

A G E N D A
FARRAGUT MUNICIPAL PLANNING COMMISSION

December 20, 2012
7:00 p.m. Farragut Town Hall

For questions please call Ruth Viergutz Hawk at Farragut Town Hall, 966-7057

6:45 p.m.
Public Hearing on the
Farragut 2025 Comprehensive Land Use Plan Update

1. **Citizen Forum**
2. **Approval of minutes - November 15, 2012**
3. **Discussion and public hearing on the *Farragut 2025 Comprehensive Land Use Plan Update***
4. **Discussion and public hearing on a request for a driveway onto Smith Road, classified as a Major Collector on the Major Road Plan, Farragut Municipal Code, Title 16, Chapter 4, Driveways and Other Access Ways, Section 16-405. Permit approval, and Section 16- 406 (1) Distance requirements, (b) Distance between driveways, for variance for driveway access to 531 Smith Road (Don & Angelia Dickey, Applicants)**
5. **Discussion and public hearing on a site plan amendment to the Thornton Center (Genesis Center), 10910 Kingston Pike, Suite 103, to expand the existing building, 1.33 Acres, Zoned C-1 (Dan Brewer/Brewer Ingram Fuller Architects, Inc., Applicant)**
6. **Discussion and public hearing on a site plan for Parkside Retail Center, located on the south side of Parkside Drive between JC Penney and Tennessee State Bank, a portion of Parcel 191.06, Tax Map 130, 3.466 Acres, Zoned C-1 (The Center at Parkside LLC, Applicant)**
7. **Discussion and public hearing on a site plan for Knoxville TVA Employees Credit Union, located on the south side of Parkside Drive between JC Penney and Tennessee State Bank, a portion of Parcel 191.06, Tax Map 130, 1.15 Acres, Zoned C-1 (Knoxville TVA Employees Credit Union, Applicant)**

FMPC - Agenda

12/20/12

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8. Discussion and public hearing on an amendment to the Farragut Zoning Ordinance, Chapter 4., to create a Grand Opening Special Events Permit section
9. Discussion and public hearing on an amendment to the Farragut Zoning Ordinance, Chapter 4., Section XIII. Outdoor Site Lighting, to establish wall mounted light heights and require glare shields
10. Discussion and public hearing on an amendment to the Farragut Zoning Ordinance, Chapter 4., Section I. Accessory Structures, to require HVAC screening to be architecturally compatible and to rename section to Accessory Structures and Uses
11. Discussion and public hearing on a request to amend the Farragut Zoning Ordinance, Chapter 3, Section XVI., to create a new four-story business zoning district, entitled Business District, Four-Story (BD-4) (Myers Bros. Holdings, Applicant)
12. Discussion and public hearing on a request to rezone Parcel 63, Tax Map 151, located on the southwest corner of Kingston Pike and Way Station Trail, part of the Renaissance development, from C-1 to Business District, Four-Story (BD-4) (Myers Bros. Holdings, Applicant)
13. Discussion on a request to rezone Parcel 6, Tax Map 151, located on the west side of N. Watt Road approximately 600 feet north of Harrison Road, from C-1 to R-1 and R-4 (Scott Davis, Applicant)
14. Discussion of a request to amend the text of the Farragut Municipal Code, Title 9, Chapter 4. Sign Ordinance, Section 9-406., to allow signage on a wall to exceed a 1:1 ratio (Costco Wholesale Corporation, Applicant)
15. Public hearing on proposed locations for new utilities

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15. **Public hearing on proposed locations for new utilities**

**MINUTES
FARRAGUT MUNICIPAL PLANNING COMMISSION**

November 15, 2012

MEMBERS PRESENT

Rita Holladay, Chairman
Ed Whiting, Secretary
Ralph McGill, Mayor
Ron Honken, Alderman
Annette Brun
Betty Dick
Melissa Mustard
Noah Myers [8:15 pm]

MEMBERS ABSENT

Ed St. Clair, Vice-Chairman

Staff Representatives: Ruth Viergutz Hawk, Community Development Director
Gary Palmer, Assistant Town Administrator
David Smoak, Town Administrator

Chairman Holladay called the meeting to order at 7:00 p.m.

CITIZEN FORUM

Mayor McGill announced that Bob Leonard, Farragut's first Mayor, had passed away. Funeral services will be held on Saturday, November 17, 2012. Chairman Holladay sent out condolences to his family.

APPROVAL OF MINUTES

Commissioner Honken moved to approve the October 18, 2012, minutes as submitted. Commissioner Mustard seconded the motion and the motion passed 6-0-1. Mayor McGill abstained because he was absent and Commissioner Myers had not yet arrived.

AGENDA ITEMS

**DISCUSSION AND PUBLIC HEARING ON A SITE PLAN FOR THE SURGERY
EXPANSION AND RENOVATION AT THE TENNOVA TURKEY CREEK MEDICAL
CENTER, 10820 PARKSIDE DRIVE, PARCEL 31.06, TAX MAP 131, 19 ACRES,
ZONED C-1-3 (Marc S. Rowland - Thomas, Miller & Partners, Applicant)**

Staff recommended approval of the site plan subject to addressing the following items:

1. Provide the calculated fire flow, in accordance with appendix B and C of the 2006 International Fire Code; and
2. Meet all town requirements.

Commissioner Honken moved to approve the site plan subject to staff's recommendation. Commissioner Whiting seconded the motion and the motion passed 7-0, Commissioner Myers had not yet arrived.

**DISCUSSION OF AN AMENDMENT TO THE FARRAGUT ZONING ORDINANCE,
CHAPTER 4., TO CREATE A GRAND OPENING SPECIAL EVENT PERMIT SECTION**

For discussion purposes only

**DISCUSSION OF AN AMENDMENT TO THE FARRAGUT ZONING ORDINANCE,
CHAPTER 4., SECTION XIII. OUTDOOR SITE LIGHTING, TO ESTABLISH WALL
MOUNTED LIGHT HEIGHTS**

For discussion purposes only

**DISCUSSION OF AN AMENDMENT TO THE FARRAGUT ZONING ORDINANCE,
CHAPTER 4., SECTION I. ACCESSORY STRUCTURES, TO REQUIRE HVAC
SCREENING TO BE ARCHITECTURALLY COMPATIBLE AND TO RENAME
SECTION TO ACCESSORY STRUCTURES AND USES**

For discussion purposes only

**DISCUSSION OF A REQUEST TO AMEND THE FARRAGUT ZONING ORDINANCE,
CHAPTER 3., TO CREATE A NEW FOUR-STORY BUSINESS ZONING DISTRICT
(Myers Bros. Holdings, Applicant)**

For discussion purposes only

**DISCUSSION OF A REQUEST TO REZONE PARCEL 63, TAX MAP 151, LOCATED
ON THE SOUTHWEST CORNER OF KINGSTON PIKE AND WAY STATION TRAIL,
PART OF THE RENAISSANCE DEVELOPMENT, APPROXIMATELY 2.5 ACRES,
FROM C-1 TO A FOUR-STORY BUSINESS ZONING DISTRICT (Myers Bros.
Holdings, Applicant)**

For discussion purposes only

PUBLIC HEARING ON PROPOSED LOCATIONS FOR NEW UTILITIES

None at this time

ADJOURNMENT

The meeting adjourned at 8:55 p.m.

REPORT TO THE FMPC

PREPARED BY: G. Palmer, Assistant Town Administrator

SUBJECT: Comprehensive Land Use Plan Public Hearing and Adoption

Due to the physical volume of the attachments below please visit www.townoffarragut.org/landuseplan to view/download. Please advise if you need a hardcopy of any of the backup documentation.

Attachments:

Agreement for Services between the Town of Farragut and Winston Associates, Inc.
Open House Presentation Boards
Proposed Plan Strategies
Draft Future Land Use Map
TCA 13-4-202 Municipal Plan Adoption Process
Final Draft Plan
Resolution 12-

History to Date:

In February 2012 the Town contracted with Winston Associates Inc. to update the Town's Comprehensive Land Use Plan. Over the course of the past 10 months, the Town and Winston Associates hosted several public forums in order to solicit direction and develop strategies for future Town growth. A formal written plan resulted. In accordance with our agreement with Winston Associates and the Tennessee Code Annotated, the final plan shall be delivered to the Town for consideration in December 2012.

Adoption Process:

The state law requires the Town hold a public hearing on the adoption of the plan, prior to said adoption. The state law provides plan adoption authority to the municipal planning commission by way of resolution (see attached) and certification to the municipality's governing authority (Board of Mayor and Aldermen).

December 20, 2012 Public Hearing and Regular Meeting:

The Town will hold a public hearing at 6:45pm to solicit final public comment on the plan prior to adoption consideration by the FMPC. Subsequently, during the regular meeting, Jeff Winston of Winston Associates will present the final plan for consideration.

Recommending Authority:

Comprehensive Land Use Plan Leadership Team

Recommended Action:

The Team recommends the FMPC approve Resolution 12-1§ which formally adopts the Comprehensive Land Use Plan update.

RESOLUTION PC-12- 18

FARRAGUT MUNICIPAL PLANNING COMMISSION

IN ACCORDANCE WITH TENNESSEE CODE ANNOTATED §13-4-202 THE FARRAGUT MUNICIPAL PLANNING COMMISSION HEREBY RESOLVES TO APPROVE THE TOWN OF FARRAGUT COMPREHENSIVE LAND USE PLAN UPDATE INCLUDING ALL OF ITS MAPS, FUTURE LAND USE CATEGORIES, DESIGNS, STRATEGIES, AND RECOMMENDATIONS CONTAINED WITHIN THE PLAN

WHEREAS, Tennessee Code Annotated §§ Section 13-4-201 et seq, provides that the Municipal Planning Commission shall make and adopt a general plan for the physical development of the municipality; and,

WHEREAS, the Farragut Municipal Planning Commission has commissioned a Comprehensive Land Use Plan Leadership Team comprised of members of the Farragut Municipal Planning Commission, Town Staff, and general public to execute the public planning process in coordination with a professional planning consultant Winston Associates, Inc.; and,

WHEREAS, the Comprehensive Land Use Plan Leadership Team and Winston Associates, Inc. held several public forums, digitally and in person, over the course of the last year to collect information and the capture the Town's collective vision; and,

WHEREAS, the Farragut Municipal Planning Commission called for and held a public hearing to solicit public comments regarding the adoption of the Comprehensive Land Use Plan Update on December 20, 2012;

NOW, THEREFORE, BE IT RESOLVED that the Farragut Municipal Planning Commission hereby approves and certifies the Comprehensive Land Use Plan Update to the Farragut Board of Mayor and Aldermen.

ADOPTED by majority vote of the Farragut Municipal Planning Commission this 20th day of December, 2012.

Rita Holladay, Chairman

Edwin K. Whiting, Secretary

MEETING DATE : December 20, 2012

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Ruth Viergutz Hawk, Community Development Director

SUBJECT: Discussion and public hearing on a request for a driveway onto Smith Road, classified as a Major Collector on the Major Road Plan, Farragut Municipal Code, Title 16, Chapter 4, Driveways and Other Access Ways, Section 16-405. Permit approval, and Section 16-406 (1) Distance requirements, (b) Distance between Driveways, for variance for driveway access to 531 Smith Road (Don and Angelia Dickey, Applicant)

INTRODUCTION: 531 Smith Road is located on the south side of Smith Road across from Hickory Woods and Andover subdivisions. The parcel is 2.3 acres. Per Section 16-405. Permit Approval, the planning commission and board of mayor and aldermen must review application for access for all drives onto non-local streets. Smith Road is classified as a Major Collector on the Major Road Plan. Per Section 16-406, new driveways must also meet minimum distances between driveways and from intersections.

DISCUSSION: On September 20, 2012, the planning commission reviewed the subdivision plat which created this parcel. You may recall that the Dickey's purchased some additional land from their eastern neighbors, Robert & Barbara Seaton. The proposed driveway will be located at the far eastern property line and will line up with the driveway on the north side of Smith Road.

Smith Road is classified as a Major Collector. Driveways are to be located a minimum of 200 feet from intersections and 200 feet from other driveways. The proposed driveway will be located approximately 250 feet east of the intersection of Smith Road and Andover Boulevard. It will, however, only be located approximately 70 feet west of an existing driveway located on the north side of Smith Road. Because the proposed driveway lines up with another existing driveway, the proposed location is optimal.

Attached please find a survey of the property with the general location of the driveway indicated. Also attached please find an aerial photo of the general area. The proposed driveway location and the distances between the driveways and from the intersection are indicated.

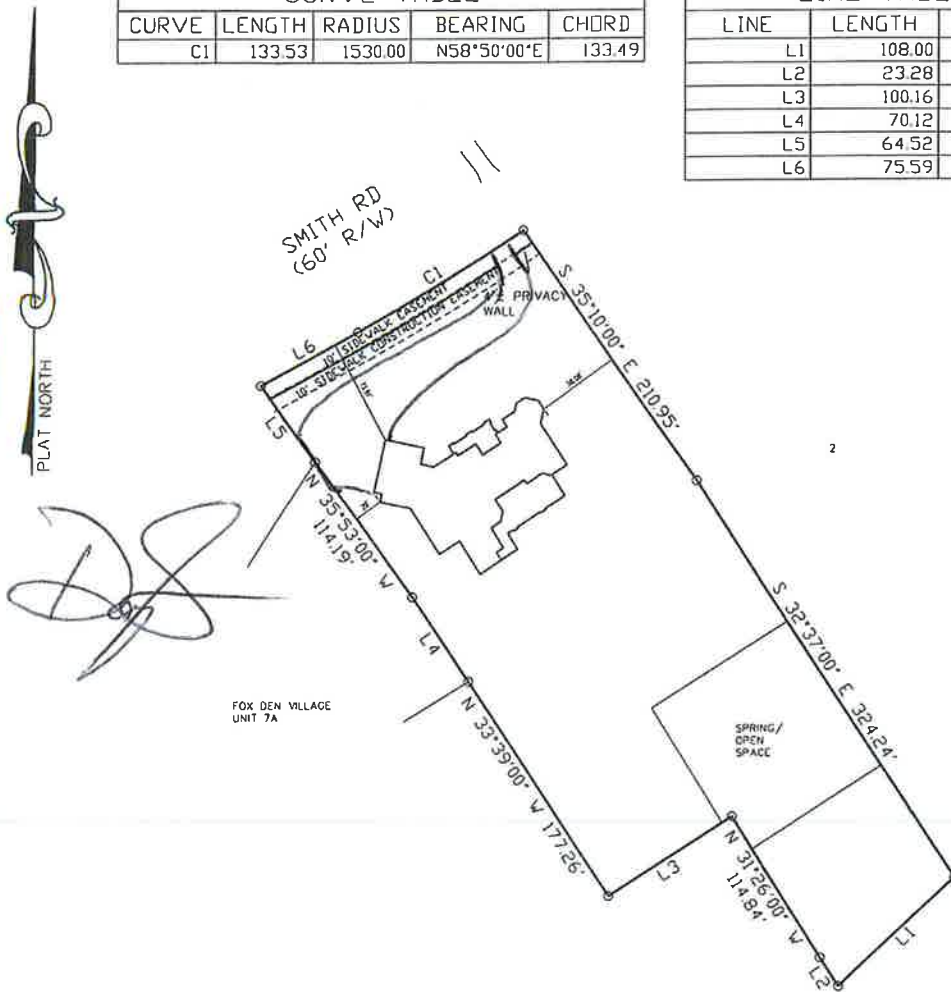
RECOMMENDATION BY: Staff recommends approval of the driveway location and a variance of 130' to east because the proposed driveway lines up with another existing driveway and the proposed location is optimal.

CURVE TABLE

CURVE	LENGTH	RADIUS	BEARING	CHORD
C1	133.53	1530.00	N58°50'00"E	133.49

LINE TABLE

LINE	LENGTH	BEARING
L1	108.00	S46°20'00"W
L2	23.28	N32°33'00"W
L3	100.16	S57°37'00"W
L4	70.12	N33°35'00"W
L5	64.52	N35°48'50"W
L6	75.59	N61°20'00"E



5' UTILITY & DRAINAGE EASEMENT EACH
SIDE ALL INTERIOR LOT LINES, 10' INSIDE
ALL EXTERIOR LOT LINES.

"SITE PLAN"

Certification of Category and Accuracy of Survey
I hereby certify that this is a category 1 survey and the ratio
of precision of the unadjusted survey is
1:10,000 as shown hereon.

Surveyor

Tennessee Reg. No. 1982

SURVEY FOR IVEY CUSTOM HOMES

ADDRESS 531 SMITH RD

SUBDIVISION THE DICKEY AND SEATON PROPERTY

CLT PARCEL

DIST. WARD

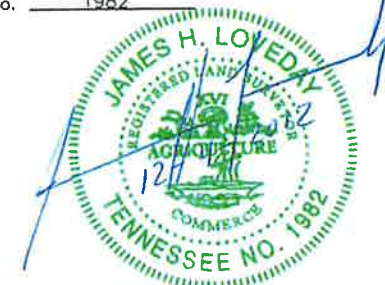
CITY OF FARRAGUT

COUNTY KNOX

DEED REF

LOT 2 BLOCK UNIT

SCALE 1"=100' DATE 11-19-2012 REVISED 12-4-2012



CENTURY Surveying

144 JESSIE LANE
LENOIR CITY, TN 37772
PHONE (423) 886-1982

JOB # 12111



MEETING DATE : December 20, 2012

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Ruth Viergutz Hawk, Community Development Director

SUBJECT: Discussion and public hearing on a site plan amendment to the Thornton Center (Genesis Center), 10910 Kingston Pike, Suite 103, to expand the existing building, 1.33 Acres, Zoned C-1 (Dan Brewer/Brewer Ingram Fuller Architects, Inc., Applicant)

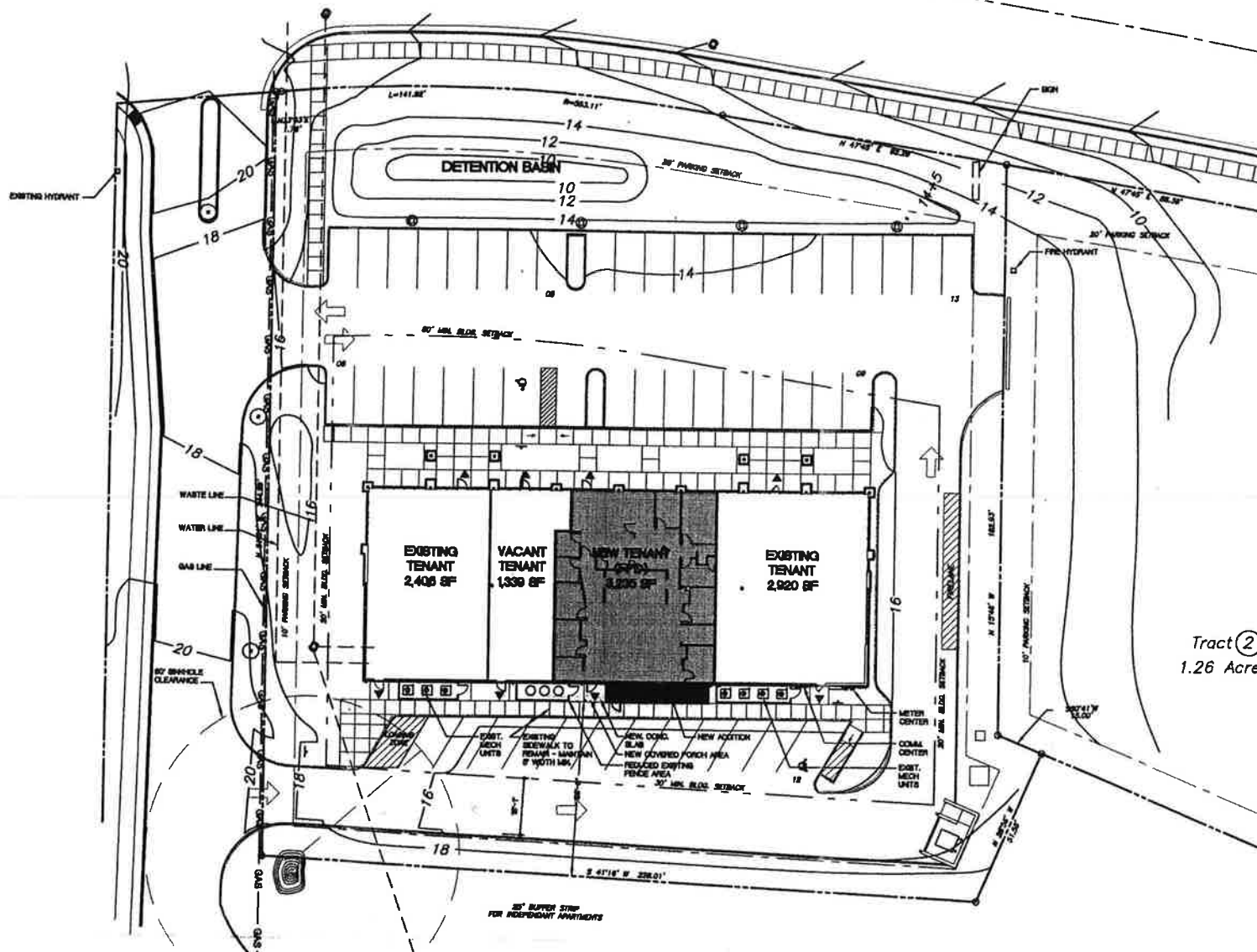
INTRODUCTION: The Thornton Center was constructed 2007 in conjunction with the Parkview West Assisted Living facility. The Thornton Center and Parkview West share a driveway to Kingston Pike.

DISCUSSION: The site plan before you is for a small 6' x 33' addition in the rear of the building. The addition is being added in an existing landscaped area and an area that is currently used for ground HVAC units. The addition will be constructed to match the existing building and will not be visible from Kingston Pike.

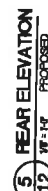
Attached please find a reduced copy of the site plan, an aerial photo of the general area, and a letter to the applicant identifying the necessary changes to the site plan.

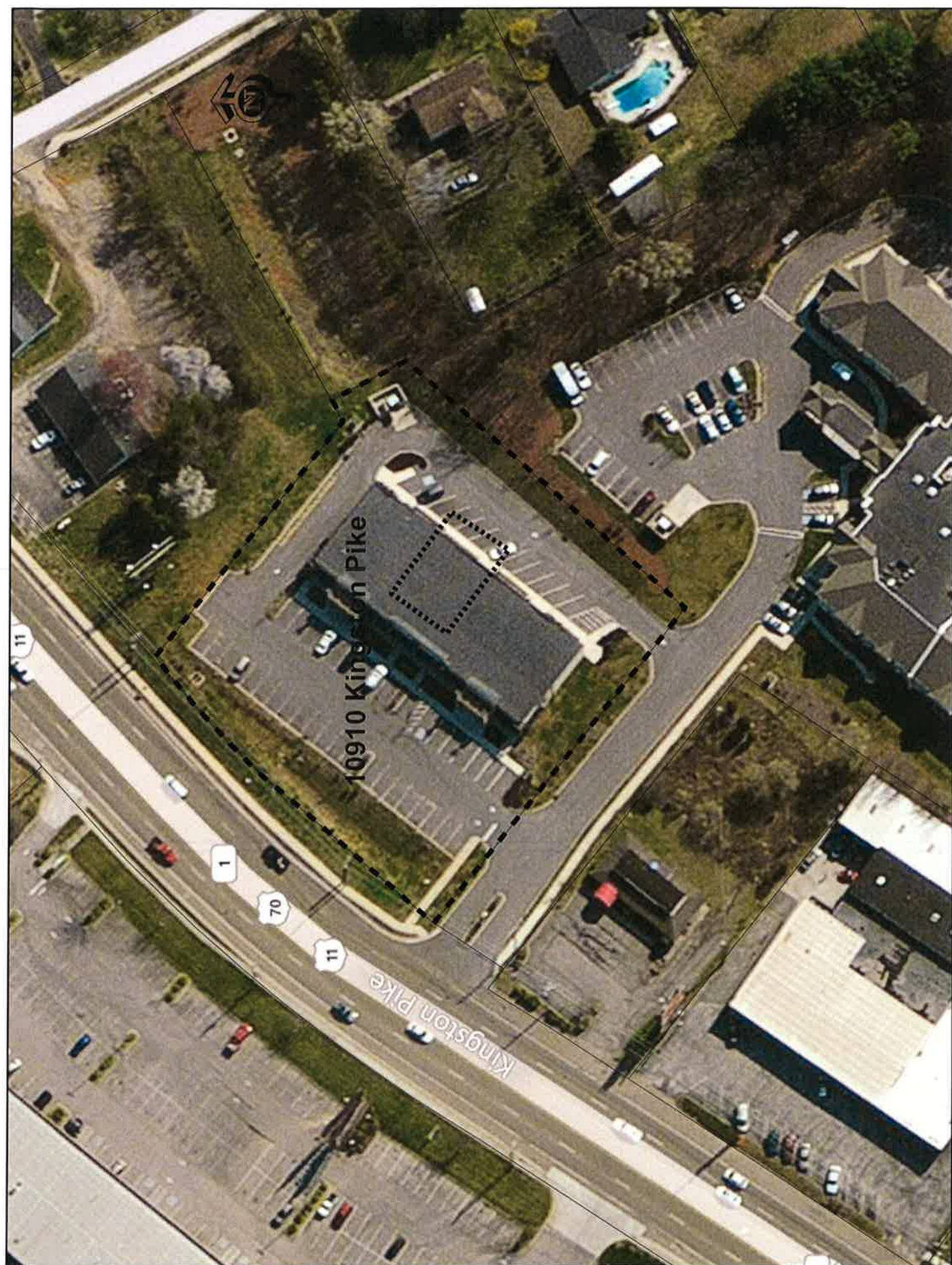
RECOMMENDATION BY: Staff will make a recommendation at the meeting.

KINGSTON PIKE



Tract ②
1.26 Acre





Dr. Ralph McGill, *Mayor*
Mary Dorothy LaMarche, *Vice-Mayor*
David Smoak, *Town Administrator*
Allison M. Myers, *Town Recorder*
November 29, 2012



Jeff Elliott, *Alderman*
Ron Honken, *Alderman*
Robert N. Markli, *Alderman*

Mr. Dan Brewer
Brewer Ingram Fuller Architects Inc.
111 N. Concord Street
Knoxville, TN 37919
dbrewer@breweringramfuller.com

SUBJECT: Staff comments on an amendment to the Thornton Center site plan, to expand the existing building, 10910 Kingston Pike, Suite 103 / Farragut Pediatric Dentistry/ Genesis Center

Dear Dan,

The Town staff has reviewed the above referenced site plan for compliance with the Town's regulations. Please address the following items and submit five (5) complete sets of 24" x 36" revised plans and one 8 1/2" x 11" reduced set to the Farragut Town Hall by **Monday, December 10, at 9:00 a.m.** If plans are not resubmitted by the deadline or the items are not adequately addressed, this item will not be placed on the planning commission agenda. Also, upon resubmittal please include a letter which addresses these comments and that indicates where the information can be found on the plans.

Please remember this item will be discussed at the Staff/Developer Meeting at the Farragut Town Hall on Tuesday, December 4, at 10:00 a.m. The purpose of this meeting is to discuss questions you may have on staff comments. Modifications to the plans are not due until Monday, December 10.

Fire Division: (Contact Dan Johnson at 675-2384)

1. Provide the revised calculated fire flow, including the number of required fire hydrants, in accordance with appendix B and C of the 2006 International Fire Code. This is to ensure the existing infrastructure is of adequate size and number, for the proposed addition;
2. The application indicates that the building has an automatic fire detection system. Please elaborate, as this office is unaware of any NFPA 72 compliant system contained in the structure;

Planning Division: (Contact Ruth Viergutz Hawk at 966-7057)

3. When I visited the site, I noticed that there is a noncompliant dumpster on the property. The dumpster either needs to be removed or a new enclosure needs to be added to the site. If you wish to keep the dumpster, it would be appropriate to add the enclosure as part of this site plan;

Mr. Dan Brewer
11/29/12
Page 2

4. I also noticed that the existing dumpster enclosure doors have been removed. The doors must be repaired, reattached to the enclosure, and functional;
5. On the cover sheet, the front and rear combined total setback of 130' has been eliminated;
6. On the cover sheet, indicate a person's name for the property owner;
7. Include a telephone number for the property owner;
8. On the site plan, indicate the width of the sidewalk (minimum 5');
9. Label the covered porch area;
10. Sheet 1.1 - indicate the building setback from the property line at the addition;
11. Include a detail of the new light fixture being added in the ceiling;
12. Will wall pack light going to be relocated over new door?
13. Please add a note that no antennas will be added to the site;
14. Where will the HVAC units be located?

Tree Preservation/Removal Plan/Landscape Plan: (Contact Mark Shipley at 966-7057)

15. Please number the sheets 1 of .., 2 of .., etc;
16. Are the HVAC units for this tenant being contained within existing HVAC screens?
17. The landscape plan copy that was submitted does not reflect the modifications that are being made with this project. The cover sheet does address the landscape element that is being modified and, given the very minor scale of the modification, this cover sheet summary is all that is needed in terms of verifying landscaping compliance.

Please call the designated staff person if you have any questions on the above items. Unless specified otherwise, please include all requested information on the plans. You may note that there are some duplicate comments. This is done so that if you have a question, you know that you can call either person regarding that particular issue.

Sincerely,



Ruth Viergutz Hawk, AICP
Community Development Director



Darryl W. Smith, P.E.
Town Engineer

attachments - Grading Permit Checklist [mailed copy only]
Certificate of Occupancy Checklist [mailed copy only]

pc: Genesis Properties LLC (Fax # 675-2051)
Joseph Townsend/Knoxville Pediatric Dentistry (705 Gate Lane, Suite 101, Knoxville, TN 37909)

MEETING DATE : December 20, 2012

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Ruth Viergutz Hawk, Community Development Director

SUBJECT: Discussion and public hearing on a site plan for Parkside Retail Center, located on the south side of Parkside Drive between JC Penney and Tennessee State Bank, a portion of Parcel 191.06, Tax Map 130, 3.466 Acres, Zoned C-1 (The Center at Parkside LLC, Applicant)

INTRODUCTION: On September 20, 2012, the planning commission heard the rezoning request of this site from O-1-3 to C-1. The rezoning has since been approved by the Board of Mayor and Aldermen. The applicant plans to purchase this property and subdivide it into two parcels. This site lies on the eastern side of Parcel 191.06 next to the Tennessee State Bank.

DISCUSSION: The site plan before you is for a small strip shopping center with two tenant spaces. The access is from the shared access driveway with the Tennessee State Bank. There is a traffic signal at this driveway on Parkside Drive. The proposed parking lot will connect with the proposed development to the west. With the exception of a drain pipe extending from the parking lot being added, the large detention basin located in the back half of this property will remain undisturbed.

As with the Zaxby's, a sidewalk is being constructed adjacent to the shared access easement.

Attached please find a reduced copy of the site plan, an aerial photo of the general area, a color rendering of the building, and a letter to the applicant identifying the necessary changes to the site plan.

RECOMMENDATION BY: Staff will make a recommendation at the meeting.

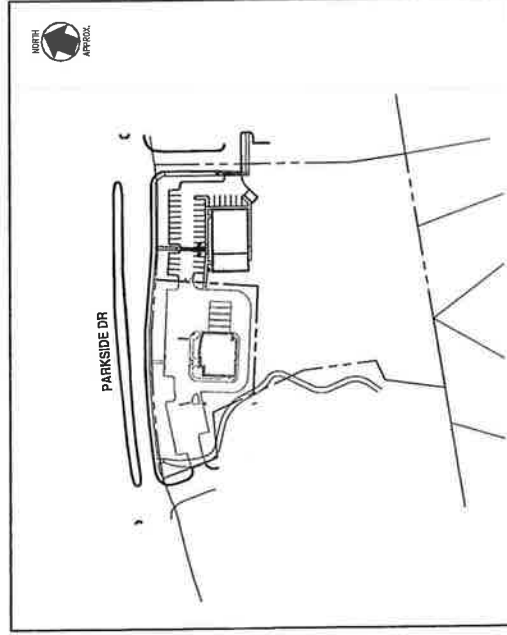
PARKSIDE RETAIL DEVELOPMENT

11482 PARKSIDE DR

FARRAGUT, TENNESSEE 37934

DRAWING INDEX

CU.01 / 1	COVER SHEET
CU.02 / 2	BOUNDARY/TOPOGRAPHIC SURVEY
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CU.05 / 5	SITE LAYOUT & PAVING PLAN
CU.06 / 6	SITE GRADING AND DRAINAGE PLAN
CU.07 / 7	INITIAL EROSION CONTROL PLAN
CU.08 / 8	FINAL EROSION CONTROL PLAN
CU.09 / 9	SITE DETAILS
CU.10 / 10	SITE UTILITIES PLAN
CU.11 / 11	SITE UTILITIES PLAN
CU.12 / 12	ARCHITECTURAL - FLOOR PLANS
CU.13 / 13	ARCHITECTURAL - EXTERIOR ELEVATIONS
CU.14 / 14	ARCHITECTURAL - EXTERIOR ELEVATIONS
CU.15 / 15	Mechanical Unit Visibility
ES.12 / 15	LIGHTING - PHOTOMETRIC
ES.13 / 16	LIGHTING FIXTURE CUT SHEETS



VICINITY MAP

SCALE: 1" = 100'

PROPERTY DATA	
APPROX. CO. Q.T. MAP NO.	130
PARCEL NUMBERS	191.06
APPROXIMATION	TOWN OF FARRAGUT, FV DISTRICT
ZONING & SETBACKS	ZONING: C-1 (GENERAL COMMERCIAL DISTRICT) SETBACKS: FRONT 60'/80'/40', SIDE 30', REAR 30' FROM B-1 ZONE LINE.
AREA	4.563 AC (TOTAL), 3.413 AC (A-R-2)

RECEIVED

DEC 10 2012

TOWN OF FARRAGUT



VICINITY MAP

PROPERTY OWNER:
FARRAGUT LAND PARTNERS, LLC
11482 PARKSIDE DRIVE
FARRAGUT, TN 37934
CLT MAP 191.06, PARCEL 191.06
PROPOSED PROPERTY ADDRESS - 11482 AC
TEL. NO. (615) 596-1000

DESIGNER:
THE COMMERCIAL PROPERTIES
1550 JONES BLVD
NASHVILLE, TN 37203
TEL. NO. (615) 864-3386

ARCHITECT:
MICHAEL BRADY, INC.
200 N. BENTLEY BLVD
NASHVILLE, TN 37203
TEL. NO. (615) 254-0888

MANAGER:

commercial properties
keeping you in our sites
1550 HIGHWAY 108, BRISTOL, TN 37620
423-688-3321
MANAGING COMPANY

REVISIONS:

DATE:

Cannon & Cannon, Inc.
Creating the Future of the Region
11482 PARKSIDE DRIVE
FARRAGUT, TN 37934
CLT MAP 191.06, PARCEL 191.06

PROJECT:

MICHAEL BRADY, INC.
200 N. BENTLEY BLVD
NASHVILLE, TN 37203
TEL. NO. (615) 254-0888

REVISIONS:

PARKSIDE RETAIL DEVELOPMENT
11482 PARKSIDE DRIVE
FARRAGUT, TN 37934
CLT MAP 191.06, PARCEL 191.06

PROJECT:

PARKSIDE RETAIL DEVELOPMENT

11482 PARKSIDE DRIVE

FARRAGUT, TN 37934

CLT MAP 191.06, PARCEL 191.06

COVER SHEET

11482 PARKSIDE DRIVE

FARRAGUT, TN 37934

CLT MAP 191.06, PARCEL 191.06

COVER SHEET

11482 PARKSIDE DRIVE

FARRAGUT, TN 37934

CLT MAP 191.06, PARCEL 191.06

COVER SHEET

11482 PARKSIDE DRIVE

FARRAGUT, TN 37934

CLT MAP 191.06, PARCEL 191.06

COVER SHEET

11482 PARKSIDE DRIVE

FARRAGUT, TN 37934

CLT MAP 191.06, PARCEL 191.06

COVER SHEET

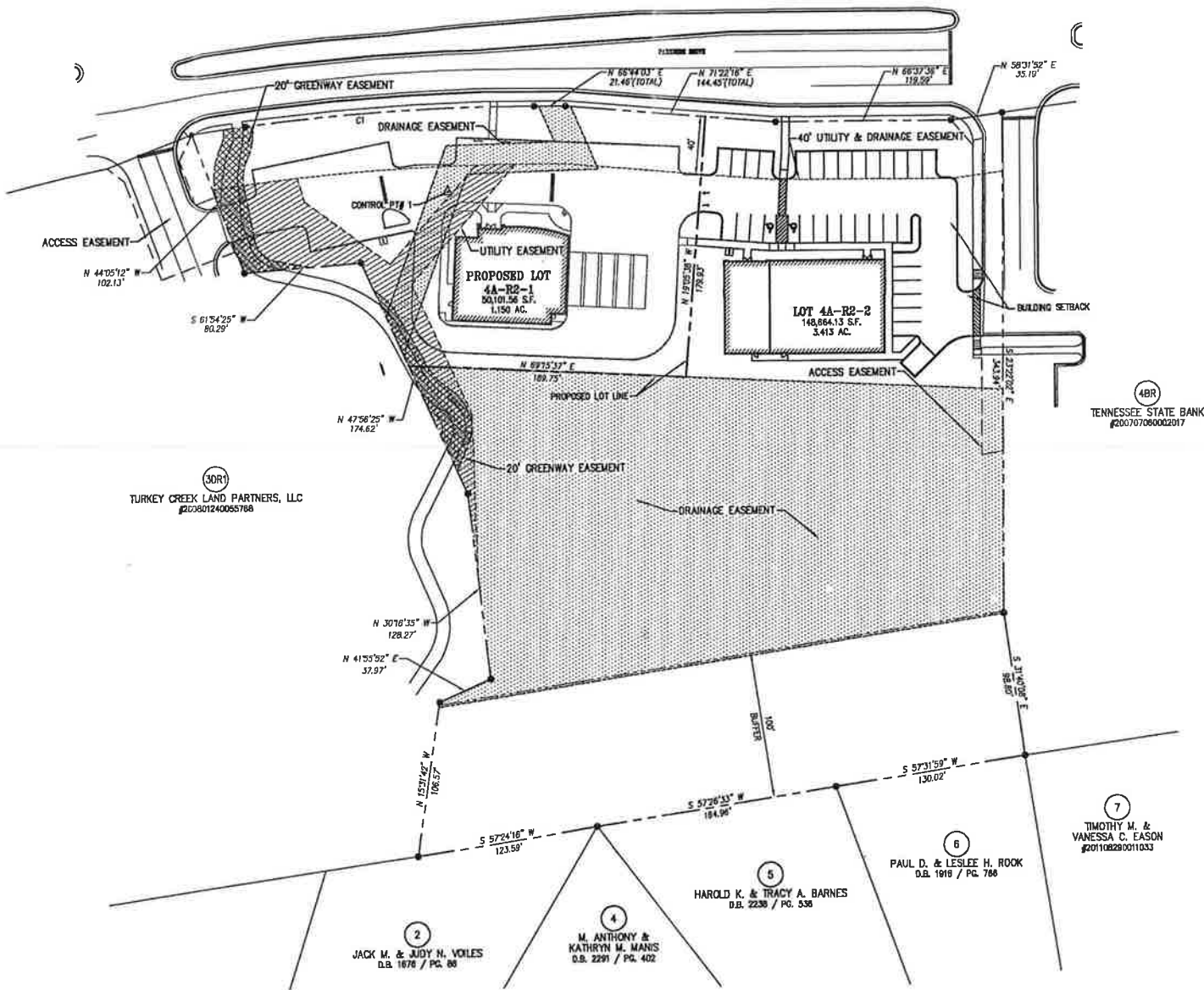
11482 PARKSIDE DRIVE

FARRAGUT, TN 37934

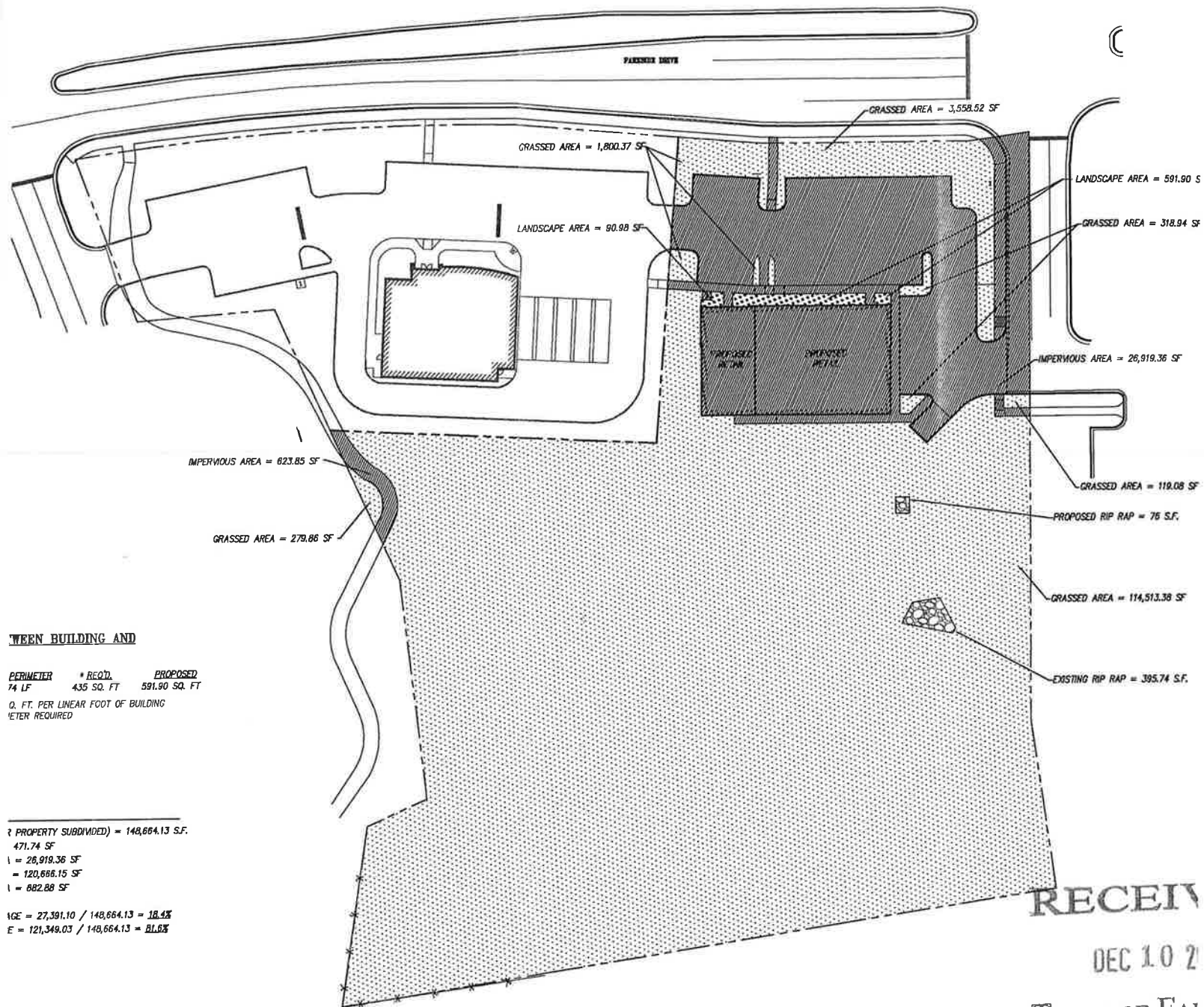
CLT MAP 191.06, PARCEL 191.06

COVER SHEET

3DR1
TURKEY CREEK LAND PARTNERS, LLC
#200801240055768



RECI
DEC
TOWN OF



BETWEEN BUILDING AND

PERIMETER	* REQ'D.	PROPOSED
74 LF	435 SQ. FT	591.90 SQ. FT
Q. FT. PER LINEAR FOOT OF BUILDING FOOTER REQUIRED		

2 PROPERTY SUBDIVIDED) = 149,664.13 S.F.
 471.74 SF
 1 = 26,919.36 SF
 1 = 120,666.15 SF
 1 = 682.88 SF

AGE = 27,391.10 / 149,664.13 = 18.4%
 E = 121,349.03 / 149,664.13 = 81.6%

GENERAL NOTES

1. NO ANTENNAS OR SATELLITE DISHES WILL BE ADDED TO THE SITE.
2. HVAC UNITS WILL BE SPOKE TO PER ADJACENT PROPERTIES AND RIGHTS-OF-WAY.

Michael Dwyer Inc.
MBI

11402 PARKSIDE DRIVE
KNOXVILLE, TN 37934



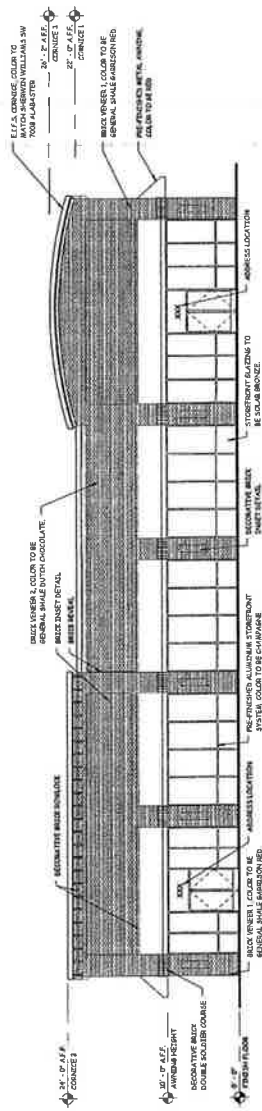
PARKSIDE RETAIL

RECEIVED
DEC 10 2012
TOWN OF FARRAGUT

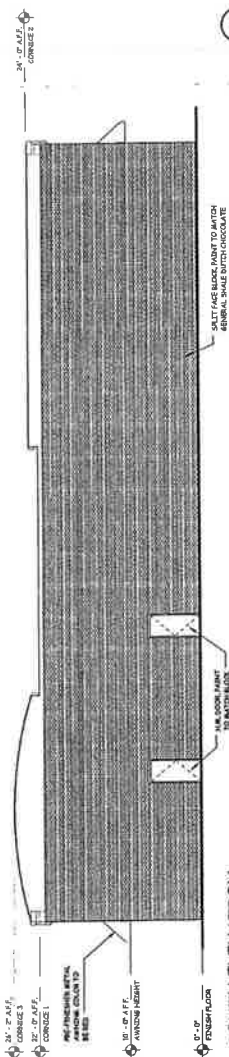
DATE: 12/07/2012
DESIGNED BY: S.N.S.
DRAWN BY: C.T.M.
REVIEWED BY: S.D.P.
CITY: NO. 120045.00
REVISIONS

DATE: 12/07/2012
DESIGNED BY: S.N.S.
DRAWN BY: C.T.M.
REVIEWED BY: S.D.P.
CITY: NO. 120045.00
REVISIONS

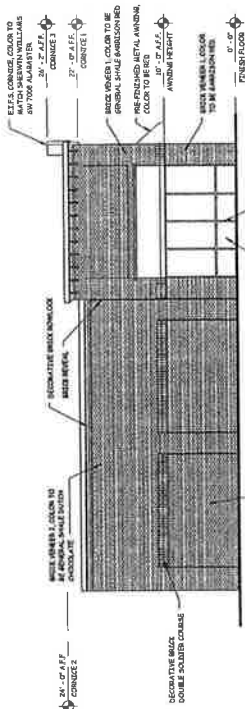
SHEET NO. 44.1



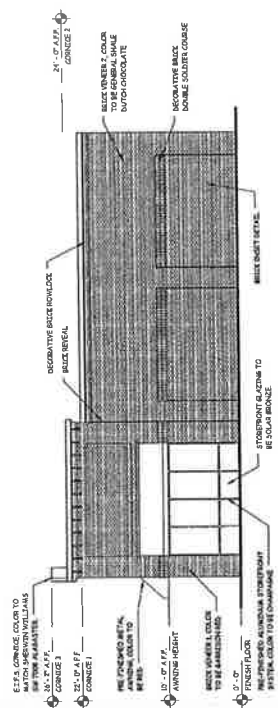
NORTH ELEVATION
SCALE: 1/8" = 1'-0"



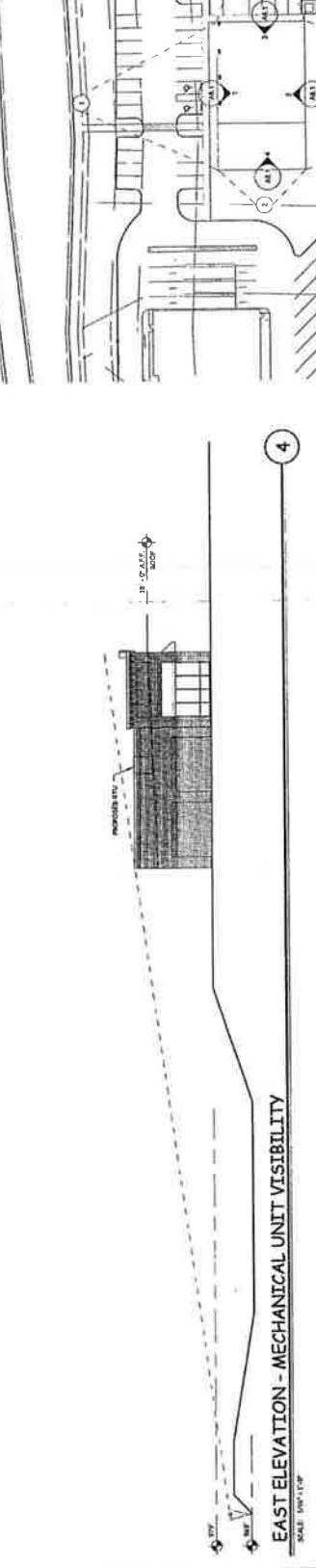
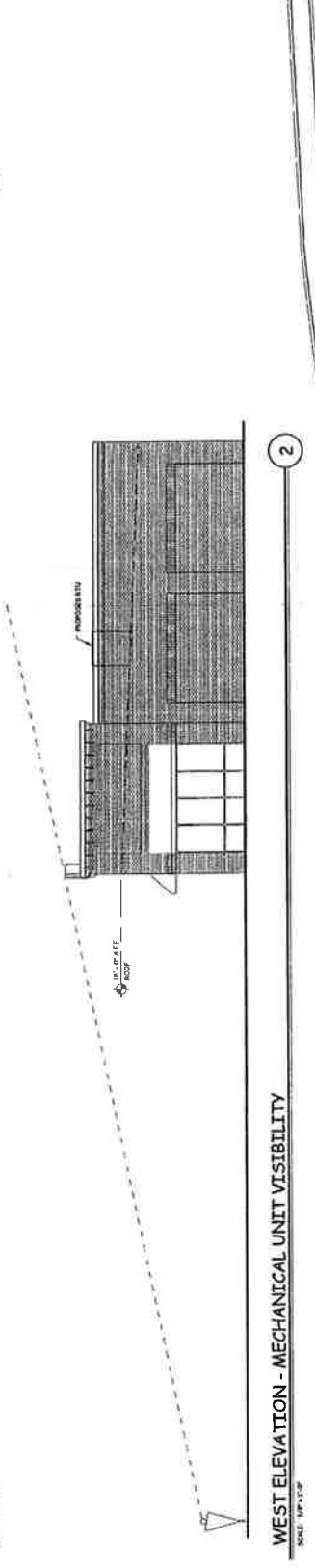
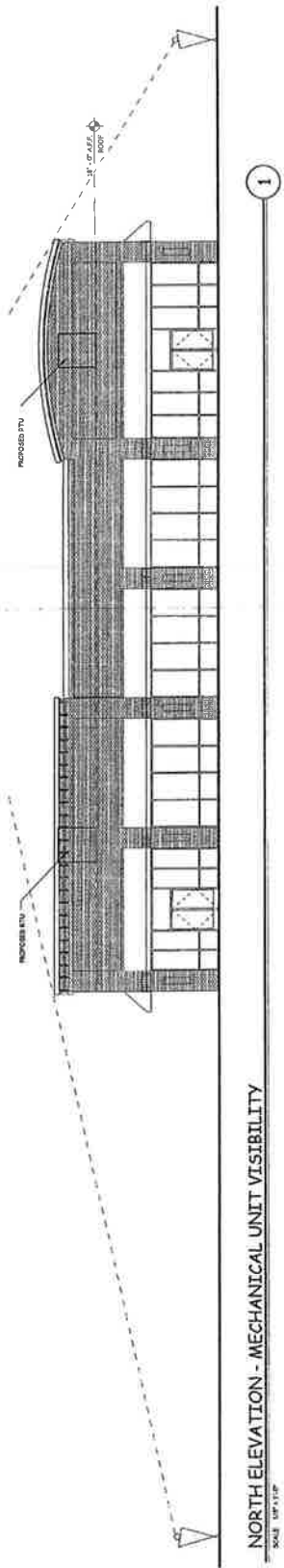
SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



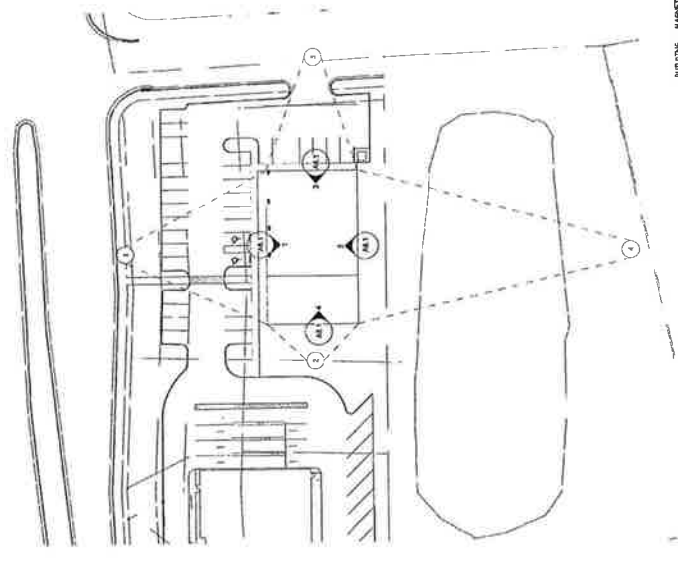
EAST ELEVATION
SCALE: 1/8" = 1'-0"



WEST ELEVATION
SCALE: 1/8" = 1'-0"



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TOWN OF FARRAGUT



SITE PLAN
SCALE: 1/8" = 1'-0"

MBI
michael brady inc.
architectural engineering interior
200 N. ALABAMA AVE.
KNOXVILLE, TN 37903
TEL: 615.581.1173
FAX: 615.581.1173
WWW.MBI-ARCH.COM

1482 PARKSIDE DRIVE
KNOXVILLE, TN 37934
PARKSIDE RETAIL
A NEW DEVELOPMENT FOR
DATE: 12/07/2012
DESIGNED BY: CNB
CHECKED BY: CNB
REVIEWED BY: S.D.P.
Comm. No: 20055.05
Revisions:

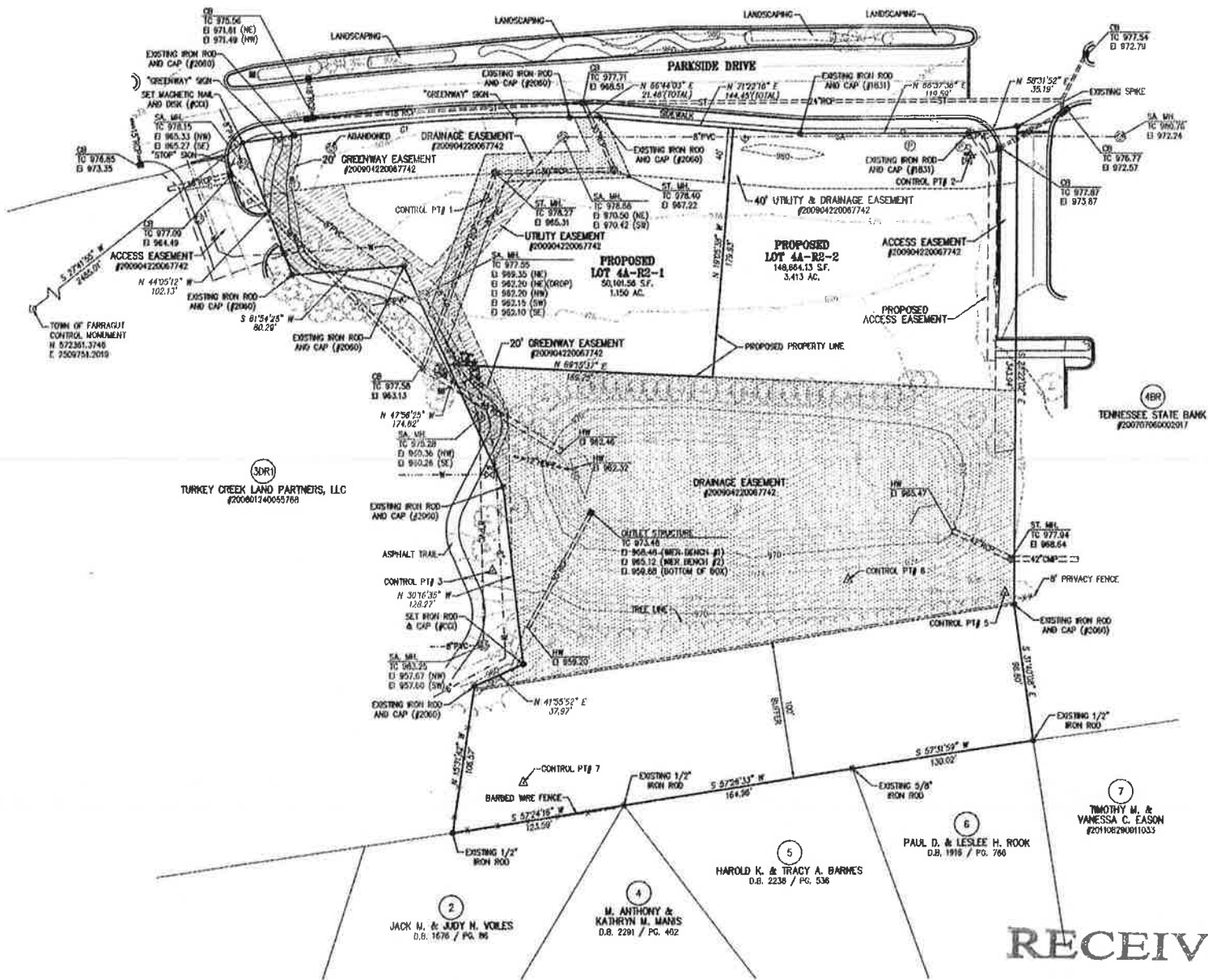
1482 PARKSIDE DRIVE
KNOXVILLE, TN 37934
PARKSIDE RETAIL
A NEW DEVELOPMENT FOR
DATE: 12/07/2012
DESIGNED BY: CNB
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A NEW DEVELOPMENT FOR
DATE: 12/07/2012
DESIGNED BY: CNB
CHECKED BY: CNB
REVIEWED BY: S.D.P.
Comm. No: 20055.05
Revisions:

CURVE TABLE

RADIUS	TANGENT	LENGTH	CHORD
1449.00'	112.00'	235.29'	N 67°00'41" E 235.01'



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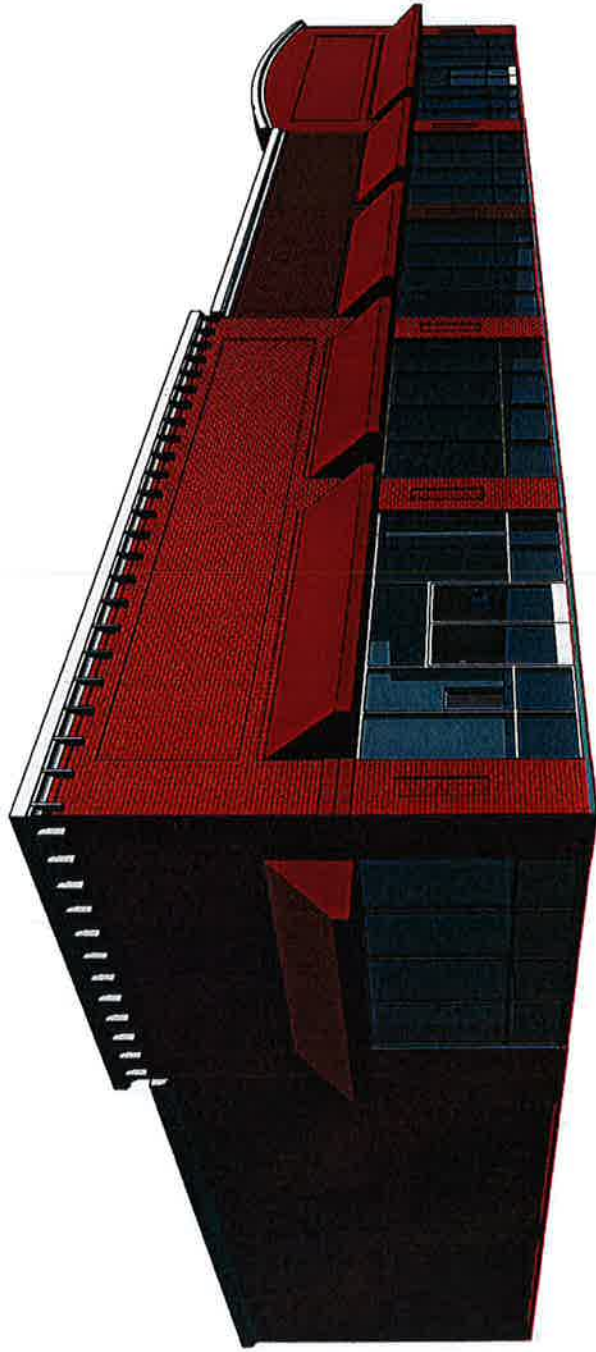
TOWN OF FARRAGUT

SS AND ACCURACY
KEY
is a category 1 survey
of the recorded survey
at Jonesboro, Tenn.
Survey No. 1332

811

Know what's below
Call before you dig





MBI

michael brady inc.
architecture engineering interiors

PARKSIDE RETAIL

12/07/12

Dr. Ralph McGill, *Mayor*
Mary Dorothy LaMarche, *Vice-Mayor*
David Smoak, *Town Administrator*
Allison M. Myers, *Town Recorder*



Jeff Elliott, *Alderman*
Ron Honken, *Alderman*
Robert N. Markli, *Alderman*

November 29, 2012

The Center @ Parkside, LLC
1550 Hwy 126
Bristol, TN 37620

SUBJECT: Staff comments on site plan for Parkside Retail, 11482 Parkside Drive, Farragut

To Whom It May Concern,

The Town staff has reviewed the above referenced site plan for compliance with the Town's regulations. Please address the following items and submit five (5) complete sets of 24" x 36" revised plans and one 8 1/2" x 11" reduced set to the Farragut Town Hall by **Monday, December 10, at 9:00 a.m.** If plans are not resubmitted by the deadline or the items are not adequately addressed, this item will not be placed on the planning commission agenda. Also, upon resubmittal please include a letter which addresses these comments and that indicates where the information can be found on the plans.

Please remember this item will be discussed at the Staff/Developer Meeting at the Farragut Town Hall on Tuesday, December 4, from 9:00 - 9:30 a.m. The purpose of this meeting is to discuss questions you may have on staff comments. Modifications to the plans are not due until Monday, December 10.

Fire Division: (Contact Dan Johnson at 675-2384)

1. Provide the required fire flow and hydrant quantity calculations in accordance with the 2006 IFC appendix B and C. Include these calculations on the drawings;
2. Provide current fire hydrant flow data for closest fire hydrants used to satisfy appendix B and C. Data shall be less than 1 year old and include name of agency performing test, static pressure, residual pressure and flow in GPM. Fire hydrants shall be located so that no accessible exterior point of the structure is in excess of 400' from an approved fire hydrant;
3. Provide required fire lane markings at all fire hydrants and fire department emergency access to the main entrance;
4. Provide main sizes for all water lines serving fire hydrants;
5. Provide written approval from First Utility District of Knox County;

Planning Division: (Contact Ruth Viergutz Hawk at 966-7057)

6. Submit a certified address verification from the Addressing Division of the Knoxville/Knox County Metropolitan Planning Commission;
7. The property is zoned C-1 and B-1. Update the information on the cover sheet and Sheet C1.01, note #4;
8. Indicate a person's name for the property owner;
9. Indicate a person's name for the developer;
10. For the location map, include a larger geographic area so it is easier to determine the site location;
11. Sheet 2 - show proposed property line, lot #'s, etc.
12. The plat will need to be recorded before any approvals are finalized or permits are issued;
13. Sheet C0.02 - plan note #7 should reflect note on plat;
14. Sheet C0.03 - the building perimeter calculation is only based on what is facing the parking lots/driveways (there is approximately 175' vs. 352');
15. Sheet C0.03 - you cannot count the landscape island in meeting the landscaping requirement. Please change accordingly;
16. Sheet C0.03 - lot coverage calculation and diagram - please be sure to include all sidewalks, rip rap in basin, etc.;
17. Sheet C1.01 - indicate/show setback dimensions for buildings and parking lots from property lines and include landscape islands, sidewalks, etc. dimensions;
18. Remove the setback lines on the map portion of the plan. They are incorrect and unnecessarily clutter the map;
19. The bike parking pad cannot encroach into the front 20' perimeter parkway. The bike parking pad should also be flush with the parking lot or a sidewalk;
20. Clearly show the access easement. It may need to be increased in width to accommodate the sidewalk;
21. The parking lot must be setback a minimum of 10' from the access easement;
22. Consider eliminating the sidewalk/landscape island in front of the building and combining with the handicap ramp aisle;
23. The handicap parking spaces must accommodate vans. They should be 8' wide with an 8' wide striped aisle. It appears that you have a total of 24 feet so that the two spaces can be accommodated, it just needs to be striped differently;
24. Add handicap ramps at all sidewalk crossings (Detail 7/C1.01) [except when using Detail 8/C1.01];
25. Is the turn down curb adjacent to all parking spaces except at the handicapped parking spaces? Please clarify;
26. Detail 7/C1.01 - the handicap ramp does not need the side flares with this style because the sidewalk is just sloping down to the driveway grade;
27. Detail 4/C1.01 - indicate the minimum sidewalk width is five (5) feet;

28. All details on Sheets C4.01 and C4.02 should be renumbered per their respective sheet numbers so that they are easier to find and so that they are consistent with the plan references;
29. Include bike rack details;
30. Include a landscape island detail;
31. Consider adding a grease trap in case a restaurant were to occupy one of the tenant spaces;
32. Sheet U1.01 - show the gas line location;
33. Sheet U1.01 - show electric connection to building;
34. Sheet A1.1 isn't necessary as part of the site plan;
35. Sheet A4.1 - indicate the location on the building (near doors) where the addresses will be posted;
36. Would it be possible to submit a color 8 ½" x 11" rendering of the building? This would be very helpful for the planning commissioners;
37. Indicate the color of the building awning;
38. The maximum light pole height is 28' (vs. 30'). Please include a light pole detail and change accordingly;
39. Why is there a light outside the parking lot (NE corner)?
40. Sheet ES1.2 - in the front yard, what does the circle with the P represent?
41. Sheet ES1.2 - in the front yard, what does the circle with the 8.5 represent?
42. Include a detail of the SD1 fixture;
43. Add a plan note stating that no antennas or satellite dishes will be added to the site;
44. Add a note stating that HVAC units will be screened from adjoining properties and rights-of-way;
45. The HVAC units must be screened from rear and both sides of the buildings. Include line of sight drawings from these locations;
46. The dumpster access appears to be an awkward angle to access. Consider realigning;
47. The dumpster is required to be screened. The screening is to be architecturally compatible with the building. Include screening details, bollards, etc.;
48. Consider providing for a people access into the dumpster enclosure;
49. Why is it not applicable to have a truck delivery area?
50. Prior to the issuance of any Certificate of Occupancy, please submit a pdf of the finalized stamped approved site plans;

Tree Preservation/Removal Plan/Landscape Plan: (Contact Mark Shipley at 966-7057)

51. A two-year landscape maintenance Letter of Credit from a local lending institution will be required before a Certificate of Occupancy will be issued;
52. Please number the sheets 1 of .., 2 of .., etc. The civil sheets were numbered correctly but the architect sheets were not;
53. Please sign and seal all sheets and remove reference to "preliminary for review only";

54. Parking lot islands cannot count toward fulfilling the landscaping requirement between the building and parking lot (please revise accordingly) – this will also need to be reflected on the landscape plan;
55. The minimum interior parking lot island width is 5 feet from back of curb to back of curb. The interior islands abutting the sidewalk do not comply and will need to be corrected;
56. A minimum 10 foot wide perimeter parkway (green space) is required on the east end of the property but is not provided on this plan. Please re-visit;
57. The sidewalk abutting the access on the east end of the development needs to have handicap ramps. It is shown as stubbing into curb;
58. A van accessible handicap space must have a minimum 8 foot wide landing area between the two spaces;
59. Crown vetch is an invasive exotic grass that is not permitted. Please remove from grass schedule;
60. It looks like there may be several trees on the north end of the existing detention basin that will be taken out by grade work for this project. As part of the landscape plan that will be required prior to the issuance of a grading permit replacement trees for those trees affected by this project will have to be provided;
61. Your grading plan shows some minor grade alteration behind where the silt fencing is shown on the erosion control plan;
62. Please include a detail of the type of bicycle parking proposed and the dimensions associated with the parking and pad on which they are mounted;
63. Please include mechanical unit visibility perspectives from all adjacent properties and add a note to the plan which states that all HVAC units shall be screened so that they are not visible from adjacent properties or rights of ways;
64. Please include some dimension calls where parking lot curbing is closest to adjacent property lines;
65. A landscape plan must be submitted to and approved by the Visual Resources Review Board prior to the issuance of a grading permit;
66. All dead, required landscaping around the detention basin must be replaced. This needs to be addressed in the landscape plan;

Engineering Division: (Contact Darryl Smith at 966-7057)

67. Submit irrevocable letter of credit for erosion control for \$5,000; and
68. Submit Drainage Fee of \$550.

Please call the designated staff person if you have any questions on the above items. Unless specified otherwise, please include all requested information on the plans. You may note that there are some duplicate comments. This is done so that if you have a question, you know

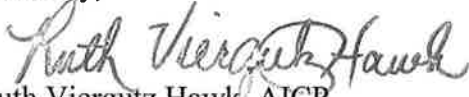
The Center @ Parkside, LLC

11/29/12

Page 5

that you can call either person regarding that particular issue. Also, a foundation survey will be required for the building within ten (10) working days of the footer inspection. An as-built survey of the site is required to verify the setbacks of the parking lot and all other improvements. Once approved, such as-built will need to be submitted in a pdf format. A certification on the lighting will also be required before the issuance of a Certificate of Occupancy.

Sincerely,


Ruth Viergutz Hawk, AICP
Community Development Director


Darryl W. Smith, P.E.
Town Engineer

attachments - Grading Permit Checklist [mailed copy only]
Certificate of Occupancy Checklist [mailed copy only]

pc: Brad Salsbury, Cannon & Cannon, Inc. (E-mail)
Gretchen Barker, Michael Brady, Inc. (E-mail)

MEETING DATE : December 20, 2012

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Ruth Viergutz Hawk, Community Development Director

SUBJECT: Discussion and public hearing on a site plan for Knoxville TVA Employees Credit Union, located on the south side of Parkside Drive between JC Penney and Tennessee State Bank, a portion of Parcel 191.06, Tax Map 130, 1.15 Acres, Zoned C-1 (Knoxville TVA Employees Credit Union, Applicant)

INTRODUCTION: On September 20, 2012, the planning commission heard the rezoning request of this site from O-1-3 to C-1. The rezoning has since been approved by the Board of Mayor and Aldermen. The applicant plans to purchase 1.15 acres of this property. This site lies on the western side of Parcel 191.06 next to the JC Penney.

DISCUSSION: The site plan before you is for a Knoxville TVA Employees Credit Union. The access is from the shared access driveway with the JC Penney. The proposed parking lot will connect with the proposed development to the east. The building includes a drive-thru. Portions of the existing walking trail that connects Parkside Drive to Herron Road are located on this property. Fencing will be placed around the trail to prevent encroachment during the construction phase of this project.

Attached please find a reduced copy of the site plan, an aerial photo of the general area, a picture of what the proposed building will look like, and a letter to the applicant identifying the necessary changes to the site plan.

RECOMMENDATION BY: Staff will make a recommendation at the meeting.

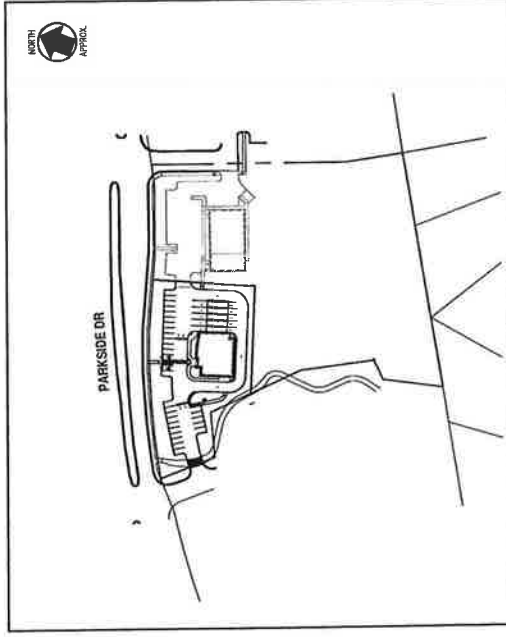
KNOXVILLE TVA EMPLOYEES CREDIT UNION

11482 PARKSIDE DR

FARRAGUT, TENNESSEE 37934

DRAWING INDEX

C0.01 / 1	COVER SHEET
C0.02 / 2	BOUNDARY/TOPOGRAPHIC SURVEY
C0.03 / 3	LOT COVERAGE AND LANDSCAPE AREAS
C0.04 / 4	OVERALL SITE LAYOUT
C1.01 / 5	SITE LAYOUT & PAVING PLAN
C2.01 / 6	SITE GRADING AND DRAINAGE PLAN
C3.01 / 7	INITIAL EROSION CONTROL PLAN
C3.02 / 8	FINAL EROSION CONTROL PLAN
C4.01 / 9	SITE DETAILS
C4.02 / 10	SITE UTILITIES PLAN
U1.01 / 11	EXTERIOR ELEVATIONS - SITE PACKAGE
A4.1 / 12	EXTERIOR ELEVATIONS & DETAILS - SITE PERMITTING
A4.2 / 13	SITE PLAN - PHOTOMETRIC
ES1.2 / 14	LIGHTING FIXTURE CUT SHEETS
ES1.3 / 15	



PROPERTY DATA	
PARCEL COT. MAP NO.	130
PARCEL NUMBERS	191.06
JURISDICTION	TOWN OF FARRAGUT, FW DISTRICT
ZONING	ZONING C-1 (GENERAL COMMERCIAL)
SETBACKS	FRONT: 65' / 80' / 40' SIDE: MINIMUM 20' / TOTAL 60' REAR: 30'
AREA	4.583 AC (TOTAL), 1.150 AC (44-82-1)

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TOWN OF FARRAGUT



PROPERTY OWNER:
KNOXVILLE TVA EMPLOYEES CREDIT UNION
F.O. BOX 10226
KNOXVILLE, TN 37910
CLT MAP 130, PARCELS 191.06
RECORDED ADDRESS: 4.619 AC
TOTAL LOT AREA: 4.583 AC
TOTAL LOT AREA: 1.150 AC
CONTACT: JOHN TUREL

DEVELOPER:
KNOXVILLE TVA EMPLOYEES CREDIT UNION
300 WALL AVENUE
KNOXVILLE, TN 37910
CONTACT: REBECCA LARSON

ARCHITECT:
MICHAEL BERRY, INC.
200 N. KNOXVILLE ROAD
KNOXVILLE, TN 37910
TEL: 603.508-0009
CONTACT: KELLY HARRIS

Cannon & Cannon, Inc.
Civil Engineering & Surveying
100 N. KNOXVILLE ROAD
KNOXVILLE, TN 37910
TEL: 603.508-0009
CONTACT: KELLY HARRIS

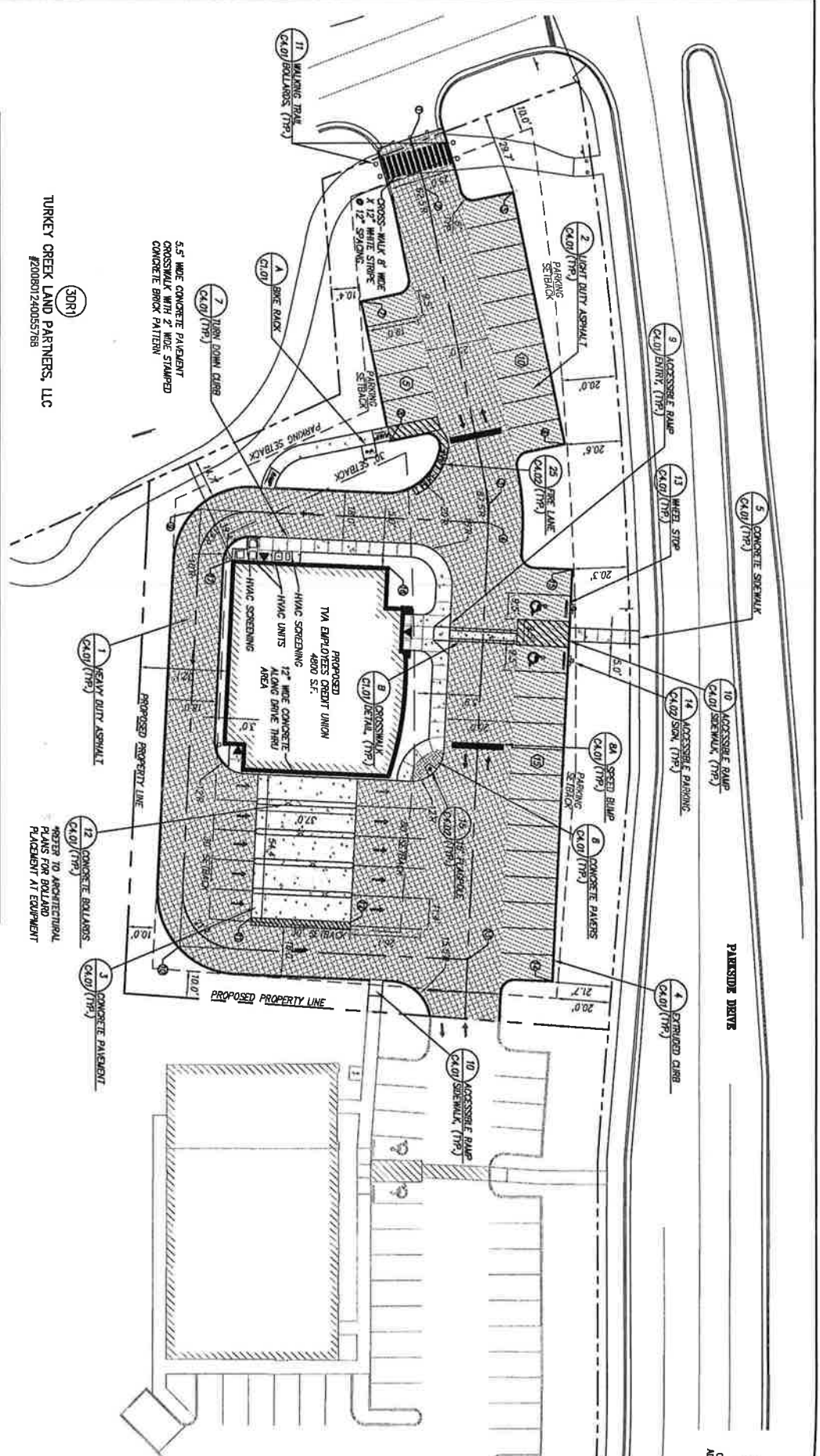
KNOXVILLE TVA EMPLOYEES CREDIT UNION
300 WALL AVENUE
KNOXVILLE, TN 37910
TEL: 603.508-0009
CONTACT: REBECCA LARSON

ARCHITECT:
MICHAEL BERRY, INC.
200 N. KNOXVILLE ROAD
KNOXVILLE, TN 37910
TEL: 603.508-0009
CONTACT: KELLY HARRIS

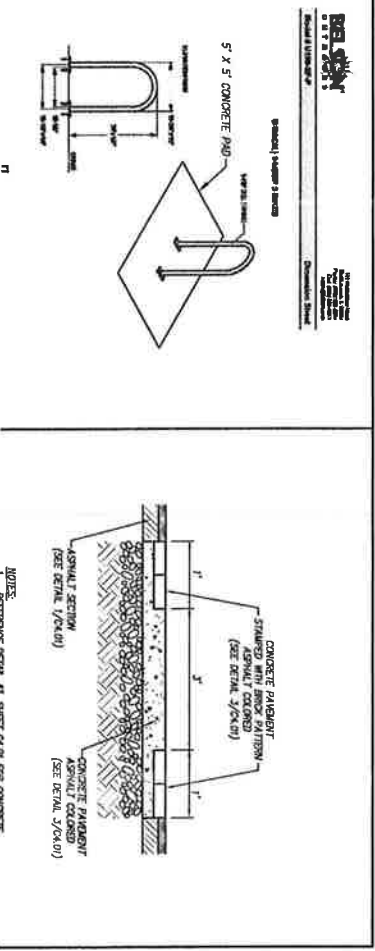
KNOXVILLE TVA EMPLOYEES CREDIT UNION
300 WALL AVENUE
KNOXVILLE, TN 37910
TEL: 603.508-0009
CONTACT: REBECCA LARSON

COVER SHEET

LOT 191.06 AC, 0.0000 AC
RECORDED 10/10/12
CLT MAP 130, PARCELS 191.06
TOTAL LOT AREA: 4.583 AC
TOTAL LOT AREA: 1.150 AC
CONTACT: JOHN TUREL
C0.01
SHEET 1 OF 15



TURKEY CREEK LAND PARTNERS, LLC
#200801240055788



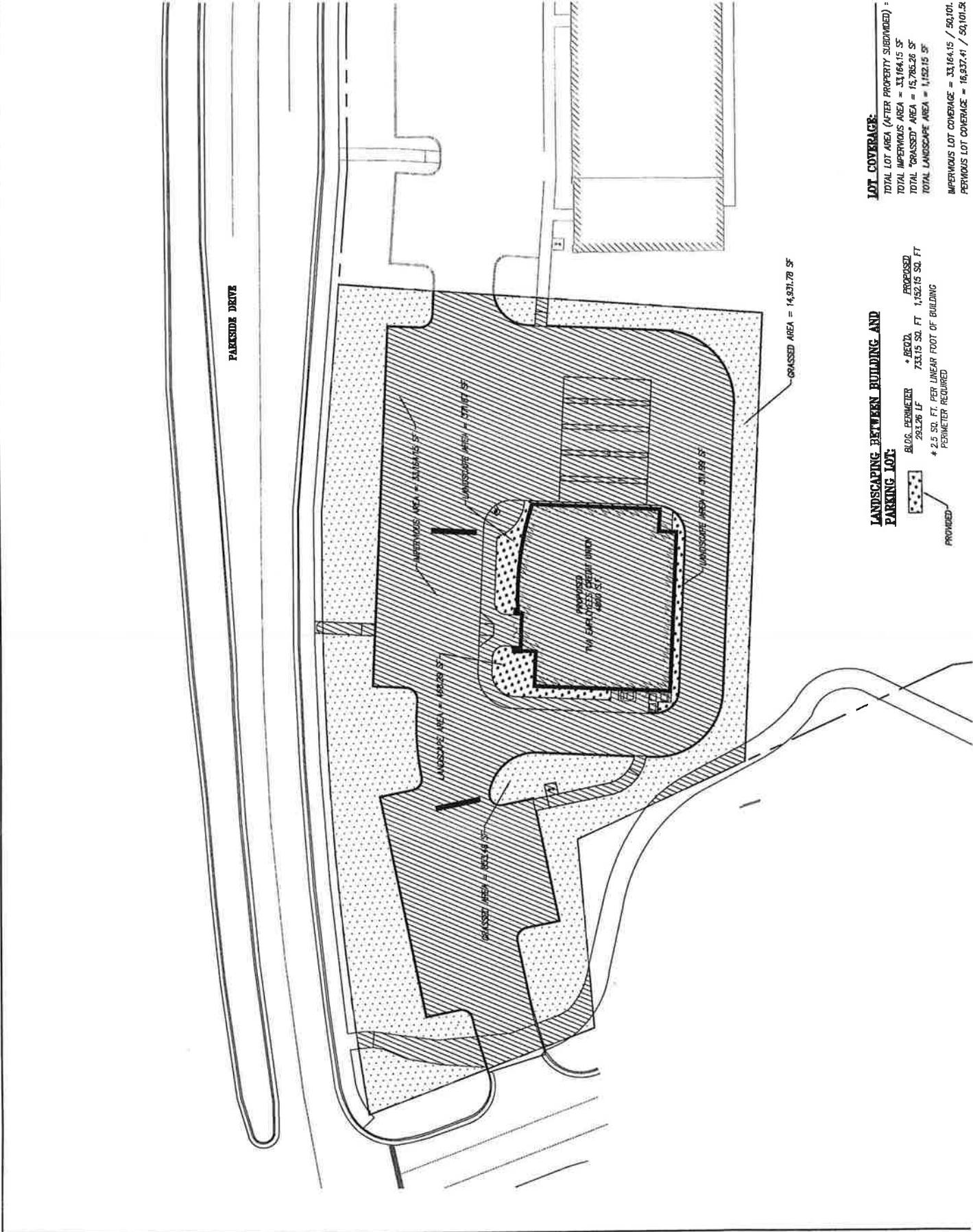
PARKING SUMMARY:

1. THE CALCULATIONS OF BUILDING SQUARE FOOTAGE AND PARKING SPACES ARE AS FOLLOWS:

POINT #	NOTING	EXISTING
1	574593.6130	2011201.7718
2	574592.2010	2011216.5264
3	574593.5805	2011314.4830
4	574633.0143	2011321.1538
5	574612.6938	2011263.1365
6	574671.0432	2011283.1045
7	574671.2008	2011284.3851
8	574607.2513	2011307.4440
9	574652.8108	2011359.0409
10	574610.1392	2011510.3467
11	574630.2233	2011480.0534
12	574664.8392	2011476.3855

COORDINATE TABLE

POINT #	NORTHING	EASTING
1	574593.6130	2011201.7718
2	574592.2010	2011216.5264
3	574593.5805	2011314.4830
4	574633.0143	2011321.1538
5	574612.6938	2011263.1365
6	574671.0432	2011283.1045
7	574671.2008	2011284.3851
8	574607.2513	2011307.4440
9	574652.8108	2011359.0409
10	574610.1392	2011510.3467
11	574630.2233	2011480.0534
12	574664.8392	2011476.3855



LOT COVERAGE:

TOTAL LOT AREA (AFTER PROPERTY SUBDIVISION) = 33,164.15 SQ. FT.

TOTAL IMPERVIOUS AREA = 33,164.15 SQ. FT.

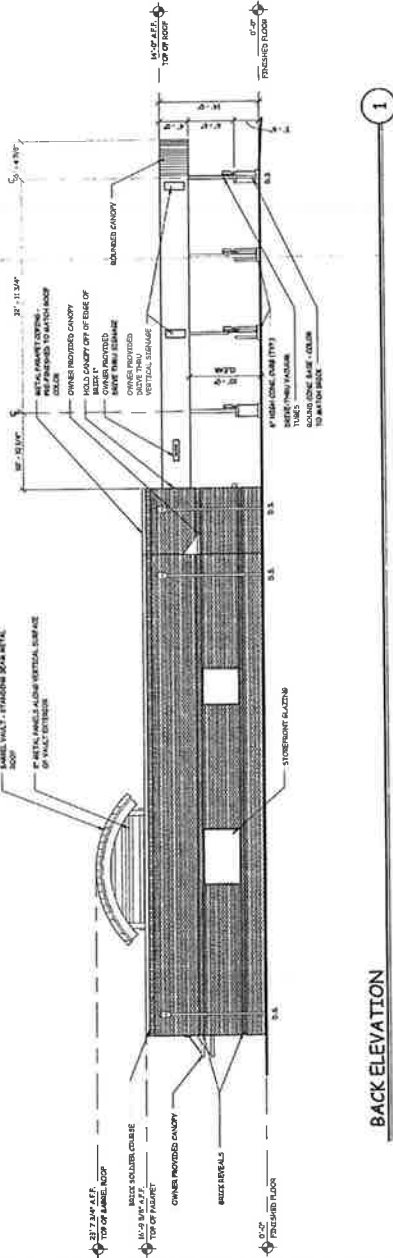
TOTAL "GRASSSED" AREA = 14,931.78 SQ. FT.

TOTAL LANDSCAPE AREA = 1,132.15 SQ. FT.

IMPERVIOUS LOT COVERAGE = 33,164.15 / 50,101.

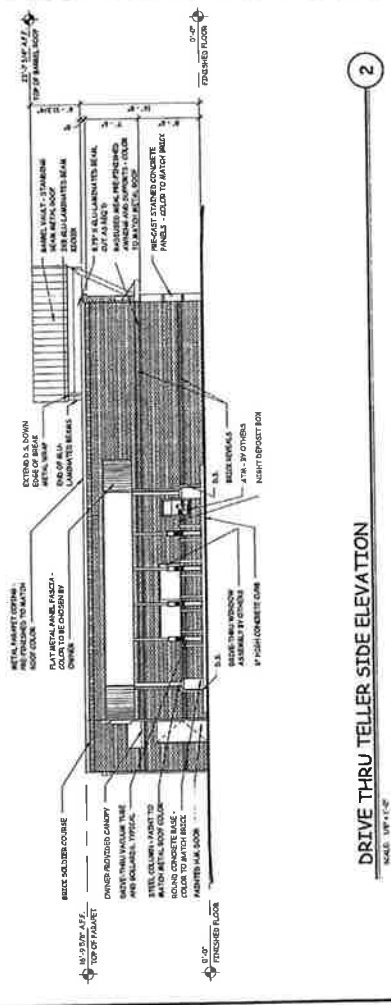
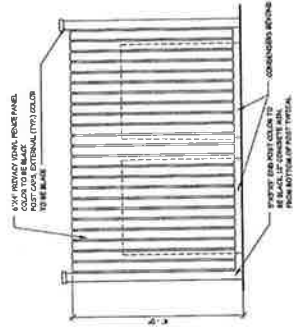
PERVIOUS LOT COVERAGE = 16,937.41 / 50,101.5.

- ### ELEVATION NOTES & BUILDING MATERIALS
1. STANDING SEAM METAL ROOF - BURGUNDY METAL
 2. BRICK - LIGHT BROWN/TAUPE
 3. BRICK - LIGHT BROWN/TAUPE
 4. GLASS - LANTERN GLASS - LIGHT BROWN WOOD
 5. GLASS - LANTERN GLASS - LIGHT BROWN WOOD
 6. NO GARAGE AND/OR BICYCLE RACKS IS NECESSARY FOR THE BRANCH'S NEEDS NOW
 7. NO ANTENNAS AND/OR SATELLITE DISHES WILL BE ADDED TO THE SITE



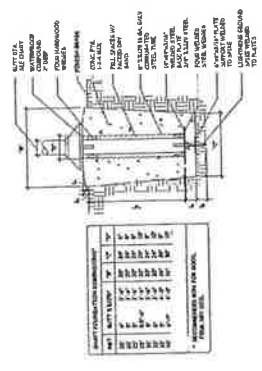
BACK ELEVATION
SCALE: 1/8" = 1'-0"

PVC FENCE SCREENING DETAIL
SCALE: 3/4" = 1'-0"



DRIVE THRU TELLER SIDE ELEVATION
SCALE: 1/8" = 1'-0"

FLAG POLE DETAIL
SCALE: NOT TO SCALE



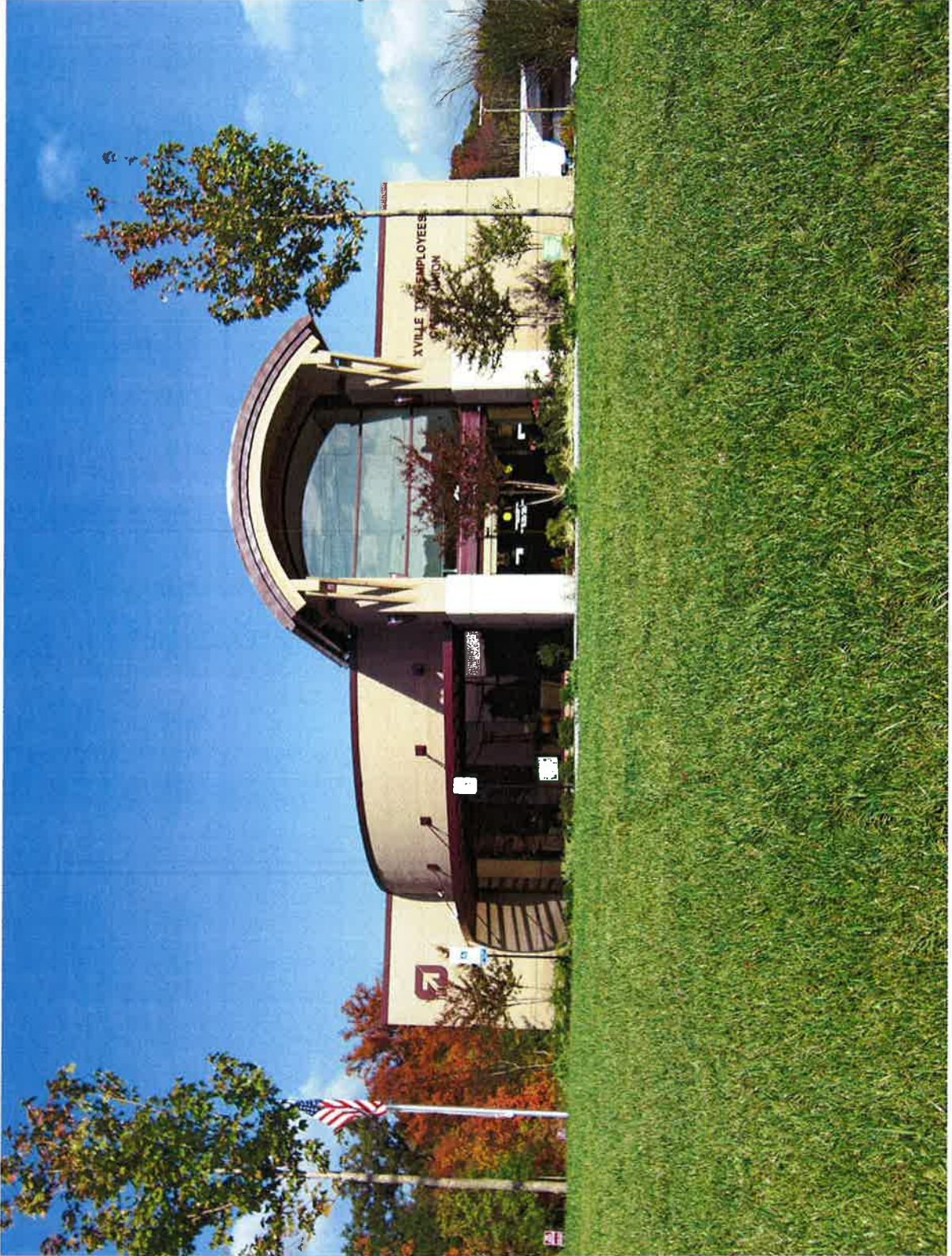
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DEC 10 2012
TOWN OF FARRAGUT

KNOXVILLE TVA EMPLOYEES
CREDIT UNION
11482 PARKSIDE DRIVE
FARRAGUT, TN 37603

THIS DRAWING HAS BEEN REVISIONED
DATE: 12/07/12
DESIGNED BY: K.L.H.
DRAWN BY: D.B.P.
REVIEWED BY: W.B.S.
COMM. NO. 8122388
REVISIONS:

SHEET 13
OF 15
A4.2





Dr. Ralph McGill, *Mayor*
Mary Dorothy LaMarche, *Vice-Mayor*
David Smoak, *Town Administrator*
Allison M. Myers, *Town Recorder*



Jeff Elliott, *Alderman*
Ron Honken, *Alderman*
Robert N. Markli, *Alderman*

November 29, 2012

Ms. Becky Lawson
Knoxville TVA Employees Credit Union
301 Wall Avenue
Knoxville, TN 37902

SUBJECT: Staff comments on site plan for Knoxville TVA Employees Credit Union, 11482
Parkside Drive, Farragut

Dear Ms. Lawson,

The Town staff has reviewed the above referenced site plan for compliance with the Town's regulations. Please address the following items and submit five (5) complete sets of 24" x 36" revised plans and one 8 ½" x 11" reduced set to the Farragut Town Hall by **Monday, December 10, at 9:00 a.m.** If plans are not resubmitted by the deadline or the items are not adequately addressed, this item will not be placed on the planning commission agenda. Also, upon resubmittal please include a letter which addresses these comments and that indicates where the information can be found on the plans.

Please remember this item will be discussed at the Staff/Developer Meeting at the Farragut Town Hall on Tuesday, December 4, from 9:30 - 10:00 a.m. The purpose of this meeting is to discuss questions you may have on staff comments. Modifications to the plans are not due until Monday, December 10.

Fire Division: (Contact Dan Johnson at 675-2384)

1. Provide the required fire flow and hydrant quantity calculations in accordance with the 2006 IFC appendix B and C. Include these calculations on the drawings;
2. Provide current fire hydrant flow data for closest fire hydrants used to satisfy appendix B and C. Data shall be less than 1 year old and include name of agency performing test, static pressure, residual pressure and flow in GPM;
3. Provide required fire lane markings at fire department emergency access at the main entrance;
4. Provide written approval from First Utility District of Knox County;

Planning Division: (Contact Ruth Viergutz Hawk at 966-7057)

5. Submit a certified address verification from the Addressing Division of the Knoxville/Knox County Metropolitan Planning Commission;

6. The property is zoned C-1 and B-1. Update the information on the cover sheet and all associated plan notes [Sheet 2 - note #7 / Sheet 5 - note #3];
7. Indicate a person's name for the property owner;
8. For the location map, include a larger geographic area so it is easier to determine the site location;
9. Sheet 2 - show proposed property line, lot #'s, etc.
10. The plat will need to be recorded before any approvals are finalized or permits are issued;
11. Sheet 5 - indicate/show setbacks of the parking lots from adjacent properties/ROW's;
12. There appears to be a parking lot setback violation in the southwest corner of the parking lot;
13. Tighten the 15.5' radius (west property line), 20' radius (at fire lane), and 12' radius (southeast corner of building) in the parking lot. These areas conflict with pedestrian movement and tightening the radii will keep vehicles speed down;
14. When we meet at the Staff/Developer Meeting, lets discuss the sidewalk at the end of the seven space parking row. Although a pedestrian connection is needed, I question the functionality of that design;
15. Remove the setback lines on the map portion of the plan. They are incorrect and unnecessarily clutter the map;
16. Move the topsoil stockpile away from/out of the trail easement;
17. The bike parking pad cannot be located within the required landscaped island. Please put the bicycle parking closer to the building. Since there are extra parking spaces, consider eliminating one parking space and locating the bicycle rack next to the handicap spaces. The bike parking pad should also be flush with the parking lot or a sidewalk;
18. Fence off the entire trail easement, except at the crossing, with the HVF or chain link fencing;
19. The silt fence needs to be located out of the trail easement. The silt fence needs to be located on the property;
20. Clearly define the extent of the HVF;
21. Detail 10/C1.01 - the handicap ramp does not need the side flares with this style because the sidewalk is just sloping down to the driveway grade;
22. Detail 5/C1.01 - indicate the minimum sidewalk width is five (5) feet;
23. Detail 9/C1.01 - it has recently been brought to our attention that truncated domes are not required at this location;
24. All details on Sheets C4.01 and C4.02 should be renumbered per their respective sheet numbers so that they are easier to find and so that they are consistent with the plan references;
25. Ramp all sidewalk crossings to driveway grad (10/C4.01 detail) [except for 9/C4.01];
26. Does the turndown curb go around the entire building? Please clarify;
27. Include bike rack details;
28. Sheet U1.01 - show the gas line location;

29. Sheet A4.1 - remove all signage;
30. Sheet A4.1 - indicate the location on the building (near door) where the address will be posted;
31. Would it be possible to submit a color 8 ½" x 11" rendering of the building? This would be very helpful for the planning commissioners;
32. Add a plan note stating that no garbage/recycling dumpster is necessary and none will be added to the site;
33. The maximum light pole height is 28' (vs. 30'). Please include a light pole detail and change accordingly;
34. Add a plan note stating that no antennas or satellite dishes will be added to the site;
35. I count a total of 32 parking spaces vs. the indicated 34 parking spaces;
36. Is the black PVC fence for the HVAC screening? Please label;
37. Show the exact location of the HVAC screening on the site plan sheet. As shown now, it does not appear to be compliant;
38. Add a note stating that HVAC units will be screened from adjoining properties and rights-of-way;
39. Sheet A4.2 - the maximum flag pole height is 35'. Please delete references to taller pole requirements;
40. Will any lights be added around the flag pole? If so, please include light fixture details and proposed mounting locations;
41. Prior to the issuance of any Certificate of Occupancy, please submit a pdf of the finalized stamped approved site plans;

Tree Preservation/Removal Plan/Landscape Plan: (Contact Mark Shipley at 966-7057)

42. A two-year landscape maintenance Letter of Credit from a local lending institution will be required before a Certificate of Occupancy will be issued;
43. A landscape plan must be submitted to and approved by the Visual Resources Review Board prior to the issuance of a grading permit;
44. Please number the sheets 1 of .., 2 of .., etc. The civil sheets were numbered correctly but the architect sheets were not;
45. Please sign and seal all sheets;
46. Could you connect the sidewalk below the fire lane on the west side of the building to the existing walking path? As shown the sidewalk terminates into a curb;
47. At a minimum, crosswalk striping will be needed where the existing walking path intersects with the entranceway;
48. Crown vetch is an invasive exotic grass that is not permitted. Please remove from grass schedule;
49. The site has almost twice as many parking spaces as are required. Staff would encourage permeable pavers to be used on the excess spaces;
50. Please include a detail of the type of bicycle parking proposed;

Ms. Becky Lawson

11/29/12

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51. Please omit any non-regulatory signage from the site plan submittal;
52. It appears that the HVAC unit screening is open on the north end which would mean that the HVAC units would be visible from Parkside Drive (which is not permitted). The screening must be installed around all HVAC units so they are not visible from adjacent properties or rights of ways. The staff would also recommend that a shadowbox style of screening be employed so that the units will not be visible and proper ventilation may still be obtained;
53. Please include some dimension calls where parking lot curbing is closest to adjacent property lines;
54. It looks like there may be one tree removed as part of this project. This tree will need to be replaced with a comparable tree. Tree protection fencing may be needed behind the silt fence to protect the trees on the north end of the detention basin;

Engineering Division: (Contact Darryl Smith at 966-7057)

55. Submit irrevocable letter of credit for erosion control for \$7000; and
56. Submit Drainage Fee of \$665.

Please call the designated staff person if you have any questions on the above items. Unless specified otherwise, please include all requested information on the plans. You may note that there are some duplicate comments. This is done so that if you have a question, you know that you can call either person regarding that particular issue. Also, a foundation survey will be required for the building within ten (10) working days of the footer inspection. An as-built survey of the site is required to verify the setbacks of the parking lot and all other improvements. Once approved, such as-built will need to be submitted in a pdf format. A certification on the lighting will also be required before the issuance of a Certificate of Occupancy.

Sincerely,



Ruth Viergutz Hawk, AICP
Community Development Director



Darryl W. Smith, P.E.
Town Engineer

attachments - Grading Permit Checklist [mailed copy only]
Certificate of Occupancy Checklist [mailed copy only]

pc: Brad Salsbury, Cannon & Cannon, Inc. (E-mail)
Kelley Hicks, Michael Brady, Inc. (E-mail)

MEETING DATE : December 20, 2012

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Ruth Viergutz Hawk, Community Development Director

SUBJECT: Discussion and public hearing on an amendment to the Farragut Zoning Ordinance, Chapter 4., to create a Grand Opening Special Events Permit section

INTRODUCTION: During the past year the Town has updated the Special Events Permit requirements, has created a new Group Based Outdoor Sales Permit, and updated the Celebratory Gatherings, Concerts, Parades, Races, Demonstrations, Public Assemblies, Block Parties and Picketing ordinance. The Farragut Business Alliance (FBA) and the business community have participated in each of these ordinance updates.

Since the adoption of these ordinances, business owners have come to the FBA regarding the need for a separate ordinance for Grand Openings. The staff and FBA hosted a public meeting on October 11, 2012, to garner input from businesses regarding this new ordinance.

DISCUSSION: When a new business opens, they often rely on extra signage to get the message out that they are here and open for business. Through the Special Events Permit process, businesses are eligible for four (4) Special Events per year. A 20 square foot sign can be posted as part of each Special Event. The intent behind the signs used for Special Events is that they can be used repeatedly and that they can help brand the Shop Farragut program. Such signs, however, do not convey that the business is new and is now open.

Although the Costco's, JC Penney's, and the like make a big splash in the news when they open, the bulk of our new businesses are smaller, locally owned enterprises. Such new businesses find it financially straining to purchase a Grand Opening sign which can only be used once.

Following is a summary of the parameters of the new Grand Opening Special Events Permit ordinance:

- Town would purchase "Grand Opening" signs
- Applicant would pay a deposit to use one of the Town's "Grand Opening" signs (refundable if no damage to the sign)
- Signs would be dark blue with white letters

- The corner of the sign (approximately 15% of sign area) would be blank with clear Velcro. Users could personalize the sign with additional information that could be added in that corner
- The Grand Opening signs would be a minimum ten millimeter (10mm) corrugated plastic, affixed to studded T-posts, and affixed in such a manner that they would not move in the wind.
- Sign Size – 32 square feet
- Maximum posted/mounted sign height of six (6) feet
- Signs shall be set back a minimum of twenty (20) feet from the edge of pavement as measured from the farthest most protrusion of the sign to the nearest point of the street edge of pavement. Signs shall be set back a minimum of ten (10) feet from all entrance driveways.
- 20 day maximum for posting grand opening sign [If the 20 day time frame is exceeded, the business would lose their deposit and lose a Special Event permit for the calendar year]
- Sign could not be posted until the business is actually open
- One “Grand Opening” sign per each street on which the lot, parcel, or tract fronts. When more than one “Grand Opening” sign is permitted, such signs shall be a minimum of one hundred fifty (150) feet apart
- In addition to the “Grand Opening” sign, the business could also have the 20 square feet special event sign. This sign would be owned by the business and they could use it in the future.
- The Grand Opening would not count toward their 4 Special Events

We all know that good customer service, not large signs, is the key to success for any business. Our goal with this ordinance, however, is to help give new businesses some additional publicity so that they have greater opportunity to showcase their business and customer service, which in turn will bring back repeat customers.

Attached please find a copy of Resolution PC-12-13 and Ordinance 12-19.

RECOMMENDATION BY: Staff recommends approval of Resolution PC-12-13, which recommends approval of Ordinance 12-19 and the Zoning Ordinance text amendment to the Board of Mayor and Aldermen.

RESOLUTION PC-12-13

FARRAGUT MUNICIPAL PLANNING COMMISSION

A RESOLUTION TO APPROVE AN AMENDMENT TO THE TEXT OF THE FARRAGUT ZONING ORDINANCE, ORDINANCE 86-16, AS AMENDED, PURSUANT TO AUTHORITY GRANTED BY SECTION 13-4-201, TENNESSEE CODE ANNOTATED, BY AMENDING CHAPTER 4. BY ADDING SECTION XXIX. GRAND OPENING SPECIAL EVENTS PERMIT, TO ESTABLISH REQUIREMENTS FOR GRAND OPENING SPECIAL EVENTS

WHEREAS, the Tennessee Code Annotated, Section 13-4-201 et seq, provides that the Municipal Planning Commission shall make and adopt a general plan for the physical development of the municipality; and

WHEREAS, the Farragut Municipal Planning Commission has adopted various elements of a zoning plan as an element of the general plan for physical development; and

WHEREAS, a public hearing was held on this request on December 20, 2012;

NOW, THEREFORE, BE IT RESOLVED that the Farragut Municipal Planning Commission hereby recommends approval to the Farragut Board of Mayor and Aldermen of an ordinance, amending Ordinance 86-16, of the Farragut Zoning Ordinance, by adding Ordinance 12-19.

ADOPTED this 20th day of December, 2012.

Rita Holladay, Chairman

Edwin K. Whiting, Secretary

ORDINANCE:	12-19
PREPARED BY:	Hawk
REQUESTED BY:	Staff
CERTIFIED BY FMPC:	December 20, 2012
PUBLIC HEARING:	_____
PUBLISHED IN:	_____
DATE:	_____
1ST READING:	_____
2ND READING:	_____
PUBLISHED IN:	_____
DATE:	_____

AN ORDINANCE TO AMEND THE TEXT OF THE ZONING ORDINANCE OF THE TOWN OF FARRAGUT, TENNESSEE, ORDINANCE 86-16, AS AMENDED, BY AMENDING CHAPTER 4. BY ADDING SECTION XXIX. GRAND OPENING SPECIAL EVENTS PERMIT, TO ESTABLISH REQUIREMENTS FOR GRAND OPENING SPECIAL EVENTS, AS AUTHORIZED PURSUANT TO SECTION 13-4-201, TENNESSEE CODE ANNOTATED.

BE IT ORDAINED by the Board of Mayor and Aldermen of the Town of Farragut, Tennessee, that the Farragut Zoning Ordinance, Ordinance 86-16, as amended, is hereby amended as follows:

SECTION 1.

Chapter 4. General Provisions and Exceptions, is amended by adding the following:

XXIX. GRAND OPENING SPECIAL EVENTS PERMIT

It is the intent of this section to establish the permitting process and the requirements for grand opening special events held by commercial entities within the Town of Farragut. The purpose of this grand opening special events permit is to help give new businesses additional publicity so that they have greater opportunity to showcase their business and customer service, which in turn will bring back repeat customers to their business.

A. General Requirements

ORDINANCE 12-19

Page 2

1. Each individual permanent commercial entity located within the General Commercial District (C-1), the Regional Commercial District (C-2), or the Planned Commercial Development District (PCD) is eligible for a grand opening special events permit.
2. A commercial entity is eligible for one grand opening special events permit when such entity is opening for business for the first time at a particular location.
3. The duration of each grand opening special event shall not exceed twenty (20) calendar days.

B. Sign Requirements

1. In order to brand the grand opening events and to increase the recognizability of grand opening signs, all grand opening signs shall be town owned.
2. Upon payment of a security/damage deposit, the Town of Farragut shall provide grand opening sign(s) to the applicant. The town's grand opening signs shall be dark blue with white letters, shall be thirty-two (32) square feet, and shall be a minimum ten millimeter (10 mm) corrugated plastic. The corner of the sign will remain blank so that users can personalize the sign with additional information.
3. There shall be a maximum of one (1) grand opening sign per each street on which the lot, parcel, or tract fronts. When more than one grand opening sign is permitted, such signs shall be a minimum of one hundred fifty (150) feet apart.
4. In addition to the grand opening sign, the commercial entity may also have a twenty (20) square foot special event sign. Such special event sign shall comply with the sign requirements established in Chapter 4. Section XXIV. Special Events Permit, of this ordinance.
5. For ground mounted signs, the maximum sign height shall be six (6) feet.
6. Signs shall be set back a minimum of twenty (20) feet from the street edge of pavement as measured from the farthest most protrusion of the sign to the nearest point of the street edge of pavement. Signs shall be set back a minimum of ten (10) feet from all entrance driveways.
7. Ground mounted signs shall be affixed to studded T-posts and affixed in such a manner that they do not move in the wind.

ORDINANCE 12-19

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8. Signs shall not be posted until the commercial entity is open for business.
9. All signs and any associated support posts shall be removed at the end of the grand opening special event. If the permitted time frame is exceeded, the commercial entity shall lose their deposit and lose a special event permit for the calendar year.

C. Permitting Process

A grand opening special events permit application and filing fee and security/damage deposit shall be submitted to the Town Hall prior to the commencement of the event. The applicant must have an approved permit in hand prior to holding the event.

All grand opening special event permit applications shall include the following information:

1. Applicant's name, street address, telephone number, fax number, and e-mail address.
2. Name, street address, telephone number, fax number, e-mail address, and signature of individual identified who assumes the responsibility of meeting the conditions of the permit.
3. Location of event.
4. Date range of event.
5. If applicable, a drawing of the separate special event sign which includes dimensions that show the length and width of the sign, the height and width of all letters and figures, and the overall height of the sign.

SECTION 2.

This ordinance shall take effect from and after its final passage and publication, the public welfare requiring it.

Dr. Ralph McGill, Mayor

ORDINANCE 12-19

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Allison Myers, Town Recorder

Certified to the Farragut Board of Mayor and Aldermen this ____ day of _____,
2012, with approval recommended.

Rita Holladay, Chairman

Edwin K. Whiting, Secretary

FARRAGUT MUNICIPAL PLANNING COMMISSION

MEETING DATE : December 20, 2012

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Ruth Viergutz Hawk, Community Development Director

SUBJECT: Discussion and public hearing on an amendment to the Farragut Zoning Ordinance, Chapter 4., Section XIII. Outdoor Site Lighting, to establish wall mounted light heights and require glare shields

INTRODUCTION: This amendment was initiated at the planning commission workshop session during the discussion of the four-story business district.

DISCUSSION: Because the town is now allowing taller buildings, there is a greater possibility of having wall lights mounted well above adjacent ground elevations. The planning commission decided that the mounting height of wall lights should be limited to fifteen (15) feet. This mounting height accommodates lighting at building entrances and adjacent walkways, but limits the negative glare onto adjacent properties and rights-of-ways.

A second concern is that when adjacent properties are below the parking lot elevation, even compliant pole lights can cast negative light and glare onto the adjacent properties. At staff's request, Costco willingly added such exterior glare shields to their pole lights in order to protect the adjacent Powell Acres residences. We are now addressing complaints from residents adjacent to the Publix complex. Like Powell Acres, these residences are located below the adjacent parking lot elevation. We are working with the Publix developers to add similar exterior glare shields to their light pole fixtures. This proposed amendment also addresses this concern by requiring exterior glare shields when adjacent residentially zoned property are located below the parking lot elevation.

Attached please find a copy of Section XIII. Outdoor Site Lighting of Chapter 4 of the Farragut Zoning Ordinance with the proposed text amendment in red. Also attached please find a copy of Resolution PC-12-14 and Ordinance 12-20.

RECOMMENDATION BY: Staff recommends approval of Resolution PC-12-14, which recommends approval of Ordinance 12-20 and the Zoning Ordinance text amendment to the Board of Mayor and Aldermen.

XIII. - Outdoor site lighting.

It is the intent of this section to establish outdoor lighting requirements that reduce the negative effects of lighting, but at the same time address the need for adequate lighting for safety and visibility concerns. The following requirements shall apply to all developments and/or facilities, excluding single-family and two-family dwellings and street lighting. In no case, however, shall any light shine or glare so as to create a traffic safety hazard on any adjacent properties, rights-of-way, access easements, or driveways.

A. *Performance standards and criteria.*

1. No lights shall shine or glare directly onto adjacent properties, right-of-ways, access easements, or driveways. For the purposes of this ordinance, glare shall be defined as any brightness within the field of vision of such a character as to cause annoyance, discomfort, interference with vision, or loss in visual performance and visibility.
2. The maximum number of footcandles at a property line that is adjacent to non-commercial or non-office zoned land shall be 0.5 footcandles. The maximum number of footcandles at a street right-of-way or a property line that is adjacent to commercial or office zoned land shall be 3.0 footcandles.
3. Light poles, including any supporting base, shall not exceed twenty-eight (28) feet in height. The height shall be measured from the ground to the top of the pole.

If an existing development is expanding, existing light poles are taller than twenty-eight (28) feet, and new light poles are to be added as part of the expansion to the project, the planning commission may approve a light pole taller than twenty-eight (28) feet so as to match the existing light poles if it can be shown that the taller light pole will not create any negative effects on any adjacent properties, right-of-ways, access easements, or driveways. In no case shall new light poles exceed the height of the existing light poles or forty (40) feet in height, whichever is less.

4. All pole lights shall be directed toward the ground. No portion of the bulb or the globe/glass/plastic surrounding the bulb shall protrude from the light box/housing. The shoebox style fixture shall be used unless it can be shown that a different style would be equivalent to or better than these requirements. If the pole lights are located adjacent to property zoned residential or agriculture and such land is below the pole base elevation, exterior glare shields shall be added to the pole lights.

5. Unless specified elsewhere in this ordinance, all wall lights shall be directed toward the ground. No portion of the bulb or the globe/glass/plastic surrounding the bulb shall protrude from the light box/housing. The wedge style fixture shall be used unless it can be shown that a different style would be equivalent to or better than these requirements. The maximum mounting height on the wall for all wall lights shall be fifteen (15) feet.

Decorative wall mounted lights may be used in lieu of a wedge style or comparable fixture provided they are located at public entrance ways into the building, the globe/glass/plastic are frosted/milky/white acrylic, the bulbs are frosted or yellow, the bulbs do not protrude from the globe/glass/plastic, and the maximum total wattage shall be fifty (50) watts (standard bulb).

6. All ground-mounted lights, whether used to illuminate a building or a sign, shall be designed to minimize light that does not illuminate the target area. Blinders, or some other type of protectors, may be required to be placed on the lights so as to direct the beam away from adjacent properties, rights-of-way, access easements, or driveways.

7. Lights located under gasoline service station canopies, canopies for bank automatic teller machines, and other such similar canopies shall be recessed into the structure ceiling and shall use light shields so as to prevent glare. No portion of the bulb or the glass/plastic surrounding the bulb shall protrude from the structure ceiling unless it can be shown that a different style would be equivalent to or better than these requirements.

8. All electrical lines servicing all lights shall be underground.

RESOLUTION PC-12-14

FARRAGUT MUNICIPAL PLANNING COMMISSION

A RESOLUTION TO APPROVE AN AMENDMENT TO THE TEXT OF THE FARRAGUT ZONING ORDINANCE, ORDINANCE 86-16, AS AMENDED, PURSUANT TO AUTHORITY GRANTED BY SECTION 13-4-201, TENNESSEE CODE ANNOTATED, BY AMENDING CHAPTER 4., SECTION XIII. OUTDOOR SITE LIGHTING, TO ESTABLISH WALL MOUNTED LIGHT HEIGHTS AND REQUIRE GLARE SHIELDS

WHEREAS, the Tennessee Code Annotated, Section 13-4-201 et seq, provides that the Municipal Planning Commission shall make and adopt a general plan for the physical development of the municipality; and

WHEREAS, the Farragut Municipal Planning Commission has adopted various elements of a zoning plan as an element of the general plan for physical development; and

WHEREAS, a public hearing was held on this request on December 20, 2012;

NOW, THEREFORE, BE IT RESOLVED that the Farragut Municipal Planning Commission hereby recommends approval to the Farragut Board of Mayor and Aldermen of an ordinance, amending Ordinance 86-16, of the Farragut Zoning Ordinance, by adding Ordinance 12-20.

ADOPTED this 20th day of December, 2012.

Rita Holladay, Chairman

Edwin K. Whiting, Secretary

ORDINANCE:	12-20
PREPARED BY:	Hawk
REQUESTED BY:	Staff
CERTIFIED BY FMPC:	December 20, 2012
PUBLIC HEARING:	_____
PUBLISHED IN:	_____
DATE:	_____
1ST READING:	_____
2ND READING:	_____
PUBLISHED IN:	_____
DATE:	_____

AN ORDINANCE TO AMEND THE TEXT OF THE ZONING ORDINANCE OF THE TOWN OF FARRAGUT, TENNESSEE, ORDINANCE 86-16, AS AMENDED, BY AMENDING CHAPTER 4., SECTION XIII. OUTDOOR SITE LIGHTING, TO ESTABLISH WALL MOUNTED LIGHT HEIGHTS AND REQUIRE GLARE SHIELDS, AS AUTHORIZED PURSUANT TO SECTION 13-4-201, TENNESSEE CODE ANNOTATED.

BE IT ORDAINED by the Board of Mayor and Aldermen of the Town of Farragut, Tennessee, that the Farragut Zoning Ordinance, Ordinance 86-16, as amended, is hereby amended as follows:

SECTION 1.

Chapter 4. General Provisions and Exceptions, Section XIII. Outdoor Site Lighting, 4., is amended by deleting it in its entirety and substituting in lieu thereof the following:

4. All pole lights shall be directed toward the ground. No portion of the bulb or the globe/glass/plastic surrounding the bulb shall protrude from the light box/housing. The shoebox style fixture shall be used unless it can be shown that a different style would be equivalent or better than these requirements. If the pole lights are located adjacent to property zoned residential or agriculture and such land is below the pole base elevation, exterior glare shields shall be added to the pole lights.

SECTION 2.

Chapter 4. General Provisions and Exceptions, Section XIII. Outdoor Site Lighting, 5., is amended by deleting it in its entirety and substituting in lieu thereof the following:

ORDINANCE 12-20

Page 2

5. Unless specified elsewhere in this ordinance, all wall lights shall be directed toward the ground. No portion of the bulb or the globe/glass/plastic surrounding the bulb shall protrude from the light box/housing. The wedge style fixture shall be used unless it can be shown that a different style would be equivalent to or better than these requirements. The maximum mounting height on the wall for all wall lights shall be fifteen (15) feet.

SECTION 3.

This ordinance shall take effect from and after its final passage and publication, the public welfare requiring it.

Dr. Ralph McGill, Mayor

Allison Myers, Town Recorder

Certified to the Farragut Board of Mayor and Aldermen this _____ day of _____, 2012, with approval recommended.

Rita Holladay, Chairman

Edwin K. Whiting, Secretary

FARRAGUT MUNICIPAL PLANNING COMMISSION

MEETING DATE : December 20, 2012

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Ruth Viergutz Hawk, Community Development Director

SUBJECT: Discussion and public hearing on an amendment to the Farragut Zoning Ordinance, Chapter 4., Section I. Accessory Structures, to require HVAC screening to be architecturally compatible and to rename section to Accessory Structures and Uses

INTRODUCTION: The first portion of this amendment was initiated by the planning commission during the discussion of the four-story business district. The second portion of this amendment is a staff initiated amendment to the Zoning Ordinance text.

DISCUSSION: Our current HVAC screening requirements state that all units shall be screened with opaque materials and shall not be visible from adjacent properties or rights-of-way. The planning commission decided that the HVAC screening should not just be opaque, but should also be architecturally compatible with the principal building. We currently require this architectural compatibility of dumpster enclosures. This amendment would treat the two accessory structures/uses the same.

The second portion of this amendment deals with Section I's title name, which is "Accessory Structures". In July, 2012, Danny Kirby submitted a request to the Farragut Board of Zoning Appeals (BZA) for administrative review of the Town staff's application of the requirement to screen the HVAC units at the Farragut Public Market. The BZA ruled that the staff did not err in the application of the zoning ordinance in this regard and that the HVAC units were required to be screened.

In order to clarify the intent of this section of the ordinance, staff is proposing that this section be renamed to "Accessory Structures and Uses". This would ensure that HVAC units and dumpsters are required to be screened whether someone considers them an accessory use or an accessory structure.

Since we are amending this section, I have also added the term "compactors" when referencing garbage dumpsters and recycling containers. The ordinance has always been interpreted to include compactors and adding the term clarifies the ordinance's intent.

Attached please find a copy of Section I. Accessory Structures of Chapter 4 of the Farragut Zoning Ordinance with the proposed text amendments in red. Also attached please find a copy of Resolution PC-12-15 and Ordinance 12-21.

RECOMMENDATION BY: Staff recommends approval of Resolution PC-12-15, which recommends approval of Ordinance 12-21 and the Zoning Ordinance text amendment to the Board of Mayor and Aldermen.

I. - Accessory structures and uses.

It is the intent of this section to establish the development requirements specific to accessory structures and uses.

- A. *General provisions.* No accessory structure, excluding fences, detention basin structures, and retaining walls, shall be placed within any utility, drainage, or construction easement.
- B. *Requirements on specified accessory structures for non-single-family and non-two-family residential uses.*

- 1. *Garbage dumpsters, compactors, and recycling containers.*

- a. Garbage dumpsters and recycling containers shall be screened with opaque walls and gates. Such gates and walls shall be architecturally compatible with the principal building located on the same lot; and
 - b. Garbage dumpsters and recycling containers shall be set back a minimum of forty (40) feet from the nearest point of any right-of-way and a minimum of ten (10) feet from all side and rear property lines.

- 2. *Heating, ventilation, air conditioning, and mechanical units*

Such units shall be screened with opaque materials and shall not be visible from adjacent properties or rights-of-way. Such screening shall be architecturally compatible with the building the units are serving.

- 3. *Retaining walls.*

- a. Retaining walls shall be designed and constructed per the adopted building code. Plans must be submitted to and approved by the Town Engineer;
 - b. Retaining walls shall not be constructed within any required buffer strip; and
 - c. Retaining walls shall be set back a minimum of ten (10) feet from the nearest point of any right-of-way and all side and rear property lines.

- C. *Requirements for retaining walls for single-family and two-family residential uses.*

RESOLUTION PC-12-15

FARRAGUT MUNICIPAL PLANNING COMMISSION

A RESOLUTION TO APPROVE AN AMENDMENT TO THE TEXT OF THE FARRAGUT ZONING ORDINANCE, ORDINANCE 86-16, AS AMENDED, PURSUANT TO AUTHORITY GRANTED BY SECTION 13-4-201, TENNESSEE CODE ANNOTATED, BY AMENDING CHAPTER 4., SECTION I. ACCESSORY STRUCTURES, TO RENAME THE SECTION TO ACCESSORY STRUCTURES AND USES AND TO REQUIRE HVAC SCREENING TO BE ARCHITECTURALLY COMPATIBLE

WHEREAS, the Tennessee Code Annotated, Section 13-4-201 et seq, provides that the Municipal Planning Commission shall make and adopt a general plan for the physical development of the municipality; and

WHEREAS, the Farragut Municipal Planning Commission has adopted various elements of a zoning plan as an element of the general plan for physical development; and

WHEREAS, a public hearing was held on this request on December 20, 2012;

NOW, THEREFORE, BE IT RESOLVED that the Farragut Municipal Planning Commission hereby recommends approval to the Farragut Board of Mayor and Aldermen of an ordinance, amending Ordinance 86-16, of the Farragut Zoning Ordinance, by adding Ordinance 12-21.

ADOPTED this 20th day of December, 2012.

Rita Holladay, Chairman

Edwin K. Whiting, Secretary

ORDINANCE:	12-21
PREPARED BY:	Hawk
REQUESTED BY:	Staff
CERTIFIED BY FMPC:	December 20, 2012
PUBLIC HEARING:	_____
PUBLISHED IN:	_____
DATE:	_____
1ST READING:	_____
2ND READING:	_____
PUBLISHED IN:	_____
DATE:	_____

AN ORDINANCE TO AMEND THE TEXT OF THE ZONING ORDINANCE OF THE TOWN OF FARRAGUT, TENNESSEE, ORDINANCE 86-16, AS AMENDED, BY AMENDING CHAPTER 4., SECTION I. ACCESSORY STRUCTURES, TO RENAME SECTION TO ACCESSORY STRUCTURES AND USES AND TO REQUIRE HVAC SCREENING TO BE ARCHITECTURALLY COMPATIBLE, AS AUTHORIZED PURSUANT TO SECTION 13-4-201, TENNESSEE CODE ANNOTATED.

BE IT ORDAINED by the Board of Mayor and Aldermen of the Town of Farragut, Tennessee, that the Farragut Zoning Ordinance, Ordinance 86-16, as amended, is hereby amended as follows:

SECTION 1.

Chapter 4. General Provisions and Exceptions, Section I. Accessory Structures, is amended by renaming the section to Section I. Accessory Structures and Uses.

SECTION 2.

Chapter 4. General Provisions and Exceptions, Section I. Accessory Structures, is amended by deleting the introductory paragraph in its entirety and substituting in lieu thereof the following:

It is the intent of this section to establish the development requirements specific to accessory structures and uses.

ORDINANCE 12-21

Page 2

SECTION 3.

Chapter 4. General Provisions and Exceptions, Section I. Accessory Structures, B., 1., is amended by adding the term “compactors” so as to read as follows:

1. Garbage dumpsters, compactors, and recycling containers

SECTION 4.

Chapter 4. General Provisions and Exceptions, Section I. Accessory Structures, B., 2., is amended by deleting it in its entirety and substituting in lieu thereof the following:

2. Heating, Ventilation, Air Conditioning, and Mechanical Units

Such units shall be screened with opaque materials and shall not be visible from adjacent properties or rights-of-ways. Such screening shall be architecturally compatible with the building the units are serving.

SECTION 5.

This ordinance shall take effect from and after its final passage and publication, the public welfare requiring it.

Dr. Ralph McGill, Mayor

Allison Myers, Town Recorder

ORDINANCE 12-21

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Certified to the Farragut Board of Mayor and Aldermen this _____ day of _____,
2012, with approval recommended.

Rita Holladay, Chairman

Edwin K. Whiting, Secretary

FARRAGUT MUNICIPAL PLANNING COMMISSION

MEETING DATE : December 20, 2012

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Ruth Viergutz Hawk, Community Development Director

SUBJECT: Discussion and public hearing on a request to amend the Farragut Zoning Ordinance, Chapter 3, Section XVI., to create a new four-story business zoning district, entitled Business District, Four-Story (BD-4) (Myers Bros. Holdings, Applicant)

INTRODUCTION: The Myers Bros. Holdings, owner of Renaissance development, have requested the creation of a new commercial zoning district that would allow for four story construction with reduced building setback requirements.

DISCUSSION: Staff met with the applicants on two occasions to discuss the proposed zoning district and we discussed it extensively at the last two planning commission meetings. In summary, at the last planning commission meeting, the following items were agreed upon:

- Amend the Outdoor Site Lighting ordinance to restrict the mounting height of wall mounted lights to 15’;
- Prohibit drive-through window/lanes for restaurants;
- Amend the Accessory Structures ordinance to require that HVAC screening be architecturally compatible with the principal building; and
- Require additional landscaping or berm construction so that 60% of parking lot length that faces a street has limited viewability from the adjacent street.

We discussed extensively the pros and cons of a minimum twenty foot (20’) building setback from all property lines. Much of the discussion focused on the following:

- A reduced setback will encourage parking lots in locations other than in front of the building;
- A reduced setback could provide a more creative site design and emphasize the architecture of the building rather than the parking lot;
- Tall buildings close to the road could create a canyon/cavern feel along Kingston Pike;
- Power lines will be close to the building edge;
- The limited space in the front yard will limit the ability to plant shade trees between the building and the edge of the road;
- The close proximity of the building to the road could affect future road improvements, such as the addition of bike lanes and/or travel lanes.

Noah Myers pointed out that although the Kingston Pike right-of-way is 100' wide, the paved roadway itself is only 60'. This 60' width is exclusive of deceleration lanes and sidewalks/walking trails. There currently are no bike lanes on Kingston Pike. In essence a 20' setback would still provide for a 40' setback from the edge of roadway pavement. Nick Myers suggested that the 20' setback be increased at deceleration lanes to help alleviate some of the expressed concerns.

After the first planning commission meeting where this new district was discussed, I received a phone call from a citizen who suggested that we follow the Golden Ratio to determine building setbacks. The Golden Ratio, also known as the Golden Mean, is 1.618. I suggest each of you google these terms. There are several websites and videos explaining the ratio and the visual balance it creates. The Golden Ratio supports the request before you, but would build in some flexibility.

The setback would be determined based on the height of the building. For example, if the building is 70 feet tall, you would take $70' / 1.618 = 43.26'$. The setback would be 43.26'. Rather than purely measuring from the property line, the measurement would be taken from the edge of pavement. If roadway improvements are anticipated, the setback should take such improvements into consideration. The minimum setback, however, would remain at 20' from the front property line.

Although this may be perceived as making things more complicated, it does provide flexibility. It is also no more complicated than our lot and building coverage calculations in the Open Space Residential (OSR) and Open Space Mixed Residential (OSMR) overlay zoning districts, which are working extremely well.

With regards to anticipated improvements to the adjacent roadways, most of the improvements, such as turn lanes, will be triggered by the development itself. I asked Darryl Smith, Town Engineer, about the likelihood of additional lanes or bike lanes. He stated that additional lanes will be added to Kingston Pike between Smith Road and Campbell Station Road. This improvement has already been placed on the *Knoxville Regional Mobility Plan*. He also stated that it would be best to assume that bike lanes will be constructed in the future on all collectors and arterials.

Attached please find a copy of Resolution PC-12-16 and Ordinance 12-22. Also attached please find copies of Section 14-305 and 14-306 of the Farragut Municipal Code.

RECOMMENDATION BY: Staff recommends approval of Resolution PC-12-16, which recommends approval of Ordinance 12-22 and the Zoning Ordinance text amendment to the Board of Mayor and Aldermen.

RESOLUTION PC-12-16

FARRAGUT MUNICIPAL PLANNING COMMISSION

A RESOLUTION TO APPROVE AN AMENDMENT TO THE TEXT OF THE FARRAGUT ZONING ORDINANCE, ORDINANCE 86-16, AS AMENDED, PURSUANT TO AUTHORITY GRANTED BY SECTION 13-4-201, TENNESSEE CODE ANNOTATED, BY AMENDING CHAPTER 3. SPECIFIC DISTRICT REGULATIONS, SECTION XVI. RESERVED FOR FUTURE USE, BY ADDING A NEW FOUR-STORY BUSINESS ZONING DISTRICT, ENTITLED BUSINESS DISTRICT, FOUR-STORY (BD-4)

WHEREAS, the Tennessee Code Annotated, Section 13-4-201 et seq, provides that the Municipal Planning Commission shall make and adopt a general plan for the physical development of the municipality; and

WHEREAS, the Farragut Municipal Planning Commission has adopted various elements of a zoning plan as an element of the general plan for physical development; and

WHEREAS, a public hearing was held on this request on December 20, 2012;

NOW, THEREFORE, BE IT RESOLVED that the Farragut Municipal Planning Commission hereby recommends approval to the Farragut Board of Mayor and Aldermen of an ordinance, amending Ordinance 86-16, of the Farragut Zoning Ordinance, by adding Ordinance 12-22.

ADOPTED this 20th day of December, 2012.

Rita Holladay, Chairman

Edwin K. Whiting, Secretary

ORDINANCE:	12-22
PREPARED BY:	Hawk
REQUESTED BY:	Myers Bros. Holdings, Applicant
CERTIFIED BY FMPC:	December 20, 2012
PUBLIC HEARING:	_____
PUBLISHED IN:	_____
DATE:	_____
1ST READING:	_____
2ND READING:	_____
PUBLISHED IN:	_____
DATE:	_____

AN ORDINANCE TO AMEND THE TEXT OF THE ZONING ORDINANCE OF THE TOWN OF FARRAGUT, TENNESSEE, ORDINANCE 86-16, AS AMENDED, BY AMENDING CHAPTER 3. SPECIFIC DISTRICT REGULATIONS, SECTION XVI. RESERVED FOR FUTURE USE, TO CREATE A NEW COMMERCIAL ZONING DISTRICT ENTITLED BUSINESS DISTRICT, FOUR STORY (BD-4), AS AUTHORIZED PURSUANT TO SECTION 13-4-201, TENNESSEE CODE ANNOTATED.

BE IT ORDAINED by the Board of Mayor and Aldermen of the Town of Farragut, Tennessee, that the Farragut Zoning Ordinance, Ordinance 86-16, as amended, is hereby amended as follows:

SECTION 1.

Chapter 4, Section XVI. Reserved for Future Use, is deleted in its entirety and substituted in lieu thereof the following:

XVI. BUSINESS DISTRICT, FOUR STORY (BD-4)

A. General description

This district provides space for general office and limited commercial uses. The office uses will provide regional employment opportunities and the commercial uses will primarily serve the residents of the Town of Farragut and immediate surrounds. These office and commercial uses are intended to be designed to minimize negative impacts on nearby residential uses and to strengthen our sense of community.

B. Permitted Principal and Accessory Uses and Structures

1. Generally recognized retail sales. This excludes all outdoor sales or storage.
2. Retail sale of alcoholic beverages, as provided for in the Farragut Municipal Code.
3. Financial and real estate services.
4. Professional, personal, and business services.
5. Restaurants, tea rooms, cafes, coffee houses, or other similar establishments serving food or beverage that is primarily consumed within the principal building or in designated outdoor seating areas associated with the principal building. This excludes drive-through service lanes and windows.
6. Public, governmental, and general offices.
7. Medical, dental, and veterinary facilities.
8. Medical spas.
9. Adult education and training facilities, indoors only.
10. Theaters, indoors only.
11. Indoor recreational facilities.
12. Cultural activities.

C. Building Façade Requirements

Building construction shall comply with Title 14, Chapter 3, Section 14-305. and Section 14-306. (1) and (2), of the Farragut Municipal Code.

D. Low Impact Development Requirements

The development shall incorporate a minimum of one of the following Low Impact Development (LID) practices into the design:

1. Twenty-five percent (25%) of the parking lot being constructed with permeable pavers;
2. Stormwater runoff draining to rain gardens;
3. The building being constructed with a vegetated roof, commonly referred to as a green roof;
4. Stormwater draining to bioswales/bioretenention facilities; or
5. Rainwater being harvested for irrigation or gray water uses.

E. Area Regulations

1. Front Yards

- a. Building setbacks shall be determined based on the building height and the location of the street edge of pavement. Anticipated roadway improvements such as additional travel lanes, turn lanes, and bikes lanes shall be taken into consideration in determining the location of the street edge of pavement. The building setback shall be calculated as follows:

Building setback = (equals) total building height / (divided by) 1.618

The setback shall be measured from the street edge of pavement. At a minimum, all buildings shall be set back a minimum of twenty (20) feet from all front property lines and access easements.

- b. All accessory structures, excluding detention basin structures, shall be set back from the nearest point of any right-of-way a minimum of forty (40) feet, except as provided for elsewhere in this ordinance or the Municipal Code. Detention basins, measured from the exterior toe-of-slope, and all associated structures shall be set back from the nearest point of any right-of-way a minimum of ten (10) feet.

2. Side and Rear Yards

- a. All buildings shall be set back a minimum of twenty (20) feet. When the abutting property is zoned residential or agricultural, buildings shall be set back a minimum of one hundred (100) feet. When the abutting property is zoned buffer district and the property immediately adjacent to such buffer

district is zoned residential or agricultural, buildings shall be set back a minimum of one hundred (100) feet from the residentially or agriculturally zoned land. All buildings shall be set back a minimum of twenty (20) feet from all access easements.

- b. All accessory structures shall be set back a minimum of ten (10) feet, except as provided for elsewhere in this ordinance or the Municipal Code.

3. Buffer Strips

- a. There shall be a buffer strip a minimum of thirty-five (35) feet in width on all front property lines when the street adjacent to that front property line is classified as a collector or local street on the Major Road Plan and the property on the opposite side of the street is zoned residential or agricultural;
- b. There shall be a buffer strip a minimum of thirty-five (35) feet in width on all side and rear property lines when the abutting property is zoned residential or agricultural;
- c. Existing, mature vegetation shall be preserved and incorporated into the buffer strip; and
- d. Detention basins, measured from the exterior toe-of-slope, and all associated structures shall not be located within any buffer strips.

4. Maximum Lot Coverage

Total lot coverage – sixty percent (60%)

5. Land Area

Minimum lot size of one (1) acre

6. Height Regulations

No building shall exceed four stories, or seventy (70) feet in height. All buildings shall be a minimum of two stories. Except as provided for elsewhere in this ordinance or the Municipal Code, no accessory structure shall exceed ten (10) feet in height.

7. Parking

As regulated in Chapter 4.

When a parking lot is constructed adjacent to a front property line, a berm shall be constructed or landscaping shall be planted so as to limit the viewability of the parking lot from the street. A minimum of sixty percent (60%) of the total parking lot length adjacent to the front property line shall be screened from view with a berm or landscaping.

SECTION 2.

This ordinance shall take effect from and after its final passage and publication, the public welfare requiring it.

Dr. Ralph McGill, Mayor

Allison Myers, Town Recorder

Certified to the Farragut Board of Mayor and Aldermen this _____ day of _____, 2012, with approval recommended.

Rita Holladay, Chairman

Edwin K. Whiting, Secretary

FARRAGUT MUNICIPAL PLANNING COMMISSION

MEETING DATE : December 20, 2012

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Ruth Viergutz Hawk, Community Development Director

SUBJECT: Discussion and public hearing on a request to rezone Parcel 63, Tax Map 151, located on the southwest corner of Kingston Pike and Way Station Trail, part of the Renaissance development, from C-1 to Business District, Four-Story (BD-4) (Myers Bros. Holdings, Applicant)

INTRODUCTION: This property is an out parcel of the Renaissance development. The Myers Bros. Holdings, owner, has requested the creation of a new commercial zoning district that would allow for four story construction with reduced building setback requirements. They are requesting this property be rezoned to the newly created zoning district.

DISCUSSION: The property is currently vacant and fronts on Kingston Pike and Way Station Trail. The rear of the property is treed and has an unnamed stream. A Weigel's store is located to the east across from Way Station Trail. South of the property is a single-family residence and the detention basin for Renaissance development. The property to the west is vacant commercial land that is part of the Renaissance development. First Farragut United Methodist Church is located to the north across from Kingston Pike. The Renaissance development backs up to the Old Stage Hills neighborhood.

The property is currently zoned C-1 General Commercial District. The proposed BD-4 district allows taller buildings, but the types of uses allowed within the BD-4 district are more restrictive than in the C-1 district. The BD-4 district would be compatible with the surrounding area.

Attached please find a copy of Resolution PC-12-17 and Ordinance 12-23. Also attached please find a copy of the aerial photo of the general area.

RECOMMENDATION BY: Staff recommends approval of Resolution PC-12-17, which recommends approval of Ordinance 12-23 and the rezoning to the Board of Mayor and Aldermen.

RESOLUTION PC-12-17

FARRAGUT MUNICIPAL PLANNING COMMISSION

A RESOLUTION TO APPROVE AN AMENDMENT TO THE FARRAGUT ZONING MAP, ORDINANCE 86-16, TO RECOMMEND THE APPROVAL OF THE REZONING OF PARCEL 63, TAX MAP 151, LOCATED ON THE SOUTHWEST CORNER OF KINGSTON PIKE AND WAY STATION TRAIL, PART OF THE RENAISSANCE DEVELOPMENT, APPROXIMATELY 2.5 ACRES, FROM C-1 GENERAL COMMERCIAL DISTRICT TO BD-4 BUSINESS DISTRICT, FOUR-STORY

WHEREAS, the Tennessee Code Annotated, Section 13-4-201 et seq, provides that the Municipal Planning Commission shall make and adopt a general plan for the physical development of the municipality; and

WHEREAS, the Farragut Municipal Planning Commission has adopted various elements of a zoning plan as an element of the general plan for physical development; and

WHEREAS, a public hearing was held on this request on December 20, 2012, and

NOW, THEREFORE, BE IT RESOLVED that the Farragut Municipal Planning Commission hereby recommends approval to the Farragut Board of Mayor and Aldermen of an ordinance, amending Ordinance 86-16, of the Farragut Zoning Ordinance, by adding Ordinance 12-23.

ADOPTED this 20th day of December, 2012.

Rita Holladay, Chairman

Edwin K. Whiting, Secretary

ORDINANCE: 12-23
PREPARED BY: Hawk
REQUESTED BY: Myers Bros. Holding, Applicant
CERTIFIED BY FMPC: December 20, 2012
PUBLIC HEARING: _____
PUBLISHED IN: _____
DATE: _____
1ST READING: _____
2ND READING: _____
PUBLISHED IN: _____
DATE: _____

AN ORDINANCE AMENDING THE ZONING ORDINANCE OF THE TOWN OF FARRAGUT, TENNESSEE, ORDINANCE 86-16, AS AMENDED, PURSUANT TO AUTHORITY GRANTED BY SECTION 13-4-201, TENNESSEE CODE ANNOTATED.

BE IT ORDAINED by the Board of Mayor and Aldermen of the Town of Farragut, Tennessee, that the Farragut Zoning Ordinance, Ordinance 86-16, as amended, is hereby amended as follows:

SECTION 1.

The Farragut Zoning Ordinance, Ordinance 86-16, as amended, is hereby amended by rezoning Parcel 63, Tax Map 151, located on the southwest corner of Kingston Pike and Way Station Trail, part of the Renaissance development, approximately 2.5 Acres, from C-1 General Commercial District to BD-4 Business District, Four-Story (Exhibit A)

SECTION 2.

This ordinance shall take effect from and after its final passage and publication, the public welfare requiring it.

Dr. Ralph McGill, Mayor

ORDINANCE 12-23

Page 2

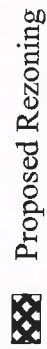
Allison Myers, Town Recorder

Certified to the Farragut Board of Mayor and Aldermen this _____ day of
_____, 2012, with approval recommended.

Rita Holladay, Chairman

Edwin K. Whiting, Secretary

FARRAGUT MUNICIPAL PLANNING COMMISSION

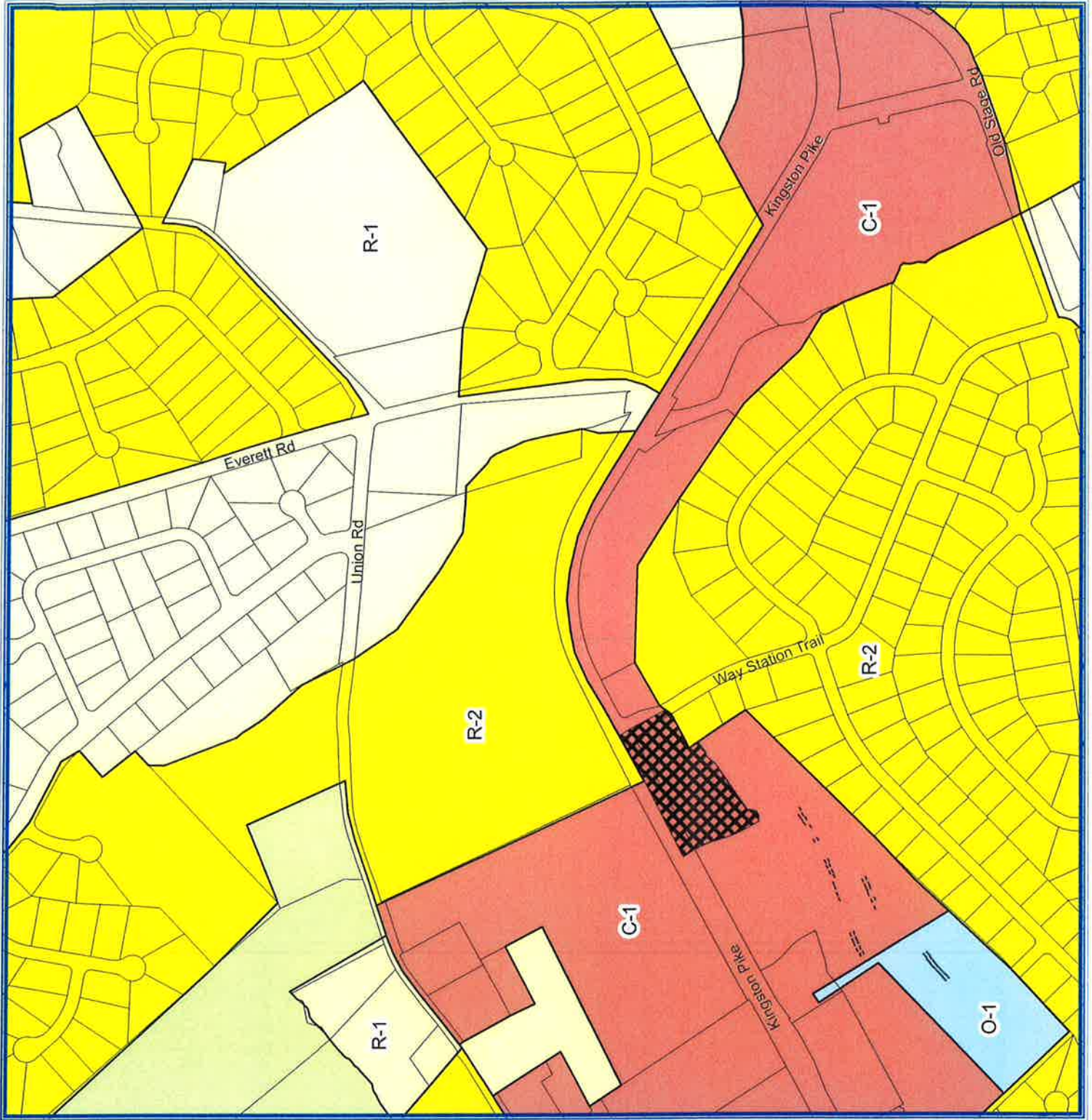


Rezone
Parcel 63, Tax Map 151
From
C-1 General Commercial District
To
BD-4 Business District, Four-Story

- | | |
|--|--|
| | R-1, Rural Single-Family Residential |
| | R-2, General Single-Family Residential |
| | O-1, Office |
| | C-1, General Commercial |



1 inch = 669 feet



MEETING DATE : December 20, 2012

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Ruth Viergutz Hawk, Community Development Director

SUBJECT: Discussion on a request to rezone Parcel 6, Tax Map 151, located on the west side of N. Watt Road approximately 600 feet north of Harrison Road, from C-1 to R-1 and R-4 (Scott Davis, Applicant)

INTRODUCTION: This parcel is currently zoned General Commercial. The properties surrounding this parcel are zoned Agricultural. The history of why this property is zoned commercial when all surrounding land is still zoned Agricultural is unknown.

DISCUSSION: The property fronts on N. Watt Road for approximately 500 feet and fronts on Harrison Road for approximately 380 feet. The property has no buildings and the majority of it is a hay field with the fence rows being treed. The land surrounding this site is currently being farmed. There are farm houses and associated farm buildings on the adjacent properties and on the east side of N. Watt Road. There is a large lot single-family subdivision located on the west side of Harrison Road across from this parcel.

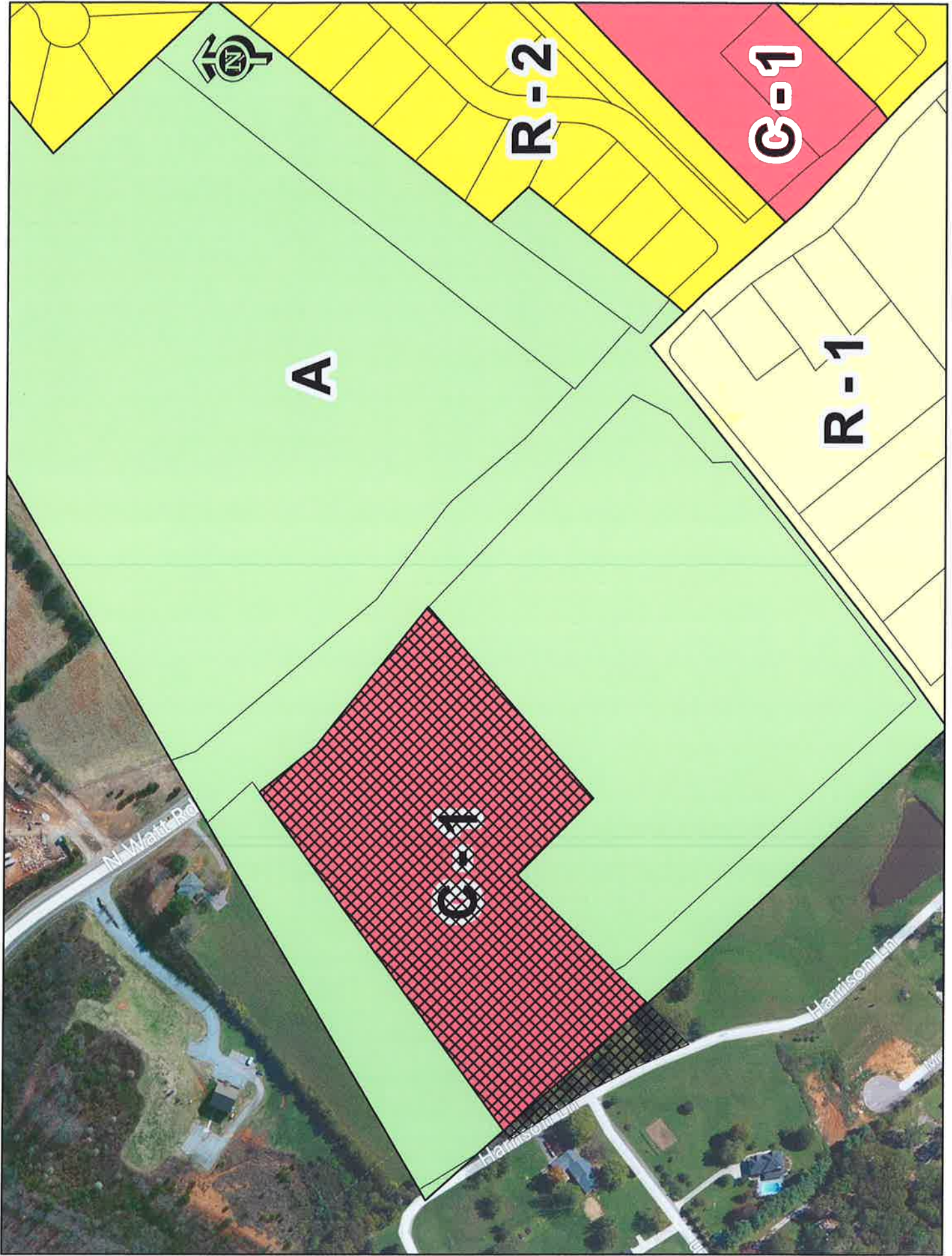
The applicant is planning to sell 1.5 acres fronting on Harrison Road for a large single-family lot. He currently has no plans for the remainder of the land. The applicant is requesting that the 1.5 acres be zoned R-1 Rural Single-Family Residential and the remainder of the property be rezoned to R-4 Attached Single-Family Residential District.

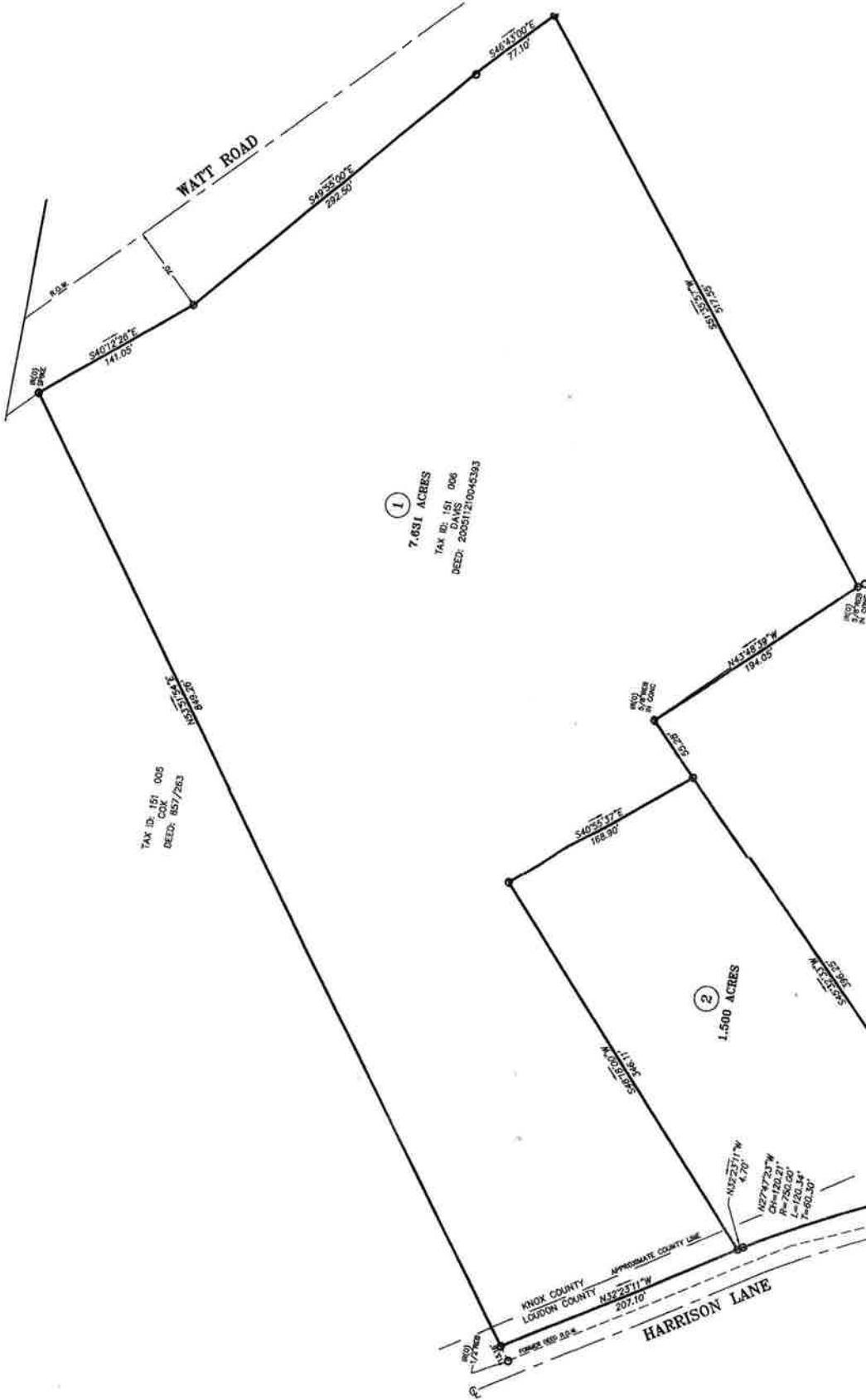
Because the 1.5 acres does not meet the minimum requirements of the C-1 district, the plat subdividing out this 1.5 acres of land on Harrison Road will need to be approved and recorded after the rezoning is finalized.

Attached please find an aerial photo of the general area, the zoning of the general area, and a survey showing the proposed zoning and lot lines

RECOMMENDATION BY: For discussion purposes only.







TAX ID: 151 008
 ALFORD
 PLAT: 71L PAGE 21

I hereby certify that the subdivision and other data shown on this plat were obtained from a reliable source and that the same are correct and true to the original survey and that the same have been approved by the Board of Survey and Mapping of the State of Tennessee.



A FOLLOWING VARIANCES WERE APPROVED BY THE BOARD OF SURVEY AND MAPPING COMMISSION ON DECEMBER 20, 2012
 1. DEDICATION OF OPEN SPACE RESERVED UNTIL THE DEVELOPMENT ALONG WATT ROAD

MEETING DATE: December 20, 2012

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Ruth Viergutz Hawk, Community Development Director

SUBJECT: Discussion of a request to amend the text of the Farragut Municipal Code, Title 9, Chapter 4, Sign Ordinance, Section 9-406., to allow signage on a wall to exceed a 1:1 ratio (Costco Wholesale Corporation, Applicant)

INTRODUCTION: This item involves a request to amend Section 9-406 of the *Farragut Sign Ordinance*. Since the adoption of the town's first sign ordinance, we have required that wall mounted signage be proportional with the wall on which the sign is mounted. The ratio that has always been used for calculating wall signage has been a 1:1 ratio. For every linear foot of wall length, there can be one square foot of sign area. For example, a 100 foot long wall could have a 100 square foot sign.

DISCUSSION: This item involves a text amendment request from Costco that is related to how square footage for wall signage is determined. Specifically the main public entrance to the new Costco building is along an angled portion of the building that is roughly 50 feet in length. The Town's sign ordinance allows one (1) square foot of sign area for each linear foot of building length on which the sign is mounted. This 1 to 1 ratio has been a long-standing provision of the Town's sign ordinance and has worked very well to ensure that the scale of signage looks proportional to the building elevation on which the sign is mounted.

Since the angled portion of the Costco building is slightly less than 50 feet, the sign that was approved for this portion of the building elevation was 48 square feet. Costco is requesting that the manner of determining wall signage be changed so that they can have a 125 square foot wall sign where the existing 48 square foot sign is currently situated.

The staff cannot support the request for the following reasons:

1. This amendment would represent a very significant variation from Town practice. The 1:1 ratio would be modified to a ratio of over 2 ½:1. Such a ratio would greatly compromise the proportionality component of the Town's sign ordinance.
2. Costco has the opportunity for a much larger wall sign facing Lovell Road. In lieu of a sign on the angled building elevation, a sign of nearly 280 square feet on the building elevation that is parallel with Lovell Road could be approved.
3. Related to this, in terms of identifying the Costco for someone traveling southbound on Lovell Road, a monument sign which would double as a gas price sign (like the Kroger and Ingles)

would be the most effective wayfinding because such a sign could be seen as you approach the Costco development going south along Lovell Road. Due to grade difference and the distance of the Costco building from Lovell Road, the Costco building is not very visible from Lovell Road. A monument sign would be much more effective for identification purposes than a larger sign on the angled portion of the building that doesn't directly face either Lovell Road or Kingston Pike. In addition, there is a vacant out parcel between the Costco building and Lovell Road. Once this parcel is developed, the Costco building entrance (angled portion of the wall) will not be visible at all from Lovell Road.

4. From the Kingston Pike frontage, the 276 square foot wall mounted sign on the west portion of the building elevation that faces Kingston Pike is the primary building identifier and it is very visible from Kingston Pike. Similar to Lovell Road, a larger wall sign above the canopy would add very little in terms of wayfinding due to its orientation and the fact that the existing wall sign that faces Kingston Pike is so visible. Due to the fact that the angled portion of the building does not directly face Lovell Road or Kingston Pike, this sign essentially functions as an entrance identifier for the benefit of patrons that are already in the parking lot and are looking for the main entrance. In this regard, the sign, as approved, more than serves its purpose.

The VRRB recommended denial of the request. They concurred with staff in that they felt that a monument sign along Lovell Road would be the most effective for Costco. They also expressed concern about broadly altering the 1:1 ratio in such a manner that would provide for a 125 square foot sign on a 50 foot section of building elevation. The VRRB did, however, suggest that if the planning commission desired, a different option be considered. This option would provide for a larger sign than would be permitted from a 1:1 ratio only where a large building has a smaller angled elevation where a sign is desired in lieu of a sign on a longer adjacent building elevation. They felt that some parameters would need to be established for the width of the angled portion and the length of the longer building elevation and perhaps a percentage of the total width of the angled portion of the building and the longer building elevation would be applied to the size of the wall sign on the angled portion of the building.

Staff does not support this alternative option. Modifying the ordinance to further expand signage options for big box businesses, which already are permitted much larger signs than other businesses, would be inequitable. Like the request that we reviewed several months ago for the additional wall signage on the 5-story office building, Costco has other signage options available to them in our ordinance.

Ultimately the purpose of signage is wayfinding and it is very clear that our ordinance accomplishes that purpose. In addition, this request is not consistent with the Town's adopted *Strategic Plan*. Per the *Strategic Plan*, Goal 4, Objective 6 provides for "more beautiful corridors and development – signs, storefronts, and landscaping." Lessening visual clutter and keeping sign size proportional in size to the wall on which they are mounted, would seem to be consistent with this objective.

Attached please a copy of the applicant's request.

RECOMMENDATION BY: For discussion purposes only.

RECEIVED APPLICATION TO AMEND ORDINANCE TEXT
TOWN OF FARRAGUT, TENNESSEE

NOV 5 2012

TOWN OF FARRAGUT

FOR OFFICE USE ONLY
Fee Paid: \$250.00

APPLICANT NAME: Costco Wholesale Corporation

Address: 45940 Horseshoe Drive, Suite 150 City/State/Zip: Sterling, VA 20166

Phone Number: 703.406.6862 Fax Number: 703.406.6835

E-mail: JRutter@Costco.com

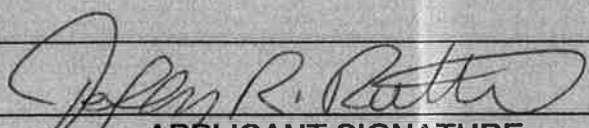
CHANGE REQUESTED

Amend Zoning Ordinance or Sign Ordinance text as follows:

Allow for signage on a wall to exceed a 1:1 ratio of square foot size
to lineal length of wall. Allow for an angled wall to be considered
part of one of the adjacent walls for calculating allowable square
footage of signage.

The proposed amendment is necessary due to the following changed or changing conditions (be specific):

The Sign Ordinance as is creates a small sign on a tall wall. We would
like to go from a 48 square foot sign to a 125 square foot sign.


APPLICANT SIGNATURE
JEFFREY R. RUTTER
DIRECTOR OF REAL ESTATE DEVELOPMENT
OR

10/31/12
DATE

I HEREBY CERTIFY THAT I AM THE LEGAL REPRESENTATIVE FOR THE APPLICANT
INVOLVED IN THIS REQUEST.

NAME (SIGNATURE)

DATE

Street Address

City/State/Zip

Telephone Number

**Farragut Municipal Planning Commission
December 20, 2012
Staff Recommendations**

3. **Discussion and public hearing on the *Farragut 2025 Comprehensive Land Use Plan Update***

The Comprehensive Land Use Plan Leadership Team recommends the FMPC approve Resolution PC-12-18

Proposed Motion: Move to approve Resolution PC-12-18

4. **Discussion and public hearing on a request for a driveway onto Smith Road, classified as a Major Collector on the Major Road Plan, Farragut Municipal Code, Title 16, Chapter 4, Driveways and Other Access Ways, Section 16-405. Permit approval, and Section 16- 406 (1) Distance requirements, (b) Distance between driveways, for variance for driveway access to 531 Smith Road (Don & Angelia Dickey, Applicants)**

Staff recommends approval of the driveway location as shown on the survey and a variance of 130' to the east because the proposed driveway lines up with another existing driveway and the proposed location is optimal.

Proposed Motion: Move to approve the driveway location as shown on the survey and a variance of 130' to the east.

5. **Discussion and public hearing on a site plan amendment to the Thornton Center (Genesis Center), 10910 Kingston Pike, Suite 103, to expand the existing building, 1.33 Acres, Zoned C-1 (Dan Brewer/Brewer Ingram Fuller Architects, Inc., Applicant)**

Staff recommends approval of the site plan amendment subject to addressing the following items:

1. On the title page, include the revised calculated fire flow, including the number of required fire hydrants, in accordance with appendix B and C of the 2006 International Fire Code on the drawings as a note; and
2. Meet all town requirements.

Proposed Motion: Move to approve the site plan subject to staff's recommendation

6. Discussion and public hearing on a site plan for Parkside Retail Center, located on the south side of Parkside Drive between JC Penney and Tennessee State Bank, a portion of Parcel 191.06, Tax Map 130, 3.466 Acres, Zoned C-1 (The Center at Parkside LLC, Applicant)

Staff recommends approval of the site plan subject to addressing the following items:

1. Provide current fire hydrant flow data for closest fire hydrants used to satisfy appendix B and C. Data shall be less than 1 year old and include name of agency performing test, static pressure, residual pressure and flow in GPM. Fire hydrants shall be located so that no accessible exterior point of the structure is in excess of 400' from an approved fire hydrant;
2. Provide written approval from First Utility District of Knox County;
3. Submit a certified address verification from the Addressing Division of the Knoxville/Knox County Metropolitan Planning Commission;
4. Sheet C0.03 - lot coverage calculation and diagram - delete the shown landscape island by the handicap ramp;
5. Sheet C1.01 - update the parking information;
6. The landscape island at the end of the parking row on the east side of the building must be the full length of the parking space;
7. Indicate the turn down curb adjacent to all parking spaces except at the handicapped parking spaces;
8. Sheet C4.01 - correct the detail numbers per the cross references on other sheets and per the sheet number;
9. The dumpster is required to be screened. The screening is to be architecturally compatible with the building. Include screening details, bollards, etc.;
10. There are only 15 sheets (vs. indicated 16) and the A and E sheets are not numbered. Please renumber and number all sheets;
11. The plat will need to be recorded before any approvals are finalized or permits are issued;
12. On Sheet A4.2, HVAC screening sight line 3 is east and sight line 4 (which is missing from the sheet) is south. Please correct;
13. Record the subdivision plat prior to the issuance of any permits;
14. Submit irrevocable letter of credit for erosion control for \$5,000;
15. Submit Drainage Fee of \$550; and
16. Meet all town requirements.

Proposed Motion: Move to approve site plan subject to staff's recommendation.

7. Discussion and public hearing on a site plan for Knoxville TVA Employees Credit Union, located on the south side of Parkside Drive between JC Penney and Tennessee State Bank, a portion of Parcel 191.06, Tax Map 130, 1.15 Acres, Zoned C-1 (Knoxville TVA Employees Credit Union, Applicant)

Staff recommends approval of the site plan subject to addressing the following items:

1. Provide current fire hydrant flow data for closest fire hydrants used to satisfy appendix B and C. Data shall be less than 1 year old and include name of agency performing test, static pressure, residual pressure and flow in GPM;
2. Provide required fire lane markings at fire department emergency access at the main entrance;
3. Provide written approval from First Utility District of Knox County;
4. Submit a certified address verification from the Addressing Division of the Knoxville/Knox County Metropolitan Planning Commission. ;
5. The property is zoned C-1. Update the information on Sheet 5 - note #3;
6. Record the plat prior to the issuance of any permits;
7. Tighten the 15.5' radius (west property line), 20' radius (at fire lane), and 12' radius (southeast corner of building) in the parking lot. These areas conflict with pedestrian movement and tightening the radii will keep vehicles speed down;
8. Eliminate the curb at the walking trail crossing. The trail should ramp down to the driveway grade;
9. Add a connection to the walking trail from the west sidewalk [The HVF must stay up until the tie-in is actually being constructed];
10. Provide screening on all sides of the HVAC units;
11. Label the black PVC fence as the HVAC screening;
12. Sheet A4.2 - include the appropriate installation specifications for the flag pole;
13. Substitute a compliant light fixture for the SG light fixture;
14. Submit irrevocable letter of credit for erosion control for \$7000;
15. Submit Drainage Fee of \$665; and
16. Meet all town requirements.

Proposed Motion: Move to approve the site plan subject to staff's recommendation.

8. Discussion and public hearing on an amendment to the Farragut Zoning Ordinance, Chapter 4., to create a Grand Opening Special Events Permit section

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Staff recommends approval of Resolution PC-12-13, which recommends approval of Ordinance 12-19 and the Zoning Ordinance amendment to the Board of Mayor and Aldermen.

Proposed Motion: Move to approve Resolution PC-12-13.

9. **Discussion and public hearing on an amendment to the Farragut Zoning Ordinance, Chapter 4., Section XIII. Outdoor Site Lighting, to establish wall mounted light heights and require glare shields**

Staff recommends approval of Resolution PC-12-14, which recommends approval of Ordinance 12-20 and the Zoning Ordinance amendment to the Board of Mayor and Aldermen.

Proposed Motion: Move to approve Resolution PC-12-14.

10. **Discussion and public hearing on an amendment to the Farragut Zoning Ordinance, Chapter 4., Section I. Accessory Structures, to require HVAC screening to be architecturally compatible and to rename section to Accessory Structures and Uses**

Staff recommends approval of Resolution PC-12-15, which recommends approval of Ordinance 12-21 and the Zoning Ordinance amendment to the Board of Mayor and Aldermen.

Proposed Motion: Move to approve Resolution PC-12-15.

11. **Discussion and public hearing on a request to amend the Farragut Zoning Ordinance, Chapter 3, Section XVI., to create a new four-story business zoning district, entitled Business District, Four-Story (BD-4) (Myers Bros. Holdings, Applicant)**

Staff recommends approval of Resolution PC-12-16, which recommends approval of Ordinance 12-22 and the Zoning Ordinance amendment to the Board of Mayor and Aldermen.

Proposed Motion: Move to approve Resolution PC-12-16.

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12. **Discussion and public hearing on a request to rezone Parcel 63, Tax Map 151, located on the southwest corner of Kingston Pike and Way Station Trail, part of the Renaissance development, from C-1 to Business District, Four-Story (BD-4) (Myers Bros. Holdings, Applicant)**

Staff recommends approval of Resolution PC-12-17, which recommends approval of Ordinance 12-23 and the rezoning to the Board of Mayor and Aldermen.

Proposed Motion: Move to approve Resolution PC-12-17.

13. **Discussion on a request to rezone Parcel 6, Tax Map 151, located on the west side of N. Watt Road approximately 600 feet north of Harrison Road, from C-1 to R-1 and R-4 (Scott Davis, Applicant)**

For discussion purposes only

14. **Discussion of a request to amend the text of the Farragut Municipal Code, Title 9, Chapter 4. Sign Ordinance, Section 9-406., to allow signage on a wall to exceed a 1:1 ratio (Costco Wholesale Corporation, Applicant)**

For discussion purposes only

15. **Public hearing on proposed locations for new utilities**

None at this time