

A G E N D A
FARRAGUT MUNICIPAL PLANNING COMMISSION

April 18, 2013
7:00 p.m. Farragut Town Hall

For questions please call Ruth Viergutz Hawk at Farragut Town Hall, 966-7057

1. **Citizen Forum**
2. **Approval of minutes - March 21, 2013**
3. **Discussion and public hearing on a final plat for Clarity Pointe Court, Parcel 37.04, Tax Map 153, located on the west side of Concord Road approximately 1,200 feet north of Northshore Drive, Zoned C-1, 12.31 Acres (Tom Schaffler, Jr., Applicant)**
4. **Discussion and public hearing on a site plan for a swimming pool at The Cottages at Pryse Farms recreation area, 744 Pryse Farms Boulevard, Zoned R-1 & OSMR, .89 Acres (Michael Versen, Applicant)**
5. **Discussion and public hearing on a site plan for a retail building at the Costco Warehouse, 115 Lovell Road, Parcel 34, Tax Map 131, 1.75 Acres, Zoned C-1 (George Armour Ewart, Architect, Applicant)**
6. **Discussion and public hearing on a request to rezone a portion of Parcel 14, Tax Map 151EA, 109 Way Station Trail, Old Stage Hills subdivision, from R-2 to B-1 (Stephen Prince, Applicant)**
7. **Discussion and public hearing on a site plan for a four-story financial center building, Parcel 63, Tax Map 151, located on the southwest corner of Kingston Pike and Way Station Trail in the Renaissance Development, 2.547 Acres, Zoned BD-4 (Myers Bros. Holding/Knick Myers, Applicant)**
8. **Discussion and public hearing on an amendment to the Farragut Zoning Ordinance, Chapter 4., Section XIII. Outdoor Site Lighting, A., 5., to add back decorative wall light requirements**
9. **Discussion of a request to amend the *2012 Comprehensive Land Use Plan Update*, Parcel 109, Tax Map 130, located on the east side of N. Campbell Station Road, north of Holiday Inn Express, 30.5 Acres, from Open Space Cluster Residential to Medium Density Residential (Kim Wellons, Applicant)**
10. **Discussion and public hearing on the FY 2014 Capital Investment Plan**
11. **Public hearing on proposed locations for new utilities**

**MINUTES
FARRAGUT MUNICIPAL PLANNING COMMISSION**

March 21, 2013

MEMBERS PRESENT

Rita Holladay, Chairman
Ed St. Clair, Vice-Chairman
Ed Whiting, Secretary
Ralph McGill, Mayor
Betty Dick
Melissa Mustard
Noah Myers
Annette Brun
Ron Honken, Alderman

MEMBERS ABSENT

Staff Representatives: Ruth Viergutz Hawk, Community Development Director
Gary Palmer, Assistant Town Administrator
David Smoak, Town Administrator

Chairman Holladay called the meeting to order at 7 p.m.

CITIZEN FORUM

Commissioner Honken gave Micah Larson, an Eagle Scout candidate, a Town of Farragut pin. This is part of a new program where all scouts that attend Town planning commission or board meetings will receive a pin.

APPROVAL OF MINUTES

Commissioner St. Clair moved to approve the February 21, 2013, minutes as submitted. Commissioner Honken seconded the motion and the motion passed 7-0-2. Chairman Holladay and Commissioner Mustard abstained because they were absent.

AGENDA ITEMS

**DISCUSSION AND PUBLIC HEARING ON A SITE PLAN FOR A STORAGE BUILDING
AT FIRST FARRAGUT UNITED METHODIST CHURCH, 12733 KINGSTON PIKE,
PARCEL 62.01, TAX MAP 151, 16.4 ACRES, ZONED C-1 (Micah Larson, Applicant)**

Staff recommended approval of the site plan subject to addressing the following items:

1. Provide location of nearest fire hydrant on Sheet 3 and indicate the distance from the fire hydrant to the proposed structure;
2. Provide fire hydrant flow data (less than one year old) including the static pressure, residual pressure, flow in GPM, name of testing agency, and time and date data was collected; and
3. Meet all town requirements.

*Commissioner Honken moved to approve the site plan subject to staff's recommendation.
Commissioner Brun seconded the motion and the motion passed 9-0.*

DISCUSSION AND PUBLIC HEARING ON THE ANNUAL REVIEW AND APPROVAL OF THE CONCEPT PLAN FOR SHEFFIELD SUBDIVISION, LOCATED ON TURKEY CREEK ROAD APPROXIMATELY 650 FEET EAST OF VIRTUE ROAD, ZONED R-1 AND OSR

Staff recommended re-approval of the concept plan for Sheffield subdivision.

*Commissioner Honken moved to approve the concept plan for Sheffield Subdivision.
Commissioner Myers seconded the motion and the motion passed 9-0.*

DISCUSSION AND PUBLIC HEARING ON THE ANNUAL REVIEW AND APPROVAL OF THE CONCEPT PLAN FOR THE COTTAGES AT PRYSE FARM SUBDIVISION, LOCATED ON THE SOUTHEAST CORNER OF MCFEE/EVANS ROADS, ZONED R-1 AND OSR

Staff recommended re-approval of the concept plan for The Cottages at Pryse Farm subdivision.

*Commissioner St. Clair moved to approve the concept plan for The Cottages at Pryse Farm.
Commissioner Honken seconded the motion and the motion passed 9-0.*

DISCUSSION AND PUBLIC HEARING ON A CONCEPT PLAN FOR SPLIT RAIL FARM, FORMERLY KNOWN AS EVERETT HILLS AND KARASTONE FARMS, PARCELS 98, 98.01, 98.02, TAX MAP 142, ZONED R-1 AND OSR, LOCATED ON THE WEST SIDE OF EVERETT ROAD APPROXIMATELY 2,500 FEET NORTH OF SMITH ROAD, 52.13 ACRES, 57 LOTS (Farmstead Development, LLC, Applicant)

Staff recommended approval of the concept plan subject to addressing the following items:

1. Add a walking trail on Lot 55 connecting the street to the detention pond in Fox Run;
2. Show where the sewer line is located that services for this subdivision is being tapped into; and
3. Meet all town requirements.

*Commissioner Honken moved to approve the concept plan subject to staff's recommendation.
Commissioner Myers seconded the motion and the motion passed 9-0.*

DISCUSSION AND PUBLIC HEARING ON A PRELIMINARY PLAT FOR SPLIT RAIL FARM, FORMERLY KNOWN AS EVERETT HILLS AND KARASTONE FARMS, PARCELS 98, 98.01, 98.02, TAX MAP 142, ZONED R-1 AND OSR, LOCATED ON THE WEST SIDE OF EVERETT ROAD APPROXIMATELY 2,500 FEET NORTH

OF SMITH ROAD, 52.13 ACRES, 57 LOTS (Daniel C. Burton/Farmstead Development, LLC, Applicant)

Staff recommended approval of the preliminary plat subject to addressing the following outstanding items:

1. Add a walking trail on Lot 55 connecting the street to the detention pond in Fox Run;
2. At the trails at Lots 50, 51 and next to 27, extend the trails to the street. The trails should be ramped to street grade;
3. Label the removable bollards at Lot 56/1;
4. A total of 17.78 acres of open space is required, but only 16.74 acres is provided. Revise plans to reflect the minimum open space reservation;
5. Sheet 26 - are the easements already obtained for the sewer line in Andover Place subdivision? A 40' construction easement appears to encroach onto the northern house's HVAC units and the deck stairs and the southern house's brick fence/wall. On the plans, show the actual existing improvements on these residential lots so that the impact can readily be determined;
6. Sheet 26 - show the existing drain pipe and show how construction of the sewer line will avoid conflict within this platted drainage easement;
7. Sheet 26 - consider extending the sewer line to the manhole farther north. That is a more direct route with no right angles and that location appears to be much less intrusive;
8. Why are cable/phone hook-ups provided to open space Lots 49, 51 & 55, but no hook-ups are provided for on Lots 9, 13 & 45? Provide service to all lots;
9. Why are there two (2) water meters being placed at each lot? This implies further subdivision of individual lots in the future;
10. Why are there two (2) sewer taps per lot? This implies further subdivision of individual lots in the future;
11. Generally two (2) transformers are not needed for each lot. What type of electricity demands are you anticipating? Again, this implies further subdivision of individual lots in the future;
12. Submit signed sheets for each utility (LCUB, TDS, FUD, Charter, etc.). Each utility must sign off on their utility plan. Charter, and if applicable, TDS, can sign off on the LCUB plan because they often bury their lines in the same trench as LCUB;
13. Water line shown along Everett Road will be required to accommodate future widening of the roadway, including the greenway;
14. Roundabout is currently partially constructed around a sinkhole. This submittal shows a raised apron around the outside of the roadway surface, which is constructed with the use of mountable curb at the edge of asphalt paving. While this is a noted improvement, the typical section will not work at the four legs of the roundabout, as the mountable curb and non-mountable curb converge at the ends of the apron (see plan view). Suggest simply widening the asphalt (which is currently binder only) around the outside edge, and overlay with surface mix. There will be no raised apron, but there will be only one curb. Detail for roundabout should show all runoff being drained into the roadway. Please show cross slopes;

15. This preliminary plat shows surface runoff being drained overland to roadways, where it is picked up and piped through the storm system as it travels through the development. While this is certainly acceptable, there are numerous locations where swales should be shown to direct runoff to easements. Some locations should clearly show desired routes of runoff, and this should be constructed before final platting of the development. Note the 24” pipe discharging between lots 28 and 29, upstream from an 18” pipe under the walking trail. This should be a 24” pipe as well, and located in-line with the upstream pipe. Runoff must pass under the trail, not across it. What is the purpose of the catch basin in the middle of lot 33?
16. Submit Erosion Control Letter of Credit for \$45,000;
17. Submit a letter of credit for \$160,518 or \$3,276/dwelling unit for the Everett Road improvements prior to the recording of the final plat; and
18. Meet all town requirements.

A lengthy discussion followed.

Commissioner St. Clair moved to approve the preliminary plat subject to staff's recommendation. Commissioner Myers seconded the motion and the motion passed 9-0.

DISCUSSION AND PUBLIC HEARING ON A REQUEST TO REZONE PARCEL 6, TAX MAP 151, LOCATED ON THE WEST SIDE OF N. WATT ROAD APPROXIMATELY 600 FEET NORTH OF HARRISON ROAD, FROM C-1 TO R-1 AND R-4 (Scott Davis, Applicant)

Withdrawn at applicant's request

DISCUSSION OF A REQUEST TO REZONE A PORTION OF PARCEL 14, TAX MAP 151EA, 109 WAY STATION TRAIL, OLD STAGE HILLS SUBDIVISION, FROM R-2 TO B-1 (Stephen Prince, Applicant)

For discussion purposes only

PUBLIC HEARING ON PROPOSED LOCATIONS FOR NEW UTILITIES

None at this time

ADJOURNMENT

The meeting adjourned at 8:09 p.m. The commission participated in the “How We Grow Matters”, PlanET Series 3 Meeting In A Box after the meeting.

MEETING DATE: April 18, 2013

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Ruth Viergutz Hawk, Community Development Director

SUBJECT: Discussion and public hearing on a final plat for Clarity Pointe Court, Parcel 37.04, Tax Map 153, located on the west side of Concord Road approximately 1,300 feet north of Northshore Drive, Zoned C-1, 12.31 Acres (Tom Schaffler, Jr., Applicant)

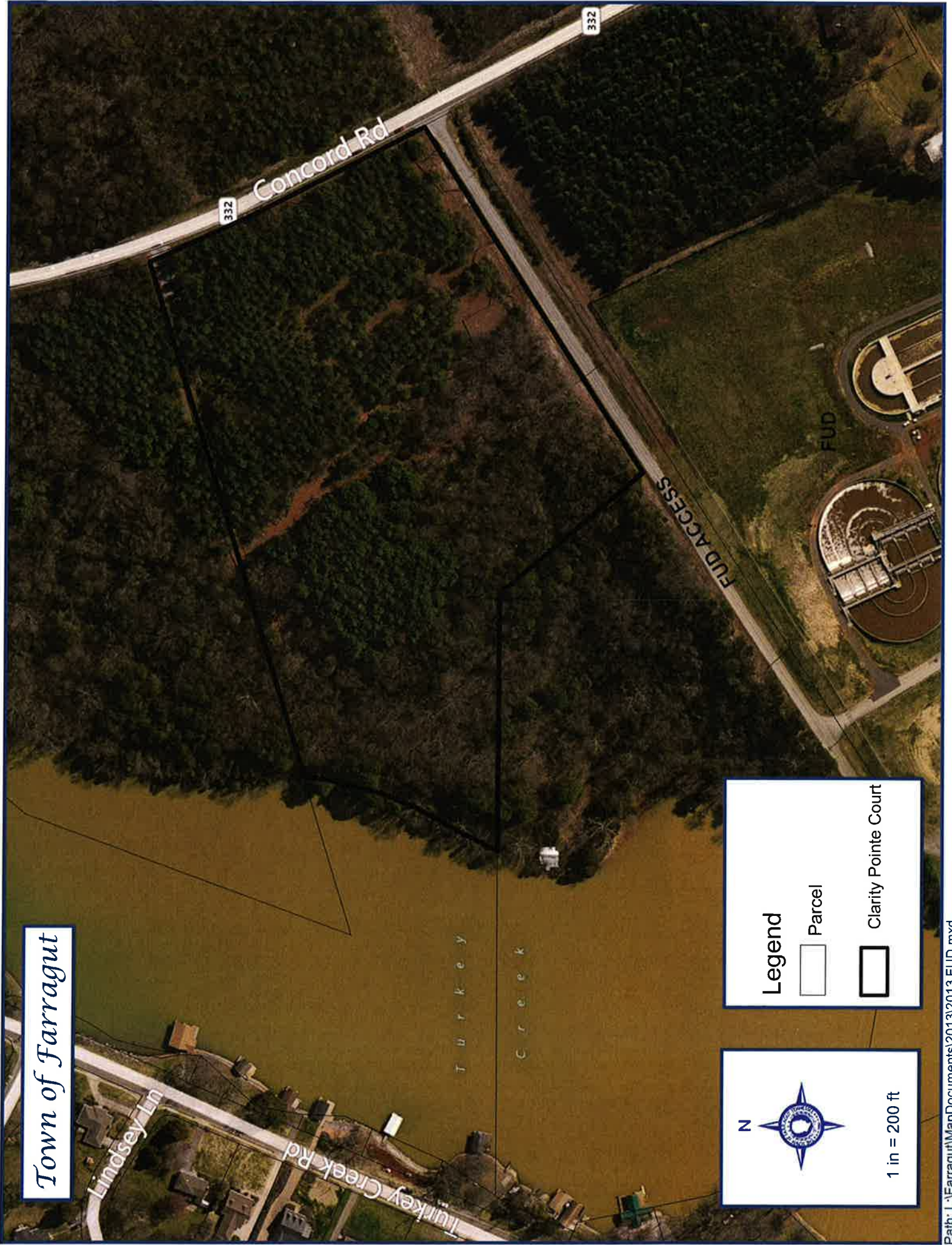
INTRODUCTION: The purpose of this subdivision is to plat Clarity Pointe Court (a public street), the lot on which the Clarity Pointe Memory Care Assisted Living is located, and a vacant lot located adjacent to the lake.

DISCUSSION: The final plat before you is for the creation of two lots and the right-of-way for Clarity Pointe Court. The rear lot is vacant. The Clarity Pointe Memory Care Assisted Living building is located on the lot fronting on Concord Road. The memory care facility project is nearing completion. Staff is currently training at the Clarity Pointe Memory Care Assisted Living facility and they are hoping to move residents in starting May 1.

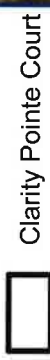
Attached please find a reduced copy of the final plat, an aerial photo of the general area, and a letter to the applicant identifying the necessary changes to the site plan.

RECOMMENDATION BY: Staff will make a recommendation at the meeting.

Town of Farragut



Legend



1 in = 200 ft

Dr. Ralph McGill, *Mayor*
Mary Dorothy LaMarche, *Vice-Mayor*
David Smoak, *Town Administrator*
Allison M. Myers, *Town Recorder*



Jeff Elliott, *Alderman*
Ron Honken, *Alderman*
Robert N. Markli, *Alderman*

March 28, 2013

Mr. Tom Schaffler, Jr.
5820 Walden Drive
Knoxville, TN 37919
tomschaffler@me.com

SUBJECT: Staff comments on resubdivision of Parcel 37.04, Tax Map 153, located on the northwest corner of Concord Road and the sewer plant entrance, Farragut

Dear Tom,

The Town staff has reviewed the above referenced plat for compliance with the Town's regulations. Please address the following items and submit four (4) copies of the revised plat and one (1) 8 1/2" x 11" reduced copy to the Farragut Town Hall by **Monday, April 8, at 9:00 a.m.** If the plat is not resubmitted by the deadline or the items are not adequately addressed, this item will not be placed on the planning commission agenda.

Please remember this item will be discussed at the Staff/Developer Meeting at the Farragut Town Hall on Tuesday, April 2, from 9:45 - 10:15 a.m. The purpose of this meeting is to discuss questions you may have on staff comments. Modifications to the plans are not due until Monday, April 8.

Planning Division: (Contact Ruth Viergutz Hawk at 966-7057)

1. Delete as-built information, unless it is an easement. For example, utility lines located within the right-of-way do not need to be shown and only the building and utility and drainage easements need to be shown on Lot 1;
2. Add the property owner information, including a person's name, as a numbered plat note;
3. On the map portion of the plat, indicate the street name on the street;
4. Indicate the width of Clarity Point Court at several locations, including the cul-de-sac;
5. Label the centerline of Concord Road;
6. Indicate the width from the property line to the centerline of Concord Road;
7. In a plat note, state the allowed uses on the open space (walking trails) and who is to own and maintain the open space;
8. Plat note # 1 - delete the words "Utility & Drainage Easements" above the note;

Mr. Tom Schaffler, Jr.

3/28/13

Page 2

9. The walking trail is to be centered on a 20' easement, 10' each side of centerline. The centerline of the trail must be indicated with distance and bearing information included. Consider doing an enlarged diagram of this area. Delete plat note #11;
10. Add a plat note which reads "The walking trail is located within a twenty (20) foot greenway/walking trail easement. This twenty (20) foot greenway/walking trail easement shall be in favor of the Town of Farragut and reserved for public use. The Town of Farragut shall accept maintenance and liability of use of said easement;
11. Show all easements and include distance and bearing information. Plat notes #5 & 6 indicate not all easements are shown;
12. Show the portion of land subject to flood, the limit of the Base Flood Elevation (floodway, 100 and 500 year flood fringe boundaries, and 50% no fill line);
13. Indicate the Minimum Floor Elevation (3 feet above the Base Flood Elevation) on both lots;
14. Are there any drainage easements on the property? If so, the widths of the easements are based on the buried depth of the pipes. Pipes buried up to 8' deep need to be a minimum of 20' drainage easement wide, drainage easements with pipes buried 8' - 12' deep need to be a minimum of 30' wide, and drainage easements with pipes buried 12' + deep need to be a minimum of 40' wide;
15. In the Cert. Of Ownership & Dedication, delete the words "Farragut Subdivision Regulations 26";
16. Delete the Cert. Of Common Areas Dedication;
17. Delete the Cert. Of Water and Sewer Availability and use the Cert. Of Approval of Water System and Cert. Of Approval of Sewer System;
18. Delete the Cert. Of Bonding for Required Improvements;
19. Provide adequate room for signatures on all the signature lines of the certifications;
20. The city control points that are referenced, are they of the Town of Farragut's grid system or the City of Knoxville's?

Engineering Division: (Contact Darryl Smith at 966-7057)

21. As drawing is very small on the plat, a great deal of unnecessary information should be eliminated to provide legibility;
22. Please complete all remaining items on Staff's site punchlist;
23. Please submit 2-year Maintenance letter of credit for maintenance of roadway, sidewalks and drainage structures in the amount of \$8600; and
24. TDOT has inspected the deceleration lane and entrance onto Concord Road, and issued a release.

Mr. Tom Schaffler, Jr.

3/28/13

Page 3

Please call the designated staff person if you have any questions on the above items. Unless specified otherwise, please include all requested information on the plans. You may note that there are some duplicate comments. This is done so that if you have a question, you know that you can call either person regarding that particular issue. Please note that due to the nature and extent of the comments, additional comments may be generated upon resubmission.

Sincerely,


Ruth Viergutz Hawk, AICP
Community Development Director


Darryl W. Smith, P.E.
Town Engineer

pc: Randall White (rwls-tn@comcast.net)

MEETING DATE: April 18, 2013

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Ruth Viergutz Hawk, Community Development Director

SUBJECT: Discussion and public hearing on a site plan for a swimming pool at The Cottages at Pryse Farms recreation area, 744 Pryse Farms Boulevard, Zoned R-1 & OSMR, .89 Acres (Michael Versen, Applicant)

INTRODUCTION: On May 21, 2009, the site plan for the recreation site at The Cottages at Pryse Farms was approved by the planning commission. The site plan included a clubhouse, swimming pool, putting green, walking trail, and parking lot. The club house, walking trail, and parking lot were partially completed before the developer of the project abandoned the site.

DISCUSSION: Wilcox Development purchased The Cottages at Pryse Farms in December 2012 and is reactivating the development. Their first order of business is to complete the recreation site. They would like to eliminate the putting green, modify the swimming pool, and add an arbor with an outdoor grill area.

The site plan before you reflects the above referenced changes. The clubhouse is in the process of being completed and will be used as a temporary sales office.

Attached please find a reduced copy of the site plan, an aerial photo of the general area, and a letter to the applicant identifying the necessary changes to the site plan.

RECOMMENDATION BY: Staff will make a recommendation at the meeting.

SECRET



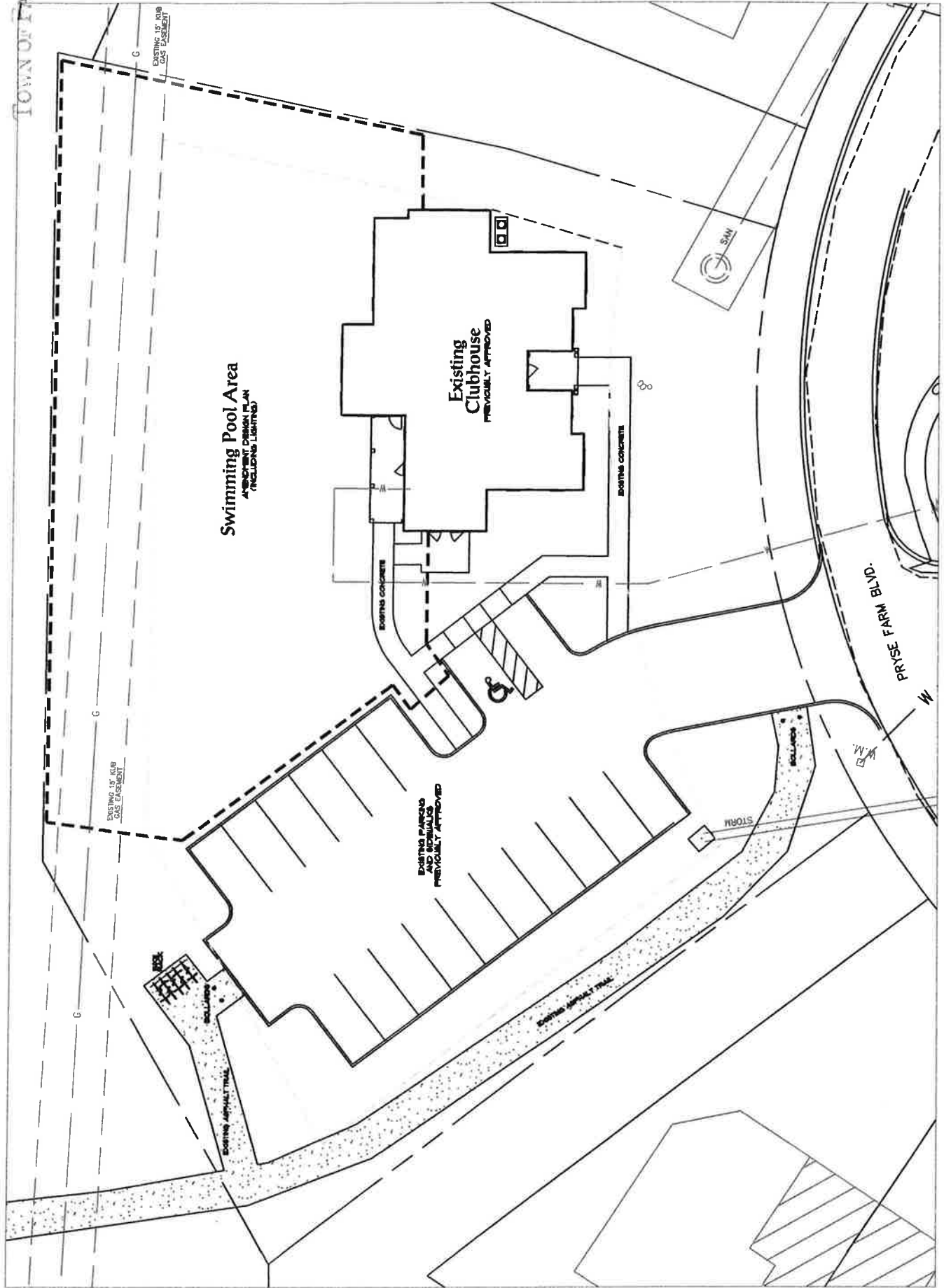
MICHAEL VERSEN & ASSOCIATES
LANDSCAPE ARCHITECTURE • LAND PLANNING
270 N. HENNINGER RD., SUITE 200, INDOLETT, TN 37056
(615) 885-0501

COTTAGES AT PRYSE FARMS-Swimming Pool Area
Lot #102 744 Pryse Farms Blvd. Farragut, Tennessee

Existing Site Conditions



FIS



3333

TOYOTA FORTUNE



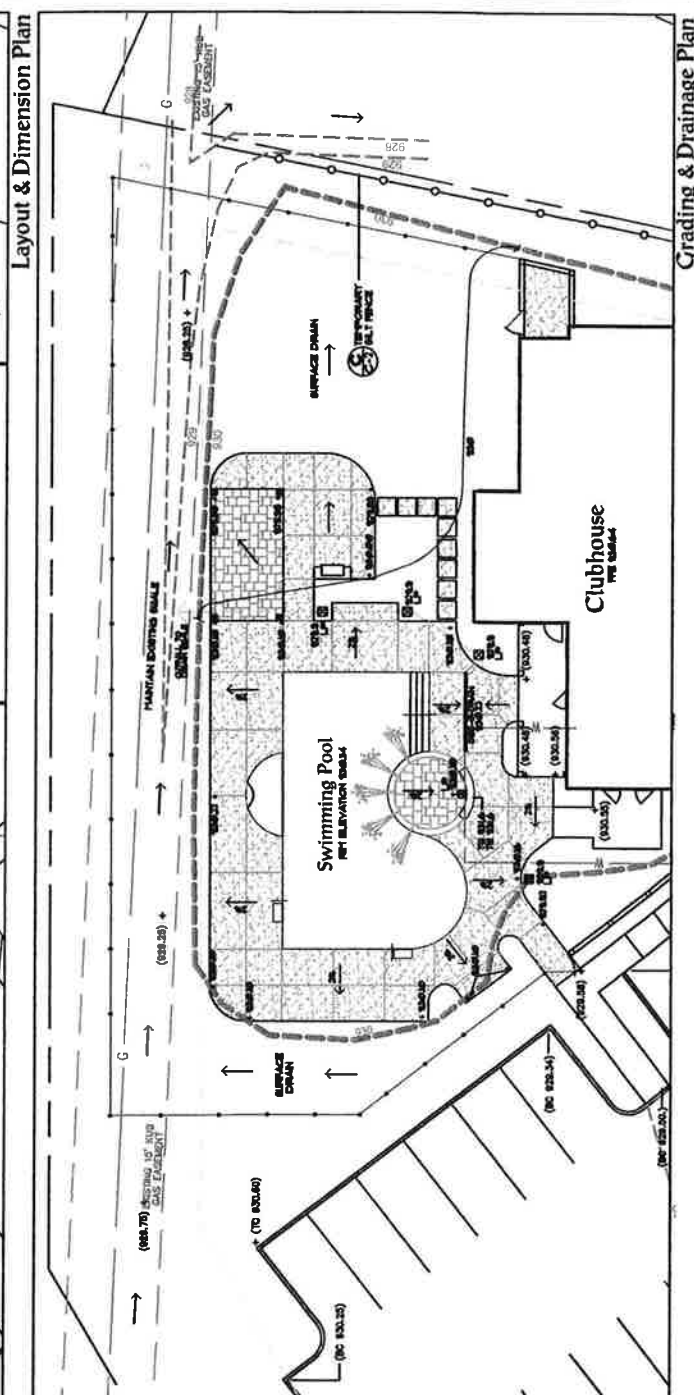
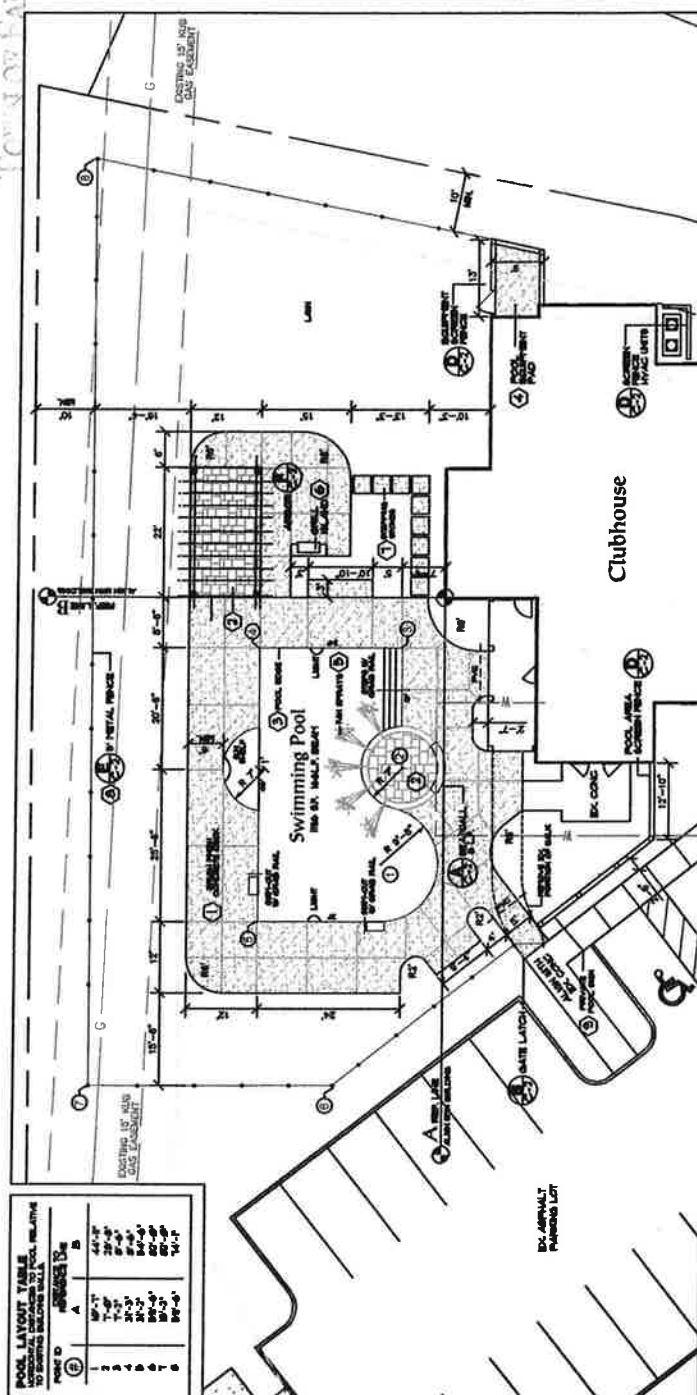
MICHAEL VERSEN & ASSOCIATES
LANDSCAPE ARCHITECTURE AND PLANNING
250 N. BROADWAY, SUITE 200, ROCKVILLE, MD 20850
(301) 983-1331

COTTAGES AT PRYSE FARMS-Swimming Pool Area
Lot #102 744 Pryse Farms Blvd. Farragut, Tennessee

Construction - Layout & Grading Plan




 NBS
 NATIONAL BUREAU OF STANDARDS
 300 B
 100-1



POND #	SWITCHES	
	A	B
1	10-11	4-11
2	11-12	12-13
3	12-13	13-14
4	13-14	14-15
5	14-15	15-16
6	15-16	16-17
7	16-17	17-18
8	17-18	18-19

[illegible]

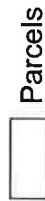
- ① KEY INFORMATION
- ② CONSIDER THE FOLLOWING
- ③ CONSIDER THE FOLLOWING
- ④ CONSIDER THE FOLLOWING
- ⑤ CONSIDER THE FOLLOWING
- ⑥ CONSIDER THE FOLLOWING
- ⑦ CONSIDER THE FOLLOWING
- ⑧ CONSIDER THE FOLLOWING
- ⑨ CONSIDER THE FOLLOWING
- ⑩ CONSIDER THE FOLLOWING
- ⑪ CONSIDER THE FOLLOWING
- ⑫ CONSIDER THE FOLLOWING
- ⑬ CONSIDER THE FOLLOWING
- ⑭ CONSIDER THE FOLLOWING
- ⑮ CONSIDER THE FOLLOWING
- ⑯ CONSIDER THE FOLLOWING
- ⑰ CONSIDER THE FOLLOWING
- ⑱ CONSIDER THE FOLLOWING
- ⑲ CONSIDER THE FOLLOWING
- ⑳ CONSIDER THE FOLLOWING
- ㉑ CONSIDER THE FOLLOWING
- ㉒ CONSIDER THE FOLLOWING
- ㉓ CONSIDER THE FOLLOWING
- ㉔ CONSIDER THE FOLLOWING
- ㉕ CONSIDER THE FOLLOWING
- ㉖ CONSIDER THE FOLLOWING
- ㉗ CONSIDER THE FOLLOWING
- ㉘ CONSIDER THE FOLLOWING
- ㉙ CONSIDER THE FOLLOWING
- ㉚ CONSIDER THE FOLLOWING
- ㉛ CONSIDER THE FOLLOWING
- ㉜ CONSIDER THE FOLLOWING
- ㉝ CONSIDER THE FOLLOWING
- ㉞ CONSIDER THE FOLLOWING
- ㉟ CONSIDER THE FOLLOWING
- ㊱ CONSIDER THE FOLLOWING
- ㊲ CONSIDER THE FOLLOWING
- ㊳ CONSIDER THE FOLLOWING
- ㊴ CONSIDER THE FOLLOWING
- ㊵ CONSIDER THE FOLLOWING
- ㊶ CONSIDER THE FOLLOWING
- ㊷ CONSIDER THE FOLLOWING
- ㊸ CONSIDER THE FOLLOWING
- ㊹ CONSIDER THE FOLLOWING
- ㊺ CONSIDER THE FOLLOWING
- ㊻ CONSIDER THE FOLLOWING
- ㊼ CONSIDER THE FOLLOWING
- ㊽ CONSIDER THE FOLLOWING
- ㊾ CONSIDER THE FOLLOWING
- ㊿ CONSIDER THE FOLLOWING



Town of Farragut



Legend



Parcels



Cottages at Pryse Farm
Recreation Site



N

1 in = 200 ft

Dr. Ralph McGill, *Mayor*
Mary Dorothy LaMarche, *Vice-Mayor*
David Smoak, *Town Administrator*
Allison M. Myers, *Town Recorder*



Jeff Elliott, *Alderman*
Ron Honken, *Alderman*
Robert N. Markli, *Alderman*

March 28, 2013

Mr. Michael Versen
200 N. Weisgarber Road
Knoxville, TN 37919
michael@versenassociates.com

SUBJECT: Staff comments on amendment to site plan for revised swimming pool at The Cottages at Pryse Farms, 744 Pryse Farms Boulevard, Farragut

Dear Mike,

The Town staff has reviewed the above referenced site plan for compliance with the Town's regulations. Please address the following items and submit five (5) complete sets of 24" x 36" revised plans and one 8 ½" x 11" reduced set to the Farragut Town Hall by **Monday, April 8, at 9:00 a.m.** If plans are not resubmitted by the deadline or the items are not adequately addressed, this item will not be placed on the planning commission agenda. Also, upon resubmittal please include a letter which addresses these comments and that indicates where the information can be found on the plans.

Please remember this item will be discussed at the Staff/Developer Meeting at the Farragut Town Hall on Tuesday, April 2, at 11:00 a.m. The purpose of this meeting is to discuss questions you may have on staff comments. Modifications to the plans are not due until Monday, April 8.

Fire Division: (Contact Dan Johnson at 675-2384)

1. Ensure that all gates comply with the locking and latching requirements in the building code;

Codes Division: (Contact John Householder at 675-2384)

2. Recommend that the designer verify accessibility requirements are being met. A.D.A., which the town does not enforce, has new pool access requirements;

Planning Division: (Contact Ruth Viergutz Hawk at 966-7057)

3. Include a person's name with the owner/developer information;
4. On the cover sheet, include the bike parking requirements for the site;
5. Include the bike rack(s) on the overall drawing;
6. Include the trail bollards on the overall drawing;
7. What is the pool layout table referencing?
8. Include a detail of the pool fence;

Mr. Michael Versen

3/28/13

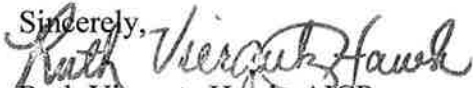
Page 2

9. A note indicates a rain garden adjacent to the pool. There is a gas line in that location. Given the extensive work and expense of a rain garden, should it be constructed on a gas line?
10. You will need to get a building permit for the arbor;
11. Prior to the issuance of any Certificate of Occupancy, please submit a pdf of the finalized stamped approved site plans;

Tree Preservation/Removal Plan/Landscape Plan: (Contact Mark Shipley at 966-7057)

12. A two-year landscape maintenance Letter of Credit will be required before a Certificate of Occupancy will be issued;
13. The rain garden needs to also be part of the site plan submittal. The landscape plan will be reviewed separately;
14. How deep is the gas line where the rain garden feature is proposed? Though I like the idea of a rain garden I am concerned with so much plant material within a known utility easement. A significant amount of plant material would be impacted should any work be needed within the gas line easement;
15. More information is needed on the rain garden if it is functioning as an actual rain garden as opposed to a heavily landscaped swale. For example, substrate profile, any drains, depth, slopes, etc.;
16. The gas line easement on the site plan does not match what is shown on the final plat;
17. Is silt fencing acceptable perpendicular to the drainage swale? and
18. In the area outside the amended area please show what was approved on the previously approved plan.

Please call the designated staff person if you have any questions on the above items. Unless specified otherwise, please include all requested information on the plans. You may note that there are some duplicate comments. This is done so that if you have a question, you know that you can call either person regarding that particular issue. An as-built survey of the site is required to verify the setbacks of all other improvements. Once approved, such as-built will need to be submitted in a pdf format. A certification on the lighting will also be required before the issuance of a Certificate of Occupancy.

Sincerely,

Ruth Viergutz Hawk, AICP
Community Development Director


Darryl W. Smith, P.E.
Town Engineer

attachments - Grading Permit Checklist [mailed copy only]
Certificate of Occupancy Checklist [mailed copy only]

pc: Wilcox Communities (Fax # 815-782-7286)

MEETING DATE: April 18, 2013

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Ruth Viergutz Hawk, Community Development Director

SUBJECT: Discussion and public hearing on a site plan for a retail building at the Costco Warehouse, 115 Lovell Road, Parcel 34, Tax Map 131, 1.75 Acres, Zoned C-1 (George Armour Ewart, Architect, Applicant)

INTRODUCTION: This lot was created as an out parcel of the Costco Warehouse development. It is located immediately to the north of the Walgreens store and fronts on Lovell Road.

DISCUSSION: The site plan before you is for a strip shopping center with a covered outdoor seating area for a restaurant. The building will lie perpendicular to Lovell Road. Access to the site is from the shared access easement located on the west side of the parcel. There is a traffic signal at this driveway on Lovell Road. As you may recall, the stormwater detention basin for Costco was designed to accommodate both out parcels on the site.

The north end of this parcel is at grade with Lovell Road. Lovell Road continues up hill at that point and the southern half of this parcel lies below the street grade of Lovell Road.

Attached please find a reduced copy of the site plan, an aerial photo of the general area, a rendering of the building, and copies of letters to the applicant identifying the necessary changes to the site plan.

RECOMMENDATION BY: Staff will make a recommendation at the meeting.



LEGEND

EXISTING

SS

SS-27

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

SS

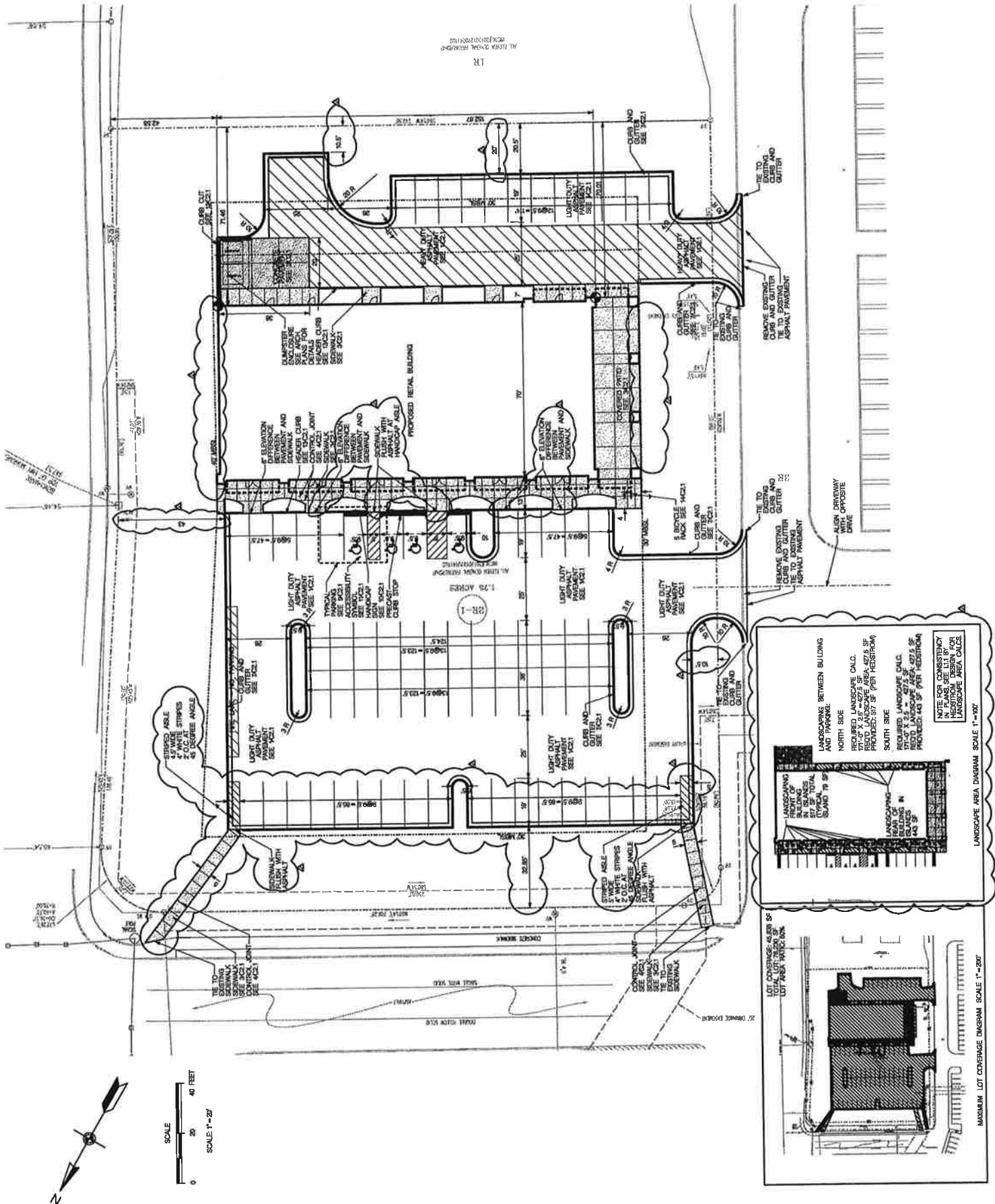
SS

SS

SS

SS

SS



Town of Farragut

Costco
Warehouse



1 in = 150 ft

Legend



Parcels



Retail Shops at
Costco Warehouse



A black and white micrograph showing a dense field of small, rod-shaped bacteria. A curved arrow points from the bottom left towards the center of the field.

1 SOUTH ELEVATION
SCALE 3/32" = 1'-0"

3 WEST ELEVATION
A4.1 SCALE: 3/32" = 1'-0"

2 EAST ELEVATION
SCALE: 3/32" = 1'-0"

5
A4.1
MECHANICAL UNIT DETAIL
SCALE 1/2" = 1'-0"

4 NORTH ELEVATION W/ LOVELL ROAD SIGHT LINE
A4.1 SCALE 3/32" = 1'-0"

DATE: MARCH 16, 2013
PROJECT NO.: 12035
PROJECT MGR.: TAS

REV. 1 03/01/2013 CITY REVISION
REV. 2 03/08/2013 CITY REVISION

8 OF 11

11

2015

THE AIR FORCE

RETAIL SHOPS AT
115 LOVELL ROAD, KNOXVILLE, TN 37934
MAP NUMBER 131, PARCEL NUMBER 034
SCHAAD PROPERTIES
150 MAJOR REYNOLDS PL.
KNOXVILLE, TN 37919
CONTACT PERSON: PATRICK SCHAAD 866.637.2674



Dr. Ralph McGill, *Mayor*
Mary Dorothy LaMarche, *Vice-Mayor*
David Smoak, *Town Administrator*
Allison M. Myers, *Town Recorder*



Jeff Elliott, *Alderman*
Ron Honken, *Alderman*
Robert N. Markli, *Alderman*

March 28, 2013

Mr. Todd Stubbs
George Armour Ewart, Architect
404 Beardan Park Circle
Knoxville, TN 37919
tstubbs@georgeewart.com

SUBJECT: Staff comments on site plan for Retail Shops at Costco, 115 Lovell Road, Parcel 34, Tax Map 131

Dear Mr. Stubbs,

The Town staff has reviewed the above referenced site plan for compliance with the Town's regulations. Please address the following items and submit five (5) complete sets of 24" x 36" revised plans and one 8 1/2" x 11" reduced set to the Farragut Town Hall by **Monday, April 8, at 9:00 a.m.** If plans are not resubmitted by the deadline or the items are not adequately addressed, this item will not be placed on the planning commission agenda. Also, upon resubmittal please include a letter which addresses these comments and that indicates where the information can be found on the plans.

Please remember this item will be discussed at the Staff/Developer Meeting at the Farragut Town Hall on Tuesday, April 2, from 10:15 - 11:00 a.m. The purpose of this meeting is to discuss questions you may have on staff comments. Modifications to the plans are not due until Monday, April 8.

Fire Division: (Contact Dan Johnson at 675-2384)

1. Provide current fire hydrant flow data for closest fire hydrants used to satisfy appendix B and C. Data shall be less than 1 year old and include name of agency performing test, static pressure, residual pressure and flow in GPM;
2. Provide written approval from First Utility District of Knox County;
3. Provide the calculated fire flow, in accordance with appendix B & C of the International Fire Code. The designer may utilize the sprinkler reduction described within that section.
4. Provide the accessible location of the FDC for the fire sprinkler system;
5. Relocate FDC and associated fire hydrant to front (North) corner of building. Contact the Fire Official to verify location;

Mr. Todd Stubbs

3/28/13

Page 2

Planning Division: (Contact Ruth Viergutz Hawk at 966-7057)

6. The building must meet the 30' setback from the rear property line. This is measured from the farthest most protrusion of the structure;
7. The concrete swale/apron adjacent to the front of the building must meet the 40' setback requirement;
8. Sheet C1.1 - the total required parking is 60 spaces vs. the indicated 53 spaces. Please add the requirement for 1 space/200 square feet of outdoor seating area;
9. The maximum number of parking spaces in a row without a landscape island is 15. Modify accordingly;
10. Provide walkway connections (vs. stubbing into a parking space) to both sidewalk in the north and northwest corners of the parking lot;
11. Sheet C1.1 - add dimensions for parking lot setbacks at pinch points (Ex: rear yard, side yard at back-up area, etc.);
12. Sheet C1.3 - in the legend, define what the hashed areas represent;
13. The sidewalk should not be flush with the asphalt at the handicapped parking spaces because these spaces are at landscape islands;
14. Clarify that sidewalks are not flush with the parking lot except at the handicap ramps;
15. Detail 8/C2.2 - landscape wall section. Where is this located?
16. Sheet A1.1 - include dumpster enclosure detail. Detail 2/A1.1 may be mislabeled;
17. Sheet A4.1 - What color are the canopies?
18. Sheet A4.1 - What is the building material at the designated sign area?
19. Although not a town requirement, consider adding a pole light in the employee parking area at the building rear;
20. The landscape areas in the building front do not match on all sheets. Modify accordingly;
21. Clarify the name of the site plan in all title blocks - currently labeled as "Retail Shops At";
22. Sheet C1.1 - in the legend, define the used line type for the property line;
23. As shown, the HVAC units on the roof will not be sufficiently screened from adjacent properties or rights-of-way. Please be aware that due to a recent ordinance amendment, the addition of screens after the building is constructed no longer complies with the town's regulations;
24. Sheet C1.1 - clarify note #3 for verifying maximum lot coverage;
25. I only calculate approximately 400 square feet vs. the indicated 750 square feet of landscaped area in front of the building. In the diagram, indicate the square footage of each area;
26. Include the patio fencing and gate details;
27. Angle the north sidewalk connection to the Lovell Road intersection;
28. A two year maintenance Letter of Credit from a local lending institution will be required for the landscaping prior to the issuance of a Certificate of Occupancy;
29. Prior to the issuance of any Certificate of Occupancy, please submit a pdf of the finalized stamped approved site plans;

Mr. Todd Stubbs

3/28/13

Page 3

Tree Preservation/Removal Plan/Landscape Plan: (Contact Mark Shipley at 966-7057)

30. Please provide distance calls from the parking lot to each of the adjacent property lines. It looks like there could be a slight encroachment into the 10 foot setback from the Walgreens property where the turn-around is proposed;
31. When a structure is roofed, it is part of the building and must meet the building setbacks. The covered patio encroaches into the building setback. Please revise accordingly;
32. The landscaping between the building and parking lot is very difficult to see. Please enlarge so that the areas proposed to fulfill this requirement are easy to assess. Please include a summary of the area that is required and what is being provided and ensure that the landscape plan is consistent with this;
33. Please include on the detail sheet a diagram showing that the islands will meet the minimum five (5) foot width from back of curb to back of curb. Sheet C1.1 shows this but the scale makes it hard to see clearly from what points this is being measured. We have had some issues with this in the past and want this to be very clear for the contractor;
34. You cannot have more than 15 parking spaces in a row without a landscaped island. The row of parking on the north end of the parking lot needs to be modified accordingly;
35. Please include elevation based line of sight drawings (from the perspective of standing on an adjacent property and looking toward the building) and add a note on Sheets 8 and 9 which states that all HVAC units shall be screened by the building parapet so that they are not visible from adjacent properties or rights of ways;
36. Please verify that none of the trees planted as part of the Costco project will be impacted by this project and include a note on the plan which addresses this;

Engineering Division: (Contact Darryl Smith at 966-7057)

37. Please submit Drainage Fee of \$1100;
38. Please submit Erosion Control Letter of Credit for \$9600; and
39. Please submit NOC.

Please call the designated staff person if you have any questions on the above items. Unless specified otherwise, please include all requested information on the plans. You may note that there are some duplicate comments. This is done so that if you have a question, you know that you can call either person regarding that particular issue. Also, a foundation survey will be required for the building within ten (10) working days of the footer inspection. An as-built survey of the site is required to verify the setbacks of the parking lot and all other improvements. Once approved, such as-built will need to be submitted in a pdf format. A certification on the lighting will also be required before the issuance of a Certificate of Occupancy.

Mr. Todd Stubbs

3/28/13

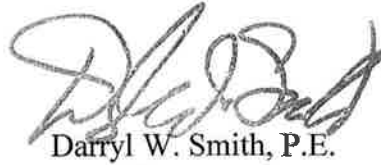
Page 4

Please note that due to the nature and extent of the comments, additional comments may be generated upon resubmission.

Sincerely,



Ruth Viergutz Hawk, AICP
Community Development Director



Darryl W. Smith, P.E.
Town Engineer

attachments - Grading Permit Checklist [mailed copy only]
Certificate of Occupancy Checklist [mailed copy only]

pc: Will Robinson & Associates (wrassociates@bellsouth.net)
Schaad Companies (Fax #637-4105)

Dr. Ralph McGill, *Mayor*
Mary Dorothy LaMarche, *Vice-Mayor*
David Smoak, *Town Administrator*
Allison M. Myers, *Town Recorder*



Jeff Elliott, *Alderman*
Ron Honken, *Alderman*
Robert N. Markli, *Alderman*

February 27, 2013

Mr. Todd Stubbs
George Armour Ewart, Architect
404 Beardan Park Circle
Knoxville, TN 37919
tstubbs@georgeewart.com

SUBJECT: Staff comments on site plan for Costco Retail Site, 10745 Kingston Pike, Parcel 37.01, Tax Map 131

Dear Mr. Stubbs,

The Town staff has reviewed the above referenced site plan for compliance with the Town's regulations. Please address the following items and submit five (5) complete sets of 24" x 36" revised plans and one 8 1/2" x 11" reduced set to the Farragut Town Hall. Please note that due to the number and extent of the outstanding items, this item will not be placed on the March 21 planning commission agenda. Upon resubmittal of revisions, please include a letter which addresses these comments and that indicates where the information can be found on the plans.

Please remember this item will be discussed at the Staff/Developer Meeting at the Farragut Town Hall on Tuesday, March 21, at 9:45 a.m. The purpose of this meeting is to discuss questions you may have on staff comments.

Fire Division: (Contact Dan Johnson at 675-2384)

1. Provide current fire hydrant flow data for closest fire hydrants used to satisfy appendix B and C. Data shall be less than 1 year old and include name of agency performing test, static pressure, residual pressure and flow in GPM;
2. Provide written approval from First Utility District of Knox County;
3. Provide the size of the water main supplying the proposed fire service tap;
4. Provide the calculated fire flow, in accordance with appendix B & C of the International Fire Code. The designer may utilize the sprinkler reduction described within that section;
5. Provide the accessible location of the FDC for the fire sprinkler system;

Codes Division: (Contact John Householder at 675-2384)

6. Indicate the construction type;
7. Indicate the Occupancy type;
8. Indicate whether one hour protected?

Planning Division: (Contact Ruth Viergutz Hawk at 966-7057)

9. The application indicates that this building will be constructed on the Costco site. Per the site plan, however, that is not the case. You will need to correct the address, parcel, map, and acreage information on the application (or complete a new application);
10. Submit a certified address verification from the Addressing Division of the Knoxville/Knox County Metropolitan Planning Commission;
11. In the title block on each sheet, indicate the address;
12. In the title block, include the map and parcel number information;
13. Indicate the property owner, address and telephone numbers. Be sure to include a person's name;
14. Indicate the developers name, address and telephone numbers. Be sure to include a person's name;
15. Include a location map;
16. Number the sheets 1 of x, 2 of x, etc.;
17. Maintain a minimum 5 foot width for all sidewalks. There is a violation in the rear of the building;
18. The parking lot, including the curb, must be setback a minimum of 10 feet from side and rear property lines;
19. Maintain the minimum 10 foot perimeter parkway on side and rear property lines and 40' on front property lines. Transformers cannot be located in these required landscaped areas;
20. Clarify the property lines vs. easement lines. Use different line types and define the actual line types used in the legend;
21. Label all easements;
22. The building and parking lot must meet the 40 foot front yard setback on Lovell Road;
23. The building must meet the 30 foot rear yard setback;
24. Sheet C1.1 - include the building square footage and the outdoor seating area square footage;
25. Sheet C1.1 - clarify parking calculations. Include bike parking requirements;
26. Sheet C1.1 - show actual dumpster location;
27. Sheet C1.1 - show all building entrances;
28. Sheet C1.1 - indicate the width of the handicapped parking spaces and the associated striping;
29. Landscape islands are to be a minimum of 5 feet wide from inside of curb to inside of curb. Modify plans accordingly and indicate dimensions on Sheet C1.1;
30. A 10 foot interior parkway (landscaped area) is required between the at least one of the parking rows;
31. Line the northern driveway into the site with the Costco driveway;
32. Where is the turn around for the back parking, loading, and trash pick up area?

33. Bike rack styles vary. Although the town would encourage a creative style rack, there are no specific requirements to design. Please include a rack detail. The concrete pad on which the bike rack is mounted must be large enough to accommodate a bike and not overhang into the sidewalk or required landscaping. As shown, the size bike parking area is not accurately depicted;
34. Detail A/A1.1 - Dumpster Door Detail - text has been cut off. Include information;
35. Include the proposed color of the dumpster enclosure and the door;
36. Will there be a recycling container? This must also be in an enclosure;
37. Sheet A4.1 - what does the black on the west elevation represent?
38. Sheet A4.1 - include all proposed building colors. Include a sample of the referenced "red";
39. As shown, the HVAC units on the roof will not be sufficiently screened from adjacent properties or rights-of-way. Please be aware that due to a recent ordinance amendment, the addition of screens after the building is constructed no longer complies with the town's regulations;
40. Include details of the lights that will be in the outdoor seating area (under canopy);
41. Sheet SE1.0 - what do the squares/in squares represent?
42. The maximum light pole height is 28 feet. Indicate and include a detail;
43. The maximum wall light mounting height is 15 feet. Indicate accordingly;
44. Add a plan note stating there will be no slopes steeper than 3:1 (run/rise);
45. Add a plan note stating that there will be no antennas/dishes on this building;
46. Include a diagram and calculations verifying maximum lot coverage. It appears there is a violation;
47. Include a diagram and calculations verifying landscaping requirements between buildings and parking lots. It appears there is a violation;
48. Include the patio fencing and gate details;
49. Will there be gas to the site? Generally restaurants require gas for cooking. If so, please include;
50. Grease traps cannot be located in the setbacks. Clarify setbacks and grease trap sizes to verify compliance;
51. The northeast sidewalk connection should be to Lovell Road. Show pedestrian connections to these sidewalks;
52. Submit retaining wall detail. A railing will likely be needed on top of the wall. Include railing detail. We will also need certification on the construction of the retaining walls. The designer must inspect the retaining walls as they are being constructed;
53. A two year maintenance Letter of Credit from a local lending institution will be required for the landscaping prior to the issuance of a Certificate of Occupancy;
54. Prior to the issuance of any Certificate of Occupancy, please submit a pdf of the finalized stamped approved site plans;

Tree Preservation/Removal Plan/Landscape Plan: (Contact Mark Shipley at 966-7057)

55. Please include a certified address;
56. Please number the sheets 1 of..., 2 of..., etc.;
57. Please do not include the landscape plan with this submittal. The landscape plan is a separate submittal and approval. For this submittal please indicate on the grading sheet if there are any existing trees that would be affected by this proposed project. If there are additional information will be needed to demonstrate how they are to be protected during construction;
58. Please include a pedestrian connection (steps) to the Walgreen's property;
59. Is there enough space on the south side of the building for delivery vehicles?
60. All sidewalks must keep a minimum of 5 feet of clear area;
61. All island widths must be dimensioned from back of curb to back of curb because the minimum widths of islands is measured from back of curb to back of curb;
62. Please consider implementing some low impact development approaches to stormwater management. For example, perhaps using permeable pavers for the excess parking spaces, installing a rainwater harvesting system to help reduce utility costs, converting parking lots islands to bioswales, etc. Such measures could be used as examples for others and help market this project as being on the cutting edge of innovative approaches to stormwater management;
63. The required square footage of landscaping between the building and parking lot is 756 square feet. The paved areas on the south end of the building count as parking lot/accessways. Please include the additional landscaping needed to satisfy this requirement;
64. Based on the information provided, the lot coverage maximum of 70% is exceeded with this proposal. Please revise;
65. Please clarify what the material is proposed to be for the dumpster door;
66. Please include lines of sight diagrams to demonstrate that no HVAC units will be visible from adjacent properties or rights of ways;
67. Please include a detail of the bicycle racks and pad;
68. A landscape plan must be approved prior to the issuance of a grading permit. This is a separate application process and must be heard by the Visual Resources Review Board;

Engineering Division: (Contact Darryl Smith at 966-7057)

69. The entire parking lot drains to two catch basins at northwestern corner of the parking lot. One is labeled an area drain, while the other is labeled inlet. Both of these should be curb inlets (with open throat), as area drains alone can clog and would likely not be able to accommodate all runoff in a major storm;

Mr. Todd Stubbs

2/27/13

Page 5

70. Our Stormwater Ordinance requires concrete pipe in all locations where, if the pipe were to fail, runoff would leave the property or create major damage. With this in mind, it appears the 31 linear feet of pipe in the northwest corner, and quite possible the 229' section under parking lot, should be concrete. Please note that pipe size must be minimum 18" diameter. Where are roof drains routed?
71. Grading Note 8 recommends that no slope be steeper than 2:1. This should be no steeper than 2.5:1, and then only with proper stabilization measures for steep slopes;
72. Is gas to be included for this facility?
73. Please submit Drainage Fee of \$1100;
74. Please submit Erosion Control Letter of Credit for \$9600; and
75. Please submit NOC.

Please call the designated staff person if you have any questions on the above items. Unless specified otherwise, please include all requested information on the plans. You may note that there are some duplicate comments. This is done so that if you have a question, you know that you can call either person regarding that particular issue. Also, a foundation survey will be required for the building within ten (10) working days of the footer inspection. An as-built survey of the site is required to verify the setbacks of the parking lot and all other improvements. Once approved, such as-built will need to be submitted in a pdf format. A certification on the lighting will also be required before the issuance of a Certificate of Occupancy.

Please note that due to the nature and extent of the comments, additional comments may be generated upon resubmission.

Sincerely,


Ruth Viergutz Hawk, AICP
Community Development Director


Darryl W. Smith, P.E.
Town Engineer

attachments - Grading Permit Checklist [mailed copy only]
Certificate of Occupancy Checklist [mailed copy only]

pc: Will Robinson & Associates (Fax # 877-663-2233)

MEETING DATE: April 18, 2013

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Ruth Viergutz Hawk, Community Development Director

SUBJECT: Discussion and public hearing on a request to rezone a portion of Parcel 14, Tax Map 151EA, 109 Way Station Trail, Old Stage Hills subdivision, from General Single-Family Residential District R-2 to Buffer District B-1 (Stephen Prince, Applicant)

INTRODUCTION: This parcel is located on Way Station Trail in the Old Stage Hills subdivision and is currently zoned R-2 General Single-Family Residential. The large detention basin in the Renaissance Development lies immediately to the west of this parcel and the recently rezoned Business District, Four-Story (BD-4) parcel lies immediately to the north and northwest of this parcel.

DISCUSSION: There is a single-family house located on the southern half of this property and an un-named stream runs through the northern portion of the property. The un-named stream and the area immediately surrounding the stream is heavily treed.

The applicant is associated with the recently rezoned BD-4 tract and purchased this house on February 22, 2013. The house was listed for sale prior to the BD-4 rezoning occurring. The applicant does not plan to live in this house, but to use it as a rental house. As reviewed as part of the staff write-up of the site plan, the four-story building in the BD-4 district is pushed back from Kingston Pike with the parking lot located in front of the building. As a result, the proposed bank/office building does not meet the minimum 100' building setback requirement from adjacent residentially zoned property. Per the current zoning, the building is located 82' from the adjacent residentially zoned property.

In order for the submitted site plan to meet the BD-4 minimum setback requirements from the neighborhood, a portion of the residential property must be rezoned.

As you recall from the discussions creating the new Business District, Four-Story (BD-4) zoning district, the intent of this new zone was to de-emphasize parking lots and to provide for the construction of taller buildings closer to the street. The intent was also to protect adjoining neighborhoods to the greatest extent possible.

ISSUES: The primary question before you is whether you feel it is appropriate to rezone a portion of a single-family parcel so that the adjoining BD-4 zoned property can be developed with the building being constructed closer to this house and to the rest of the Old Stage Hills neighborhood. The stated

intent of the BD-4 district is as follows: "These office and commercial uses are intended to be designed to minimize negative impacts on nearby residential uses and to strengthen our sense of community."

Attached please find an aerial photo of the general area, the zoning of the general area, copies of the B-1 and BD-4 districts, Resolution PC-13-04, and Ordinance 13-16. Resolution PC-13-04 recommends approval of Ordinance 13-16 and the rezoning

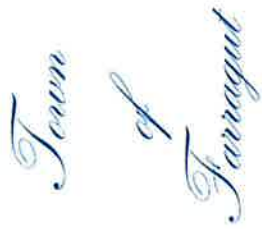
RECOMMENDATION: The primary question before the planning commission is whether you feel it is appropriate to rezone a portion of a single-family parcel at the entrance to a neighborhood so that the adjoining commercially zoned property can be developed with the building being constructed closer to the residential neighborhood. Staff has no recommendation.

PROPOSED MOTION: All motions are to be made in the positive.

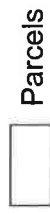
Move to approve Resolution PC-13-04.

An "aye" vote would be in favor of the rezoning request.

A "nay" vote would be against the rezoning request.



Legend

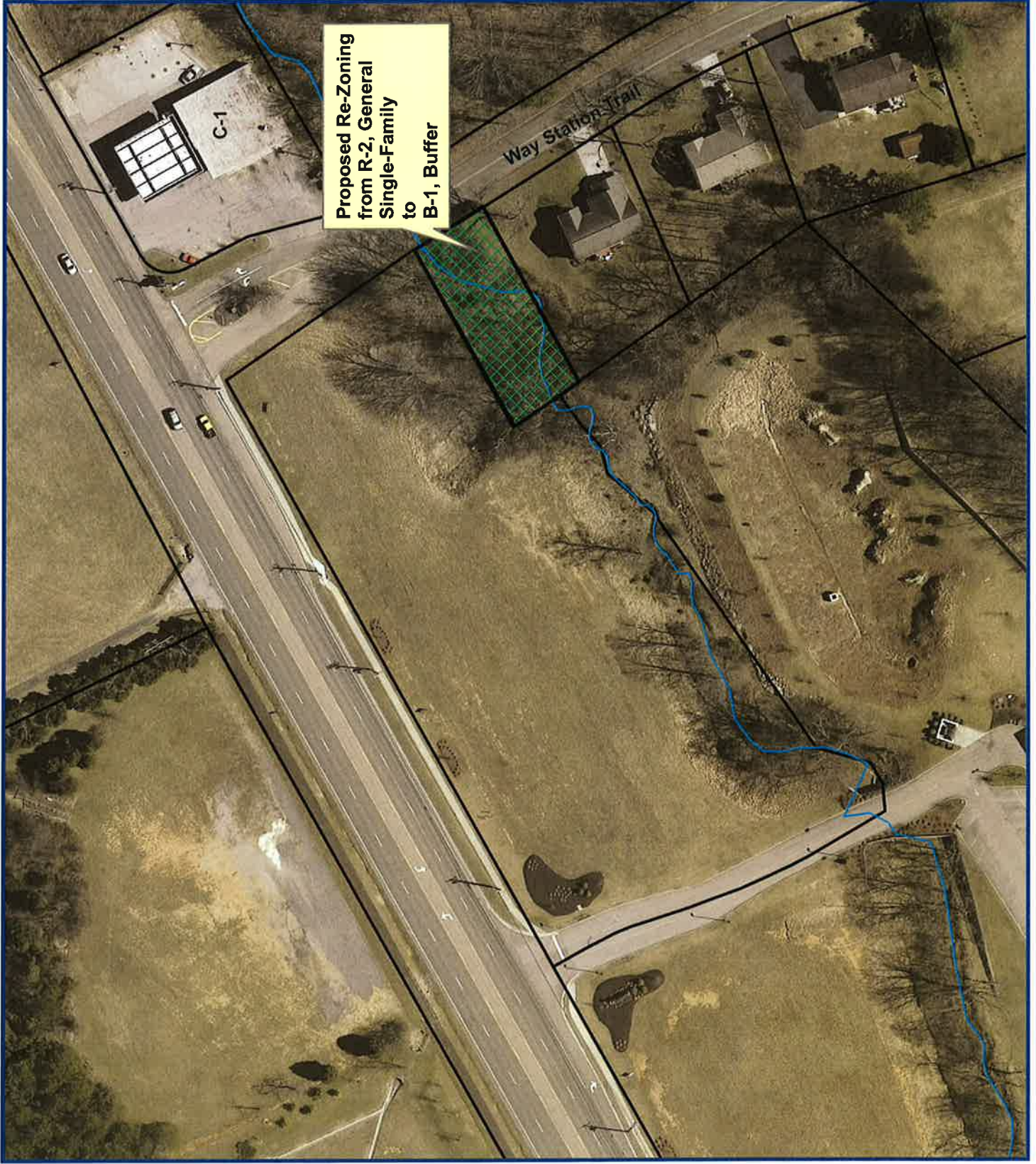


Parcels

Proposed Re-Zoning
From R-2,
General Single-Family
to
B-1, Buffer



1 in = 100 ft



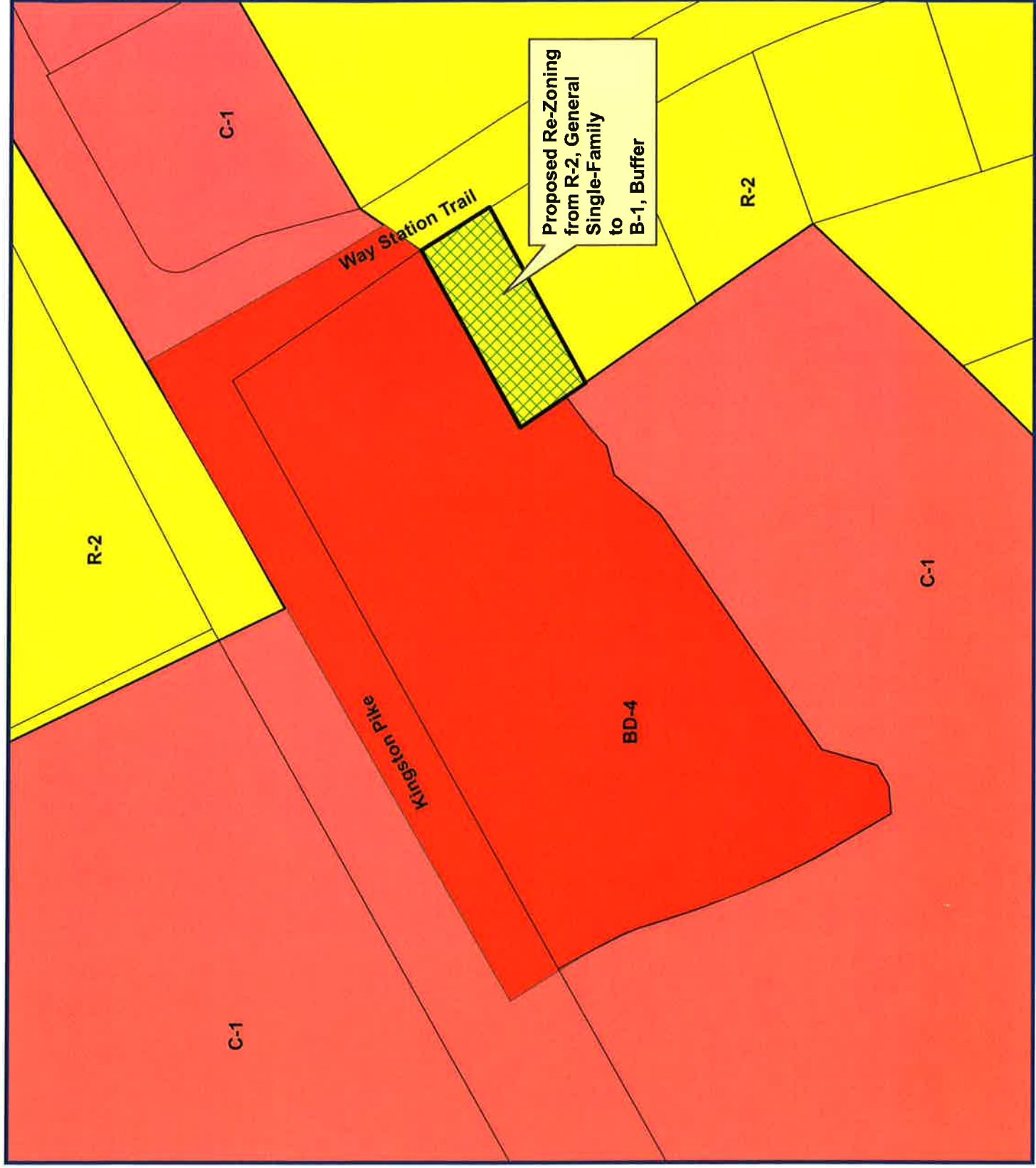
Town of Farragut

Legend

-  Parcels
-  BD-4, Business District Four Story
-  R-2, General Single-Family Residential
-  C-1, General Commercial
-  Proposed Re-Zoning From R-2, General Single-Family to B-1, Buffer



1 in = 100 ft



Chapter 3. Farragut Zoning Ordinance

3.II.1

II. BUFFER DISTRICT (B-1)

A. General Description

It is the intent of this zone to provide for a higher intensity land use to occur adjacent to a lower intensity land use while at the same time protecting the lower intensity land use from the negative impacts of the higher intensity land use. The land zoned Buffer District is to serve as a cushion or shield between these conflicting land uses. These areas should be retained in their natural state and should be supplemented with additional landscaping so as to provide a visual and aesthetic separation between the conflicting land uses.

B. Permitted Uses & Structures

1. Signs per the Farragut Municipal Code.
2. Fences and decorative brick or rock walls, provided they are set back a minimum of ten (10) feet from all property lines.
3. Utility structures, provided all landscaping requirements can be met.

C. Landscaping

Each one hundred (100) linear feet of area zoned Buffer District of width fifty (50) feet or greater shall be landscaped per the fifty (50) foot wide buffer strip provisions established in this ordinance. Existing, mature vegetation shall be preserved and incorporated into the landscape plan.

Chapter 3: Farragut Zoning Ordinance

3.XVI.1

XVI. BUSINESS DISTRICT, FOUR STORY (BD-4)

A. General description

This district provides space for general office and limited commercial uses. The office uses will provide regional employment opportunities and the commercial uses will primarily serve the residents of the Town of Farragut and immediate surrounds. These office and commercial uses are intended to be designed to minimize negative impacts on nearby residential uses and to strengthen our sense of community.

B. Permitted Principal and Accessory Uses and Structures

1. Generally recognized retail sales. This excludes all outdoor sales or storage.
2. Retail sale of alcoholic beverages, as provided for in the Farragut Municipal Code.
3. Financial and real estate services.
4. Professional, personal, and business services.
5. Restaurants, tea rooms, cafes, coffee houses, or other similar establishments serving food or beverage that is primarily consumed within the principal building or in designated outdoor seating areas associated with the principal building. This excludes drive-through service lanes and windows.
6. Public, governmental, and general offices.
7. Medical, dental, and veterinary facilities.
8. Medical spas.
9. Adult education and training facilities, indoors only.
10. Theaters, indoors only.
11. Indoor recreational facilities.
12. Cultural activities.

C. Building Façade Requirements

Building construction shall comply with Title 14, Chapter 3, Section 14-305. and Section 14-306. (1) and (2), of the Farragut Municipal Code.

D. Low Impact Development Requirements

The development shall incorporate a minimum of one of the following Low Impact Development (LID) practices into the design:

1. Twenty-five percent (25%) of the parking lot being constructed with permeable pavers;
2. Stormwater runoff draining to rain gardens;
3. The building being constructed with a vegetated roof, commonly referred to as a green roof;
4. Stormwater draining to bioswales/bioretenention facilities; or
5. Rainwater being harvested for irrigation or gray water uses.

E. Area Regulations

1. Front Yards

- a. Building setbacks shall be determined based on the building height and the location of the street edge of pavement. Anticipated roadway improvements such as additional travel lanes, turn lanes, and bikes lanes shall be taken into consideration in determining the location of the street edge of pavement. The building setback shall be calculated as follows:

Building setback = (equals) total building height / (divided by) 1.618

The setback shall be measured from the street edge of pavement. At a minimum, all buildings shall be set back a minimum of twenty (20) feet from all front property lines and access easements.

- b. All accessory structures, excluding detention basin structures, shall be set back from the nearest point of any right-of-way a minimum of forty (40) feet, except as provided for elsewhere in this ordinance or the Municipal Code. Detention basins, measured from the exterior toe-of-slope, and all associated structures shall be set back from the nearest point of any right-of-way a minimum of ten (10) feet.

2. Side and Rear Yards

- a. All buildings shall be set back a minimum of twenty (20) feet. When the abutting property is zoned residential or agricultural, buildings shall be set back a minimum of one hundred (100) feet. When the abutting property is zoned buffer district and the property immediately adjacent to such buffer

district is zoned residential or agricultural, buildings shall be set back a minimum of one hundred (100) feet from the residentially or agriculturally zoned land. All buildings shall be set back a minimum of twenty (20) feet from all access easements.

- b. All accessory structures shall be set back a minimum of ten (10) feet, except as provided for elsewhere in this ordinance or the Municipal Code.

3. Buffer Strips

- a. There shall be a buffer strip a minimum of thirty-five (35) feet in width on all front property lines when the street adjacent to that front property line is classified as a collector or local street on the Major Road Plan and the property on the opposite side of the street is zoned residential or agricultural;
- b. There shall be a buffer strip a minimum of thirty-five (35) feet in width on all side and rear property lines when the abutting property is zoned residential or agricultural;
- c. Existing, mature vegetation shall be preserved and incorporated into the buffer strip; and
- d. Detention basins, measured from the exterior toe-of-slope, and all associated structures shall not be located within any buffer strips.

4. Maximum Lot Coverage

Total lot coverage – sixty percent (60%)

5. Land Area

Minimum lot size of one (1) acre

6. Height Regulations

No building shall exceed four stories, or seventy (70) feet in height. All buildings shall be a minimum of two stories. Except as provided for elsewhere in this ordinance or the Municipal Code, no accessory structure shall exceed ten (10) feet in height.

7. Parking

As regulated in Chapter 4.

When a parking lot is constructed adjacent to a front property line, a berm shall be

constructed or landscaping shall be planted so as to limit the viewability of the parking lot from the street. A minimum of sixty percent (60%) of the total parking lot length adjacent to the front property line shall be screened from view with a berm or landscaping.

RESOLUTION PC-13-04

FARRAGUT MUNICIPAL PLANNING COMMISSION

A RESOLUTION TO APPROVE AN AMENDMENT TO THE FARRAGUT ZONING MAP, ORDINANCE 86-16, TO RECOMMEND THE APPROVAL OF THE REZONING OF A PORTION OF PARCEL 14, TAX MAP 151EA, 109 WAY STATION TRAIL, OLD STAGE HILLS SUBDIVISION, FROM R-2 GENERAL SINGLE-FAMILY RESIDENTIAL DISTRICT TO B-1 BUFFER DISTRICT, APPROXIMATELY 60' X 145' (8,700 SQ.FT.)

WHEREAS, the Tennessee Code Annotated, Section 13-4-201 et seq, provides that the Municipal Planning Commission shall make and adopt a general plan for the physical development of the municipality; and

WHEREAS, the Farragut Municipal Planning Commission has adopted various elements of a zoning plan as an element of the general plan for physical development; and

WHEREAS, a public hearing was held on this request on April 18, 2013, and

NOW, THEREFORE, BE IT RESOLVED that the Farragut Municipal Planning Commission hereby recommends approval to the Farragut Board of Mayor and Aldermen of an ordinance, amending Ordinance 86-16, of the Farragut Zoning Ordinance, by adding Ordinance 13-16.

ADOPTED this 18th day of April, 2013.

Rita Holladay, Chairman

Edwin K. Whiting, Secretary

ORDINANCE:	13-16
PREPARED BY:	Hawk
REQUESTED BY:	Stephen Prince, Applicant
CERTIFIED BY FMPC:	April 18, 2013
PUBLIC HEARING:	_____
PUBLISHED IN:	_____
DATE:	_____
1ST READING:	_____
2ND READING:	_____
PUBLISHED IN:	_____
DATE:	_____

AN ORDINANCE AMENDING THE ZONING ORDINANCE OF THE TOWN OF FARRAGUT, TENNESSEE, ORDINANCE 86-16, AS AMENDED, PURSUANT TO AUTHORITY GRANTED BY SECTION 13-4-201, TENNESSEE CODE ANNOTATED.

BE IT ORDAINED by the Board of Mayor and Aldermen of the Town of Farragut, Tennessee, that the Farragut Zoning Ordinance, Ordinance 86-16, as amended, is hereby amended as follows:

SECTION 1.

The Farragut Zoning Ordinance, Ordinance 86-16, as amended, is hereby amended by rezoning a portion of Parcel 14, Tax Map 151EA, 109 Way Station Trail, Old Stage Hills subdivision, from R-2 General Single-Family Residential District to B-1 Buffer District, approximately 60' x 145' (8,700 sq.ft) (Exhibits A & B)

SECTION 2.

This ordinance shall take effect from and after its final passage and publication, the public welfare requiring it.

Dr. Ralph McGill, Mayor

ORDINANCE 13-16

Page 2

Allison Myers, Town Recorder

Certified to the Farragut Board of Mayor and Aldermen this _____ day of
_____, 2013, with approval recommended.

Rita Holladay, Chairman

Edwin K. Whiting, Secretary

FARRAGUT MUNICIPAL PLANNING COMMISSION



Ordinance 13-16

Exhibit A

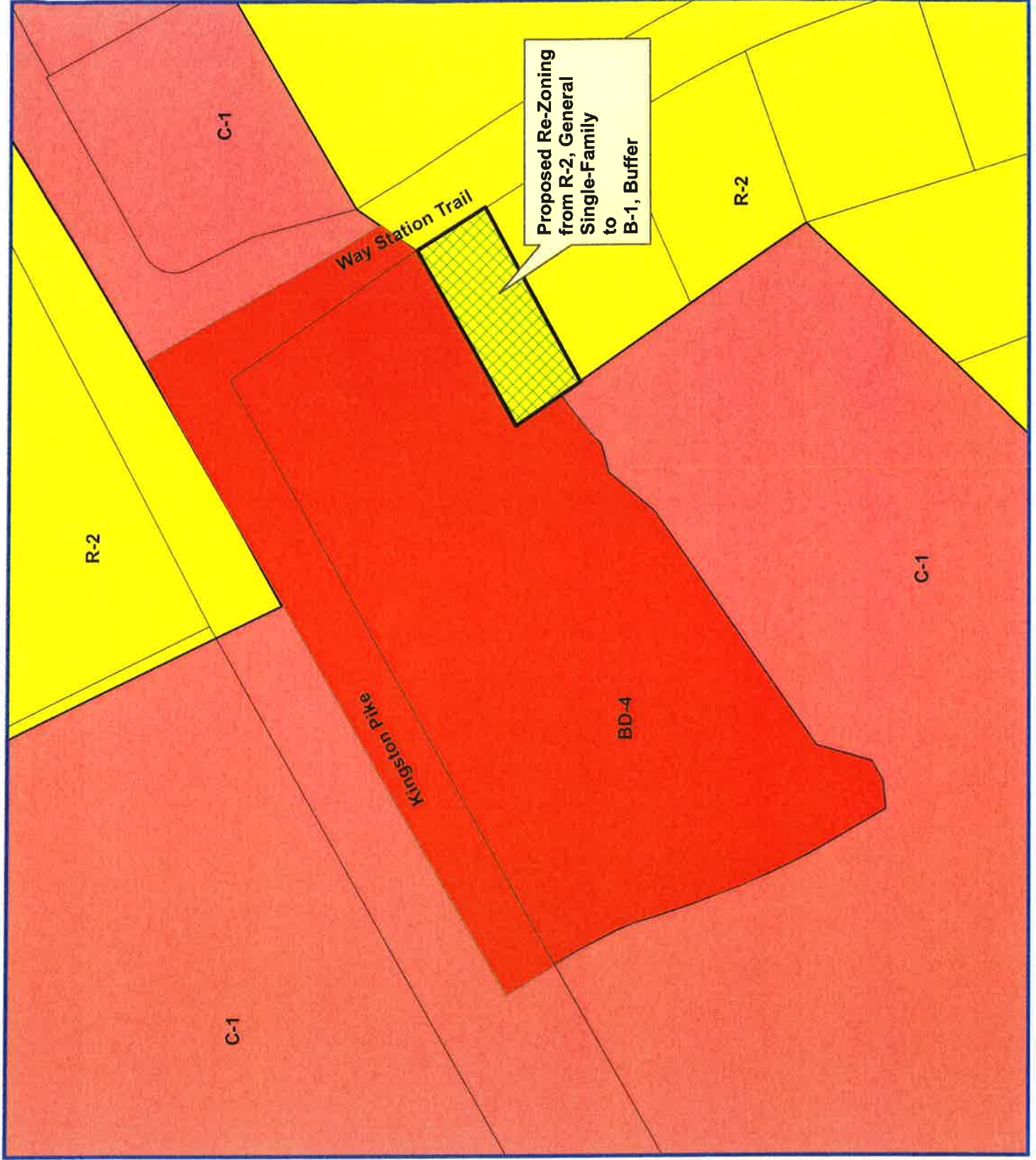
Re-zone
a portion of Parcel 14,
Tax Map 151 EA,
From
R-2, General Single-Family
to
B-1, Buffer

Legend

-  Parcels
-  BD-4, Business District Four Story
-  R-2, General Single-Family Residential
-  C-1, General Commercial
-  Proposed Re-Zoning From R-2, General Single-Family to B-1, Buffer



1 in = 100 ft



ORDINANCE 13-16

Exhibit B

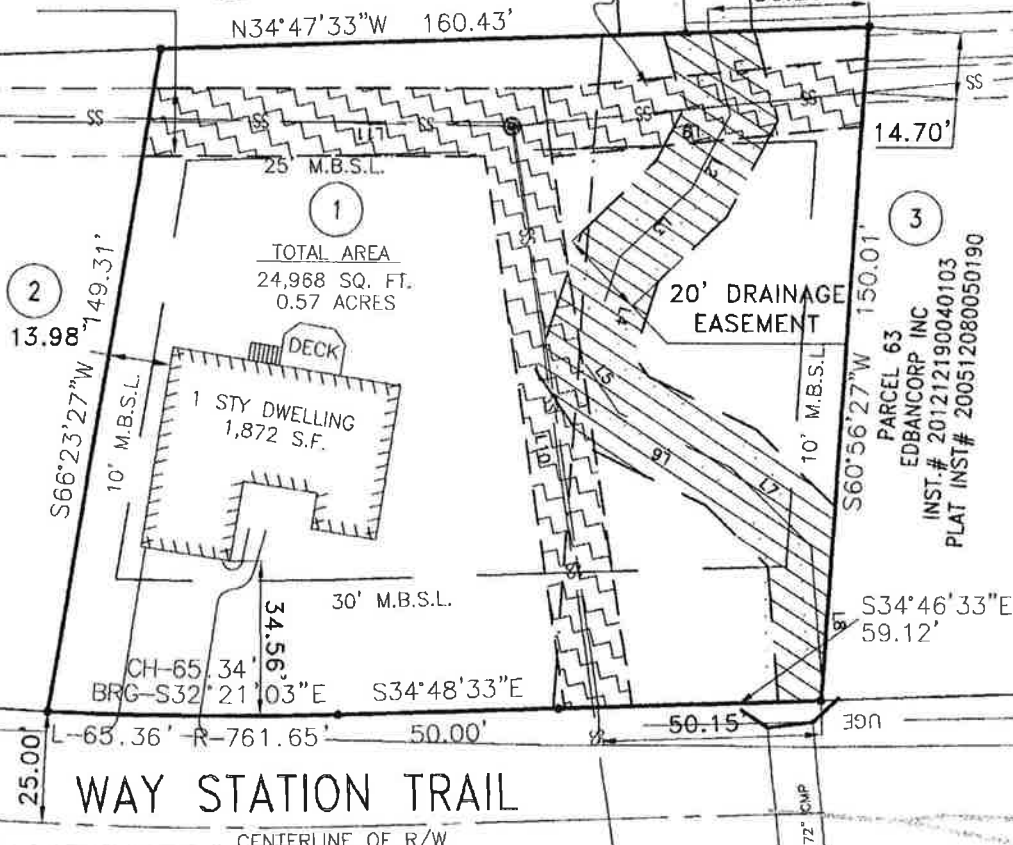
TO REZONE
A portion of Parcel 14, Tax Map 151EA
from
R-2 to B-1

LINE	BEARING	DISTANCE
L1	N42°04'40"E	19.28'
L2	N85°11'40"E	18.54'
L3	S76°21'20"E	22.29'
L4	N75°24'40"E	24.91'
L5	N21°39'40"E	13.39'
L6	N07°32'20"W	28.26'
L7	N10°57'40"E	25.09'
L8	N52°25'40"E	34.18'
L9	S38°26'12"E	79.44'
L10	S48°20'23"W	131.45'
L11	S33°00'37"E	82.83'

PARCEL 63.07
KNICK R. & NOAH L. MYERS
INST.# 200204240088025
PLAT INST# 200805090084256
B-1 ZONING AREA
9,000 SQ. FT.
0.21 ACRES

15' SEWER
EASEMENT

(4R)



WAY STATION TRAIL

AS-BUILT SURVEY

DATE: 02/24/13

DRAWING NUMBER 173913

FOR STEVE PRINCE

ADDRESS 109 WAY STATION TRAIL

DISTRICT 6th COUNTY KNOX

LOT NO.1 JOHN R. SCHOOLCRAFT JR

MAP BOOK PAGE DRAWN BY SWA

MAP CAB.200103160061049

TAX MAP 151-E GROUP A PARCEL 014.00

WARRANTY DEED BK.201007070001358

MORTGAGE CO.

TITLE CO.

SCALE 1" = 30'

CITY KNOXVILLE STATE TN ZIP 37934

ABBOTT LAND SURVEYING LLC
STEVEN W. ABBOTT JR, RLS

1109 E. WOODSHIRE DRIVE

KNOXVILLE, TN 37922

OFFICE: (865) 671-1149

FAX: (865) 671-1148



THIS IS TO CERTIFY THAT THIS SURVEY MEETS THE MINIMUM STANDARDS FOR THE STATE OF TENNESSEE. THIS IS TO CERTIFY THAT ON THE DATE SHOWN, I MADE AN ACCURATE SURVEY OF THE PREMISES SHOWN HEREON USING THE LATEST RECORDED DEED AND OTHER INFORMATION FURNISHED TO ME, THAT THERE ARE NO EASEMENTS, ENCROACHMENTS OR PROJECTIONS EVIDENT OTHER THAN THOSE SHOWN. THE SURVEY WAS DONE UNDER THE AUTHORITY OF TCA 62-18-126; AND THE SURVEY IS NOT A GENERAL PROPERTY SURVEY AS DEFINED UNDER RULE 0820-3-07. THIS IS TO CERTIFY THAT I HAVE EXAMINED THE FEDERAL INSURANCE ADMINISTRATION FLOOD HAZARD MAP AND FOUND THE DESCRIBED NOT TO BE LOCATED IN A SPECIAL FLOOD HAZARD AREA.

MEETING DATE: April 18, 2013

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Ruth Viergutz Hawk, Community Development Director

SUBJECT: Discussion and public hearing on a site plan for a four-story financial center building, Parcel 63, Tax Map 151, located on the southwest corner of Kingston Pike and Way Station Trail in the Renaissance Development, 2.547 Acres, Zoned BD-4 (Myers Bros. Holding/Knick Myers, Applicant)

INTRODUCTION: In January 2013 the creation of the new Business District, Four-Story (BD-4) zoning district was completed. Simultaneously to the creation of this new zoning district this property was rezoned to BD-4.

DISCUSSION: The site plan before you is for a four-story bank and office building with drive-thru teller windows. Access to the site is from the shared access easement with the Renaissance development (west side) and Way Station Trail across from Weigel's (east side). The parking lot will be constructed with permeable pavers (like McFee Park, Phase II). The permeable pavers will address the stormwater first flush requirements. Some of you may recall that the stormwater detention basin for the Renaissance development was designed to accommodate the out parcels on the site. There is an existing sewer line located toward the rear of the property and this line must be relocated to accommodate the proposed location of the building.

Although the primary discussion during the creation of the new BD-4 district was with regards to reducing front yard setbacks so as to encourage parking lots in locations other than in front of the building and providing for a more creative site design that would emphasize the architecture of the building rather than the parking lot, the site plan before you has the parking lot located in front of the building and the building pushed back toward the neighborhood.

Per the BD-4 district, all buildings are to be located a minimum of 100' from adjacent residentially zoned land. As submitted, this building is 82' from the adjacent residentially zoned land. As currently designed, the rezoning of a portion of the adjacent residential lot to B-1 Buffer District is necessary for this site plan to comply with the minimum requirements of the zoning district.

The applicant is also requesting two variances from the Farragut Zoning Ordinance. These variances will be heard by the Board of Zoning Appeals on April 24. The first variance request is from the requirement to construct a sidewalk on Way Station Trail on the south side of their driveway to their property line. The second request is a variance on the front yard setback requirement associated with a proposed retaining wall at their entrance onto Way Station Trail.

Attached please find a reduced copy of the site plan, an aerial photo of the general area, a rendering of the building, and copies of letters to the applicant identifying the necessary changes to the site plan.

RECOMMENDATION BY: Staff will make a recommendation at the meeting.



RE

KINGSTON PIKE

WAY STATION TRAIL

NEW FOUR STORY BUILDING
58'-2" x 142'-2"
33,077-SF (GROSS)
FFE = 925.25

LOT 3 TOTAL AREA
110,834 SQ. FT.
2.547 ACRES



1313 Kalmia Road
Knoxville, TN 37909
Phn: 865.566.0185
Fax: 888.485.7005



RECEIVED

APR 8 2013

TOWN OF FARRAGUT

SITE LAYOUT PLAN
SCALE: 1" = 10'



GRAPHIC SCALE
(IN FEET)
1 inch = 10 ft.

REV	DESCRIPTION	DATE	BY
1	Revised per Town of Farragut Comments	04/02/2013	MAH
2			
3			
4			
5			
6			
7			
8			
9			
10			
11			
12			
13			
14			
15			
16			
17			
18			
19			
20			
21			
22			
23			
24			
25			
26			
27			
28			
29			
30			
31			
32			
33			
34			
35			
36			
37			
38			
39			
40			
41			
42			
43			
44			
45			
46			
47			
48			
49			
50			
51			
52			
53			
54			
55			
56			
57			
58			
59			
60			
61			
62			
63			
64			
65			
66			
67			
68			
69			
70			
71			
72			
73			
74			
75			
76			
77			
78			
79			
80			
81			
82			
83			
84			
85			
86			
87			
88			
89			
90			
91			
92			
93			
94			
95			
96			
97			
98			
99			
100			

SHEET 7 OF 17

C3

KINGSTON PIKE

WAY STATION TRAIL

NEW FOUR STORY BUILDING
58'-2" x 142'-2"
33,077 SF (GROSS)
FFE # 925.25

NOTE:
• ALL SLOPES SHALL BE 3:1 OR FLATTER
• ABOVE THE TOP OF BANK ELEVATION, A CERTIFICATE
OF ELEVATION SHALL BE REQUIRED DURING
CONSTRUCTION TO VERIFY THE SLOPES
• THERE SHALL BE NO CLEARING, GRADING,
CONSTRUCTION OR DISTURBANCE OF SOIL AND/OR
NATIVE VEGETATION WITHIN THE AQUATIC BUFFER
• NO DETENTION REQUIRED FOR THIS PROPERTY AS
REMANENCE HAS PROVIDED OVER DETENTION ON
RETAINING WALLS IN RENAISSANCE DEVELOPMENT.
SEE DRAWINGS FOR DETAILS.

INST. # 20130226050338
PLAT INST. # 200103160061049

PARCEL 83.37
8. KNW
INST. # 20020420080273
PLAT INST. # 20080509004456

STRIPPING AND COMPACTION SCHEDULE
Topsoil stripping depth 2'-3" average. Deeper if required locally.
Required compaction percentages (% max dry density)
Building Area: 91% Packing Area: 91%

TESTING:
Allow 1 compaction test per sq. 2500 S.F. (Max 57' x 50' area) per
fill in building areas.
Allow 1 compaction test per sq. 10,000 S.F. of cut or natural grade
in building area.
Allow 1 compaction test per sq. 2500 S.F. (Max 19' x 17' area) per
fill in parking area.
Allow 1 compaction test per sq. 40,000 S.F. of cut or natural grade
in parking area.
Maximum layer thickness shall be 8" unless noted otherwise.

SITE GRADING, DRAINAGE &
RETAINING WALLS
REMANENCE HAS
DESIGNED THE
RETAINING WALLS
AND DRAINAGE
SYSTEMS
FOR THIS PROJECT
AND THE CLIENT
SHALL BE RESPONSIBLE
FOR OBTAINING ALL
NECESSARY PERMITS
AND APPROVALS
FROM THE APPROPRIATE
AUTHORITIES.

SITE GRADING PLAN
SCALE 1" = 40'



STORM SEWER STRUCTURE SCHEDULE

STRUCTURE	TYPE	SIZE	DEPTH	LENGTH	INLET	OUTLET	REMARKS
1	MANHOLE	36"	4'-0"	10'-0"	10'-0"	10'-0"	SEE PLAN
2	MANHOLE	36"	4'-0"	10'-0"	10'-0"	10'-0"	SEE PLAN
3	MANHOLE	36"	4'-0"	10'-0"	10'-0"	10'-0"	SEE PLAN
4	MANHOLE	36"	4'-0"	10'-0"	10'-0"	10'-0"	SEE PLAN
5	MANHOLE	36"	4'-0"	10'-0"	10'-0"	10'-0"	SEE PLAN
6	MANHOLE	36"	4'-0"	10'-0"	10'-0"	10'-0"	SEE PLAN
7	MANHOLE	36"	4'-0"	10'-0"	10'-0"	10'-0"	SEE PLAN
8	MANHOLE	36"	4'-0"	10'-0"	10'-0"	10'-0"	SEE PLAN
9	MANHOLE	36"	4'-0"	10'-0"	10'-0"	10'-0"	SEE PLAN
10	MANHOLE	36"	4'-0"	10'-0"	10'-0"	10'-0"	SEE PLAN

*MANHOLE IS TO BE CONSTRUCTED OVER THE EXISTING 30" STORM PIPE.

STORM SEWER PIPE SCHEDULE

PIPE	TYPE	SIZE	LENGTH	SLOPE	INLET	OUTLET	REMARKS
1	MANHOLE	36"	10'-0"	0.00%	10'-0"	10'-0"	SEE PLAN
2	MANHOLE	36"	10'-0"	0.00%	10'-0"	10'-0"	SEE PLAN
3	MANHOLE	36"	10'-0"	0.00%	10'-0"	10'-0"	SEE PLAN
4	MANHOLE	36"	10'-0"	0.00%	10'-0"	10'-0"	SEE PLAN
5	MANHOLE	36"	10'-0"	0.00%	10'-0"	10'-0"	SEE PLAN
6	MANHOLE	36"	10'-0"	0.00%	10'-0"	10'-0"	SEE PLAN
7	MANHOLE	36"	10'-0"	0.00%	10'-0"	10'-0"	SEE PLAN
8	MANHOLE	36"	10'-0"	0.00%	10'-0"	10'-0"	SEE PLAN
9	MANHOLE	36"	10'-0"	0.00%	10'-0"	10'-0"	SEE PLAN
10	MANHOLE	36"	10'-0"	0.00%	10'-0"	10'-0"	SEE PLAN

CATCH BASIN GRATE SCHEDULE

TYPE	MANUF.	MODEL	OPEN AREA	WEIGHT	GRATE NOMINAL	APPLICATION	CFS	NOTE
1	NEEDHAM	R-100	2.00	320	24" DIA.	SCD LID	0.90	JUNCTION BOX
2	NEEDHAM	R-100	2.5	465	30" X 36"	8" PANT CB	6.56	1
3	NEEDHAM	R-100	3.0	700	36" X 36"	DOUBLE GRATE	10.10	1

INLET CATCH BASIN WATER FLOWING 1" DEEP AND UNIMPAIRED FROM MULTILATERAL.

1313 Kalma Road
Knoxville, TN 37909
Phn: 865.566.0185
Fax: 888.485.7005

engineering

REV	DESCRIPTION	BY	DATE
1	Revised per Town of Farragut Comments	MAH	04/02/2013
2			
3			
4			
SHEET NO. C4			
DRAWN BY: -			
CHECKED BY: -			
FILE NAME: 2009-C4			
JOB NUMBER: 2009			
ISSUE DATE: 03/15/2013			
OWNER: EdBarkcorp, Inc.			
LOCATION: 12700 KINGSTON PIKE FARRAGUT, TENNESSEE 37994 C-11 May 13, 17, 19, 20, 23			
TITLE: SITE GRADING PLAN			

RECEIVED

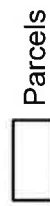
APR 8 2013 SHEET 8 OF 17

TOWN OF FARRAGUT

Town of Farragut

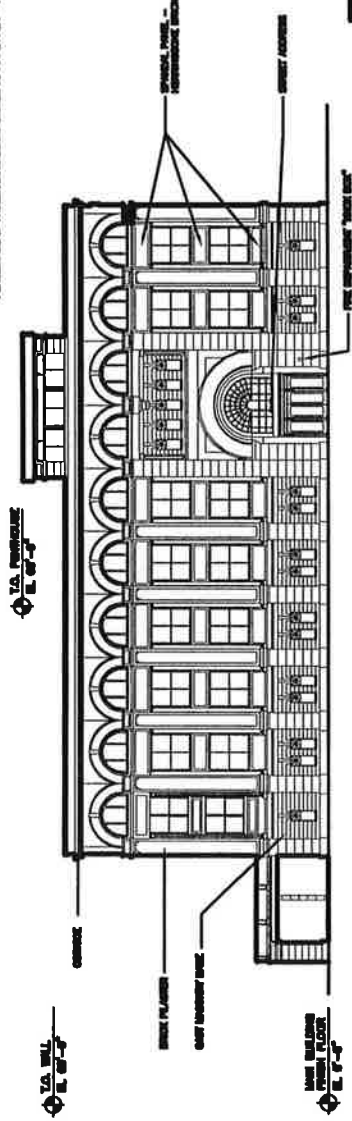


Legend



1 in = 250 ft

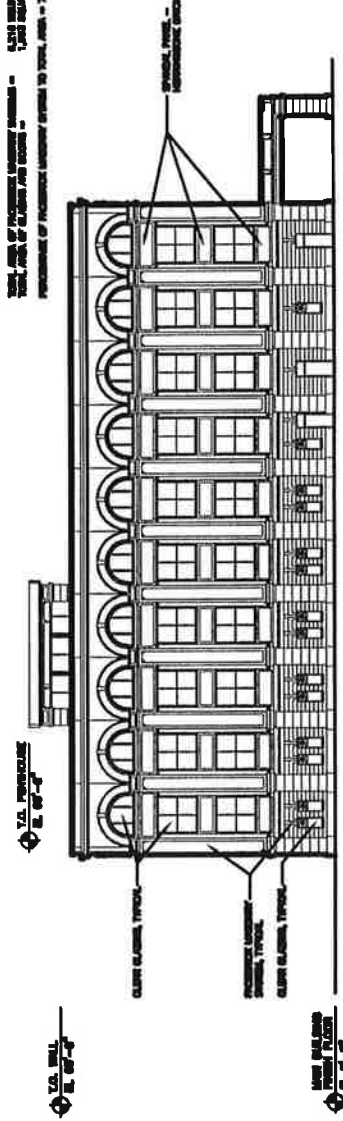
NOTE 2:
AREA CALCULATED FROM THE NORTH ELEVATION
(EXCLUDING PORCHES)
TOTAL ELEVATION AREA = 4,397 SQ. FT.
TOTAL AREA OF FENCED INLANDY SPACES = 5,439 SQ. FT.
TOTAL AREA OF ALLEYS AND ROADS = 74.37 SQ. FT.
PERCENTAGE OF FENCED INLANDY SPACES TO TOTAL AREA = 74.37%



4 NORTH ELEVATION
SCALE: 1/8"=1'-0"

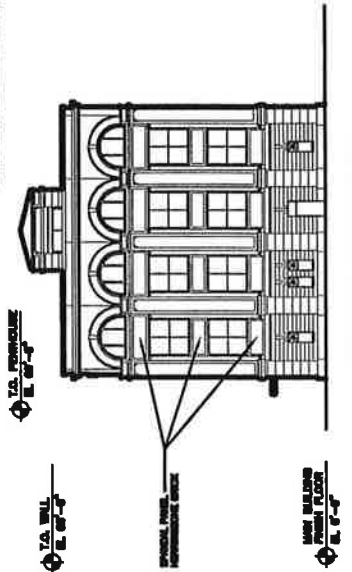
NOTE: OWNER SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE BUILDING'S INTERIOR AND THE PROTECTION OF THE WALL FROM DAMAGE CAUSED BY FLOODING OF TIDE.

NOTE 3:
AREA CALCULATED FROM THE SOUTH ELEVATION
(EXCLUDING PORCHES)
TOTAL ELEVATION AREA = 4,397 SQ. FT.
TOTAL AREA OF FENCED INLANDY SPACES = 5,439 SQ. FT.
TOTAL AREA OF ALLEYS AND ROADS = 74.37 SQ. FT.
PERCENTAGE OF FENCED INLANDY SPACES TO TOTAL AREA = 74.37%



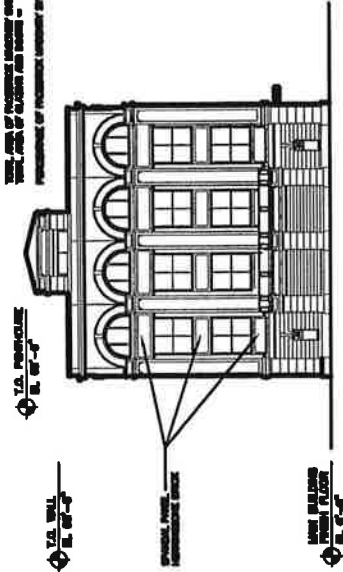
3 SOUTH ELEVATION
SCALE: 1/8"=1'-0"

NOTE 2:
AREA CALCULATED FROM THE WEST ELEVATION
(EXCLUDING PORCHES)
TOTAL ELEVATION AREA = 4,397 SQ. FT.
TOTAL AREA OF FENCED INLANDY SPACES = 5,439 SQ. FT.
TOTAL AREA OF ALLEYS AND ROADS = 74.37 SQ. FT.
PERCENTAGE OF FENCED INLANDY SPACES TO TOTAL AREA = 74.37%



2 WEST ELEVATION
SCALE: 1/8"=1'-0"

NOTE 3:
AREA CALCULATED FROM THE EAST ELEVATION
(EXCLUDING PORCHES AND TIDE TRENCH CANYON)
TOTAL ELEVATION AREA = 4,397 SQ. FT.
TOTAL AREA OF FENCED INLANDY SPACES = 5,439 SQ. FT.
TOTAL AREA OF ALLEYS AND ROADS = 74.37 SQ. FT.
PERCENTAGE OF FENCED INLANDY SPACES TO TOTAL AREA = 74.37%

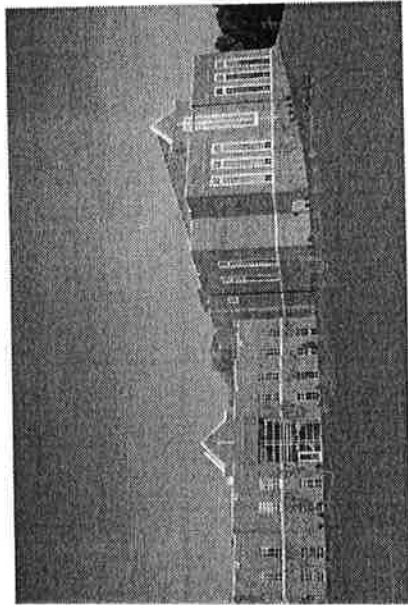


1 EAST ELEVATION
SCALE: 1/8"=1'-0"

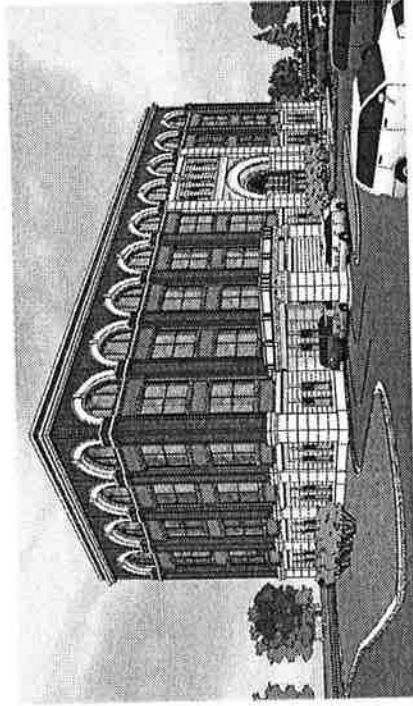
RECEIVED

APR 8 2013

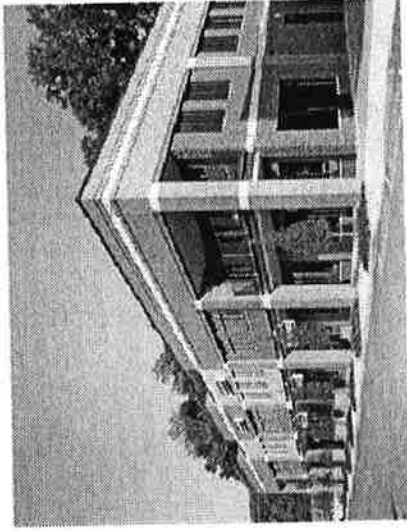
TOWN OF FARRAGUT



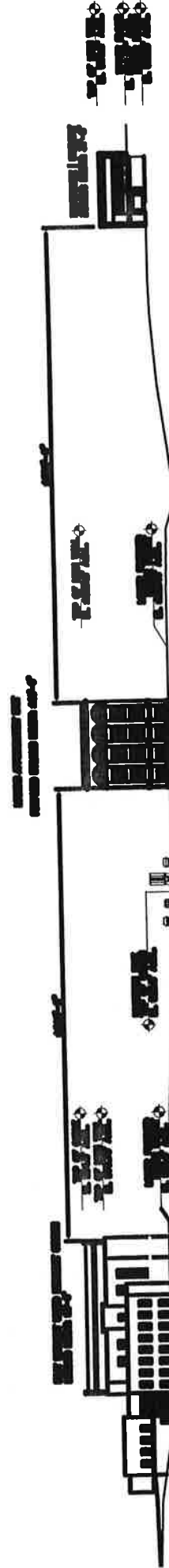
FIRST FARRAGUT
UNITED METHODIST CHURCH



PROPOSED BUILDING



RENAISSANCE | FARRAGUT



1 SITE SECTION
SCALE 1"=40'-0"

RECEIVED

APR 8 2013

TOWN OF FARRAGUT

Dr. Ralph McGill, *Mayor*
Mary Dorothy LaMarche, *Vice-Mayor*
David Smoak, *Town Administrator*
Allison M. Myers, *Town Recorder*



Jeff Elliott, *Alderman*
Ron Honken, *Alderman*
Robert N. Markli, *Alderman*

March 28, 2013

Mr. Knick Myers
Myers Bros. Holdings
12740 Kingston Pike, Suite 205
Farragut, TN 37934
knick@myers-bros.com

SUBJECT: Staff comments on site plan for 4-Story Financial Center, Parcel 63, Tax Map 151, Renaissance, Farragut

Dear Knick,

The Town staff has reviewed the above referenced site plan for compliance with the Town's regulations. Please address the following items and submit five (5) complete sets of 24" x 36" revised plans and one 8 1/2" x 11" reduced set to the Farragut Town Hall by **Monday, April 8, at 9:00 a.m.** If plans are not resubmitted by the deadline or the items are not adequately addressed, this item will not be placed on the planning commission agenda. Also, upon resubmittal please include a letter which addresses these comments and that indicates where the information can be found on the plans.

Please remember this item will be discussed at the Staff/Developer Meeting at the Farragut Town Hall on Tuesday, April 2, from 9:00 - 9:45 a.m. The purpose of this meeting is to discuss questions you may have on staff comments. Modifications to the plans are not due until Monday, April 8.

Fire Division: (Contact Dan Johnson at 675-2384)

1. Provide location of fire lane marking detail, as referred to in note 23 on sheet C5;
2. Provide fire lane marking along exterior curb line at rear of building to prevent reduction of the 18' width by parking;
3. The 18' rear driveway shall be appropriately marked as a one way driveway;

Planning Division: (Contact Ruth Viergutz Hawk at 966-7057)

4. All sheets must be stamped and signed;
5. Sheet C0 - HVAC screening note - please use the wording from our ordinance;
6. Will all the HVAC units be housed in the penthouse?
7. Sheet A-2.0 - note "Brick parapet of sufficient height to screen HVAC equipment".
Provide line of sight drawings from adjacent properties and rights-of-way;

8. Per the submitted building elevation, the building does not meet the minimum 75% face brick requirement. Change accordingly and verify compliance with the 75% face brick requirement. A color rendering would best assist in verifying compliance;
9. The building does not match the rest of the Renaissance development. The arched windows are not compatible with the architectural style of the rest of the development;
10. Sheet A-3.0 - the dumpster enclosure must use the same face brick as the building. Modify detail accordingly;
11. Sheet A-3.0 - the doors on the dumpster enclosure must be solid (100% opaque) vs. 90%). Modify detail accordingly;
12. Although not a requirement, for convenience purposes consider a people door into the dumpster enclosure;
13. Headwall 2 - pipe headwall and all associated rip rap/energy dissipation cannot encroach into the aquatic buffer. Modify accordingly;
14. Headwall 4 - pipe headwall and all associated rip rap/energy dissipation cannot encroach into the 10' perimeter parkway. Modify accordingly;
15. On at least one sheet (likely Sheet C4), clearly show the retaining wall locations. Per note on Sheet C1, the eastern retaining wall violates the minimum setback requirement;
16. Submit retaining wall detail. A plan note is not adequate (Sheet C4/Note #5);
17. Given the height of the retaining walls, a railing will be needed on top of the walls. Include railing detail;
18. Please be aware that we will need certification on the construction of the retaining walls. The designer must inspect the retaining walls as they are being constructed submit certifications accordingly;
19. Sheet C1 - label the sewer easement at Kingston Pike;
20. Sheet C1 & C2 - what do the small triangles represent (along creek and easement lines)?
21. On all sheets, clearly show and mark the access easement;
22. What does the dashed line on each side of the creek represent? Indicate;
23. Use different line types for everything and key in the legend. The same dashed line is used for a variety of features;
24. The building is 82' from the existing R-2 zoning district (minimum 100' is required);
25. Consider moving the building to the north because it is currently located on top of the sewer line;
26. Sheet C1 - insert property address in the SWPP & EC Notes;
27. The dumpster enclosure cannot be located on top of a sewer line or associated easement. As shown, the proposed relocation of the line is under the enclosure;
28. Delete unnecessary information on all sheets. For example, delete the # of parking spaces count, the building floor plan, and the lighting on Sheet C1. It would appear that the lights on this sheet represent down spouts and other types of drainage features. Having unnecessary information creates clutter and it is difficult to read the plans;
29. On plan notes - delete phrase "furnished and installed by contractor";

30. Sheet C2 - correct the verbal and graphic scale;
31. Sheet C2 - clarify in the parking calculations that the 3 spaces/1,000 square feet is for banks/professional offices. This is needed since commercial uses are permitted within this zoning district;
32. Sheet C2 - change the parking equation to $33,077 \text{ sq.ft}/300\text{sq.ft.} = 110$;
33. Sheet C2 - a total of 110 vs. 111 spaces are provided;
34. Include a Do Not Enter sign detail;
35. In the permeable pavers, include directional arrows in the one-way drive behind the bank and add a stop bar at the drive-thru exit;
36. 60% of the parking lot must be screened from view from Kingston Pike and Way Station Trail;
37. Sheet C2 - what is the patterned area between the west side of the building and the parking lot?
38. There needs to be a minimum of a 3' x 3' concrete landing for all exit doors. This is not met in the rear of the building. The travel way and curb and gutter cannot be considered the landing;
39. Sheet C2 - the line type defined in the legend for property line is not the line type that is used;
40. Clarify that parking spaces are not at sidewalk elevation on the west and north sides of the building (except at handicapped spaces);
41. Add tire stops at the handicapped spaces;
42. Sheet C2 - Notes 01 and 04 - are these applicable with this design?
43. Sheet C3 - label sewer easement at Kingston Pike;
44. Sheet C3 - delete 35' from the residential and the associated dashed line;
45. Sheet C3 - what are the 3 ½ moon with degree measurements on the south side of the driveway south of the building represent?
46. Silt fence detail - indicate straw bales may also be needed;
47. Sheet C4 - correct verbal and graphic scales;
48. No grading is permitted in the aquatic buffer. There is encroachment on the eastern end;
49. To ensure no encroachment, install chain link fencing at the aquatic buffer line;
50. Improvements cannot abut the aquatic buffer. As shown construction activity would encroach into the aquatic buffer in order to install curbs and other improvements. Design to accommodate construction activities;
51. A sidewalk is required on Way Station Trail to the south property line. Staff understands the limitations with this and it may be appropriate to request a variance from the Board of Zoning Appeals;
52. Sheet C4 - 2nd note, indicate the MFE is 918.34';
53. Sheet C4 - in note that reads: "There shall be no clearing, grading, construction, or disturbance of soil and/or native vegetation within the aquatic buffer except as permitted by the Town of Farragut". Correct the spelling for aquatic;

Mr. Knick Myers

3/28/13

Page 4

54. Sheet C7 - details and site plan must show the actual extent of the rip rap at the headwalls;
55. Sheet C7 - Detail for stone construction entrance - why is there concrete with drain space?
56. Label all details per sheet can be found. For example, details from previous Sheet C7 are now on Sheet C8 and details have not been relabeled accordingly;
57. Sheet C8 - Details 01/C7.0, 02/C7.0 & 03/C7.0 - are these for this site?
58. Include a handicap ramp detail applicable to this site;
59. The handicap symbol for the parking spaces should not be painted. They should be part of the brick pavers. Modify accordingly;
60. Sheet C9 - Permeable pavers detail- clarify/specify to this site. Indicate depth of each layer and if a geotextile on subgrade will be installed. Include detailed construction/installation as part of this plan;
61. I suggest that you get with Darryl Sapp with Bellegard to review permeable paver plans;
62. Include details of how you will protect permeable pavers during construction. For example, on the erosion control plan, show the pavers and stone being covered with 1/4" OSB (plastic). The note on Sheet C1 is not appropriate. Sediment and silt MUST be kept out of the pavers during construction;
63. In a plan note or with the detail, indicate how often the permeable pavers are to be vacuumed upon installation;
64. When permeable pavers are next to typical asphalt, you need to add a concrete curb/separator. This must extend down through the rock. Include a detail and show where this is applicable (at driveway connections);
65. Sheet C10 - the footcandle information is blocked out by the circles and EE's under the canopy. Modify so can read;
66. Where are the light poles being placed in relation to the retaining walls?
67. Sheet C10 - T/TV reference - where is this line? Add to utility sheet;
68. Sheet C11 - Fixture DD - I cannot tell from the detail, but is the globe flush with the housing?
69. Prior to the issuance of a grading permit, the utility sheet (water and sewer) must be signed by First Utility District;
70. Upon commencement of construction and prior to the issuance of a Certificate of Occupancy, a Certificate of Elevation will be needed to verify the minimum floor elevation has been met;
71. The rezoning must be finalized before any permits can be issued. Please understand that staff does have some concerns that this rezoning is being requested so that the building can be pushed farther back and closer to the neighborhood;
72. Please be aware that because of fill, engineered footers may be required;
73. A two year maintenance Letter of Credit from a local lending institution will be required for the landscaping prior to the issuance of a Certificate of Occupancy;
74. Prior to the issuance of any Certificate of Occupancy, please submit a pdf of the finalized stamped approved site plans;

Mr. Knick Myers

3/28/13

Page 5

Tree Preservation/Removal Plan/Landscape Plan: (Contact Mark Shipley at 966-7057)

75. Please number any notes used on the plans for reference purposes. The note on Sheet 1 dealing with HVAC unit screening should state that all HVAC units shall be screened by the building's parapet so that they are not visible from adjoining properties or rights of ways;
76. Remove the headwall (HW-2) from the aquatic buffer;
77. A plat will be required for the sewer line that is being relocated due to the building's placement further from Kingston Pike. No portion of the building can be over any portion of a utility easement. The plans need to be clear on both the layout and utility sheets where the sanitary sewer is being relocated (perhaps highlight the affected section and in a different identifying pattern show the new section);
78. The staff commends the applicant on their use of permeable pavers for the entire parking lot. This will be a real opportunity to showcase this very attractive and durable product. It will also highlight one of the low impact development approaches to stormwater management. There are some logistical questions about how to accomplish this since the entire parking lot is to be permeable pavers. For example, how will the permeable paver installation be staged so that the porosity of the stone material will not be compromised by siltation? It would appear that the stone media and permeable pavers would need to be completed at the very end of the project when adjacent areas disturbed during construction are stabilized. Will there be any perforated drains? Also, please include a maintenance plan for the permeable pavers (e.g. vacuuming the surface every months);
79. Will there be an effort to try for some level of LEED certification for this project?;
80. The retaining wall appears to encroach into the 10 foot setback from the Way Station Trail right of way;
81. No tree preservation/removal plan was included with the submittal. If there are no trees affected by this project please specifically note this on the plans. Also, at a minimum, please show the canopy extent of the existing tree line to the south. This is needed to verify the limit of disturbance in relation to existing tree cover. If portions of tree drip lines are encroached upon as a result of this project certain protection/treatment measures may need to be taken and included as part of the site plan approval;
82. Please identify the centerline of Kingston Pike so as to verify that the parking lot will be at least 70 feet from the centerline;
83. Are you going to have any directional arrows on the permeable pavers? Where is the fire lane striping? I assume the striping and handicap dashed areas will be accomplished with the pavers themselves. Is this correct?;
84. The retaining wall information is required as part of this submittal. This is not a design build element. Who will be certifying that the retaining walls have been constructed per what is ultimately approved as part of the site plan review?;
85. The architect's sheets state that they are preliminary and are not stamped. Please address;
86. I assume on Sheet A-2.0 that T.O. means "top of." Is that correct?;

Mr. Knick Myers

3/28/13

Page 6

Engineering Division: (Contact Darryl Smith at 966-7057)

87. Parking lot has been designed with permeable pavers to allow runoff to infiltrate to soil beneath the parking lot. However, most local soil conditions will likely not allow full infiltration, and runoff will need to move through lower media into perforated pipes that will allow runoff to leave the site. Short (20') sections of 4" perforated PVC pipe are shown on the plans. Will this be enough to capture all of the runoff? Contours of the parking lot appear to drain to the southern side of the site (as in prior submittals), but it may be necessary to provide perforated PVC along curb in front of building, so that so much runoff is not moving along subgrade. Please provide enough detail (calculations, reference materials, etc.) to verify;
88. How will permeable pavers be maintained? In other words, how will the parking lots maintain their ability to work in the long term? Will a maintenance agreement be necessary?
89. Energy dissipation (rip rap, etc.) cannot extend into the aquatic buffer. It appears that retaining walls could allow pipes to be shortened to allow dissipation;
90. Submit Drainage Fee of \$1285;
91. Submit Erosion Control Letter of Credit for \$13,500; and
92. Submit NOC.

Please call the designated staff person if you have any questions on the above items. Unless specified otherwise, please include all requested information on the plans. You may note that there are some duplicate comments. This is done so that if you have a question, you know that you can call either person regarding that particular issue. Also, a foundation survey will be required for the building within ten (10) working days of the footer inspection. An as-built survey of the site is required to verify the setbacks of the parking lot and all other improvements. Once approved, such as-built will need to be submitted in a pdf format. A certification on the lighting will also be required before the issuance of a Certificate of Occupancy.

Please note that due to the nature and extent of the comments, additional comments may be generated upon resubmission. Also, please be aware that if issues arise during construction or if plans in some way create a noncompliant situation in the field, the site must meet all minimum requirements.


Sincerely,

Ruth Viergutz Hawk, AICP
Community Development Director


Darryl W. Smith, P.E.

Town Engineer

attachments - Grading Permit Checklist [mailed copy only]
Certificate of Occupancy Checklist [mailed copy only]

pc: Ed Bankcorp, Inc. (Fax # 675-3824)
GBS Engineering/Mark A. Bialik (e-mail)

Dr. Ralph McGill, *Mayor*
Mary Dorothy LaMarche, *Vice-Mayor*
David Smoak, *Town Administrator*
Allison M. Myers, *Town Recorder*



Jeff Elliott, *Alderman*
Ron Honken, *Alderman*
Robert N. Markli, *Alderman*

February 27, 2013

Mr. Knick Myers
Myers Bros. Holdings
12740 Kingston Pike, Suite 205
Farragut, TN 37934
knick@myers-bros.com

SUBJECT: Staff comments on site plan for 4-Story Financial Center, Parcel 63, Tax Map 151, Renaissance, Farragut

Dear Knick,

The Town staff has reviewed the above referenced site plan for compliance with the Town's regulations. Please address the following items and submit five (5) complete sets of 24" x 36" revised plans and one 8 ½" x 11" reduced set to the Farragut Town Hall. Please note that due to the number and extent of the outstanding items, this item will not be placed on the March 21 planning commission agenda. Upon resubmittal of revisions, please include a letter which addresses these comments and that indicates where the information can be found on the plans.

Please remember this item will be discussed at the Staff/Developer Meeting at the Farragut Town Hall on Tuesday, March 21, from 9:00 - 9:45 a.m. The purpose of this meeting is to discuss questions you may have on staff comments.

Fire Division: (Contact Dan Johnson at 675-2384)

1. Please submit the flow data for the closest existing fire hydrant to the point of the proposed fire main tap. Include static and residual pressures, flow in GPM, location, date, time and name of entity testing unit;
2. Please be aware that any valves located in the fire main, past the point of domestic branch off, must be of the indicating type and be electronically monitored by the fire alarm system;
3. Please add all building construction criteria in a single location;
4. The minimum drive width for one-way traffic is 18 feet;

Planning Division: (Contact Ruth Viergutz Hawk at 966-7057)

5. Submit a certified address verification from the Addressing Division of the Knoxville/Knox County Metropolitan Planning Commission;

Mr. Knick Myers

2/27/13

Page 2

6. In the title block on each sheet, indicate the address;
7. Indicate the property owner, address and telephone numbers. Be sure to include a person's name;
8. Include a legend on each sheet;
9. The scale needs to be 1" = 20'. Change accordingly;
10. Include the acreage of the site in the Site Information Table;
11. Will any slopes exceed a 3:1 (run/rise)? If so, please indicate location and stabilization details;
12. On the diagram verifying maximum lot coverage, use shading/patterns to show what is counting toward lot coverage;
13. Include a diagram verifying landscaping requirements between buildings and parking lots. Use shading/patterns to show what is being counted. The transformer pad area cannot count toward meeting the requirement;
14. Replace the traffic striping behind the building with landscaping;
15. Indicate the drive behind the bank is one-way. Include signage and striping and include these details;
16. The one-way drive should be a minimum of 18 feet wide;
17. There needs to be a 3' x 3' concrete landing for all exit doors. The travel way cannot be considered the landing;
18. More clearly show the property lines;
19. More clearly show the drive thru canopy;
20. Show and label the creek top of bank;
21. Indicate the elevation of the top of bank;
22. The minimum floor elevation must be 3 feet above the top of bank. Indicate accordingly;
23. Upon commencement of construction, a Certificate of Elevation will be needed to verify the minimum floor elevation has been met;
24. Maintain a minimum 5 foot width the full length for all landscape islands. There are several that do not comply;
25. Handicap spaces need to be closer to the front door;
26. Remove the Note 11 indicating traffic striping out of creek (Sheet C2);
27. Provide a sidewalk to the shared access easement that is not on the driveway;
28. What does the required 35' buffer represent on Lot 1 (Sheet C3)?
29. What is the purpose of the bollards north of the dumpsters;
30. It would appear that bollards at the dumpsters would be desirable;
31. Verify compliance with the 75% face brick requirement on the building;
32. The building does not match the rest of the Renaissance development. The arched windows are not compatible with the architectural style of the rest of the development;
33. The BD-4 zoning district was written so that the building would be located at the front setback. Why is the site not designed accordingly?

Mr. Knick Myers

2/27/13

Page 3

34. The rezoning must be finalized before any permits can be issued. Please understand that staff does have some concerns that this rezoning is being requested so that the building can be pushed farther back and closer to the neighborhood;
35. A minimum of 28 parking spaces are required to be permeable pavers;
36. Pipe headwall and all associated rip rap/energy dissipation cannot encroach into the aquatic buffer;
37. Improvements cannot abut the aquatic buffer. As shown construction activity would encroach into the aquatic buffer. Design to accommodate construction activities;
38. Update ownership of Lot 1/Parcel 14;
39. Permeable pavers detail- clarify/specify to this site. Also include detailed construction/installation as part of this plan;
40. Include details of how you will protect permeable pavers during construction. For example, on the erosion control plan, show the pavers and stone being covered with 1/4" OSB (plastic);
41. When permeable pavers are next to typical asphalt, you need to add a concrete curb/separator. This must extend down through the rock;
42. On the stop sign detail, indicate the sign size is 24" x 24";
43. Include dumpster enclosure details;
44. Include a lighting plan;
45. Prior to the issuance of a grading permit, the utility sheet (water and sewer) must be signed by First Utility District;
46. Add a note stating that no antennas will be added to this site;
47. Sheet 3 - indicate building height on various details;
48. Include bike parking in parking tallies (both locations);
49. Where is the loading area for truck delivery?
50. Where are the HVAC systems located? Clarify;
51. Submit retaining wall detail. A railing will likely be needed on top of the wall. Include railing detail. We will also need certification on the construction of the retaining walls. The designer must inspect the retaining walls as they are being constructed;
52. Add a plan note which reads: "There shall be no clearing, grading, construction, or disturbance of soil and/or native vegetation within the aquatic buffer except as permitted by the Town of Farragut";
53. A two year maintenance Letter of Credit from a local lending institution will be required for the landscaping prior to the issuance of a Certificate of Occupancy;
54. Prior to the issuance of any Certificate of Occupancy, please submit a pdf of the finalized stamped approved site plans;

Tree Preservation/Removal Plan/Landscape Plan: (Contact Mark Shipley at 966-7057)

55. Please include a certified address;
56. Please include elevation dimensions on Sheet 3;
57. Please specifically address the HVAC unit screening;

58. Sheet 2 would not appear to be a site plan related sheet;
59. Please remove references stating "Not For Construction."
60. Please remove any references to signage;
61. A key element of the intent behind the BD-4 Zoning District was having the building rather than the parking lot adjacent to the public street. Is there any opportunity for this to be reconsidered? The BD-4 Zoning District is also intended to minimize impacts to nearby residential uses and moving the building closer to the street is a measure that can be taken to help fulfill this intent;
62. On Sheet 5 the shaded area appears to be brick pavers based on the legend. Is this correct?
63. All parking lot islands (interior and terminal) must be at least 5 feet wide, as measured from back of curb to back of curb throughout their depth. Please re-visit;
64. On Sheet 6, please show the landscaped area around the building diagram in a different scale so that it is more legible;
65. It looks like it will be very difficult to construct the dumpster enclosure without encroaching into the aquatic buffer. There needs to be more space between the two;
66. Please more clearly identify all proposed retaining walls in order to verify compliance with required setbacks;
67. Please label the "brick" pavers in the parking lot area as permeable pavers since they are actually constructed of concrete;
68. The bio-retention areas need more detail. Are there opportunities for a true bioswale in perhaps some larger parking lot islands? Are there opportunities for rainwater harvesting for this project? Such measures could be used as examples for others and help market this project as being on the cutting edge of innovative approaches to stormwater management;
69. No lighting plan was included with the submittal;
70. No tree preservation/removal plan was included with the submittal. If there are no trees affected by this project please specifically note this on the plans. Also, at a minimum, please show the canopy extent of the existing tree line to the south. This is needed to verify the limit of disturbance in relation to existing tree cover. If portions of tree drip lines are encroached upon as a result of this project certain protection/treatment measures may need to be taken and included as part of the site plan approval;
71. A landscape plan must be submitted to and approved by the Visual Resources Review Board prior to the issuance of a grading permit;

Engineering Division: (Contact Darryl Smith at 966-7057)

72. This site does not provide detention. Please provide verification that overall detention of Renaissance development provided "over-detention" to compensate for this additional runoff;
73. Runoff is routed to biofilters shown on the plans for treatment before being released offsite (a welcome addition). Staff observes that filtered runoff enters the perforated PVC and is routed to the main storm drain. Larger rainfall events will overtop the filter and enter the storm drain via the raised catch basins. Is length of dropped curb sufficient to allow

Mr. Knick Myers

2/27/13

Page 5

- runoff from large storm events to exit the parking lot without backing up? Please provide calculations and references showing that the area of filters is sufficient for the areas draining to them;
74. How does runoff from eastern parking lot (draining through brick pavers at southern side of parking lot) exit the subgrade under the parking lot? Is underdrain shown in Curb Inlet Detail (sheet C6) intended for this purpose? This underdrain should be shown in plan view. Is the area of permeable pavement sufficient to allow exfiltration into soil subgrade? Are on-site soil conditions present to allow this percolation? Please provide enough detail (calculations, reference materials, etc.) to verify;
 75. How will bio-filters and permeable pavers be maintained?
 76. Detail of gravel level spreader on sheet C6 should show minimum depth of lowered concrete curb to be 6 inches;
 77. Will gas be provided?
 78. Submit Drainage Fee of \$1285;
 79. Submit Erosion Control Letter of Credit for \$13,500; and
 80. Submit NOC.

Please call the designated staff person if you have any questions on the above items. Unless specified otherwise, please include all requested information on the plans. You may note that there are some duplicate comments. This is done so that if you have a question, you know that you can call either person regarding that particular issue. Also, a foundation survey will be required for the building within ten (10) working days of the footer inspection. An as-built survey of the site is required to verify the setbacks of the parking lot and all other improvements. Once approved, such as-built will need to be submitted in a pdf format. A certification on the lighting will also be required before the issuance of a Certificate of Occupancy.

Please note that due to the nature and extent of the comments, additional comments may be generated upon resubmission.

Sincerely,


Ruth Viergutz Hawk, AICP
Community Development Director



Darryl W. Smith, P.E.
Town Engineer

attachments - Grading Permit Checklist [mailed copy only]
Certificate of Occupancy Checklist [mailed copy only]

pc: Ed Bankcorp, Inc. (Fax # 675-3824)
GBS Engineering/Mark A. Bialik (e-mail)

MEETING DATE: April 18, 2013

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Ruth Viergutz Hawk, Community Development Director

SUBJECT: Discussion and public hearing on an amendment to the Farragut Zoning Ordinance, Chapter 4., Section XIII. Outdoor Site Lighting, A., 5., to add back the decorative wall light requirements

INTRODUCTION: This amendment is needed in order to add back the decorative wall light requirements which were inadvertently eliminated in the passing of Ordinance 12-20.

DISCUSSION: In January the Board approved Ordinance 12-20, which established wall mounted light heights and required glare shields on pole lights. Section 2. of Ordinance 12-20 read as follows:

Chapter 4. General Provisions and Exceptions, Section XIII. Outdoor Site Lighting, 5., is amended by deleting it in its entirety and substituting in lieu thereof the following:

The intent was only to delete the first paragraph in its entirety, not the entire subsection. At this time we are recommending to add back the second paragraph of A. 5. I have added one minor change, and that is to clarify that a standard 50 watt bulb is comparable to a 12 watt compact florescent bulb.

Attached please find a copy of Section XIII. Outdoor Site Lighting, A., prior to the adoption of Ordinance 12-20. I have highlighted in red the second paragraph that we are adding back at this time. Also attached please find a copy of Resolution PC-13-03 and Ordinance 13-15. Resolution PC-13-03 recommends approval of Ordinance 13-15.

RECOMMENDATION BY: Staff recommends approval of Resolution PC-13-03, which recommends approval of Ordinance 12-15 and the Zoning Ordinance text amendment to the Board of Mayor and Aldermen.

PROPOSED MOTION: Move to approve Resolution PC-13-03.

XIII. - Outdoor site lighting.

It is the intent of this section to establish outdoor lighting requirements that reduce the negative effects of lighting, but at the same time address the need for adequate lighting for safety and visibility concerns. The following requirements shall apply to all developments and/or facilities, excluding single-family and two-family dwellings and street lighting. In no case, however, shall any light shine or glare so as to create a traffic safety hazard on any adjacent properties, rights-of-way, access easements, or driveways.

A. *Performance standards and criteria.*

1. No lights shall shine or glare directly onto adjacent properties, right-of-ways, access easements, or driveways. For the purposes of this ordinance, glare shall be defined as any brightness within the field of vision of such a character as to cause annoyance, discomfort, interference with vision, or loss in visual performance and visibility.
2. The maximum number of footcandles at a property line that is adjacent to non-commercial or non-office zoned land shall be 0.5 footcandles. The maximum number of footcandles at a street right-of-way or a property line that is adjacent to commercial or office zoned land shall be 3.0 footcandles.
3. Light poles, including any supporting base, shall not exceed twenty-eight (28) feet in height. The height shall be measured from the ground to the top of the pole.

If an existing development is expanding, existing light poles are taller than twenty-eight (28) feet, and new light poles are to be added as part of the expansion to the project, the planning commission may approve a light pole taller than twenty-eight (28) feet so as to match the existing light poles if it can be shown that the taller light pole will not create any negative effects on any adjacent properties, right-of-ways, access easements, or driveways. In no case shall new light poles exceed the height of the existing light poles or forty (40) feet in height, whichever is less.

4. All pole lights shall be directed toward the ground. No portion of the bulb or the globe/glass/plastic surrounding the bulb shall protrude from the light box/housing. The shoebox style fixture shall be used unless it can be shown that a different style would be equivalent to or better than these requirements.
5. Unless specified elsewhere in this ordinance, all wall lights shall be directed toward the ground. No portion of the bulb or the globe/glass/plastic surrounding the

bulb shall protrude from the light box/housing. The wedge style fixture shall be used unless it can be shown that a different style would be equivalent to or better than these requirements.

Decorative wall mounted lights may be used in lieu of a wedge style or comparable fixture provided they are located at public entrance ways into the building, the globe/glass/plastic are frosted/milky/white acrylic, the bulbs are frosted or yellow, the bulbs do not protrude from the globe/glass/plastic, and the maximum total wattage shall be fifty (50) watts (standard bulb).

6. All ground-mounted lights, whether used to illuminate a building or a sign, shall be designed to minimize light that does not illuminate the target area. Blinders, or some other type of protectors, may be required to be placed on the lights so as to direct the beam away from adjacent properties, rights-of-way, access easements, or driveways.

7. Lights located under gasoline service station canopies, canopies for bank automatic teller machines, and other such similar canopies shall be recessed into the structure ceiling and shall use light shields so as to prevent glare. No portion of the bulb or the glass/plastic surrounding the bulb shall protrude from the structure ceiling unless it can be shown that a different style would be equivalent to or better than these requirements.

8. All electrical lines servicing all lights shall be underground.

RESOLUTION PC-13-03

FARRAGUT MUNICIPAL PLANNING COMMISSION

A RESOLUTION TO APPROVE AN AMENDMENT TO THE TEXT OF THE FARRAGUT ZONING ORDINANCE, ORDINANCE 86-16, AS AMENDED, PURSUANT TO AUTHORITY GRANTED BY SECTION 13-4-201, TENNESSEE CODE ANNOTATED, BY AMENDING CHAPTER 4., SECTION XIII. OUTDOOR SITE LIGHTING, A., 5., TO ADD BACK THE DECORATIVE WALL LIGHT REQUIREMENTS

WHEREAS, the Tennessee Code Annotated, Section 13-4-201 et seq, provides that the Municipal Planning Commission shall make and adopt a general plan for the physical development of the municipality; and

WHEREAS, the Farragut Municipal Planning Commission has adopted various elements of a zoning plan as an element of the general plan for physical development; and

WHEREAS, a public hearing was held on this request on April 18, 2013;

NOW, THEREFORE, BE IT RESOLVED that the Farragut Municipal Planning Commission hereby recommends approval to the Farragut Board of Mayor and Aldermen of an ordinance, amending Ordinance 86-16, of the Farragut Zoning Ordinance, by adding Ordinance 13-15.

ADOPTED this 18th day of April, 2013.

Rita Holladay, Chairman

Edwin K. Whiting, Secretary

ORDINANCE:	13-15
PREPARED BY:	Hawk
REQUESTED BY:	Staff
CERTIFIED BY FMPC:	April 18, 2013
PUBLIC HEARING:	_____
PUBLISHED IN:	_____
DATE:	_____
1ST READING:	_____
2ND READING:	_____
PUBLISHED IN:	_____
DATE:	_____

AN ORDINANCE TO AMEND THE TEXT OF THE ZONING ORDINANCE OF THE TOWN OF FARRAGUT, TENNESSEE, ORDINANCE 86-16, AS AMENDED, BY AMENDING CHAPTER 4., SECTION XIII. OUTDOOR SITE LIGHTING, A., 5., TO ADD BACK THE DECORATIVE WALL LIGHT REQUIREMENTS, AS AUTHORIZED PURSUANT TO SECTION 13-4-201, TENNESSEE CODE ANNOTATED.

BE IT ORDAINED by the Board of Mayor and Aldermen of the Town of Farragut, Tennessee, that the Farragut Zoning Ordinance, Ordinance 86-16, as amended, is hereby amended as follows:

SECTION 1.

Chapter 4. General Provisions and Exceptions, Section XIII. Outdoor Site Lighting, A., 5., is amended by adding the following paragraph:

Decorative wall mounted lights may be used in lieu of a wedge style or comparable fixture provided they are located at public entrance ways into the building, the globe/glass/plastic are frosted/milky/white acrylic, the bulbs are frosted or yellow, the bulbs do not protrude from the globe/glass/plastic, and the maximum total wattage shall be 50 watts (standard bulb) / 12 watts (compact florescent).

SECTION 2.

This ordinance shall take effect from and after its final passage and publication, the public welfare requiring it.

ORDINANCE 13-15

Page 2

Dr. Ralph McGill, Mayor

Allison Myers, Town Recorder

Certified to the Farragut Board of Mayor and Aldermen this ____ day of _____,
2013, with approval recommended.

Rita Holladay, Chairman

Edwin K. Whiting, Secretary

FARRAGUT MUNICIPAL PLANNING COMMISSION

**TOWN OF FARRAGUT
INTEROFFICE MEMORANDUM**

Date:	April 9, 2013	File Name:	
From:	G. Palmer Assistant Town Administrator	xc:	Ruth Hawk Mark Shipley David Smoak Applicant
To:	FMPC		
Subject:	Discussion Only Comprehensive Land Use Plan Future Land Use Map Amendment From “Open Space Cluster Residential” to “Mixed-Use”		

Introduction:

The applicant desires to rezone their property from single family residential (currently R-2) to a more marketable district with the intent of attracting a wider range of developers. The current Future Land Use category of the property is Open Space Cluster Residential. Uses other than single family cluster developments should not be approved with this FLU category in place. Thus, the petitioner is seeking to amend the FLU Map to provide a gateway for rezoning.

Since adopting our Comprehensive Plan, the process for a rezoning has become 2-fold. The petitioner must illustrate compliance with the Future Land Use map *or* successfully petition the FMPC for an amendment to that map and then petition the FMPC and Board for an amendment to the Zoning Map.

The petitioner desires to have a collaborative discussion with the FMPC about their property and this new process before they formally apply for any action. Thus, for the purposes of the April meeting this item will be a discussion item only. Depending on the outcome of this discussion the item may return for the May agenda for formal action.

Petitioner:	Kay and David Wellons
Subject Property:	820 Campbell Station Road (31.70 Acres)
Existing Zoning:	R-2, General Single Family Residential
Existing Land Use:	Single Family Residential / Agricultural
Future Land Use Designation:	Open Space Cluster Residential

Issue/Question:

Should the subject property be reclassified from Open Space Cluster Residential to Mixed Use or another suitable category?

Rules/Regulations:

The petitioner must illustrate compliance with the Future Land Use map **or** successfully petition the FMPC for an amendment to that map and then petition the FMPC and Board for an amendment to the Zoning Map.

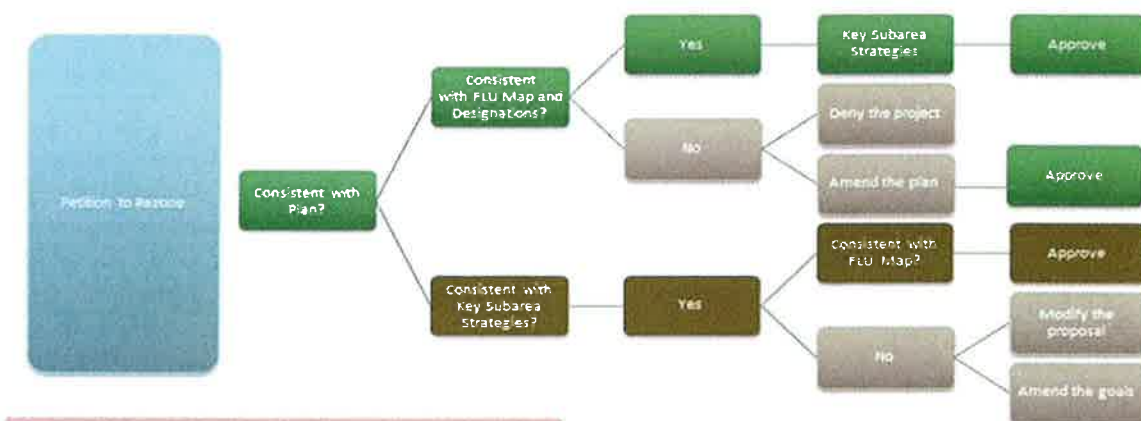
References:

- [Development Manual](#)
- [Zoning Map Amendment Application](#)
- [Application Fee Schedule \(Map Amendment: \\$300.00\)](#)
- [Zoning Ordinance](#)
- [Zoning Map](#) (large file... will take a couple minutes to download)

The subject property is located in a unique area. The proximity to the interstate and high intensity commercial uses to the south lend support for a commercial zone; however, the low intensity residentially-used property to the northwest doesn't. The size of the property may allow a mix of uses which would create a viable transition from high intensity to low intensity (review specifically Strategy 8 and Chapter 3 in the [Comprehensive Plan](#)). The topography of the site may pose challenges to development which would have to be resolved during the platting/site plan process.

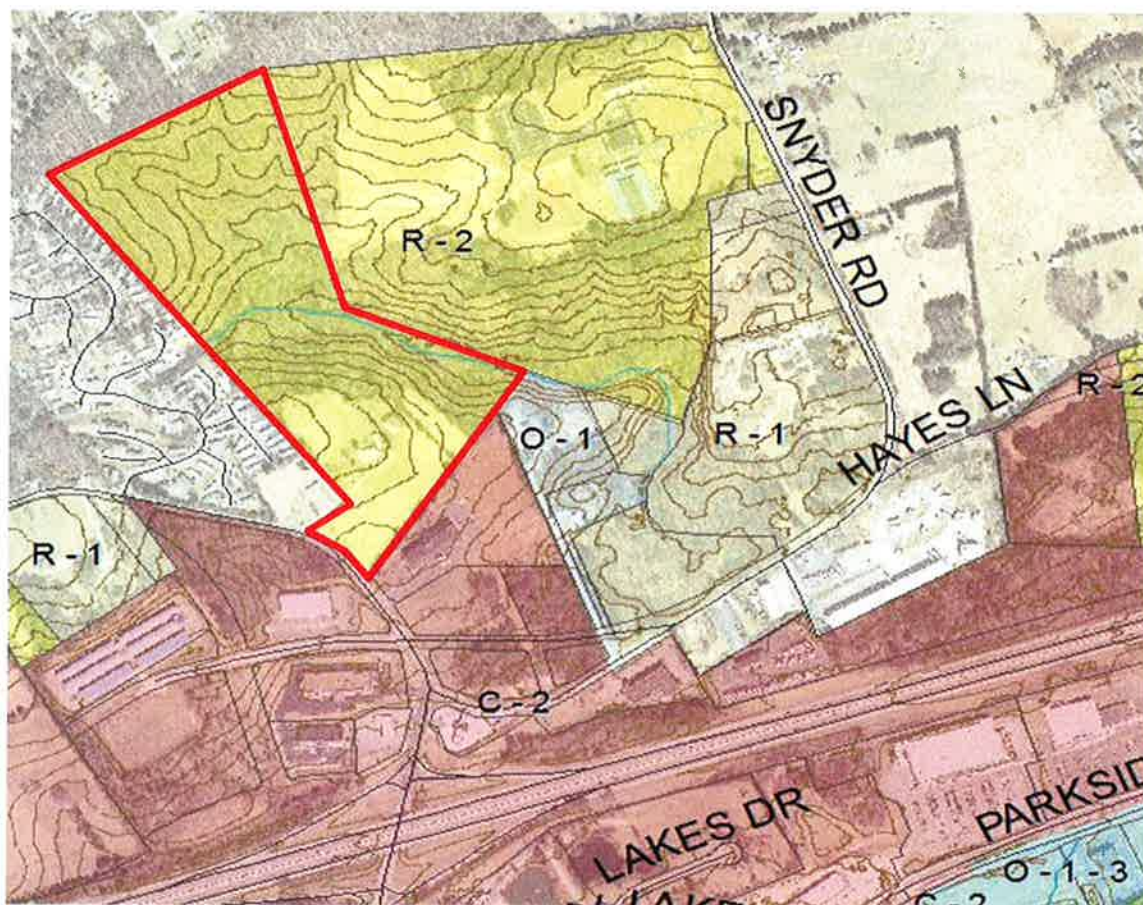
The Town recently completed the Comprehensive Land Use Plan update which categorizes the future use of the subject property as Open Space Cluster Residential (low density residential). Thus, in order to successfully rezone this property the Planning Commission must resolve to modify the [Future Land Use Map](#) and indicate this area as commercial, mixed-use, or some other category complimentary to the proposed zone.

Here is an abbreviated flow chart of the process:



Submittal Requirement:

- All petitions must demonstrate how they comply with the Comprehensive Plan
 - Staff evaluation and recommendation
 - Planning Commission finding



820 Campbell Station Road

Town of

Farragut



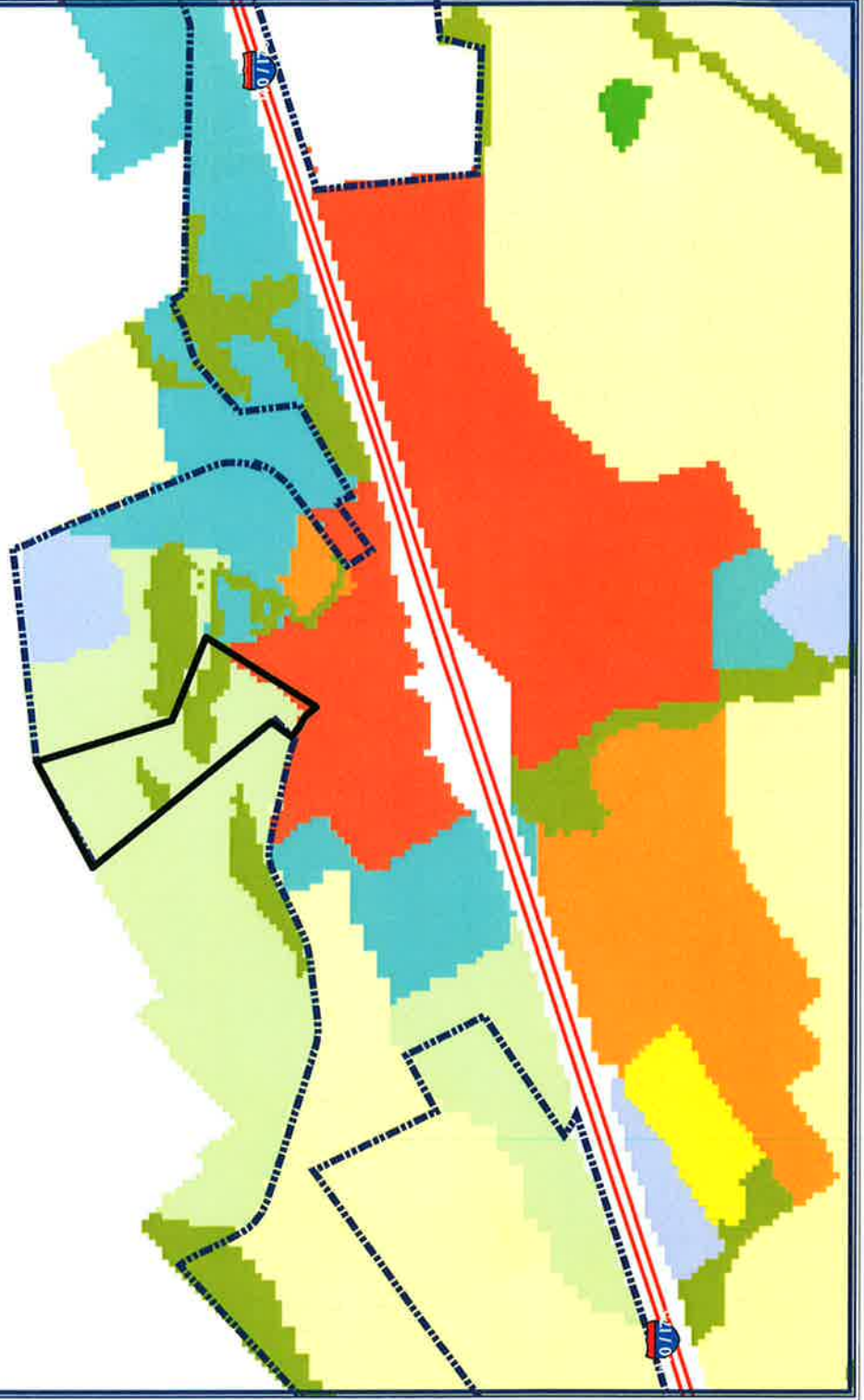
Land Use Plan

Legend

- Town Limit
- Light Blue Box: Civic/Institutional
- Teal Box: Office/Light Industrial
- Pink Box: Industrial
- Red Box: Commercial
- Orange Box: Regional Commercial
- Light Green Box: Open Space
- Dark Green Box: Parks and Rec
- Light Yellow Box: Open Space Cluster
- Yellow Box: Rural
- Light Yellow Box: Very Low Density Residential
- Yellow Box: Low Density Residential
- Orange Box: Med Density Residential
- Pink Box: Mixed Use
- Purple Box: Mixed Use Town Center
- Black Outline Box: 2012 Comprehensive Land Use Plan Amendment Request



1 inch = 1,325 feet



Path: L:\Farragut\MapDocuments\2013\Land Use Plan Amendment Request.mxd

Town of Farragut

Slope

1: 21.4%

2: 32.1%

3: 21.1%

4: 31%

5: 20.4%

6: 38.8%

7: 26.7%



1 in = 350 ft

Legend

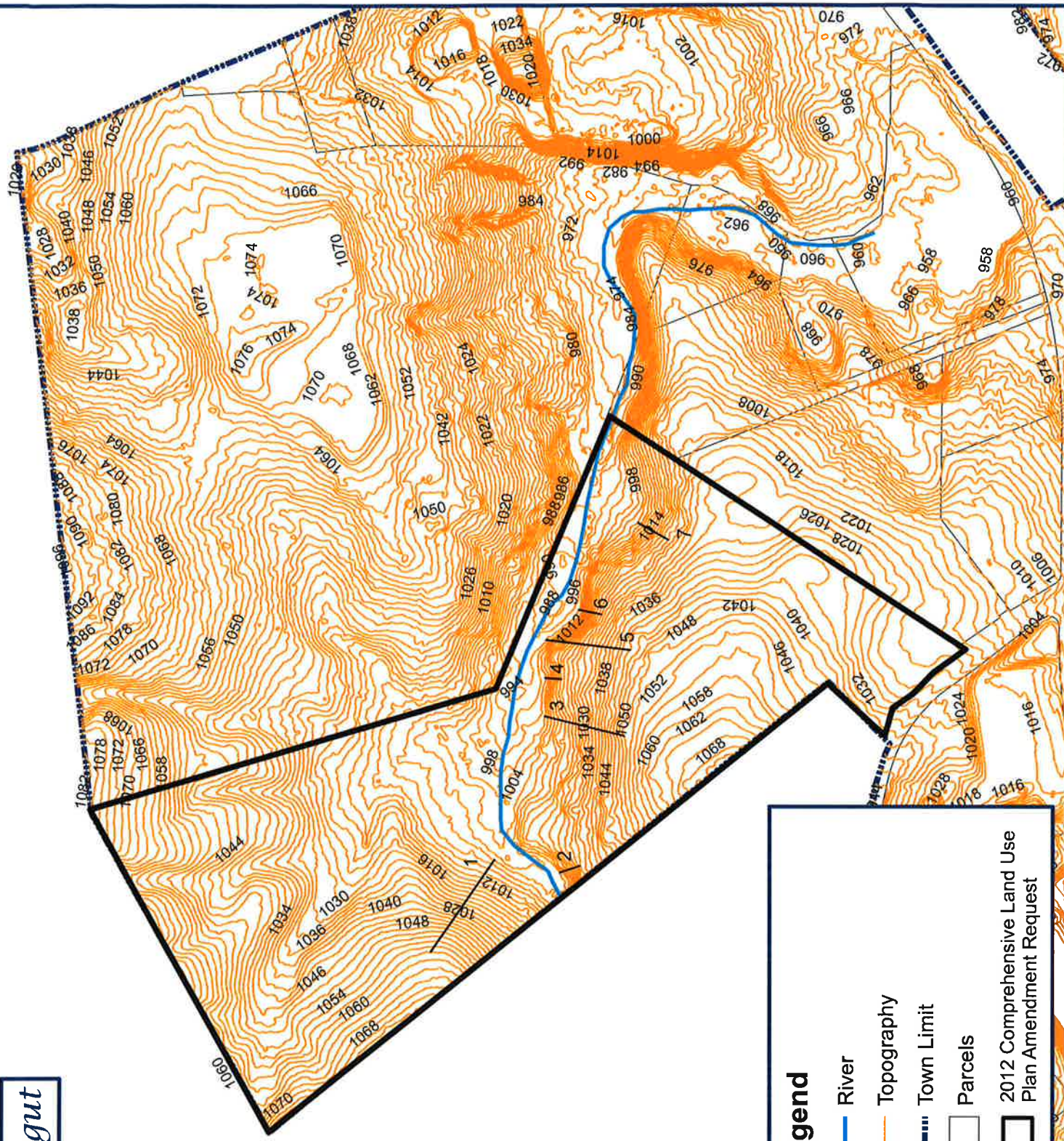
River

Topography

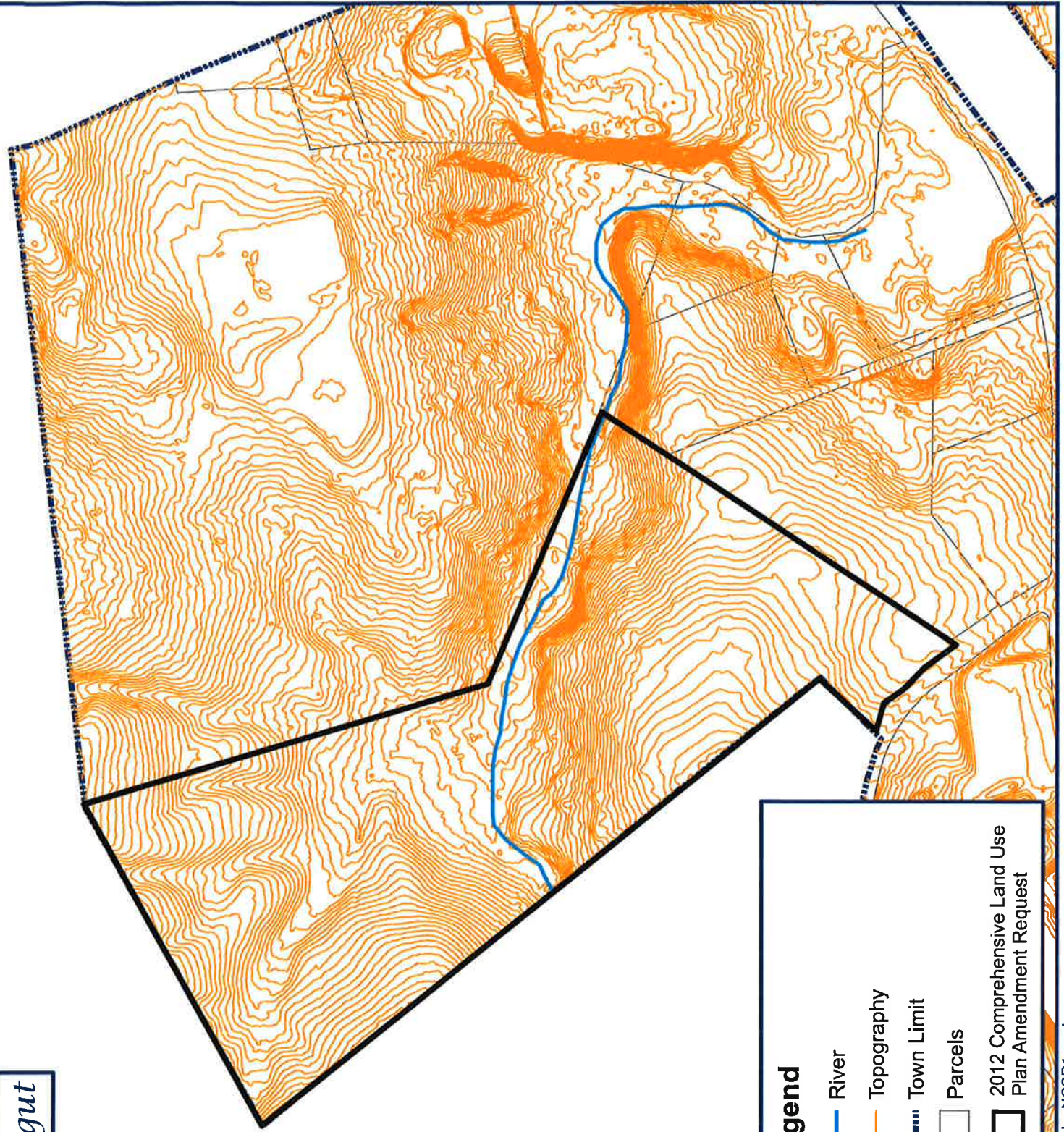
Town Limit

Parcels

2012 Comprehensive Land Use
Plan Amendment Request



Town of Farragut



Legend

- River
- Topography
- Town Limit
- Parcels
- 2012 Comprehensive Land Use Plan Amendment Request

Town of Farragut

Destiny Ridge Way

Newcomb Ln

N Campbell St

Legend

Town Limit

Parcels

2012 Comprehensive Land Use

Plan Amendment Request



1 in = 350 ft

**APPLICATION TO AMEND THE TOWN OF FARRAGUT FUTURE LAND USE PLAN
FARRAGUT MUNICIPAL PLANNING COMMISSION
TOWN OF FARRAGUT, TN**

The undersigned hereby makes application to amend the Town's Future Land Use Plan.

PETITIONER INFORMATION

Name: King Wellons
Full address: 697 Hickory Woods Dr Knoxville, Tennessee 37934
Contact information (phone and email): 865-300-6911

OWNER INFORMATION (if not petitioner)

Name(s): King Lee Wellons, Kater Lee Flores, Karla Lee Hodges
Full address(es): 697 Hickory Woods Dr Knoxville TN 37934, 2513 Alleding Dr Chattanooga TN 37401 / 423-505-0530
Contact information (phone and email): 1109 Tenn Road Dr Knoxville TN / 865-384-5798
King Wellons @ knoxschools.net, Mxmiflores @ comcast.net, Karla Hodges @ Knox Schools

PROPERTY/AREA INFORMATION:

Physical Address(es) of ALL Property to be considered for amendment:

830 Campbell Station Rd
Knoxville, Tennessee 37932
Current Future Land Use Designation(s): Open Space Cluster Residential
Proposed Future Land Use Designation(s): Mixed use
Zoning of Each Property to be Considered: R-2 Swols Family Res
Existing Use of Property to be Considered: Agricultural
Proposed Future Use of Property (if known): Mixed use

Explain why the current future land use designation of this property/area should be changed:

It should be changed because there has been a lot more
commercial activity in the area. Hotels have been built around
the property. One borders one of the property lines. Another hotel
is presently being built down from it. Across the road is a pro
ball shop. And one of the big reasons is presently in the Green belt
with low agricultural taxes and if the land designation could be
changed it would help the City of Farragut and citizens with more
tax money.

Describe the amendment's benefit to the Town:

Again if the land designation could be changed, it would help the City of Fayette with a much higher tax base

Describe the amendment's environmental impact on the surrounding properties:

The environmental impact would be low to medium because the land does not border anything but a hotel, a school and a mobile home park. The land is growing up and we are unable to maintain it. Instead of buildings there being useless and becoming a hazard to structures residing in deep thickets, it would be better to be usable to the citizens of Fayette and to the town's tax base.

Describe the amendment's impact on the Town's infrastructure if developed (ie. traffic impact):

I think the extra infrastructure will be minimum because of all the new roadwork that has already been done for the hotel.

Required Attachments:

- Map or sketch plan clearly illustrating the property/area to be considered

Recommended Attachments:

- Statements of support from surrounding property owners

Petitioner Signature:

Kay Wellons

Date: 3-14-13

Property Owner Signature:

Kay Wellons

Date: 3-14-13

Project #	Capital Investment Program-310 PROJECTS BY DEPARTMENT								
	Beginning Balance	5,122,711	5,204,211	5,133,211	2,563,211	392,211			
	Engineering Projects	FY 2014	FY 2015	FY 2016	FY 2017	FY 2018	Total 2014-2018		
ENG-05-002	Old Stage/Watt Rd. Extension	0	50,000	0	0	0	50,000		
ENG-03-001	Campbell Station Road-Parkside to Jamestown	200,000	0	0	0	0	200,000		
ENG-14-016	Watt Road/KP Intersection Improvements	35,000	100,000	0	0	0	135,000		
ENG-09-004	Everett Road ROW Acquisition	40,000	0	0	0	0	40,000		
ENG-12-009	Union Road Improvements	350,000	450,000	2,500,000	0	0	3,300,000		
	Everett Road Improvements Union Road to Smith Road	0	0	0	0	1,500,000	1,500,000		
ENG-13-010	Outdoor Classroom	135,000	0	0	0	0	135,000		
ENG-14-014	Kingston Pike/CSR Intersection Improvements	0	0	60,000	80,000	180,000	320,000		
ENG-14-015	CSR North of I-40 Road Widening	0	10,000		80,000	0	90,000		
ENG-13-012	Traffic Signal Enhancements	160,000	0	0	0	0	160,000		
ENG-08-003	KP Greenway, Willow Creek	462,500	140,000	0	0	0	602,500		
ENG-11-006	Pedestrian/Greenway Connectors	100,000	100,000	100,000	100,000	100,000	500,000		
Eng-15-016	Concord Road Lighting	0	0	500,000	0	0	500,000		
ENG-11-007	Land Acquisition	1,000,000	1,000,000	800,000	800,000	780,000	4,380,000		
	Engineering Total	2,482,500	1,850,000	3,960,000	1,060,000	2,560,000	11,912,500		

		FY 2014	FY 2015	FY 2016	FY2017	FY2018	Total
	<u>Parks</u>						
PALS-16-001	McFee Park Splash Pad Replacement	0	0	250,000	0	0	250,000
PALS-15-004	McFee Park Phase III Construction	0	0	250,000	3,000,000	0	3,250,000
PALS-15-002	MBLP Parking Lot Expansion	0	150,000	0	0	0	150,000
PALS-14-002	MBLP & Anchor Park Softball Fence Replacement	75,000	0	0	0	0	75,000
PALS-14-001	MBLP Playground Replacement		80,000	0	0	0	80,000
PALS-15-001	MBLP Sand Volleyball Court Expansion	0	0	175,000	0	0	175,000
PALS-17-001	Public Art: Bronze Statues at CSR Park	0	0	0	120,000	0	120,000
	Parks Total	75,000	230,000	675,000	3,120,000	0	4,100,000
							0
	CIP Expenditure Total	2,557,500	2,080,000	4,635,000	4,180,000	2,560,000	16,012,500

	<u>Funding Sources</u>	FY 2014	FY 2015	FY 2016	FY2017	FY2018	Total
	Splash Pad Reimbursement			56,000			56,000
	STP Funding	370,000					
	TDEC Reimbursement	250,000					250,000
	Outdoor Classroom Grant	10,000					10,000
	Interest Earnings	9,000	9,000	9,000	9,000	9,000	45,000
	Transfer from General Fund	2,000,000	2,000,000	2,000,000	2,000,000	2,000,000	10,000,000
	Everett Road Reimbursement					160,518	160,518
	CIP Reserves		71,000	2,570,000	2,171,000	390,482	5,202,482
	Funding Total	2,639,000	2,080,000	4,635,000	4,180,000	2,560,000	16,094,000
							0
	Total CIP Funding Sources	2,639,000	2,080,000	4,635,000	4,180,000	2,560,000	16,094,000
	Total CIP Expenditures	2,557,500	2,080,000	4,635,000	4,180,000	2,560,000	16,012,500
	Revenue over (under) expenditures	81,500	0	0	0	0	
	Available Ending Balance	5,204,211	5,133,211	2,563,211	392,211	1,729	
	Designated Fund Balance						
	Greenway Connectors	471,230	571,230	671,230	771,230	871,230	
	Land Acquisition	2,922,315	3,922,315	4,722,315	5,522,315	6,302,315	
	Total Designated	3,393,545	4,493,545	5,393,545	6,293,545	7,173,545	

FY2014

Capital Investment Plan



Campbell Station Road Widening (Closeout of Project)

FY 2014: \$200,000



80/20 Cost Share with TDOT as Lead Agency

Project Construction Complete Fall 2010

**Proposed Allocating an Additional \$200,000 for
FY 2014 to cover any *approved* overruns**

Watt Road Intersection at Kingston Pike

FY 2014: \$35,000

- Improvements to the Watt Road intersection at Kingston Pike, including lane reassignment and adding pedestrian facilities in order to properly accommodate the new Watt Road Extension/Old Stage Road improvements

- Complete Cost: \$135,000

- FY 2014: \$35,000 Design, ROW & Easements

- FY 2015: \$100,000 Construction



Everett Road ROW Acquisition (continuation)
FY 2014: \$40,000



Union Road Improvements

FY 2014: \$350,000 Planning and Design

FY 2015: \$450,000 Right of Way Acquisition, Easements, Environmental Clearances

FY 2016: \$2,500,000 Construction

Union Road Improvements
Fox Run to Saddlebridge



- Two 12' lanes with bike lanes, curb & gutter, sidewalk and/or walking trail (approximately 3,700 feet of improvements)
- Reconstruction of the existing bridge over Little Turkey Creek

Outdoor Classroom

FY 2014: \$135,000

Purpose of the project is for environmental education and outreach

Total Project Cost: \$235,000

FY 2013: \$100,000

Expended \$32,000 in lump sum fee for design services (Board Approved March 2013)

FY 2014 \$135,000



Kingston Pike

Campbell Station Road

Farragut Outdoor Classroom
and Water Quality Demonstration Area

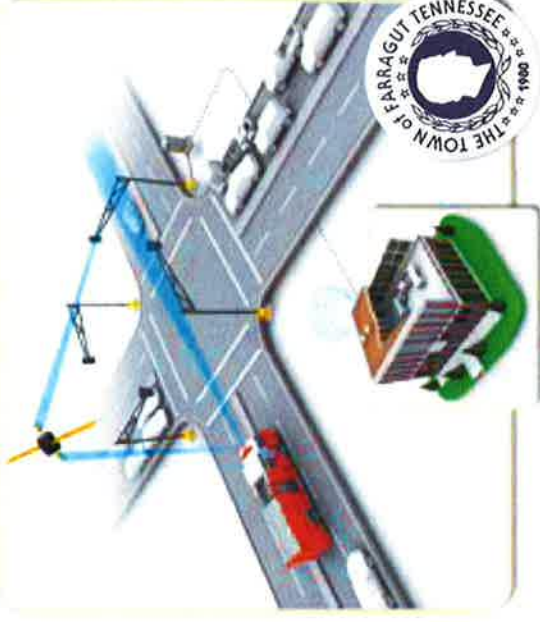
Traffic Signal Enhancements

Countdown Timers, Crosswalk Striping, and Emergency Preemption Equipment

Timers: Mandated by the 2009 MUTCD (Manual for Uniform Traffic Control Devices)

Pre-Emption Devices: Required by Contract with Rural Metro

FY 2014 \$160,000 (Carried Over from 2013)



Kingston Pike Greenway

Virtue Road along Willow Creek Golf Course Frontage

FY 2014: \$462,500

80/20 Cost Share with TDOT (Lead Agency)

- FY 2014: \$462,500 (20% = \$92,500)
 - ROW Acquisition and Design
- FY 2015: \$140,000
 - Construction



Pedestrian Connectors

Sidewalk & Greenway Connectors

FY 2014: \$100,000

This project will include:

- Complete pedestrian circulation analysis to include walking trails and boardwalks near the waterways
- Identification and prioritization of future connections through GIS
- Implementation schedule based upon available funding

FY 2014: \$100,000 for ROW acquisition, design, materials, and installation

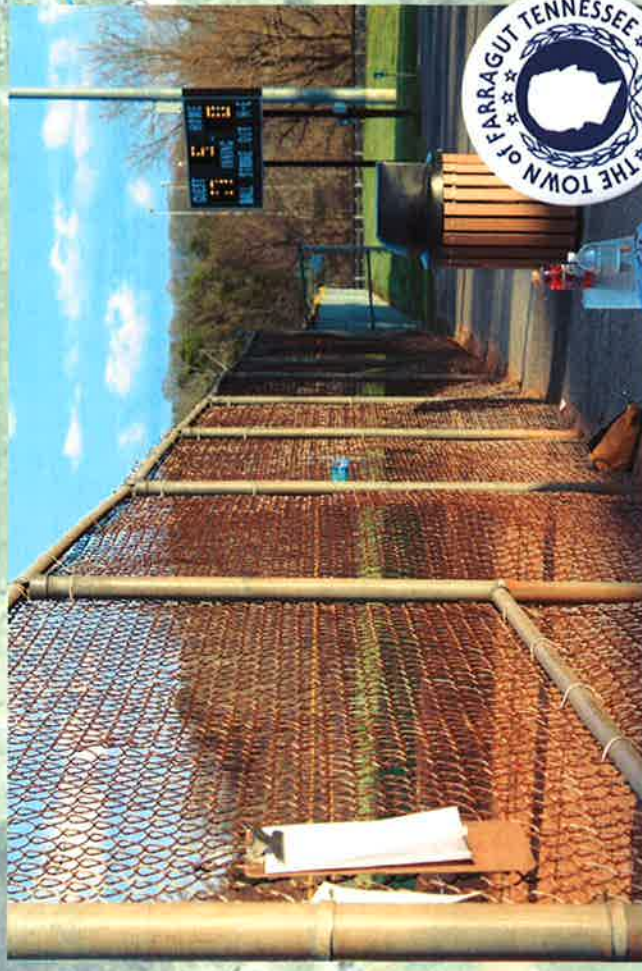


Land Acquisition

FY 2014 : \$1,000,000



Softball Fence Replacement Mayor Bob Leonard & Anchor Parks



FY 2014: \$75,000

- **Material and Installation**

FY 2014 CIP Snapshot

Total Engineering Projects for FY 2014:	\$2,482,500
Total Land Acquisition for FY 2014:	\$1,000,000
Total Park Projects for FY 2014:	\$ 75,000

Total Expenditures for FY 2014:	\$ 3,557,500
General Fund Transfer:	\$ 2,000,000



5 YR CIP: Engineering

Engineering Projects	FY 2014	FY 2015	FY 2016	FY2017	FY2018	Total 2014-2018
Old Stage/Watt Rd. Extension	0	50,000	0	0	0	50,000
Campbell Station Road-Parkside to Jamestown	200,000	0	0	0	0	200,000
Watt Road/KP Intersection Improvements	35,000	100,000	0	0	0	135,000
Everett Road ROW Acquisition	40,000	0	0	0	0	40,000
Union Road Improvements	350,000	450,000	2,500,000	0	0	3,300,000
Everett Road Improvements Union Road to Smith Road	0	0	0	0	1,500,000	1,500,000
Outdoor Classroom	135,000	0	0	0	0	135,000
Kingston Pike/CSR Intersection Improvements	0	0	60,000	80,000	180,000	320,000
CSR North of I-40 Road Widening	0	10,000		80,000	0	90,000
Traffic Signal Enhancements	160,000	0	0	0	0	160,000
KP Greenway, Willow Creek	370,000	140,000	0	0	0	602,500
Pedestrian/Greenway Connectors	100,000	100,000	100,000	100,000	100,000	500,000
Concord Road Lighting	0	0	500,000	0	0	500,000
Land Acquisition	1,000,000	1,000,000	800,000	800,000	780,000	4,380,000
Engineering Total	2,390,000	1,850,000	3,960,000	1,060,000	2,560,000	11,912,500



5 YR CIP Parks

<u>Parks</u>	FY 2014	FY 2015	FY 2016	FY2017	FY2018	Total
McFee Park Splash Pad Replacement	0	0	250,000	0	0	250,000
McFee Park Phase III Construction	0	0	250,000	3,000,000	0	3,250,000
MBLP Parking Lot Expansion	0	150,000	0	0	0	150,000
MBLP & Anchor Park Softball Fence Replacement	75,000	0	0	0	0	75,000
MBLP Playground Replacement		80,000	0	0	0	80,000
MBLP Sand Volleyball Court Expansion	0	0	175,000	0	0	175,000
Public Art: Bronze Statues at CSR Park	0	0	0	120,000	0	120,000
Parks Total	75,000	230,000	675,000	3,120,000	0	4,100,000
CIP Expenditure Total	2,557,500	2,080,000	4,635,000	4,180,000	2,560,000	16,012,500
						0



CIP Fund Balance

	FY 2014	FY 2015	FY 2016	FY2017	FY2018
Beginning Balance	5,122,711	5,204,211	5,133,211	2,563,211	392,211
Available Ending Balance	5,204,211	5,133,211	2,563,211	392,211	1,729



Projects not included in 5 YR CIP

Project	Cost
Everett Road, Phase II: Smith to SRF	\$2,000,000
Evans Road	\$2,000,000
South Hobbs/ KP	\$500,000
McFee Phase III(b)	\$3,000,000
McFee Phase IV	\$1,375,000
Russell House	\$2,000,000
Community Center	?



**Farragut Municipal Planning Commission
April 18, 2013
Staff Recommendations**

3. **Discussion and public hearing on a final plat for Clarity Pointe Court, Parcel 37.04, Tax Map 153, located on the west side of Concord Road approximately 1,200 feet north of Northshore Drive, Zoned C-1, 12.31 Acres (Tom Schaffler, Jr., Applicant)**

Staff recommends approval of the final plat subject to addressing the following items:

1. In the title block, label Sheet 1 of 2, and Sheet 2 of 2;
2. Plat note #9 - clarify "recreational uses" allowed. In this case, it would be walking trails;
3. Complete all remaining items on Staff's site punchlist; and
4. Meet all town requirements.

Proposed Motion: Move to approve site plan subject to staff's recommendation.

4. **Discussion and public hearing on a site plan for a swimming pool at The Cottages at Pryse Farms recreation area, 744 Pryse Farms Boulevard, Zoned R-1 & OSMR, .89 Acres (Michael Versen, Applicant)**

Staff recommends approval of the site plan subject to addressing the following items:

1. Correct pool gate note on sheet C-2 to reflect compliance with the 1999 Standard Swimming Pool Code;
2. Detail P1/Fixture SA - indicate that no glass/globe/plastic etc. may protrude below the fixture housing;
3. Pool fence detail - indicate height, color, and construction material;
4. The bollard light detail is difficult to see, but it appears to not comply;
5. Delete Sheet 4;
6. A landscape maintenance letter of credit for \$12,500 is needed prior to the issuance of any C.O. This is for all of the landscaping shown on the landscape plan; and
7. Meet all town requirements.

Proposed Motion: Move to approve site plan subject to staff's recommendation.

5. **Discussion and public hearing on a site plan for a retail building at the Costco Warehouse, 115 Lovell Road, Parcel 34, Tax Map 131, 1.75 Acres, Zoned C-1 (George Armour Ewart, Architect, Applicant)**

FMPC - Staff Recommendations

4/18/13

Page 2

Staff recommends approval of the site plan subject to addressing the following items:

1. Provide written approval from First Utility District of Knox County;
2. Provide the calculated fire flow, in accordance with appendix B & C of the International Fire Code. Pay particular attention to table B105.1 and C105.1. The designer may utilize the sprinkler reduction described within that section;
3. Please re-check the square footage of the proposed landscaped area on the south side of the building. It does not appear to add up to the 443 square feet listed;
4. The improved swale should be referenced as Detail 15/C2.1 rather than C2.2. Also, do you have any information on the "concrete cloth" that is proposed. This information needs to be included as a detail;
5. Replacement trees approved by the Town will be required for any trees that were planted as part of the Costco project that are adversely affected by this project;
6. The landscape plan will be reviewed by the VRRB on April 23. Separate comments (if there are any) will be generated on this plan;
7. Landscape stone flume detail should be called out as on sheet C2.1, not C2.2;
8. Please submit Drainage Fee of \$1100;
9. Please submit Erosion Control Letter of Credit for \$9600;
10. Please submit NOC; and
11. Meet all town requirements.

Proposed Motion: Move to approve site plan subject to staff's recommendation.

6. Discussion and public hearing on a request to rezone a portion of Parcel 14, Tax Map 151EA, 109 Way Station Trail, Old Stage Hills subdivision, from R-2 to B-1 (Stephen Prince, Applicant)

Resolution PC-13-04 recommends approval of Ordinance 13-16 and the rezoning

Approval of this rezoning is a precedent setting action.

The primary question before the planning commission is whether you feel it is appropriate to rezone a portion of a single-family parcel at the entrance to a neighborhood so that:

1. The commercial building can be constructed closer to the residential neighborhood;

FMPC - Staff Recommendations

4/18/13

Page 3

2. No buffer strip is required on the commercially zoned property next to the residential land; and
3. The commercially zoned property can be developed more intensely than the zoning district would otherwise allow.

Proposed Motion: All motions are to be made in the positive.

Move to approve Resolution PC-13-04.

An “aye” vote would be in favor of the rezoning request.

A “nay” vote would be against the rezoning request.

7. Discussion and public hearing on a site plan for a four-story financial center building, Parcel 63, Tax Map 151, located on the southwest corner of Kingston Pike and Way Station Trail in the Renaissance Development, 2.547 Acres, Zoned BD-4 (Myers Bros. Holding/Knick Myers, Applicant)

The following items remain outstanding:

1. The building is 82' from the existing R-2 zoning district (currently minimum 100' is required). The rezoning must be finalized prior to the issuance of a building permit;
2. The parking lot is 15' from the existing R-2 zoning district (currently minimum 35' buffer strip required). The rezoning must be finalized prior to the issuance of a building permit or prior to grading occurring within the required buffer strip;
3. Sheet C0 - HVAC screening note #3 - revise note stating the town requires HVAC units to be screened from adjacent properties and rights-of-way;
4. On the line-of-sight drawing, show on the plans where the units will be located and show the HVAC units' height in relation to the parapet wall height;
5. Verify compliance with the 75% face brick minimum requirement;
6. Sheet A-3.0 - the dumpster enclosure must use the same face brick as the building. Modify detail and notes accordingly;
7. Sheet A-3.0 - indicate the color of the dumpster doors;
8. Headwall 4 - remove the rip rap from the 10' perimeter parkway;
9. On at least one sheet clearly show the retaining wall locations;
10. Submit retaining wall details;
11. Include a detail of the railing for the top of the retaining walls;
12. Please be aware that the Town will need certification on the construction of the retaining walls. The designer must inspect the retaining walls as they are being constructed submit certifications accordingly - add a plan note;

FMPC - Staff Recommendations

4/18/13

Page 4

13. A request has been made to the Board of Zoning Appeals for a variance from the 10' minimum setback for the retaining wall from Way Station Trail right-of-way. The variance must be approved prior to the issuance of any permits;
14. A request has been made to the Board of Zoning Appeals for a variance from the requirement to construct a sidewalk on Way Station Trail to the south property line. The variance must be approved prior to the issuance of any permits;
15. Show sewer line relocation per FUD approved design;
16. Sheet C2 - Note 01 - is that applicable with pavers? Notes 02 & 03 are identical. Is that for the pad or for the site? Note 04 - pavement?
17. Sheet C7 - the headwall detail must show the actual extent of the rip rap at the headwall and/or include internal baffles for energy dissipation;
18. Sheet C8 - Since the parking lot will be permeable pavers, are Details 01/C7.0, 02/C7.0 & 03/C7.0 for this site?
19. In a plan note or with the detail, indicate how often the permeable pavers are to be vacuumed upon installation;
20. The utility sheet (water and sewer) must be signed by First Utility District;
21. A plat of correction reflecting the relocated sewer easement must be approved and recorded prior to the issuance of any Certificate of Occupancy;
22. Provide a sequence of events for the construction of the permeable pavers. This was discussed at the staff/developer meeting but needs to be outlined on the plans;
23. The tree preservation/removal plan must be prepared by a professional provided for in the *Tree Protection Ordinance*. The plan also needs to be revised per retaining wall approval;
24. If portions of tree drip lines are encroached upon as a result of this project please address if and what type of protection/treatment measures will need to be taken;
25. Use metal t-posts instead of wooden posts for the tree protection fencing. These are more durable and can be re-used;
26. Submit Drainage Fee of \$1285;
27. Submit Erosion Control Letter of Credit for \$13,500;
28. Submit NOC; and
29. Meet all town requirements.

Proposed Motion: Move to approve site plan subject to addressing items 1-29 above.

8. **Discussion and public hearing on an amendment to the Farragut Zoning Ordinance, Chapter 4., Section XIII. Outdoor Site Lighting, A., 5., to add back decorative wall light requirements**

FMPC - Staff Recommendations

4/18/13

Page 5

Staff recommends approval of Resolution PC-13-03, which recommends approval of Ordinance 12-15 and the Zoning Ordinance text amendment to the Board of Mayor and Aldermen.

Proposed Motion: Move to approve Resolution PC-13-03

9. **Discussion of a request to amend the *2012 Comprehensive Land Use Plan Update*, Parcel 109, Tax Map 130, located on the east side of N. Campbell Station Road, north of Holiday Inn Express, 30.5 Acres, from Open Space Cluster Residential to Medium Density Residential (Kim Wellons, Applicant)**

For discussion purposes only

10. **Discussion and public hearing on the FY 2014 Capital Investment Plan**
11. **Public hearing on proposed locations for new utilities**

None at this time

