTED 3/4" PL W/VOID
- ⊕ FLOOR POST FLOOR RACK - RACK BY OTHERS UNO.
- ⊕ DATANETWORK SWITCH
- ⊕ WALL MOUNTED ROOM-AIR LOCATION, REFER TO DETAILS FOR CONDUIT ROUTES
- ⊕ WIRELESS ACCESS POINT - SEE SPECIFICATIONS FOR EXACT ROOM/IN-ROOMS

ELECTRICAL EQUIPMENT

- ⊕ PANELBOARD / DISTRIBUTION PANELBOARD
- ⊕ SAFETY/SEC. SWITCH - NON FUSED - "R" = AMP RATING
- ⊕ SAFETY/SEC. SWITCH - FUSED - "F" = AMP RATING
- ⊕ COMBINATION MOTOR STARTER
- ⊕ MAGNETIC MOTOR STARTER
- ⊕ DRY TYPE TRANSFORMER
- ⊕ MOTOR
- ⊕ VARIABLE FREQUENCY DRIVE
- ⊕ CONTACTOR

LIGHT FIXTURES AND CONTROLS

- ⊕ SINGLE POLE SWITCH - 120/277 VOLT, 20 AMP
- ⊕ THREE-WAY LINE VOLTAGE SWITCH
- ⊕ WALL OCCUPANCY SENSOR AND ON/OFF SWITCH - LINE VOLTAGE
- ⊕ SINGLE POLE LINE VOLTAGE SWITCH - WEATHERPROOF
- ⊕ MOTOR THERMAL OVERLOAD SWITCH WITH GFI HEATER AND PILOT LAMP
- ⊕ LINE VOLTAGE SNAP SWITCH W/PILOT LAMP
- ⊕ WALL MOUNTED LINE VOLTAGE TIMER SWITCH
- ⊕ WALL MOUNTED LINE VOLTAGE DIMMER SWITCH
- ⊕ KEY OPERATED LINE VOLTAGE SWITCH
- ⊕ LOW VOLTAGE WALL LIGHTING CONTROL DEVICE - # INDICATED DEVICE IS REFER TO SCHEDULE FOR MORE INFORMATION.
- ⊕ CEILING MOUNTED OCCUPANCY SENSOR, REFER TO GENERAL NOTES AND CONTROLS SCHEDULES FOR LINE VOLTAGE AND LOW VOLTAGE CONTACTS
- ⊕ COMBINATION OCCUPANCY SENSOR / PHOTOCELL - CEILING MOUNT
- ⊕ CEILING MOUNTED PHOTOCELL
- ⊕ EMERGENCY LIGHT W/ BATTERY
- ⊕ CONNECT TO NEAREST UNGROUNDED LTG CKT
- ⊕ LIGHT FIXTURE - #1 INDICATES FEATURE TYPE # INDICATES HEIGHT
- ⊕ CAN LIGHT FIXTURE - #2 INDICATES FEATURE TYPE # INDICATES CONTROL ZONE
- ⊕ PENDANT LIGHT FIXTURE - #2 INDICATES FEATURE TYPE # INDICATES SWITCHING
- ⊕ EXT LIGHT - WALL MOUNT - BAR DENOTES FACE/ARROWS
- ⊕ ALL LIGHT - UNIVERSAL - BAR DENOTES FACE/ARROWS
- ⊕ EXT LIGHT - UNIVERSAL - BAR DENOTES FACE/ARROWS

FIRE ALARM

- ⊕ FIRE ALARM HORN W/ STROBE - WALL MOUNT
- ⊕ FIRE ALARM STROBE ONLY - WALL MOUNT
- ⊕ FIRE ALARM CEILING MOUNTED HORN/STROBE
- ⊕ FIRE ALARM CEILING MOUNTED STROBE ONLY
- ⊕ FIRE ALARM MANUAL PULL STATION
- ⊕ FIRE ALARM HORN/STROBE W/ PULL STATION BELOW
- ⊕ IONIZATION TYPE SMOKE DETECTOR
- ⊕ FIRE ALARM SPEAKER ONLY
- ⊕ DUCT SMOKE DETECTOR
- ⊕ FIRE ALARM HEAT DETECTOR
- ⊕ PHOTOELECTRIC SMOKE DETECTOR
- ⊕ SPRINKLER FLOW SWITCH
- ⊕ SPRINKLER TAMPER SWITCH
- ⊕ SPRINKLER POST INDICATOR VALVE
- ⊕ MAGNETIC DOOR HOLD-OPEN
- ⊕ FIRE ALARM CONTROL PANEL
- ⊕ FIRE ALARM ANNUNCIATOR PANEL

ONE LINE DIAGRAM COMPONENTS

- ⊕ PRIMARY FUSED SWITCH
- ⊕ GROUND
- ⊕ CIRCUIT BREAKER
- ⊕ NON-FUSED DISCONNECT SWITCH
- ⊕ FUSED DISCONNECT SWITCH
- ⊕ TRANSFER SWITCH
- ⊕ CONDUIT STUD WITH CAP AND MARKER

PLAN NOTES AND LINE TYPES

- ⊕ DETAIL INDICATOR - TOP DENOTES DETAIL, BOTTOM DENOTES SHEET
- ⊕ PLAN KEYNOTE REFERENCE
- ⊕ DIMENSION PLINE KEYNOTE REFERENCE
- ⊕ DIMENSION ARROW TO PANELBOARD, TAG INDICATES PANEL CIRCUITS.
- ⊕ LINE TYPE INDICATES NEW ELECTRICAL WORK
- ⊕ LINE TYPE INDICATES EXISTING ELECTRICAL TO REMAIN
- ⊕ LINE TYPE INDICATES ELECTRICAL DEMOLITION WORK

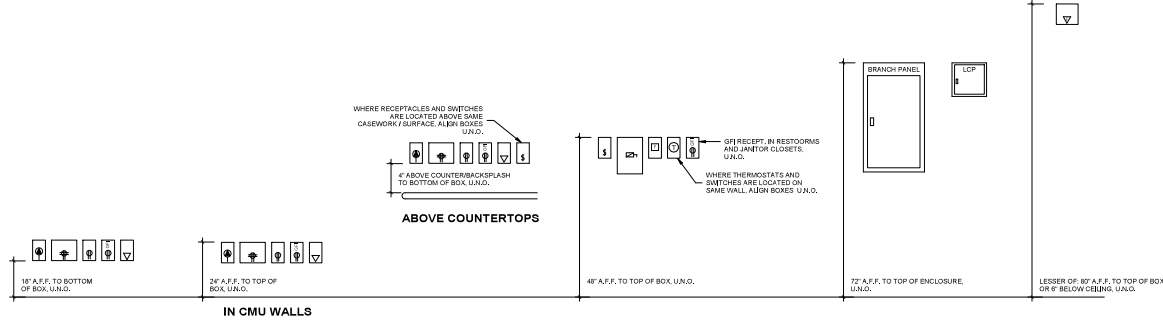
SECURITY AND ACCESS CONTROL

- ⊕ CAMERA - #12 INDICATES PAN TILT ZOOM
- ⊕ SECURITY SYSTEM KEYPAD
- ⊕ ALARM STATION - REQUIRES SINGLE GANG BOX AND 3/4" C.
- ⊕ ADA DOOR OPERATOR
- ⊕ PUSH BUTTON
- ⊕ DOOR CONTACTS
- ⊕ CARD READER / DOOR ACCESS CONTROL

ELECTRICAL DRAWING INDEX

NO.	DESCRIPTION	DATE
E0.0	General Electrical	
ED.1	Electrical Demolition Plan - Main Level	
E.1.1	Power Plan - Main Level	
E.1.2	Lighting Plan - Main Level	
E.4.3	Electrical Details	
E.4.4	Lighting Details	
E.5.1	Electrical Site Plan	
E.6.1	Electrical Specifications	

REVISIONS		PROJECT
NO.	DESCRIPTION	DATE
		2018.0122
DATE		PROJECT
5/17/2019		2018.0122
TITLE		
General Electrical		
SHEET		
E0.0		



1 Standard Electrical Mounting Heights



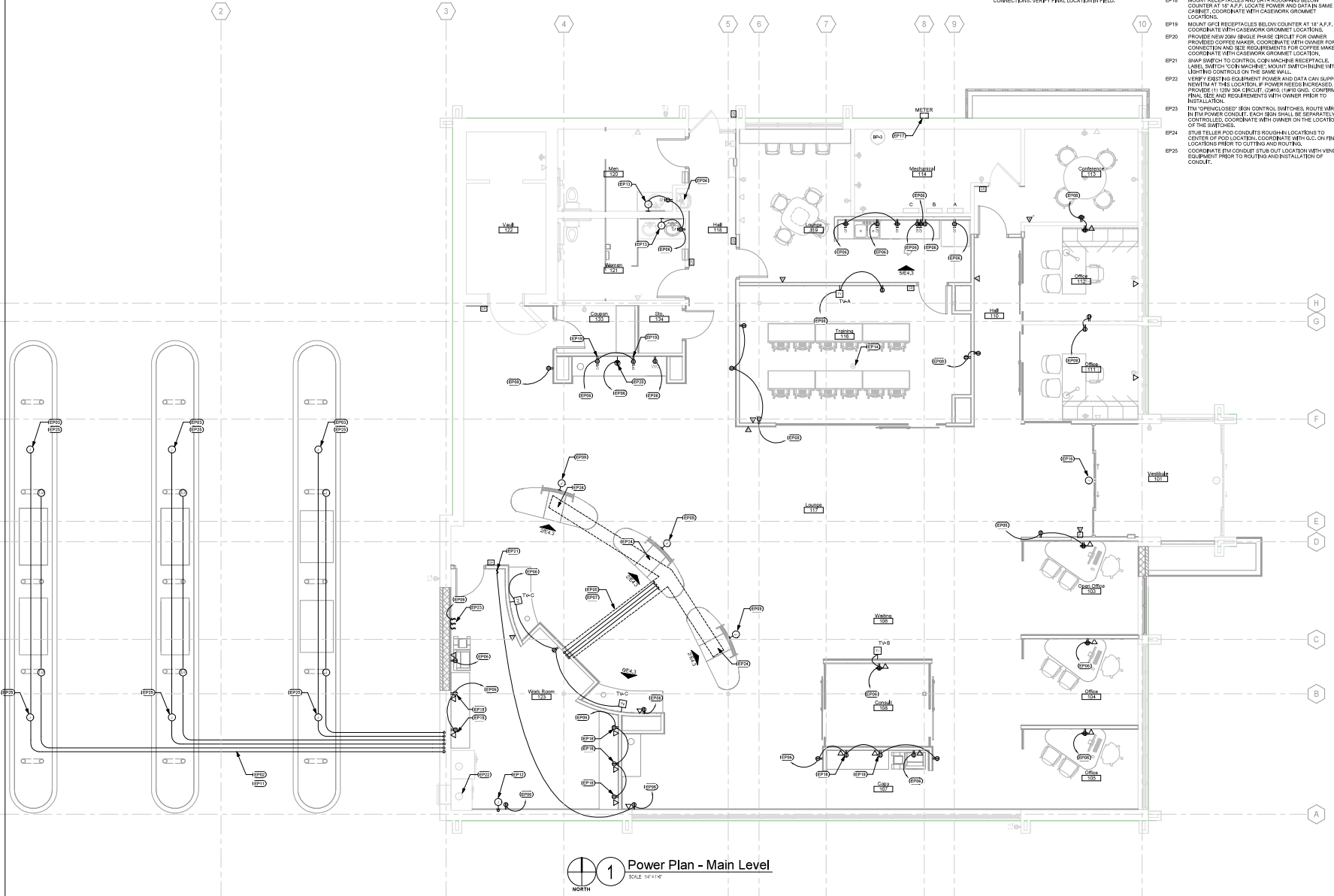
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POWER PLAN KEYNOTES

- EP02 PROVIDE CONDUIT TO FINAL LOCATIONS STUBBED OUT ABOVE ACCESSIBLE CEILING IN WORK ROOM 125, 111 1" CONDUIT FOR POWER AND 1/2" CONDUIT FOR DATA. PROVIDE 111 200V 30A CIRCUIT FOR EACH LOCATION, 125T2, 111T2 AND 111T3. CONFIRM FINAL SIZE AND REQUIREMENTS WITH OWNER PRIOR TO INSTALLATION.
- EP03 FUTURE FINAL LOCATIONS PROVIDE CONDUIT DESCRIBED IN KEYNOTE EP02 WITH FULL STRINGS.
- EP04 CONFIRM HAZARDOUS RECEPTACLE IS GFCI PROTECTED. IN THE EVENT THE RECEPTACLE IS NOT, REPLACE WITH NEW GFCI RECEPTACLE.
- EP05 COORDINATE WITH G.C. FOR SAK CUTTING TO PROVIDE PATH FOR CONDUIT. GUARANTEE POWER, SECURITY AND DATA TO TELLER POOL. SEE "TELLER POOL DETAIL" ON SHEET E4.3 FOR CONDUIT INFORMATION.
- EP06 NEW 120V 20A CIRCUIT, MAY REUSE ABANDONED PANEL SPACE TO MEET REQUIREMENTS OF EQUIPMENT. EXISTING ABANDONED BREAKERS MAY BE REUSED.
- EP07 ROUTE CONDUIT FROM TELLER POOL FOR POWER, DATA, AND SECURITY UP WALL AND STUBBED OUT ABOVE ACCESSIBLE CEILING OR TO ELECTRICAL PANEL. REFER TO TELLER POOL DETAIL FOR CONDUIT QUANTITIES AND SIZES.
- EP08 THE NEW 110V HARBEST 480V RECEPTACLE CIRCUIT.
- EP09 PROVIDE 4" SQUARE JUNCTION BOX ON FRONT OF TELLER POOL. FOR I.E. SERVICE BY OTHERS. VERIFY COVER AND CONTROL REQUIREMENTS WITH OWNER. E.C. IS RESPONSIBLE FOR MAKING FINAL POWER AND CONTROL CONNECTIONS. VERIFY FINAL LOCATION IN FIELD.

POWER PLAN KEYNOTES

- EP11 ROUTE CONDUIT TO GANTRY POLE STUB OUT ABOVE ACCESSIBLE CEILING IN WORK ROOM 125. PROVIDE 111" CONDUIT FOR SECURITY CAMERA. COORDINATE WITH G.C. TO ROUTE CONDUIT THROUGH TUBE STEEL TO GANTRY. COORDINATE WITH SECURITY VENDOR AND G.C. FOR BRACK BOV AND MOUNTING REQUIREMENTS FOR CAMERA MOUNTED TO GANTRY. E.C. IS RESPONSIBLE FOR BRACKBOV, CAMERA BY OTHERS.
- EP12 110V-200V CONDUIT STUBBED OUT ABOVE ACCESSIBLE CEILING FOR SECURITY CAMERAS. COORDINATE FINAL LOCATION WITH OWNER PRIOR TO ROUGH-IN.
- EP13 UNDER COUNTER POWER FOR MOTION SENSOR FAUCETS. MOUNT AT REBAT. JURY RELOCATE COUNTERS. CONNECTING MENS WITH VENDOR. WIRE SERVICES TO BE PROTECTED BY GFCI DEVICES UPSTREAM SUCH THAT IF THE UNDER COUNTER DEVICES TRIP THE ABOVE COUNTER DEVICES CAN BE RESET WITHOUT THE REMOVAL OF THE FRONT PANELS.
- EP14 EXISTING FLOOR BOX FOR POWER ONLY. MATCH COVER PLATE WITH FINISHED FLOOR.
- EP16 INTERIOR AUTOMATIC SLIDING DOORS RELOCATED AS SHOWN. INTERCEPT AND EXTEND POWER AS REQUIRED TO MAINTAIN DOOR OPERATORS. COORDINATE DISCONNECT AND RELOCATION WITH G.C.
- EP17 EXISTING UTILITY METER RELOCATED. INTERCEPT AND RELOCATE UTILITY SERVICE AND BUILDING FEEDERS AS REQUIRED.
- EP18 MOUNT RECEPTABLES AND DATA ROLLSHAKS BELOW COUNTER AT 18" AFF. LOCATE POWER AND DATA IN SAME CABINET. COORDINATE WITH CASEWORK GROUND MET LOCATIONS.
- EP19 MOUNT GFCI RECEPTABLES BELOW COUNTER AT 18" AFF. COORDINATE WITH CASEWORK GROUND MET LOCATIONS.
- EP20 PROVIDE NEW 200V SINGLE PHASE CIRCUIT FOR OWNER PROVIDED COFFEE MAKER. COORDINATE WITH OWNER FOR CONNECTION AND SEE REQUIREMENTS FOR COFFEE MAKER. COORDINATE WITH CASEWORK GROUND MET LOCATION.
- EP21 SNAP SWITCH TO CONTROL COIN MACHINE RECEPTACLE LABEL SWITCH FOR MACHINE. MOUNT SWITCH IN LINE WITH LIGHTING CONTROLS ON THE SAME WALL.
- EP22 VERIFY EXISTING EQUIPMENT POWER AND DATA CAN SUPPORT NEW/IN AT THE LOCATION. IF POWER NEEDS INCREASED, PROVIDE 110V 50A CIRCUIT. CONFIRM FINAL SIZE AND REQUIREMENTS WITH OWNER PRIOR TO INSTALLATION.
- EP23 ITU "OPEN/CLOSED" SIGN CONTROL SWITCHES. ROUTE WIRING IN NEW POWER CONDUIT. EACH SIGN SHALL BE SEPARATELY CONTROLLED. COORDINATE WITH OWNER ON THE LOCATION OF THE SWITCHES.
- EP24 STUB TELLER POOL CONDUITS THROUGH LOCATIONS TO CENTER OF POOL LOCATION. COORDINATE WITH G.C. ON FINAL LOCATIONS PRIOR TO CUTTING AND ROUTING.
- EP25 COORDINATE THROUGHOUT STUB OUT LOCATION WITH VENDOR EQUIPMENT PRIOR TO ROUTING AND INSTALLATION OF CONDUIT.



1 Power Plan - Main Level
SCALE: 1/8" = 1'-0"

NO.	REVISIONS DESCRIPTION	DATE

DATE	PROJECT
5/17/2019	2018.0122

TITLE
Power Plan - Main Level

SHEET

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LIGHT FIXTURES SHALL BE AS SCHEDULED OR APPROVED EQUAL TO DAYS PRIOR TO BID.

MARK	MANUFACTURE R	MODEL NO.	MOUNTING	FINISH	LAMP	VOLTAGE	WATTAGE	REMARKS
F2	ETORIC	ELM4L	WALL	WHITE	LED	120 V	5 W	REAR BATTERY BACKUP EMERGENCY LIGHT.
F2	ARNO	AR19EM-AV2354TW	RECESSED	WHITE	LED PAR 38	120 V	18 W	IF CAN LIGHT WITH CLEAR SPECULAR DIFFUSER AND VAPOR TIGHT. PARER LED BLUE-MAXI TRIPROTECTOR-LR
F3	TEXAS FLOURESCENT	TFR025TNO	RECESSED	WHITE	LED T8	120 V	36 W	EX-LAMP IN PROPER, DIMMABLE BALLAST (MIXED ON ONE END, 4' LED BULBS-MAXI TRIPROTECTOR-LR)
F4	TEXAS FLOURESCENT	TFR021TNO	RECESSED	WHITE	LED T8	120 V	32 W	EX-LAMP IN PROPER, DIMMABLE BALLAST (MIXED ON ONE END, 2' LED BULBS-MAXI TRIPROTECTOR-LR)
F6	SOTIM	SV029H-400S-48R-833-4MM-1-5T0	RECESSED	WHITE	LED	120 V	31 W	IF CAN LIGHT WITH CLEAR SPECULAR DIFFUSER AND WHITE TRIM (NOT LISTED). MOUNT IN BAY THROUGH CANOPY. COORDINATE WITH I.G.C.
F7	LUMENPULSE	LOGN14E-400-2L-40-48-10060SAMH-8R-UCT-1-4L	WALL	BLACK	LED	120 V	16 W	EXTERIOR LINEAR FEATURE FOR FACADE (EMERGENCY MOUNT AT TOP OF METAL PANEL USE PANEL MANUFACTURER RECOMMENDATIONS FOR SEALING PENETRATION POINTS. ADJUST FEATURE IN FIELD.
F8a	LUMENPULSE	LOGN14E-400-2L-40-48-10060SAMH-8R-UCT-1-4L	WALL	BLACK	LED	120 V	16 W	EXTERIOR LINEAR FEATURE FOR FACADE (EMERGENCY MOUNT AT TOP OF METAL PANEL USE PANEL MANUFACTURER RECOMMENDATIONS FOR SEALING PENETRATION POINTS. ADJUST FEATURE IN FIELD.
F8b	LUMENPULSE	LOGN14E-400-2L-40-48-10060SAMH-8R-UCT-1-4L	WALL	BLACK	LED	120 V	12 W	EXTERIOR LINEAR FEATURE FOR FACADE (EMERGENCY MOUNT AT TOP OF METAL PANEL USE PANEL MANUFACTURER RECOMMENDATIONS FOR SEALING PENETRATION POINTS. ADJUST FEATURE IN FIELD.
F9	ARNO	JCLR15LM-3600CR-130-2T-4WH	RECESSED	WHITE	LED	120 V	20 W	IF CAN LIGHT RETROFIT WITH ONE-PERSON REPLACEMENT OF EXISTING FIXTURES. CONFIRM BAY OF OPENING PRIOR TO ORDER. PROVIDE ALTERNATE BAYING OF FIXTURE IF AVAILABLE OR "GOOP" RING TO ACCOMMODATE OPENING.
F11	INDY	AGWA-1102-420-2CS-FF	RECESSED	WHITE	LED A21	120 V	16 W	IF WALL MOUNT CAN LIGHT WITH CLEAR SPECULAR DIFFUSER AND WHITE TRIM. PROVIDE RETROFIT LED LAMP. MAKE SURE 1/2" HOLED HOLE. PROVIDE LAMP WATTAGE NOT TO EXCEED 20W LABEL ON CAN LIGHT HOUSING.
F1	LEHORIA	EDGR-4WEL	UNIVERSAL	WHITE	LED	120 V	5 W	UNIVERSAL EXIST SIGN WITH REAR BATTERY BACKUP.

LIGHTING ZONES

ZONE	DETAIL NO.	SHEET NUMBER
21	2	E4
22	2	E4
23	5	E4
24	5	E4
25	5	E4
26	5	E4
27	1	E4
28	1	E4
29	1	E4
30	1	E4
31	3	E4

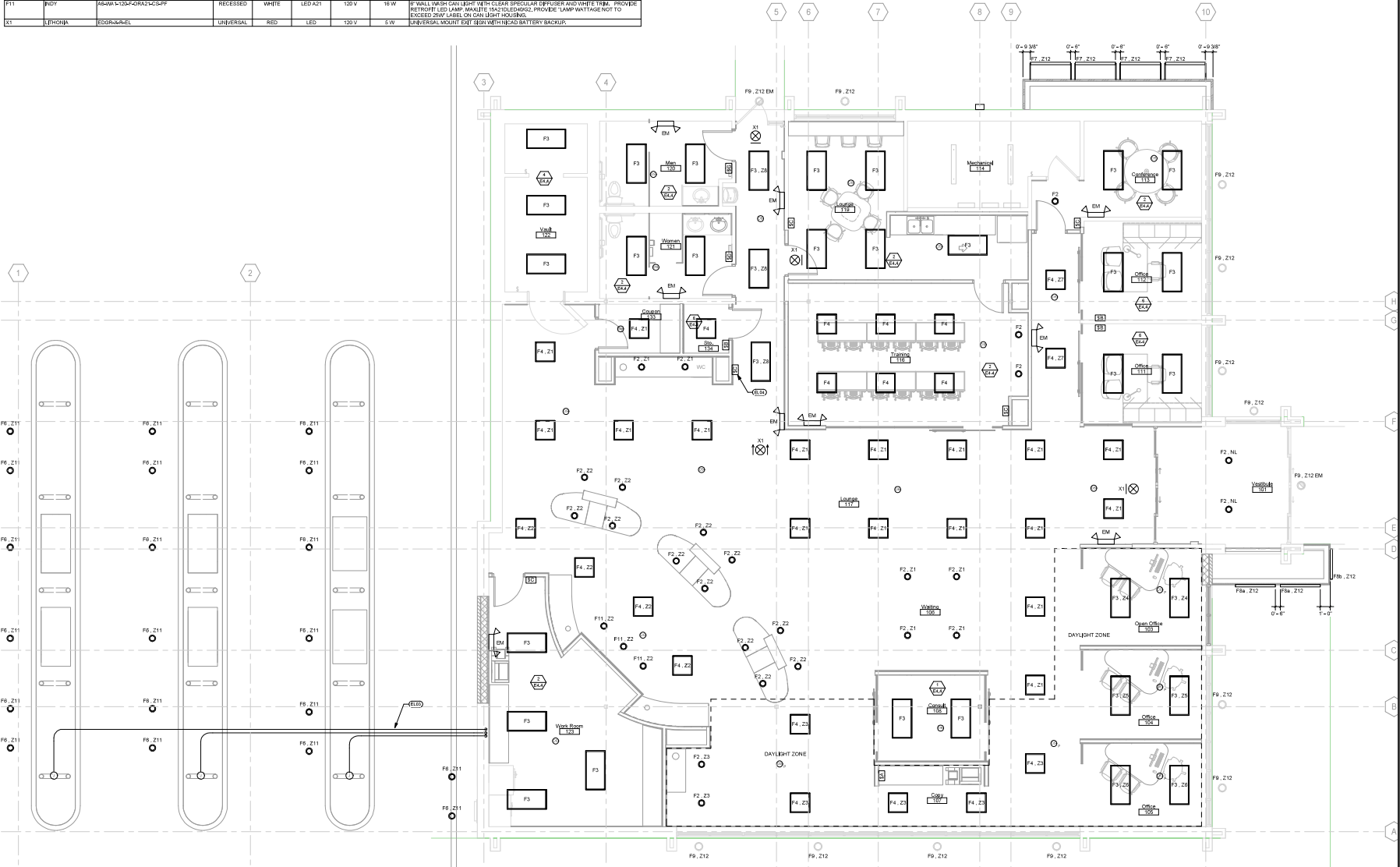
LOW VOLTAGE WALL SWITCH SCHEDULE

SWITCH ID	DESCRIPTION
A	SWITCH PANEL/LOWER CONTROL. SEE SWING CONTROL AND OCCUPANCY CONTROL AS DESCRIBED IN LIGHTING DETAIL ON SHEET E4.A.
B	WALL BOX OCCUPANCY SENSOR WITH SWING CONTROL. SEE CONTROL AND OCCUPANCY CONTROL AS DESCRIBED IN LIGHTING DETAIL ON SHEET E4.A.
C	SWITCH PANEL/UPPER OCCUPANCY CONTROL. SEE CONTROL AND OCCUPANCY CONTROL AS DESCRIBED IN LIGHTING DETAIL ON SHEET E4.A.

LIGHTING PLAN KEYNOTES

E103 ROUTE CONDUIT TO CHIMNEY ROLE, STUB OUT ABOVE ACCESSIBLE CEILING WORK 113 PROVIDE 1" CONDUIT FOR LIGHTING CIRCUIT. COORDINATE WITH I.G.C. TO ROUTE CONDUIT THROUGH TRUSS DECK TO CANOPY.

E104 MASTER OVERBITE SWITCH FOR LOBBY AND OPEN OFFICE LIGHTING.



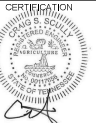
1 Lighting Plan - Main Level
 SCALE: 1/4" = 1'-0"

ORNL FEDERAL CREDIT UNION
 FARRAGUT BRANCH
 FARRAGUT, TENNESSEE

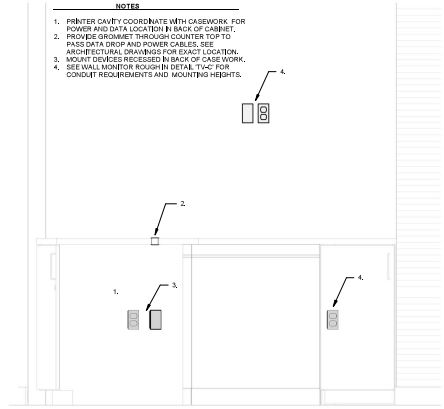
REVISIONS		
NO.	DESCRIPTION	DATE

DATE: 5/17/2019 PROJECT: 2018.0122
 TITLE: Lighting Plan - Main Level
 SHEET: E2.1

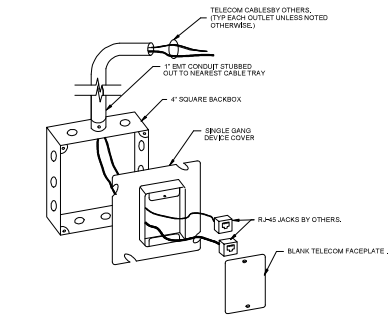
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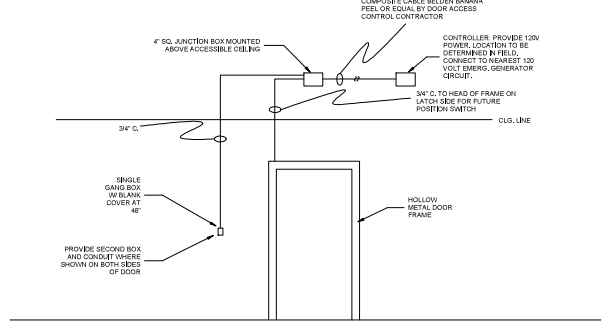
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6 Teller Casework Detail
NTS



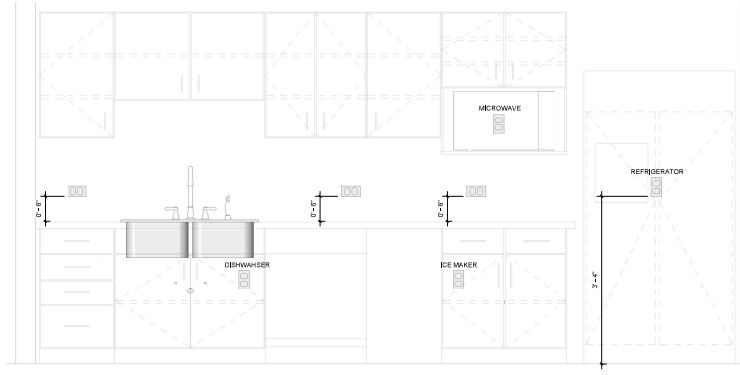
4 Telecommunications Blank Outlet Detail
NTS



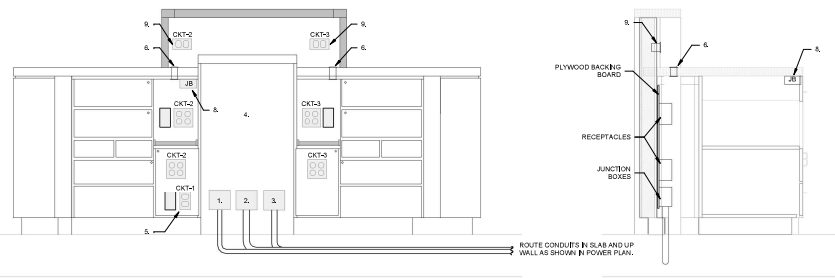
3 Typical Access Control/Card Reader Rough In Detail
NTS

- NOTES**
- 1" C. STUBBED AND JUNCTION BOX FOR POWER TO RECEPTACLES. EXTEND 1/2" CABLE FROM JUNCTION BOX TO EACH RECEPTACLE LOCATION.
 - 3/4" C. AND JUNCTION BOX FOR DATA. DATA CABLES BY OTHERS.
 - 3/4" C. AND JUNCTION BOX FOR SECURITY AND ALARM CABLES BY OTHERS.
 - MOBILE FILE DRAWER CAVITY FOR TELLER ASSIST. ALL CABLES CROSSING CAVITY SHALL BE ROUTED ALONG THE BOTTOM TO A HUB REAR ACCESS PANEL.
 - POWER AND DATA FOR TELLER ASSIST.
 - PROVIDE GROMMET THROUGH COUNTER TOP TO PASS DATA DROP TO PHONE AND CABLES TO CONNECT COMPUTER MONITORS. SEE ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS.
 - COMPUTER CABINET WITH POWER AND DATA.
 - SINGLE GANG JUNCTION BOX WITH BLANK COVER PLATE AT EACH TELLER COUNTER FOR ALARM BUTTON BY OTHERS.
 - DUPLEX RECEPTACLES WITH (2) USB PORTS, HUBBELL USB300R OR SIMILAR, MOUNTED RECESSED IN PARTITION HORIZONTALLY.

GENERAL NOTES:
THE E.C. IS RESPONSIBLE TO COORDINATE ALL ELECTRICAL WORK WITH GC AND CASWORK. SUBCONTRACTOR LOCATIONS AND QUANTITY OF EQUIPMENT IS SUBJECT TO CHANGE.
THIS DETAIL IS TYPICAL FOR EACH TELLER POD. EACH POD IS TO HAVE (3) 20A 120V CIRCUITS, DO NOT CIRCUIT PODS TOGETHER.



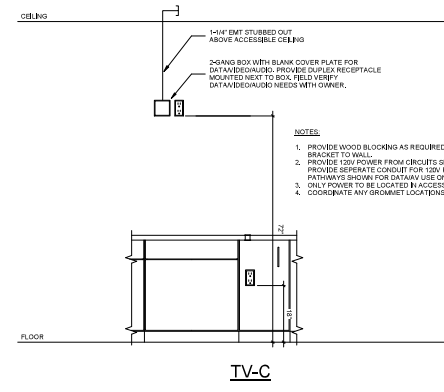
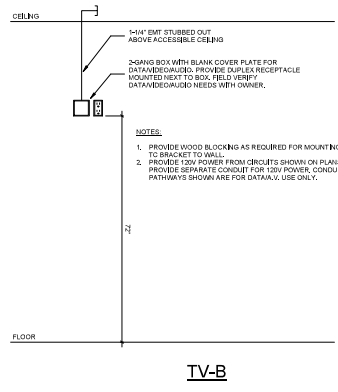
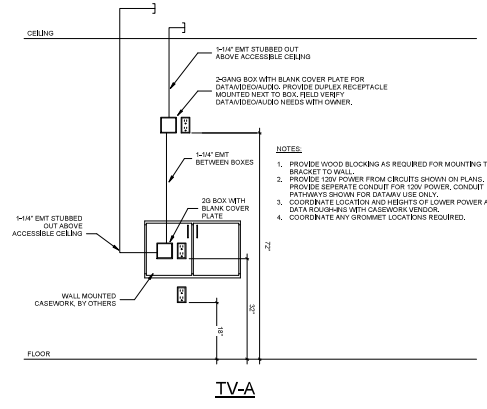
5 Lounge 109 - Casework Elevation
NTS



FRONT VIEW

SECTION VIEW

2 Teller POD Detail
NTS



1 Wall Monitor Rough In Detail
NTS

NO.	REVISIONS DESCRIPTION	DATE

DATE	PROJECT
5/17/2019	2018.0122

TITLE

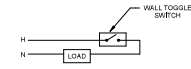
Electrical Details

SHEET

E4.3

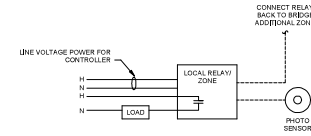


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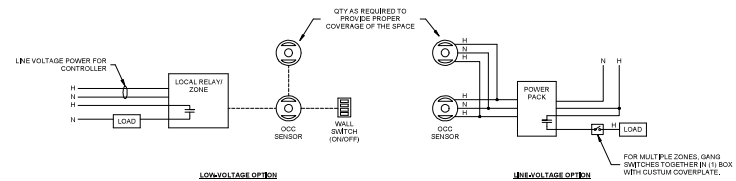
- NOTES:**
1. ON/OFF.
 2. STANDALONE ZONES, NOT NETWORKED.
 3. LINE VOLTAGE WIRING.
 4. NO TIME OF DAY CONTROL.
 5. NO AUTOMATIC SHUT OFF FOR SAFETY AND SECURITY OF PERSONNEL.

4 Snap Switch
NTS



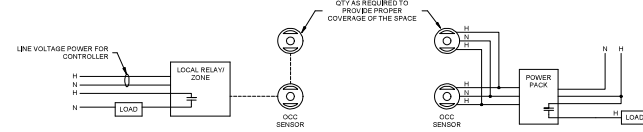
- NOTES:**
1. ONLY (1) ZONE IS SHOWN IN THIS DETAIL REFER TO PLANS FOR NUMBER OF EXTERIOR LIGHTING ZONES.
 2. PHOTO SENSOR TO CONTROL DUSK TO DAWN OPERATION OF FIXTURES. MOUNT SENSOR IN LOCATION FREE OF OVER HEAD OBSTRUCTIONS THAT COULD CAUSE FALSE READINGS.

3 Drive Thru Lighting Controls
NTS



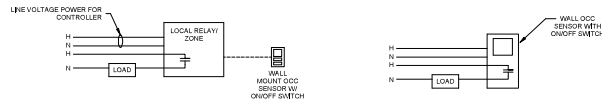
- NOTES:**
1. ON/OFF SWITCH TYPE 'SC'.
 2. STANDALONE ZONES, NOT NETWORKED.
 3. NO TIME OF DAY CONTROL.
 4. DUAL TECH OCC SENSORS.
 5. LOCAL WALL SWITCH SHALL TURN FIXTURES ON AND UPON SENSING UNOCCUPIED. SENSOR SHALL SHUT LIGHTS OFF. SENSOR TIME OVERRIDE SHALL BE VERIFIED WITH OWNER. (IF USING LINE-VOLTAGE WIRING) LINE VOLTAGE SWITCH WILL NEED TO BE IN 'ON' POSITION FOR AUTO ON, IF SWITCH IS IN 'OFF' POSITION, SENSOR(S) WILL NOT TURN ON LIGHTS.

2 Ceiling Sensor with Local On/Off Wall Switch
NTS



- NOTES:**
1. ON/OFF.
 2. STANDALONE ZONES, NOT NETWORKED.
 3. NO TIME OF DAY CONTROL.
 4. DUAL TECH OCC SENSORS PROVIDE AUTO ON / AUTO OFF.
 5. LOCAL CEILING SENSORS SHALL TURN FIXTURES ON AND UPON SENSING UNOCCUPIED. SENSOR SHALL SHUT OFF LIGHTS. SENSOR TIME OVERRIDE SHALL BE VERIFIED WITH OWNER.
 6. VERIFY SENSOR QUANTITY AND COVERAGE WITH SPECIFIC MANUFACTURER.

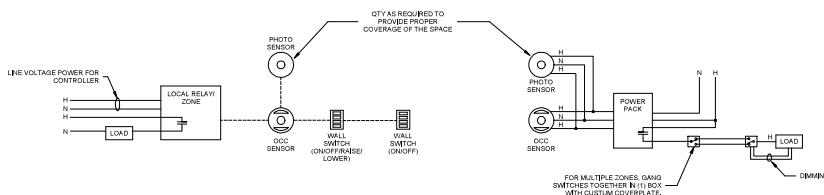
1 Ceiling Sensor
NTS



LOW-VOLTAGE OPTION **LINE-VOLTAGE OPTION**

- NOTES:**
1. MANUAL ON / AUTO OFF WALL MOUNTED OCCUPANCY SENSOR SWITCH TYPE 'SB'.
 2. STANDALONE ZONES, NOT NETWORKED.
 3. NO TIME OF DAY CONTROL.
 4. DUAL TECH OCC SENSOR WITH INTEGRAL ON/OFF.
 5. WALL SWITCH SHALL TURN FIXTURES ON AND UPON SENSING UNOCCUPIED. SENSOR SHALL SHUT LIGHTS OFF. SENSOR TIME OVERRIDE SHALL BE VERIFIED WITH OWNER.

6 Wall Mounted Occupancy Sensor
NTS



LOW-VOLTAGE OPTION **LINE-VOLTAGE OPTION**

- NOTES:**
1. ON/OFF MASTER OVERRIDE SWITCH TYPE 'SC', ON/OFF RAISE/LOWER LOCAL OVERRIDE SWITCH TYPE 'SA'.
 2. STANDALONE ZONES, NOT NETWORKED.
 3. NO TIME OF DAY CONTROL.
 4. DUAL TECH OCC SENSORS PROVIDE AUTO ON / AUTO OFF.
 5. LOCAL CEILING SENSORS SHALL TURN FIXTURES ON AND UPON SENSING UNOCCUPIED. SENSOR SHALL SHUT OFF LIGHTS. SENSOR TIME OVERRIDE SHALL BE VERIFIED WITH OWNER.
 6. IN DUAL ZONES, SHOWN ON PLANS, MAINTAIN 30% IN LOBBY SPACE AND MAINTAIN 30% IN OFFICES.
 7. VERIFY SENSOR QUANTITY AND COVERAGE WITH SPECIFIC MANUFACTURER.
 8. COORDINATE DIMMING TYPE WITH LIGHT FIXTURE MANUFACTURER.

5 Ceiling Photocell Sensor
NTS

ORNL FEDERAL CREDIT UNION
FARRAGUT BRANCH
FARRAGUT, TENNESSEE

REVISIONS		
NO.	DESCRIPTION	DATE

DATE	PROJECT
5/17/2019	2018.0122

Lighting Details

SHEET

E4.4

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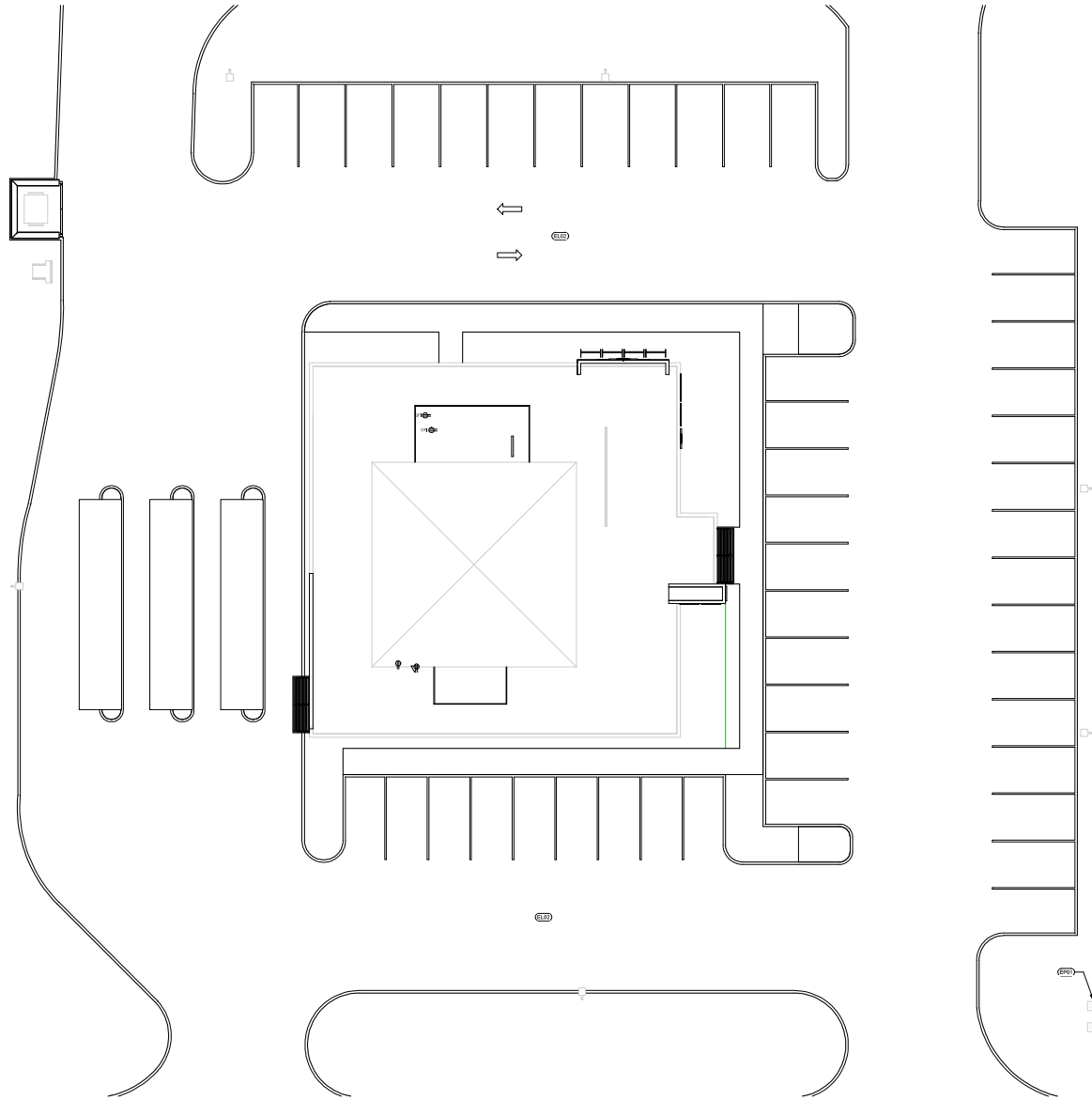
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POWER PLAN KEYNOTES

EP01 EXISTING DRAINAGES SHOWN TO 24" TSD. CIRCUITS 13410, 13410 GND, 341' C, FOR RENEGE. CONFIRM SIZE AND LOCATION OF GROUND BONES AND CIRCUITS. COORDINATE CIRCUIT MEETS NEW RENEGE REQUIREMENTS WITH IRON VENDOR. ADJUST AS NEEDED.

LIGHTING PLAN KEYNOTES

EL02 ALL EXISTING PARKING LOT LIGHTS AND CONTROLS TO REMAIN OPERATIONAL, E.C. TO VERIFY OPERATION AND IF REQUIRED DURING CONSTRUCTION. RELAMP ANY FIXTURES THAT ARE NOT OPERATIONAL. MATCH EXISTING LUMEN OUTPUT AND COLOR TEMPERATURE.



1 Site Power Plan
 SCALE 1"=10'

REVISIONS		
NO.	DESCRIPTION	DATE

DATE	PROJECT
5/17/2019	2018.0122

TITLE
Electrical Site Plan

SHEET

E5.1

IN THE BOARD OF ZONING APPEALS
FOR THE TOWN OF FARRAGUT, TENNESSEE

ORNL FEDERAL CREDIT UNION)
Owner/Applicant,)
)
)
Re: Request for Variance or Special)
Exception filed August 10, 2020 regarding)
Property at 11405 Municipal Center Drive,)
Farragut, TN 37934.)
)

OWNER/APPLICANT ORNL FEDERAL CREDIT UNION’S MEMORANDUM
IN SUPPORT OF REQUEST FOR VARIANCE OR SPECIAL EXCEPTION

Comes the Owner/Applicant, **ORNL FEDERAL CREDIT UNION** (hereinafter “**Owner**” or “**ORNL FCU**”), by and through counsel, and hereby files this Memorandum In Support of its Request for Variance or Special Exception, scheduled to be heard on August 26, 2020 before the Board of Zoning Appeals for the Town of Farragut, Tennessee (hereinafter “**BZA**”), and would say as follows:

INTRODUCTION

As grounds for and in support of this Memorandum in Support of Request for Variance or Special Exception, ORNL FCU hereby adopts and incorporates by reference, as if set forth *verbatim* herein, its original Memorandum in Support of Appeal/Administrative Review (and all Exhibits attached thereto) filed on July 6, 2020, a copy of which is attached hereto as **Exhibit A**. Despite the request in the Conclusion of ORNL FCU’s original Memorandum in Support of Appeal/Administrative Review that, “[t]o the extent the relief requested by ORNL FCU is only available under a Special Exception or Variance, ORNL FCU requests the BZA to consider this Appeal and Request for Administrative Review to also be an Appeal and Request for Special

Exception or Variance,” at the hearing held July 22, 2020, the Town of Farragut Community Development Director, Mark Shipley, asserted that because ORNL FCU had not paid the fee for such alternative forms of review or relief, and it had not been advertised and published for such forms of review or relief, the BZA could not consider or grant ORNL FCU the remedy of a Variance or Special Exception.

However, Mr. Shipley indicated that if ORNL FCU wanted to pay the fees for those alternative forms of review or relief, they could be advertised and published for subsequent review or relief by the BZA “the next time.” That is precisely what ORNL FCU now requests, having paid the fees for consideration of its Request for Variance or Special Exception, along with filing this Memorandum in Support, and requests that its Requests be heard and determined by the BZA at the August 26, 2020 hearing/meeting.

REQUEST FOR VARIANCE

Under the *Farragut Municipal Code, Appendix A – Zoning Ordinance, Chapter 4, Section II, Par. (C)(3)*, the Farragut Board of Zoning Appeals has the following stated power: “Where there is practical difficulty or unnecessary hardship in carrying out the strict letter of this ordinance, the Board of Zoning Appeals shall have the power in passing upon appeals to authorize such variance from the terms of this ordinance as will not be contrary to the public interest as defined under variances of this section.”

The *Farragut Municipal Code, Appendix A – Zoning Ordinance, Chapter 4, Section II, Par. D* further provides, in pertinent part, as follows:

D. *Variances.* The Board of Zoning Appeals shall have the power and authority to grant variances from terms of this ordinance according to the procedure and under the restrictions set out in this section.

The purpose of the variance is to modify the strict application of the specific requirements of this ordinance in the case of exceptionally irregular, narrow, shallow, or steep lots, or other exceptional physical conditions, whereby such

strict application would result in practical difficulty or unnecessary hardship which would deprive an owner of the reasonable use of his land. The variance shall be used only where necessary to overcome some obstacle which is preventing an owner from using his property as the zoning ordinance intended. Procedure for the consideration for a variance by the board is as follows:

* * *

3. *Standards for variances.* In granting a variance, the board shall ascertain that the following criteria are met:

a. Variances shall be granted only where special circumstances or conditions exist (such as exceptional narrowness, topography, or siting) fully described in the findings of the board, do not apply generally in the district.

b. Variances shall not be granted to allow a use otherwise excluded from the particular district in which requested.

c. For reasons fully set forth in the findings of the board, the aforesaid circumstances or conditions are such that the strict application of the provisions of this ordinance would deprive the applicant of any reasonable use of his land. Mere loss in value shall not justify a variance; there must be a deprivation of beneficial use of land.

d. Any variance granted under the provisions of this section shall be the minimum adjustment necessary for the reasonable use of the land.

e. The granting of any variance is in harmony with the general purposes and intent of this ordinance and will not be injurious to the neighborhood, detrimental to the public welfare, or in conflict with the comprehensive plan for development.

f. If size or shape are to be the grounds for the variance, the property must be a "lot of record" and have totally separate ownership from the adjoining parcels.

4. *Requirements for granting a variance.* Before the board shall have the authority to grant a variance, the person claiming the variance has the burden of showing:

a. That the granting of the permit will not be contrary to the public interest.

b. That the literal enforcement of the ordinance would deprive the applicant any reasonable use of his land.

c. That by granting the permit contrary to the provisions of the ordinance the spirit of the ordinance will be observed.

d. That by granting the permit, substantial justice will be done.

Farragut Municipal Code, Appendix A – Zoning Ordinance, Chapter 4, Section II, Par. D

ORNL FCU asserts that “there is practical difficulty or unnecessary hardship in carrying out the strict letter of this ordinance” as applied to it by the Town Staff, and ORNL FCU hereby requests the BZA “to authorize such variance from the terms of this ordinance as will not be

contrary to the public interest,” for approval of its concrete peninsulas or sidewalks at the end of a parking row, as necessary to the use of its property by ORNL FCU as a financial institution serving the public, including handicapped members, for which its ADA-compliant parking spaces were constructed and made available, and for its pedestrian members crossing the parking lot to these access point, for reasons of safety.

A. Granting of Variance Not Contrary to the Public Interest.

ORNL FCU would show that the granting of the variance will not be contrary to the public interest. As stated in its original Memorandum attached hereto, the public interest is served by these structures through compliance with the Federal, State and Town of Farragut requirements for handicapped accessible parking spaces with an access aisle for each parking space, and as a safe point of access for pedestrians crossing the parking lot from the perimeter parking to the ORNL FCU building. As a financial institution serving the public, ORNL FCU seeks to provide its customers with safe, convenient access to its facility, for all customers, including specifically its handicapped members. Further, the public interest is served in the renovation by ORNL FCU of its building, at tremendous cost, and in compliance with other requirements of the Town of Farragut, (including but not limited to moving its drive-through lanes to the rear of the building), and the incorporation of the concrete structures or sidewalks provide a neater, cleaner, more accessible, and safer facility and parking lot.

B. Literal Enforcement of Ordinance Deprives ORNL FCU of Reasonable Use of Land.

ORNL FCU would show that the literal enforcement of the ordinance would deprive the applicant the reasonable use of its land. As indicated in its original Memorandum attached hereto, the literal application of the landscaping and size requirements of the Zoning Ordinance

for so-called “terminal islands”¹, as applied by the Town Staff, would require ORNL FCU to eliminate parking spaces, either handicapped accessible spaces or regular parking spaces. In that event, ORNL FCU would either be in violation of the Federal, State and Town of Farragut requirements for ADA compliance, or in violation of the minimum number of parking spaces for a building of its size as required by the Farragut Zoning Ordinance. Accordingly, the literal enforcement of the landscaping and size requirements of the Zoning Ordinance for so-called “terminal islands” would deprive ORNL FCU the reasonable use of its land.

C. By Granting Variance Contrary to Provisions of Ordinance, Spirit of Ordinance Observed.

ORNL FCU would show that by granting the variance contrary to the provisions of the ordinance the spirit of the ordinance will be observed. As noted in its original Memorandum attached hereto, the provision of the Zoning Ordinance on which the Town staff relies [*Farragut Zoning Ordinance, Chapter 4, Section XII, Par. D(3)*] includes a statement regarding the intention of the Zoning Ordinance with regard to the landscaping aesthetics it seeks to encourage, of “*softening the appearance of hardscape elements...*” The spirit and intention of the Zoning Ordinance is fully satisfied by the landscaping of its perimeter parkways, such that the Building is scarcely visible from the street, and of its new landscaping along the foundation of the Building, within the space between the sidewalk and the foundation of the exterior walls of the Building. The newly constructed sidewalk/structures are aesthetically more pleasing than the dirt-filled islands that were previously in existence. Between weather erosion and customers overshooting the parking space and driving up onto the dirt, the islands were constantly rutted and unsightly.

¹ ORNL FCU continues to contest the interpretation of the Zoning Ordinance in regard to the term “terminal islands” as applied to its property by the Town Staff, and as upheld by the BZA in its ruling on July 22, 2020, and ORNL FCU does not concede such interpretation by its reference to that term in its request for a variance. Dependent upon the outcome of its request for variance, ORNL FCU hereby reserves all rights to further appeal such interpretation and the July 22, 2020 ruling of the BZA, as provided by *T.C.A §27-8-101 et seq.* and *T.C.A §27-9-101 et seq.*

Also, it was hard to keep plants alive in those conditions, such that trees or other plants that may have been located therein died and had to be removed.

Further, ORNL FCU would assert that the washing of dirt, mud, plant materials or landscape materials from landscaped islands onto the handicapped accessible parking spaces and/or access aisles, as well as the overhang or intrusion of any plants, trees or bushes into the airspace of such spaces and/or access aisles, will cause a hindrance and obstacle to the free and full use of such handicapped accessible parking spaces by their intended users. Other provisions of the Farragut Zoning Ordinance clearly require compliance with the Americans with Disabilities Act in regard to handicapped accessible parking (as well as the Federal and State laws requiring such compliance), and the granting of a variance in this regard would comport with the spirit of the Zoning Ordinance.

D. By Granting Variance, Substantial Justice Will Be Done.

ORNL FCU would show that by granting the variance, substantial justice will be done. As asserted in its original Memorandum attached hereto, ORNL has gone to tremendous expense to renovate and improve its facility, and to bring it into compliance with other requirements of the Town of Farragut (as well as Federal and State law). Contrary to statements made by Mr. Shipley in the hearing on July 22, 2020, ORNL FCU did submit plans to the Town in June of 2019 showing the reconfiguration of the handicapped accessible parking spaces. However, the decision to provide concrete structures or sidewalks, next to the handicapped accessible parking spaces and for pedestrian access, occurred during the construction process as a necessary safety and compliance measure, and it never occurred to ORNL FCU or its contractor that there would be any problem with it. As stated by Mr. Shipley, only after all construction was complete and he was making a final inspection did this issue come up. The extremely expensive cost of ripping

out completed construction and the limited and questionable benefit from requiring ORNL FCU, in the words of Commissioner Holladay “to dig a hole in the ground and put some sort of vegetation in,” would not serve the interests of justice.

This is particularly true due to the fact that numerous locations within the Town of Farragut maintain the same kind of concrete structures or sidewalks², as listed in ORNL FCU’s original Memorandum attached hereto. Whether or not they were constructed and installed before or after the adoption of the Zoning Ordinance (a point on which Mr. Shipley stated his opinion, but provided no proof) or modified after approval by the Town Staff (also not proven by Mr. Shipley), the fact remains that to allow those structures to remain and be maintained, (including by businesses in competition with ORNL FCU) while requiring ORNL FCU to demolish and construct landscaped so-called “terminal islands” does not serve the interest of justice. By granting ORNL FCU a variance in this regard, substantial justice will be done.

Accordingly, ORNL FCU would request the BZA to grant it a Variance to allow it to continue to retain and maintain the concrete structures or sidewalks, as constructed, in its parking lot next to the handicapped-accessible parking spaces and access aisles and as a safe point of access for its pedestrian customers, rather than requiring them to be demolished and replaced by landscaped “terminal islands,” and to direct that a final Certificate of Occupancy be issued by the Town Staff to ORNL FCU on its property.

² In follow-up to questions by Commissioners Wilson and Holladay in the July 22, 2020 BZA hearing regarding whether a landscaped terminal island is required at the end of a row of parking, there also exist a number of properties within the Town of Farragut which do not maintain a raised-curb, landscaped terminal island at the end of a row of parking, but which rather only provide a painted, cross-striped outline of a “terminal island” on the surface of the pavement or which end in a parking space with no terminal island of any kind. Apparently the Town of Farragut has not required those properties to install landscaped “terminal islands,” **including several properties owned and maintained by the Town of Farragut itself**, as well as many commercial properties. See photos of examples of such properties attached hereto as **Exhibit B**, which also include additional examples of parking rows with concrete “terminal islands.” Despite Mr. Shipley’s assertion, not all of these properties pre-date the Zoning Ordinance or were changed subsequent to approval. (See, for example, Longhorn Steakhouse, 11644 Parkside Dr.)

REQUEST FOR SPECIAL EXCEPTION

To the extent applicable, ORNL FCU has also requested a Special Exception for approval of its concrete peninsulas or sidewalks at the end of a parking row, as necessary to the use of its property by ORNL FCU as a financial institution serving the public, including handicapped members, for which its ADA-compliant parking spaces were constructed and made available, and for its pedestrian members crossing the parking lot to these access point, for reasons of safety. In regard to consideration of Special Exceptions, the *Farragut Municipal Code, Appendix A – Zoning Ordinance, Chapter 4, Sec. II, Par. E* provides in pertinent part, as follows:

E. *Special exceptions.* The following procedure is established to integrate properly the uses permitted as special exceptions with other land uses located in the district. These uses shall be reviewed by the board and authorized or rejected under the following procedure:

*

* * *

3. *General review standards.* In the review of a special exception request, the Board of Zoning Appeals, in the exercise of its administrative judgment, shall be guided by adopted plans and policies, including, but not limited to, the Farragut Land Use Plan, Farragut Zoning Ordinance, Farragut 2000 Plan, Farragut Municipal Code, and the following general standards:

- a. The use is consistent with adopted plans and policies, as set forth above;
- b. The use is in harmony with the general purpose and intent of the zoning regulations;
- c. The use is compatible with the character of the neighborhood where it is proposed and with the size and location of buildings in the vicinity;
- d. The use will not negatively impact adjacent property by noise, lights, fumes, odors, vibration, traffic, congestion or be incompatible with other development in the surrounding area.
- e. The use is not of a nature or so located as to draw substantial additional traffic through residential streets;
- f. The specially permitted use meets all town requirements with regard to approval of the hydrology, engineering, building codes, landscaping/buffering, signage, etc.;
- g. The specially permitted use meets all requirements set out in the particular zoning classification in which the use is to be located; and
- h. Approval or denial. The Board of Zoning Appeals may approve a development plan, when applicable, or a special exception where it can be shown that the proposed plan or use is in harmony with the general purpose and intent of the zoning ordinance, the Farragut Land Use Plan and such adopted plans as the

Farragut 2000 Plan, and is reasonably necessary for the convenience and welfare of the community. The Board of Zoning Appeals may deny a development plan, when applicable, or a special exception where the above cannot be shown or where it can be shown that approval would have an adverse impact on the character of the neighborhood in which the site is located. Whereas a use may be appropriate in one location and inappropriate in another location in the same zoning district, the Board of Zoning Appeals shall be guided by the policies of the Farragut Land Use Plan and such adopted plans as the Farragut 2000 Plan in the exercise of its administrative judgment about the location and appropriateness of special exception uses. The Board of Zoning Appeals shall state conditions of approval or denial, including substantive, factual statements of necessity and appropriateness or of adverse impact, with such information being included in the minutes of the Board of Zoning Appeals meeting where decisions are made.

Farragut Municipal Code, Appendix A – Zoning Ordinance, Chapter 4, Sec. II, Par. E

The same considerations stated in support of ORNL FCU’s Request for Variance above also support ORNL FCU’s Request for Special Exception. There is nothing in the record that would indicate that granting ORNL FCU a Special Exception would be contrary to any of the factors listed above. Accordingly, in the alternative to granting ORNL FCU a variance, ORNL FCU would request the BZA to grant it a Special Exception to allow it to continue to use its concrete structures or sidewalks in its parking lot, as constructed, and direct that a final Certificate of Occupancy be issued by the Town Staff to ORNL FCU on its property.

CONCLUSION

It is the position of the Owner/Applicant that this is the type of situation the Board of Zoning Appeals is uniquely situated to utilize its powers to grant ORNL FCU relief from the strict application of the Zoning Ordinance as set forth above. ORNL FCU hereby requests the BZA to consider this Request for Variance or Request for Special Exception, as applicable, in regard to the Town of Farragut staff’s interpretation and application of the Zoning Ordinance, under the facts, circumstances and law set forth above, and to grant ORNL FCU relief from said interpretation and application of the Zoning Ordinance, and provide ORNL FCU with a final

Certificate of Occupancy on its Building and Property at 11405 Municipal Center Drive, Farragut, Tennessee 37934, and for such other and further relief to which it may be entitled.

This the 10th day of August, 2020.

**ORNL FEDERAL CREDIT UNION,
Owner/Applicant**

By: /s/ Joshua R. Holden

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CERTIFICATE OF SERVICE

I hereby certify that on the 10th day of August, 2020, a copy of the foregoing Owner/Applicant's Memorandum in Support of Request for Variance or Special Exception has been delivered to all parties in interest in this cause by hand delivering a copy of same, or by sending same by e-mail to the following persons:

Mark Shipley, Community Development Director
Town of Farragut
Farragut Town Hall
11408 Municipal Center Drive
Farragut, TN 37934
E-mail: mshipley@townoffarragut.org

Thomas M. Hale, Esq.
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Knoxville, TN 37929
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/s/ Joshua R. Holden

Joshua R. Holden (TN BPR #020791)

EXHIBIT A

**IN THE BOARD OF ZONING APPEALS
FOR THE TOWN OF FARRAGUT, TENNESSEE**

ORNL FEDERAL CREDIT UNION)
Owner/Applicant,)
)
)
Re: Appeal/Request for Administrative)
Review filed July 6, 2020 regarding Property)
at 11405 Municipal Center Drive, Farragut,)
TN 37934.)
)

**OWNER/APPLICANT ORNL FEDERAL CREDIT UNION'S MEMORANDUM
IN SUPPORT OF APPEAL/REQUEST FOR ADMINISTRATIVE REVIEW**

Comes the Owner/Applicant, **ORNL FEDERAL CREDIT UNION** (hereinafter "Owner" or "ORNL FCU"), by and through counsel, and hereby files this Memorandum In Support of its Appeal/Request for Administrative Review, scheduled to be heard on July 22, 2020 before the Board of Zoning Appeals for the Town of Farragut, Tennessee (hereinafter "BZA"), and would say as follows:

INTRODUCTION

Following completion of construction on modifications of the Owner's building at its property located at **11405 Municipal Center Drive, Farragut, TN 37934** (hereinafter the "Building" or the "Property"), the Town of Farragut has denied issuance of a permanent Certificate of Occupancy ("CO") due to alleged violation of the requirements for landscaping parking lot islands under the Town of Farragut Zoning Ordinance. A Temporary Certificate of Occupancy ("TCO") was issued in February of 2020 and the Owner conducted a Grand Re-Opening on February 13, 2020 and is currently occupying the Building and conducting business at that location. The Building Permit for the Building renovations was issued, and has been

extended through December 6, 2020, pending resolution of the alleged Zoning Issue concerning Terminal Island Landscaping per communications with the Community Development Director.

[See e-mails attached as **Collective Exhibit 1.**]

FACTS

On May 22, 2019, ORNL FCU sought and obtained Building Permit #BP-2019-2 for renovations to its Building, which is directly across the street from the Farragut Town Hall. In making modifications to the Property, ORNL FCU updated its exterior, as well as making interior improvements, and moved its existing ATM and drive-through lanes and canopies from the side of the Building to the rear of the Building, out of sight from the street per the Town of Farragut's requirements for Zone C-1/MUTC overlay area. Such modifications also required changes to the parking lot and exterior of the Building.

In making those changes, ORNL FCU sought to comply not only with the Town of Farragut's aesthetic requirements, but also the mandates for the number of parking spaces required for the size of the Building [Town of Farragut Zoning Ordinance, Municipal Code, Appendix A, Part 4, Section XX(A)(6)(d)], as well as to comply with the requirements for handicapped parking spaces and access aisles required by the Federal Americans with Disabilities Act (ADA), as well as the laws of the State of Tennessee (T.C.A. §55-21-105) and the Town of Farragut Zoning Ordinance, Municipal Code, Appendix A, Part 4, Section XX(A)(6)(b). ORNL FCU was also required to provide bicycle rack(s) pursuant to Town of Farragut Zoning Ordinance, Municipal Code, Appendix A, Part 4, Section XX(A)(3).

The current configuration of the Property, **as built**, including the Building, ATM/drive-through lanes & canopies, parking lot and perimeter, is shown by the surveyor's illustration attached hereto as **Exhibit 2**. Notably, the entire perimeter area of the Property is fully landscaped

with grass, shrubs, bushes and trees, to the point where the Building is predominantly obscured from view from the street and adjoining properties, and the intention of the Zoning Ordinance to “soften the appearance of the hardscape” is achieved by said perimeter landscaping. Furthermore, new landscaping has been installed next to the Building as required by the Zoning Ordinance. See photos attached hereto as **Collective Exhibit 3**.

In order to provide the required number of parking spaces for the size of the Building, ORNL FCU has parking spaces along the inside of the perimeter border landscaping, but in order to reach the building, customers parking there must cross the parking lot in order to reach the sidewalk to the front door. In addition, in order to provide handicapped parking spaces, and required access aisles for two (2) regular handicapped spaces and one (1) van accessible handicapped parking space, ORNL FCU needed to reconfigure the parking spaces as shown on **Exhibit 2**. In order to accommodate those requirements, as well as to provide perimeter parking customers an access point to access the sidewalk without having to walk between cars, ORNL FCU reconfigured the islands at the end of the rows of the interior parking spaces (next to the Building) as 4 foot wide, concrete sidewalks. This also includes a bicycle parking rack as required by the Town of Farragut.

All construction was completed and the parking lot repaved and lined off to provide the required number of total parking spaces and handicapped parking spaces prior to the Grand Re-opening on February 13, 2020. On February 4, 2020, the Town of Farragut Community Development Director, Mark Shipley (“**Mr. Shipley**”) advised ORNL FCU by e-mail that the islands next to the Building were “terminal islands,” and took the position that the concrete sidewalk islands would have to be ripped out and reconfigured to a width of five (5) feet (measured from back of curb to back of curb) filled with dirt and landscaped with trees, bushes, shrubs and/or

grass. On February 27, 2020, ORNL's Assistant Vice President for Facilities, Lynn Holt, advised Mr. Shipley that the sidewalk islands were intended to provide improved access for members and/or employees covered by the ADA, and also provided safe access for members parking across the parking lot along the perimeter. On March 6, 2020, Mr. Shipley responded by e-mail with the terse reply "Just let me know when the islands are corrected to comply with our requirements. Thanks."

Subsequently on March 17, 2020, counsel for ORNL FCU communicated with Mr. Shipley and stated ORNL FCU's position: (1) Questioning the Town's interpretation of the definition of "terminal island" with reference to Illustration No. 5 in the Zoning Ordinance, which is **ambiguous** in that it does not coincide with or provide for the types of islands/sidewalks and configuration shown on Exhibit 2 attached hereto; (2) Puzzling over the Town's taking a position against ORNL FCU making itself **more accessible to members with disabilities under the ADA**; (3) Pointing out that the changes brought ORNL FCU into **compliance with other provisions of the Zoning Ordinance with regard to providing handicapped accessible spaces**; and (4) That **aesthetically** the parking lot was **improved in appearance** by the changes, and that ORNL FCU had **expended a large sum of money** to improve the appearance of the facility and it would be a **terrible waste of resources to undo such work** in order to comply with the ambiguous provision and illustration of the Zoning Ordinance and Illustration No. 5 (see point 1 above). In response, Mr. Shipley indicated by e-mail dated March 26, 2020 that ORNL FCU's options were to "bring the terminal islands in compliance or appeal the staff's interpretation and application of the Zoning Ordinance provisions that relate to this matter." See the e-mail string evidencing this correspondence attached as **Exhibit 4**.

Due to the COVID-19 pandemic, ORNL FCU did not proceed with either of those options at that time, but further e-mail correspondence continued between counsel for ORNL FCU and Mr. Shipley through the following months, including the observation that another financial institution within a stone's throw of ORNL FCU (First Citizens Bank at 100 South Campbell Station Rd.) had the exact same configuration and concrete sidewalk next to its handicapped accessible parking space. [See photo submitted by ORNL FCU's counsel to Mr. Shipley attached as **Exhibit 5**.]. No explanation has been given by Mr. Shipley why First Citizens Bank was allowed this configuration but not ORNL FCU. Since that time ORNL FCU has identified a dozen other sites in the Town of Farragut that contain the same or similar concrete islands (or concrete and stone), as shown by the photos attached as **Collective Exhibit 6**.

The e-mail correspondence between ORNL FCU's counsel and Mr. Shipley was eventually expanded to include correspondence with the Town Attorney Tom Hale. A proposal for a compromise was put forward by ORNL FCU for the placing of planters containing trees or other plant materials on the concrete sidewalk islands, but by e-mail dated June 17, 2020, Mr. Shipley indicated that (1) No plans for such proposal had been submitted to him; (2) Such proposal would be inconsistent with how islands have been landscaped in the past; and (3) Such planters would not comply with the requirement for 5 foot landscaped islands. See e-mail exchange attached hereto as **Exhibit 7**.

POSITIONS OF ORNL FCU AND THE TOWN OF FARRAGUT ON PARKING ISLANDS AND LANDSCAPING REQUIREMENTS

Mr. Shipley indicates that the structures within the parking lot are "terminal islands" and must be landscaped, relying on provision and definitions of the Zoning Ordinance, with reference to Illustration No. 5 contained in the Zoning Ordinance. ORNL FCU takes the position that the Zoning Ordinance is ambiguous with regard to the application of the term "terminal island" (with

reference to Illustration No. 5) to the structures within ORNL FCU's parking lot, because Illustration No. 5 does not show the type of structures in ORNL FCU's parking lot.

A. Zoning Ordinance – Landscaping Within Parking Lots

The language of the Farragut Zoning Ordinance in regard to Landscaping within Parking Lots states as follows:

Landscaping within parking lots. Perimeter parkways, interior parkways, terminal islands, and interior islands shall be planted with grass and/or trees, shrubs, or ground cover in combination with mulch. The VRRB may consider commonly recognized hard forms of landscaping, such as landscape stone, only where such material would be essential to and would notably enhance the design of the project. Such areas, however, must be limited in size and scope and must be combined with live plant material, such as ground cover, shrubs, and/or trees, so that the intent of softening the appearance of hardscape elements is not compromised.” *Farragut Zoning Ordinance, Chapter 4, Section XII, Par. D(3).*

Within this provision, the Zoning Ordinance addresses, *inter alia*, terminal islands and interior islands, as well as perimeter parkways and interior parkways, all of which are defined terms under Chapter 2 of the Zoning Ordinance. Those terms are defined as follows:

Terminal islands: A landscaped area located at the end of each parking row within a parking lot as shown in Illustration 5 (see Chapter 1).

Interior islands: A landscaped area located between parking spaces in a parking row within a parking lot as shown in Illustration 5 (see Chapter 1).

Perimeter parkways: An area with continuous cover of live landscaping materials that is located adjacent to front, side, and rear property lines or access easements.

Interior parkways: A landscaped area located between parking rows within a parking lot as shown in Illustration 5 (see Chapter 1).

All of these terms are defined by reference to a single illustration, Illustration No. 5, which appears in the Zoning Ordinance, Chapter 1, Section III, as follows:

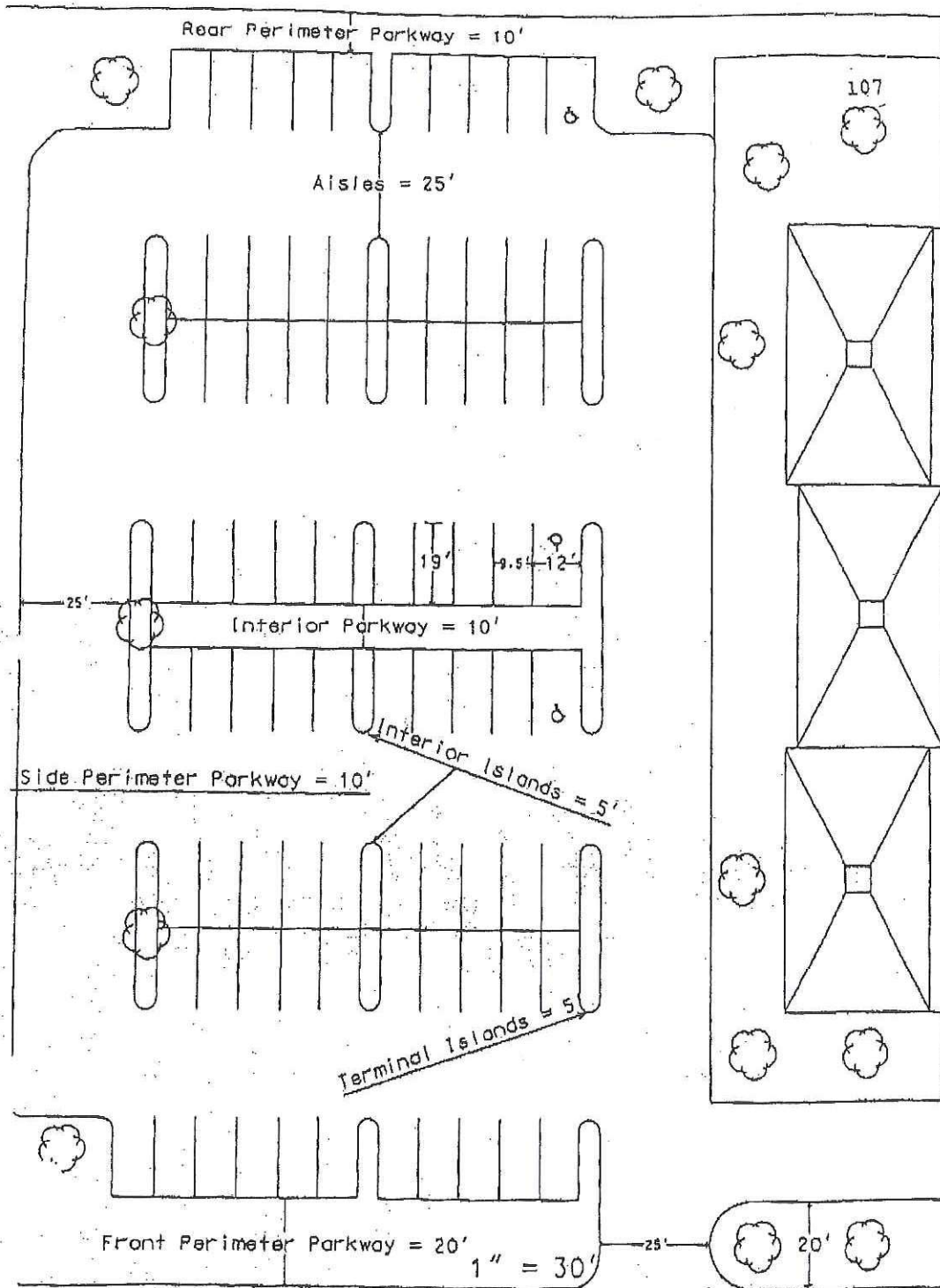


Illustration 5

Critically, **nowhere** on said Illustration (or in Chapter 4, Section XII) is there anything squarely addressing the type of “island” that previously existed or currently exists on ORNL FCU’s Property, including specifically the L-shaped peninsula jutting from the corner of the Building where the handicapped accessible parking spaces are located. Indeed, Illustration No. 5 does not feature **any** islands emanating from the four corners of the building. The “islands” at issue on ORNL FCU’s Property are not what is identified as “terminal islands” or other structures shown on Illustration No. 5. At best, the Zoning Ordinance is **ambiguous** on the type of “islands” existing on ORNL FCU’s Property, and at worst, it simply **fails to address** it at all.

Further, it does not appear that there is any requirement in the provisions or definitions that require ORNL FCU to maintain such an island should it simply have chosen to remove it. There is no authority under the Zoning Ordinance for the Town to require ORNL FCU to replace an “island” that was not required in the first place.

Nevertheless, Mr. Shipley contends that the structures in place on ORNL FCU’s parking lot are “terminal islands” and must be landscaped. Nothing represented on Illustration No. 5 matches the structures in place on ORNL FCU’s parking lot, and that the Town staff is attempting (at unnecessary cost and expense to ORNL FCU) to stretch the meaning of “terminal island” to encompass items that are not included within the definition. **If the Town wishes to expand what is considered a “terminal island” then it must either amend the illustration, or add different illustrations. But for purposes of this appeal, the term is ambiguous.**

Case law supports the Credit Union. In the case of *McBride v. Farragut Board of Zoning Appeals*, 2012 Tenn. App. LEXIS 832 (Tenn. App. 2012), the Tennessee Court of Appeals, in regard to the interpretation and application of zoning ordinances, stated as follows:

“Zoning ordinances must be construed and applied "with some deference toward a property owner's right to the free use of his or her property." *Lions Head*

Homeowners' Ass'n v. Metro. Bd. of Zoning Appeals, 968 S.W.2d 296, 301 (Tenn. Ct. App. 1997). Courts will seek to interpret a zoning ordinance in a way that is "most consistent with the ordinance's general purposes," but **any ambiguity will be resolved "in favor of the property owner's right to the unrestricted use of his or her property."** 421 Corp. v. Metro. Gov't of Nashville & Davidson Cnty., 36 S.W.3d 469, 475 (Tenn. Ct. App. 2000). It has been held that because zoning ordinances are an attempt to limit the use of land by a property owner, they are in derogation of the common law, and, therefore, are to be **strictly construed in favor of the property owner**. See Anderson Cnty. v. Remote Landfill Servs., Inc., 833 S.W.2d 903, 909 (Tenn. Ct. App. 1991)." McBride v. Farragut Board of Zoning Appeals, 2012 Tenn. App. LEXIS 832 (Tenn. App. 2012). [Emphasis added.]

In light of the ambiguity present in the Zoning Ordinance with regard to Illustration No. 5 and structures in the parking lot on the Property of ORNL FCU, the Town's staff has erred in its interpretation and application of the Zoning Ordinance by requiring ORNL FCU to tear out the completed sidewalks/islands and install dirt-filled and landscaped islands, and ORNL FCU appeals that interpretation and application of the Zoning Ordinance to this Board of Zoning Appeals.

B. Town's Interpretation and Application of Zoning Ordinance Conflicts with Federal, State and Town's Own Provisions for ADA and Safety Compliance.

Pursuant to regulations under the Federal Americans with Disabilities Act, 42 U.S.C. §§12101, et seq., and Tennessee Code Annotated §55-21-105 and Town of Farragut Zoning Ordinance, Municipal Code, Appendix A, Part 4, Section XX(A)(6)(b), ORNL FCU was required to comply with the requirements of those laws for handicapped parking spaces and access aisles in order to make its Building readily accessible to customer and/or employees with disabilities. In order to provide the required number of handicapped parking spaces, and required access aisles for two (2) regular handicapped spaces and one (1) van accessible handicapped parking space, ORNL FCU was forced to reconfigure the parking spaces as shown on Exhibit 2. To accommodate those requirements, as well as to provide perimeter parking customers an access point to access

the sidewalk without having to walk between cars, ORNL FCU reconfigured the islands at the end of the rows of the interior parking spaces (next to the Building) as concrete sidewalks. This also includes a bicycle parking rack as required by the Town of Farragut.

If ORNL FCU is required to tear out the existing concrete sidewalks/islands and install landscaped islands 5 feet in width from back of curb to back of curb, it will lose one of the handicapped spaces OR if required to move and re-line its parking spaces, it will not meet the required number of parking spaces for a building of its size, as also required by the Zoning Ordinance.

ORNL FCU constructed the concrete sidewalks/islands in order to better serve its handicapped customers, to improve access, and to make access safer for customers crossing from perimeter parking spaces, so as not to have to walk between cars to reach the sidewalks. It appears the Town of Farragut favors the planting of trees over ORNL FCU's commitment (and requirement) to provide its ADA customers with safe and ready access to ORNL FCU's facilities. The Town's interpretation and application of the Zoning Ordinance provision regarding the landscaping of parking islands is in conflict with Federal, State, and even its own provisions and requirements for ADA compliance and other parking regulations. In a conflict between the landscaping requirements and ADA compliance, the ADA and other safety concerns must prevail. **If it is a question of whether plants or disabled customers are more important, ORNL FCU must stand for its customers.** Accordingly, ORNL asks the BZA to overturn the Town's position and allow ORNL FCU to maintain its completed construction and obtain a final Certificate of Occupancy for its Building and Property.

C. Application of Zoning Ordinance to Other Properties Inconsistent with Town's Position Regarding ORNL FCU's Property.

As noted, *supra*, another financial institution, within walking distance of ORNL FCU, has the same kind of configuration of a concrete sidewalk/island next to a handicapped accessible parking space. First Citizens Bank, located at 100 South Campbell Station Rd., Farragut, TN 37934, is shown on the aerial photo of that property attached hereto as **Exhibit 5**. Counsel for ORNL FCU requested Mr. Shipley to explain why the Town allows a similar barrier at First Citizens Bank, when there appears to be no logical distinction. In looking at the photograph, First Citizens Bank appears to have a nearly identical concrete peninsula jutting from the corner of its building. However, no response has been given by Mr. Shipley. Further, since the time ORNL FCU asked for an explanation of such a dichotomy in interpretation and application of the Zoning Ordinance, ORNL FCU has investigated and found twelve (12) more locations in which parking lot islands of either concrete (or concrete and stone) exist within the Town of Farragut, similar to the configuration of the structures on ORNL FCU's Property. Those locations are shown in the photos attached as Collective Exhibit 6, and include the following:

1. 11140 Kingston Pike – BB&T Bank Building;
2. 110 North Campbell Station Road – Pain Medicine of the South;
3. 136 North Campbell Station Road – LCUB Customer Service Center;
4. 120 West End Avenue – Don Delfis Pancake House;
5. 126 West End Avenue – Subway, et al.;
6. 11220 West Point Way – Farragut Pediatrics;
7. 11217 Kingston Pike – Taco Bell;
8. 11341 Campbell Lakes Drive – Clarion Inn & Suites;
9. 707 North Campbell Station Road – Campbell Station Wine & Spirits;
10. 701 Concord Road – TDS Telecom;
11. 11220 Outlet Drive – Cotton Eyed Joe's;
12. 11210 Outlet Drive – Next Level Training, et al.

ORNL FCU points out that such properties have been allowed to maintain concrete (or concrete and stone) parking lot islands, many in order to accommodate handicapped accessible parking spaces, and many less than 5 feet in width, but the Town refuses to allow ORNL FCU

to maintain its parking structures as constructed. Such unequal interpretation and application of the Zoning Ordinance is unfair to ORNL FCU, and asks the BZA to grant ORNL FCU the right to maintain its completed construction and be granted a final CO for its Property and Building.

D. Intention of Zoning Ordinance Regarding Landscaping Aesthetics Met by ORNL FCU's Perimeter Parkways and Foundation Plantings.

The provision of the Zoning Ordinance on which the Town staff relies [*Farragut Zoning Ordinance, Chapter 4, Section XII, Par. D(3)*] includes a statement regarding the intention of the Zoning Ordinance with regard to the landscaping aesthetics it seeks to encourage, of "softening the appearance of hardscape elements..." The intention of the Zoning Ordinance is fully satisfied by the landscaping of its perimeter parkways, such that the Building is scarcely visible from the street, and of its new landscaping along the outside of the Building, within the space between the sidewalk and the foundation of the exterior walls of the Building. The newly constructed sidewalk/islands are aesthetically more pleasing than the dirt-filled islands that were previously in existence. Between weather erosion and customers overshooting the parking space and driving up onto the dirt, the islands were constantly rutted and unsightly. Also, it was hard to keep plants alive in those conditions, such that trees or other plants that may have been located therein died and had to be removed. [See photos comparing completed concrete sidewalk/island to dirt-filled islands attached as **Collective Exhibit 8.**]

The new concrete sidewalk/islands are not only safer and more accessible for both handicapped customers and customer crossing the parking lot from perimeter parking spots, but also are cleaner and more attractive, and less maintenance than a dirt-filled island, while the intention of softening the hardscape elements is achieved by the other landscaping present on the Property. As such, the Town staff's interpretation and application of the Zoning Ordinance

to require ORNL FCU to rip out the completed construction of the concrete sidewalk/island structures if in error.

E. Alternatively, ORNL FCU Requests the Town of Farragut to Consider a Compromise Short of Requiring ORNL FCU to Tear Out the Completed Sidewalk/Island Structures

Prior to going to the trouble and expense of appealing the Town's position on the completed sidewalk/island structures in its parking lot, ORNL FCU proposed a compromise which might obviate the need for tearing out the completed concrete structures. In discussions between ORNL FCU's counsel and Town Attorney Hale, a conversation was begun about whether large planters containing dwarf trees, or shrubs, bushes, groundcover and/or grass and placed on the concrete sidewalk/island structures would satisfy the intention of the Zoning Ordinance provision for "softening the hardscape elements."

Upon further inquiry by ORNL FCU's counsel, Mr. Shipley indicated he had not seen any plans for such a proposal, but that it was inconsistent with the way the Town staff had interpreted and applied the Zoning Ordinance, and that it would have to comply with the 5 foot width requirements for terminal islands [found at Farragut Zoning Ordinance, Chapter 4, Section XX, Par. (6)(j).] Town Attorney Hale clarified that it was not within the Town staff's authority to compromise the Town's regulations, and that was why an appeal to the BZA was necessary. See E-mails dated 6/17/2020 attached as Exhibit 7.

In the event the BZA determines upon appeal and administrative review that the Town staff's interpretation and application of the Zoning Ordinance was not technically in error, or otherwise determines the appeal against ORNL FCU, then and in that event, ORNL FCU would request the BZA to consider whether, under the circumstances a compromise short of tearing out the completed construction is warranted and appropriate under the Zoning Ordinance.

CONCLUSION

It is the position of the Owner/Applicant that this is the type of situation the Board of Zoning Appeals is uniquely situated to utilize its powers to grant ORNL FCU relief from the Town staff's interpretation and application of the Zoning Ordinance as set forth above. To the extent the relief requested by ORNL FCU is only available under a Special Exception or Variance, ORNL FCU requests the BZA to consider this Appeal and Request for Administrative Review to also be an Appeal and Request for Special Exception or Variance. In conclusion, ORNL FCU Federal Credit Union hereby appeals and requests Administrative Review (or other appropriate proceedings) in regard to the Town of Farragut staff's interpretation and application of the Zoning Ordinance, under the facts, circumstances and law set forth above, and to grant ORNL FCU relief from said interpretation and application of the Zoning Ordinance, and provide ORNL FCU with a final Certificate of Occupancy on its Building and Property at 11405 Municipal Center Drive, Farragut, Tennessee 37934, and for such other and further relief to which it may be entitled.

This the 6th day of July, 2020.

**ORNL FEDERAL CREDIT UNION,
Owner/Applicant**

By: 

Joshua R. Holden, TN BPR No. 020791
E. Brian Sellers, TN BPR No. 011317
Attorneys for Owner/Applicant
Winchester, Sellers, Foster & Steele P.C.
P.O. Box 2428
Knoxville, TN 37901-2428
Phone: (865) 637-1980
E-mail: jholden@wsfs-law.com
E-mail: bsellers@wsfs-law.com

CERTIFICATE OF SERVICE

I hereby certify that on the 6th day of July, 2020, a copy of the foregoing Owner/Applicant's Memorandum in Support of Appeal and Request for Administrative Review has been delivered to all parties in interest in this cause by hand delivering a copy of same, or by sending same by e-mail to the following persons:

Mark Shipley, Community Development Director
Town of Farragut
Farragut Town Hall
11408 Municipal Center Drive
Farragut, TN 37934
E-mail: mshipley@townoffarragut.org

Thomas M. Hale, Esq.
Town Attorney, Town of Farragut
Kramer Rayson LLP
First Horizon Plaza, Suite 2500
800 S. Gay Street
Knoxville, TN 37929
E-mail: tomhale@kramer-rayson.com



Joshua R. Holden (TN BPR #020791)

EXHIBIT 1

Brian Sellers

From: Mark Shipley <mshipley@townoffarragut.org>
Sent: Friday, March 6, 2020 8:14 AM
To: Lynn Holt
Subject: [EXT]-RE: Farragut Location

Follow Up Flag: Follow up
Flag Status: Flagged

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Just let me know when the islands are corrected to comply with our requirements. Thanks.

From: Lynn Holt <lholt@ORNLFcu.com>
Sent: Thursday, February 27, 2020 5:11 PM
To: Mark Shipley <mshipley@townoffarragut.org>
Cc: Lynn Holt <lholt@ORNLFcu.com>; Joy Wilson <jwilson@ORNLFcu.com>
Subject: Farragut Location

Mark,

ORNL feels that the sidewalks allow improved accessibility for members and/or employees using the ADA parking. We intentionally placed the sidewalks to support ADA member use. The parking lot gets very congested and members that park across from the front entrance use these sidewalks in order to access our facility safely.

Thank you,

Lynn Holt
Assistant Vice President
Facilities



ORNL Federal Credit Union

t: 865.220.1044 m: 865.806.4643
f: 865.482.3838 tf: 800,676.5328
lholt@ornlfcu.com/www.ornlfcu.com

Disclaimer

Both the individual sending this e-mail and intend that this electronic message be used exclusively by the individual or entity to which it is intended to be addressed. This message may contain information that is privileged, confidential and thereby exempt and protected from unauthorized disclosure under applicable law. If the reader of this message is not

Brian Sellers

From: Josh Sullins <jsullins@jenkinsstiles.com>
Sent: Thursday, April 2, 2020 11:09 AM
To: Lynn Holt
Subject: [EXT]-FW: Attached Image
Attachments: 2148_001.pdf

Follow Up Flag: Follow up
Flag Status: Flagged

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Josh Sullins
Project Manager
Jenkins & Stiles, LLC *your project, our passion*
10617 Deerbrook Drive Knoxville, TN 37922
p: 865.671.0130 f: 865.671.0150 c: 865.300.6138
w: www.jenkinsstiles.com e: jsullins@jenkinsstiles.com

From: Mark Shipley [<mailto:mshipley@townoffarragut.org>]

Sent: Tuesday, February 4, 2020 8:23 AM
To: Josh Sullins <jsullins@jenkinsstiles.com>
Cc: Bart Hose <bhose@townoffarragut.org>
Subject: FW: Attached Image

Hope you're doing well. I went by the ORNL site after work yesterday and have one question related to the as-built. Attached is the scope of work conveyed to me from the designers early on as to the exterior changes at the ORNL. Consequently, this is all I looked at in terms of exterior work and that was discussed with the Planning Commission. I was unaware of any modifications to parking lot islands. However, based on my site visit yesterday, it appears that the two terminal islands on the south side of the building have been completely re-constructed as solid concrete islands. We require islands to be landscaped and you cannot convert a landscaped island to a solid concrete island. This was never conveyed to me as a change to the site.

These terminal islands will have to be converted back to landscaped islands (minimum of 5 feet in width inside of curb to inside of curb). There are also requirements in our landscape ordinance for the amount of stone that can be used around the building. I provided your landscape contractor with those specs a few days ago. It would actually be a good idea for the landscaper to send me what they intent to do and how they will landscape the terminal islands to restore them to compliance before moving forward.

From: scan1@townoffarragut.org <scan1@townoffarragut.org>
Sent: Tuesday, February 4, 2020 8:03 AM

Brian Sellers

From: Josh Sullins <jsullins@jenkinsstiles.com>
Sent: Thursday, April 2, 2020 11:19 AM
To: Lynn Holt
Subject: [EXT]-FW: ORNL FCU Farragut Branch
Attachments: C1.0.pdf

Follow Up Flag: Follow up
Flag Status: Flagged

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Josh Sullins
Project Manager
Jenkins & Stiles, LLC *your project, our passion*
10617 Deerbrook Drive Knoxville, TN 37922
p: 865.671.0130 f: 865.671.0150 c: 865.300.6138
w: www.jenkinsstiles.com e: jsullins@jenkinsstiles.com

From: Josh Sullins

Sent: Monday, February 3, 2020 3:47 PM
To: 'Mark Shipley' <mshipley@townoffarragut.org>
Cc: 'Eric Corti' <ecorti@sf.services>; 'Lynn Holt' <lholt@ORNLFCU.com>; Steve Humbard <shumbard@jenkinsstiles.com>; 'Adam James' <ajames@designcollaborative.com>; 'Hiebel, Katie' <khiebel@designcollaborative.com>; 'Warner, Kelli' <kwarner@designcollaborative.com>
Subject: RE: ORNL FCU Farragut Branch

Mark,

Please, see attached plan showing what's actually out there. I just received this and wanted to verify you did as well. It shows building footprint, curb lines, parking spaces, ADA parking, parking spots, driveways, and drive thru aisles. If there is anything else required please let us know in detail. If you find acceptable let us know and I will have the site superintendent schedule a final and fire inspection. Look forward to hearing from you.



Josh Sullins
Project Manager
Jenkins & Stiles, LLC *your project, our passion*
10617 Deerbrook Drive Knoxville, TN 37922
p: 865.671.0130 f: 865.671.0150 c: 865.300.6138
w: www.jenkinsstiles.com e: jsullins@jenkinsstiles.com

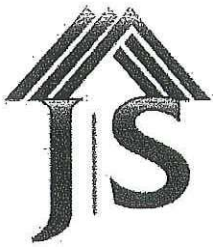
From: Josh Sullins

Sent: Friday, January 31, 2020 2:09 PM
To: Mark Shipley <mshipley@townoffarragut.org>

Cc: Eric Corti <ecorti@sf.services>; Lynn Holt <lholt@ORNLFCU.com>; Steve Humbard <shumbard@jenkinsstiles.com>; Adam James <ajames@designcollaborative.com>; Hiebel, Katie <khiebel@designcollaborative.com>
Subject: RE: ORNL FCU Farragut Branch

Mark,

We will have you an architectural as built layout asap, so we can schedule a building and fire final thank you for your help.



Josh Sullins
Project Manager
Jenkins & Stiles, LLC *your project, our passion*
10617 Deerbrook Drive Knoxville, TN 37922
p: 865.671.0130 f: 865.671.0150 c: 865.300.6138
w: www.jenkinsstiles.com e: jsullins@jenkinsstiles.com

From: Mark Shipley [<mailto:mshipley@townoffarragut.org>]

Sent: Friday, January 31, 2020 2:00 PM
To: Josh Sullins <jsullins@jenkinsstiles.com>
Subject: Re: ORNL FCU Farragut Branch

I think the main objective is to have a plan showing what's actually out there. This could be a baseline for anything that may be proposed in the future

Sent from my iPhone

On Jan 31, 2020, at 1:30 PM, Josh Sullins <jsullins@jenkinsstiles.com> wrote:

Mark,

I believe we've built all per the plans. Other than the a few feet of concrete islands attached to sidewalks / HC curb changes.

Are you requiring a formal survey or can Design Collaborative(architect) show the site work as complete per the plan or show the concrete islands attached to sidewalks / HC curb changes.

The reason I ask: I don't know if I need a surveyor out there or the architect's main level floor plan as-built. Please let me know so I can get this scheduled to be completed ASAP, so Final Inspection can be scheduled.

<image003.jpg>

Josh Sullins
Project Manager
Jenkins & Stiles, LLC *your project, our passion*
10617 Deerbrook Drive Knoxville, TN 37922
p: 865.671.0130 f: 865.671.0150 c: 865.300.6138
w: www.jenkinsstiles.com e: jsullins@jenkinsstiles.com

From: Mark Shipley [<mailto:mshipley@townoffarragut.org>]
Sent: Friday, January 31, 2020 10:21 AM

To: Josh Sullins <jsullins@jenkinsstiles.com>

Subject: Re: ORNL FCU Farragut Branch

It would be a basic survey to reflect the post -construction conditions. Basically show changes to parking lot and building. Would not need to as built landscaping.

Sent from my iPhone

On Jan 31, 2020, at 8:19 AM, Josh Sullins <jsullins@jenkinsstiles.com> wrote:

Mark,

We were told that before we could schedule a final inspection on this project, we have to submit a final as-built survey for this project to you. With this being at retro fit to existing business and not a ground up or new construction project, please advise requirements of as-built survey.

<image002.jpg>

Josh Sullins
Project Manager

Jenkins & Stiles, LLC *your project, our passion*

10617 Deerbrook Drive Knoxville, TN 37922

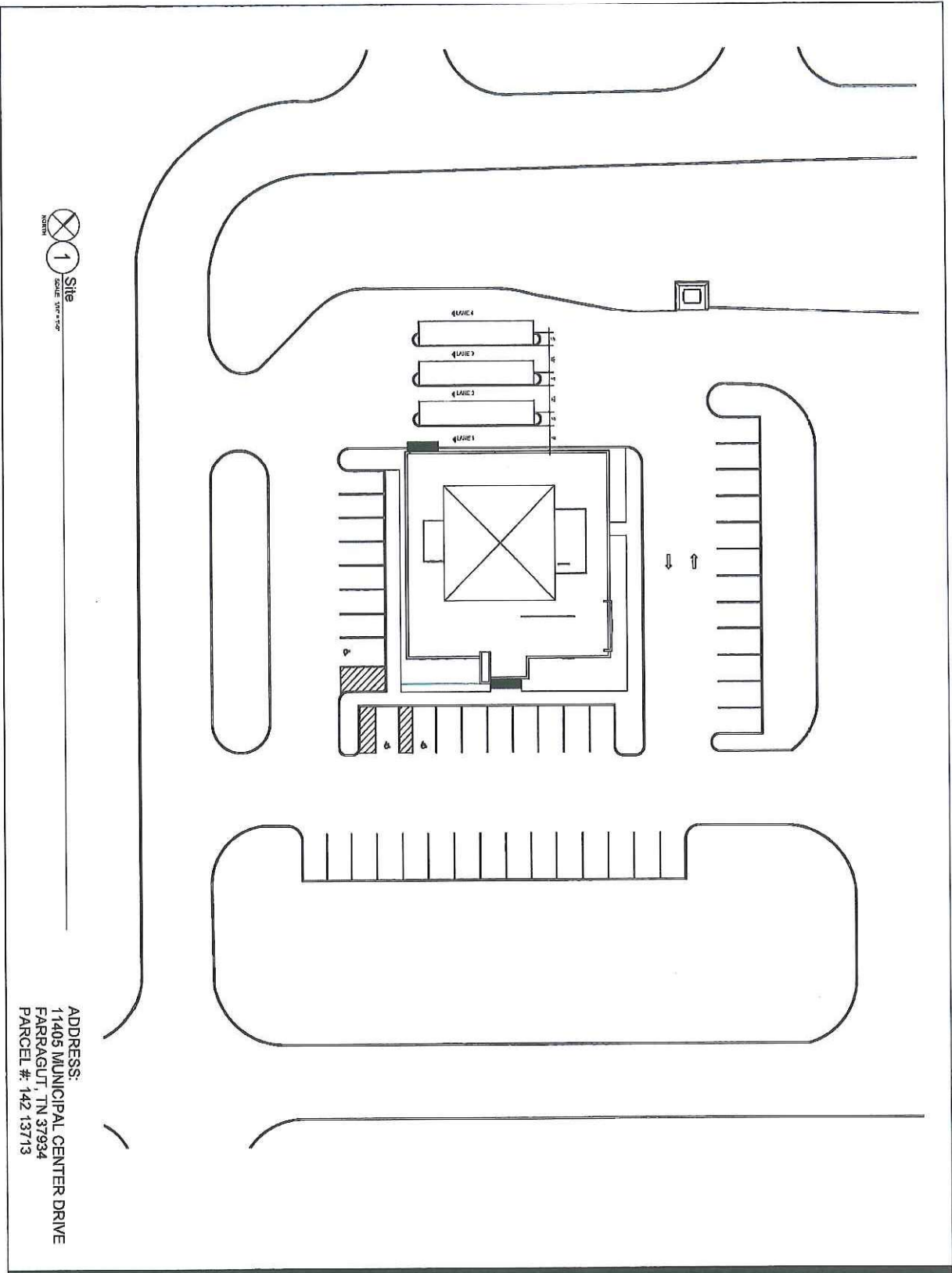
p: 865.671.0130 f: 865.671.0150 c: 865.300.6138

w: www.jenkinsstiles.com e: jsullins@jenkinsstiles.com

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EXHIBIT 2



Site
SCALE: 1/8" = 1'-0"

ADDRESS:
11405 MUNICIPAL CENTER DRIVE
FARRAGUT, TN 37934
PARCEL #: 142.13713

DATE: 06/10/2019
PROJECT: 2018.0122
TITLE: Site Plan
C1.0

No.	Description	Date
1	As Built Drawings	2018.0122

ORNL FEDERAL CREDIT UNION
FARRAGUT BRANCH
FARRAGUT, TENNESSEE

ALL WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE CITY OF FARRAGUT, TENNESSEE, AND THE STATE OF TENNESSEE. THIS PLAN SHALL BE USED FOR THE PROPOSED WORK ONLY AND IS NOT TO BE CONSIDERED AS A GUARANTEE OF PERFORMANCE OR LIABILITY. ANY WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE CITY OF FARRAGUT, TENNESSEE, AND THE STATE OF TENNESSEE.

CERTIFICATION
Andrew J. Williams
Professional Engineer
License No. 34422
State of Tennessee
ajwilliams@att.net

DESIGN COLLABORATIVE
People-first places

300 East Main Street
Farragut, Tennessee 37934
301.422.2424
301.422.2427
ajwilliams@att.net

EXHIBIT 3











Mike Winchester

From: Club LeConte <club.leconte@myclubleconte.com>
Sent: Thursday, July 2, 2020 5:02 PM
To: Mike Winchester
Subject: Mask Mandate and Holiday Hours

Dear Members,

As we head into this holiday weekend we wanted to inform you of precautions that we will be following starting tomorrow. Effective Friday July 3rd, it will be a requirement per Knox County Board of Health that masks must be worn inside any public spaces. This means that upon entering the First Horizon building you will be required to wear a mask and keep the mask on when entering the Club. There is a 4 person maximum occupancy limitation in all of the elevators in the building, so please make sure both you and your guest are following these limits. Once you are seated at your table and social distanced from other parties you will then be able to remove your mask. Please remember that you will need to put your mask back on once you are up from your table. As always, our members and employees health and safety are of our utmost concern and appreciate your cooperation as we adjust to these new standards. Club LeConte will continue to be a safe and socially distanced environment for all of your business and entertainment needs!

As a reminder the club will be closed Monday July the 6th in observance of Independence Day. We hope that you enjoy this time with your families and have a safe and happy 4th!

Please refer to the link below for further details on the mask mandate from the Knox County Board of Health.

<https://covid.knoxcountyttn.gov/>



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EXHIBIT 4

Vertical line of text on the right margin.

Brian Sellers

From: Mark Shipley <mshipley@townoffarragut.org>
Sent: Thursday, March 26, 2020 4:32 PM
To: Josh Holden
Cc: Lynn Holt; Bart Hose; Tom Hale
Subject: RE: Farragut Location

As with any ordinance provision, we are simply applying the language of the statute. These are terminal islands at the ORNL. They were landscaped and replaced with non-landscaped terminal islands without approval. The statute states the following applicable to this matter: "Perimeter parkways, interior parkways, **terminal islands**, and interior islands **shall** be planted with grass and/or trees, shrubs, or ground cover in combination with mulch." When an island does not now satisfy this requirement we cannot say that this is okay because it clearly is not compliant with the statute.

To me, the statute is very clear but you certainly have the opportunity to have this evaluated by the BZA should you choose to do so.

From: Josh Holden <jholden@wsfs-law.com>
Sent: Thursday, March 26, 2020 1:33 PM
To: Mark Shipley <mshipley@townoffarragut.org>
Cc: Lynn Holt <lholt@ORNLFCU.com>; Bart Hose <bhose@townoffarragut.org>; Tom Hale <tomhale@kramer-rayson.com>
Subject: RE: Farragut Location

Mark:

What is the basis for the staff's interpretation?

Can you expound on why you disagree with the Credit Union's views?

My client is happy to appeal, but it would be nice to have some understanding of why our views do not align.

Regards,

Joshua R. Holden, Attorney
WINCHESTER, SELLERS, FOSTER & STEELE, P.C.
800 South Gay Street, Ste. 1000
First Tennessee Plaza
P.O. Box 2428
Knoxville, TN 37901-2428
Telephone: 865.637.1980
Fax: 865.637.4489
E-mail: jholden@wsfs-law.com

From: Mark Shipley <mshipley@townoffarragut.org>
Sent: Thursday, March 26, 2020 11:26 AM
To: Josh Holden <jholden@wsfs-law.com>
Cc: Lynn Holt <lholt@ORNLFCU.com>; Bart Hose <bhose@townoffarragut.org>; Tom Hale <tomhale@kramer-rayson.com>
Subject: RE: Farragut Location

Thank you again for your summary below. At this point, the options from the staffs' perspective would be to either bring the terminal islands into compliance or appeal the staffs' interpretation and application of the Zoning Ordinance provisions that relate to this matter. If your client wishes to appeal, please go to the Town's web site and do so electronically. This would be a Board of Zoning Appeals application for an interpretation and application of the Zoning Ordinance. If you have any other questions please let me know. At this point, due to COVID-19, we will likely conduct the BZA meeting via Webex. The next BZA meeting would be April 22 and the filing deadline would be April 6. Thank you.

From: Josh Holden <jholden@wsfs-law.com>
Sent: Tuesday, March 17, 2020 9:52 AM
To: Mark Shipley <mshipley@townoffarragut.org>
Cc: Lynn Holt <lholt@ORNLCU.com>
Subject: RE: Farragut Location

3.17.2020

Dear Mr. Shipley:

Please be advised that my law office represents ORNL FCU and that I have been authorized and directed by the Credit Union to contact you regarding this matter. Going forward, please copy me on any communications with the Credit Union. If you wish for me to communicate with your attorney, please let me know his or her name and I will happily do so.

While the Credit Union wishes to work with you in a collaborative and cooperative effort, it is not amenable to immediately undoing (at great cost) what has just been completed (again at great cost). First, the provisions of the Farragut Code that you have cited (attached) have no application here. I assume from your email below that you are relying on subparagraph (3), "*Landscaping within parking lots*," but if that is not correct then please let me know. As you well know, that provision addresses, *inter alia*, **terminal islands** and **interior islands**, as well as **perimeter parkways** and **interior parkways**, all of which are defined terms under the Code:

Interior islands: A landscaped area located between parking spaces in a parking row within a parking lot as shown in Illustration 5 (see Chapter 1).

Interior parkways: A landscaped area located between parking rows within a parking lot as shown in Illustration 5 (see Chapter 1).

Perimeter parkways: An area with continuous cover of live landscaping materials that is located adjacent to front, side, and rear property lines or access easements.

Terminal islands: A landscaped area located at the end of each parking row within a parking lot as shown in Illustration 5 (see Chapter 1).

As you can plainly see, all of these matter are defined by reference to a single illustration (copy attached). Critically, NOWHERE on said illustration (or in App. A, Ch. 4, Section XII) is there anything squarely addressing the type of "island" that previously existed here, to wit: an L-shaped curb jutting from the corner of the building. Indeed, the illustration does not feature ANY islands emanating from the four corners of the building. Moreover, there is nothing in said definitions that affirmatively requires the Credit Union to maintain such an "island" should it choose to remove it. We therefore perceive that at best the Code is ambiguous on this type of "island" and at worst it simply fails to address it all. Regardless, there is no authority under the Code for the Town to require the Credit Union to replace an "island" that was not required in the first instance.

Second, it is puzzling to us that the Town would wish to be seen as taking a position of chastising the Credit Union for making itself MORE accessible to members with disabilities. Certainly, it is in the best interests of the Town to encourage all businesses to voluntarily make themselves as accessible as possible. It would be an outrage to those disabled members of the Credit Union that are presently enjoying the improved accessibility of the Farragut Branch for them to be told that that Credit Union must become LESS accessible in order to comply with a dubious interpretation of an illustration regarding "terminal islands."

Third, we note that by making this change to the parking lot, the Credit Union has actually brought itself INTO compliance with other provisions of the Code. Section XXA(6)(b) mandates that each handicap space have an adjacent 5-foot wide access lane. Before, two (2) handicapped spaces shared a single lane, but now the Credit Union has provided a separate lane for each space. From a pragmatic standpoint, it would seem to us that the Town would be more concerned with compliance vis-à-vis ADA-related matters than it would be about the Credit Union maintaining an L-shaped sliver a mulch with a single tree in it.

Lastly, from an aesthetic standpoint, the parking lot simply looks better than it did before. In comparing the two (2) attached photos, there can be no doubt that the changes made by the CU are certainly the kind of improvements that benefit the overall beauty and appeal of the Town. Indeed, the Credit Union has expended a large sum of money to improve the appearance of the facility and it would be a terrible waste of resources to undo such work in order to comply with an ambiguous illustration.

In view of the foregoing points my client would respectfully ask that the Town reconsider its position on this matter. Please review and let me know your thoughts.

Best regards,

JRH

Joshua R. Holden, Attorney
WINCHESTER, SELLERS, FOSTER & STEELE, P.C.
800 South Gay Street, Ste. 1000
First Tennessee Plaza
P.O. Box 2428
Knoxville, TN 37901-2428
Telephone: 865.637.1980
Fax: 865.637.4489
E-mail: jholden@wsfs-law.com

From: Mark Shipley <mshipley@townoffarragut.org>
Sent: Friday, March 6, 2020 8:14 AM
To: Lynn Holt <lholt@ORNLFCU.com>
Subject: [EXT]-RE: Farragut Location

CAUTION

This email originated from outside of the organization. DO NOT CLICK links or open attachments unless you recognize the sender and know the content is safe.

Just let me know when the islands are corrected to comply with our requirements. Thanks.

From: Lynn Holt <lholt@ORNLFCU.com>
Sent: Thursday, February 27, 2020 5:11 PM
To: Mark Shipley <mshipley@townoffarragut.org>
Cc: Lynn Holt <lholt@ORNLFCU.com>; Joy Wilson <jwilson@ORNLFCU.com>
Subject: Farragut Location

Mark,

ORNL feels that the sidewalks allow improved accessibility for members and/or employees using the ADA parking. We intentionally placed the sidewalks to support ADA member use. The parking lot gets very congested and members that park across from the front entrance use these sidewalks in order to access our facility safely.

Thank you,

Lynn Holt
Assistant Vice President
Facilities



ORNL Federal Credit Union

t: 865.220.1044 m: 865.806.4643
f: 865.482.3838 tf: 800,676.5328
lholt@ornlfcu.com/www.ornlfcu.com

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EXHIBIT 5

Google Maps 100 S Campbell Station Rd



Map data ©2020, Map data ©2020 20 ft



100 S Campbell Station Rd

Farragut, TN 37934

- Directions
- Save
- Nearby
- Send to your phone
- Share

At this location

Carpet Cleaning Services of Farragut
Carpet store · 100 S Campbell Station Rd #26
Open until 6:00 PM

First Citizens Bank
Bank · 100 S Campbell Station Rd
Open until 6:00 PM

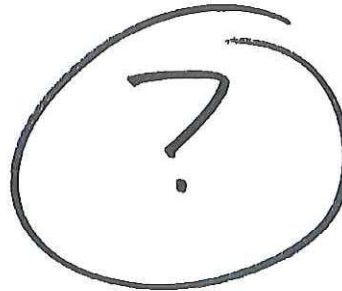


EXHIBIT 6

Google Maps Farragut, Tennessee

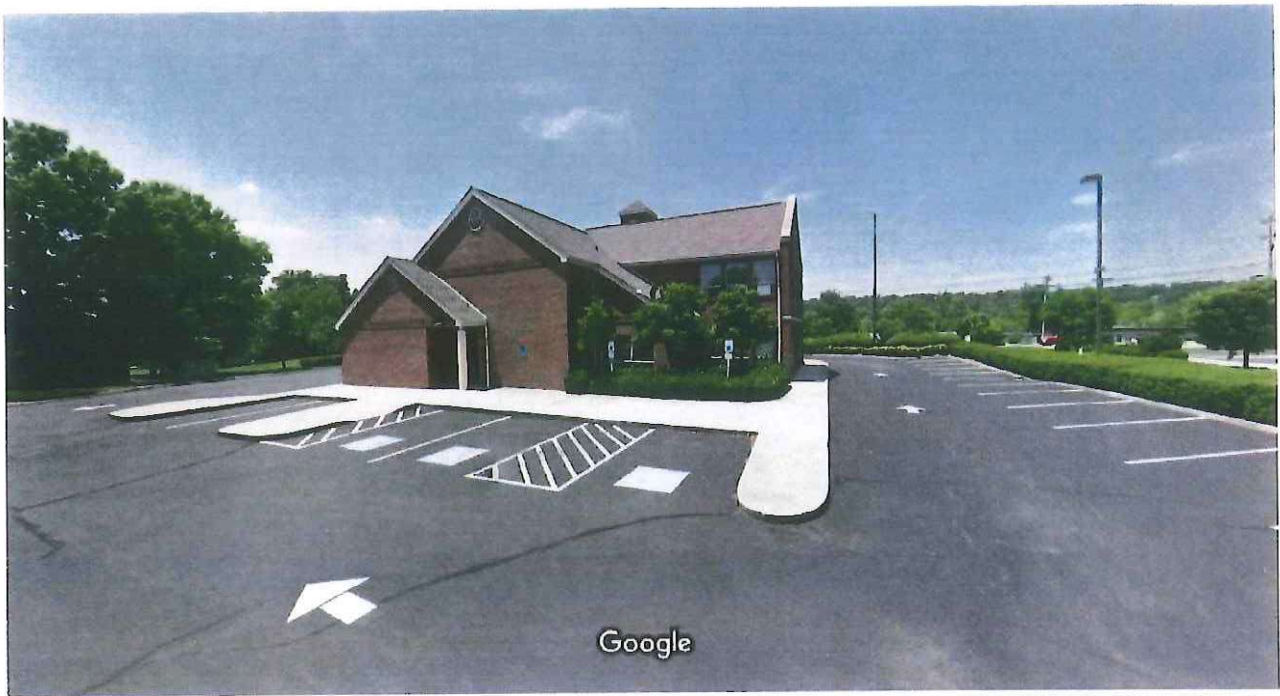


Image capture: May 2016 © 2020 Google

Google

Street View

Google Maps Farragut, Tennessee



Image capture: Feb 2017 © 2020 Google

Google

Street View

Google Maps Farragut, Tennessee



Image capture: Feb 2017 © 2020 Google

Google

Street View

Google Maps Farragut, Tennessee



Image capture: May 2018 © 2020 Google

Google

Street View

Google Maps Farragut, Tennessee



Image capture: May 2018 © 2020 Google

Google

Street View

Google Maps 11220 W Point Dr



Image capture: Jan 2018 © 2020 Google

Farragut, Tennessee

Google

Street View

6

Google Maps 11298 W Point Dr



Image capture: Jan 2018 © 2020 Google

Farragut, Tennessee

Google

Street View

Google Maps Farragut, Tennessee

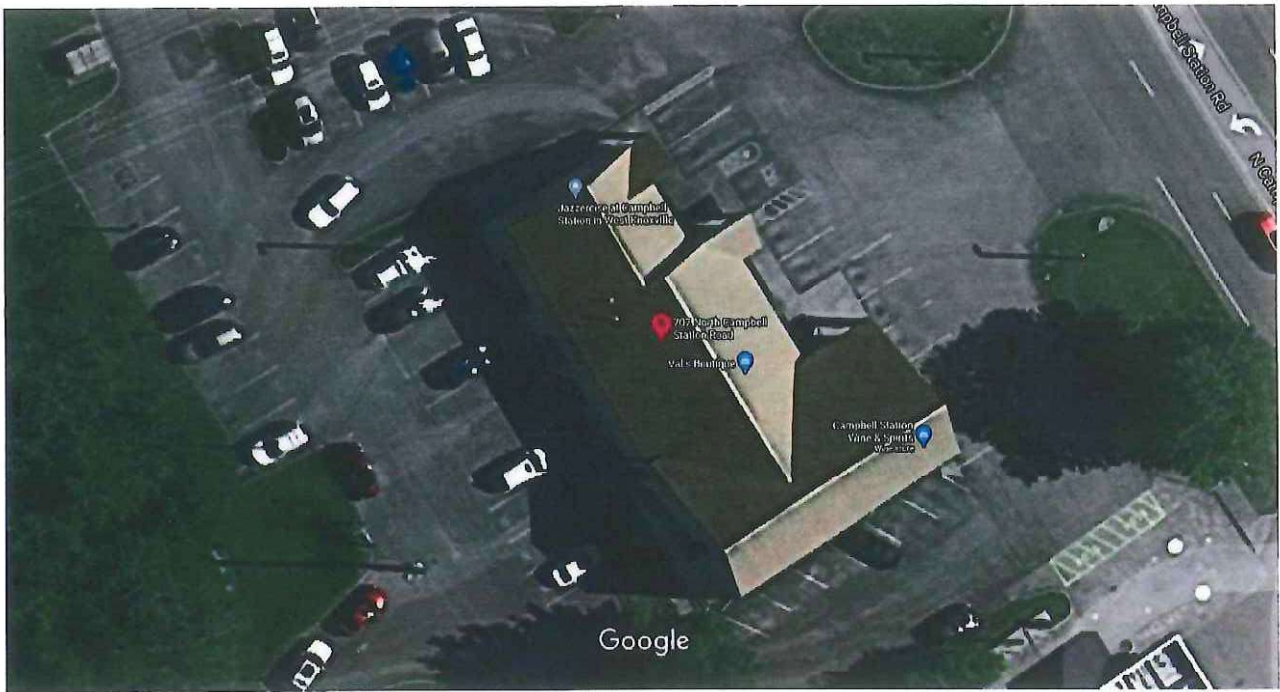


Image capture: Jul 2015 © 2020 Google

Google

Street View

Google Maps 707 N Campbell Station Rd



Map data ©2020, Map data ©2020 20 ft



707 N Campbell Station Rd

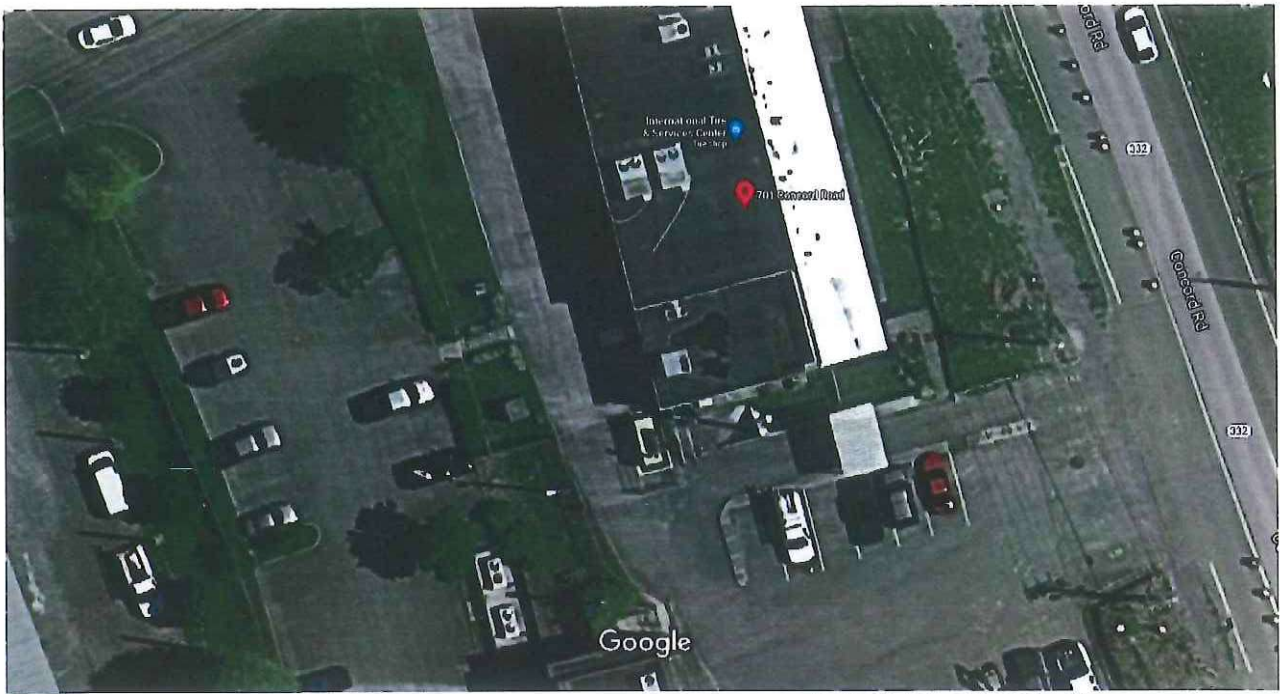
Knoxville, TN 37934

- 
Directions
- 
Save
- 
Nearby
- 
Send to your phone
- 
Share

VRWF+7V Knoxville, Tennessee

Photos

Google Maps 701 Concord Rd



Map data ©2020, Map data ©2020 20 ft



701 Concord Rd

Knoxville, TN 37934

-  Directions
-  Save
-  Nearby
-  Send to your phone
-  Share

Photos

Google Maps Knoxville, Tennessee



Image capture: Mar 2019 © 2020 Google

Google

Street View

Google Maps Knoxville, Tennessee



Image capture: Mar 2019 © 2020 Google

Google

Street View

EXHIBIT 7

Brian Sellers

From: Tom Hale <tomhale@kramer-rayson.com>
Sent: Wednesday, June 17, 2020 8:48 PM
To: Mark Shipley
Cc: Josh Holden; Brian Sellers
Subject: Re: Farragut Location

Josh,

I want to be clear. The town's regulations are what they are and they are passed by either the Board or the Planning Commission. The staff does not have the authority to compromise those regulations. That is why there is an appeal to the BZA. The idea about the planters may be something that the BZA sees as a reasonable solution and it may not, but the suggestion that the a Town employee has rejected something that he had no authority to deal with in the first place is not a correct statement.

I am hopeful that a solution can be reached that avoids the expense of taking the built islands out and reconstructing it as required.

Tom

Sent from my iPhone

On Jun 17, 2020, at 4:52 PM, Mark Shipley <mshipley@townoffarragut.org> wrote:

I haven't seen a specific design for the large planters but that would be inconsistent with how terminal islands have been landscaped. For it to contain a tree you probably would have to make it similar to tree wells that you see for street trees in more urban settings. The width of the terminal island is also required to be 5 feet from back of curb to back of curb. I could look at such a design if you would like. The ordinance says terminal islands shall be planted with grass and/or tree, shrubs, or ground cover in combination with mulch.

The permit was actually extended by our building official until Dec 9 so they should be good on that.

From: Josh Holden <jholden@wsfs-law.com>
Sent: Wednesday, June 17, 2020 2:18 PM
To: Mark Shipley <mshipley@townoffarragut.org>
Cc: Tom Hale <tomhale@kramer-rayson.com>; Brian Sellers <bsellers@wsfs-law.com>
Subject: RE: Farragut Location

Mark:

Thanks. Just to confirm before we go forward, we are under the understanding that the Town has disapproved our proposal to put very large "planters" on the location at issue, with small trees inside (dogwood, dwarf holly, etc.) Is that correct?

Also, I am told that ORNL's contractor was issued a citation of some sort for having an expired permit. I would assume that matter (the expired permit) would be held in abeyance pending resolution of the

appeal. Is that the case? If not, is an extension available? The permit issue seems like it will resolve itself one way or the other at the BZA hearing.

Best,

Joshua R. Holden, Attorney
WINCHESTER, SELLERS, FOSTER & STEELE, P.C.
800 South Gay Street, Ste. 1000
First Tennessee Plaza
P.O. Box 2428
Knoxville, TN 37901-2428
Telephone: 865.637.1980
Fax: 865.637.4489
E-mail: jholden@wsfs-law.com

From: Mark Shipley <mshipley@townoffarragut.org>
Sent: Tuesday, June 16, 2020 8:35 AM
To: Josh Holden <jholden@wsfs-law.com>
Cc: Tom Hale <tomhale@kramer-rayson.com>; Brian Sellers <bsellers@wsfs-law.com>
Subject: RE: Farragut Location

Meetings in July will likely be in person. The filing deadline for the July 22 BZA meeting is July 6. If you are appealing the staff's interpretation of the statute then it would be an administrative review. All of our applications are now to be filed through our web site. Thanks.

From: Josh Holden <jholden@wsfs-law.com>
Sent: Monday, June 15, 2020 4:51 PM
To: Mark Shipley <mshipley@townoffarragut.org>
Cc: Tom Hale <tomhale@kramer-rayson.com>; Brian Sellers <bsellers@wsfs-law.com>
Subject: RE: Farragut Location

Mark:

In spite of our sincere efforts to reach a compromise, it appears we will have to file a formal appeal. A few questions on that point:

- Are these being held in-person or electronically?
- Is July 22nd an available date? If not, when?
- Is this considered an administrative review, a request for a variance, or a request for a special exception?

Regards,
JRH

Joshua R. Holden, Attorney
WINCHESTER, SELLERS, FOSTER & STEELE, P.C.
800 South Gay Street, Ste. 1000
First Tennessee Plaza
P.O. Box 2428
Knoxville, TN 37901-2428
Telephone: 865.637.1980
Fax: 865.637.4489

E-mail: jholden@wsfs-law.com

From: Mark Shipley <mshipley@townoffarragut.org>
Sent: Thursday, April 23, 2020 11:48 AM
To: Josh Holden <jholden@wsfs-law.com>
Cc: Lynn Holt <lholt@ORNLFCU.com>; Bart Hose <bhose@townoffarragut.org>; Tom Hale <tomhale@kramer-rayson.com>; Karl Swierzko <kswierzko@townoffarragut.org>; Elliott Sievers <esievers@townoffarragut.org>; Dan Johnson <djohnson@townoffarragut.org>
Subject: RE: Farragut Location

As I have stated before. Your options are to correct the issue or go to the BZA to appeal your case.

From: Josh Holden <jholden@wsfs-law.com>
Sent: Thursday, April 23, 2020 11:32 AM
To: Mark Shipley <mshipley@townoffarragut.org>
Cc: Lynn Holt <lholt@ORNLFCU.com>; Bart Hose <bhose@townoffarragut.org>; Tom Hale <tomhale@kramer-rayson.com>; Karl Swierzko <kswierzko@townoffarragut.org>; Elliott Sievers <esievers@townoffarragut.org>; Dan Johnson <djohnson@townoffarragut.org>
Subject: RE: Farragut Location

Mark:

Thanks for the email. Respectfully, I miss disagree. As I indicated previously, by definition the concrete barrier at issue is very clearly NOT a terminal island.

A "terminal island" is defined **only by reference to the attached illustration**. That's it. The illustration does not match the structure erected at the CU's building. Indeed, there are also no "interior islands" on the Credit Union's property, nor is there an "interior parkway" as set out in the diagram. Therefore, my client is in compliance with the regulation. From our standpoint, the Town is attempting (at unnecessary cost and expense to my client) to stretch the meaning of "terminal island" to encompass items that are not included without the definition. If the town wishes to expand what is a considered a "terminal island" then it must amend the illustration.

As things stand now, the Town is using a tortured interpretation of "terminal island" to punish my client for expanding its handicapped accessibility. Does that make any sense at all?

Moreover, no explanation has been provided as to why the Town allows a similar barrier at a Bank within walking distance, yet not for my client. I raised this issue in a prior missive and received no reply. There appears to be no logical distinction, yet the Town permits one but not the other? First Citizens Bank appears to have a nearly identical concrete peninsula jutting from the corner of its building. Please refer to the attached photograph. As you can see, the concrete structure is also adjacent to a handicapped parking space, just as it is with ORNL FCU.

Lastly, I am aware that the Town utilizes attorney Tom Hale. His opinions are universally well-respected and I am happy to see him copied on your missive. Because this is essentially an issue of statutory construction, I would be grateful to hear his thoughts before we go much further.

Best regards,
JRH

Joshua R. Holden, Attorney
WINCHESTER, SELLERS, FOSTER & STEELE, P.C.

800 South Gay Street, Ste. 1000
First Tennessee Plaza
P.O. Box 2428
Knoxville, TN 37901-2428
Telephone: 865.637.1980
Fax: 865.637.4489
E-mail: Jholden@wsfs-law.com

From: Mark Shipley <mshipley@townoffarragut.org>
Sent: Thursday, April 23, 2020 10:43 AM
To: Josh Holden <jholden@wsfs-law.com>
Cc: Lynn Holt <lholt@ORNLFCU.com>; Bart Hose <bhose@townoffarragut.org>; Tom Hale <tomhale@kramer-rayson.com>; Karl Swierzko <kswierzko@townoffarragut.org>; Elliott Sievers <esievers@townoffarragut.org>; Dan Johnson <djohnson@townoffarragut.org>
Subject: RE: Farragut Location

Hope you are doing well. I just wanted to follow up and indicate that, due to the zoning related issues, this project has not received final approval (in the form of a Certificate of Occupancy) from the Town. If you plan to appeal I would ask that you please go ahead and do so. If not, please provide a site plan for correcting the parking lot terminal island issues so that it can be approved and this correction can be completed by Friday, May 29. Thanks for your help.

From: Mark Shipley
Sent: Thursday, March 26, 2020 4:32 PM
To: Josh Holden <jholden@wsfs-law.com>
Cc: Lynn Holt <lholt@ORNLFCU.com>; Bart Hose <bhose@townoffarragut.org>; Tom Hale <tomhale@kramer-rayson.com>
Subject: RE: Farragut Location

As with any ordinance provision, we are simply applying the language of the statute. These are terminal islands at the ORNL. They were landscaped and replaced with non-landscaped terminal islands without approval. The statute states the following applicable to this matter: "Perimeter parkways, interior parkways, **terminal islands**, and interior islands **shall** be planted with grass and/or trees, shrubs, or ground cover in combination with mulch." When an island does not now satisfy this requirement we cannot say that this is okay because it clearly is not compliant with the statute.

To me, the statute is very clear but you certainly have the opportunity to have this evaluated by the BZA should you choose to do so.

From: Josh Holden <jholden@wsfs-law.com>
Sent: Thursday, March 26, 2020 1:33 PM
To: Mark Shipley <mshipley@townoffarragut.org>
Cc: Lynn Holt <lholt@ORNLFCU.com>; Bart Hose <bhose@townoffarragut.org>; Tom Hale <tomhale@kramer-rayson.com>
Subject: RE: Farragut Location

Mark:

What is the basis for the staff's interpretation?

Can you expound on why you disagree with the Credit Union's views?

My client is happy to appeal, but it would be nice to have some understanding of why our views do not align.

Regards,

Joshua R. Holden, Attorney
WINCHESTER, SELLERS, FOSTER & STEELE, P.C.
800 South Gay Street, Ste. 1000
First Tennessee Plaza
P.O. Box 2428
Knoxville, TN 37901-2428
Telephone: 865.637.1980
Fax: 865.637.4489
E-mail: jholden@wsfs-law.com

From: Mark Shipley <mshipley@townoffarragut.org>
Sent: Thursday, March 26, 2020 11:26 AM
To: Josh Holden <jholden@wsfs-law.com>
Cc: Lynn Holt <lholt@ORNLFCU.com>; Bart Hose <bhose@townoffarragut.org>; Tom Hale <tomhale@kramer-rayson.com>
Subject: RE: Farragut Location

Thank you again for your summary below. At this point, the options from the staffs' perspective would be to either bring the terminal islands into compliance or appeal the staffs' interpretation and application of the Zoning Ordinance provisions that relate to this matter. If your client wishes to appeal, please go to the Town's web site and do so electronically. This would be a Board of Zoning Appeals application for an interpretation and application of the Zoning Ordinance. If you have any other questions please let me know. At this point, due to COVID-19, we will likely conduct the BZA meeting via Webex. The next BZA meeting would be April 22 and the filing deadline would be April 6. Thank you.

From: Josh Holden <jholden@wsfs-law.com>
Sent: Tuesday, March 17, 2020 9:52 AM
To: Mark Shipley <mshipley@townoffarragut.org>
Cc: Lynn Holt <lholt@ORNLFCU.com>
Subject: RE: Farragut Location

3.17.2020

Dear Mr. Shipley:

Please be advised that my law office represents ORNL FCU and that I have been authorized and directed by the Credit Union to contact you regarding this matter. Going forward, please copy me on any communications with the Credit Union. If you wish for me to communicate with your attorney, please let me know his or her name and I will happily do so.

While the Credit Union wishes to work with you in a collaborative and cooperative effort, it is not amenable to immediately undoing (at great cost) what has just been completed (again at great cost). First, the provisions of the Farragut Code that you have cited (attached) have no application here. I assume from your email below that you are relying on subparagraph (3), "*Landscaping within parking lots,*" but if that is not correct then please let me know. As you well know, that provision

addresses, *inter alia*, terminal islands and interior islands, as well as perimeter parkways and interior parkways, all of which are defined terms under the Code:

Interior islands: A landscaped area located between parking spaces in a parking row within a parking lot as shown in Illustration 5 (see Chapter 1).

Interior parkways: A landscaped area located between parking rows within a parking lot as shown in Illustration 5 (see Chapter 1).

Perimeter parkways: An area with continuous cover of live landscaping materials that is located adjacent to front, side, and rear property lines or access easements.

Terminal islands: A landscaped area located at the end of each parking row within a parking lot as shown in Illustration 5 (see Chapter 1).

As you can plainly see, all of these matter are defined by reference to a single illustration (copy attached). Critically, NOWHERE on said illustration (or in App. A, Ch. 4, Section XII) is there anything squarely addressing the type of "island" that previously existed here, to wit: an L-shaped curb jutting from the corner of the building. Indeed, the illustration does not feature ANY islands emanating from the four corners of the building. Moreover, there is nothing in said definitions that affirmatively requires the Credit Union to maintain such an "island" should it choose to remove it. We therefore perceive that at best the Code is ambiguous on this type of "island" and at worst it simply fails to address it all. Regardless, there is no authority under the Code for the Town to require the Credit Union to replace an "island" that was not required in the first instance.

Second, it is puzzling to us that the Town would wish to be seen as taking a position of chastising the Credit Union for making itself MORE accessible to members with disabilities. Certainly, it is in the best interests of the Town to encourage all businesses to voluntarily make themselves as accessible as possible. It would be an outrage to those disabled members of the Credit Union that are presently enjoying the improved accessibility of the Farragut Branch for them to be told that that Credit Union must become LESS accessible in order to comply with a dubious interpretation of an illustration regarding "terminal islands."

Third, we note that by making this change to the parking lot, the Credit Union has actually brought itself INTO compliance with other provisions of the Code. Section XXA(6)(b) mandates that each handicap space have an adjacent 5-foot wide access lane. Before, two (2) handicapped spaces shared a single lane, but now the Credit Union has provided a separate lane for each space. From a pragmatic standpoint, it would seem to us that the Town would be more concerned with compliance vis-à-vis ADA-related matters than it would be about the Credit Union maintaining an L-shaped sliver a mulch with a single tree in it.

Lastly, from an aesthetic standpoint, the parking lot simply looks better than it did before. In comparing the two (2) attached photos, there can be no doubt that the changes made by the CU are certainly the kind of improvements that benefit the overall beauty and appeal of the Town. Indeed, the Credit Union has expended a large sum of money to improve the appearance of the facility and it would be a terrible waste of resources to undo such work in order to comply with an ambiguous illustration.

In view of the foregoing points my client would respectfully ask that the Town reconsider its position on this matter. Please review and let me know your thoughts.

Best regards,

JRH

Joshua R. Holden, Attorney
WINCHESTER, SELLERS, FOSTER & STEELE, P.C.
800 South Gay Street, Ste. 1000
First Tennessee Plaza
P.O. Box 2428
Knoxville, TN 37901-2428
Telephone: 865.637.1980
Fax: 865.637.4489
E-mail: jholden@wsfs-law.com

From: Mark Shipley <mshipley@townoffarragut.org>
Sent: Friday, March 6, 2020 8:14 AM
To: Lynn Holt <lholt@ORNLFCU.com>
Subject: [EXT]-RE: Farragut Location

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Just let me know when the islands are corrected to comply with our requirements. Thanks.

From: Lynn Holt <lholt@ORNLFCU.com>
Sent: Thursday, February 27, 2020 5:11 PM
To: Mark Shipley <mshipley@townoffarragut.org>
Cc: Lynn Holt <lholt@ORNLFCU.com>; Joy Wilson <jwilson@ORNLFCU.com>
Subject: Farragut Location

Mark,

ORNL feels that the sidewalks allow improved accessibility for members and/or employees using the ADA parking. We intentionally placed the sidewalks to support ADA member use. The parking lot gets very congested and members that park across from the front entrance use these sidewalks in order to access our facility safely.

Thank you,

Lynn Holt
Assistant Vice President
Facilities

<image001.jpg>
ORNL Federal Credit Union

t: 865.220.1044 m: 865.806.4643
f: 865.482.3838 tf: 800,676.5328
lholt@ornlfcu.com/www.ornlfcu.com

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EXHIBIT 8













EXHIBIT B

PROPERTIES WITH NO LANDSCAPED TERMINAL ISLAND AT END OF PARKING ROW

INDEX:

TOWN OF FARRAGUT PROPERTIES:

1. McFEE PARK, SPLASH PAD OVERFLOW LOT – PAINTED OUTLINES;
2. MAYOR BOB LEONARD PARK, HARRISON LANE LOT – PAINTED OUTLINES;
3. FARRAGUT TOWN HALL, HANDICAPPED PARKING – ENDS IN SIDEWALK;
4. FOUNDERS PARK AT CAMPBELL STATION, HANDICAPPED PARKING AT FARRAGUT BRANCH LIBRARY – BRACKETED IN CONCRETE SIDEWALK;

CONCRETE PENINSULA AT END OF PARKING ROW:

5. LONGHORN STEAKHOUSE, 11644 PARKSIDE DRIVE;
6. DAVID'S ABBEY CARPETS, 10853 KINGSTON PIKE;

OUTLINE OF TERMINAL ISLAND PAINTED ON PAVEMENT, NOT LANDSCAPED:

7. BUDDY'S BARBECUE, 121 WEST END AVENUE;
8. McDONALDS', 11205 KINGSTON PIKE;
9. FARRAGUT PHARMACY/PRESTIGE CLEANERS, 11424-11428 KINGSTON PIKE;
10. FARRAGUT MARKET, 11104 KINGSTON PIKE;
11. PPG PAINTS, et al., 11000 KINGSTON PIKE;
12. COUNTRY INNS & SUITES, 805 N. CAMPBELL STATION ROAD;
13. SHELL SERVICE STATION, 801 N. CAMPBELL STATION ROAD;
14. SUMMIT VIEW OF KNOXVILLE, 12823 KINGSTON PIKE;

PARKING ROW ENDS IN A PARKING SPACE, NO TERMINAL ISLAND OF ANY KIND:

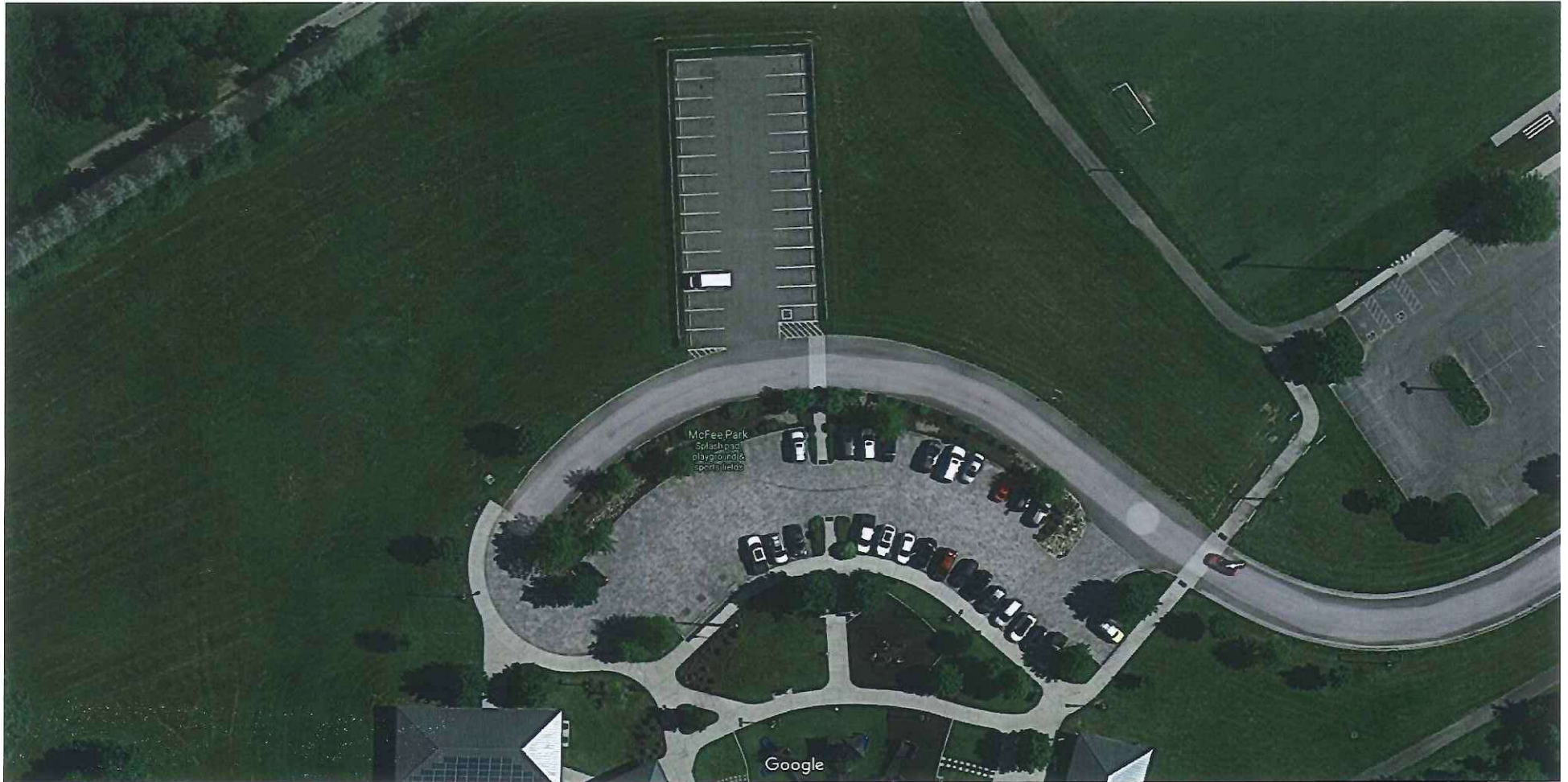
15. COLDWELL BANKER, 10815 KINGSTON PIKE;
16. STATE FARM – MANSOUR HASAN, 10811 KINGSTON PIKE;
17. AMERICA'S FINEST FLOORING, 10809 KINGSTON PIKE;
18. U-HAUL OF FARRAGUT, 10833 KINGSTON PIKE;
19. NATIONWIDE INSURANCE – MIKE DYER, et al., 11020 KINGSTON PIKE;
20. SHORT SHEET FABRICS/COTTAGE DOOR INTERIORS, 10924 KINGSTON PIKE;
21. ALLSTATE INSURANCE – LONNIE JONES, JR., 620 N. CAMPBELL STATION ROAD;
22. FRUITION CAFÉ, 129 WEST END AVENUE;
23. ECHELON BICYCLES, et al., 138 WEST END AVENUE;
24. PUTT-PUTT GOLF & GAMES, 164 WEST END AVENUE;

EXHIBIT B – ITEM 1 - McFEE PARK,
SPLASH PAD OVERFLOW LOT – PAINTED OUTLINES;



McFee Park

Town of Farragut's McFee Park, 917 McFee Rd., Splash Pad Overflow Parking Lot, no landscaped terminal islands, only cross-stripped outline painted on pavement

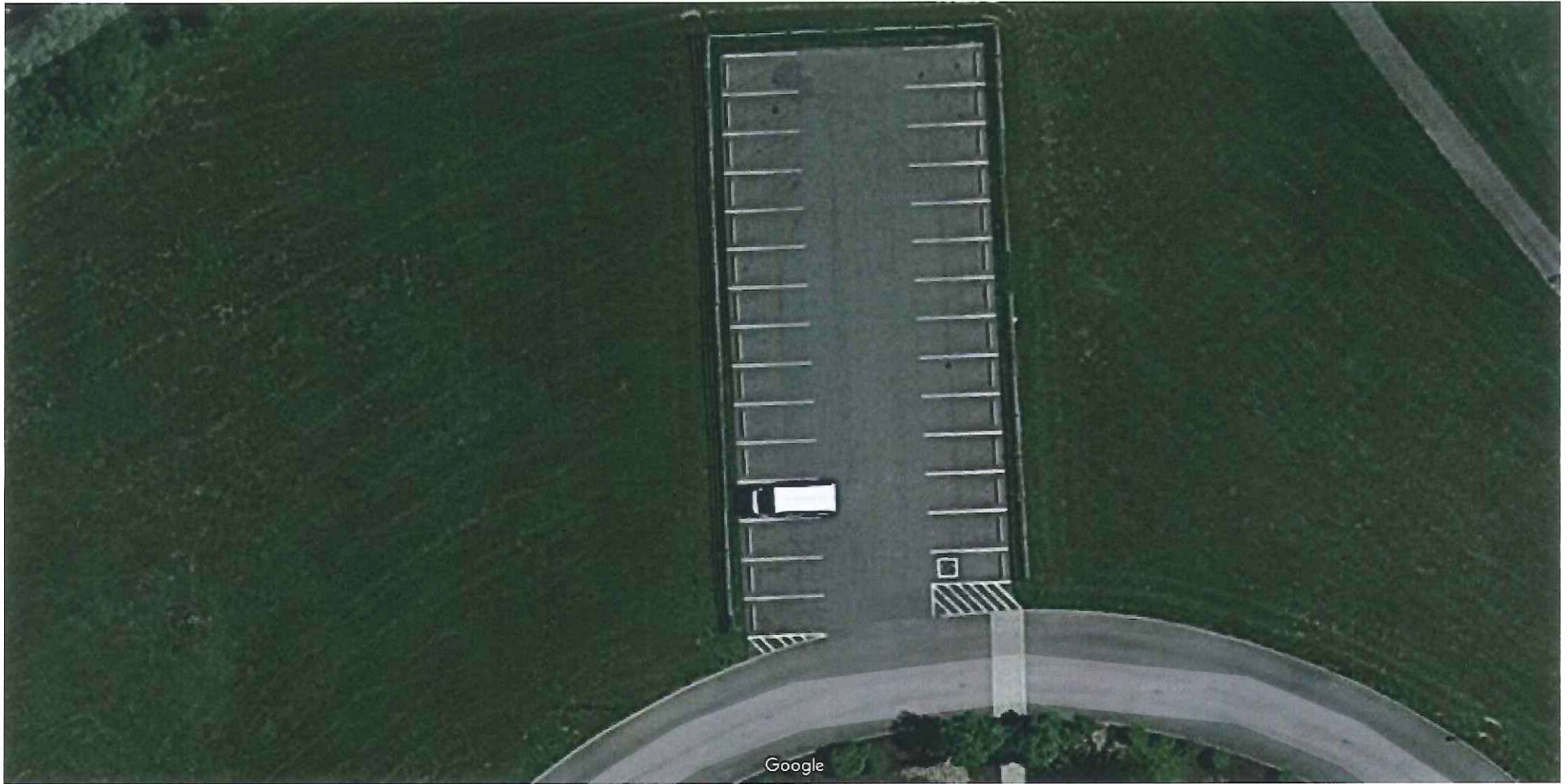


Map data ©2020, Map data ©2020 20 ft



McFee Park

Town of Farragut's McFee Park, 917 McFee Rd., Splash Pad Overflow Parking Lot, no landscaped terminal islands, only cross-striped outline painted on pavement



Map data ©2020, Map data ©2020 20 ft

EXHIBIT B – ITEM 2 - MAYOR BOB LEONARD PARK,
HARRISON LANE LOT – PAINTED OUTLINES;



Mayor Bob Leonard Park

Town of Farragut's Mayor Bob Leonard Park, Parking Lot on Harrison Lane, painted outline of "terminal islands" not landscaped



Map data ©2020, Map data ©2020 20 ft



McFee Park

Town of Farragut's Mayor Bob Leonard Park, Parking Lot on Harrison Lane, painted outline of "terminal islands," not landscaped



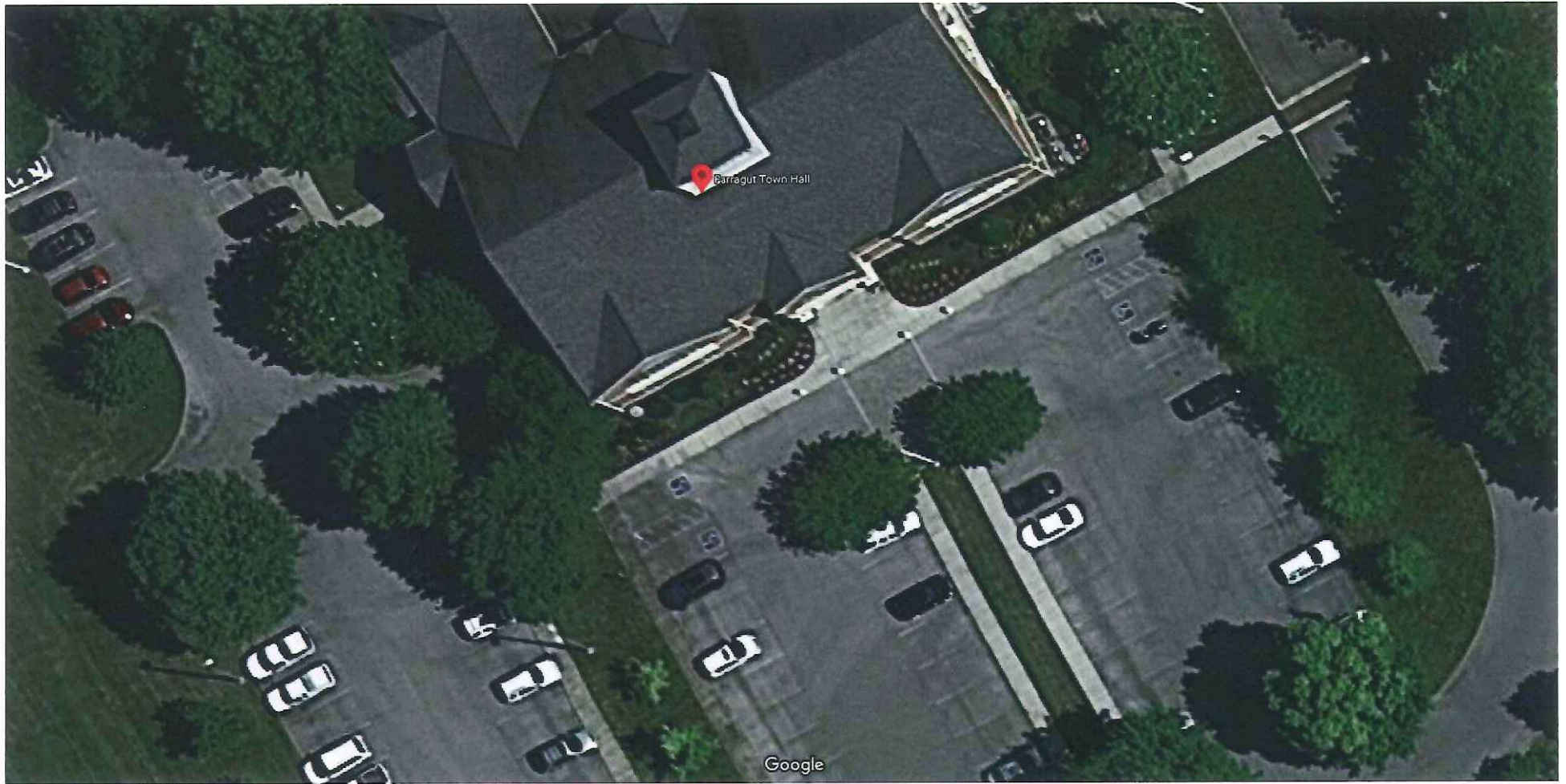
Map data ©2020, Map data ©2020 20 ft

EXHIBIT B – ITEM 3 - FARRAGUT TOWN HALL,
HANDICAPPED PARKING – ENDS IN SIDEWALK;



Farragut Town Hall

Farragut Town Hall, Handicapped accessible parking spaces, NO landscaped terminal islands, ends in a sidewalk



Map data ©2020, Map data ©2020 20 ft

Google Maps Farragut, Tennessee



Google

Image capture: May 2018 © 2020 Google

Google

Street View





Image capture: May 2018 © 2020 Google



Street View



Google Maps Farragut, Tennessee

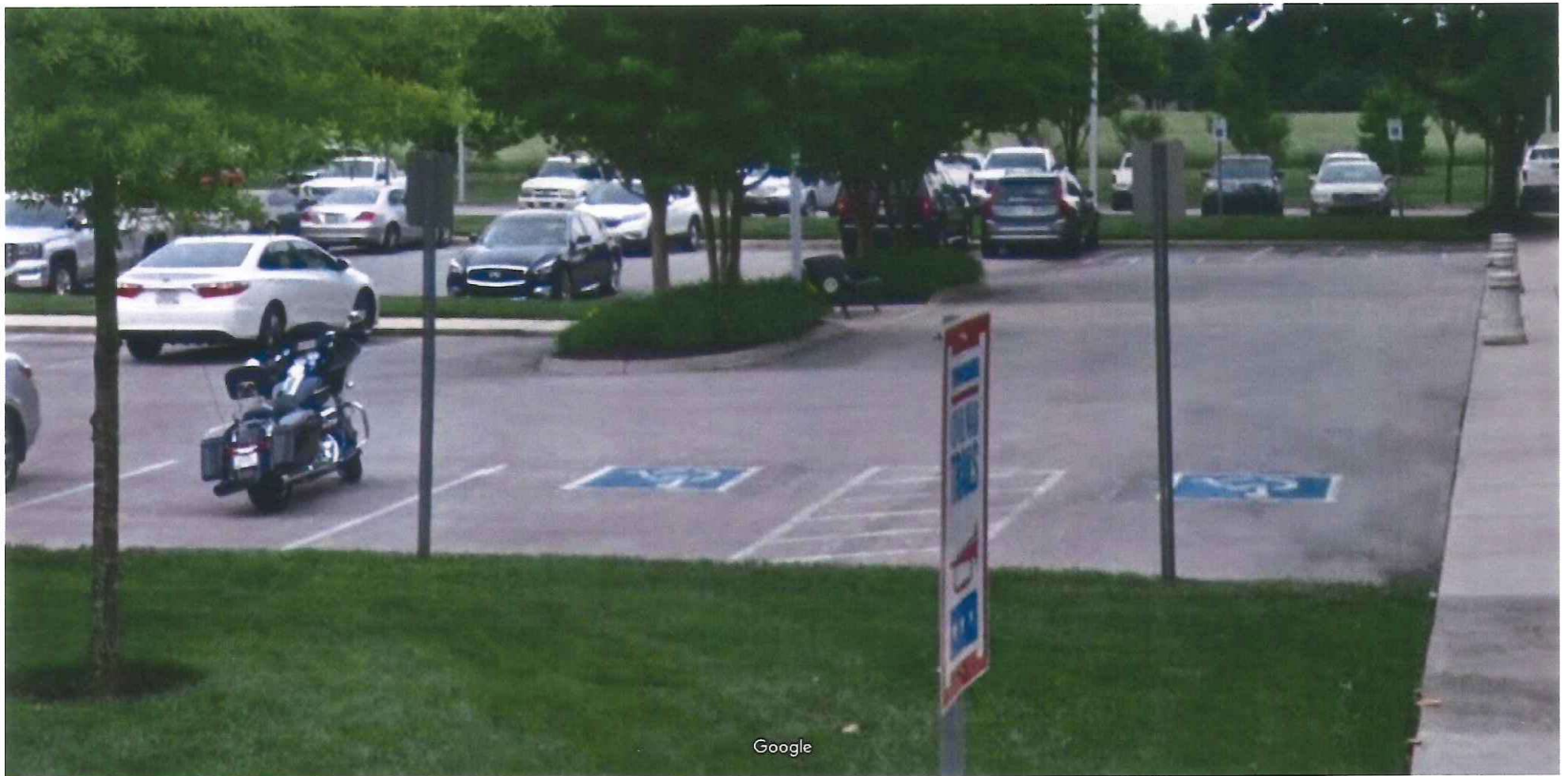


Image capture: May 2018 © 2020 Google

Google

Street View

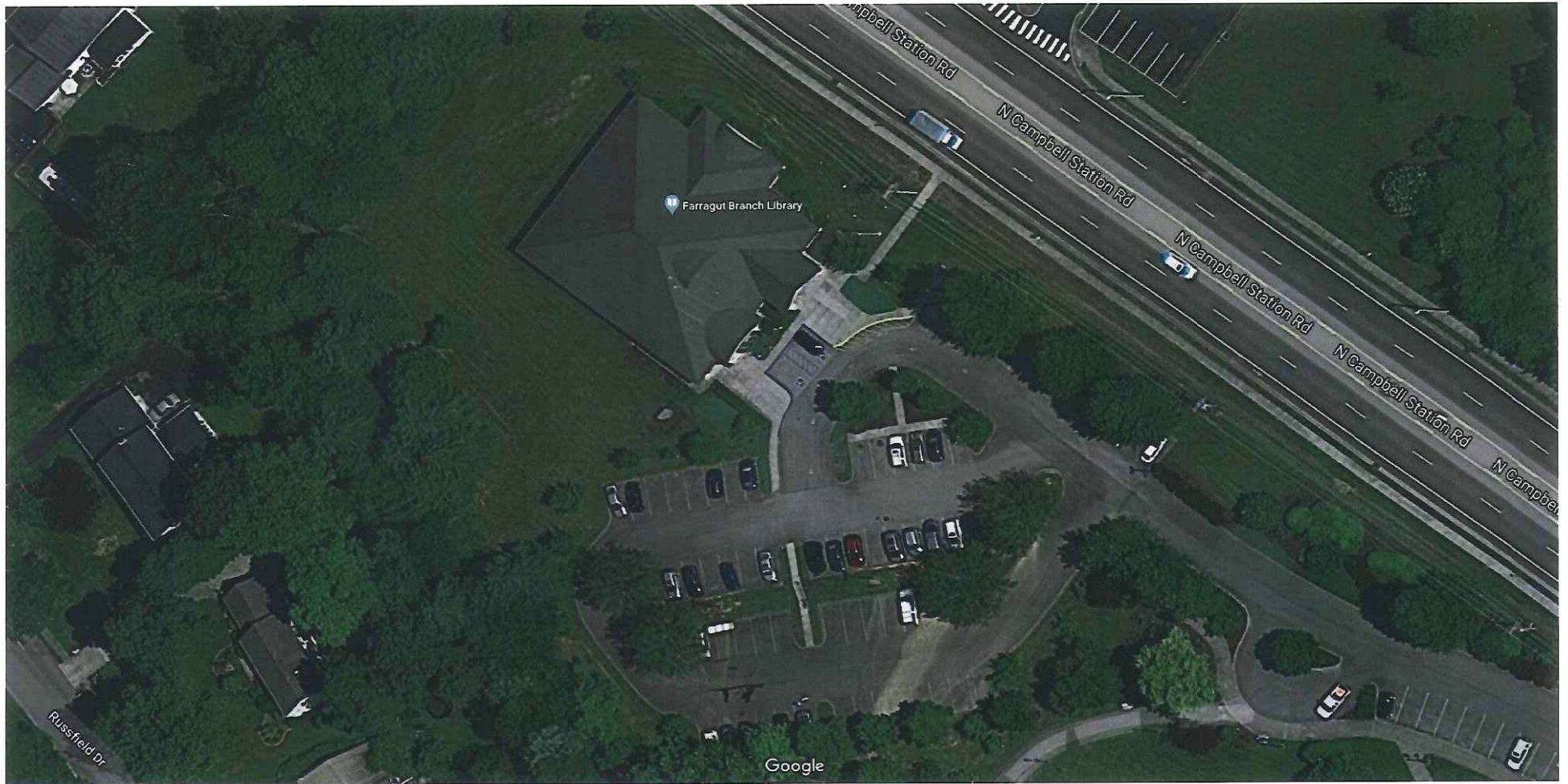


EXHIBIT B – ITEM 4 -
FOUNDERS PARK AT CAMPBELL STATION,
HANDICAPPED PARKING AT FARRAGUT BRANCH
LIBRARY – BRACKETED IN CONCRETE SIDEWALK;



Founder's Park at Campbell Station

Town of Farragut's Founders Park at Campbell Station, Handicapped Accessible Parking for Farragut Branch Library, no landscaped terminal islands, concrete sidewalk only

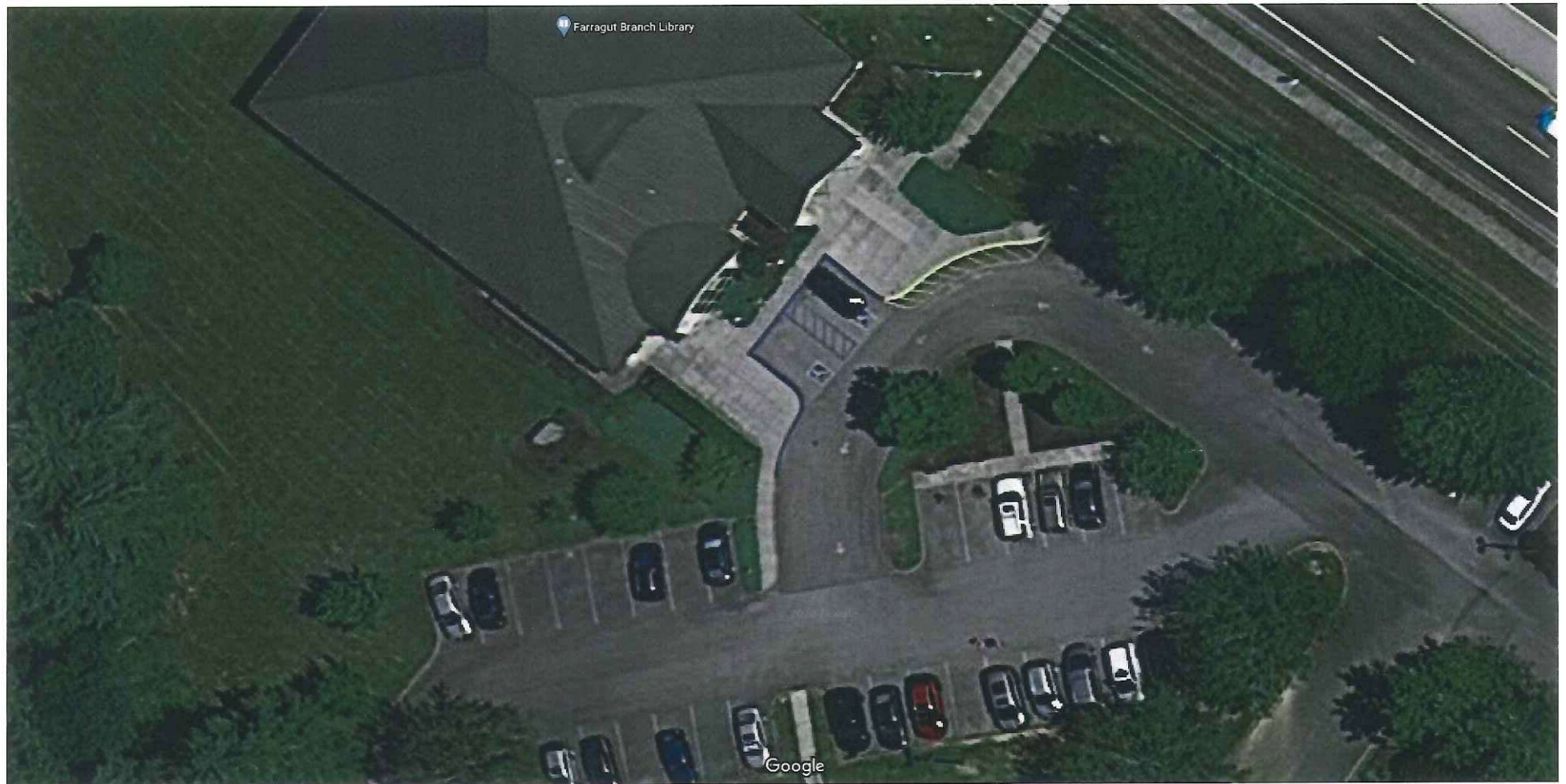


Map data ©2020, Map data ©2020 20 ft



Founder's Park at Campbell Station

Town of Farragut's Founders Park at Campbell Station, Handicapped Accessible Parking for Farragut Branch Library, no landscaped terminal islands, concrete sidewalk only



Map data ©2020, Map data ©2020 20 ft

Google Maps Farragut, Tennessee

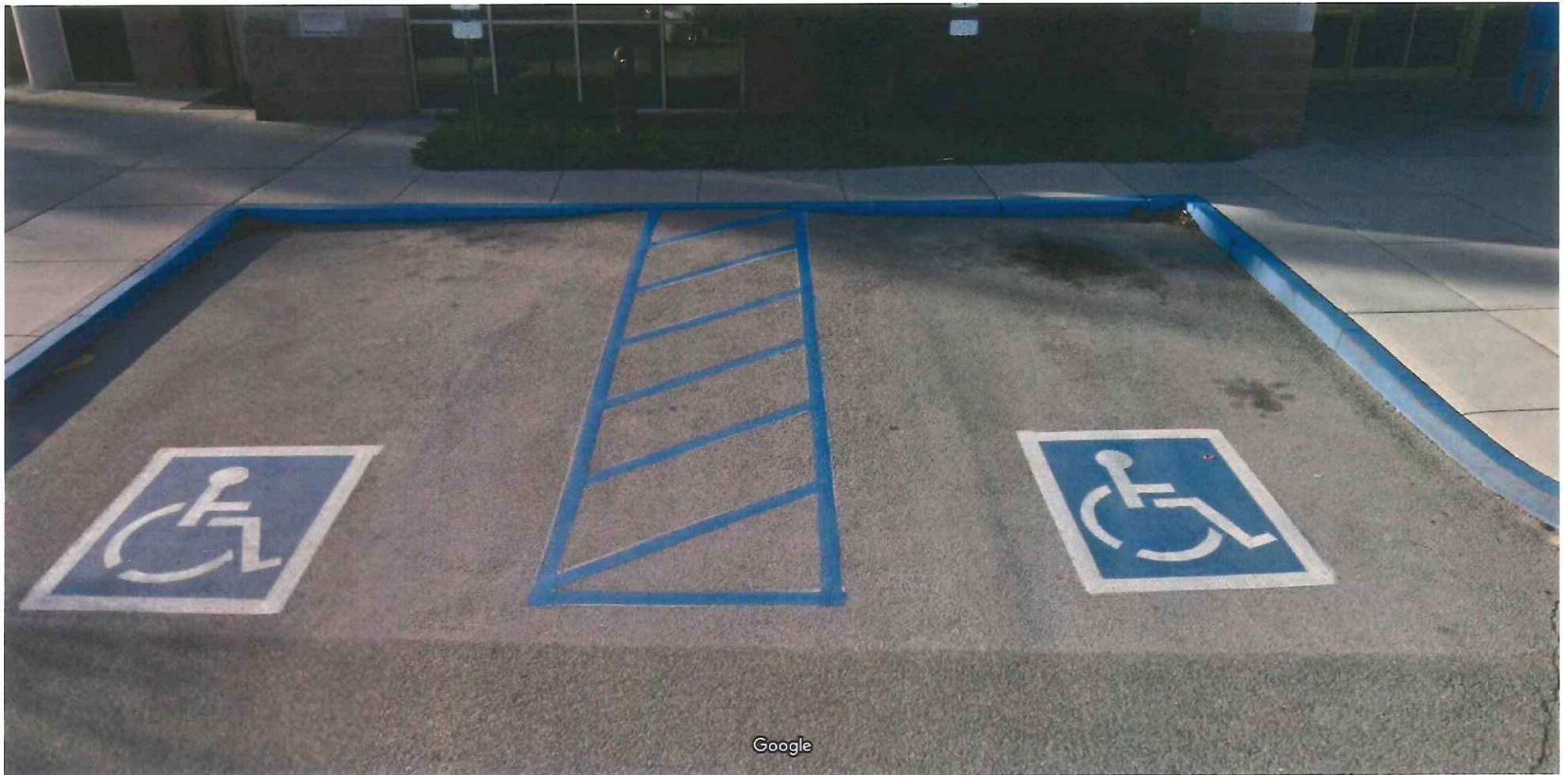


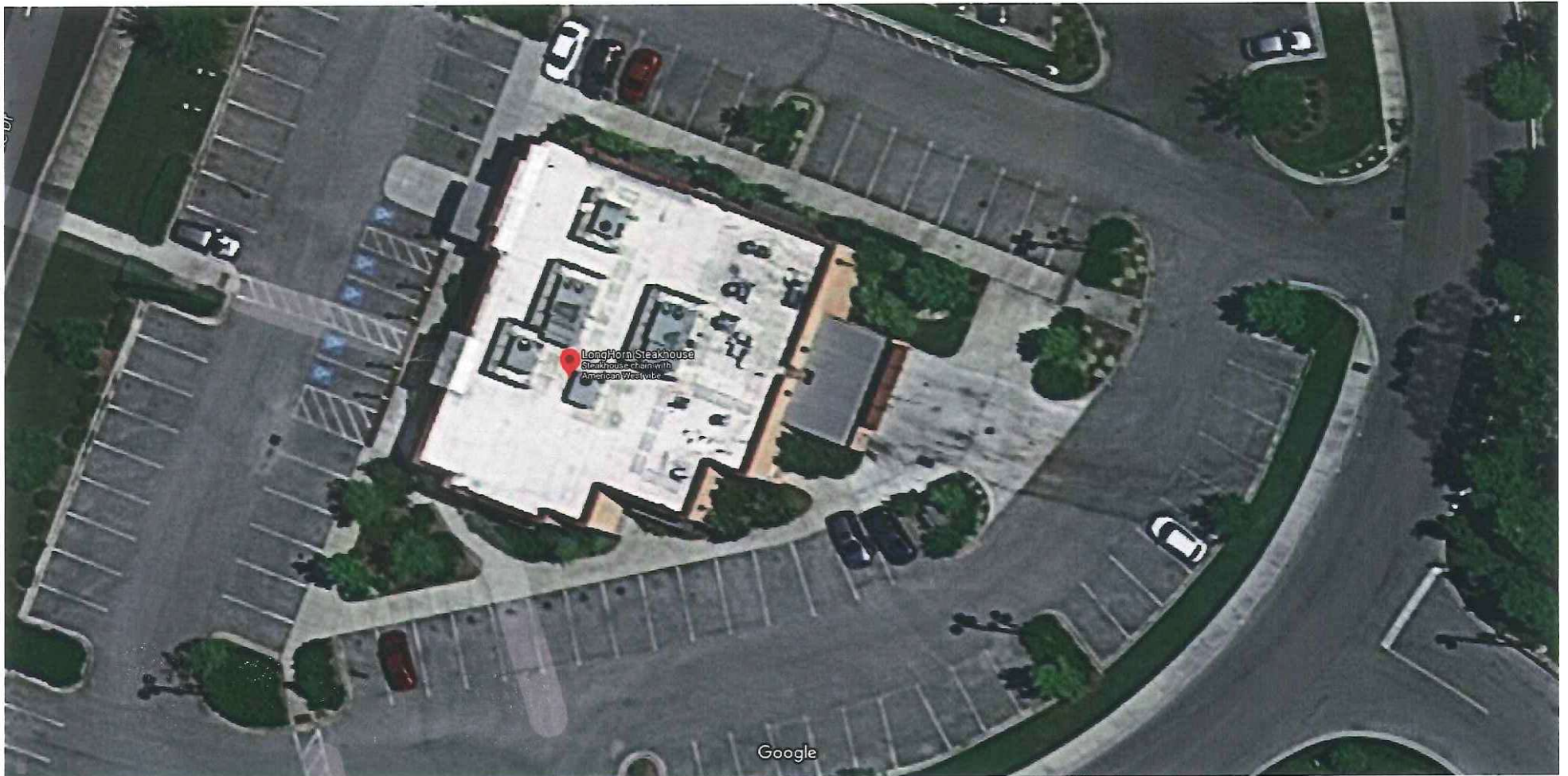
Image capture: Feb 2017 © 2020 Google



Street View



EXHIBIT B – ITEM 5 -
LONGHORN STEAKHOUSE, 11644 PARKSIDE DRIVE -
CONCRETE PENINSULA AT END OF PARKING ROW
(FRONT ENTRANCE NEXT TO HANDICAPPED PARKING)



Map data ©2020, Map data ©2020 20 ft

Google Maps Parkside Dr

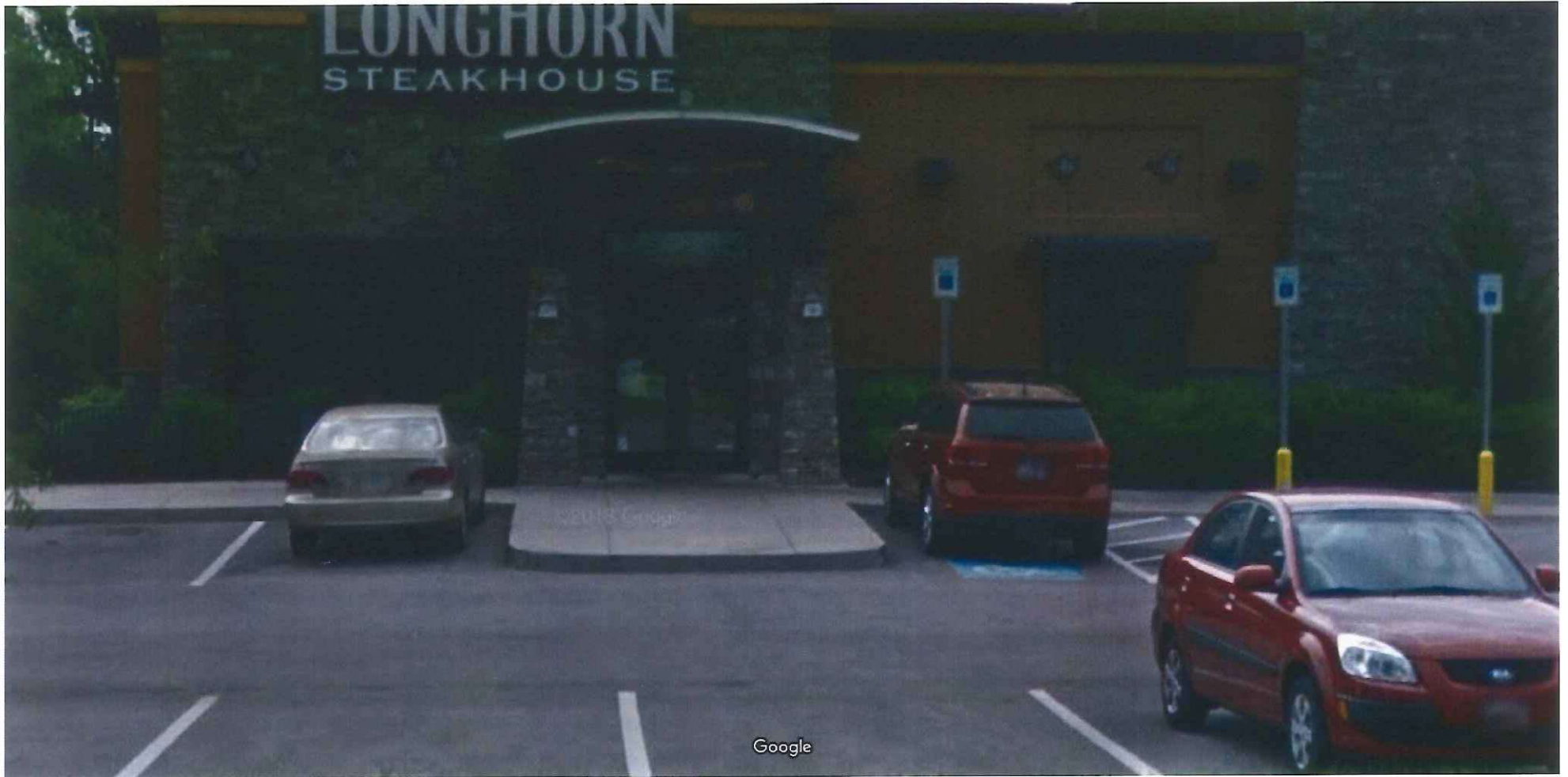


Image capture: May 2018 © 2020 Google

Farragut, Tennessee



Street View

- Modern wine
- Longhorn Steakhouse American
- First Watch Turkey Cre

Google Maps Parkside Dr



Image capture: May 2018 © 2020 Google

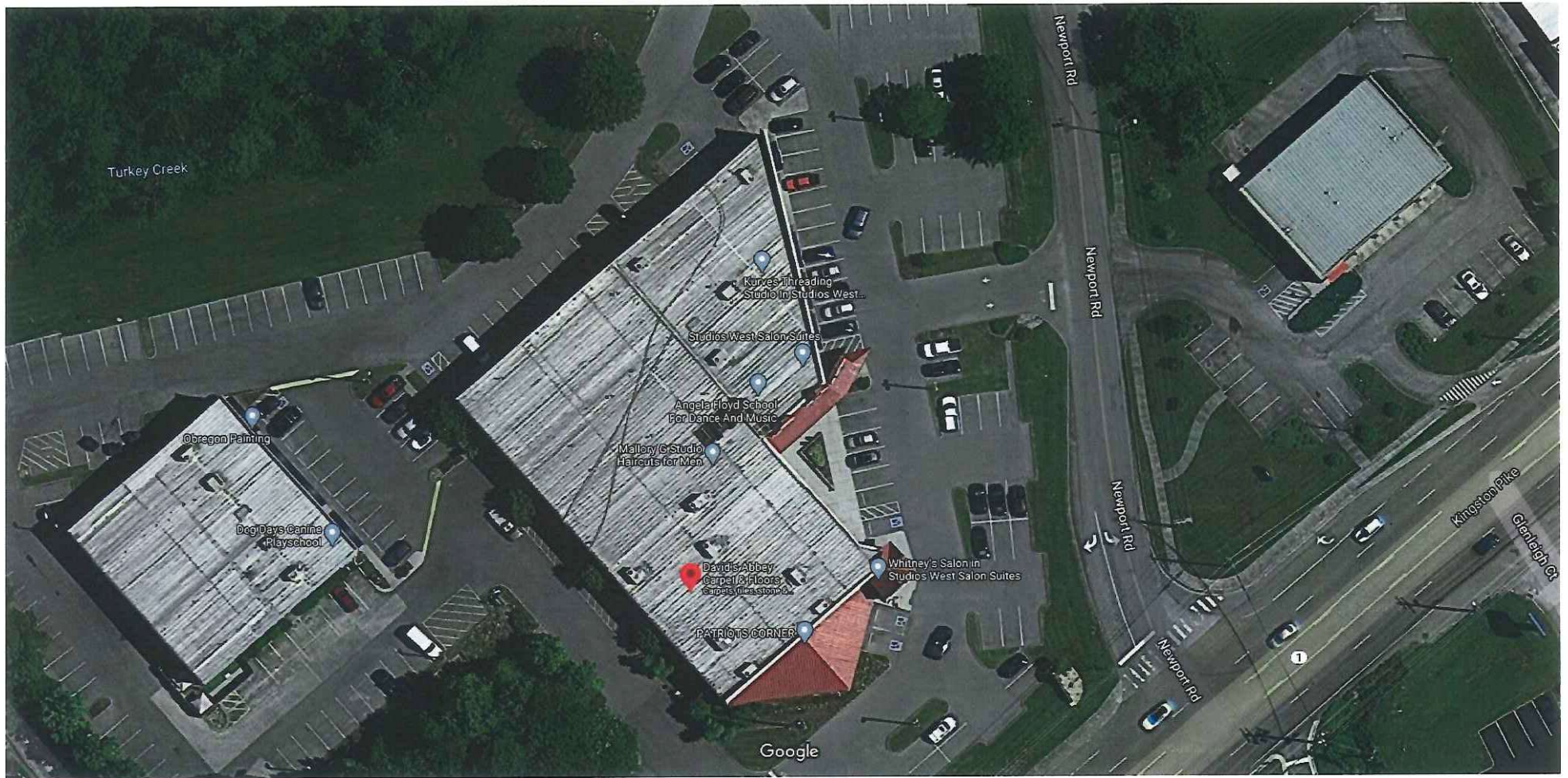
Farragut, Tennessee



Street View



EXHIBIT B – ITEM 6 -
DAVID’S ABBEY CARPETS, 10853 KINGSTON PIKE -
CONCRETE PENINSULA AT END OF PARKING ROW
(FRONT ENTRANCE AND RIGHT REAR CORNER OF BUILDING)



Map data ©2020, Map data ©2020 20 ft

Google Maps 10853 Kingston Pike



Image capture: Apr 2019 © 2020 Google

Farragut, Tennessee



Street View



Google Maps Newport Rd



Google

Image capture: May 2016 © 2020 Google

Farragut, Tennessee



Street View



Google Maps Newport Rd



Image capture: May 2016 © 2020 Google

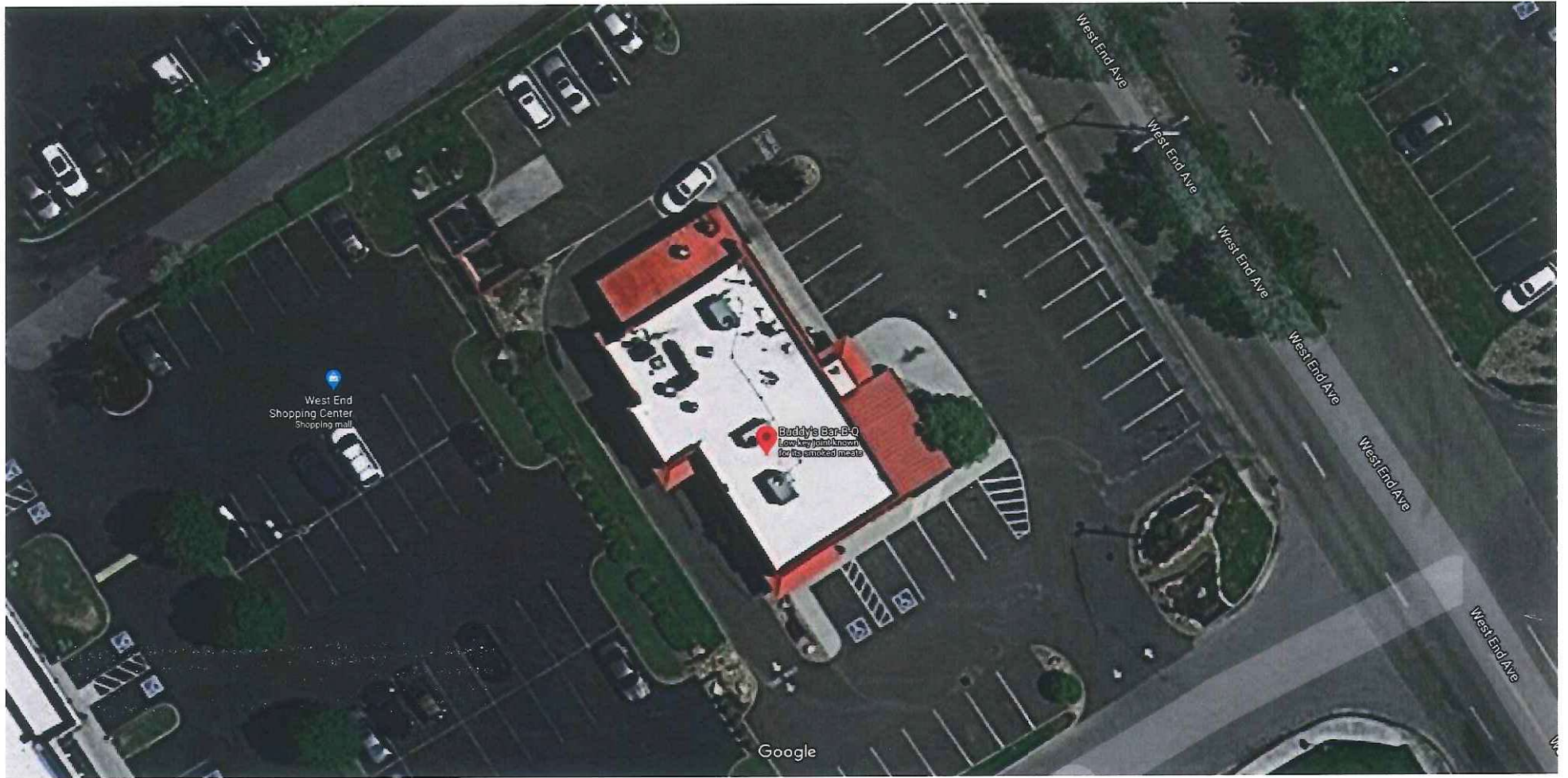
Farragut, Tennessee



Street View



EXHIBIT B – ITEM 7 -
BUDDY’S BARBECUE, 121 WEST END AVENUE -
OUTLINE OF TERMINAL ISLAND
PAINTED ON PAVEMENT, NOT LANDSCAPED
(FRONT CORNER OF BUILDING)



Map data ©2020, Map data ©2020 20 ft

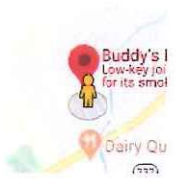
Google Maps Farragut, Tennessee



Image capture: Jan 2018 © 2020 Google

Google

Street View



Google Maps 133 West End Ave



Image capture: May 2018 © 2020 Google

Farragut, Tennessee



Street View



Google Maps 133 West End Ave



Image capture: May 2018 © 2020 Google

Farragut, Tennessee



Street View

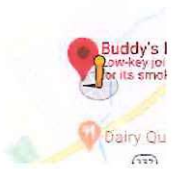
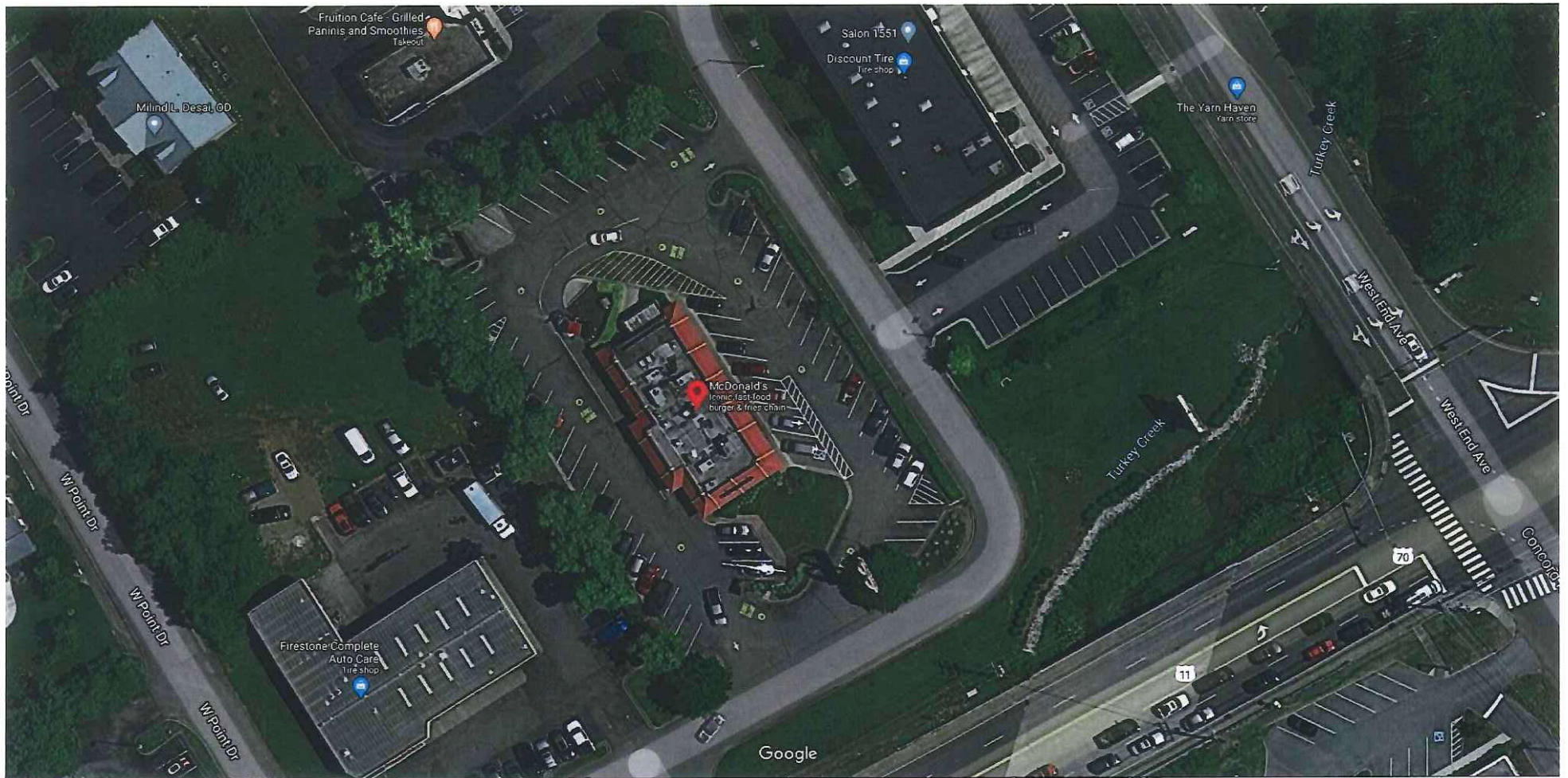
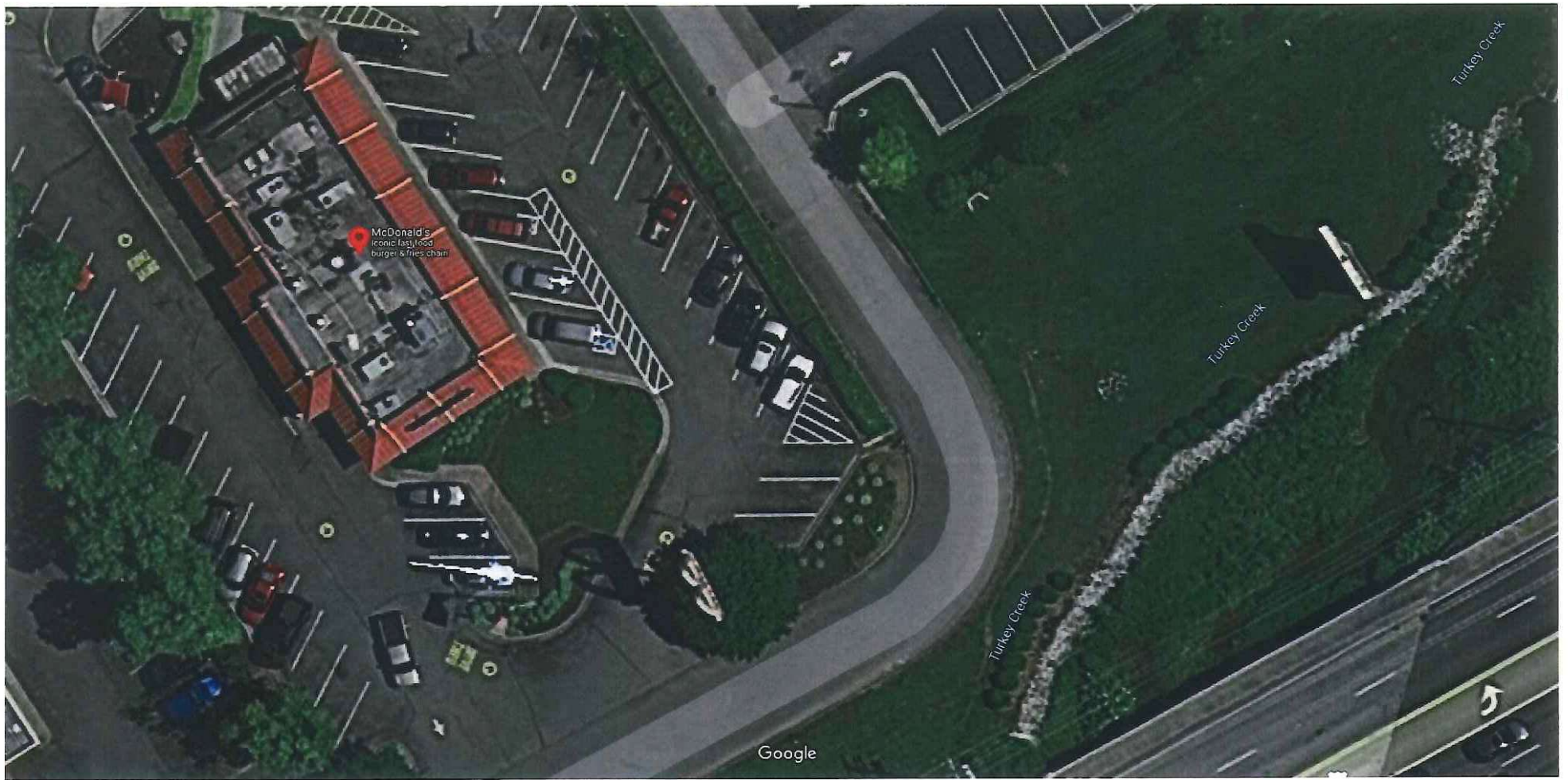


EXHIBIT B – ITEM 8 -
McDONALDS', 11205 KINGSTON PIKE -
OUTLINE OF TERMINAL ISLAND
PAINTED ON PAVEMENT, NOT LANDSCAPED
(THREE PLACES: A. FRONT CORNER OF PARKING LOT; B. END OF ROW BESIDE
BUILDING; C. BACK CORNER OF PARKING LOT)

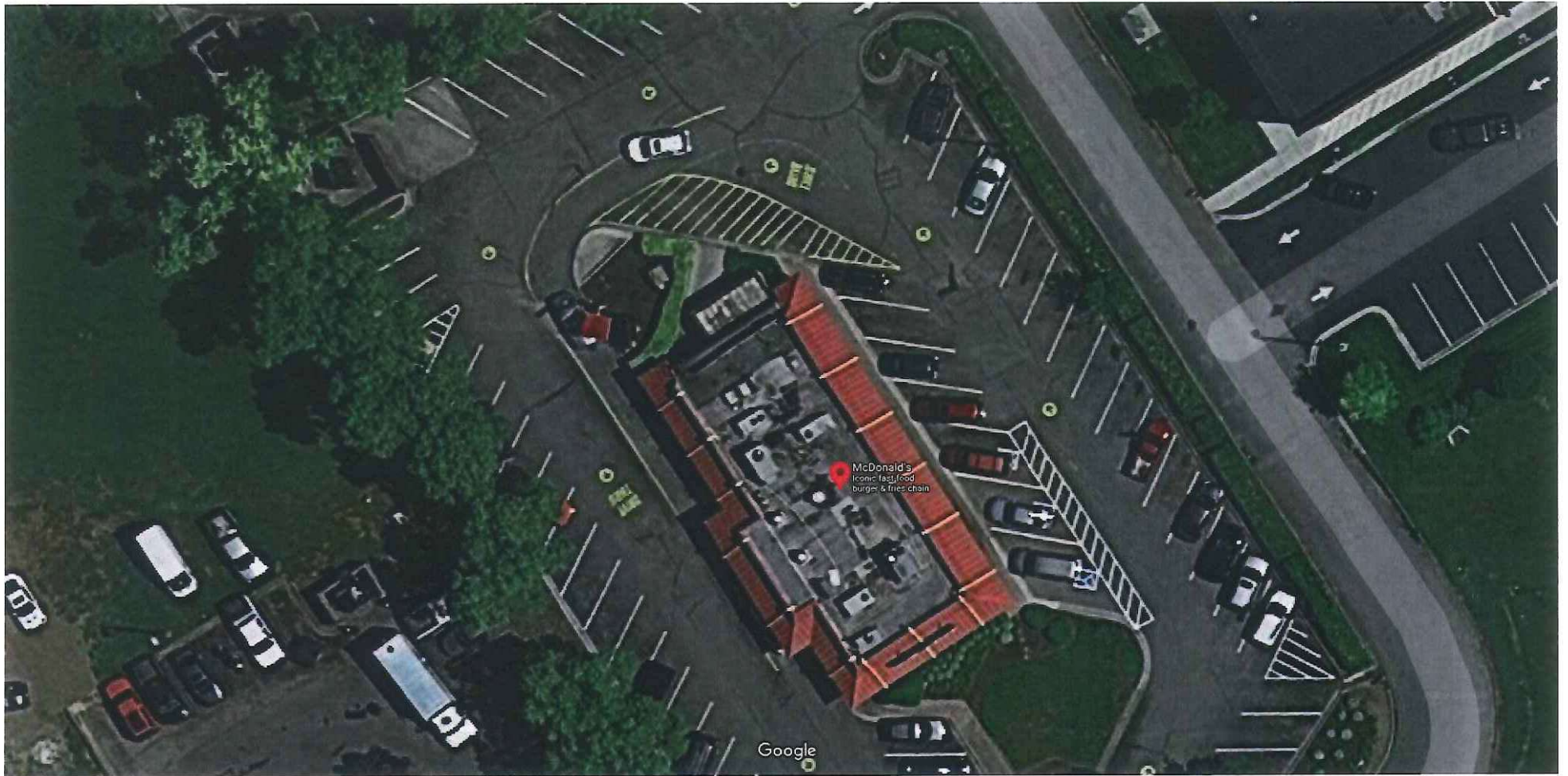


Map data ©2020, Map data ©2020 20 ft

Google Maps McDonald's



Map data ©2020, Map data ©2020 20 ft



Map data ©2020, Map data ©2020 20 ft

Google Maps Farragut, Tennessee



Google

Image capture: Jan 2018 © 2020 Google



Street View



Google Maps Farragut, Tennessee



Image capture: Jan 2018 © 2020 Google

Google

Street View



Google Maps Farragut, Tennessee



Image capture: Jan 2018 © 2020 Google

Google

Street View



Google Maps Farragut, Tennessee



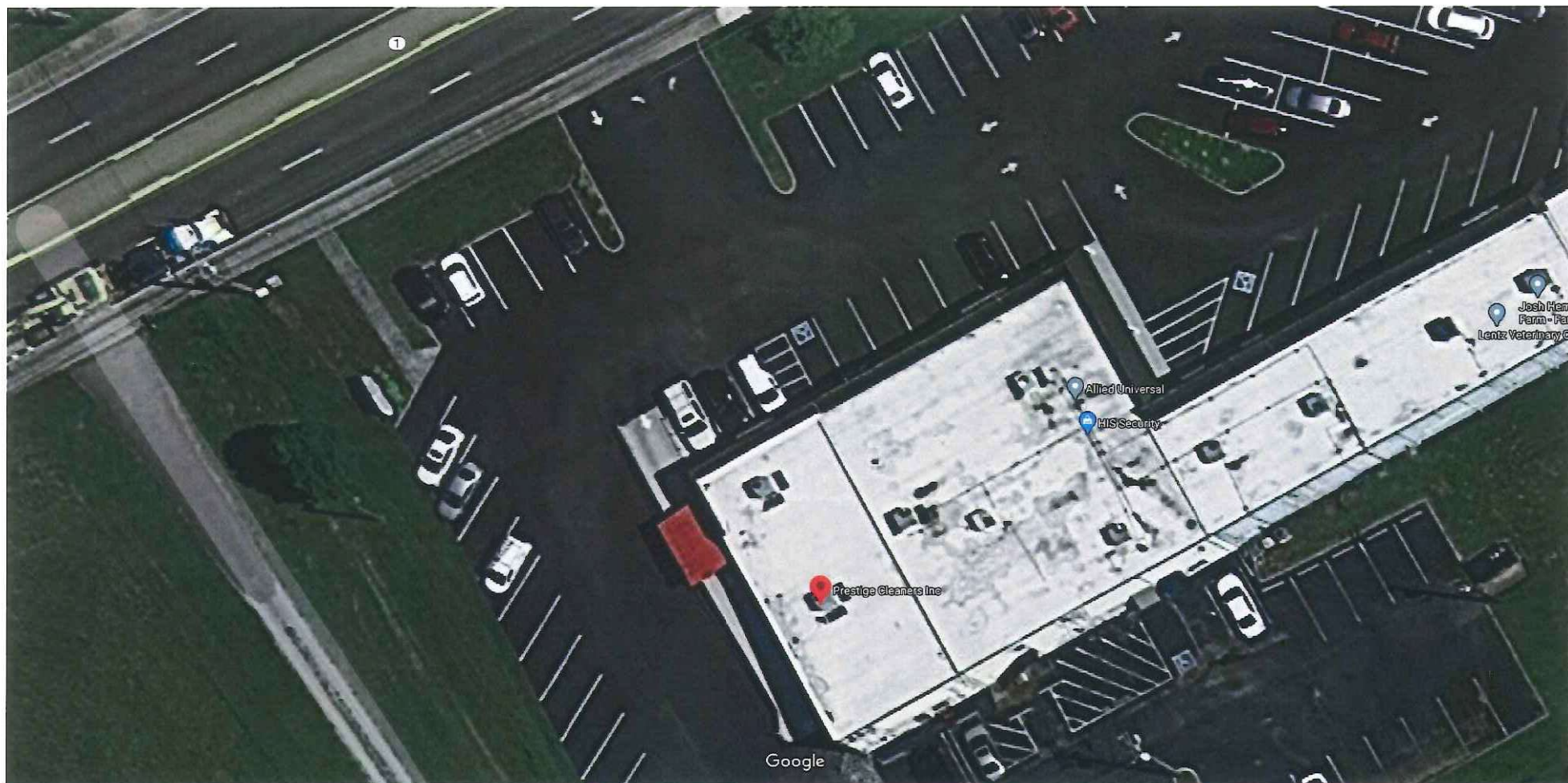
Image capture: Jan 2018 © 2020 Google



Street View



EXHIBIT B – ITEM 9 -
FARRAGUT PHARMACY/PRESTIGE CLEANERS,
11424-11428 KINGSTON PIKE -
OUTLINE OF TERMINAL ISLAND
PAINTED ON PAVEMENT, NOT LANDSCAPED
(TWO PLACES: A. RECESSED CORNER OF BUILDING;
B. END OF ROW BESIDE HANDICAPPED ENTRANCE;)



Map data ©2020, Map data ©2020 20 ft

Google Maps Farragut, Tennessee



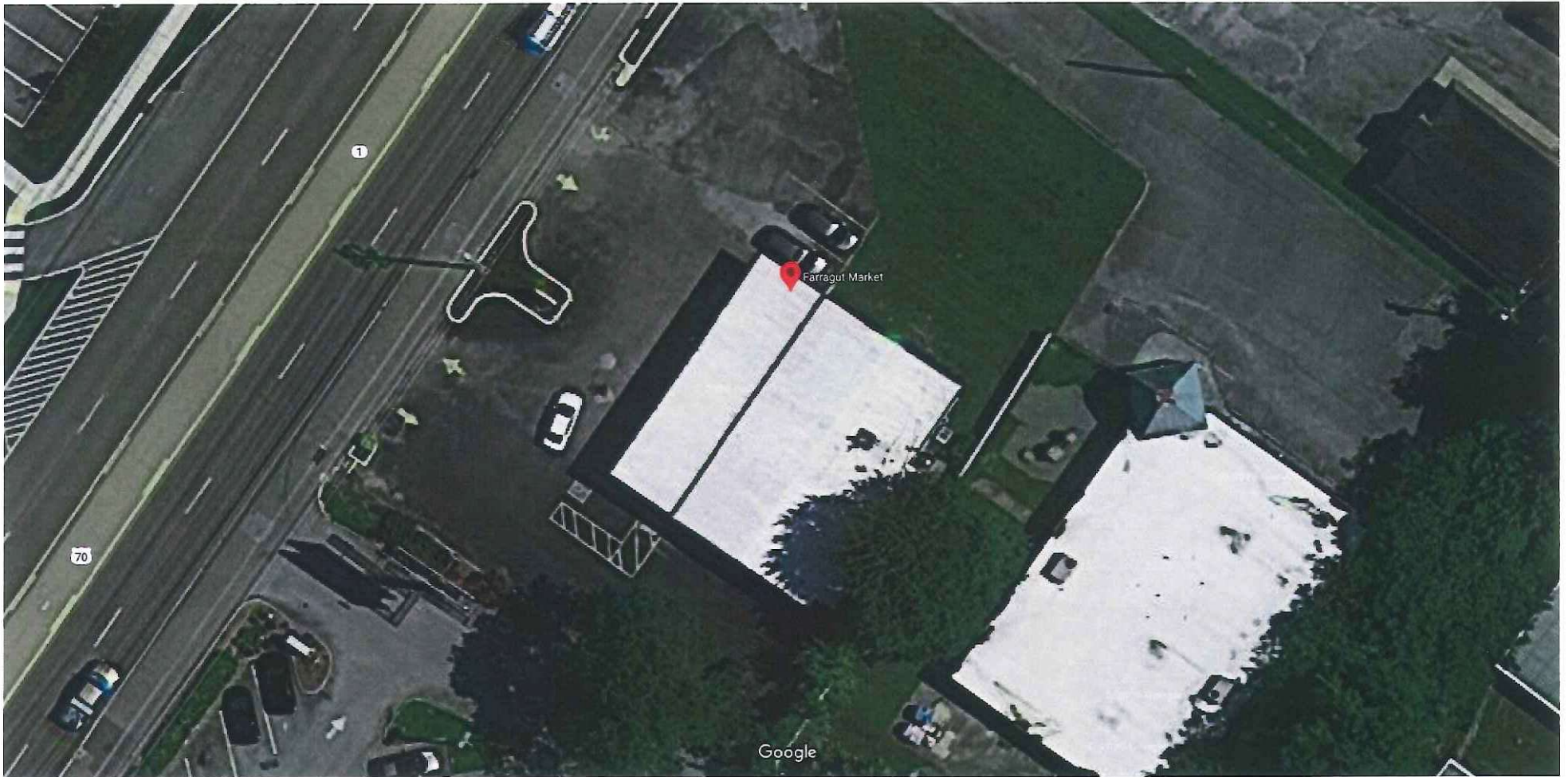
Image capture: Jul 2015 © 2020 Google

Google

Street View



EXHIBIT B – ITEM 10 -
FARRAGUT MARKET, 11104 KINGSTON PIKE -
OUTLINE OF TERMINAL ISLAND
PAINTED ON PAVEMENT, NOT LANDSCAPED
(FRONT RIGHT CORNER, NEXT TO HANDICAPPED SPACE)



Google Maps 11113 TN-1



Google

Image capture: Apr 2019 © 2020 Google

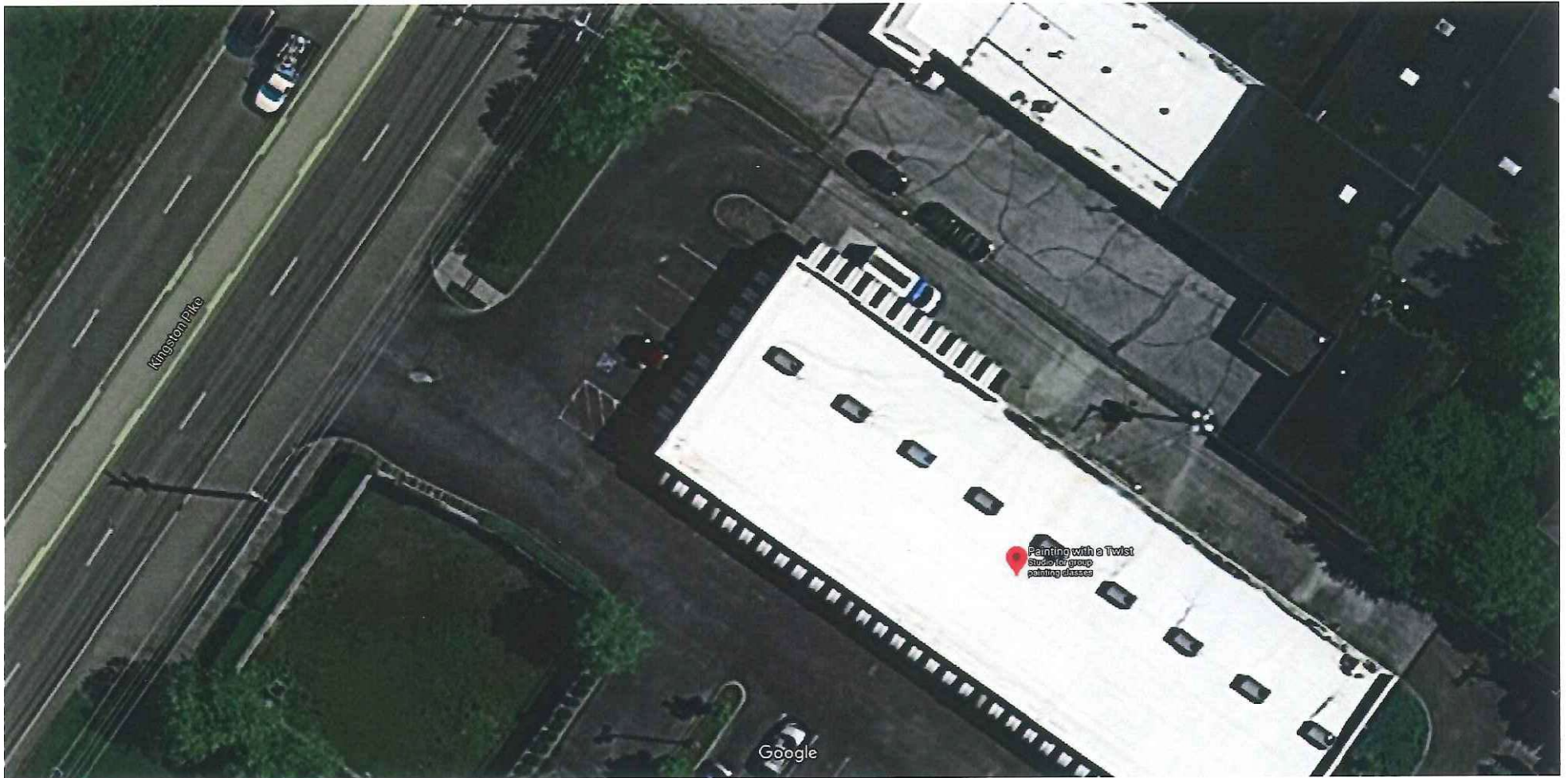
Farragut, Tennessee



Street View



EXHIBIT B – ITEM 11 -
PPG PAINTS, et al., 11000 KINGSTON PIKE -
OUTLINE OF TERMINAL ISLAND
PAINTED ON PAVEMENT, NOT LANDSCAPED
(FRONT RIGHT CORNER, HANDICAPPED ENTRANCE)



Map data ©2020, Map data ©2020 20 ft



Painting with a Twist

4.6 ★★★★★ (94)

Google Maps 11000 Lee Hwy



Image capture: Apr 2019 © 2020 Google

Farragut, Tennessee



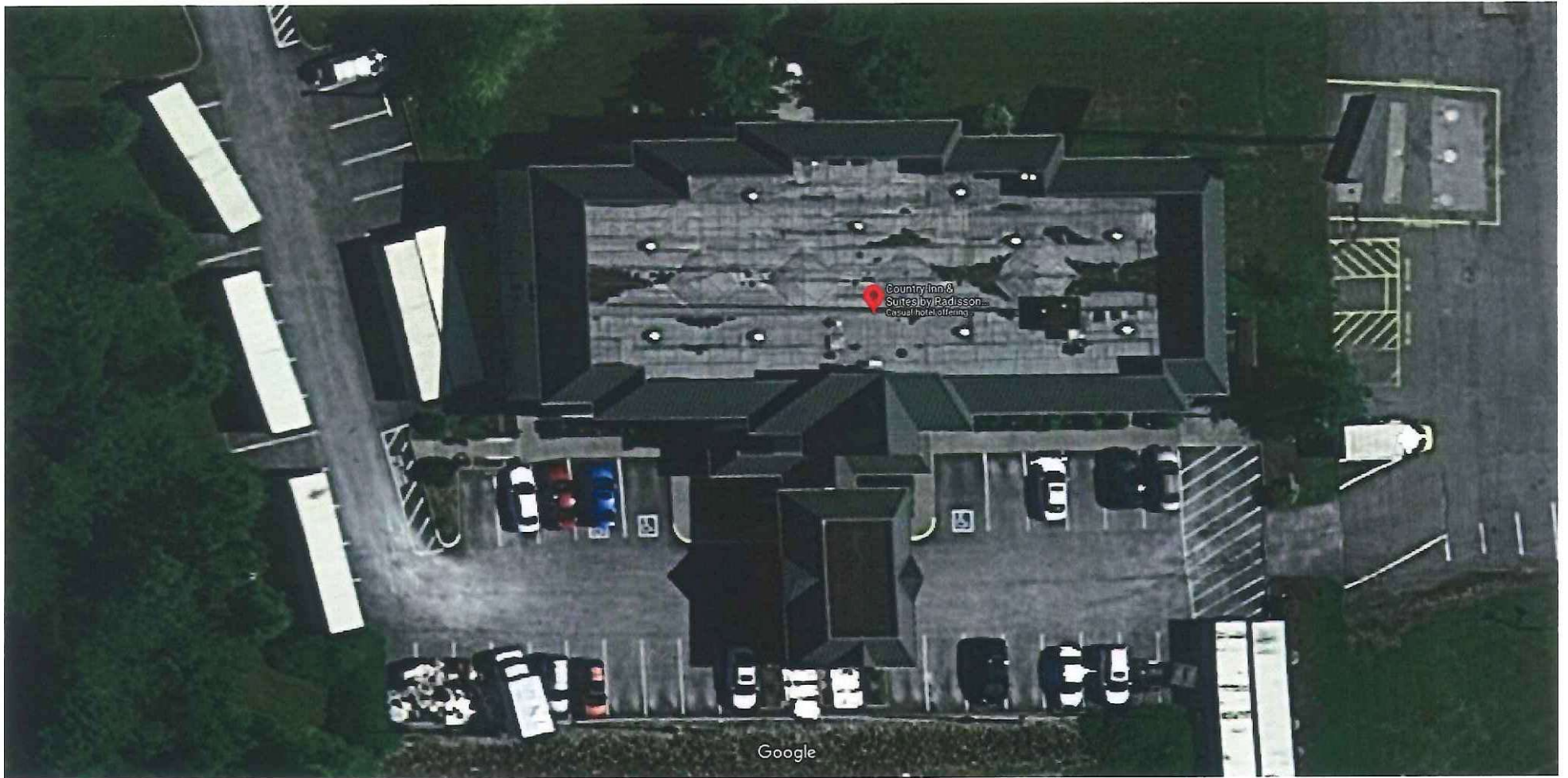
Street View



olf & Games

UPS Store Farragut

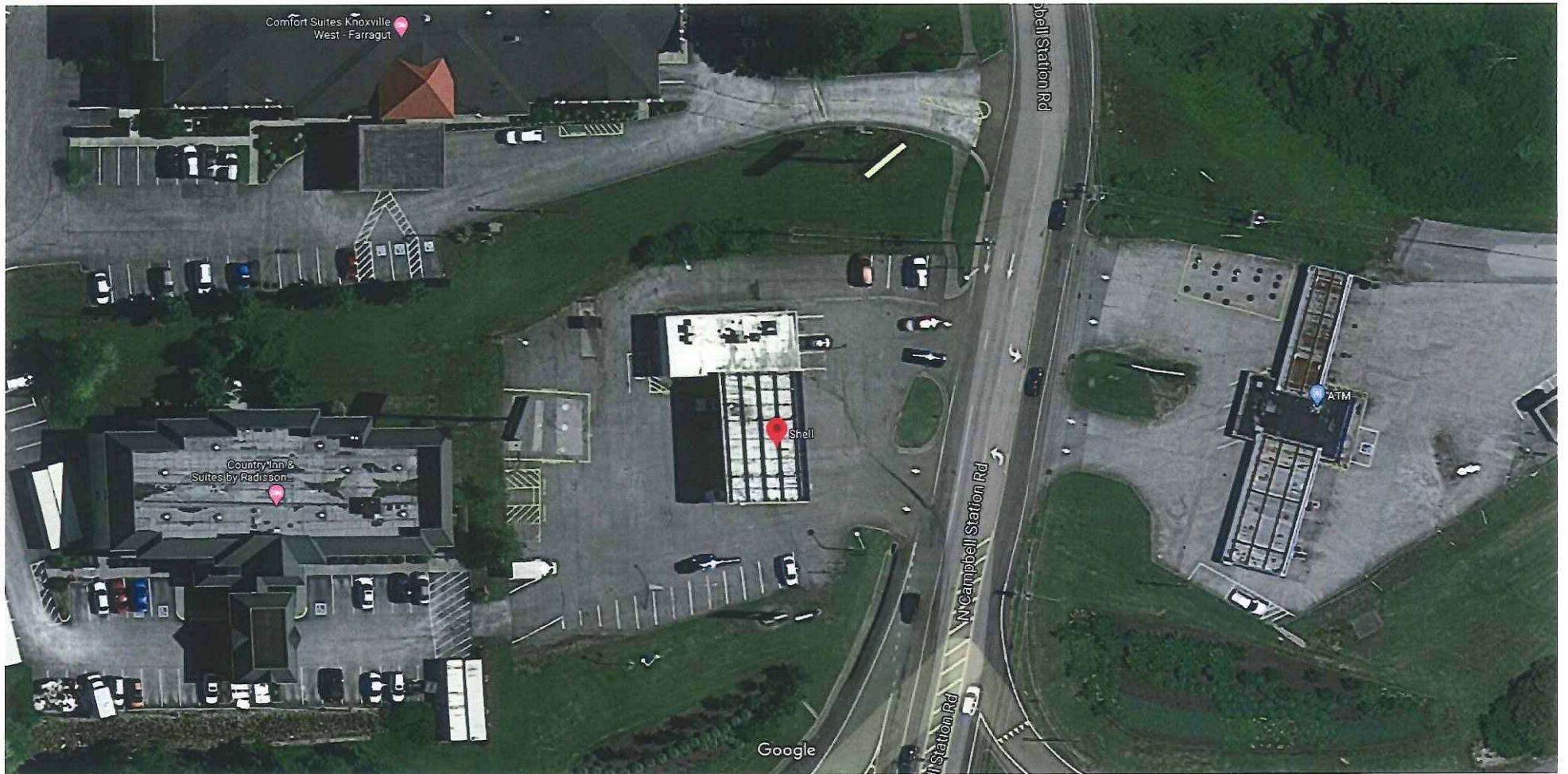
EXHIBIT B – ITEM 12 -
COUNTRY INNS & SUITES, 805 N. CAMPBELL STATION RD. -
OUTLINE OF TERMINAL ISLAND
PAINTED ON PAVEMENT, NOT LANDSCAPED
(FRONT RIGHT CORNER OF BUILDING)



Map data ©2020, Map data ©2020 20 ft

EXHIBIT B – ITEM 13 -
SHELL SERVICE STATION, 801 N. CAMPBELL STATION RD. -
OUTLINE OF TERMINAL ISLAND
PAINTED ON PAVEMENT, NOT LANDSCAPED
(PARKING SPACES BESIDE COUNTRY INNS & SUITES)

Shell



Map data ©2020, Map data ©2020 20 ft



Shell

3.5 ★★★★★ (47) · \$\$

Google Maps 801 N Campbell Station Rd



Image capture: Jan 2018 © 2020 Google

Knoxville, Tennessee



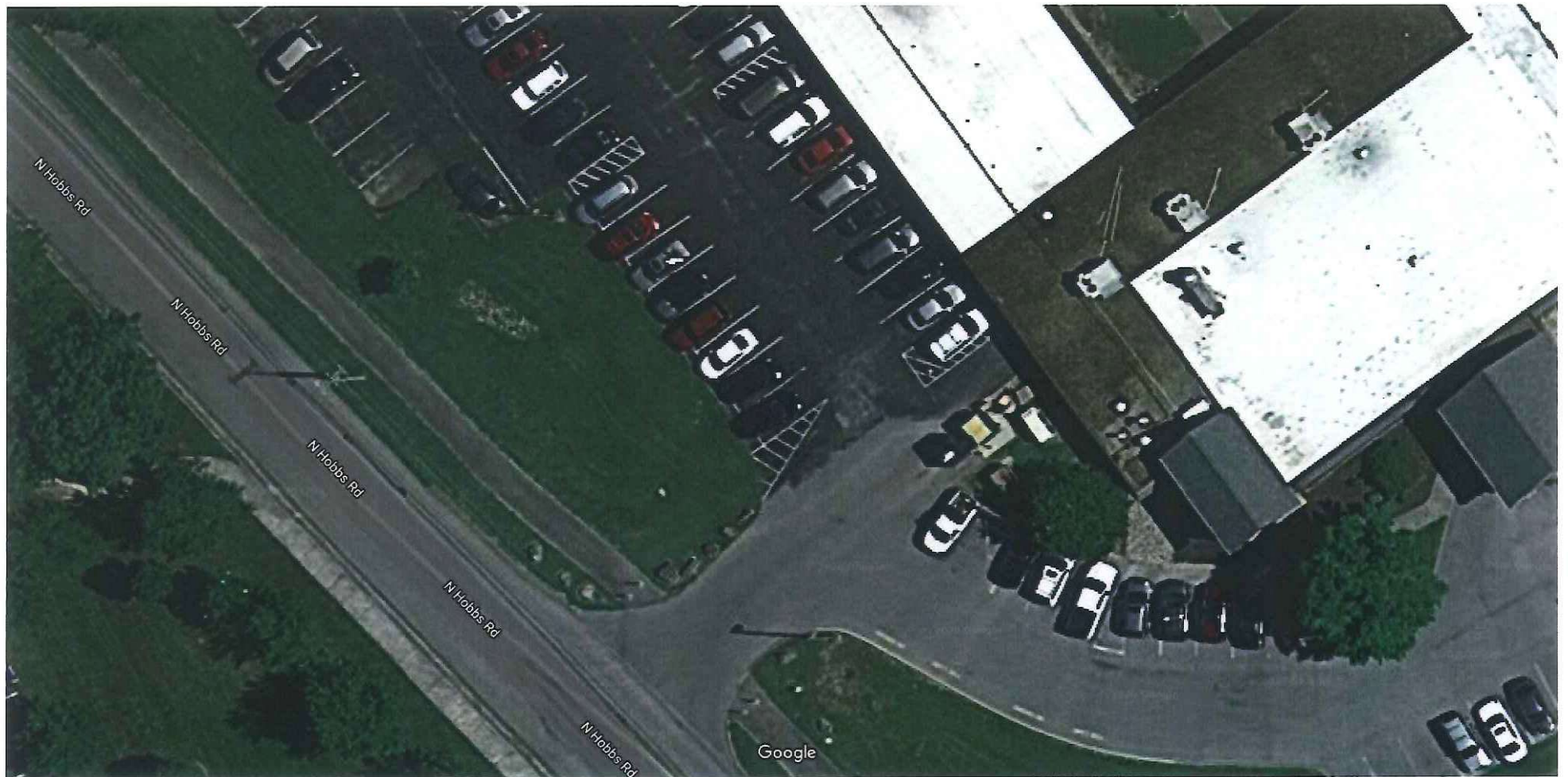
Street View



EXHIBIT B – ITEM 14 -
SUMMIT VIEW OF KNOXVILLE, 12823 KINGSTON PIKE -
OUTLINE OF TERMINAL ISLAND
PAINTED ON PAVEMENT, NOT LANDSCAPED
(TWO PLACES: A. NEXT TO HOBBS ROAD ENTRANCE/EXIT; B. IMMEDIATELY
ACROSS PARKING LOT FROM A, NEXT TO BUILDING AND DUMPSTER)



Map data ©2020, Map data ©2020 20 ft



Google Maps 126 N Hobbs Rd

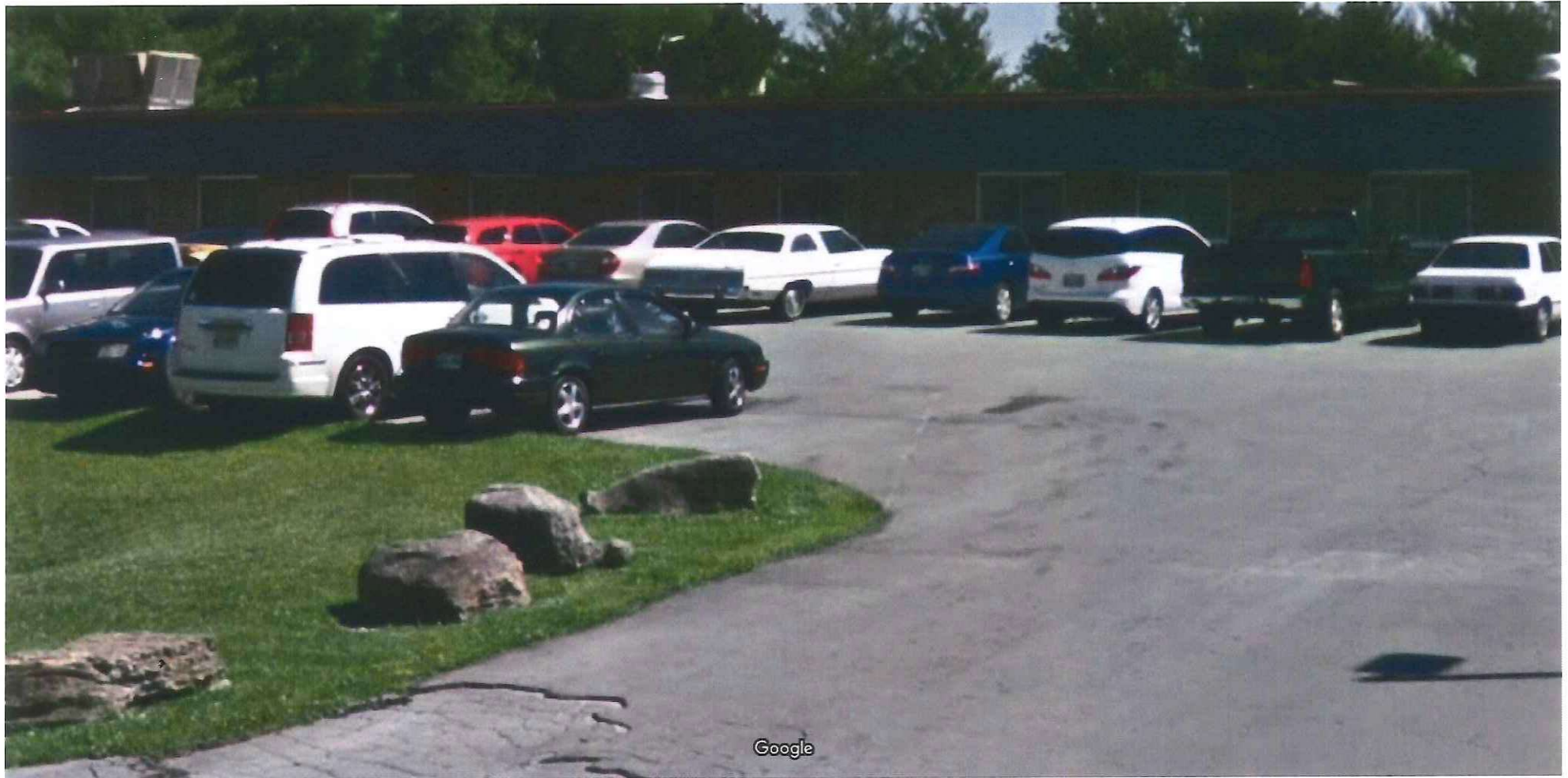


Image capture: May 2012 © 2020 Google

Farragut, Tennessee



Street View



Google Maps 129 N Hobbs Rd



Image capture: May 2012 © 2020 Google

Farragut, Tennessee

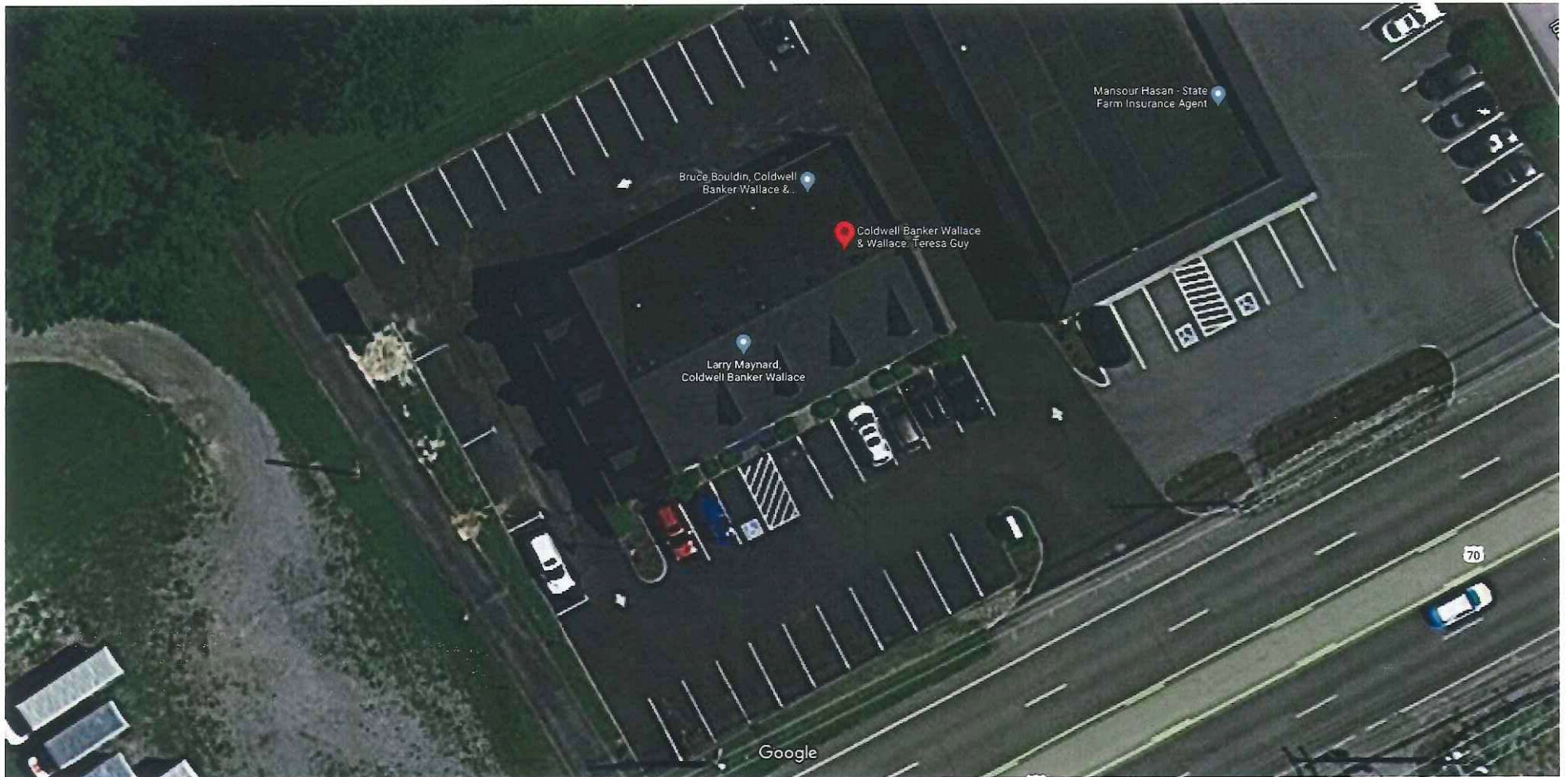


Street View



EXHIBIT B – ITEM 15 -
COLDWELL BANKER, 10815 KINGSTON PIKE -
PARKING ROW ENDS IN A PARKING SPACE,
NO TERMINAL ISLAND OF ANY KIND
(FRONT RIGHT CORNER OF BUILDING)

Google Maps Coldwell Banker Wallace & Wallace: Teresa Guy



Map data ©2020, Map data ©2020 20 ft

Google Maps 10816 US-70



Image capture: Apr 2019 © 2020 Google

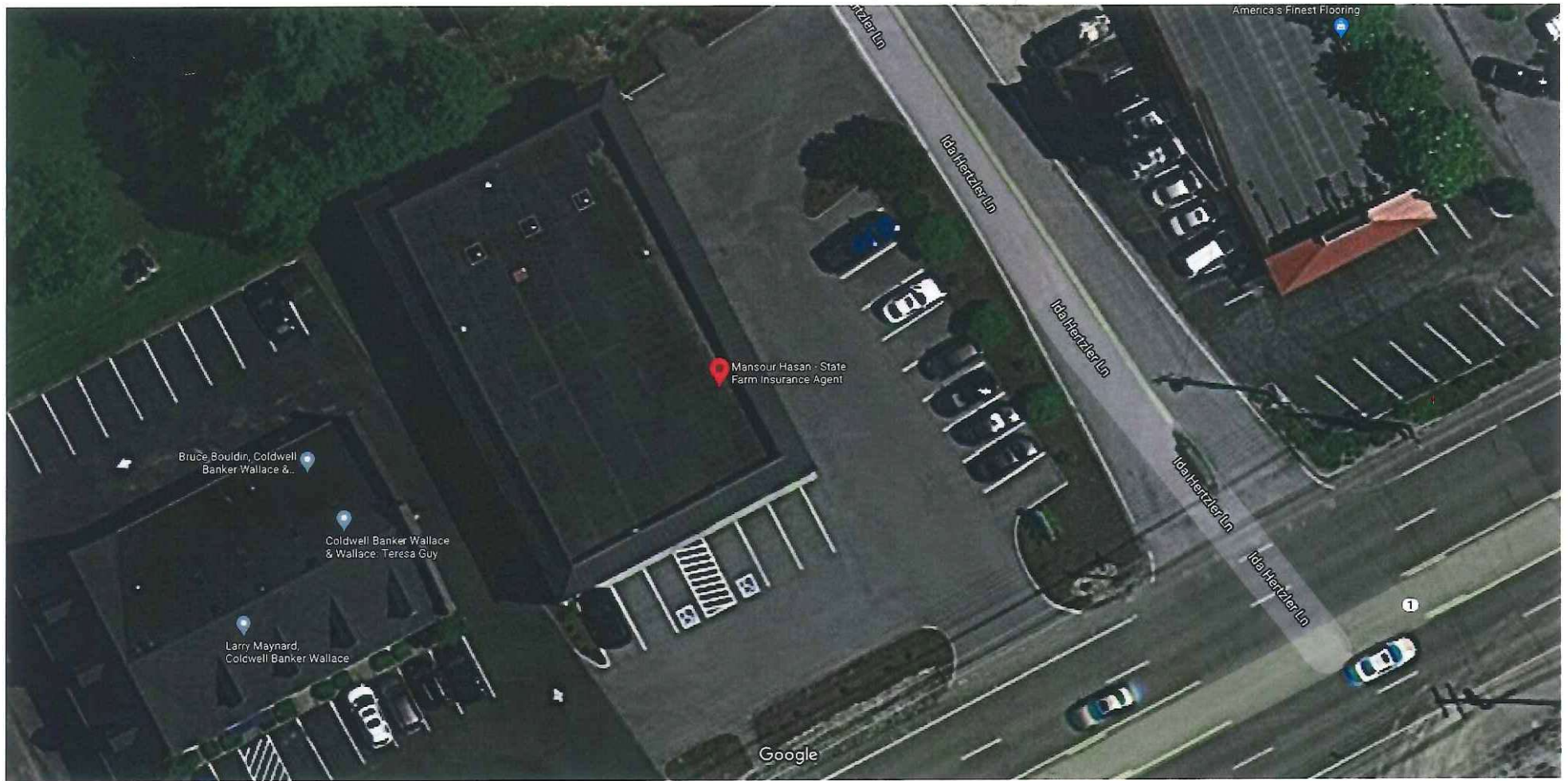
Knoxville, Tennessee



Street View



EXHIBIT B – ITEM 16 -
STATE FARM – MANSOUR HASAN, 10811 KINGSTON PIKE -
PARKING ROW ENDS IN A PARKING SPACE,
NO TERMINAL ISLAND OF ANY KIND
(FRONT RIGHT CORNER OF BUILDING)



Map data ©2020, Map data ©2020 20 ft

Google Maps 10811 US-70



Image capture: Apr 2019 © 2020 Google

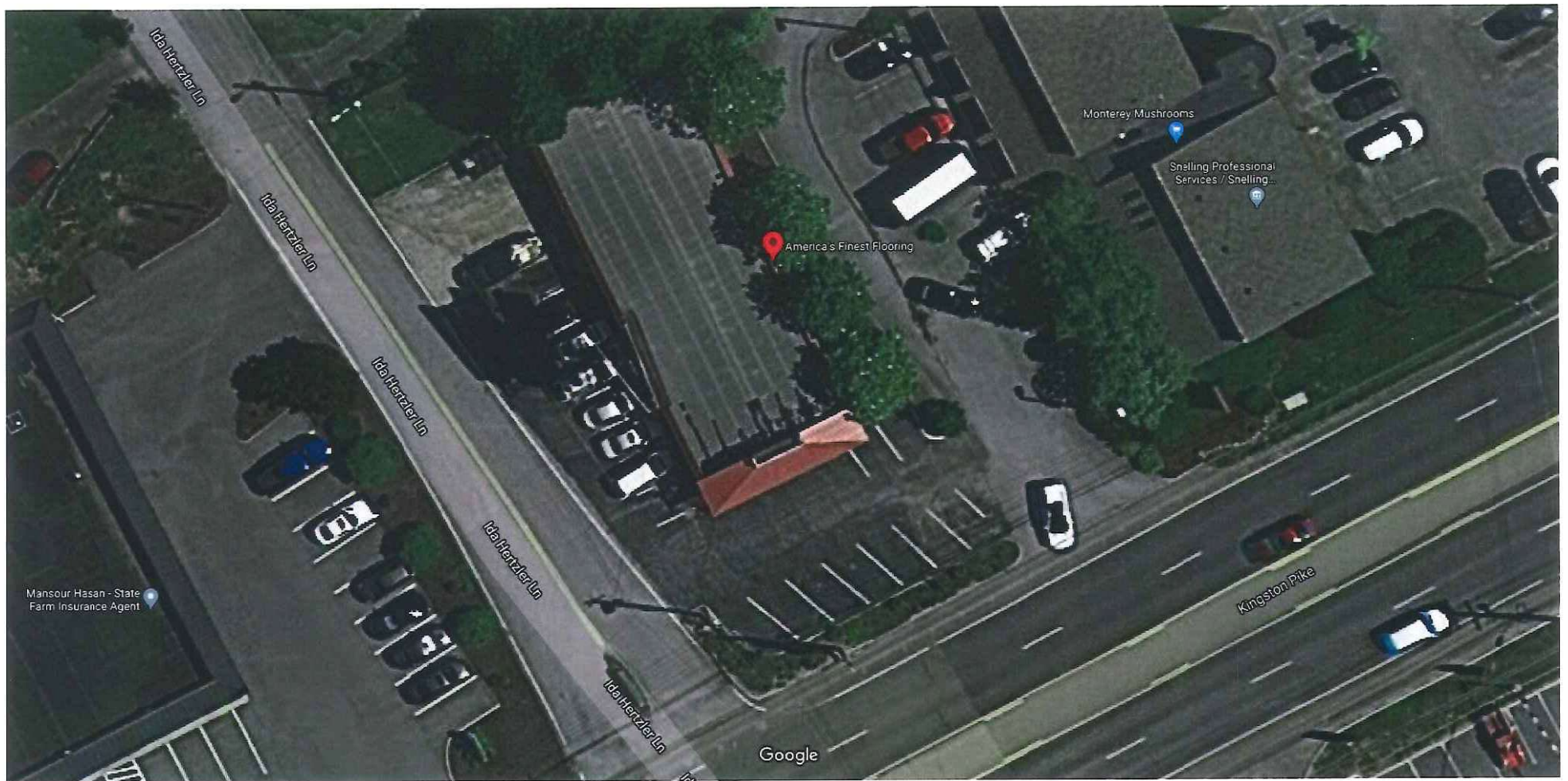
Knoxville, Tennessee



Street View



EXHIBIT B – ITEM 17 -
AMERICA’S FINEST FLOORING, 10809 KINGSTON PIKE -
PARKING ROW ENDS IN A PARKING SPACE,
NO TERMINAL ISLAND OF ANY KIND
(TWO PLACES: A. LEFT SIDE/FRONT CORNER OF BUILDING;
B. RIGHT FRONT CORNER OF LOT, PARKING ROW FACING KINGSTON PIKE)



Map data ©2020, Map data ©2020 20 ft

Google Maps 10805 TN-1



Image capture: Apr 2019 © 2020 Google

Knoxville, Tennessee



Street View



Google Maps 10809 TN-1



Google

Image capture: Apr 2019 © 2020 Google

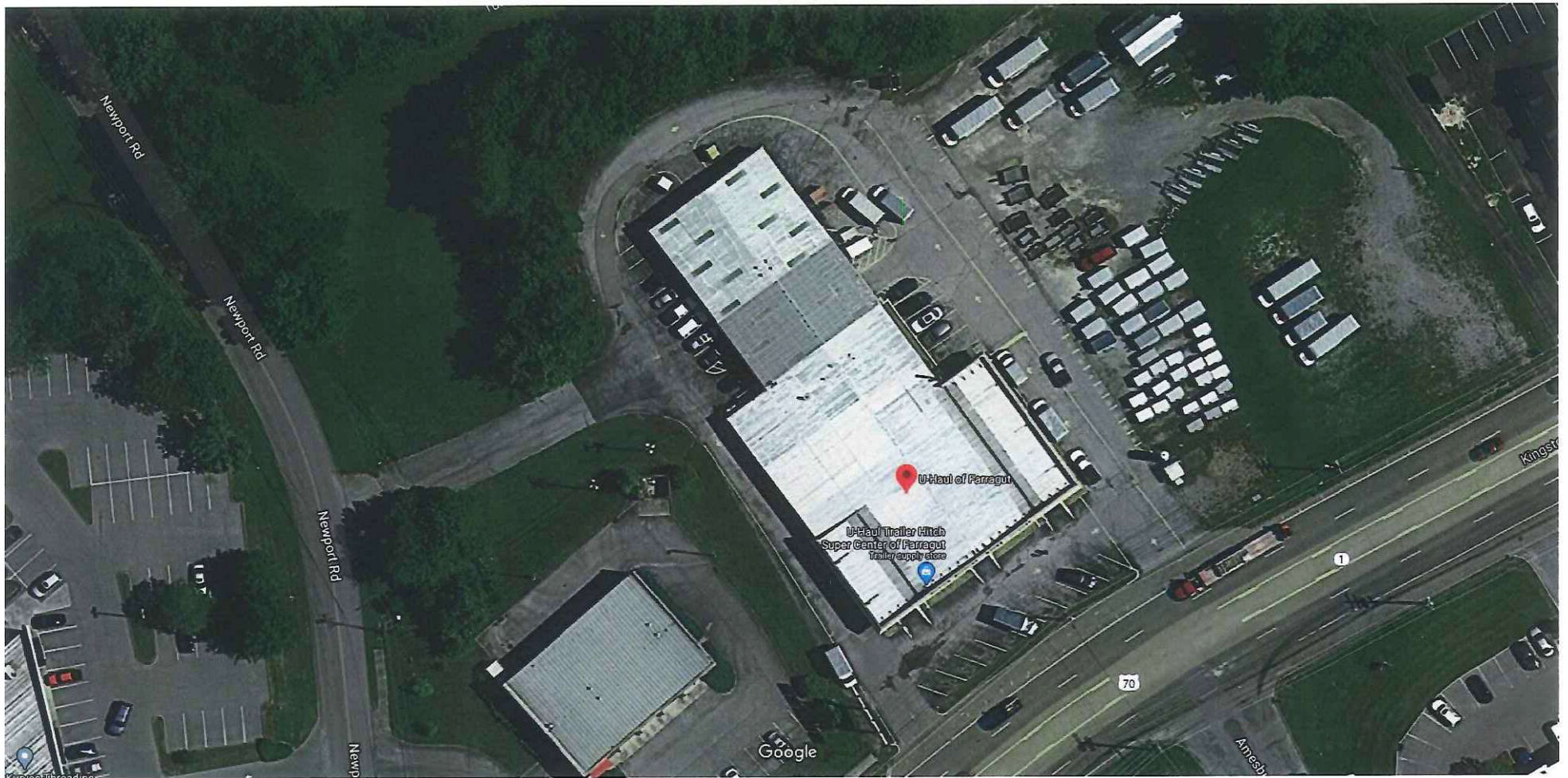
Knoxville, Tennessee



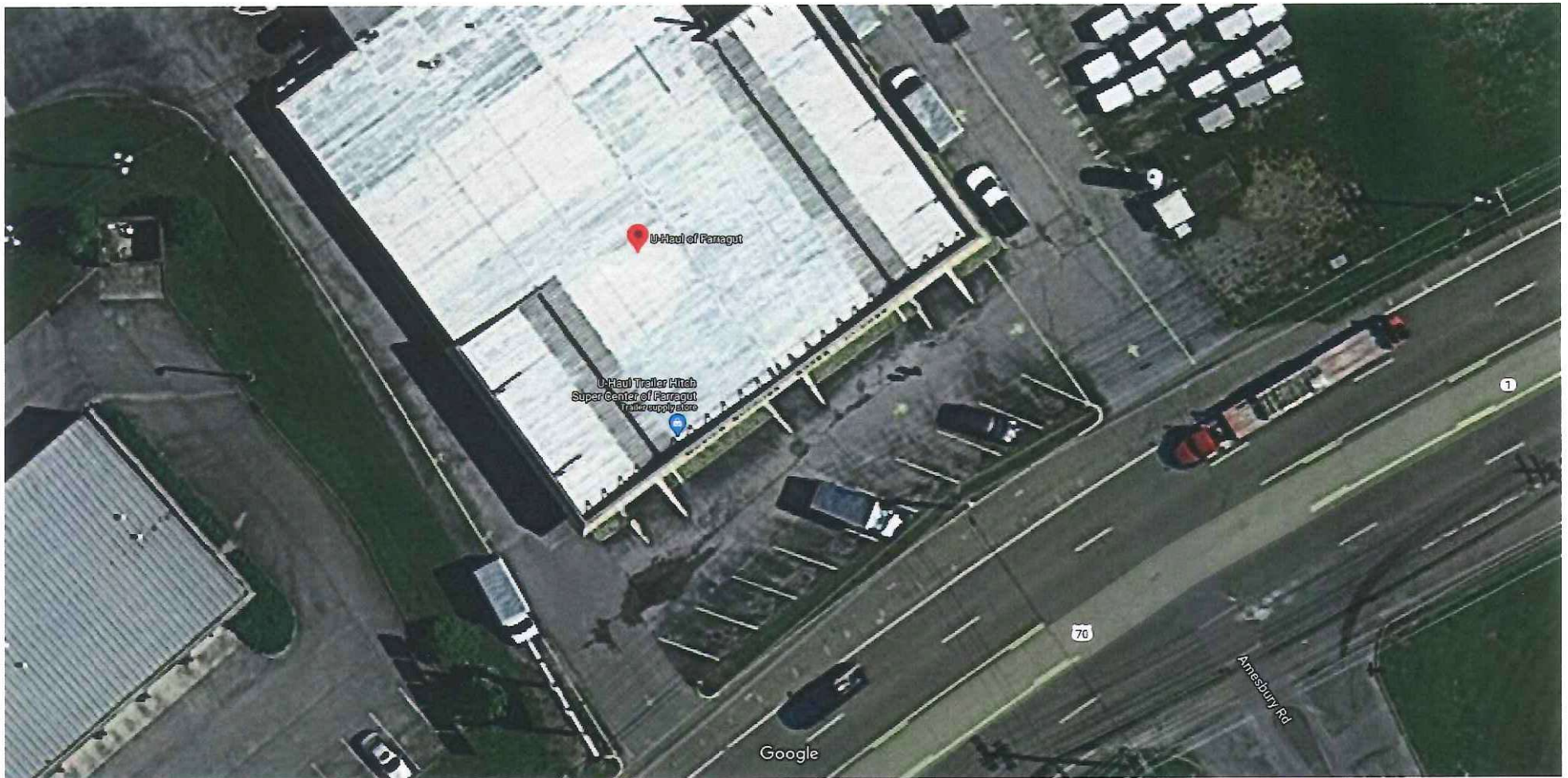
Street View



EXHIBIT B – ITEM 18 -
U-HAUL OF FARRAGUT, 10833 KINGSTON PIKE -
PARKING ROW ENDS IN A PARKING SPACE,
NO TERMINAL ISLAND OF ANY KIND
(TWO PLACES: EACH END OF PARKING ROW FACING KINGSTON PIKE)
(ALSO PAINTED OUTLINES OF ISLANDS ON RIGHT REAR SIDE OF BUILDING)



Map data ©2020, Map data ©2020 20 ft

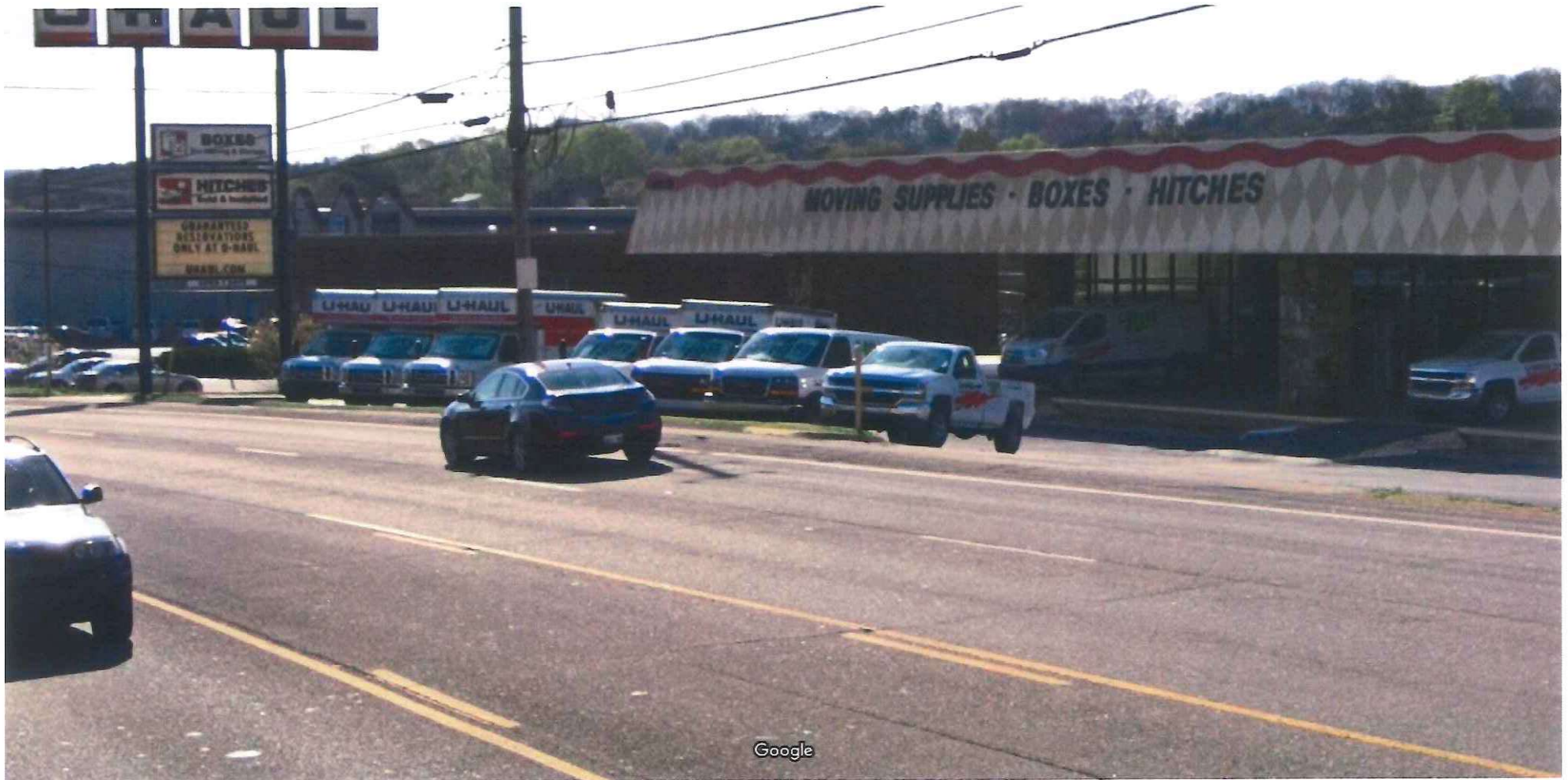


Map data ©2020, Map data ©2020 20 ft



Map data ©2020, Map data ©2020 20 ft

Google Maps 10820 TN-1



Google

Image capture: Apr 2019 © 2020 Google

Knoxville, Tennessee



Street View

Drive-thru ATM



Google Maps 10839 TN-1



Image capture: Apr 2019 © 2020 Google

Knoxville, Tennessee



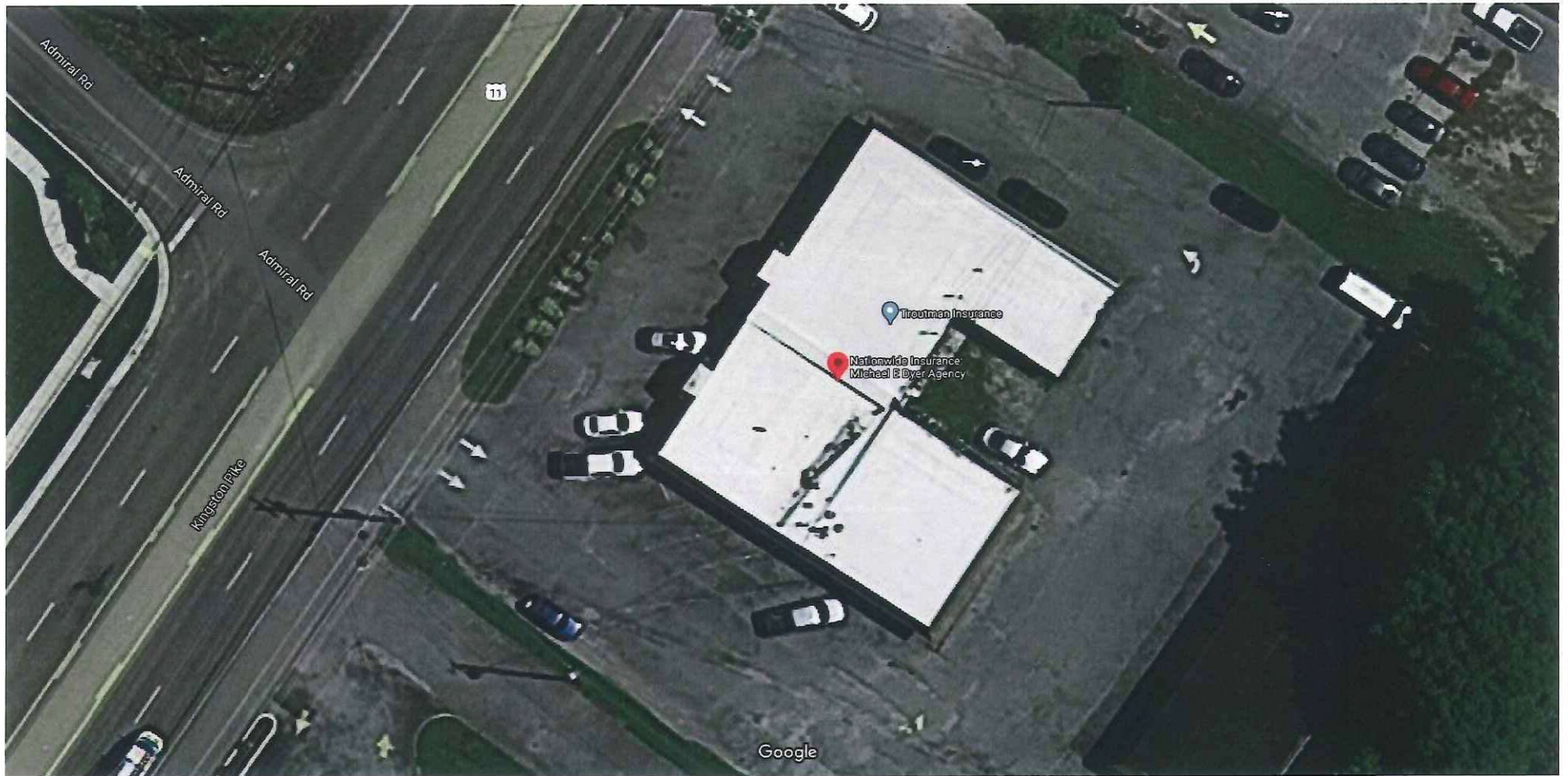
Street View

U-Haul (with Drive-thru ATM)



EXHIBIT B – ITEM 19 -
NATIONWIDE INSURANCE – MIKE DYER, et al.,
11020 KINGSTON PIKE -
PARKING ROW ENDS IN A PARKING SPACE,
NO TERMINAL ISLAND OF ANY KIND
(TWO PLACES: EACH END OF PARKING ROW FRONTING BUILDING)

(ALSO RIGHT SIDE OF BUILDING)



Google Maps 11065 TN-1



Image capture: Apr 2019 © 2020 Google

Farragut, Tennessee



Street View



Google Maps 11053 US-11



Image capture: Apr 2019 © 2020 Google

Farragut, Tennessee



Street View



Google Maps 11018 US-11



Image capture: Apr 2019 © 2020 Google

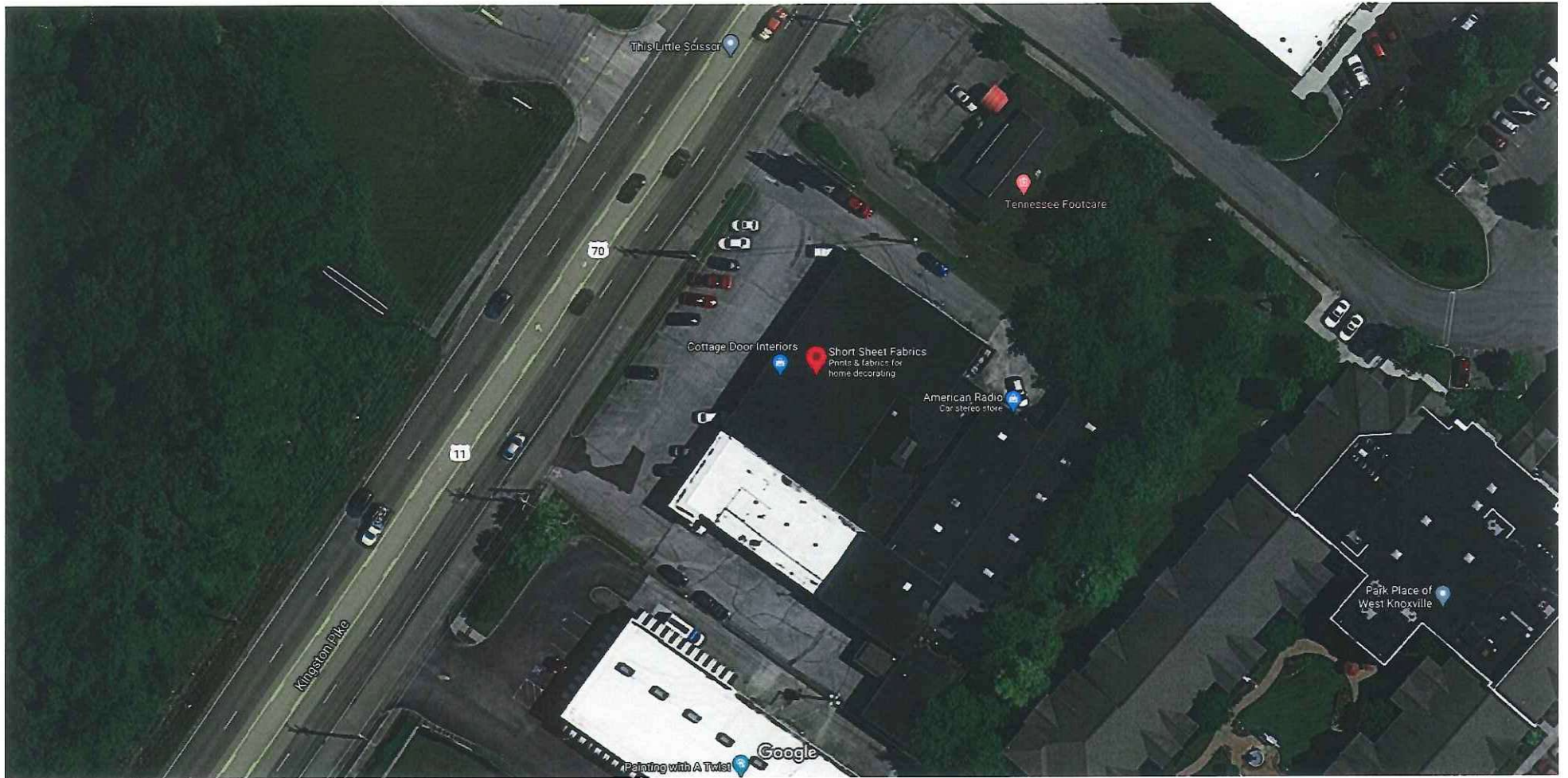
Farragut, Tennessee



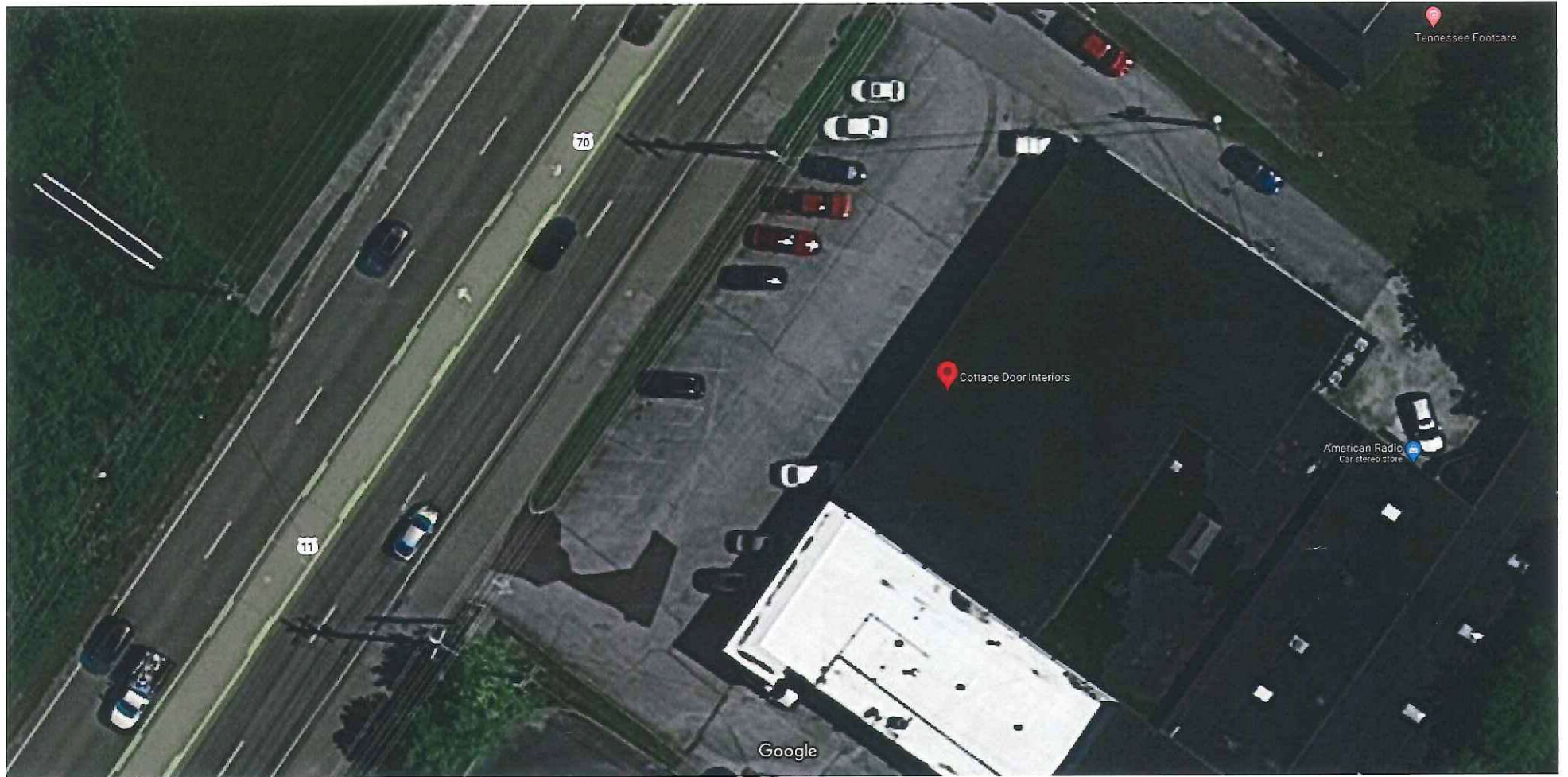
Street View



EXHIBIT B – ITEM 20 -
SHORT SHEET FABRICS/COTTAGE DOOR INTERIORS,
10924 KINGSTON PIKE -
PARKING ROW ENDS IN A PARKING SPACE,
NO TERMINAL ISLAND OF ANY KIND
(TWO PLACES: EACH END OF PARKING ROW FRONTING BUILDING)



Map data ©2020, Map data ©2020 20 ft



Map data ©2020, Map data ©2020 20 ft



Cottage Door Interiors

4.2 ★★★★★ (5)

Google Maps 10924 Lee Hwy



Image capture: Apr 2019 © 2020 Google

Farragut, Tennessee



Street View



Google Maps 10965 Lee Hwy



Image capture: Apr 2019 © 2020 Google

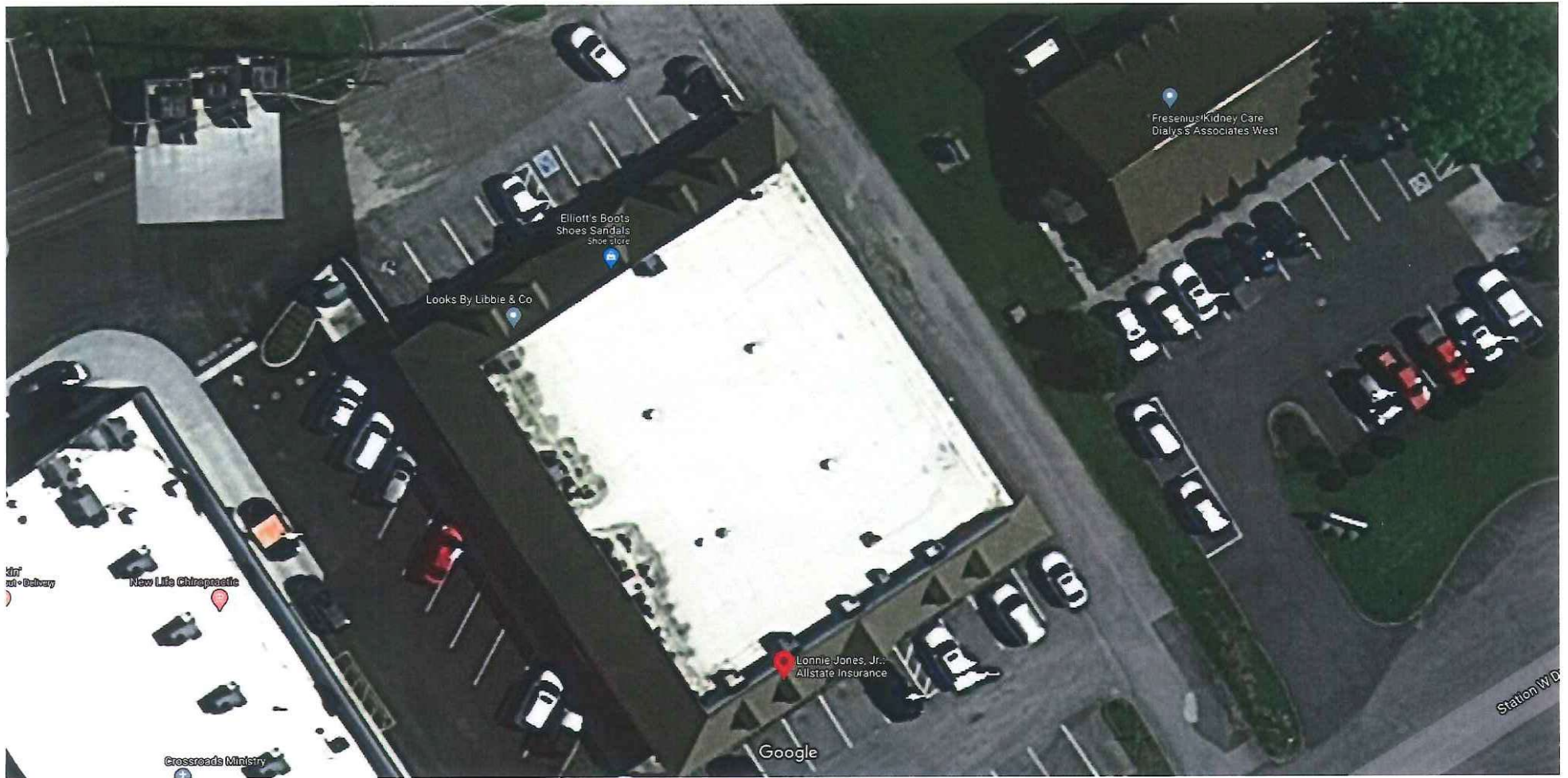
Farragut, Tennessee



Street View



EXHIBIT B – ITEM 21 -
ALLSTATE INSURANCE – LONNIE JONES, JR., et al.,
620 N. CAMPBELL STATION ROAD -
PARKING ROW ENDS IN A PARKING SPACE,
NO TERMINAL ISLAND OF ANY KIND
(TWO PLACES: PARKING ROWS ON EACH SIDE OF BUILDING,
NEXT TO ALLEY ON REAR SIDE OF BUILDING)



Map data ©2020, Map data ©2020 20 ft

Google Maps 11382 Station W Dr



Image capture: May 2018 © 2020 Google

Farragut, Tennessee



Street View



Google Maps Farragut, Tennessee



Image capture: May 2018 © 2020 Google

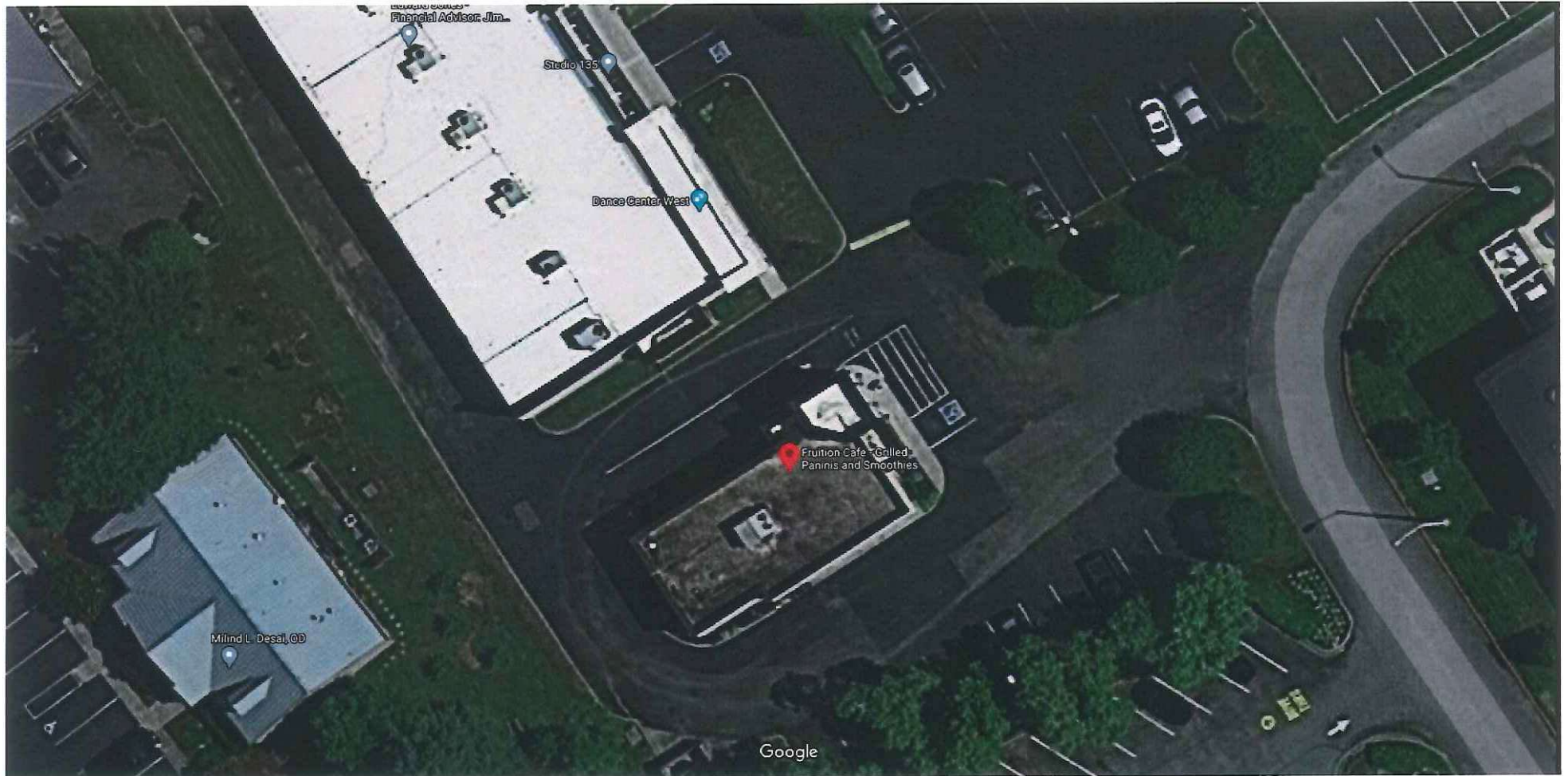


Street View



EXHIBIT B – ITEM 22 -
FRUITION CAFÉ, 129 WEST END AVENUE -
PARKING ROW ENDS IN A PARKING SPACE,
NO TERMINAL ISLAND OF ANY KIND
(HANDICAPPED SPACE AT FRONT ENTRANCE)

Google Maps Fruition Cafe - Grilled Paninis and Smoothies



Map data ©2020, Map data ©2020 20 ft

Google Maps Farragut, Tennessee



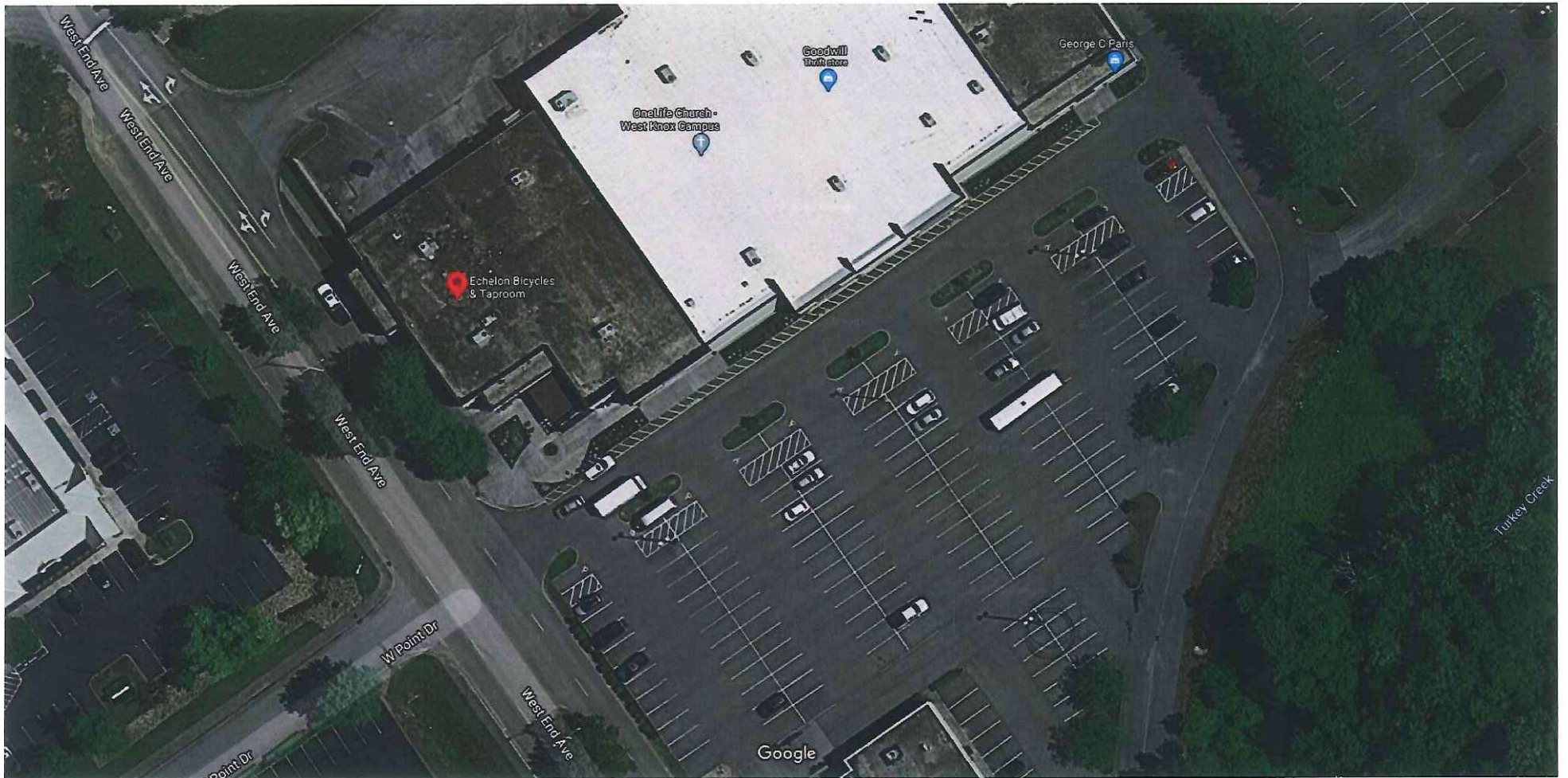
Image capture: Jan 2018 © 2020 Google

Google

Street View



EXHIBIT B – ITEM 23 -
ECHELON BICYCLES, et al., 138 WEST END AVENUE -
PARKING ROW ENDS IN A PARKING SPACE,
NO TERMINAL ISLAND OF ANY KIND
(FOUR PLACES: THREE ROWS OF PARKING SPACES IN PARKING LOT,
AT FAR END AWAY FROM BUILDING, AND ONE BEHIND SUBWAY BUILDING)



Map data ©2020, Map data ©2020 20 ft

Google Maps 238 West End Ave



Image capture: May 2018 © 2020 Google

Farragut, Tennessee



Street View



EXHIBIT B – ITEM 24 -
PUTT-PUTT GOLF & GAMES, 164 WEST END AVENUE -
PARKING ROW ENDS IN A PARKING SPACE,
NO TERMINAL ISLAND OF ANY KIND
(FOUR PLACES: FOUR ROWS OF PARKING SPACES IN PARKING LOT,
AT NEAR END TO BUILDING)

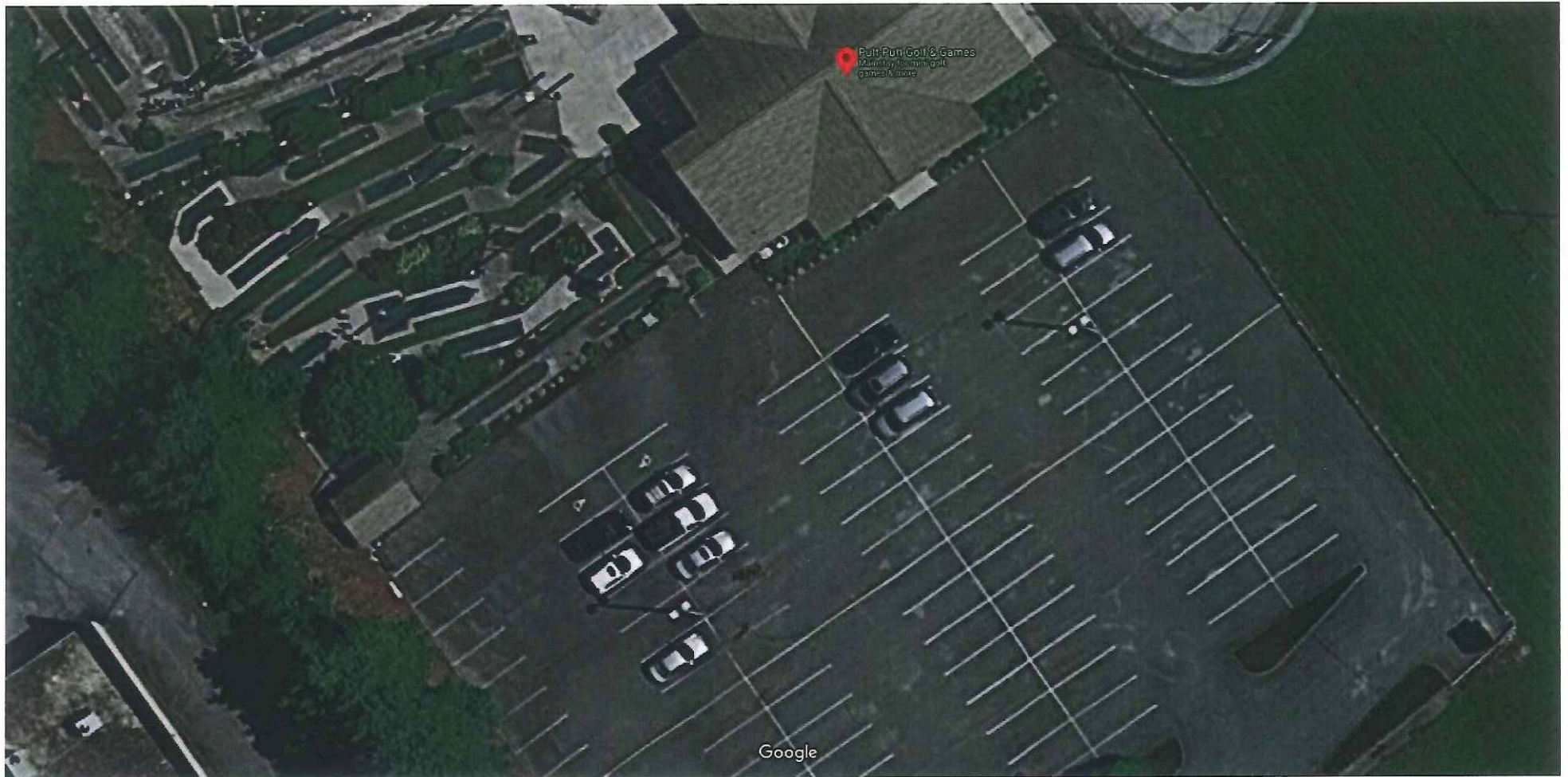




Image capture: Apr 2016 © 2020 Google

Google

Street View

Putt-Putt
Mainstay for
games & m

The UPS Store f

Google Maps Farragut, Tennessee



Image capture: Apr 2016 © 2020 Google



Street View



Google Maps Farragut, Tennessee

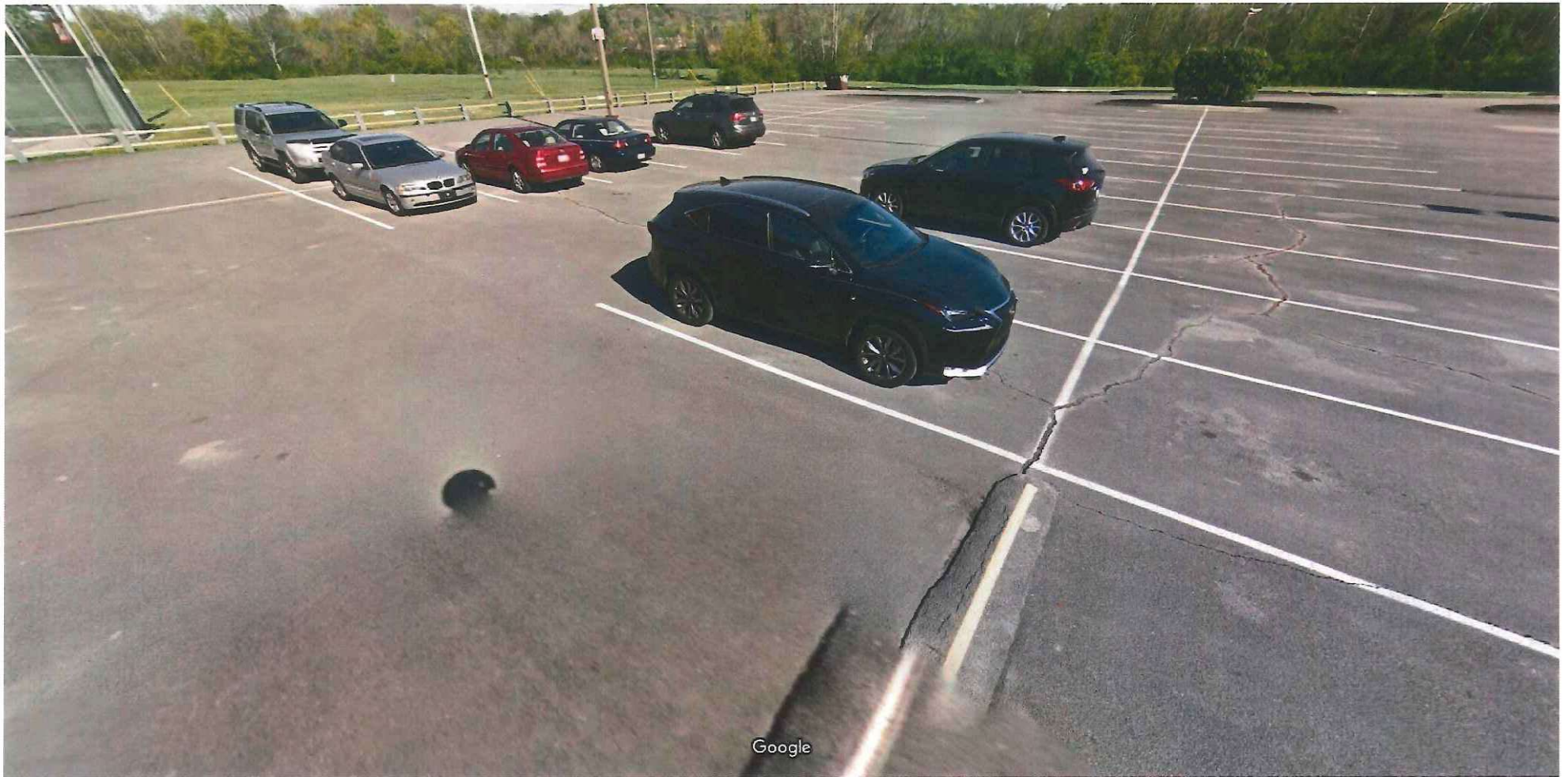


Image capture: Apr 2016 © 2020 Google



Street View



Google Maps Farragut, Tennessee



Google

Image capture: Apr 2016 © 2020 Google

Google

Street View

