

A G E N D A
FARRAGUT MUNICIPAL PLANNING COMMISSION

January 17, 2013
7:00 p.m. Farragut Town Hall

For questions please call Ruth Viergutz Hawk at Farragut Town Hall, 966-7057

1. **Citizen Forum**
2. **Approval of minutes - December 20, 2012**
3. **Discussion and public hearing on a site plan for a medical office building, 144 Concord Road, Parcel 1.11, Tax Map 143HA, located in the Admiral Pointe shopping center on the southeast corner of Kingston Pike and Concord Road, Zoned C-1, approximately 1.4 Acres (Farragut ENT, Applicant)**
4. **Discussion and public hearing on a request to rezone Parcel 6, Tax Map 151, located on the west side of N. Watt Road approximately 600 feet north of Harrison Road, from C-1 to R-1 and R-4 (Scott Davis, Applicant)**
5. **Discussion and public hearing on a request to amend the text of the Farragut Municipal Code, Title 9, Chapter 4. Sign Ordinance, Section 9-406., to allow signage on a wall to exceed a 1:1 ratio (Costco Wholesale Corporation, Applicant)**
6. **Discussion and public hearing on a request for a driveway onto Smith Road, classified as a Major Collector on the Major Road Plan, Farragut Municipal Code, Title 16, Chapter 4, Driveways and Other Access Ways, Section 16-405. Permit approval, and Section 16- 406 (1) Distance requirements, (a) Distance from intersections and (b) Distance between driveways, for variances for driveway access to 531 Smith Road (Don & Angelia Dickey, Applicants)**
7. **Public hearing on proposed locations for new utilities**

**MINUTES
FARRAGUT MUNICIPAL PLANNING COMMISSION**

December 20, 2012

MEMBERS PRESENT

Rita Holladay, Chairman
Ed St. Clair, Vice-Chairman
Ed Whiting, Secretary
Ralph McGill, Mayor
Ron Honken, Alderman [6:55 pm]
Annette Brun
Betty Dick
Melissa Mustard
Noah Myers

MEMBERS ABSENT

Staff Representatives: Ruth Viergutz Hawk, Community Development Director
Jeff Winston, Consultant with Winston Associates
Gary Palmer, Assistant Town Administrator
David Smoak, Town Administrator

6:45 p.m. Public Hearing on the *Farragut 2025 Comprehensive Land Use Plan Update*

Chairman Holladay called the meeting to order at 6:50 p.m.

CITIZEN FORUM

None

APPROVAL OF MINUTES

*Commissioner Whiting moved to approve the November 15, 2012, minutes as submitted.
Commissioner Mustard seconded the motion and the motion passed 6-0-2. Commissioner St. Clair abstained because he was absent and Commissioner Myers abstained because he was late.
Commissioner Honken was not here when the minutes were approved.*

AGENDA ITEMS

**DISCUSSION AND PUBLIC HEARING ON THE FARRAGUT 2025 COMPREHENSIVE
LAND USE PLAN UPDATE**

Gary Palmer stated that the Comprehensive Land Use Plan Leadership Team recommended the FMPC approve Resolution PC-12-18, which approves the plan. Jeff Winston, Winston Associates, presented the plan. A lengthy discussion followed.

Commissioner Myers moved to amend the classification of Powell Acres subdivision from Regional Commercial to Residential and that the Regional Commercial on Kingston Pike change to General Commercial west of the drainage way located immediately to the west of Costco. Commissioner Honken seconded the motion and the motion passed 9-0.

Commissioner Myers moved to approve the Resolution PC-12-18. Commissioner St. Clair seconded the motion and the motion passed 9-0.

DISCUSSION AND PUBLIC HEARING ON A REQUEST FOR A DRIVEWAY ONTO SMITH ROAD, CLASSIFIED AS A MAJOR COLLECTOR ON THE MAJOR ROAD PLAN, FARRAGUT MUNICIPAL CODE, TITLE 16, CHAPTER 4, DRIVEWAYS AND OTHER ACCESS WAYS, SECTION 16-405. PERMIT APPROVAL, AND SECTION 16-406 (1) DISTANCE REQUIREMENTS, (B) DISTANCE BETWEEN DRIVEWAYS, FOR VARIANCE FOR DRIVEWAY ACCESS TO 531 SMITH ROAD (Don & Angela Dickey, Applicants)

Staff recommended approval of the driveway location as shown on the survey and a variance of 130' to the east because the proposed driveway lines up with another existing driveway and the proposed location is optimal. The applicant stated they wished to change their request.

Commissioner St. Clair moved to defer to a later date. Commissioner Myers seconded the motion and the motion passed 9-0.

DISCUSSION AND PUBLIC HEARING ON A SITE PLAN AMENDMENT TO THE THORNTON CENTER (GENESIS CENTER), 10910 KINGSTON PIKE, SUITE 103, TO EXPAND THE EXISTING BUILDING, 1.33 ACRES, ZONED C-1 (Dan Brewer/Brewer Ingram Fuller Architects, Inc., Applicant)

Staff recommended approval of the site plan amendment subject to addressing the following items:

1. On the title page, include the revised calculated fire flow, including the number of required fire hydrants, in accordance with appendix B and C of the 2006 International Fire Code on the drawings as a note; and
2. Meet all town requirements.

Commissioner Honken moved to approve the site plan subject to staff's recommendation. Commissioner Myers seconded the motion and the motion passed 9-0.

DISCUSSION AND PUBLIC HEARING ON A SITE PLAN FOR PARKSIDE RETAIL CENTER, LOCATED ON THE SOUTH SIDE OF PARKSIDE DRIVE BETWEEN JC PENNEY AND TENNESSEE STATE BANK, A PORTION OF PARCEL 191.06, TAX MAP 130, 3.466 ACRES, ZONED C-1 (The Center at Parkside LLC, Applicant)

Staff recommended approval of the site plan subject to addressing the following items:

1. Provide current fire hydrant flow data for closest fire hydrants used to satisfy appendix B and C. Data shall be less than 1 year old and include name of agency performing test, static pressure, residual pressure and flow in GPM. Fire hydrants shall be located so that no accessible exterior point of the structure is in excess of 400' from an approved fire hydrant;
2. Provide written approval from First Utility District of Knox County;
3. Submit certified address verification from the Addressing Division of the Knoxville/Knox County Metropolitan Planning Commission;
4. Sheet C0.03 - lot coverage calculation and diagram - delete the shown landscape island by the handicap ramp;
5. Sheet C1.01 - update the parking information;
6. The landscape island at the end of the parking row on the east side of the building must be the full length of the parking space;
7. Indicate the turn down curb adjacent to all parking spaces except at the handicapped parking spaces;
8. Sheet C4.01 - correct the detail numbers per the cross references on other sheets and per the sheet number;
9. The dumpster is required to be screened. The screening is to be architecturally compatible with the building. Include screening details, bollards, etc.;
10. There are only 15 sheets (vs. indicated 16) and the A and E sheets are not numbered. Please renumber and number all sheets;
11. The plat will need to be recorded before any approvals are finalized or permits are issued;
12. On Sheet A4.2, HVAC screening sight line 3 is east and sight line 4 (which is missing from the sheet) is south. Please correct;
13. Record the subdivision plat prior to the issuance of any permits;
14. Submit irrevocable letter of credit for erosion control for \$5,000;
15. Submit Drainage Fee of \$550; and
16. Meet all town requirements.

*Commissioner St. Clair moved to approve the site plan subject to staff's recommendation.
Commissioner Whiting seconded the motion and the motion passed 9-0.*

DISCUSSION AND PUBLIC HEARING ON A SITE PLAN FOR KNOXVILLE TVA EMPLOYEES CREDIT UNION, LOCATED ON THE SOUTH SIDE OF PARKSIDE DRIVE BETWEEN JC PENNEY AND TENNESSEE STATE BANK, A PORTION OF PARCEL 191.06, TAX MAP 130, 1.15 ACRES, ZONED C-1 (Knoxville TVA Employees Credit Union, Applicant)

Staff recommended approval of the site plan subject to addressing the following items:

1. Provide current fire hydrant flow data for closest fire hydrants used to satisfy appendix B and C. Data shall be less than 1 year old and include name of agency performing test, static pressure, residual pressure and flow in GPM;
2. Provide required fire lane markings at fire department emergency access at the main entrance;
3. Provide written approval from First Utility District of Knox County;
4. Submit certified address verification from the Addressing Division of the Knoxville/Knox County Metropolitan Planning Commission. ;
5. The property is zoned C-1. Update the information on Sheet 5 - note #3;
6. Record the plat prior to the issuance of any permits;
7. Tighten the 15.5' radius (east property line), 20' radius (at fire lane), and 12' radius (southeast corner of building) in the parking lot. These areas conflict with pedestrian movement and tightening the radii will keep vehicles speed down;
8. Eliminate the curb at the walking trail crossing. The trail should ramp down to the driveway grade;
9. Add a connection to the walking trail from the west sidewalk [The HVF must stay up until the tie-in is actually being constructed];
10. Provide screening on all sides of the HVAC units;
11. Label the black PVC fence as the HVAC screening;
12. Sheet A4.2 - include the appropriate installation specifications for the flag pole;
13. Substitute a compliant light fixture for the SG light fixture;
14. Submit irrevocable letter of credit for erosion control for \$7000;
15. Submit Drainage Fee of \$665; and
16. Meet all town requirements.

Commissioner Myers moved to approve the site plan subject to staff's recommendation with a change to Item #7 to require the 15.5' radius at the east property line be tightened and to add speed bumps in front of the building and to the west of the drive-thru lane entrance. Commissioner Honken seconded the motion and the motion passed 9-0.

DISCUSSION AND PUBLIC HEARING ON AN AMENDMENT TO THE FARRAGUT ZONING ORDINANCE, CHAPTER 4., TO CREATE A GRAND OPENING SPECIAL EVENTS PERMIT SECTION

Staff recommended approval of Resolution PC-12-13, which recommends approval of Ordinance 12-19 and the Zoning Ordinance text amendment to the Board of Mayor and Aldermen.

Commissioner Honken moved to approve Resolution PC-12-13. Commissioner Myers seconded the motion and the motion passed 9-0.

DISCUSSION AND PUBLIC HEARING ON AN AMENDMENT TO THE FARRAGUT ZONING ORDINANCE, CHAPTER 4., SECTION XIII. OUTDOOR SITE LIGHTING, TO ESTABLISH WALL MOUNTED LIGHT HEIGHTS AND REQUIRE GLARE SHIELDS

Staff recommended approval of Resolution PC-12-14, which recommends approval of Ordinance 12-20 and the Zoning Ordinance text amendment to the Board of Mayor and Aldermen.

Commissioner Honken moved to approve Resolution PC-12-14. Commissioner St. Clair seconded the motion and the motion passed 9-0.

DISCUSSION AND PUBLIC HEARING ON AN AMENDMENT TO THE FARRAGUT ZONING ORDINANCE, CHAPTER 4., SECTION I. ACCESSORY STRUCTURES, TO REQUIRE HVAC SCREENING TO BE ARCHITECTURALLY COMPATIBLE AND TO RENAME SECTION TO ACCESSORY STRUCTURES AND USES

Staff recommended approval of Resolution PC-12-15, which recommends approval of Ordinance 12-21 and the Zoning Ordinance text amendment to the Board of Mayor and Aldermen.

Commissioner Honken moved to approve Resolution PC-12-15. Commissioner St. Clair seconded the motion and the motion passed 9-0.

DISCUSSION AND PUBLIC HEARING ON A REQUEST TO AMEND THE FARRAGUT ZONING ORDINANCE, CHAPTER 3, SECTION XVI., TO CREATE A NEW FOUR-STORY BUSINESS ZONING DISTRICT, ENTITLED BUSINESS DISTRICT, FOUR-STORY (BD-4) (Myers Bros. Holdings, Applicant)

Staff recommended approval of Resolution PC-12-16, which recommends approval of Ordinance 12-22 and the Zoning Ordinance text amendment to the Board of Mayor and Aldermen.

Commissioner Whiting moved to approve Resolution PC-12-16. Commissioner Honken seconded the motion and the motion passed 8-0-1. Commissioner Myers abstained because of conflict of interest.

DISCUSSION AND PUBLIC HEARING ON A REQUEST TO REZONE PARCEL 63, TAX MAP 151, LOCATED ON THE SOUTHWEST CORNER OF KINGSTON PIKE AND WAY STATION TRAIL, PART OF THE RENAISSANCE DEVELOPMENT, FROM C-1 TO BUSINESS DISTRICT, FOUR-STORY (BD-4) (Myers Bros. Holdings, Applicant)

Staff recommended approval of Resolution PC-12-17, which recommends approval of Ordinance 12-23 and the rezoning to the Board of Mayor and Aldermen.

Commissioner Whiting moved to approve Resolution PC-12-17. Commissioner St. Clair seconded the motion and the motion passed 8-0-1. Commissioner Myers abstained because of conflict of interest.

DISCUSSION ON A REQUEST TO REZONE PARCEL 6, TAX MAP 151, LOCATED ON THE WEST SIDE OF N. WATT ROAD APPROXIMATELY 600 FEET NORTH OF HARRISON ROAD, FROM C-1 TO R-1 AND R-4 (Scott Davis, Applicant)

For discussion purposes only

DISCUSSION OF A REQUEST TO AMEND THE TEXT OF THE FARRAGUT MUNICIPAL CODE, TITLE 9, CHAPTER 4. SIGN ORDINANCE, SECTION 9-406., TO ALLOW SIGNAGE ON A WALL TO EXCEED A 1:1 RATIO (Costco Wholesale Corporation, Applicant)

For discussion purposes only

PUBLIC HEARING ON PROPOSED LOCATIONS FOR NEW UTILITIES

None at this time

ADJOURNMENT

The meeting adjourned at 10:32 p.m.

Edwin K. Whiting, Secretary

MEETING DATE : January 17, 2013

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Ruth Viergutz Hawk, Community Development Director

SUBJECT: Discussion and public hearing on a site plan for a medical office building, 144 Concord Road, Parcel 1.11, Tax Map 143HA, located in the Admiral Pointe shopping center on the southeast corner of Kingston Pike and Concord Road, approximately 1.4 Acres, Zoned C-1 (Farragut ENT, Applicant)

INTRODUCTION: Per Chapter 4, Section XIV., B. of the *Farragut Zoning Ordinance*, for a lot to be buildable it must have public road frontage of at least twenty-five (25) feet. This lot was platted in 1993 as a land locked parcel with no road frontage. This pre-dates the current staff and there are no planning commission or Board of Zoning Appeals records as to why this was platted as such. Based on the original subdivision plat, however, it appears that the lot was intended to be buildable.

Based on the plat, on November 28 the Board of Zoning Appeals granted a variance from the road frontage requirement with the condition an access easement from the adjacent Capital Bank property be acquired. The applicant is in the process of acquiring such easement.

DISCUSSION: The site plan before you is for a medical building. A driveway through the parcel connecting to the adjacent driveways will be retained. Legal access will be across the Capital Bank property to the platted shared access easement. With the exception of a drain pipe extending from the parking lot being added, the large detention basin located to the rear of this property will remain undisturbed.

Attached please find a reduced copy of the site plan, an aerial photo of the general area, an aerial photo of the immediate area, and letters to the applicant identifying the necessary changes to the site plan.

RECOMMENDATION BY: Staff will make a recommendation at the meeting.

UEL PROJECT NO. 1204014

FARRAGUT ENT

SITE ADDRESS: 144 CONCORD ROAD, FARRAGUT, TENNESSEE 37934
CLI MAP 143, PARCEL 00111

OWNER:
BOBBIE CONGLETON
1456 SPRING PASS WAY
KNOXVILLE, TN 37919
(615) 670-1662

DEVELOPER
ABEL CONSTRUCTION, LLC
MICHAEL ALLEN
507 N. CEDAR BLUFF ROAD
KNOXVILLE, TN 37823
(865) 670-0060



**SITE ENGINEER/SURVEYOR:
URBAN ENGINEERING, INC.**
11852 KINGSTON PKWY
FARMINGTON, TENNESSEE 37634
(615) 906-1924

SITE LANDSCAPE DESIGNER:
LAND DESIGN GROUP
ALLEN DUKE
1813 NORTSHORE HILLS BLVD.
KNOXVILLE, TENNESSEE 37922
(605) 509-3259

SITE ARCHITECTS
BREWER, INGRAM FULLER
DAN BREWER
CHEVONKE MILLS
111 N. CONCORD STREET
KNOXVILLE, TN 37919
(605) 395-2707

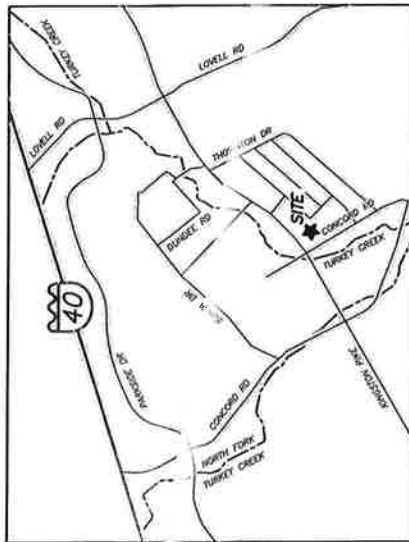
STUDY OBJECTIVES

SPECIFICATIONS
EXCEPT WHERE DIRECTED OTHERWISE BY THE PLANS, WORKMANSHIP AND MATERIAL (BUT NOT MEASUREMENT AND PAYMENT) FOR THIS PROJECT SHALL BE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS AND STANDARDS.

- AS DIRECTED BY LCUB
- AS DIRECTED BY KUB
- AS DIRECTED BY FIRST UTILITY DISTRICT
- AS DIRECTED BY CHARTER
- AS DIRECTED BY TDS

ELECTRICAL
GAS
WATER
CABLE TV
TELEPHONE

TOWN OF FAIRBAGUT - ALL APPLICABLE TOWN REGULATIONS AND ORDINANCES



LOCATION MAP

SHEET INDEX

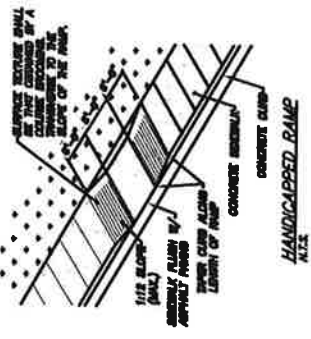
TITLE	SHEET
TITLE SHEET	C-0
BOUNDARY AND TOPOGRAPHIC SURVEY	C-1
SITE PLAN	C-2
SITE GRADING & DRAINAGE PLAN	C-3
EROSION & SEDIMENT CONTROL PLAN	C-4
SITE WATER, SEWER, GAS & SECONDARY ELECTRIC SERVICE PLAN	C-5
SITE CONSTRUCTION DETAILS	C-6
SITE PLAN - LIGHTING	ED-1
SITE PLAN - PHOTOMETRICS	ED-2
EXTERIOR ELEVATIONS	A-1
ROOF PLAN	A-2
ROOF CONSTRUCTION/DETAILS	A-3
POST CONSTRUCTION/REMOVAL PLAN	TP-1

Abstracts and Notes

BUILDING AREA (S.F.): 7,820
NUMBER OF STORIES: 1
CONSTRUCTION TYPE: M-B
OCCUPANCY TYPE: BUSINESS
ONE-HOUR PROTECTED: NO
BUILDING SPRINKLER: YES

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FORN OF FARMER



PAYING SCHEDULE
N.T.S



SYMBOL	DESCRIPTION	DETAIL
↑	TRAFFIC ARROW	SEE DETAIL, THIS SHEET
STOP SIGN	STOP SIGN / HANDICAP SIGN	FOR STOP SIGN, SEE DETAIL 4, SHEET C-6 FOR HANDICAP SIGN, SEE DETAIL THIS SHEET

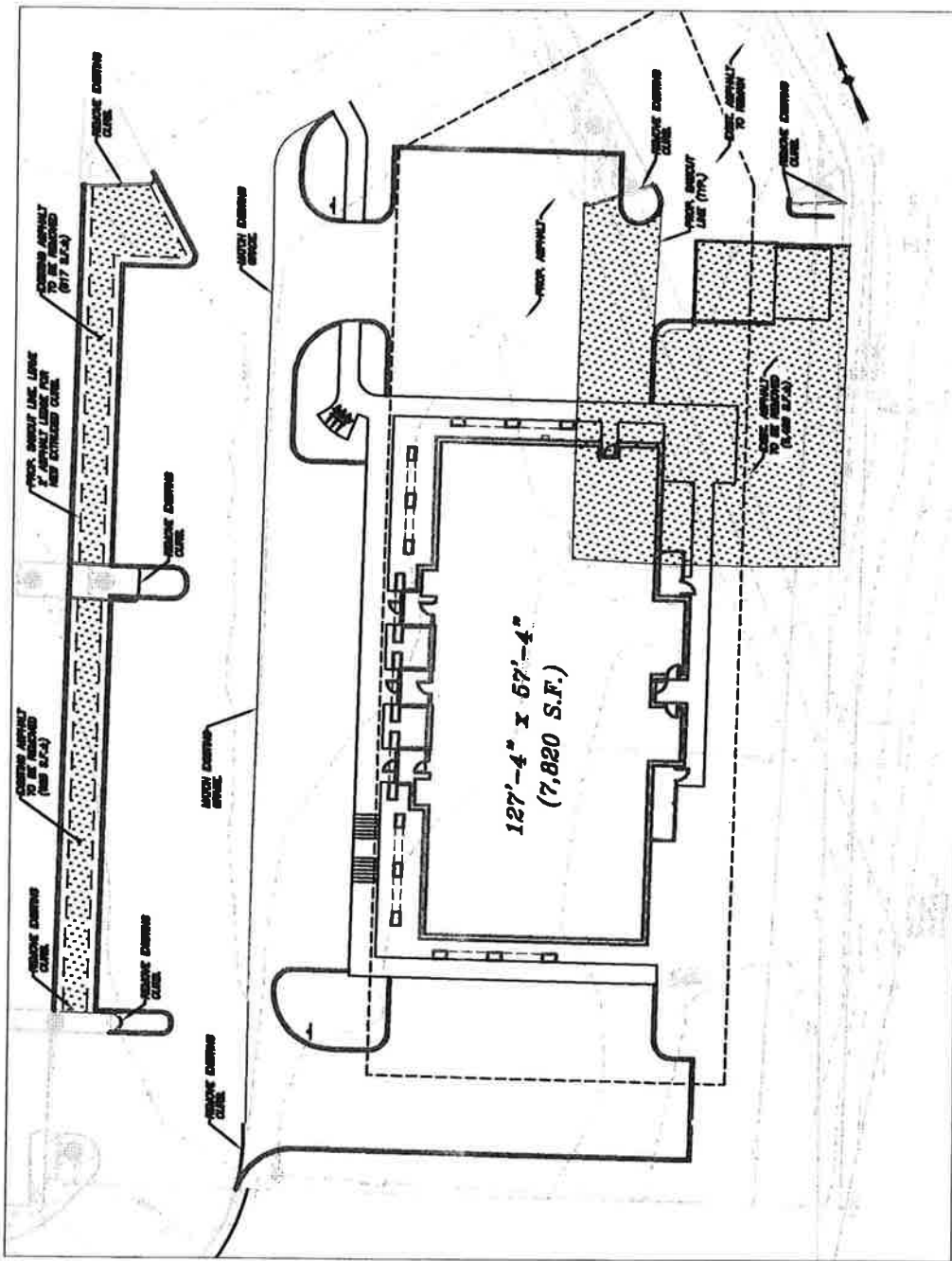
FOR ALL INTER, SEWER, ELECTRICAL OR DRAINAGE PIPING

J PIPE BEDDING & BACKFILL DETAIL

• FOR MORE INFORMATION, REFER TO TROT STANDARD DRAWING D-108-2.

④ PANTED HANDICAPPED SYMBOL

⑤ STOP SIGN DETAIL
C-2 N.T.S.



7 SITE DEMOLITION DIAGRAM
C-2 12-80

SHEET 0-6 (7 OF 13)

CONSTRUCTION DETAILS

SITE ADDRESS: 144 CONCORD RD., FARRAGUT, TENNESSEE 37934

EST. IN	UNIT COUNTRY
1980	UNITED STATES
1981	UNITED STATES
1982	UNITED STATES
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DATE AS NOTED

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KNOXVILLE, TN 37918

(2004) 670-1002

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ARL CONSTRUCTION, LLC
11151 WONGER AVE

MICHAEL ALLEN
807 N. CEDAR W/ST BOW

FOR THE UNITED STATES MARSHAL SERVICE
FIVEHURST, TN 37023

(202) 670-9280

UN CHALLENGING WORLD

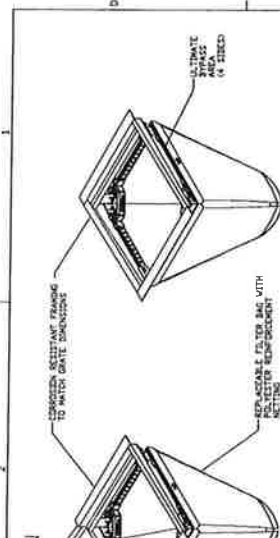
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INLET FILTERS
FOR RECTANGULAR INLETS

FLEXFORM HD INLET FILTERS

TUXFORM HD Tangle-Free Openings with 6 Bars (as shown)	Minimum Bypass Flow Rates (GPM) Based on Nominal Frame Size with minimum 3" Bypass Flow Gap	
	Installation Type	Combination 2/1
1. 100mm (4")	625GPD	625GPD
2. 150mm (6")	937GPD	937GPD
3. 200mm (8")	1250GPD	1250GPD
4. 250mm (10")	1562GPD	1562GPD

NOTE: THESE ARE MINIMUM FLOW RATES. FLOWING DEVICES MAY VARY TO INCREASE BYPASS HEIGHT AND

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Distributed By:
Superior Drainage Products, Inc.

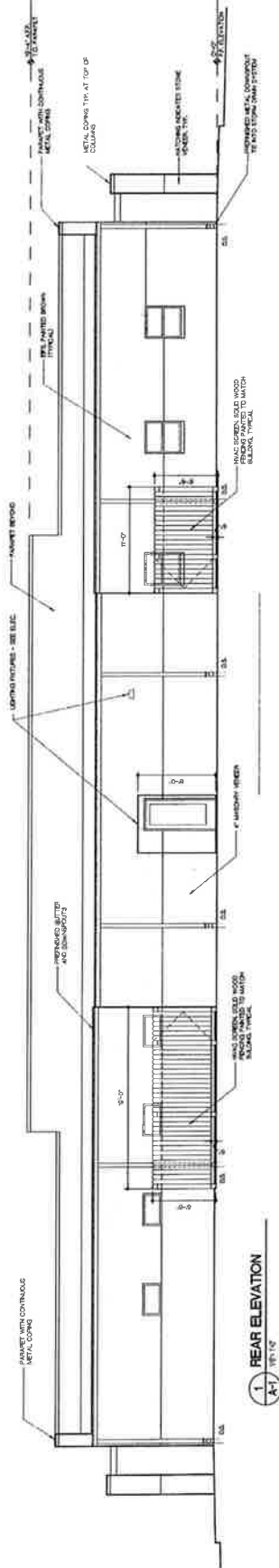
ALL PRODUCTS MANUFACTURED
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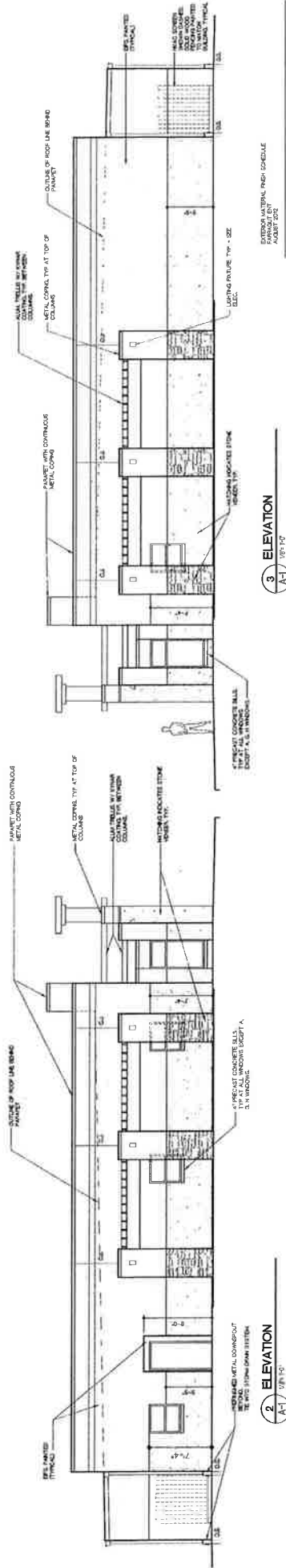
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6" CONCRETE SLAB WITH WELDED WIRE MESH



1 REAR ELEVATION
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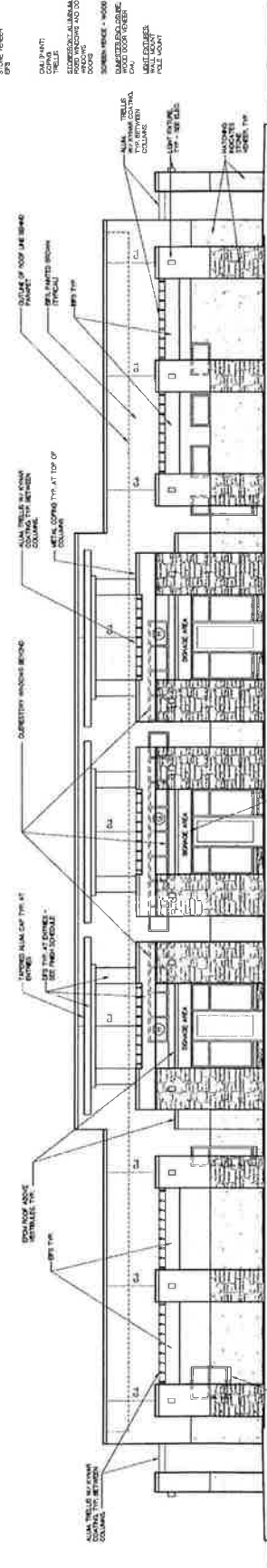


2 ELEVATION
A-1 1/8" = 1'-0"

3 ELEVATION
A-1 1/8" = 1'-0"

EXTENSION MATERIAL FINISH SCHEDULE

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CONCRETE	CONCRETE	CONCRETE
PAINT	PAINT	PAINT
ROOFING	ROOFING	ROOFING
GLASS	GLASS	GLASS
WALLS	WALLS	WALLS
FLOORING	FLOORING	FLOORING
CEILING	CEILING	CEILING
DOORS	DOORS	DOORS
WINDOWS	WINDOWS	WINDOWS
SCREENS	SCREENS	SCREENS
RAILINGS	RAILINGS	RAILINGS
POLE	POLE	POLE
STAIRS	STAIRS	STAIRS
SMOKE	SMOKE	SMOKE
WALLS	WALLS	WALLS
CEILING	CEILING	CEILING
FLOORING	FLOORING	FLOORING
DOORS	DOORS	DOORS
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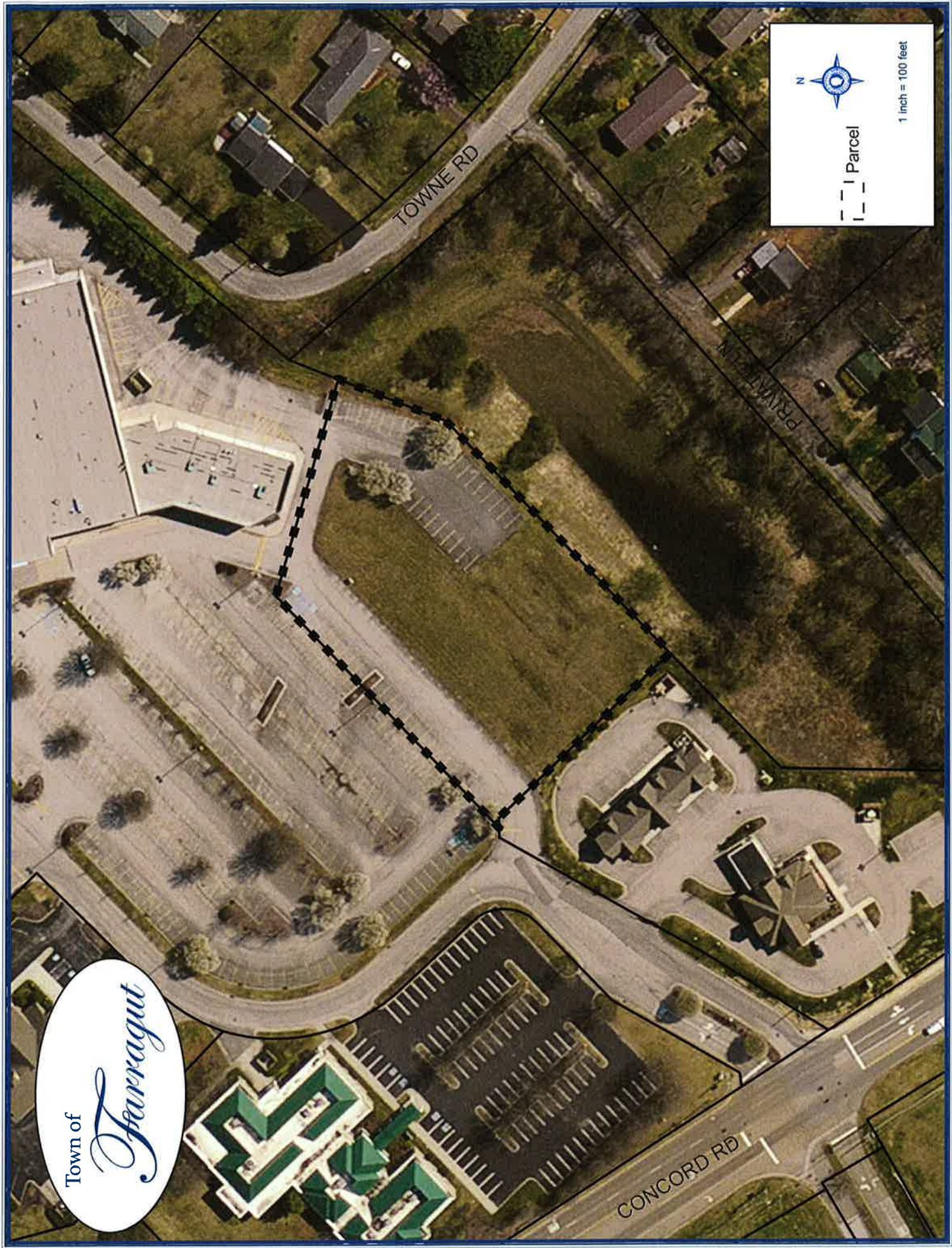
4 FRONT ELEVATION
A-1 1/8" = 1'-0"



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JAN 7 2013

TOWN OF FARRAGUT



1 inch = 100 feet

--- Parcel

Town of
Farragut

TOWNE RD

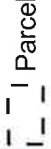
PRIVACY RD

CONCORD RD





Parcel



1 inch = 250 feet



Dr. Ralph McGill, *Mayor*
Mary Dorothy LaMarche, *Vice-Mayor*
David Smoak, *Town Administrator*
Allison M. Myers, *Town Recorder*



Jeff Elliott, *Alderman*
Ron Honken, *Alderman*
Robert N. Markli, *Alderman*

December 21, 2012

Farragut ENT
11201 West Point Drive
Farragut, TN 37934
Fax # 966-0942

SUBJECT: Staff comments on site plan for Farragut ENT, Parcel 1.11, Tax Map 143HA,
Farragut

To Whom It May Concern,

The Town staff has reviewed the above referenced site plan for compliance with the Town's regulations. Please address the following items and submit five (5) complete sets of 24" x 36" revised plans and one 8 1/2" x 11" reduced set to the Farragut Town Hall by **Monday, January 7 at 9:00 a.m.** If plans are not resubmitted by the deadline or the items are not adequately addressed, this item will not be placed on the planning commission agenda. Also, upon resubmittal please include a letter which addresses these comments and that indicates where the information can be found on the plans.

Please remember this item will be discussed at the Staff/Developer Meeting at the Farragut Town Hall on Wednesday, January 2, at 9:00 a.m. The purpose of this meeting is to discuss questions you may have on staff comments. Modifications to the plans are not due until Monday, January 7.

Fire Division: (Contact Dan Johnson at 675-2384)

1. If proposed structure is to be fully protected by fire sprinklers, indicate this on the drawings as a note;
2. If above note applies, provide location of the FDC within 100' of the fire hydrant and maintain appropriate paving markings to alleviate blocking of those device';

Planning Division: (Contact Ruth Viergutz Hawk at 966-7057)

3. The subdivision plat must be approved and recorded prior to the issuance of any permits;
4. Submit an address certification from MPC;
5. Sheet C-1 - update Note #3. The property is zoned C-1 and the setbacks are Front - 40'/60'/80', Sides - minimum 20'/total 60', Rear - 30';
6. Sheet C-1 - indicate the property address in the title block;

7. Sheet C-2, note #2 - the front yard setbacks for the C-1 zoning district are 40'/60'/80'. Please change accordingly;
8. Sheet C-2, note #3 - a total of 2 (vs. 3) bicycle parking spaces are required;
9. Sheet C-2, note #12 - it is detail 2 vs. 5 for the turn down sidewalk;
10. Sheet C-2 - please clarify that the sidewalk is not flush with the parking lot. For clarification purposes, please reference detail 2/C-6 at several points;
11. Indicate the sidewalk width on the east side of the building;
12. Sheet C-2, bollard detail - clarify where the bollard is going to be located;
13. The minimum vehicle back-up area in the parking lot is 10' x 25'. It needs to be the full width of the driveway aisle;
14. Our ordinance requires that handicapped parking spaces be close to the door. I know in my last comments I asked that the ramp for the HC parking not be at the building entrance sidewalk, because it appeared to be awkward and a potential tripping hazard. In trying to compromise, maybe move the HC spaces one space toward the door. We can talk about this more at the Staff/Developer Meeting;
15. Add a 10' grass strip on the northwest property line adjacent to the parking row. This is a required perimeter parkway;
16. The sidewalk connection to the bank - what/where does this connection stub into? Please show;
17. Indicate the color of the dumpster gates;
18. The footcandle values are extremely low. Please re-check;
19. Label the lights so can coordinate/determine in the information on Sheets E0.1 and E0.2;
20. There are 4 lights per Sheet E0.1, but only 3 are shown on Sheet E0.2;
21. I cannot determine where the lights on Sheet E0.2 are being placed. Please clarify;
22. Given the submitted information, fixtures WSQ LED and the Penfield may not comply. Please provide complete information;
23. What is the wattage of the Penfield fixture?
24. Sheet A1 - what color is loggia?

Tree Preservation/Removal Plan/Landscape Plan: (Contact Mark Shipley at 966-7057)

25. For ventilation purposes, you may want to use a shadowbox style screen for the HVAC units;
26. During the different stages involved in constructing the enhanced dry swale a verification from the project engineer will be required to ensure that construction is in accordance with the approved plans;

Engineering Division: (Contact Darryl Smith at 966-7057)

27. Use minimum 18" pipe diameter;
28. Provide irrevocable letter of credit for erosion control for \$6000; and
29. Submit Drainage Fee of \$840.

Farragut ENT
12/21/12
Page 3

Please call the designated staff person if you have any questions on the above items. Unless specified otherwise, please include all requested information on the plans. You may note that there are some duplicate comments. This is done so that if you have a question, you know that you can call either person regarding that particular issue. Please note that due to the nature and extent of the comments, additional comments may be generated upon resubmission.

Sincerely,



Ruth Viergutz Hawk, AICP
Community Development Director



Darryl W. Smith, P.E.
Town Engineer

pc: Chris Sharp (Urban Engineering, uei@tds.net)
Bobbie Congleton (1456 Spring Pass Way, Knoxville, TN 37919)

Dr. Ralph McGill, *Mayor*
Mary Dorothy LaMarche, *Vice-Mayor*
David Smoak, *Town Administrator*
Allison M. Myers, *Town Recorder*



Jeff Elliott, *Alderman*
Ron Honken, *Alderman*
Robert N. Markli, *Alderman*

August 30, 2012

Farragut ENT
11201 West Point Drive
Farragut, TN 37934
Fax # 966-0942

SUBJECT: Staff comments on site plan for Farragut ENT, Parcel 1.11, Tax Map 143HA, Farragut

To Whom It May Concern,

The Town staff has reviewed the above referenced site plan for compliance with the Town's regulations. Please address the following items and submit five (5) complete sets of 24" x 36" revised plans and one 8 1/2" x 11" reduced set to the Farragut Town Hall. Please note that due to the number and extent of the outstanding items, this item will not be heard at the September 20 planning commission meeting.

This item will be discussed at the Staff/Developer Meeting at the Farragut Town Hall on Tuesday, September 4, from 10:00 - 10:30 a.m. The purpose of this meeting is to discuss questions you may have on staff comments.

Fire Division: (Contact Dan Johnson at 675-2384)

1. Provide fire hydrant flow data for the closest fire hydrant(s) to be used to satisfy the needed fire flow;
2. Provide fire hydrants within 400' of all drivable exterior points of the structure;
3. Utilize appendix B and C of the 2006 International Fire Code to provide the required distribution of fire hydrants. Include a summary of this data on the drawings;

Planning Division: (Contact Ruth Viergutz Hawk at 966-7057)

4. The lot is landlocked. Per the Farragut Zoning Ordinance, Chapter 4, Section XIV. Lots or Parcels, B., no building permit can be issued;
5. Staff has researched the history of this parcel and cannot find where this was created as a buildable lot;
6. Staff suggests combining this lot with the detention basin lot or the larger parcel to the east/north;
7. Addressing the lack of an access easement is through a different process. A site plan cannot establish legal access easements or access (Sheet 3, Note #20);
8. Update adjoining property ownership information;
9. Submit an address certification from MPC;
10. Include the address in the title block of each sheet and on the title page;

11. Indicate a person's name for the developer;
12. Sheet 3, Note #3, use correct building setbacks (per C-1 zoning district);
13. The landscaping under any solid roofed canopy or other architectural feature cannot count toward meeting the landscaping between building and parking lot requirement. This includes the areas on both sides of the front entrance doors and between the front entrance doors;
14. Accurately show roof line (impervious roofed surfaces);
15. Delete the landscape island with the 4' cut. The maximum cut is 1';
16. Widen the landscape island with the bike racks to ensure the minimum 5' landscaping width is met the full length of the island;
17. The minimum vehicle back-up area in the parking lot is 10' (vs. 5');
18. Remove pillars from the middle of the sidewalk. The minimum clear width of sidewalks is 5';
19. Sheet 3 - only show proposed improvements. Remove unnecessary lines;
20. Do not ramp the sidewalk at the entrance sidewalks into the buildings. Adjust ramp locations accordingly;
21. Indicate parking easements requirements (in favor of adjacent properties);
22. Sheet 3, Note #3 - clean up the parking notes. Indicate what is required and what is provided;
23. Delete curb breaks for drainage. This creates concentrated flows which in turn creates an erosion problem;
24. The landscape island next to the dumpster must meet the minimum size and landscaping requirements;
25. All landscape islands must meet minimum landscaping requirements (Bradford Pears not permitted);
26. Why are they're tire stops on the west side of the building?
27. Connect sidewalks to west properties;
28. Ensure information does not conflict from sheet to sheet. For example, the lighting plan shows a different location for the bike racks;
29. The wall light detail is not legible;
30. Show proposed solar panels;
31. Indicate the color of the dumpster gates;
32. The sewer line is between 16 and 22 feet deep. The building is too close to the easement. As shown, the footer will encroach into the easement;
33. Add a legend to all sheets. Example: what is 4" PL?
34. There are two Sheet's 11. Renumber accordingly;
35. Will there be no exits out of the rear of the building?
36. Sheet 3, Note #14 - where is the storage building?
37. Sheet 3, Note #16 - HVAC screening note contradicts detail;
38. Add a note indicating there will be no slopes greater than 3:1 (run/rise);

Tree Preservation/Removal Plan/Landscape Plan: (Contact Mark Shipley at 966-7057)

39. A two-year landscape maintenance Letter of Credit will be required before a Certificate of Occupancy will be issued;
40. No grading permit can be issued until the landscape plan is approved;

41. The minimum sidewalk width is five (5) feet. This appears to be compromised by columns adjacent to the building. Please address;
42. This lot is landlocked and, in accordance with the Farragut Zoning Ordinance, cannot be issued a building permit. There are some options to combine it with adjacent parcels;
43. The terminal island on the northeast corner of the building does not meet the minimum five (5) feet of width throughout its length. I would omit the interior island along the front of the building and widen the terminal island to meet the required width;
44. Any new curbing must comply with the perimeter parkway setback. This does not appear to be the case near the dumpster area;
45. Please include a diagram that verifies that the landscaping required between the building and parking lot is satisfied. Landscaping proposed under overhangs cannot count toward satisfying this requirement;
46. Depending on how the property's landlocked condition is addressed, a buffer strip may be required;
47. Where is the storage building referenced in Note #14 on Sheet C-2?
48. The HVAC screening proposed on the detail does not match what is noted on the plan;
49. The staff would encourage the use of low impact development measures (e.g. rainwater harvesting, permeable pavers, bioretention, etc.,) where possible;
50. The HVAC screening note on Sheet A-1 needs to state that all HVAC units will be screened so that they are not visible from adjacent properties or rights of ways. The need for screening is something that must be addressed on the front end so that it will not become an issue. The plans need to demonstrate that this requirement will be satisfied;
51. The staff would recommend removing all of the Bradford pears and replacing them with trees that are included on the Town's recommended tree list. Since they are exotic invasive, Bradford pears do not count toward replacement or credit. The site will have to meet the current landscaping requirements and this will need to be demonstrated on the landscape plan;
52. The legend indicates that a 4 inch dogwood tree is being removed. This tree does not appear on the plan and could not be found in the field;
53. Please update the tree protection notes to make sure they are consistent with the scope of this project;

Engineering Division: (Contact Darryl Smith at 966-7057)

54. This development appears to be on a land-locked parcel with no access easements from adjacent properties. As such, shouldn't that issue be worked out before approval of a site plan?
55. Show depth of base stone beneath concrete slab in detail;
56. This site drains to a large detention basin to the south, which accepts runoff from the entire shopping center. As this is merely an outparcel of that original development, we should not characterize it as a "redevelopment" of the original site (with regards to detention requirements). First flush treatment is accomplished with drain inserts. How will these be maintained? The existing

detention basin was developed under the Town's previous requirements, which required that the post-developed peak runoff from the 50-year storm be reduced to that of the pre-developed peak runoff from the 10-year storm. This will be acceptable, but the capacity and operation of the basin must be confirmed;

57. Use minimum 18" pipe diameter;
58. Show where water, sewer, gas, telephone and cable actually enter the building;
59. Show erosion control plan details;
60. Provide irrevocable letter of credit for erosion control for \$6000;
61. Submit Drainage Fee of \$840; and
62. Submittal described only 0.8 acre of area disturbed, so an NOC will not be required. Please note, however, that an NOC will be required if the disturbed area exceeds 1.0 acre.

Please call the designated staff person if you have any questions on the above items. Unless specified otherwise, please include all requested information on the plans. You may note that there are some duplicate comments. This is done so that if you have a question, you know that you can call either person regarding that particular issue. Please note that due to the nature and extent of the comments, additional comments may be generated upon resubmission.

Sincerely,


Ruth Viergutz Hawk, AICP
Community Development Director


Darryl W. Smith, P.E.
Town Engineer

pc: Chris Sharp (Urban Engineering, uei@tds.net)

MEETING DATE : January 17, 2013

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Ruth Viergutz Hawk, Community Development Director

SUBJECT: Discussion and public hearing on a request to rezone Parcel 6, Tax Map 151, located on the west side of N. Watt Road approximately 600 feet north of Harrison Road, approximately 9 Acres, from C-1 to R-1 and R-4 (Scott Davis, Applicant)

INTRODUCTION: This parcel is currently zoned General Commercial. The properties surrounding this parcel are zoned Agricultural. The history of why this property is zoned commercial when all surrounding land is still zoned Agricultural is unknown.

DISCUSSION: The property fronts on N. Watt Road for approximately 500 feet and fronts on Harrison Road for approximately 380 feet. The property has no buildings and the majority of it is a hay field with the fence rows being treed. The land surrounding this site is currently being farmed. There are farm houses and associated farm buildings on the adjacent properties and on the east side of N. Watt Road. There is a large lot single-family subdivision located on the west side of Harrison Road across from this parcel.

The applicant is planning to sell 1.5 acres fronting on Harrison Road for a large single-family lot. He currently has no plans for the remainder of the land. The applicant is requesting that the 1.5 acres be zoned R-1 Rural Single-Family Residential and the remainder of the property, 7.631 acres, be rezoned to R-4 Attached Single-Family Residential District.

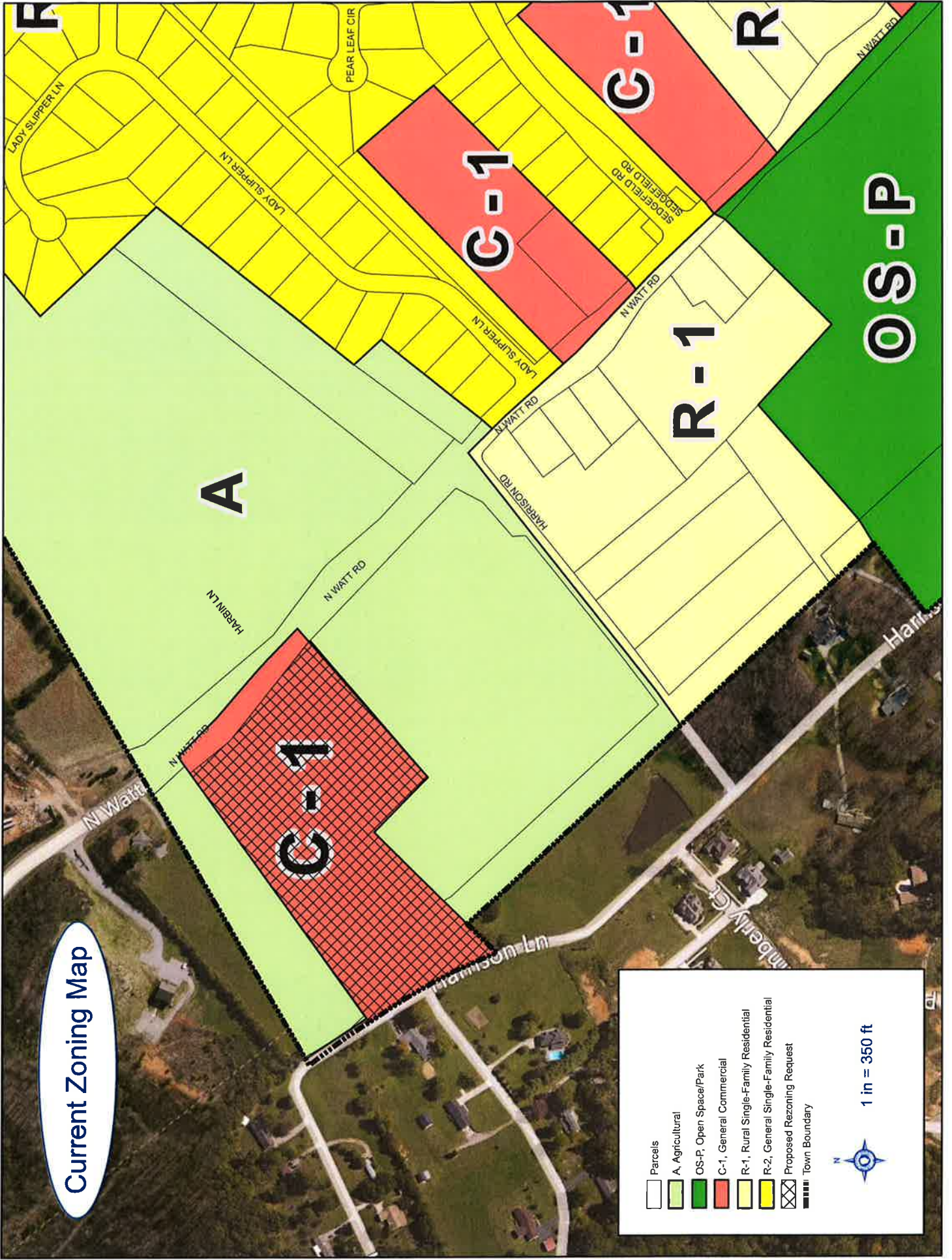
Because the 1.5 acres does not meet the minimum requirements of the C-1 district, the plat subdividing out this 1.5 acres of land on Harrison Road will need to be approved and recorded after the rezoning is finalized.

Attached please find an aerial photo of the general area and the zoning of the general area. Also attached please find a copy of Resolution PC-13-01 and Ordinance 13-01.

RECOMMENDATION BY: Staff recommends approval of Resolution PC-13-01, which recommends approval of Ordinance 13-01 and the rezoning to the Board of Mayor and Aldermen.



Current Zoning Map



RESOLUTION PC-13-01

FARRAGUT MUNICIPAL PLANNING COMMISSION

A RESOLUTION TO APPROVE AN AMENDMENT TO THE FARRAGUT ZONING MAP, ORDINANCE 86-16, TO RECOMMEND THE APPROVAL OF THE REZONING OF PARCEL 6, TAX MAP 151, LOCATED ON THE WEST SIDE OF N. WATT ROAD APPROXIMATELY 600 FEET NORTH OF HARRISON ROAD, APPROXIMATELY 9.1 ACRES, FROM C-1 GENERAL COMMERCIAL DISTRICT TO R-4 ATTACHED SINGLE-FAMILY RESIDENTIAL DISTRICT (7.631 ACRES) AND R-1 RURAL SINGLE-FAMILY RESIDENTIAL DISTRICT (1.5 ACRES)

WHEREAS, the Tennessee Code Annotated, Section 13-4-201 et seq, provides that the Municipal Planning Commission shall make and adopt a general plan for the physical development of the municipality; and

WHEREAS, the Farragut Municipal Planning Commission has adopted various elements of a zoning plan as an element of the general plan for physical development; and

WHEREAS, a public hearing was held on this request on January 17, 2013, and

NOW, THEREFORE, BE IT RESOLVED that the Farragut Municipal Planning Commission hereby recommends approval to the Farragut Board of Mayor and Aldermen of an ordinance, amending Ordinance 86-16, of the Farragut Zoning Ordinance, by adding Ordinance 13-01.

ADOPTED this 17th day of January , 2013.

Rita Holladay, Chairman

Edwin K. Whiting, Secretary

ORDINANCE:	13-01
PREPARED BY:	Hawk
REQUESTED BY:	Scott Davis, Applicant
CERTIFIED BY FMPC:	January 17, 2013
PUBLIC HEARING:	_____
PUBLISHED IN:	_____
DATE:	_____
1ST READING:	_____
2ND READING:	_____
PUBLISHED IN:	_____
DATE:	_____

AN ORDINANCE AMENDING THE ZONING ORDINANCE OF THE TOWN OF FARRAGUT, TENNESSEE, ORDINANCE 86-16, AS AMENDED, PURSUANT TO AUTHORITY GRANTED BY SECTION 13-4-201, TENNESSEE CODE ANNOTATED.

BE IT ORDAINED by the Board of Mayor and Aldermen of the Town of Farragut, Tennessee, that the Farragut Zoning Ordinance, Ordinance 86-16, as amended, is hereby amended as follows:

SECTION 1.

The Farragut Zoning Ordinance, Ordinance 86-16, as amended, is hereby amended by rezoning Parcel 6, Tax Map 151, located on the west side of N. Watt Road approximately 600 feet north of Harrison Road, approximately 0.1 acres, from C-1 General Commercial District to R-4 Attached Single-Family Residential District (7.631 Acres) and R-1 Rural Single-Family Residential District (1.5 Acres) (Exhibits A & B)

SECTION 2.

This ordinance shall take effect from and after its final passage and publication, the public welfare requiring it.

Dr. Ralph McGill, Mayor

ORDINANCE 13-01

Page 2

Allison Myers, Town Recorder

Certified to the Farragut Board of Mayor and Aldermen this _____ day of
_____, 2013, with approval recommended.

Rita Holladay, Chairman

Edwin K. Whiting, Secretary

FARRAGUT MUNICIPAL PLANNING COMMISSION

TOTAL AREA 7.631 ACRES

THE PURPOSE OF THIS PLAT IS TO SUBDIVIDE PROPERTY FOR THE TRANSFER OF PROPERTY.

NOTES:

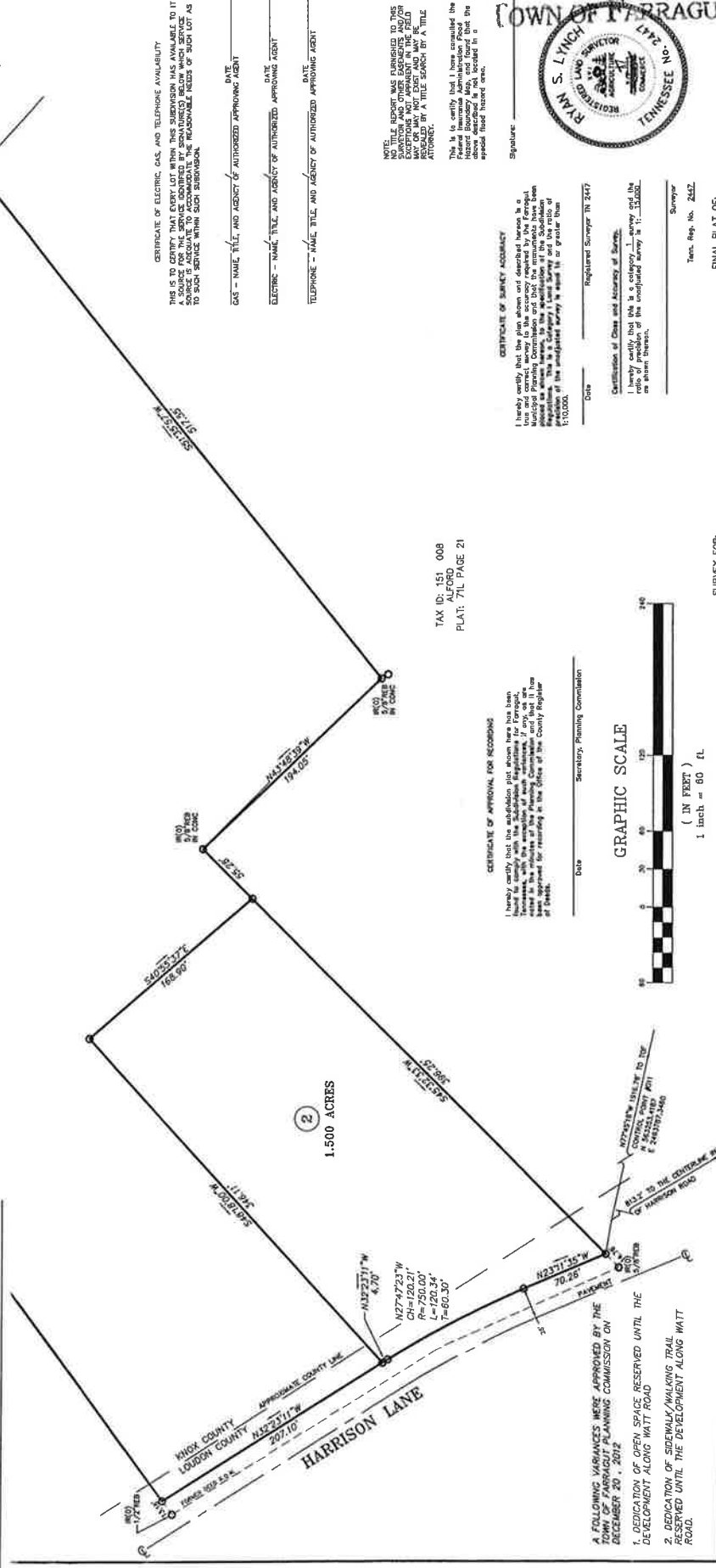
1. IRON PINS SET AT ALL CORNERS UNLESS OTHERWISE NOTED.
2. CLT TAX MAP 151 PARCEL 8
3. DEED REFERENCE - D.B. 1805 PG. 365.
4. THIS PROPERTY IS ZONED R-1, (RURAL RESIDENTIAL DISTRICT) SIDE 15 FEET (TOTAL OF SIDES TO EQUAL 40 FEET) REAR: 25 FEET
5. 300' UTILITY, DRAINAGE, AND CONSTRUCTION EASEMENT ON EACH SIDE OF THE LOT. (SEE ATTACHED PLAT FOR DRAINAGE, AND CONSTRUCTION EASEMENT ON INSIDE OF ROAD R.O.W.'S AND EXTERIOR LOT LINES.

ORDINANCE 13-01 (Exhibit B - Map Attachment)

TO REZONE
Parcel 6, Tax Map 151

from
C-1 General Commercial District
to
R-4 Attached Single-Family Residential District (7.631 Acres)
and
R-1 Rural Single-Family Residential District (1.5 Acres)

7.631 ACRES
TAX ID: 151 005
DEED: 2005120046393



TAX ID: 151 005
ALFORD
PLAT: 71L PAGE 21

CERTIFICATE OF APPROVAL FOR RECORDING

I hereby certify that the subdivision plat shown here has been found to comply with the Subdivision Regulations for Farragut, Tennessee, and that the same have been properly recorded in the Office of the County Register of Deeds.

Date _____ Secretary, Planning Commission

GRAPHIC SCALE



CERTIFICATE OF SURVEY ACCURACY

I hereby certify that the plat shown and described herein is a true and correct copy of the original survey as shown on the original plat and that the same have been properly recorded in the Office of the County Register of Deeds.

Date _____ Registered Surveyor TN 5447

CERTIFICATE OF DEED AND ACCURACY OF SURVEY

I hereby certify that this is a copy of the original plat and that the same have been properly recorded in the Office of the County Register of Deeds.

Date _____

Surveyor

Term, Reg. No. 2642

FINAL PLAT OF:

Scott & Hope Davis Property

Ward I. Town for Farragut, Tennessee

District 6, Knox County, Tennessee

PROJECT NO. 3565

SURVEY FOR:

Scott Davis

P.O. Box 11315

Knoxville, Tennessee 37939

Phone: 865-806-8008

REVISIONS

1. 08/08/10

2. 11/07/12

3. 08/08/10

4. 08/08/10

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MEETING DATE: January 17, 2013

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Ruth Viergutz Hawk, Community Development Director

SUBJECT: Discussion and public hearing on a request to amend the text of the Farragut Municipal Code, Title 9, Chapter 4. Sign Ordinance, Section 9-406., to allow signage on a wall to exceed a 1:1 ratio (Costco Wholesale Corporation, Applicant)

INTRODUCTION: This item involves a request to amend Section 9-406 of the *Farragut Sign Ordinance*. Since the adoption of the town's first sign ordinance, we have required that wall mounted signage be proportional with the wall on which the sign is mounted. The ratio that has always been used for calculating wall signage has been a 1:1 ratio. For every linear foot of wall length, there can be one square foot of sign area. For example, a 100 foot long wall could have a 100 square foot sign.

DISCUSSION: This item involves a text amendment request from Costco that is related to how square footage for wall signage is determined. Specifically the main public entrance to the new Costco building is along an angled portion of the building that is roughly 50 feet in length. The Town's sign ordinance allows one (1) square foot of sign area for each linear foot of building length on which the sign is mounted. This 1 to 1 ratio has been a long-standing provision of the Town's sign ordinance and has worked very well to ensure that the scale of signage looks proportional to the building elevation on which the sign is mounted.

Since the angled portion of the Costco building is 48 feet, the sign that was approved for this portion of the building elevation was 48 square feet. Costco is requesting that the manner of determining wall signage be changed so that they can have a 125 square foot wall sign where the existing 48 square foot sign is currently situated.

The staff cannot support the request for the following reasons:

1. This amendment would represent a very significant variation from Town practice. The 1:1 ratio would be modified to a ratio of over 2 ½:1. Such a ratio would greatly compromise the proportionality component of the Town's sign ordinance.
2. Costco has the opportunity for a much larger wall sign facing Lovell Road. In lieu of a sign on the angled building elevation, a sign of nearly 280 square feet on the building elevation that is parallel with Lovell Road could be approved.
3. Related to this, in terms of identifying the Costco for someone traveling southbound on Lovell Road, a monument sign which would double as a gas price sign (like the Kroger and Ingles)

would be the most effective wayfinding because such a sign could be seen as you approach the Costco development going south along Lovell Road. Due to grade difference and the distance of the Costco building from Lovell Road, the Costco building is not very visible from Lovell Road. A monument sign would be much more effective for identification purposes than a larger sign on the angled portion of the building that doesn't directly face either Lovell Road or Kingston Pike. In addition, there is a vacant out parcel between the Costco building and Lovell Road. Once this parcel is developed, the Costco building entrance (angled portion of the wall) will not be visible at all from Lovell Road.

4. From the Kingston Pike frontage, the 276 square foot wall mounted sign on the west portion of the building elevation that faces Kingston Pike is the primary building identifier and it is very visible from Kingston Pike. Similar to Lovell Road, a larger wall sign above the canopy would add very little in terms of wayfinding due to its orientation and the fact that the existing wall sign that faces Kingston Pike is so visible. Due to the fact that the angled portion of the building does not directly face Lovell Road or Kingston Pike, this sign essentially functions as an entrance identifier for the benefit of patrons that are already in the parking lot and are looking for the main entrance. In this regard, the sign, as approved, more than serves its purpose.

The VRRB recommended denial of the request. They concurred with staff in that they felt that a monument sign along Lovell Road would be the most effective for Costco. They also expressed concern about broadly altering the 1:1 ratio in such a manner that would provide for a 125 square foot sign on a 48 foot section of building elevation. The VRRB did, however, suggest that if the planning commission desired, a different option be considered. This option would provide for a larger sign than would be permitted from a 1:1 ratio only where a large building has a smaller angled elevation where a sign is desired in lieu of a sign on a longer adjacent building elevation. They felt that some parameters would need to be established for the width of the angled portion and the length of the longer building elevation and perhaps a percentage of the total width of the angled portion of the building and the longer building elevation would be applied to the size of the wall sign on the angled portion of the building.

Staff does not support this alternative option. Modifying the ordinance to further expand signage options for big box businesses, which already are permitted much larger signs than other businesses, would be inequitable. Like the request that we reviewed several months ago for the additional wall signage on the 5-story office building, Costco has other signage options available to them in our ordinance.

Ultimately the purpose of signage is wayfinding and it is very clear that our ordinance accomplishes that purpose. In addition, this request is not consistent with the Town's adopted *Strategic Plan*. Per the *Strategic Plan*, Goal 4, Objective 6 provides for "more beautiful corridors and development – signs, storefronts, and landscaping." Lessening visual clutter and keeping sign size proportional in size to the wall on which they are mounted, would seem to be consistent with this objective.

Attached please a copy of the applicant's request. Also attached please find a copy of Resolution PC-13-02 and Ordinance 13-02. I have also included a copy of the ordinance amendment with the added new wording in red.

RECOMMENDATION BY: Staff recommends denial of Resolution PC-13-02, which recommends approval of Ordinance 13-02 and the Sign Ordinance text amendment to the Board of Mayor and Aldermen.

RECEIVED APPLICATION TO AMEND ORDINANCE TEXT
TOWN OF FARRAGUT, TENNESSEE

NOV 5 2012

TOWN OF FARRAGUT

FOR OFFICE USE ONLY
Fee Paid: \$250.00

APPLICANT NAME: Costco Wholesale Corporation

Address: 45940 Horseshoe Drive, Suite 150 City/State/Zip: Sterling, VA 20166

Phone Number: 703.406.6862 Fax Number: 703.406.6835

E-mail: JRutter@Costco.com

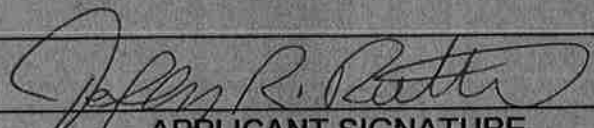
CHANGE REQUESTED

Amend Zoning Ordinance or Sign Ordinance text as follows:

Allow for signage on a wall to exceed a 1:1 ratio of square foot size
to lineal length of wall. Allow for an angled wall to be considered
part of one of the adjacent walls for calculating allowable square
footage of signage.

The proposed amendment is necessary due to the following changed or changing conditions (be specific):

The Sign Ordinance as is creates a small sign on a tall wall. We would
like to go from a 48 square foot sign to a 125 square foot sign.



APPLICANT SIGNATURE

10/31/12

DATE

JEFFREY R. RUTTER
DIRECTOR OF REAL ESTATE DEVELOPMENT OR

I HEREBY CERTIFY THAT I AM THE LEGAL REPRESENTATIVE FOR THE APPLICANT
INVOLVED IN THIS REQUEST.

NAME (SIGNATURE)

DATE

Street Address

City/State/Zip

Telephone Number

RESOLUTION PC-13-02

FARRAGUT MUNICIPAL PLANNING COMMISSION

A RESOLUTION TO AMEND THE TEXT OF THE FARRAGUT MUNICIPAL CODE, TITLE 9, BUSINESS, PEDDLERS, SOLICITORS, ETC., CHAPTER 4, SIGN ORDINANCE, SECTION 9-406. SIGN REGULATIONS BY LAND USE AND/OR ZONING DISTRICTS. (4) (o) WALL SIGNS, TO ALLOW SIGNAGE ON A WALL TO EXCEED A 1:1 RATIO

WHEREAS, the Tennessee Code Annotated, Section 13-4-201 et seq, provides that the Municipal Planning Commission shall make and adopt a general plan for the physical development of the municipality; and

WHEREAS, the Farragut Municipal Planning Commission has adopted various elements of a zoning plan as an element of the general plan for physical development; and

WHEREAS, a public hearing was held on this request on January 17, 2013;

NOW, THEREFORE, BE IT RESOLVED that the Farragut Municipal Planning Commission hereby recommends approval to the Farragut Board of Mayor and Aldermen of an ordinance, amending the text of the Farragut Municipal Code, Title 9, Business, Peddlers, Solicitors, Etc., Chapter 4, Sign Ordinance, by adding Ordinance 13-02.

ADOPTED this 17th day of January, 2013.

Rita Holladay, Chairman

Edwin K. Whiting, Secretary

ORDINANCE: 13-02
PREPARED BY: Hawk
REQUESTED BY: Costco Wholesale Corporation, Applicant
CERTIFIED BY FMPC: January 17, 2013
PUBLIC HEARING: _____
PUBLISHED IN: _____
DATE: _____
1ST READING: _____
2ND READING: _____
PUBLISHED IN: _____
DATE: _____

AN ORDINANCE TO AMEND TITLE 9, BUSINESS, PEDDLERS, SOLICITORS, ETC., CHAPTER 4, SIGN ORDINANCE, OF THE FARRAGUT MUNICIPAL CODE, SECTION 9-406. SIGN REGULATIONS BY LAND USE AND/OR ZONING DISTRICTS. (4) (o) WALL SIGNS, TO ALLOW SIGNAGE ON A WALL TO EXCEED A 1:1 RATIO

WHEREAS, the Board of Mayor and Aldermen of the Town of Farragut, Tennessee, wishes to amend Title 9, Chapter 4, Sign Ordinance, of the Farragut Municipal Code,

NOW, THEREFORE, BE IT ORDAINED by the Board of Mayor and Aldermen of the Town of Farragut, Tennessee, that the Farragut Municipal Code is hereby amended as follows:

SECTION 1.

The Farragut Municipal Code, Title 9, Business, Peddlers, Solicitors, Etc., Chapter 4, Sign Ordinance, Section 9-406. Sign regulations by land use and/or zoning districts. (4) (o) Wall signs, is amended by deleting the first paragraph in its entirety and substituting in lieu thereof the following:

- (o) *Wall signs.* Each separate use within a building which has its own separate and exclusive exterior public entrance to the building shall be allowed one (1) wall sign. Such wall signs are permitted a total area of one (1) square foot per each linear foot of building wall of lease space upon which the sign is mounted, not to exceed three hundred and fifty (350) square feet, unless otherwise provided for in this section. If a building wall is angled more than ninety degrees from the two adjacent walls, such angled wall shall be allowed a sign with a total area of 2.7 square feet per each linear foot of angled building wall length. Such wall signs shall be limited to the side of a building which fronts upon a public street, faces upon a customer parking area, faces upon a pedestrian mall, or is the point of the principal public access into the establishment, unless otherwise provided for in this section.

ORDINANCE 13-02

Page 2

SECTION 2.

This ordinance shall take effect from and after its final passage and publication, the public welfare requiring it.

Dr. Ralph McGill, Mayor

Allison Myers, Town Recorder

Certified to the Farragut Board of Mayor and Aldermen this ____ day of _____, 2013, with approval recommended.

Rita Holladay, Chairman

Edwin K. Whiting, Secretary

FARRAGUT MUNICIPAL PLANNING COMMISSION

Farragut Municipal Code, Title 9, Business, Peddlers, Solicitors, Etc., Chapter 4, Sign Ordinance, Section 9-406. Sign regulations by land use and/or zoning districts. (4) (o) Wall signs.

- (o) *Wall signs.* Each separate use within a building which has its own separate and exclusive exterior public entrance to the building shall be allowed one (1) wall sign. Such wall signs are permitted a total area of one (1) square foot per each linear foot of building wall of lease space upon which the sign is mounted, not to exceed three hundred and fifty (350) square feet, unless otherwise provided for in this section. *If a building wall is angled more than ninety degrees from the two adjacent walls, such angled wall shall be allowed a sign with a total area of 2.7 square feet per each linear foot of angled building wall length.* Such wall signs shall be limited to the side of a building which fronts upon a public street, faces upon a customer parking area, faces upon a pedestrian mall, or is the point of the principal public access into the establishment, unless otherwise provided for in this section.

MEETING DATE : January 17, 2013

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Ruth Viergutz Hawk, Community Development Director

SUBJECT: Discussion and public hearing on a request for a driveway onto Smith Road, classified as a Major Collector on the Major Road Plan, Farragut Municipal Code, Title 16, Chapter 4, Driveways and Other Access Ways, Section 16-405. Permit approval, and Section 16-406 (1) Distance requirements, (a) Distance from intersections, and (b) Distance between driveways, for variances for driveway access to 531 Smith Road (Don and Angelia Dickey, Applicant)

INTRODUCTION: 531 Smith Road is located on the south side of Smith Road across from Hickory Woods and Andover subdivisions. The parcel is 2.3 acres. Per Section 16-405. Permit Approval, the planning commission and board of mayor and aldermen must review application for access for all drives onto non-local streets. Smith Road is classified as a Major Collector on the Major Road Plan. Per Section 16-406, new driveways must also meet minimum distances from intersections and between driveways.

DISCUSSION: On September 20, 2012, the planning commission reviewed the subdivision plat which created this parcel. You may recall that the Dickey's purchased some additional land from their eastern neighbors, Robert & Barbara Seaton. At that time the applicant was told the driveway would need to be located at the far eastern property line and to line up with the driveway on the north side of Smith Road.

Smith Road is classified as a Major Collector. Per Section 16-406. (1), driveways are to be located a minimum of 200 feet from intersections and 200 feet from other driveways.

The applicant is now requesting that the driveway be located 175' from the Smith Road/Andover Boulevard intersection and 85' from the driveway located on the north side of Smith Road. Attached please find an aerial photo of the general area with the requested driveway location identified and the distances indicated. Also attached, please find a survey with the requested driveway location identified and the distances indicated.

Staff is recommending that the proposed driveway be located at the eastern property line as originally requested. Such location would minimize the needed variances. That location is approximately 250 feet east of the intersection of Smith Road/Andover Boulevard and 70 feet west of an existing driveway located on the north side of Smith Road. Because the driveway would line up with another existing driveway, that location is optimal. Attached please find an aerial photo of the general area with the

recommended driveway location identified and the distances indicated. Also attached, please find a survey with the recommended driveway located identified.

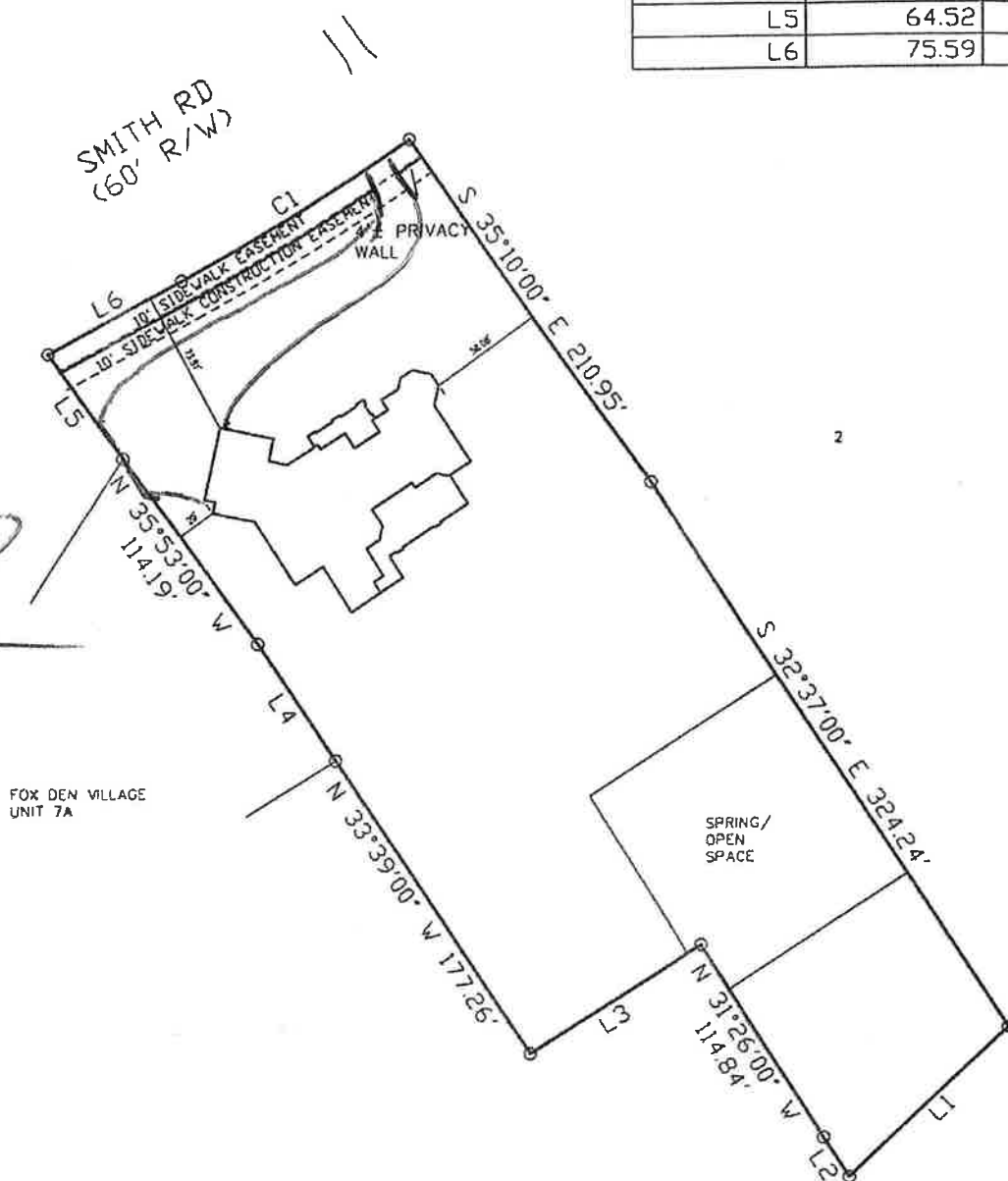
RECOMMENDATION BY: Staff recommends the driveway be located at the eastern property line as shown on second aerial photo and a variance of 130' to east because the driveway would line up with an existing driveway and would exceed the minimum required distance from the intersection.





CURVE TABLE				
CURVE	LENGTH	RADIUS	BEARING	CHORD
C1	133.53	1530.00	N58°50'00"E	133.49

LINE TABLE		
LINE	LENGTH	BEARING
L1	108.00	S46°20'00"W
L2	23.28	N32°33'00"W
L3	100.16	S57°37'00"W
L4	70.12	N33°35'00"W
L5	64.52	N35°48'50"W
L6	75.59	N61°20'00"E



5' UTILITY & DRAINAGE EASEMENT EACH
SIDE ALL INTERIOR LOT LINES, 10' INSIDE
ALL EXTERIOR LOT LINES.

"SITE PLAN"

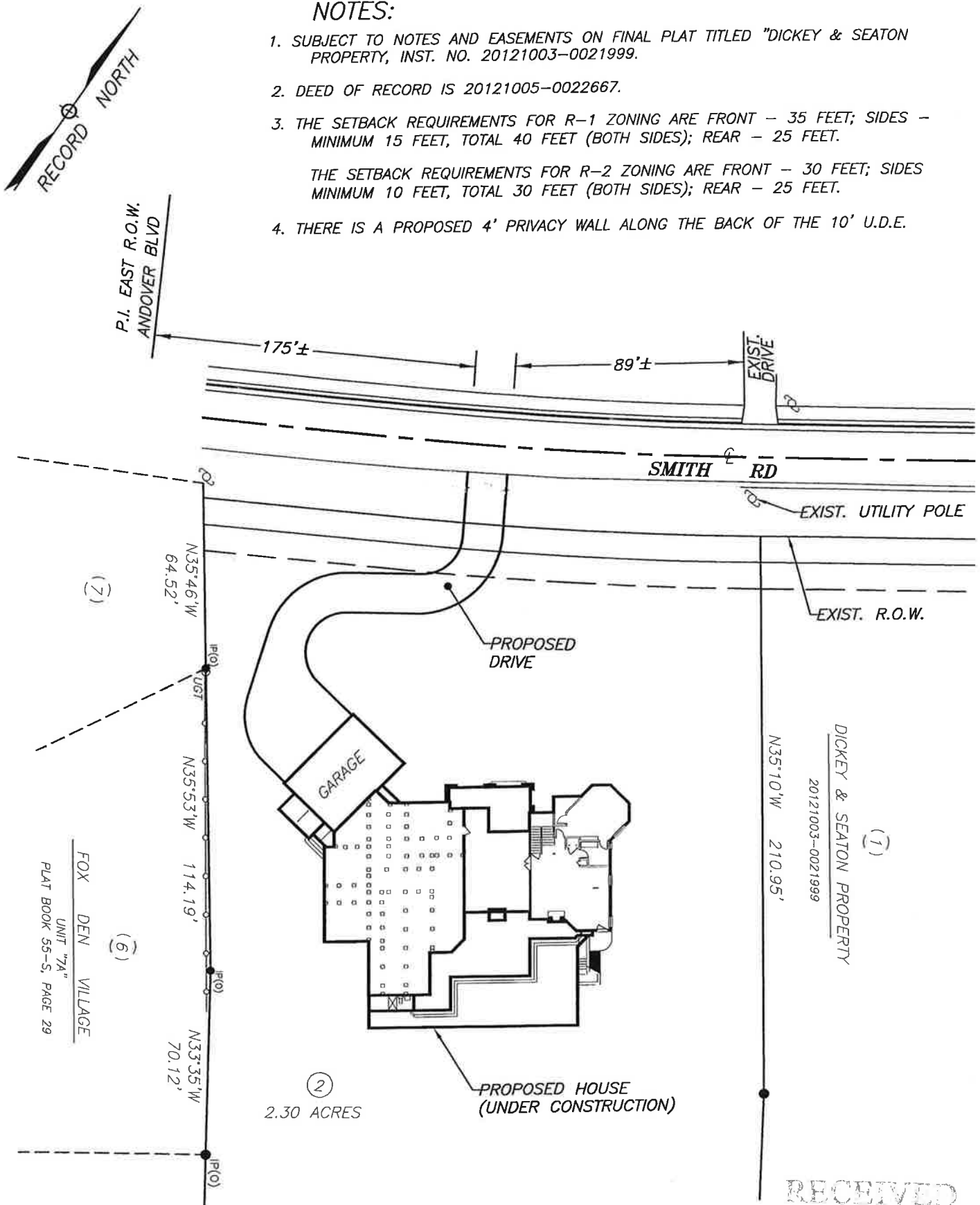
Certification of Category and Accuracy of Survey
I hereby certify that this is a category 1 survey and the ratio
of precision of the unadjusted survey is
1:10,000 as shown hereon.



NOTES:

1. SUBJECT TO NOTES AND EASEMENTS ON FINAL PLAT TITLED "DICKEY & SEATON PROPERTY, INST. NO. 20121003-0021999.
2. DEED OF RECORD IS 20121005-0022667.
3. THE SETBACK REQUIREMENTS FOR R-1 ZONING ARE FRONT - 35 FEET; SIDES - MINIMUM 15 FEET, TOTAL 40 FEET (BOTH SIDES); REAR - 25 FEET.

THE SETBACK REQUIREMENTS FOR R-2 ZONING ARE FRONT - 30 FEET; SIDES - MINIMUM 10 FEET, TOTAL 30 FEET (BOTH SIDES); REAR - 25 FEET.
4. THERE IS A PROPOSED 4' PRIVACY WALL ALONG THE BACK OF THE 10' U.D.E.



RECEIVED

JAN 3 2013

TOWN OF SARRACOTT

~ DRIVEWAY SITE PLAN ~

LOT 2

DICKEY & SEATON PROPERTY

**Farragut Municipal Planning Commission
January 17, 2013
Staff Recommendations**

3. **Discussion and public hearing on a site plan for a medical office building, Parcel 1.11, Tax Map 143HA, located in the Admiral Pointe shopping center on the southeast corner of Kingston Pike and Concord Road, Zoned C-1, approximately 1.4 Acres (Farragut ENT, Applicant)**

Staff recommends approval of the site plan subject to addressing the following items:

1. Relocate FDC for fire sprinkler system to the south end of the structure to provide closer access to the fire hydrant and the parking area;
2. Record the subdivision plat prior to the issuance of any permits;
3. Add a sidewalk connection across the west terminal parking row landscape island to the west property line;
4. Replace light fixture N with a compliant fixture;
5. Set back the parking lot in the southeast corner so that it meets the 10' minimum yard setback requirement;
6. Provide irrevocable letter of credit for erosion control for \$6000; and
7. Submit Drainage Fee of \$840.
8. Meet all Town requirements.

Proposed Motion: Move to approve site plan subject to staff's recommendation.

4. **Discussion and public hearing on a request to rezone Parcel 6, Tax Map 151, located on the west side of N. Watt Road approximately 600 feet north of Harrison Road, from C-1 to R-1 and R-4 (Scott Davis, Applicant)**

Postponed at applicant's request

5. **Discussion and public hearing on a request to amend the text of the Farragut Municipal Code, Title 9, Chapter 4. Sign Ordinance, Section 9-406., to allow signage on a wall to exceed a 1:1 ratio (Costco Wholesale Corporation, Applicant)**

Staff recommends denial of Resolution PC-13-02, which recommends approval of Ordinance 13-02 and the Sign Ordinance text amendment.

Proposed Motion: Move to approve Resolution PC-13-02.
[A failure of the motion would be a recommendation of denial of Ordinance 13-02 to the Board of Mayor and Aldermen]

6. **Discussion and public hearing on a request for a driveway onto Smith Road, classified as a Major Collector on the Major Road Plan, Farragut Municipal Code, Title 16, Chapter 4, Driveways and Other Access Ways, Section 16-405. Permit approval, and Section 16- 406 (1) Distance requirements, (a) Distance from intersections, (b) Distance between driveways, for variances for driveway access to 531 Smith Road (Don & Angelia Dickey, Applicants)**

Staff recommends that the driveway be located at the eastern property line and a variance of 130' to the east because the driveway would be across from the existing driveway and it would also exceed the minimum required distance from the intersection.

Proposed Motion: Move to approve driveway access at eastern property line, which will be a 130' variance to the east.

7. **Public hearing on proposed locations for new utilities**

None at this time