A G E N D A
FARRAGUT MUNICIPAL PLANNING COMMISSION

June 20, 2013
7:00 p.m. Farragut Town Hall

For questions please call Ruth Viergutz Hawk at Farragut Town Hall, 966-7057

1. **Citizen Forum**

2. **Approval of minutes - May 16, 2013**

3. **Appointment of the FMPC Stormwater Advisory Committee representative**

4. **Discussion and public hearing on a final plat for the Villas At Anchor Park - Phase I, located on the north side of Turkey Creek Road across from Anchor Park, 10.95 Acres, 35 Units, Zoned R-4 (Benchmark Associates, Applicant)**

5. **Discussion and public hearing on a site plan for Panda Express, 11482 parkside Drive, located between JC Penney and Tennessee State Bank, 3.412 Acres, Zoned C-1 (Ray Flake, Applicant)**

6. **Discussion and public hearing on a site plan for the Town of Farragut Outdoor Classroom, Parcel 128, Tax Map 142, located on the southeast corner of N. Campbell Station Road and the Farragut High School entrance, 1.4 Acres, Zoned OS-P**

7. **Discussion and public hearing on a preliminary plat for Sheffield Subdivision - Unit 2, Parcel 52.03, Tax Map 152, 27.4 Acres, 56 Lots, Zoned R-1 & OSR, and variance requests for sag curve K value from 49 to 11.7 at intersection transition Road 'A' at Inglecrest (Saddlebrook Properties, LLC, Applicant)**

8. **Discussion and public hearing of a request for abandonment of right-of-way of old Snyder Road right-of-way at N. Campbell Station Road, located between Parcels 122 & 123.02, Tax Map 130, <u>Farragut Municipal Code</u>, Title 16, Chapter 3. Road Closing or Terminating Policy (Eddie Kherani/Marathon Gas Station, Applicant)**

9. **Discussion of a request to amend the *2012 Comprehensive Land Use Plan Update*, Parcel 109, Tax Map 130, located on the east side of N. Campbell Station Road, north of Holiday Inn Express, 30.5 Acres, from Open Space Cluster Residential to Mixed Use (Kay Wellons, Applicant)**

10. **Discussion and public hearing on an amendment to the <u>Farragut Subdivision Regulations</u>, Article III. General Requirements and Minimum Standards of Design, F. Suitability of the Land, 2. Land Subject to Flooding, e. (1), to update the Flood Insurance Rate Map (FIRM), Community Panel Numbers per the most recent flood study**

11. **Public hearing on proposed locations for new utilities**

MINUTES
FARRAGUT MUNICIPAL PLANNING COMMISSION

May 16, 2013

MEMBERS PRESENT
Rita Holladay, Chairman
Ed St. Clair, Vice-Chairman
Ed Whiting, Secretary
Ron Honken, Alderman
Annette Brun
Betty Dick
Melissa Mustard
Noah Myers

MEMBERS ABSENT
Ralph McGill, Mayor

Staff Representatives: Ruth Viergutz Hawk, Community Development Director
Mark Shipley, Assistant Community Development Director
Gary Palmer, Assistant Town Administrator

Chairman Holladay called the meeting to order at 7:00 p.m.

CITIZEN FORUM

Commissioner Melissa Mustard is stepping down from the Farragut Municipal Planning Commission (FMPC). Chairman Holladay thanked her for her service on the FMPC.

APPROVAL OF MINUTES

Commissioner Honken moved to approve the April 18, 2013, minutes as submitted. Commissioner St. Clair seconded the motion and the motion passed 7-0-1 with Commissioner Brun abstaining because she was absent.

AGENDA ITEMS

DISCUSSION AND PUBLIC HEARING ON THE ANNUAL REVIEW AND APPROVAL OF THE CONCEPT PLAN FOR BRIDGEMORE SUBDIVISION, LOCATED ON MCFEE ROAD BETWEEN ALLEN KIRBY ROAD AND THE ROUND-ABOUT, ZONED R-1 AND OSR

Staff recommended re-approval of the concept plan for Bridgemore subdivision.

Commissioner Myers moved to re-approve the concept plan. Commissioner Dick seconded the motion and the motion passed 8-0.

DISCUSSION AND PUBLIC HEARING ON A SITE PLAN FOR THORNTON PROFESSIONAL BUILDING, 10904 KINGSTON PIKE, LOCATED ON THE SOUTHWEST CORNER OF KINGSTON PIKE/THORNTON DRIVE, ZONED C-1, 1.26 ACRES (T.J. Development & Management, Applicant)
Staff recommended approval of the site plan subject to addressing the following items:

1. Undergrounding all utilities;
2. Show where the transformer will be located;
3. Prior to the issuance of any Certificate of Occupancy, a resubdivision plat must be approved and recorded;
5. Provide information on the ground cover (grass) that will be applied to the slopes that are 2.5:1 if the work is not completed in warm weather;
6. Sheets 9 and 10 are out of order (Sheet 10 was not labeled);
7. The staff did not find the 10 inch cedar identified on Sheet 14. Also, there is a thick line of young trees and undergrowth on the south end of the property that is not identified on Sheet 14. Please update Sheet 14 to reflect field conditions and address what is proposed for this area;
8. A solid wall will be needed for the HVAC screening enclosure on the east side of the enclosure facing Thornton Drive and the west side of the enclosure facing the Thornton Center property. The other ends can be open as shown;
9. Submit TDOT approvals of the deceleration lane on Kingston Pike, as well as the island at the corner of Kingston Pike/Thornton Drive;
10. Submit letter of credit for erosion control of $7500;
11. Submit Drainage Fee of $565;
12. Submit NOC; and
13. Meet all town requirements.

Commissioner St. Clair moved to approve the site plan subject to staff's recommendation. Commissioner Myers seconded the motion and the motion passed 8-0.

DISCUSSION OF A REQUEST FOR ABANDONMENT OF RIGHT-OF-WAY OF OLD SNYDER ROAD RIGHT-OF-WAY AT N. CAMPBELL STATION ROAD, LOCATED BETWEEN PARCELS 122 & 123.02, TAX MAP 130, FARRAGUT MUNICIPAL CODE, TITLE 16, CHAPTER 3. ROAD CLOSING OR TERMINATING POLICY (Eddie Kherani/Marathon Gas Station, Applicant)
For discussion purposes only

DISCUSSION AND PUBLIC HEARING ON AN AMENDMENT TO THE FARRAGUT ZONING ORDINANCE, CHAPTER 4, SECTION VIII. FARRAGUT MUNICIPAL FLOOD DAMAGE PREVENTION REGULATIONS, TO ADOPT THE LATEST FLOOD

STUDY OF TURKEY CREEK AND NORTH FORK TURKEY CREEK AND TO UPDATE REGULATIONS ACCORDINGLY

Staff presented Ordinance 13-18. Staff recommended approval of Resolution PC-13-05, which recommends approval of Ordinance 13-18 and the Zoning Ordinance text amendment to the Board of Mayor and Aldermen. A general discussion followed.

Commissioner Whiting moved to approve Resolution PC-13-05. Commissioner St. Clair seconded the motion and the motion passed 8-0.

DISCUSSION OF A REQUEST TO AMEND THE *2012 COMPREHENSIVE LAND USE PLAN UPDATE*, PARCEL 109, TAX MAP 130, LOCATED ON THE EAST SIDE OF N. CAMPBELL STATION ROAD, NORTH OF HOLIDAY INN EXPRESS, 30.5 ACRES, FROM OPEN SPACE CLUSTER RESIDENTIAL TO MIXED USE (Kay Wellons, Applicant)

For discussion purposes only

PUBLIC HEARING ON PROPOSED LOCATIONS FOR NEW UTILITIES

None at this time

ADJOURNMENT

The meeting adjourned at 8:35 p.m. Mark Shipley conducted a training session on Tree Topping.

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Edwin K. Whiting, Secretary

MEETING DATE: June 20, 2013

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Ruth Viergutz Hawk, Community Development Director

SUBJECT: Discussion and public hearing on a final plat for the Villas At Anchor Park – Phase 1, located on the north side of Turkey Creek Road across from Anchor Park, 10.95 Acres, 35 Units, Zoned R-4 (Benchmark Associates, Applicant)

INTRODUCTION: The Villas at Anchor Park is an attached single-family development and located on the north side of Turkey Creek Road across from Anchor Park. The development stretches from Turkey Creek Road to Kingsgate subdivision. The Turkey Creek Greenway runs along the front of this property and up the east property line. Boblink and Finch Roads stub into this development. There will be no roadway connections to these streets, but there will be greenways connections to these streets.

The concept plan for the overall development includes 99 units and was initially approved on 5/19/11 and then re-approved on 9/20/12. You may recall that the project approvals expired and the developer came back for re-approvals once the economy started picking up. The preliminary plat for phase 1 was also approved on 9/20/12.

DISCUSSION: Phase 1 of The Villas at Anchor Park includes 35 units, 2 open space lots, 2 detention ponds, 2 walking trails, an on-street parking area, and one single-family home. This existing single-family house is located on Lot 15 and was incorporated into the overall design.

When staff met with the applicant during the design process, we expressed concerns about a long, downhill straight street and the problems this will create in the future. Street designs can and do encourage speeding. Staff asked the applicant to look at design modifications to the street that would likely help reduce speeding on the new road. In the past staff has recommended short stretches of lane narrowing. This practice, however, has not been as effective as desired. As a result, the applicant requested a reduction in the roadway pavement width (26' to 22') and a reduction in some sag curves. These sag curves do not affect sight distance, but do affect the "dip" feeling and encourages traffic to slow down. The applicant also plans to plant street trees, which will further encourage slower driving speeds.

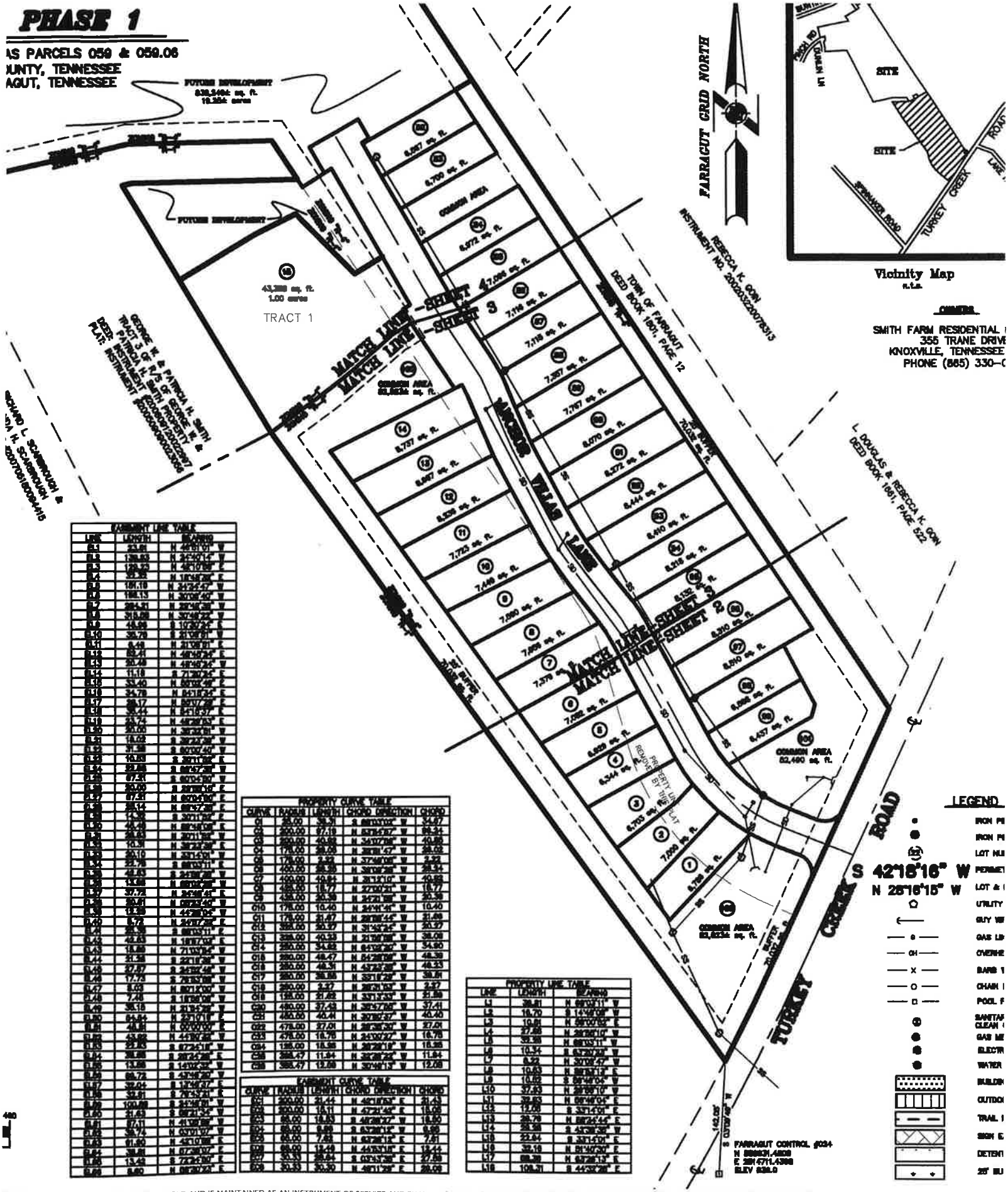
As requested by the staff and planning commission, the developer, Jay McBride, modified his design to save the specimen oak tree which is located toward the top of the hill. This tree is located in Phase 1 between Lots 83 & 84. If you have not done so, I recommend that you visit the site to see firsthand the narrower street, the "dips" in the roadway, and the large oak tree.

Attached please find a reduced copy of the final plat, an aerial photo of the general area, and a letter to the applicant identifying the necessary changes.

RECOMMENDATION BY: Staff will make a recommendation at the meeting.

PHASE 1

AS PARCELS 059 & 059.06
OUNTY, TENNESSEE
AGUT, TENNESSEE



EASEMENT LINE TABLE		
LINE	LENGTH	BEARING
[illegible]	[illegible]	N 46°51'01" W
[illegible]	[illegible]	N 24°40'14" W
[illegible]	[illegible]	N 48°10'58" E
[illegible]	[illegible]	N 18°56'26" E
[illegible]	181.18	N 24°24'47" W
[illegible]	188.13	N 30°06'40" W
[illegible]	[illegible]	N 39°46'38" W
[illegible]	315.08	N 30°46'22" W
[illegible]	46.98	S 10°39'24" E
[illegible]	36.79	S 21°08'51" W
[illegible]	8.49	N 21°08'51" E
[illegible]	82.41	N 48°46'24" E
[illegible]	20.49	N 48°46'24" W
[illegible]	11.18	S 71°30'24" E
[illegible]	33.40	N 68°02'48" E
[illegible]	34.78	N 84°16'24" E
[illegible]	38.17	N 86°57'28" E
[illegible]	36.44	N 84°19'37" E
[illegible]	23.74	N 48°28'53" E
[illegible]	20.00	N 38°32'51" W
[illegible]	18.02	S 38°27'38" W
[illegible]	31.58	S 60°00'40" W
[illegible]	10.61	S 30°11'08" E
[illegible]	33.88	S 66°47'38" E
[illegible]	67.31	S 60°04'50" W
[illegible]	20.00	S 30°08'10" E
[illegible]	67.31	N 60°04'50" E
[illegible]	38.14	N 66°47'38" E
[illegible]	13.32	S 30°11'08" E
[illegible]	46.48	N 66°48'08" E
[illegible]	38.42	N 30°11'08" W
[illegible]	10.31	N 38°23'38" E
[illegible]	30.10	N 33°14'01" W
[illegible]	22.76	S 66°03'11" E
[illegible]	44.83	S 24°08'38" W
[illegible]	13.68	N 66°03'08" W
[illegible]	37.72	N 24°08'48" E
[illegible]	30.41	N 66°03'40" W
[illegible]	13.38	N 44°38'04" W
[illegible]	5.72	N 24°07'38" E
[illegible]	38.38	S 66°03'11" E
[illegible]	42.63	N 18°57'02" E
[illegible]	18.88	N 71°33'34" W
[illegible]	21.38	S 22°18'38" W
[illegible]	27.87	S 24°02'46" W
[illegible]	17.73	S 28°52'08" W
[illegible]	8.03	N 80°13'00" W
[illegible]	7.46	S 18°56'00" W
[illegible]	38.18	N 21°35'38" W
[illegible]	84.84	N 23°10'18" E
[illegible]	48.81	N 00°00'00" E
[illegible]	43.88	N 44°08'38" W
[illegible]	23.83	S 67°24'18" W
[illegible]	38.88	S 38°24'38" E
[illegible]	13.88	S 14°06'38" W
[illegible]	68.72	S 43°48'38" W
[illegible]	32.04	S 12°46'27" E
[illegible]	32.81	S 76°13'21" E
[illegible]	100.88	S 24°46'01" W
[illegible]	21.83	S 66°21'34" W
[illegible]	67.11	N 41°06'08" W
[illegible]	38.74	N 03°01'07" W
[illegible]	61.80	N 43°10'08" E
[illegible]	38.88	N 67°28'07" E
[illegible]	13.42	S 77°24'30" E
[illegible]	8.60	N 66°30'23" E

PROPERTY CURVE TABLE				
CURVE	RADIUS	LENGTH	CHORD DIRECTION	CHORD
C1	35.00	38.31	S 66°03'00" W	34.47
C2	200.00	87.19	N 53°15'57" W	86.24
C3	200.00	40.82	N 34°07'38" W	40.80
C4	175.00	38.00	N 38°01'47" W	38.02
C5	175.00	2.32	N 37°46'00" W	2.32
C6	400.00	38.38	N 30°06'38" W	38.34
C7	400.00	40.83	N 36°13'10" W	40.83
C8	425.00	18.77	N 27°00'21" W	18.77
C9	425.00	36.38	N 34°21'38" W	36.36
C10	175.00	10.40	N 24°41'41" W	10.40
C11	175.00	21.47	N 28°08'44" W	21.46
C12	350.00	30.37	N 31°33'24" W	30.37
C13	350.00	38.33	N 21°00'38" W	38.08
C14	350.00	34.63	N 64°06'30" W	34.60
C15	350.00	48.47	N 54°08'06" W	48.38
C16	350.00	48.31	N 43°32'38" W	48.33
C17	350.00	38.88	N 33°19'38" W	38.81
C18	350.00	2.37	N 30°31'53" W	2.37
C19	175.00	21.88	N 33°13'33" W	21.86
C20	450.00	37.43	N 32°47'06" W	37.41
C21	450.00	40.41	N 30°08'37" W	40.40
C22	475.00	37.01	N 30°36'30" W	37.01
C23	475.00	18.78	N 24°00'37" W	18.78
C24	125.00	18.38	N 30°08'18" W	18.36
C25	350.47	11.84	N 32°08'22" W	11.84
C26	350.47	12.08	N 30°48'13" W	12.08

EASEMENT CURVE TABLE				
CURVE	RADIUS	LENGTH	CHORD DIRECTION	CHORD
[illegible]	300.00	21.44	N 45°07'53" E	21.43
[illegible]	300.00	18.11	N 47°21'45" E	18.08
[illegible]	65.00	18.83	S 46°38'27" W	18.80
[illegible]	65.00	8.88	S 63°38'13" W	8.88
[illegible]	65.00	7.81	N 67°38'13" E	7.81
[illegible]	65.00	13.49	N 44°53'15" E	13.44
[illegible]	30.53	38.84	S 03°43'38" E	37.88
[illegible]	30.53	30.30	N 46°11'28" E	29.08

PROPERTY LINE TABLE		
LINE	LENGTH	BEARING
L1	36.81	N 66°03'11" W
L2	16.70	S 14°48'08" W
L3	19.81	N 66°03'02" E
L4	27.88	N 38°06'10" W
L5	32.38	N 66°03'11" W
L6	10.34	S 67°20'38" W
L7	8.32	N 30°06'47" W
L8	10.63	N 66°03'13" E
L9	10.02	S 66°48'04" W
L10	37.83	N 38°06'10" W
L11	32.63	N 66°48'04" E
L12	12.08	S 33°14'01" E
L13	38.79	N 66°24'44" E
L14	38.38	S 43°38'38" W
L15	22.64	S 33°14'01" E
L16	32.16	N 81°40'30" E
L17	88.38	N 67°28'13" E
L18	108.71	S 44°32'38" E

ED, TRANSFERRED TO MAGNETIC MEDIA OR SOLD AND IS MAINTAINED AS AN INSTRUMENT OF SERVICE AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT

Valley Road
ssee 37932
) 692-4090
) 692-4091

FINAL PLAT of
VILLAS at ANCHOR PARK, PHASE 1
11715 & 11733 TURKEY CREEK ROAD
TOWN OF FARRAGUT
KNOX COUNTY, TENNESSEE

RECEIVED

FINAL PLAT

DATE:	07 JUNE 2013
SCALE:	1" = 100'
DRAWN BY:	LGA
FILE NAME:	13071-ANCHOR PARK

SHEET 1 C

SE 1

5 059 & 059.06
NESSEE
NESSEE

FUTURE DEVELOPMENT

FUTURE DEVELOPMENT

TRACT 1

COMMON AREA

COMMON AREA

COMMON AREA

COMMON AREA

COMMON AREA

FARRAGUT GRID NORTH

REBECCA K. GOIN
INSTRUMENT NO. 200208XX20078313

MINIMUM SETBACK LINE TOWN OF FARRAGUT
DEED BOOK 1861, PAGE 12

GEORGE W. & PATRICIA H. SMITH
TRACT 3 OF N 1/3 OF GEORGE W. & PATRICIA H. SMITH PROPERTY
DEED: INSTRUMENT 200008080002097
PLAT: INSTRUMENT 200008080002098

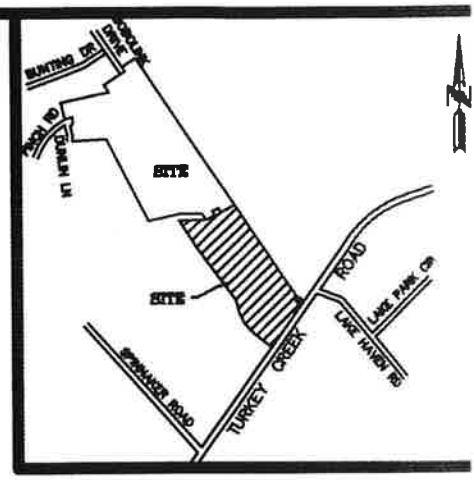
L. DOUGLAS & REBECCA K. GOIN
DEED BOOK 1861, PAGE 522

TURKEY CREEK ROAD

S 42°18'16" W
N 28°16'15" W

S 00°00'00" W
142.05'

FARRAGUT CONTROL #034
N 888631.4308
E 2614711.4388
ELEV 838.0



Vicinity Map
n.t.s.

OWNER

SMITH FARM RESIDENTIAL PARTNERS
355 TRANE DRIVE
KNOXVILLE, TENNESSEE 37919
PHONE (865) 330-0013

EASEMENT LINE TABLE		
LINE	LENGTH	BEARING
EL1	23.88	N 46°01'01" W
EL2	139.83	N 34°40'14" W
EL3	129.23	N 46°10'08" E
EL4	20.32	N 18°18'30" E
EL5	181.19	N 24°25'47" W
EL6	188.13	N 30°00'40" W
EL7	284.31	N 20°56'38" W
EL8	310.88	N 30°46'23" W
EL9	48.68	S 10°30'24" E
EL10	36.78	S 21°00'01" W
EL11	8.46	N 21°00'01" E
EL12	83.41	N 46°48'24" E
EL13	20.46	N 46°48'24" W
EL14	11.18	S 71°30'24" E
EL15	33.40	N 80°06'46" E
EL16	34.78	N 84°18'24" E
EL17	38.17	N 80°07'30" E
EL18	38.46	N 81°16'37" E
EL19	24.74	N 46°38'30" E
EL20	20.00	N 38°30'38" W
EL21	18.02	S 38°30'38" E
EL22	31.38	S 80°00'46" W
EL23	18.83	S 30°11'38" E
EL24	33.68	S 80°57'38" W
EL25	87.21	S 80°04'30" W
EL26	30.00	S 20°00'10" E
EL27	67.91	N 80°04'30" E
EL28	38.14	N 80°57'38" E
EL29	14.32	S 30°11'38" E
EL30	48.48	N 80°40'08" E
EL31	30.00	N 30°11'38" W
EL32	100.[illegible]	N 38°30'38" W
EL33	30.10	N 33°14'01" W
EL34	22.78	S 80°03'11" E
EL35	48.83	S 24°38'38" W
EL36	13.66	N 80°06'38" W
EL37	37.72	N 24°46'41" E
EL38	30.61	N 08°26'40" W
EL39	18.59	N 44°38'04" W
EL40	8.72	N 24°37'38" E
EL41	38.38	S 80°03'11" E
EL42	48.83	N 18°37'03" E
EL43	18.66	N 71°03'24" W
EL44	21.38	S 22°18'38" W
EL45	27.87	S 34°52'46" W
EL46	17.73	S 78°53'08" W
EL47	8.03	N 80°12'00" W
EL48	7.48	S 18°08'08" W
EL49	38.15	N 21°34'38" W
EL50	84.84	N 37°01'18" E
EL51	44.88	N 00°00'00" E
EL52	43.60	N 44°50'24" W
EL53	22.83	S 87°34'18" W
EL54	38.88	S 38°34'38" W
EL55	13.88	S 14°03'38" W
EL56	88.72	S 43°48'30" W
EL57	39.04	S 12°48'37" E
EL58	32.81	S 78°53'21" E
EL59	100.88	S 24°48'01" W
EL60	31.63	S 88°31'34" W
EL61	87.11	N 41°08'08" W
EL62	38.74	N 03°01'07" W
EL63	61.80	N 45°10'08" E
EL64	38.81	N 67°38'07" E
EL65	13.48	S 72°24'50" E
EL66	6.80	N 88°30'33" E

PROPERTY CURVE TABLE				
CURVE	RADIUS	LENGTH	CHORD DIRECTION	CHORD
C1	20.00	38.31	S 60°03'00" W	34.07
C2	200.00	67.19	N 53°04'37" W	66.34
C3	200.00	40.88	N 34°07'06" W	40.80
C4	170.00	30.00	N 38°01'47" W	30.02
C5	170.00	2.93	N 37°40'08" W	2.93
C6	400.00	38.93	N 38°00'06" W	38.94
C7	400.00	40.84	N 30°15'10" W	40.82
C8	400.00	18.77	N 27°00'24" W	18.77
C9	400.00	20.38	N 24°21'08" W	20.38
C10	170.00	10.40	N 24°44'46" W	10.40
C11	170.00	21.47	N 28°28'44" W	21.48
C12	200.00	20.97	N 31°46'24" W	20.97
C13	200.00	40.33	N 37°00'08" W	38.08
C14	200.00	34.88	N 44°00'30" W	34.80
C15	200.00	48.47	N 54°38'08" W	48.38
C16	200.00	48.31	N 43°23'30" W	48.23
C17	200.00	38.88	N 33°10'28" W	38.81
C18	200.00	2.37	N 28°31'18" W	2.37
C19	138.00	21.88	N 33°13'33" W	21.86
C20	480.00	37.48	N 38°57'08" W	37.41
C21	480.00	40.41	N 30°00'37" W	40.40
C22	478.00	37.01	N 38°38'30" W	37.01
C23	478.00	18.78	N 34°00'27" W	18.78
C24	138.00	18.38	N 38°38'18" W	18.38
C25	388.47	11.84	N 38°38'24" W	11.84
C26	388.47	12.08	N 30°48'13" W	12.08

EASEMENT CURVE TABLE				
CURVE	RADIUS	LENGTH	CHORD DIRECTION	CHORD
EC1	200.00	21.44	N 43°18'52" E	21.43
EC2	200.00	18.11	N 47°31'45" E	18.08
EC3	65.00	18.83	S 48°38'27" W	18.80
EC4	65.00	9.99	S 53°28'13" W	9.90
EC5	65.00	7.81	N 63°38'13" E	7.81
EC6	65.00	12.48	N 44°53'18" E	12.44
EC7	65.00	28.64	S 03°43'38" E	27.89
EC8	30.33	30.30	N 46°11'28" E	29.09

PROPERTY LINE TABLE		
LINE	LENGTH	BEARING
L1	38.81	N 88°03'11" W
L2	18.70	S 14°48'08" W
L3	10.81	N 88°00'52" E
L4	27.86	N 28°38'10" W
L5	32.38	N 88°03'11" W
L6	10.34	S 83°30'23" W
L7	8.23	N 30°06'47" W
L8	10.63	N 88°03'13" E
L9	10.82	S 88°48'04" W
L10	37.83	N 28°38'10" W
L11	32.83	N 88°48'04" E
L12	12.06	S 33°14'01" E
L13	38.76	N 88°34'44" E
L14	36.38	S 43°38'38" W
L15	31.84	S 33°14'01" E
L16	33.18	N 81°40'30" E
L17	88.38	N 83°38'13" E
L18	108.31	S 44°32'38" E

LEGEND

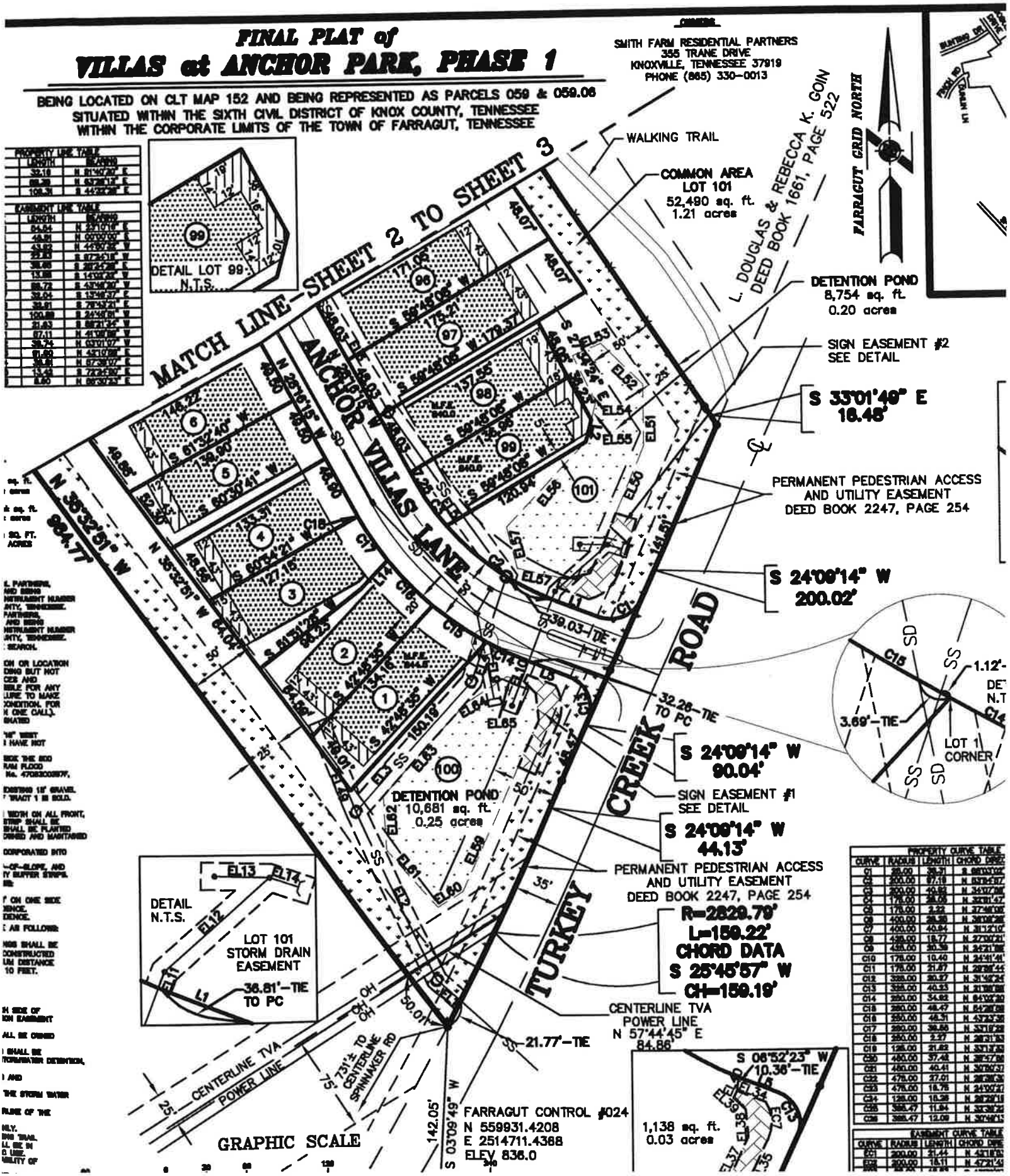
- IRON PIN FOUND
- IRON PIN SET
- LOT NUMBERS
- PERIMETER BOUNDARY CA
- LOT & EASEMENT CALLS
- UTILITY POLE
- GUY WIRE
- GAS LINE
- OVERHEAD UTILITY LINE
- BARB WIRE FENCE
- CHAIN LINK FENCE
- POOL FENCE
- SANITARTY SEWER CLEAN OUT
- GAS METER
- ELECTRIC METER
- WATER METER
- BUILDING ENVELOPE
- OUTDOOR PRIVATE AREA
- TRAIL EASEMENT
- SIGN EASEMENT
- DETENTION POND EASEM
- 25' BUFFER STRIP

TO MAGNETIC MEDIA OR SOLD AND IS MAINTAINED AS AN INSTRUMENT OF SERVICE AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT

FINAL PLAT of
VILLAS at ANCHOR PARK, PHASE 1

BEING LOCATED ON CLT MAP 152 AND BEING REPRESENTED AS PARCELS 059 & 059.06
SITUATED WITHIN THE SIXTH CIVIL DISTRICT OF KNOX COUNTY, TENNESSEE
WITHIN THE CORPORATE LIMITS OF THE TOWN OF FARRAGUT, TENNESSEE

OWNER
SMITH FARM RESIDENTIAL PARTNERS
355 TRANE DRIVE
KNOXVILLE, TENNESSEE 37919
PHONE (865) 330-0013

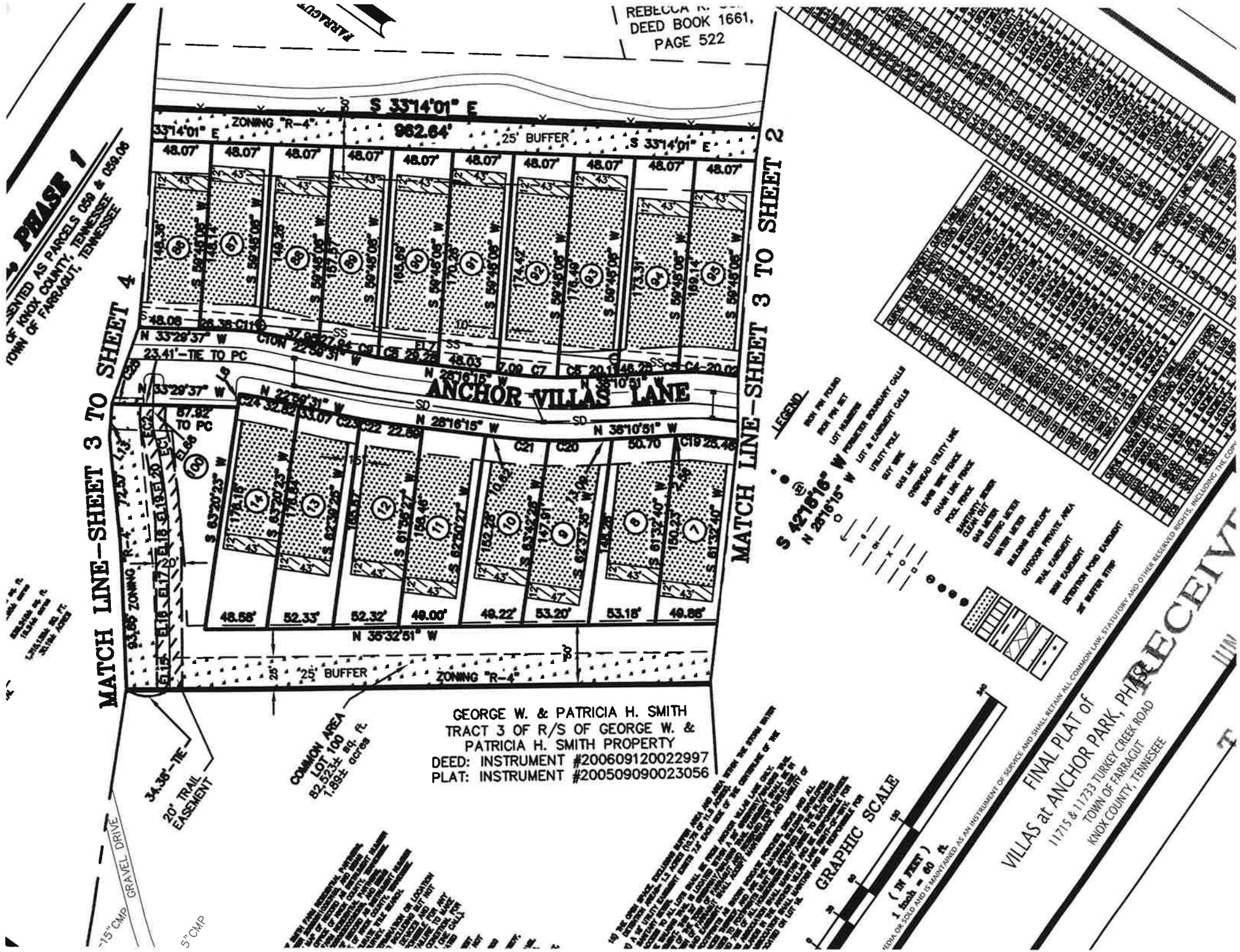


PROPERTY LINE TABLE	
LENGTH	BEARING
32.16	N 81°40'30" E
69.39	N 63°28'12" E
109.31	S 44°22'26" E

EASEMENT LINE TABLE	
LENGTH	BEARING
64.54	N 23°10'16" E
46.91	N 60°00'00" E
43.93	N 44°00'38" W
29.83	S 87°34'51" W
36.66	S 38°24'38" E
13.88	S 14°02'38" W
68.72	S 43°46'30" W
33.04	S 13°46'37" E
39.91	S 78°53'21" E
100.89	S 24°58'01" W
31.63	S 88°21'34" W
67.11	N 46°08'06" W
38.74	N 03°01'07" W
61.69	N 43°10'08" E
36.88	N 87°38'07" E
13.45	S 72°24'50" E
8.80	N 88°30'23" E

PROPERTY CURVE TABLE			
CURVE	RADIUS	LENGTH	CHORD DIRECT
C1	55.00	36.71	S 68°03'02"
C2	200.00	97.19	N 63°54'07"
C3	200.00	40.93	N 34°07'08"
C4	175.00	38.05	N 33°01'47"
C5	175.00	2.32	N 37°46'08"
C6	400.00	38.38	N 38°06'38"
C7	400.00	40.84	N 31°12'10"
C8	425.00	18.77	N 27°00'21"
C9	425.00	30.39	N 24°21'18"
C10	175.00	10.40	N 24°41'41"
C11	175.00	21.87	N 28°06'44"
C12	325.00	20.37	N 31°40'24"
C13	325.00	40.33	N 31°38'08"
C14	350.00	34.82	N 64°02'30"
C15	350.00	48.47	N 64°28'08"
C16	350.00	48.31	N 43°24'38"
C17	350.00	36.86	N 33°16'28"
C18	350.00	2.37	N 28°31'53"
C19	125.00	21.62	N 33°13'30"
C20	450.00	37.48	N 38°47'50"
C21	450.00	40.41	N 30°50'57"
C22	475.00	27.01	N 28°38'36"
C23	475.00	18.78	N 24°00'21"
C24	125.00	18.38	N 28°28'18"
C25	388.47	11.84	N 33°38'26"
C26	388.47	12.08	N 30°46'13"

EASEMENT CURVE TABLE			
CURVE	RADIUS	LENGTH	CHORD DIRE
EC1	300.00	21.44	N 43°18'31"
EC2	300.00	18.11	N 47°21'45"


REBECCA K. SMITH
DEED BOOK 1661,
PAGE 522
S 33°14'01" E
962.64'
ZONING "R-4"
25' BUFFER
48.07'
MATCH LINE-SHEET 3 TO SHEET 4
MATCH LINE-SHEET 3 TO SHEET 2
ANCHOR VILLAS LANE
N 33°29'37" W
23.41'-TIE TO PC
N 28°16'15" W
N 36°10'51" W
N 35°32'51" W
S 42°15'16" W
N 28°16'15" W
48.58'
52.33'
52.32'
49.00'
49.22'
53.20'
53.18'
49.88'
34.38'-TIE
20' TRAIL EASEMENT
COMMON AREA
LOT 100
82,523± sq. ft.
1.89± acres
GEORGE W. & PATRICIA H. SMITH
TRACT 3 OF R/S OF GEORGE W. &
PATRICIA H. SMITH PROPERTY
DEED: INSTRUMENT #200609120022997
PLAT: INSTRUMENT #200509090023056
LEGEND
GRAPHIC SCALE
(IN FEET)
1 inch = 60 ft.
FINAL PLAT of
VILLAS at ANCHOR PARK, PHASE 1
11715 & 11733 TURKEY CREEK ROAD
TOWN OF FARRAGUT
KNOX COUNTY, TENNESSEE
RECEIVED
PHASE 1
SENTED AS PARCELS 059 & 059.06
OF KNOX COUNTY, TENNESSEE
TOWN OF FARRAGUT, TENNESSEE
GRAVEL DRIVE

FINAL PLAT of
VILLAS at ANCHOR PARK, PHASE 1

BEING LOCATED ON CLT MAP 152 AND BEING REPRESENTED AS PARCELS 059 & 059.06
SITUATED WITHIN THE SIXTH CIVIL DISTRICT OF KNOX COUNTY, TENNESSEE
WITHIN THE CORPORATE LIMITS OF THE TOWN OF FARRAGUT, TENNESSEE

GRAPHIC SCALE

0 30 60 120 240

(IN FEET)
1 inch = 60 ft.

FUTURE DEVELOPMENT
814,357± sq. ft.
18.70± acres

S 77°31'11" W
250.75'

ZONING "R-4"
ZONING "R-1"

S 88°42'38" W
182.95'

N 77°31'11" E
12.60'

N 88°42'38" E
209.23'

N 33°14'01" W
58.82'

N 30°57'53" W
139.61'

N 59°02'07" E
111.14'

N 30°57'53" W
225.15'

N 60°04'50" E
21.00'

23.41'-TIE

6.71'-TIE

114.54'-TIE

S 33°14'01" E
48.08'

N 66°00'40" E
138.42'

S 66°00'40" W
138.20'

S 66°00'40" W
140.95'

S 59°48'06" W
143.67'

S 59°48'06" W
146.85'

S 59°48'06" W
48.07'

S 29°35'10" E
129.42'

S 29°35'10" E
133.97'

N 45°22'47" E
L16

N 45°22'47" E
L18

N 45°02'19" E
L16

L3
1.63
L10
L11
L12
L17
L18
L7
C26
L15
L16
7.04

82
83
84
85
15

ANCHOR VILLAS LANE

20' GREENWAY/WALKING TRAIL EASEMENT

TOWN OF FARRAGUT
DEED BOOK 1801, PAGE 12

SLOPE EASEMENT
INST. #200805140085669

FUTURE DEVELOPMENT

BRICK WALL

POOL

CONCRETE PATIO

25' BUFFER

2-STORY VINYL SIDING HOUSE WITH BRICK BASEMENT

HVAC

PORCH

HVAC PAD

EM

59.3'

2-STORY BRICK HOUSE W/ BASEMENT

SCREENED PORCH

TRANSFORMER

UTILITY PEDESTAL

GARAGE

CARPORTS

OH

BASKETBALL FIELD

POOL

ZONING "R-1"

N 45°02'19" E

L16 N 45°22'47" E

MATCH LINE-SHEET 3 TO SHEET 4

RICHARD L. SCARBROUGH & WANDA H. SCARBROUGH
INSTRUMENT #200705180094415

AREA BEFORE:			AREA AFTER:		
TRACT 1	1,097,339± sq. ft. 25.19± acres		LOTS 1-15, 83-101	478,690± sq. ft. 10.99± acres	
TRACT 2	217,800± sq. ft. 5.00± acres		REMAINING TRACT 1	836,446± sq. ft. 19.21± acres	
TOTAL	1,315,139± SQ. FT. 30.19± ACRES		TOTAL	1,315,139± SQ. FT. 30.19± ACRES	

EASEMENT LINE TABLE		
LINE	LENGTH	BEARING
L80	95.84	N 33°10'18" E
L81	46.01	N 00°00'00" E
L82	43.93	N 44°57'58" W
L83	22.83	S 67°24'01" W
L84	38.65	S 38°24'38" E
L85	13.68	S 14°02'36" W
L86	86.72	S 43°48'30" W
L87	39.04	S 13°16'37" E
L88	32.61	S 78°15'31" E
L89	100.89	S 24°46'01" W
L90	21.63	S 68°21'24" W
L91	57.11	N 41°00'08" W
L92	39.74	N 63°01'07" W
L93	61.90	N 46°10'08" E
L94	36.61	N 87°38'07" E
L95	13.42	S 72°34'50" E

EASEMENT LINE TABLE		
LINE	LENGTH	BEARING
EL1	33.01	N 46°01'01" W
EL2	138.63	N 31°40'14" W
EL3	139.23	N 43°10'08" E
EL4	38.82	N 18°46'36" E
EL5	151.18	N 34°34'47" W
EL6	198.13	N 30°08'40" W
EL7	384.31	N 28°43'38" W

Vicinity Map
n.t.s.

SITE
SITE
TURKEY CREEK ROAD
FRANKLIN LN
PINOCHLE RD
BUNTING DR

NOTES

1) SUBJECT PARCELS ARE AS FOLLOWS:
PARCEL 059.06 – LIES IN THE NAME OF SMITH FARM [illegible] AND IS OF RECORD AS INSTRUMENT NUMBER [illegible] REPRESENTED AS TRACT 3, AS SHOWN BY MAP OF RECORD [illegible], ALL OF THE REGISTER'S OFFICE OF [illegible]
PARCEL 059 – LIES IN THE NAME OF SMITH FARM [illegible] AND IS OF RECORD AS INSTRUMENT NUMBER [illegible] REPRESENTED AS TRACT 1, AS SHOWN BY MAP OF RECORD [illegible], ALL OF THE REGISTER'S OFFICE OF [illegible]
2) PROPERTY IS SUBJECT TO ANY FINDINGS OF AN ACCURA[illegible] NO TITLE WORK FURNISHED TO SURVEYOR PRIOR TO SU[illegible]
3) THE SURVEYOR IS NOT RESPONSIBLE FOR ANY DET[illegible] OF ANY UNDERGROUND CONDITIONS NOT VISIBLE AN[illegible] LIMITED TO, SOILS, GEOLOGICAL CONDITIONS, PHYSI[illegible] PIPELINES OR BURIED CABLES AND SHALL NOT BE [illegible] LIABILITY THAT MAY ARISE OUT OF THE MAKING OF [illegible] SUCH DETERMINATION OR LOCATION OF ANY SUBS[illegible] UNDERGROUND UTILITY LOCATION CALL 1-800-[illegible]
4) IRON PIN CORNER MARKERS AT ALL LOT CORNERS, UN[illegible] OTHERWISE.
5) FARRAGUT GRID NORTH BASED ON A BEARING OF [illegible] BETWEEN CONTROL STATIONS No. 0628 AND No. 624. [illegible] REDUCED TO GRID DISTANCES.
6) SUBJECT PROPERTY IS LOCATED IN FLOOD ZONE "X", [illegible] YEAR FLOOD ZONE, PER THE NATIONAL FLOOD INSURA[illegible] INSURANCE RATE MAP COMMUNITY PANELS No. 47[illegible] EFFECTIVE DATE MAY 08, 2007.
7) LOT 15, TRACT 1, HAS PERMANENT ACCESS EASEMENT [illegible] DRIVEWAY FROM TURKEY CREEK ROAD. EASEMENT [illegible]
8) BUFFER STRIPS:
A. THERE SHALL BE A BUFFER STRIP A MINIMUM OF [illegible] SIDE, AND REAR PERIPHERAL PROPERTY LINES. THE [illegible]

Path: L:\Farragut\MapDocuments\2013\2013 Villas at Anchor Park.mxd

Dr. Ralph McGill, *Mayor*
Mary Dorothy LaMarche, *Vice-Mayor*
David Smoak, *Town Administrator*
Allison M. Myers, *Town Recorder*

Jeff Elliott, *Alderman*
Ron Honken, *Alderman*
Robert N. Markli, *Alderman*

May 30, 2013

Mr. Benny Moorman
Benchmark Associates
10308 Hardin Valley Road
Knoxville, TN 37932
bmoorman@benchmark-assoc.com

SUBJECT: Staff comments on the final plat for The Villas at Anchor Park - Phase 1, Turkey Creek Road

Dear Benny,

The Town staff has reviewed the above referenced final plat for compliance with the Town's regulations. Please address the following items and submit four (4) copies of the revised plat and one 8 ½" x 11" reduced copy to the Farragut Town Hall by **Monday, June 10, at 9:00 a.m.** If plans are not resubmitted by the deadline or the items are not adequately addressed, this item will not be placed on the planning commission agenda. Also, upon resubmittal please include a letter which addresses these comments and that indicates where the information can be found on the plans.

Please remember this item will be discussed at the Staff/Developer Meeting at the Farragut Town Hall on Tuesday, June 4, from 9:00 - 9:30 a.m. The purpose of this meeting is to discuss questions you may have on staff comments. Modifications to the plans are not due until Monday, June 10.

Planning Division: (Contact Ruth Viergutz Hawk at 966-7057)

1. In the title blocks (3), indicate this is a Final Plat (vs. subdivision plat);
2. The R-1/R-4 zoning line does not extend onto the Smith property. Please remove;
3. In the area tallies, Area After, include Lot 82;
4. In the legends, ensure that the patterns used on the plat actually appear in the legend boxes;
5. Sheets 2 - 4 are quite cluttered. Delete unnecessary information. For example, in the right-of-way, only show the centerline, the dimensions, and the street name. Delete the M.B.S. line, the 18" CMP on the Town owned property at the trail, etc;
6. Indicate the distances from the periphery property line to the individual lots;
7. On the west side of Anchor Villas Lane, add the reference to the permanent pedestrian access and utility easement;

8. Add distance and bearing information for the overhead powerline easement;
9. The 25' centerline is marked on the powerline easement, but the easement does not appear to extend 25' to the south;
10. What are the lines that run through the detention ponds?
11. What is the line that bisects Lots 1-6 on Sheet 2? If this is the old property line, please delete and only show on Sheet 1. Define the line used in the legend;
12. Indicate dimensions/distances of the platted building envelopes [like what has been done with the outdoor areas];
13. Add a plat note which reads: A 15' utility easement exists 7.5' each side of the centerline of the sanitary sewer;
14. Add a plat note which reads: Access to all lots shall be from Anchor Villas Lane only;
15. Add a plat note which reads: The walking trail is located within a twenty (20) foot greenway/walking trail easement. This twenty (20) foot greenway/walking trail easement shall be in favor of the Town of Farragut and Reserved for public use. The Town of Farragut shall accept maintenance and liability of use of said easement;
16. Please ensure that the walking trail, as constructed, is centered on the 20 foot easement;
17. Add a plat note which reads: Building footprints as shown indicate porches, decks and all appurtenances thereof, and are the maximum building envelopes. Future changes to footprints must be approved by the planning commission and 75% of the homeowners must agree to such changes;
18. Plat note #3 - show all referenced easements;
19. Plat note #7 reference Tract 1. On Sheet 1, label the referenced Tract 1;
20. Change plat note #11 to read as follows: A five (5) foot utility, drainage, and construction easement on each side of interior lot lines, a ten (10) foot utility, drainage, and construction easement on inside of road rights-of-way and exterior lot lines;
21. Change plat note #12 to read as follows: Lots 100 and 101 are common area/open space lots shall be owned and maintained by the homeowners association;
22. Add a plat note which reads: The homeowners association shall maintain and be responsible for the landscape islands in the Anchor Villas Lane right-of-way;
23. Add a plat note which reads: The homeowners association shall maintain and be responsible for the buffer strip located on Lot 15;
24. Add an easement on Lot 15 for the buffer strip. Such easement should be in favor of the homeowners association;
25. Change plat note #13 to read as follows: Lots 100 and 101 are common area/open space lots and shall be used in the following ways: open space, buffer strip, stormwater detention, subdivision entrance sign, and walking trails;
26. Combine plat notes #15 and #16 to read as follows: The open space, excluding buffer area and area within the storm water detention areas = 1.2 acres (10.7% of 11.5 acres);
27. Delete the Certification of Bonding for Required Improvements;

28. Since the utilities are new, use the Certificate of Approval of Water System and the Certificate of Approval of Sewer System vs. the Certificate of Water and Sewer Availability;
29. Include the full street name on all four sheets;
30. A landscape completion/maintenance letter of credit is required prior to the recording of the final plat;
31. Submit a copy of private restrictions or covenants. These must be approved by the Town and be recorded prior to building permits being issued;
32. Some utilities have been adding a stamped disclaimer certification when they have been signing off on plats. Do not add these certifications. The purpose of the Release of Easements Certification and for having the utilities review the plat is to ensure that all of their easements are shown on the plat as required by the Town's subdivision regulations;
33. The driveway from Anchor Villas Lane must be constructed to Lot 15 and it must be shown on the plat;

Engineering Division: (Contact Darryl Smith at 966-7057)

34. It is noted that detention basin verifications have been submitted and accepted;
35. Submit As-built drawings;
36. Complete all items on staff's punchlist, which will be assembled after walk-thru at the end of the construction. Please note that all disturbed areas must be stabilized with growing grass prior to acceptance of Final Plat;
37. Staff will calculate a Completion Letter of Credit once it is determined what elements are not going to be constructed at this time; and
38. Submit two-year Maintenance Letter of Credit for maintenance of sidewalk, greenways, roadways, drainage and detention basins for $35,000.

Please call us at 966-7057 if you have any questions on the above items. Please note that due to the nature and extent of the comments, additional comments may be generated upon resubmission.

Sincerely,

Ruth Viergutz Hawk

Ruth Viergutz Hawk, AICP
Community Development Director

Darryl W. Smith, P.E.
Town Engineer

pc: Chris Sharp (Urban Engineering, e-mail)
Smith Farm Residential Partners (355 Trane Drive, Knoxville, TN 37919)

MEETING DATE: June 20, 2013

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Ruth Viergutz Hawk, Community Development Director

SUBJECT: Discussion and public hearing on a site plan for Panda Express, 11482 Parkside Drive, located between JC Penny and Tennessee State Bank, 3.412 Acres, Zoned C-1 (Ray Flake, Applicant)

INTRODUCTION: On September 20, 2012, the planning commission heard the rezoning request of this site from O-1-3 to C-1. Since the rezoning was finalized, the property was subdivided into two parcels. The parcel closest to JC Penney has a site plan for the TVA Federal Credit Union approved and construction is expected to begin shortly. This site lies on the eastern side of Parcel 191.06 next to the Tennessee State Bank.

DISCUSSION: A site plan for a small shopping center with two tenant spaces on this site was approved by the planning commission on December 20, 2012. The development is now being modified for a Panda Express Restaurant as a freestanding building.

The access is from the shared access driveway with the Tennessee State Bank. There is a traffic signal at this driveway on Parkside Drive. The proposed parking lot will connect with the proposed development to the west. With the exception of a drain pipe extending from the parking lot being added, the large detention basin located in the back half of this property will remain undisturbed.

As with the Zaxby's, a sidewalk is being constructed adjacent to the shared access easement.

Attached please find a reduced copy of the site plan, an aerial photo of the general area, a color rendering of the building, and a letter to the applicant identifying the necessary changes to the site plan.

RECOMMENDATION BY: Staff will make a recommendation at the meeting.

MUNICIPALITY
CITY OF FARRAGUT PLANNING COMMISSION
11408 MUNICIPAL CENTER DRIVE
FARRAGUT, TN 37934
(865) 966-7057

ELECTRIC
LENOIR CITY UTILITIES BOARD
P.O. BOX 449
LENOIR CITY, TN
37771
(865)986-0732

WATER
FIRST UTILITY DISTRICT OF KNOX CO.
122 DURWOOD ROAD
KNOXVILLE, TN 37922
(865)966-9741

SANITARY SEWER
FIRST UTILITY DISTRICT OF KNOX CO.
122 DURWOOD ROAD
KNOXVILLE, TN 37922
(865)966-9741

STORM WATER
CITY OF FARRAGUT PLANNING COMMISSION
11408 MUNICIPAL CENTER DRIVE
FARRAGUT, TN 37934
(865) 966-7057

TELEPHONE
TDS COMMUNICATIONS CORP.
11505 KINGSTON PIKE
FARRAGUT, TN 37934
(866)777-4433

GAS
KNOXVILLE UTILITIES BOARD
835 EAST JACKSON AVE.
KNOXVILLE, TN 37915
(865)558-2555

811 know what's below. Call before you dig.

CIVIL CONSTRUCTION PLANS

FOR

PANDA EXPRESS

11480 PARKSIDE DRIVE, FARRAGUT, TENNESSEE

SIXTH CIVIL DISTRICT
KNOX COUNTY, TENNESSEE

-- INDEX OF PLAN SHEETS --

SHEET	DESCRIPTION
C-1	COVER SHEET
C-2	CONSTRUCTION NOTES
1 OF 1	ALTA SURVEY
C-3	SITE PLAN
C-4	GRADING PLAN
C-5	UTILITY PLAN
C-6	EROSION CONTROL PLAN
C-7	DETAIL SHEET
C-8	DETAIL SHEET
C-9	TREE PRESERVATION PLAN
C-10	LANDSCAPE AREA PLAN
C-11	LANDSCAPE PLAN
A-100.1	SITE PHOTOMETRIC STUDY
A-100.2	EXTERIOR LIGHTING SPECS/DETAILS
A-200	EXTERIOR COLOR ELEVATIONS
A-201	EXTERIOR COLOR ELEVATIONS
A-201.1	HVAC SCREENING/SITE LINE STUDY
A-202	DUMPSTER ENCLOSURE ELEVATIONS/DETAILS

ARCHITECT:

IdGROUP
2641 Irving Blvd.
Dallas, TX 75207
214.638.6800

SURVEYOR:

CANON AND CANON, INC.
8550 KINGSTON PIKE
KNOXVILLE, TN
615-310-4390

ENGINEER:

Civil Engineering Services
7705 Spicer Farm Lane
Fairview, Tennessee
37062
phone: (615) 533-0401
fax: (615) 523-8865
e-mail: roy@civilengineeringservices.net
Engineering, Land Planning

DEVELOPER:
CHRIS POPE
PANDA EXPRESS INC.
1683 WALNUT GROVE AVE.
ROSEMEAD, CALIFORNIA 91770
(626) 372-8151

PROPERTY OWNER:
FARRAGUT LAND PARTNERS, LLC
P.O. BOX 10226
KNOXVILLE, TN 37939
CONTACT: JOHN TURLEY
(865) 588-1000

PROPERTY ZONING:
C-1

TAX MAP & PARCEL NUMBER:
LOT 4A -R2-2

SITE ADDRESS:
11480 PARKSIDE DRIVE, FARRAGUT, TENNESSEE

LOT ACREAGE:
3.412 AC

SIZE OF BUILDING:
2,210 S.F.

NUMBER OF STORIES:
ONE

CONSTRUCTION TYPE:
V-B

OCCUPANCY TYPE:
A-2

GENERAL NOTES

THIS SITE HAS BEEN DESIGNED TO MEET THE CITY OF FARRAGUT STANDARDS AND THE APPROVAL OF THE PLANNING COMMISSION. CHANGES SHALL NOT BE MADE TO THE APPROVED SITE PLAN UNLESS APPROVED BY EITHER THE RELEVANT DEPARTMENT SUPERINTENDENT OR THE PLANNING COMMISSION

THE OWNER AND ENGINEER DO NOT ASSUME RESPONSIBILITY FOR THE POSSIBILITY THAT, DURING CONSTRUCTION, UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED OR THAT ACTUAL LOCATION OF THOSE SHOWN MAY BE DIFFERENT FROM LOCATIONS DESIGNATED ON THE CONTRACT DRAWINGS. IN AREAS WHERE IT IS NECESSARY THAT EXACT LOCATIONS BE KNOWN OF UNDERGROUND UTILITIES, THE CONTRACTOR SHALL AT HIS OWN EXPENSE, FURNISH ALL LABOR AND TOOLS TO EITHER VERIFY AND SUBSTANTIATE OR DEFINITELY ESTABLISH THE POSITION OF UNDERGROUND UTILITY LINES.

BOUNDARY AND TOPO GRAPHICS SURVEY WERE PREPARED BY OTHERS AND PROVIDED TO CIVIL ENGINEERING SERVICES AND THEIR CONSULTANTS SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF THIS INFORMATION SHOWN.

VICINITY MAP
NOT TO SCALE

RECEIVED
JUN 1 6 2013
TOWN OF FARRAGUT

PANDA RESTAURANT GROUP INC.
1683 Walnut Grove Ave.
Rosemead, California
91770
Telephone: 626.799.9898
Facsimile: 626.372.8266

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REVISIONS:

001	CITY COMMENTS	06-07-13

ISSUE DATE:

001	SUBMITTAL SET	04-23-13

DRAWN BY: RGF

PANDA PROJECT #: 58-14-03612
ARCH PROJECT #: 261-79

Civil Engineering Services
Engineering, Land Planning
7705 Spicer Farm Lane
Fairview, Tennessee
37062
Phone: (615) 533-0401
e-mail: roy@civilengineeringservices.net

STAMP:

PANDA EXPRESS

11480 PARKSIDE DRIVE
FARRAGUT, TENNESSEE

(KNOX COUNTY)

C-1

COVER SHEET
SHEET 1 OF 18

SUBMITTAL SET

Table A thereof. The field work was completed on January

9-13-2013

Date

LEGAL DESCRIPTION

th (6th) Civil District of Knox County, Tennessee, within the
the Town of Farragut and being Lot 4A-R2-2, Parkside Drive
particularly described as follows:

xisting iron rod with cap (CC) at the southern right-of-way line
corner to Lot 4A-R2-1, Parkside Drive Resubdivision, said rod
28' 54" E, 873.40 feet from the intersection of the centerline
with the centerline of Lakesedge Drive;

eastern line of Lot 4A-R2-2, Parkside Drive Resubdivision and
right-of-way line of Parkside Drive, the following three (3) calls:

E, 48.34 feet to an existing iron rod with cap (#1831);

" E, 119.59 feet to an existing iron rod with cap (#1831);

' E, 35.20 feet to an existing spike, corner to Tennessee State
ent Number 200707060002017);

southern right-of-way line of Parkside Drive and with the western
State Bank, the following two (2) calls:

E, 343.95 feet to an existing iron rod with cap (#2060);

E, 98.76 feet to an existing 1/2 inch iron rod, corner to Eason
umber 201108290011033) and Rook (Deed Book 1916, Page 766);

asse State Bank and Eason and with the northern line of Rook,
9.97 feet to an existing 5/8 inch iron rod, corner to Barnes
age 536);

northern line of Rook and with the northern line of Barnes, S 57°
eet to an existing 1/2 inch iron rod, corner to Manis (Deed Book
d Voiles (Deed Book 1676, Page 86);

s and the northern line of Barnes and with the northern line of
" W, 123.64 feet to an existing 1/2 inch iron rod, corner to
Partners, LLC. (Instrument Number 200801240055768);

northern line of Voiles and with the eastern lines of Turkey Creek
the following four (4) calls:

W, 106.47 feet to an existing iron rod (#2060);

E, 38.00 feet to an existing "punch mark" in a large rock;

W, 128.23 feet to an existing iron rod with cap (#2060);

W, 96.73 feet to an existing iron rod with cap (CC), corner to
Parkside Drive Resubdivision;

eastern lines of Turkey Creek Land Partners, LLC. and with Lot
Drive Resubdivision, the following two (2) calls:

E, 189.73 feet to an existing iron rod with cap (CC);

W, 179.88 feet to the Point of BEGINNING.

9 square feet or 3.412 acres, more or less.

prepared February 5, 2013 by Cannon & Cannon, Inc., 8550
lle, Tennessee 37919.

SCHEDULE B EXCEPTIONS

utters shown on the Plat of record as Instrument No. 200904220067742, in the
of Knox County, Tennessee. (as shown)

utters shown on the Plat of record as Instrument No. 200710080029823, in the
of Knox County, Tennessee. (as shown)

sement and Maintenance Agreement of record as Instrument No. 200707060002015,
Office of Knox County, Tennessee. (as shown)

granted to Town of Farragut of record in Book 2098, Page 818, in the Register's
unty, Tennessee. (not applicable)

eclaration of Covenants of record in Book 1955, Page 1088, as amended in Book
in the Register's Office of Knox County, Tennessee. (as shown)

Easement of record in Book 1218, Page 475, in the Register's Office of Knox
. (unable to plot on survey per record description)

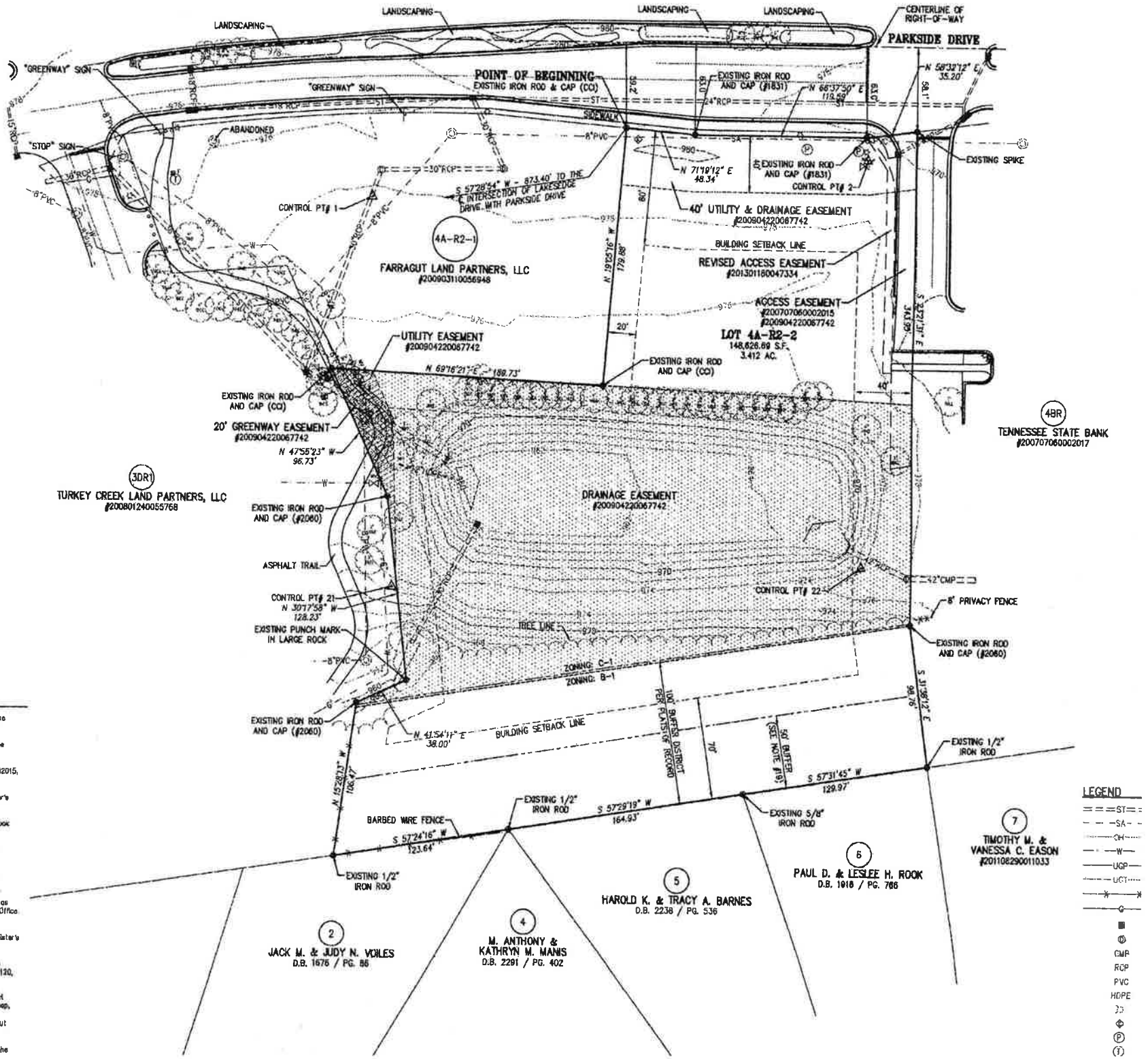
Easement of record in Book 1217, Page 778, in the Register's Office of Knox
. (unable to plot on survey per record description)

of Common Area of record as Instrument No. 200304290097974, as amended as
004080030010456, 200508050011775 and 200904060083757, in the Register's Office
nnessee. (unable to plot on survey)

sion Line Easement of record as Instrument No. 200003150017323, in the Register's
unty, Tennessee. (not applicable)

covenants, conditions, restrictions, easements, charges, assessments and liens
venants, Conditions and Restrictions of record as Instrument No. 199101300291120,
ment Nos. 200109300022543, 200112070046274, 200712160052934,
, 200406030010456, 200508220103317, 200508220103318, 200508050011775,
and 200711140039669, in the Register's Office of Knox County, Tennessee, but
nent, condition or restriction, if any, based on race, color, religion, sex, handicap,
national origin unless and only to the extent that the covenant, condition or
xempt under Title 42 of the United States Code, or (b) relates to handicap but
ate against handicapped persons. (unable to plot on survey)

d contained in instrument of record as instrument No. 200206190104485, in the



SITE INFORMATION:

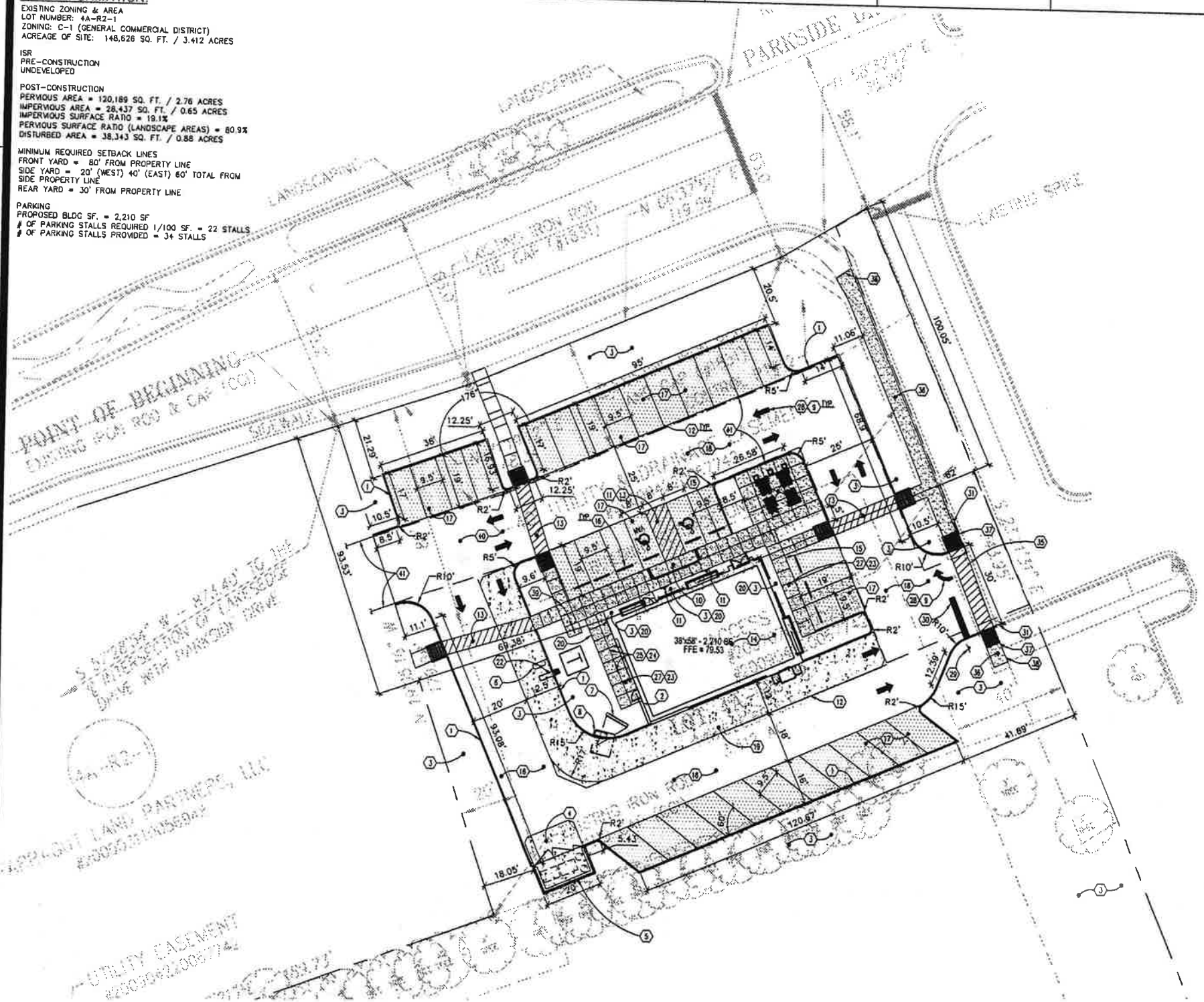
EXISTING ZONING & AREA
LOT NUMBER: 4A-R2-1
ZONING: C-1 (GENERAL COMMERCIAL DISTRICT)
ACREAGE OF SITE: 148,626 SQ. FT. / 3.412 ACRES

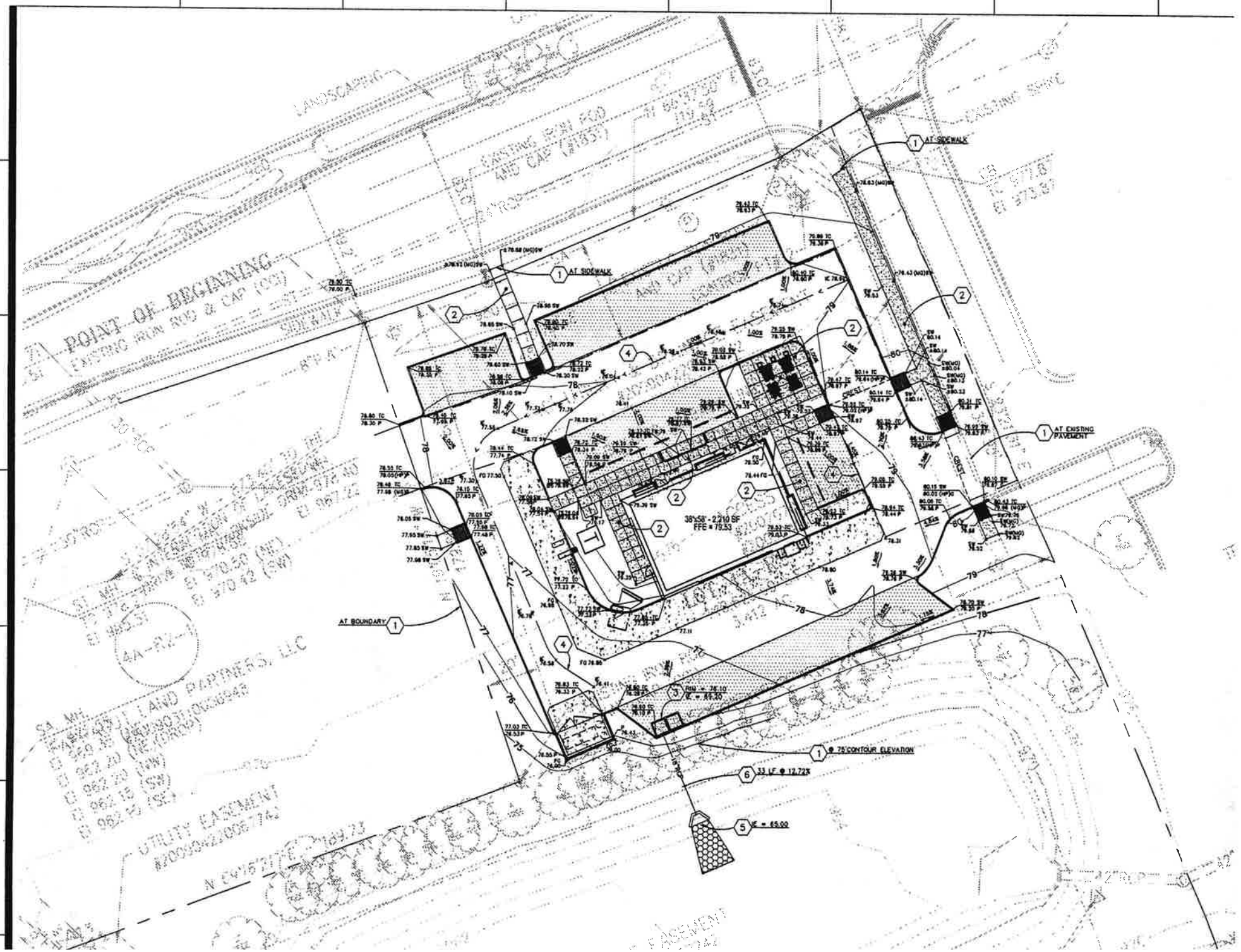
ISR
PRE-CONSTRUCTION
UNDEVELOPED

POST-CONSTRUCTION
PERVIOUS AREA = 120,189 SQ. FT. / 2.76 ACRES
IMPERVIOUS AREA = 28,437 SQ. FT. / 0.65 ACRES
IMPERVIOUS SURFACE RATIO = 19.1%
PERVIOUS SURFACE RATIO (LANDSCAPE AREAS) = 80.9%
DISTURBED AREA = 38,343 SQ. FT. / 0.88 ACRES

MINIMUM REQUIRED SETBACK LINES
FRONT YARD = 80' FROM PROPERTY LINE
SIDE YARD = 20' (WEST) 40' (EAST) 60' TOTAL FROM SIDE PROPERTY LINE
REAR YARD = 30' FROM PROPERTY LINE

PARKING
PROPOSED BLDG SF. = 2,210 SF
OF PARKING STALLS REQUIRED 1/100 SF. = 22 STALLS
OF PARKING STALLS PROVIDED = 34 STALLS




POINT OF BEGINNING
EXISTING IRON ROD & CAP (CO)
AT SIDEWALK
AT SIDEWALK
AT EXISTING PAVEMENT
AT BOUNDARY
38'x58' - 2,210 SF
FFE = 79.53
@ 75' CONTOUR ELEVATION
33 LF @ 12.72%
IE = 65.00
LANDSCAPING
EXISTING SIDWALK
UTILITY EASEMENT
N 00°09'42" E 169.73
4A-R2
SA MH
EL 970.50 (NW)
EL 970.42 (SW)
EL 962.20 (NW)
EL 962.20 (NE)
EL 962.15 (SW)
EL 962.42 (SE)

L-82
A-100

REAR BUILDING WALLPACK	L-85A
Scale= NTS	A-100

EMERGENCY FIXTURE	L-86
Scale= NTS	A-100

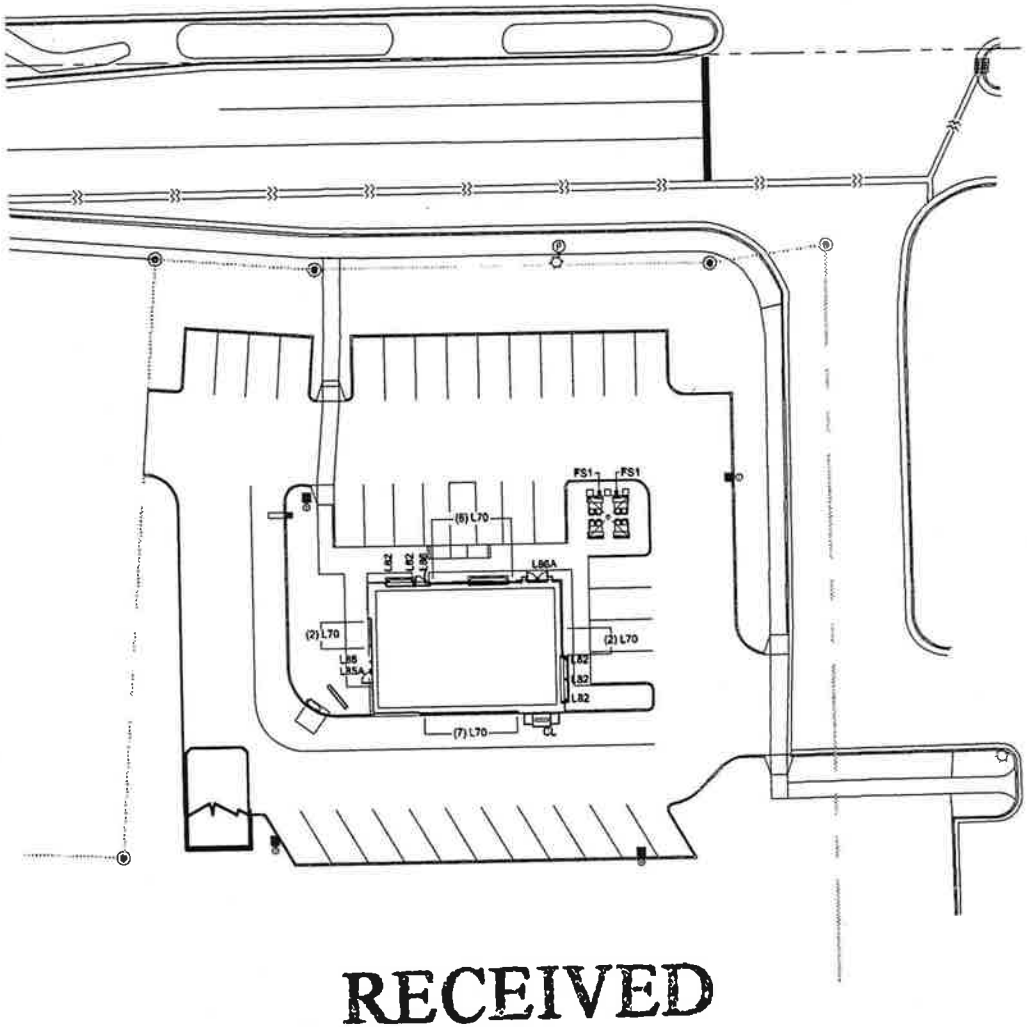
RECESSED ENTRY PORTAL	L-86A
Scale= NTS	A-100

Series
High Output
0 or T12HO

OPY

IGHT

CL
A-100



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JUN 1 0 2013

TOWN OF FARRAGUT

ICATIONS	2
Scale= NTS	A-100

PHOTOMETRIC SITE PLAN	1
Scale= 1/16" = 1'-0"	A-100.2

REVISIONS:

ISSUE DATE:

DRAWN BY:

PANDA PROJECT #: S8-14-D3614
ARCH PROJECT #: 261-80

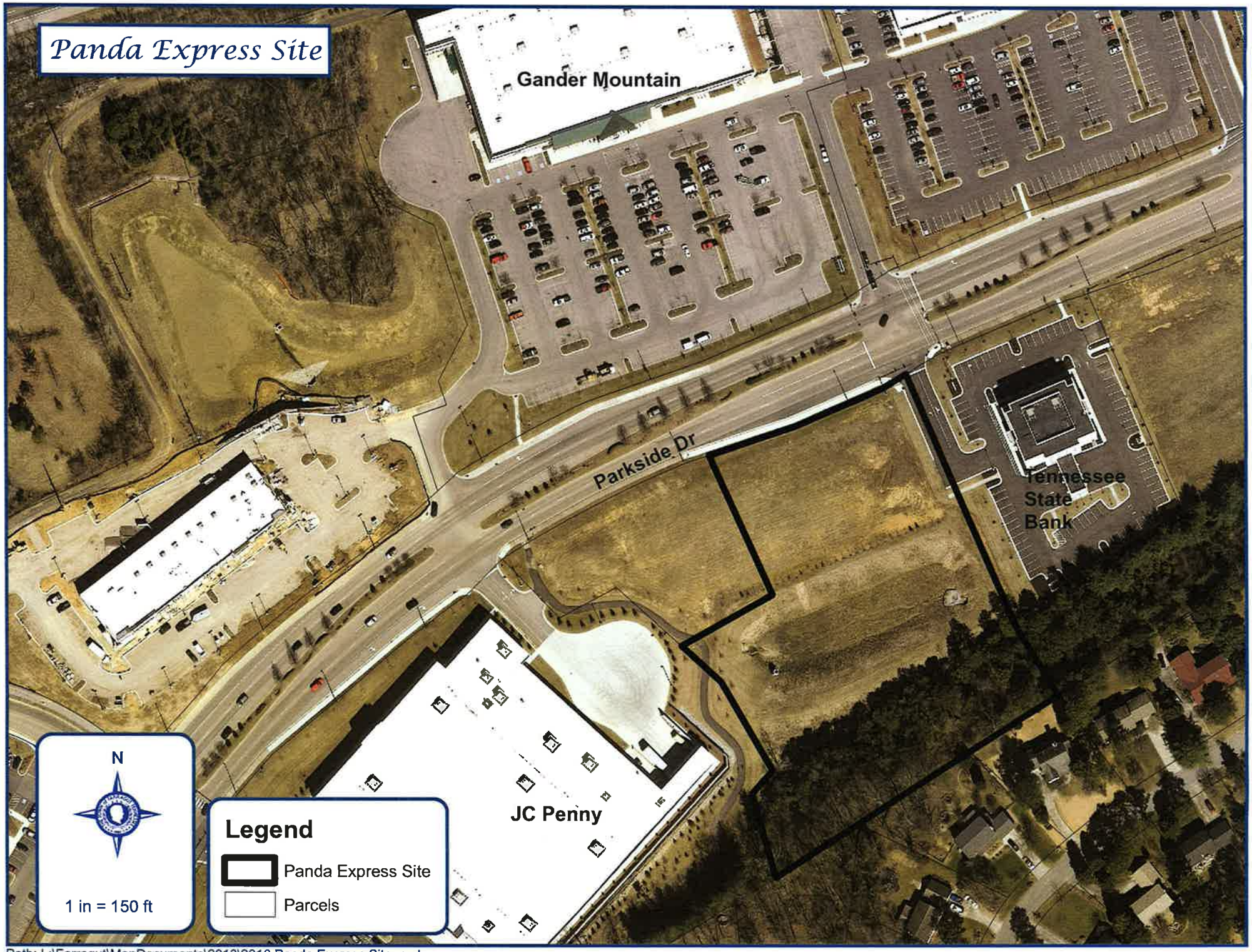
THOMAS A. [illegible]
STATE OF TENNESSEE

PANDA EXPRESS

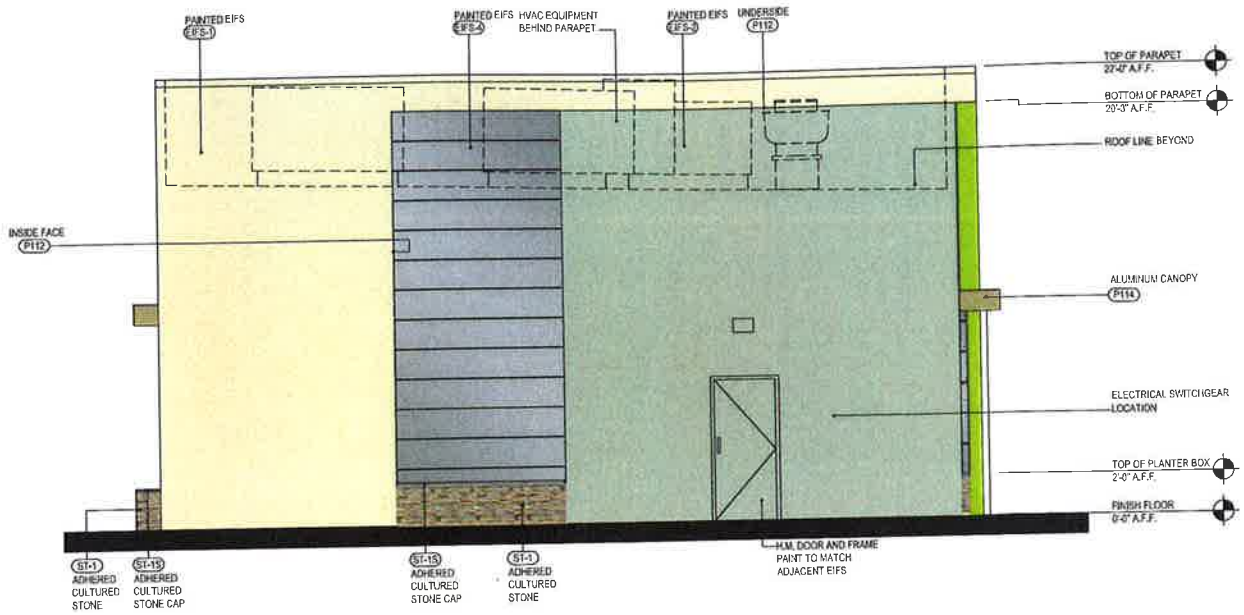
MEDIUM BRIGHT AND FRESH
PARKSIDE DR. & LAKES EDGE DR.
FARRAGUT, TN

A-100.2

EXTERIOR LIGHTING SPECS/DETAILS
14 OF 18

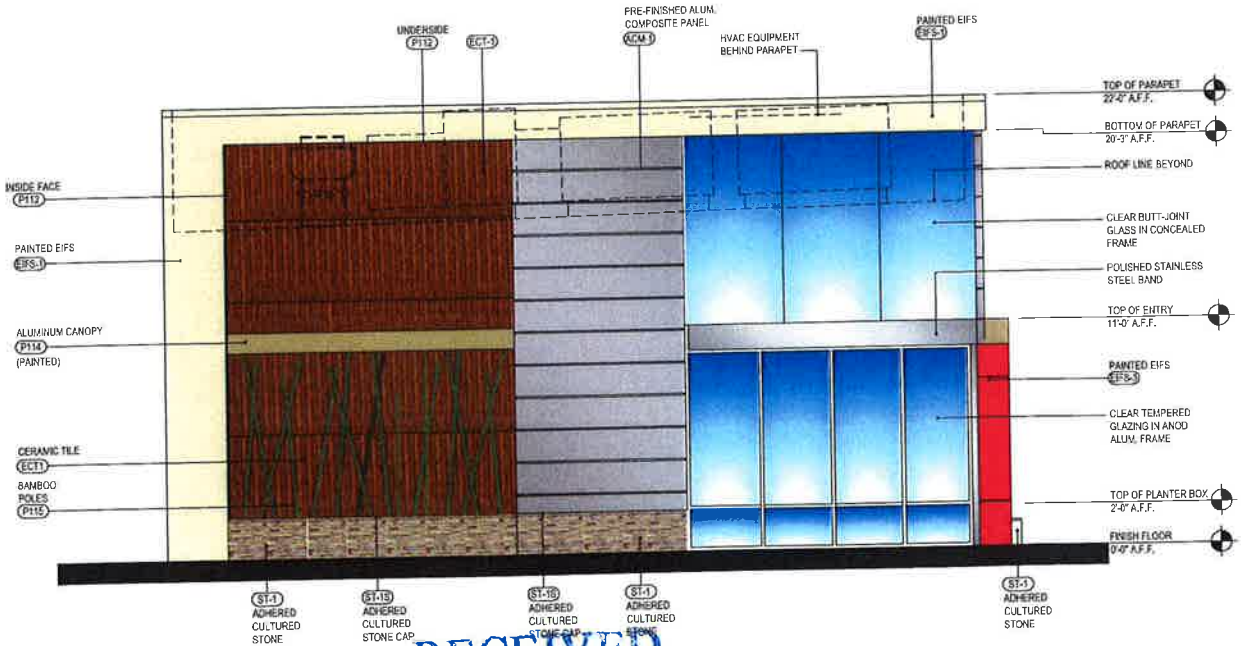


Path: L:\Farragut\MapDocuments\2013\2013 Panda Express Site.mxd



REAR ELEVATION 2

Scale = 1/4" = 1'-0" A-200



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TOWN OF FARRAGUT

FRONT ELEVATION 1

Scale = 1/4" = 1'-0" A-200

PANDA E
GOURMET

PANDA RESTAURAN
1683 Walnut G
Rosemead, C
9177
Telephone: 626
Facsimile: 626

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represented by this drawing a
Express Inc. and were created f
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without the written permissi

REVISIONS:

ISSUE DATE:

DRAWN BY:

PANDA PROJECT #:

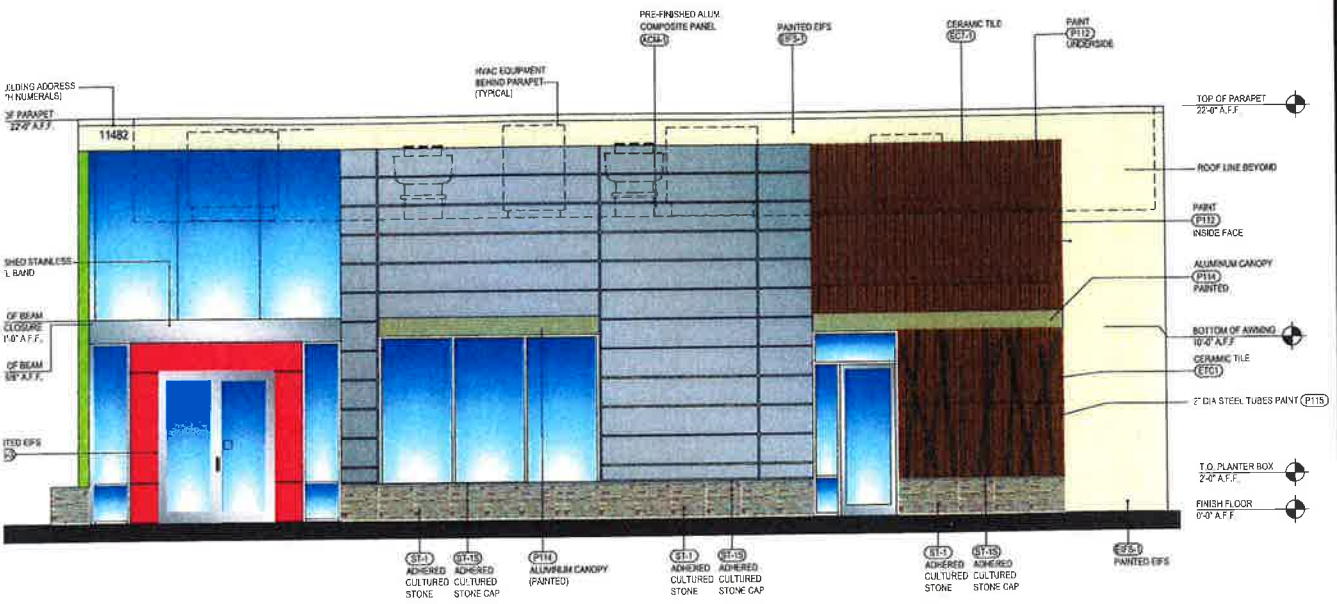
ARCH PROJECT #:

PANDA

MEDIUM BRI
PARKSIDE DR,
FARR

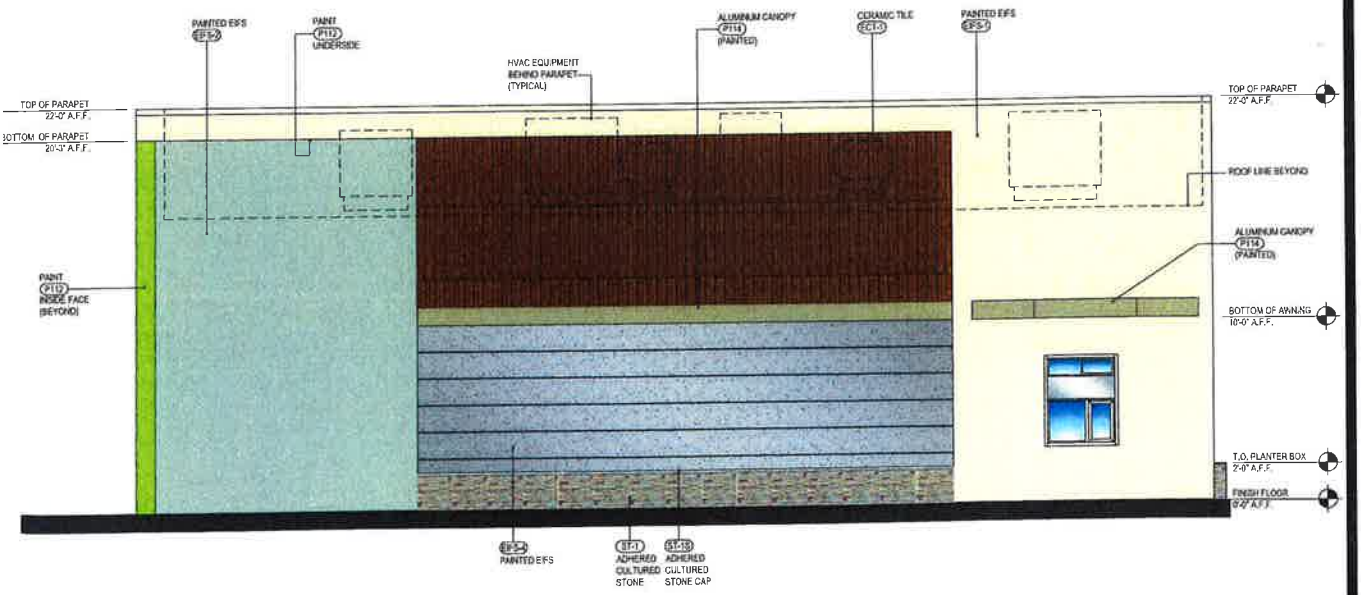
A-

EXTER
ELE



ENTRY SIDE ELEVATION 2

Scale = 1/4" = 1'-0" A-201



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TOWN OF FARRAGUT

DRIVE THROUGH ELEVATION 1

Scale = 1/4" = 1'-0" A-201

PANDA EXPRESS GOURMET CHINESE

PANDA RESTAURANT GROUP INC
1683 Walnut Grove Ave.
Rosemead, California
91770
Telephone: 626.799.9898
Facsimile: 626.372.8288

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ISSUE DATE:

DRAWN BY:

PANDA PROJECT #: S8-14-D361

ARCH PROJECT #: 261-80

PANDA EXPRES

MEDIUM BRIGHT AND FRESH
PARKSIDE DR. & LAKES EDGE D
FARRAGUT, TN

A-201

EXTERIOR COLOR ELEVATIONS

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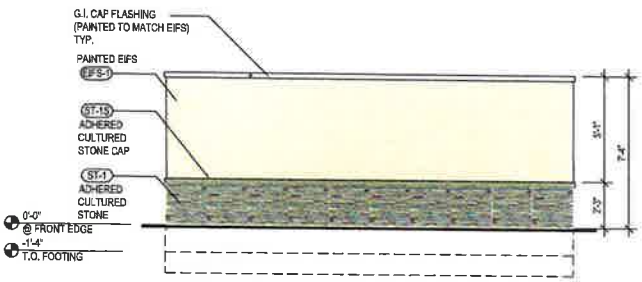
REVISIONS:

ISSUE DATE:

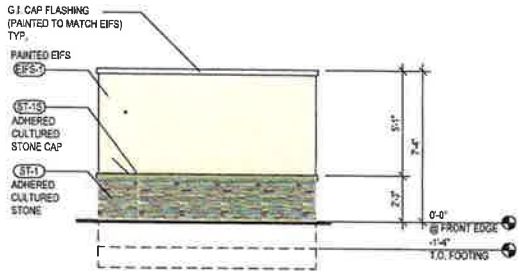
DRAWN BY:

PANDA PROJECT #: S8-14-D3614

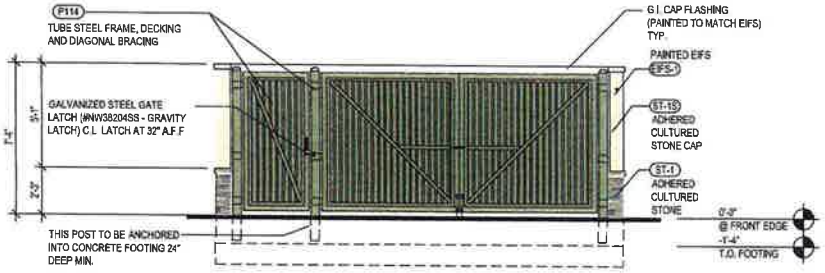
ARCH PROJECT #: 261-80



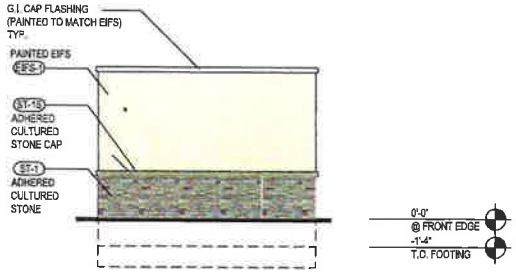
"A" - REAR ELEVATION



"B" - SIDE ELEVATION



"C" - FRONT ELEVATION



"D" - SIDE ELEVATION

RECEIVED

JUN 1 4 2013

TOWN OF FARRAGUT

DUMPSTER ELEVATION | 1

Scale = 1/4" = 1'-0" | A-202

PANDA EXPRESS

MEDIUM BRIGHT AND FRESH
PARKSIDE DR. & LAKES EDGE DR.
FARRAGUT, TN

A-202

DUMPSTER COLOR ELEVATIONS

SUBMITTAL SET

Dr. Ralph McGill, *Mayor*
Mary Dorothy LaMarche, *Vice-Mayor*
David Smoak, *Town Administrator*
Allison M. Myers, *Town Recorder*

Jeff Elliott, *Alderman*
Ron Honken, *Alderman*
Robert N. Markli, *Alderman*

May 30, 2013

Mr. Ray Flake
7705 Spicer Farm Lane
Fairview, TN 37062
ray@civilengineeringservices.net

SUBJECT: Staff comments on site plan for Panda Express Restaurant, 11482 Parkside Drive, Farragut, TN

Dear Mr. Flake,

The Town staff has reviewed the above referenced site plan for compliance with the Town's regulations. Please address the following items and submit five (5) complete sets of 24" x 36" revised plans and one 8 ½" x 11" reduced set to the Farragut Town Hall by **Monday, June 10, at 9:00 a.m.** If plans are not resubmitted by the deadline or the items are not adequately addressed, this item will not be placed on the planning commission agenda. Also, upon resubmittal please include a letter which addresses these comments and that indicates where the information can be found on the plans.

Please remember this item will be discussed at the Staff/Developer Meeting at the Farragut Town Hall on Tuesday, June 4, at 10:15 a.m. The purpose of this meeting is to discuss questions you may have on staff comments. Modifications to the plans are not due until Monday, June 10.

Fire Division: (Contact Dan Johnson at 675-2384)

1. Provide current fire hydrant flow data for closest fire hydrants used to satisfy appendix B and C. Data shall be less than 1 year old and include name of agency performing test, static pressure, residual pressure and flow in GPM;
2. Provide written approval from First Utility District of Knox County;
3. Provide the calculated fire flow, in accordance with appendix B & C of the International Fire Code. The designer may utilize the sprinkler reduction described within that section.

Planning Division: (Contact Ruth Viergutz Hawk at 966-7057)

4. Submit a certified address verification from the Addressing Division of the Knoxville/Knox County Metropolitan Planning Commission;
5. Prior to the issuance of any Certificate of Occupancy, please submit a pdf of the finalized stamped approved site plans;

6. A two year maintenance Letter of Credit from a local lending institution will be required for the landscaping prior to the issuance of a Certificate of Occupancy;
7. Number the sheets 1 of x, 2 of x, etc.;
8. On all sheets, delete irrelevant layers of information. The sheets are difficult to read, text is on top of each other, and it is cluttered. Only include relevant information for that sheet. For example, the Panda symbol and the queue of cars;
9. What is the purpose of the 8 ½ x 11 stormwater drainage exhibit? This should be included in the plans;
10. Include a diagram verifying maximum lot coverage:
11. Submit detail of dumpster enclosure. The enclosure is to be architecturally compatible with the building;
12. Consider extending sidewalk from building entrance to dumpster;
13. **Sheet C-2:** General Erosion Control Notes - #3 - the maximum slope is 3:1 (vs. 2:1). Modify accordingly;
14. General Notes - #10 - This is not a subdivision, so Subdivision Regulations are not applicable. Indicate actual compaction required;
15. General Notes - #13 - Who is CDS?
16. Utility Notes - #25 - If there are any road crossings, they must be bored vs. cut;
17. **Sheet C-3:** The side yard is a minimum of 20'/total of 60';
18. With the exception of handicapped spaces, all parking spaces must be 9 ½' wide (vs. 9');
19. Indicate the width of the handicap spaces and the striped aisle;
20. With the exception of at street crosswalks, detectable warning is not required on handicap ramps;
21. Paving - show depth of pavement materials in lieu of referring to geotech report;
22. The menu board and other associated signs must obtain sign permits, which is a separate process;
23. Move the height clearance sign closer to the menu board. It will likely be bypassed by eastbound traffic when there is a shorter queue;
24. Are sidewalks flush with parking spaces? They shouldn't be, but please clarify;
25. Show where the handicapped parking signs are located. They cannot be located within the sidewalk. A sidewalk must retain a minimum of 5' clear width;
26. The Stop Sign is to be 24" x 24" (note #29). Submit detail;
27. Notes #36, 37 & 38 - who's public works? This is a private sidewalk;
28. These are the actual construction plans and all specifications should be included in these plans;
29. #39 - Bike rack styles vary. Although the town would encourage a creative style rack, there are no specific requirements to design. Please include a rack detail. The concrete pad on which the bike rack is mounted must be large enough to accommodate a bike and not overhang into the sidewalk or required landscaping;
30. #40 - Why need concrete steps next to the sidewalk?

31. Indicate dimensions from parking lot to property lines at all pinch points;
32. Maintain 5' width of landscape island the full length of the parking space at the dumpster;
33. Add a note stating that no antennas will be added to this site;
34. **Sheet C-4:** Show more clearly existing contours;
35. Note #4 - Town vs. county;
36. Note #6 - What is this referring to?
37. **Sheet C-5:** The grease trap cannot be located in required landscape areas;
38. Instead of just stating "per local requirements" for everything, specify the actual requirements and include information in the plans;
39. Show all existing lines the service lines are tying into [gas, sewer, electric, water, comm.];
40. **Sheet C-6:** Filter sock locations do not match with proposed catch basin locations;
41. Note #3 - no slopes steeper than 3:1;
42. Note #13 - finish sentence;
43. Silt fence and filter sock are not interchangeable. Accurately show on plan;
44. **Sheet C-7:** Minimum sidewalk width is 5'. Indicate on detail;
45. Base of sidewalk should be rock vs. sand;
46. Why are steps needed? Delete detail of steps;
47. Handicap signs cannot be located in sidewalk. Must maintain minimum 5' clear width;
48. **Sheet C-8:** Single vs. double curb inlet / area inlet (plans show a double);
49. **Sheet L1:** Trees being saved must be coordinated with grading plan;
50. **Sheet L2:** Transformer area, sign area, and grease trap area cannot count toward meeting landscape requirements. Terminal parking islands cannot count toward meeting landscape requirements. Change accordingly;
51. **A-200:** Define colors "show stopper, Inverness", "tidewater", "porto plank", etc.
52. The building design does not fit the area. I encourage you to look at the buildings in the vicinity and take these into consideration of proposed design;
53. Clearly identify windows on plans;
54. Include line of sight drawings from adjacent properties and rights-of-way showing that HVAC units are screened by parapet;
55. **Sheet A-201:** Indicate size of numbers for the building address;
56. Define all building materials;
57. **Sheet A100.1:** Include wall mounted lights and details;
58. How come the footcandles are higher at E-1 and E-2 fixtures?
59. Show details of all proposed light fixtures;

<u>Tree Preservation/Removal Plan/Landscape Plan</u>: (Contact Mark Shipley at 966-7057)

60. References to Farragut should be as a Town rather than a City;
61. Do you have a certified address?;
62. Please number all sheets 1 of …, 2 of …, 3 of …, etc;
63. When used, all notes should be numbered for reference purposes;

64. The individual sheets should only include the information pertinent to that particular sheet. There are far too many layers of information on these sheets and it makes reviewing them very challenging;
65. The notes need to be specific to Farragut and this location. There are, for example, some notes that reference a public works spec..;
66. The menu board, ordering point, and height clearance sign must comply with the requirements in the Farragut Sign Ordinance. A separate review will be required for these;
67. All parking spaces must be at least 9½ feet wide from center of stripe to center of stripe;
68. Although they have to be landscaped, parking lot islands cannot count toward satisfying the requirements for landscaping between the building and parking lot. A diagram is needed to a legible scale that highlights the areas proposed to satisfy the requirements for landscaping between the building and parking lot. The landscape area plan that was submitted includes all landscaped areas. This is okay but the areas that are specifically being used to satisfy the landscaping requirements between the building and parking lot must be distinguished from other landscaped areas. Also, if you are going to show this on just one sheet please use more of the sheet and a scale such as 1:20;
69. The landscape plan should not be included in this submittal. This is a separate application and review. No aspect of this plan will be reviewed until it is submitted with a landscape plan application which acknowledges that each item in the checklist which is part of the application has been addressed on the plan submitted;
70. Please include dimensions from the nearest portion of the parking lot to all adjacent property lines;
71. Where are the HVAC units and how are they being screened so that they are not visible from adjacent properties or rights of ways?;
72. Please highlight locations for silt fence and include a detail of the silt fence proposed. It appears you are proposing filter sock around much of the site. This may work for inlet protection (provided it is properly anchored) but would not be tall enough and trenched in and backfilled like silt fence. Filter sock should not be used for bordering the site to prevent silt from leaving the site;
73. The grease trap must be within paved or concrete areas not under landscaped areas;
74. On the tree preservation sheet, please note that trees 1-3 are Leyland cypress and are in good condition; then, going east, there are 12 (rather than 11) redbud (rather than oak) trees that are either dead or clearly dying and that must be replaced (I would NOT replace them with redbud trees). If the replacement trees are irrigated, a number of species might work. If they are not irrigated (and probably either way), I would recommend Eastern red cedar (6 foot tall at planting) with perhaps three 2 inch caliper Shumard oaks mixed in with them. Beyond the 12 redbud trees there are two additional Leyland cypress (one of these trees is on the ground and would need to be replaced) and then a dead bald cypress that would need to be replaced. Please update the plan accordingly;

75. Please double check trees 1-3 to make sure they can be properly protected during this project. The proposed work adjacent to these trees is very close. The tree protection fencing must extend, at a minimum, to the drip line of these trees and NO work is permitted within the tree fencing area;
76. Would the applicant consider using some low impact development measures on this project (e.g. permeable pavers in portions of the parking lot, rain gardens, or rainwater capture devices);

Engineering Division: (Contact Darryl Smith at 966-7057)

77. Drainage calculations clearly show that proposed drainage plan is adequate. Please note that local storm intensities are significantly less than those shown in calculations;
78. Utility plans do not indicate where gas service is to tie to existing gas main. Staff assumes this tie is not under Parkside Drive deceleration lane?
79. Drainage plan shows what appears to be a double catch basin in southwestern corner of parking lot, though detail sheet shows single catch basin. This should likely be a double catch basin, as it is draining the entire site. Please also note on Erosion control plan that inlet protection is shown for a single catch basin at this location, plus another location to the east. Is a catch basin missing?
80. Rather than simply referring to geotechnical report, plans should show base and pavement thicknesses;
81. Submit Drainage Fee of $570;
82. Submit irrevocable letter of credit for erosion control for $5,000; and
83. NOC will not be required, as area of disturbance is less than one acre.

Please call the designated staff person if you have any questions on the above items. Unless specified otherwise, please include all requested information on the plans. You may note that there are some duplicate comments. This is done so that if you have a question, you know that you can call either person regarding that particular issue. Also, a foundation survey will be required for the building within ten (10) working days of the footer inspection. An as-built survey of the site is required to verify the setbacks of the parking lot and all other improvements. Once approved, such as-built will need to be submitted in a pdf format. A certification on the lighting will also be required before the issuance of a Certificate of Occupancy.

Please note that due to the nature and extent of the comments, additional comments may be generated upon resubmission.

Sincerely,

Ruth Viergutz Hawk, AICP
Community Development Director

Darryl W. Smith, P.E.
Town Engineer

attachments - Grading Permit Checklist [mailed copy only]
Certificate of Occupancy Checklist [mailed copy only]

pc: Panda Express Inc. (626-372-8612)
Farragut Land Partners, LLC (Danny Kirby, e-mail)

AGENDA NUMBER _____ MEETING DATE June 20, 2013

REPORT TO FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Darryl W. Smith, PE, and Jason Scott, Stormwater Coordinator

SUBJECT: Outdoor Classroom Concept

INTRODUCTION: Attached with this memo are drawings depicting draft versions of the Outdoor Classroom project. Staff, along with representatives from McGill Associates (our consultant) will present these concepts for discussion.

BACKGROUND: In 2010, the Town's Stormwater Coordinator, Jason Scott, proposed the idea of creating an outdoor classroom and water quality demonstration area on the Town's property near the entrance to Farragut High School on Campbell Station Road. The project, similar to the outdoor classroom in Halls, is intended to provide a variety of learning experiences for students and teachers at Farragut Schools, as well as the greater Farragut community. In addition, the project will provide physical examples of water quality Best Management Practices, in keeping with the educational components of our NPDES stormwater permit.

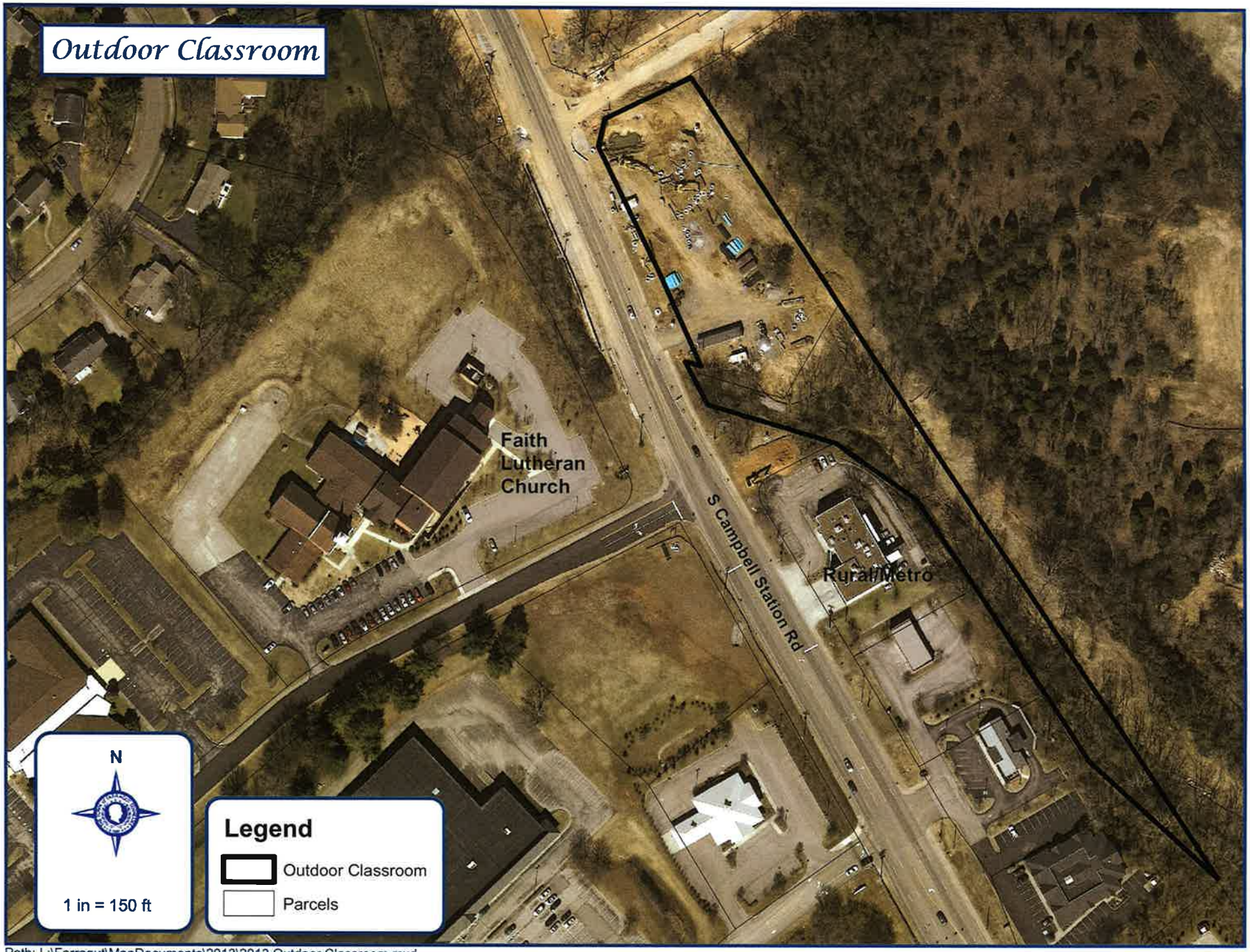
Please see the attached concept plans provided by McGill Associates. Exhibit A was presented to the Board of Mayor and Aldermen in a workshop session in May. Comments received at that time focused on the need for additional parking and accessibility. McGill Associates incorporated those comments into the plan, which is presented as Exhibit B. McGill Associates are currently resolving questions regarding the recent delineation of the flood plain in the southern portion of the site, and may add other water quality elements as space allows. Staff requests that FMPC provide their input for finalization of one concept, so that McGill Associates can proceed with preparation of final construction plans.

Exhibit A

SKETCH #1

= Community Project Areas

= Optional BMPs based on Cost



Path: L:\Farragut\MapDocuments\2013\2013 Outdoor Classroom.mxd

MEETING DATE: June 20, 2013

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Ruth Viergutz Hawk, Community Development Director

SUBJECT: Discussion and public hearing on a preliminary plat for Sheffield Subdivision – Unit 2, Parcel 52.03, Tax Map 152, 27.4 Acres, 56 Lots, Zoned R-1 & OSR, and a variance request for sag curve K value from 49 to 11.7 at intersection transition Road 'A' at Inglecrest (Saddlebrook Properties, LLC, Applicant)

INTRODUCTION: The concept plan for Sheffield Subdivision was originally approved on 1/20/2005. It is located on the west end of Turkey Creek Road and bounded by Kingsgate, Turkey Creek Woods, and Brixworth subdivisions. There is a total of 116.26 acres zoned R-1 and OSR in this development with a total of 195 single family lots and 44.102 acres (37.93%) designated as open space. Unit 1 has already been platted with a total 62 acres, 89 single family lots, and eight (8) open space lots (29.88 acres).

DISCUSSION: The preliminary plat before you is for Unit 2, which includes 27.4 acres with 55 residential lots and one open space lot. The open space lot has a large sinkhole located in the northern corner. A portion of this phase drains to this sinkhole. This unit is located adjacent to Kingsgate and Turkey Creek Woods subdivisions. The walking trail to Carlyle Road will be constructed as part of this phase.

There is an existing 36" oak tree located where the Carlyle Road connecting walking trail is proposed. Staff is recommending that the trail location be slightly modified in order to save the tree. This is a similar situation to the large oak tree that was saved as part of The Villas at Anchor Park subdivision. An arborist has evaluated the oak tree and will be submitting a report to the town. Staff will review this item in more detail at the meeting.

The applicant is also requesting a variance request for sag curve K value from 49 to 11.7 at intersection transition Road 'A' at Inglecrest. Staff supports this variance request because it does not affect sight distance and it is near the intersection, which is a stop condition. The sag, or "dip" will encourage traffic to slow down as approaching the intersection.

Attached please find a reduced copy of the preliminary plat, an aerial photo of the general area, and a letter to the applicant identifying the necessary changes to the site plan.

RECOMMENDATION BY: Staff will make a recommendation at the meeting.

PRELIMINARY PLAT FOR:

SHEFFIELD S/D UNIT 2

FARRAGUT, TN

OWNER:
SADDLEBROOK PROPERTIES, LLC
DAVID FISER
PO BOX 23190
KNOXVILLE, TN 37933
865-392-5630

DEVELOPER:
SADDLEBROOK PROPERTIES, LLC
DAVID FISER
PO BOX 23190
KNOXVILLE, TN 37933
865-392-5630

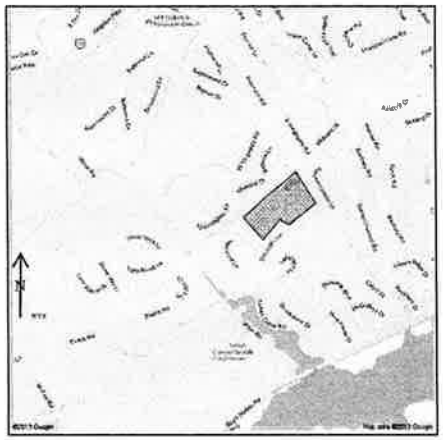
SURVEYING BY:

LYNCH SURVEYS LLC
SUBDIVISIONS | AS-BUILTS | SITE DESIGN
4405 COSTER RD. KNOXVILLE, TENN. 37912
865-584-2630 FAX: 865-584-2601 WWW.LYNCHSURVEY.COM

ENGINEERING BY:

Rackley Engineering

P.O. BOX 5265, MARYVILLE, TN,37802
WWW.RACKLEYENGINEERING.COM 865-622-6560



0 SHIRECLIFFE LANE, FARRAGUT,TN 37934
DEED: 20070129-0061440
CLT MAP 152 PARCEL 52.03

MAY 17, 2013
REVISED: JUNE 7, 2013

TOTAL BUILDING AREA
0.75 X 116.27 = 87.2025 AC
87.2025 AC X 0.25 = 21.8006 AC
21.8006 AC / 193 = 0.1130 AC

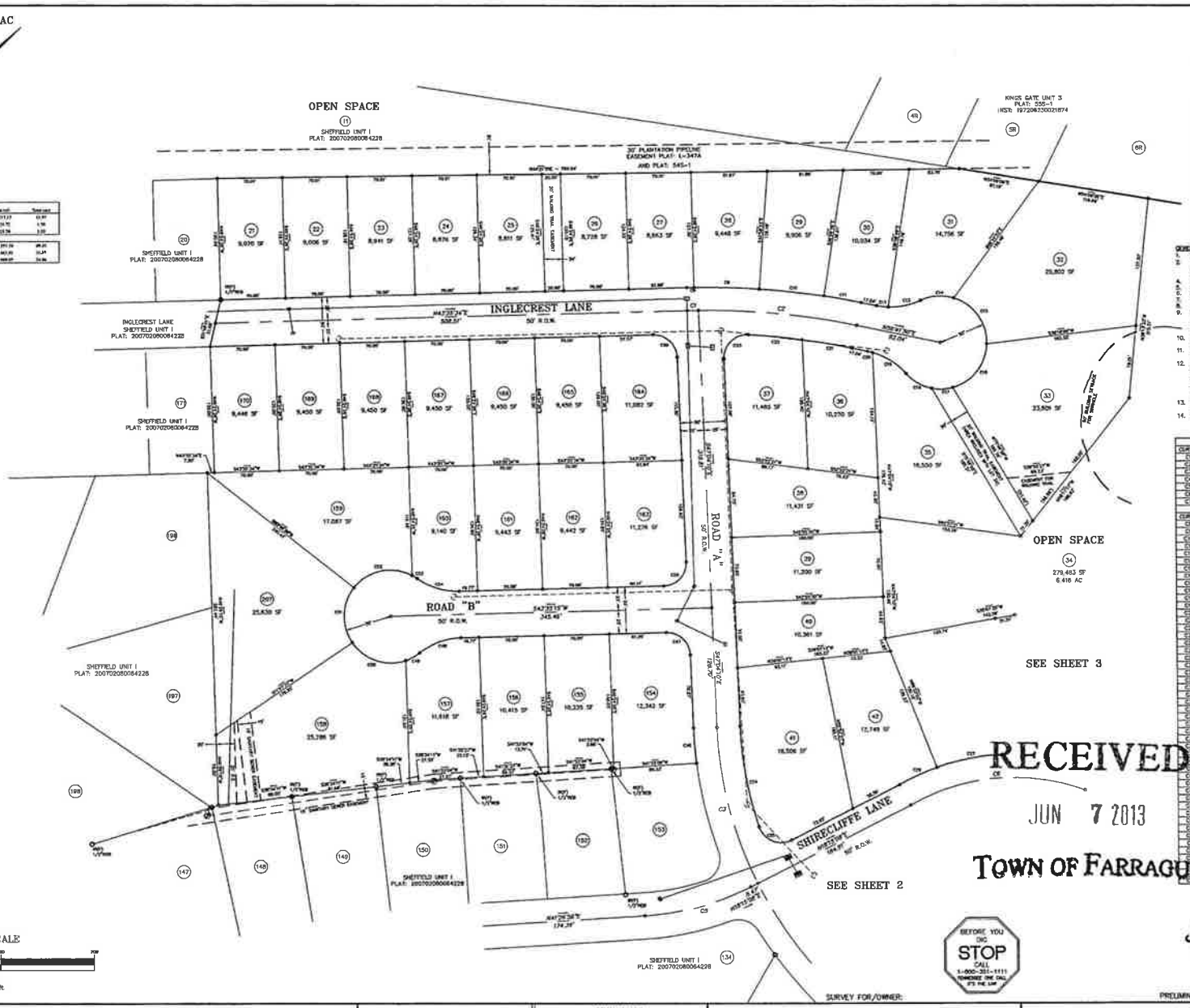
TOTAL LOT COVERAGE
0.75 X 116.27 = 87.2025 AC
87.2025 AC X 0.35 = 30.5209 AC
30.5209 AC X / 193 = 0.1581 AC

TABLE OF CONTENTS:

1		TITLE PAGE
2	2	PRELIMINARY PLAT
3	3	PRELIMINARY PLAT
4	4	PRELIMINARY PLAT
5	CR.01	ROAD, LIGHTING, SIGN PLAN
6	CR.02	INGLECREST PLAN AND PROFILE
7	CR.03	ROAD 'A' PLAN AND PROFILE
8	CR.04	ROAD 'B' PLAN AND PROFILE
9	CR.05	SHIRECLIFFE PLAN AND PROFILE
10	CR.06	CUL-DE-SAC PROFILES
11	CR.07	ROAD, LIGHTING, SIGN DETAILS
12	CD.01	GRADING AND DRAINAGE PLAN
13	CD.02	GRADING AND DRAINAGE PLAN
14	CW.01	WATER LINE PLAN
15	CS.01	SANITARY SEWER PLAN
16	CS.02	SEWER LINE A & C PROFILES
17	CS.03	SEWER LINE B PROFILE
18	CE.01	INITIAL EROSION CONTROL
19	CE.02	INITIAL EROSION CONTROL
20	CE.03	INTERMEDIATE EROSION CONTROL
21	CE.04	INTERMEDIATE EROSION CONTROL
22	CE.05	FINAL STABILIZATION PLAN
23	TP-1	TREE PRESERVATION/REMOVAL PLAN
24	LCUB	LCUB ELECTRIC LAYOUT (NOT TO SCALE)
25	KUB	KUB GAS LINE LAYOUT (NOT TO SCALE)

RECEIVED
JUN 7 2013
TOWN OF FARRAGUT

TOTAL AREA = 27.407 AC
TOTAL LOTS = 56



CURVE	BEARING	CENTERLINE CURVE TABLE RADIUS	TANGENT	ARC LENGTH
C1	S44°01'18"W	15.85	800.00	5.97	11.95
C2	S30°34'22"W	170.70	800.00	85.84	171.03
C3	S35°13'34"E	173.13	410.00	88.52	174.55
C4	S06°20'23"E	255.16	400.00	134.74	259.47
C5	N28°31'50"E	117.81	263.00	60.14	118.83
C6	S40°27'13"W	188.63	224.35	103.93	194.67
C7	S33°56'20"E	228.34	270.00	160.39	288.75

CURVE	BEARING	RIGHTS-OF-WAY AND LOTS CURVE TABLE DISTANCE	RADIUS	TANGENT	ARC LENGTH
C8	N42°20'34"E	8.00	531.06	4.01	8.02
C9	S46°26'38"W	70.32	651.50	35.08	70.13
C10	S55°27'10"W	70.06	825.00	35.08	70.08
C11	S55°17'30"W	40.47	825.00	20.24	40.47
C12	S51°34'22"E	12.53	75.00	6.29	12.54
C13	S33°28'16"E	35.38	75.00	18.11	35.72
C14	S40°37'15"W	34.64	50.00	18.32	34.87
C15	N60°33'10"W	85.71	50.00	56.20	85.25
C16	N06°20'05"W	54.58	50.00	27.09	54.82
C17	N47°33'06"E	23.86	50.00	11.74	23.07
C18	N14°53'21"E	24.85	50.00	12.60	22.42
C19	S27°33'03"W	42.10	75.64	23.02	42.79
C20	S60°07'35"W	5.40	33.92	2.74	5.45
C21	S54°41'12"W	54.27	775.00	27.20	54.38
C22	S60°31'37"W	58.14	775.00	29.09	58.15
C23	S00°29'37"W	37.00	25.00	27.50	41.85
C24	S33°33'38"E	109.60	385.00	55.38	109.17
C25	N57°34'15"W	37.52	25.00	23.92	43.40
C26	S00°32'24"W	44.47	245.55	22.29	44.47
C27	S33°28'11"W	72.38	245.55	36.38	72.44
C28	S01°53'27"W	83.01	245.55	42.09	83.40
C29	S63°31'12"W	15.07	245.55	7.54	15.07
C30	N01°32'28"E	187.75	245.00	54.84	188.08
C31	N28°06'11"E	111.34	245.00	57.17	112.33
C32	N01°28'30"E	43.48	245.00	21.91	43.51
C33	S06°31'23"W	36.91	55.58	20.77	36.15
C34	S33°36'45"W	63.33	50.00	37.82	64.76
C35	N28°54'42"W	61.52	50.00	34.02	64.27
C36	N26°12'28"E	48.21	50.00	26.06	48.04
C37	S08°57'27"W	14.15	75.00	7.11	14.18
C38	S35°18'53"W	44.05	75.00	23.04	44.71
C39	N32°33'33"E	68.05	295.00	34.34	68.41
C40	N40°58'32"E	84.95	295.00	42.90	85.21
C41	N58°32'10"E	91.73	295.00	46.26	91.99
C42	S41°43'00"W	118.37	295.55	60.47	120.18
C43	S02°47'20"W	53.38	195.55	26.93	53.54
C44	S30°34'21"E	32.64	25.00	26.58	42.61
C45	N80°41'17"E	158.03	385.00	81.00	159.66
C46	S48°37'38"E	37.96	413.03	19.00	37.97
C47	S86°55'33"W	35.15	25.00	24.12	38.98
C48	S42°47'06"E	54.88	50.00	30.43	62.89
C49	N16°53'51"E	17.10	50.00	8.65	17.19
C50	N67°46'08"E	60.68	50.00	35.17	65.35
C51	S42°47'06"E	54.88	50.00	30.43	62.89
C52	S33°41'58"W	84.79	50.00	61.96	89.83
C53	S78°30'23"W	6.25	50.00	3.13	6.26
C54	N62°55'21"E	47.43	75.00	25.00	48.26
C55	N01°44'27"W	55.54	25.00	25.29	39.96
C56	S86°55'33"W	35.15	25.00	24.71	38.98

RECEIVED
JUN 7 2013
TOWN OF FARRAGUT

PRELIMINARY PLAT OF:

SURVEY FOR/OWNER:

LYNCH SURVEYS LLC
SUBDIVISIONS | AS-BUILTS | SITE DESIGN
4405 COSTER RD. KNOXVILLE, TENN. 37912
865-584-2630 FAX: 865-584-2801 WWW.LYNCHSURVEY.COM

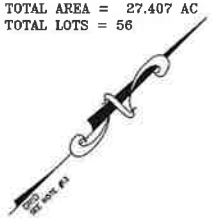
	REVISIONS
DRAWN BY: R. LYNCH	1
CHECKED BY: R. LYNCH	2
APPROVED BY: R.S.L.	3
SCALE: 1"=50'	4
DATE: 05/15/2013	5
	6

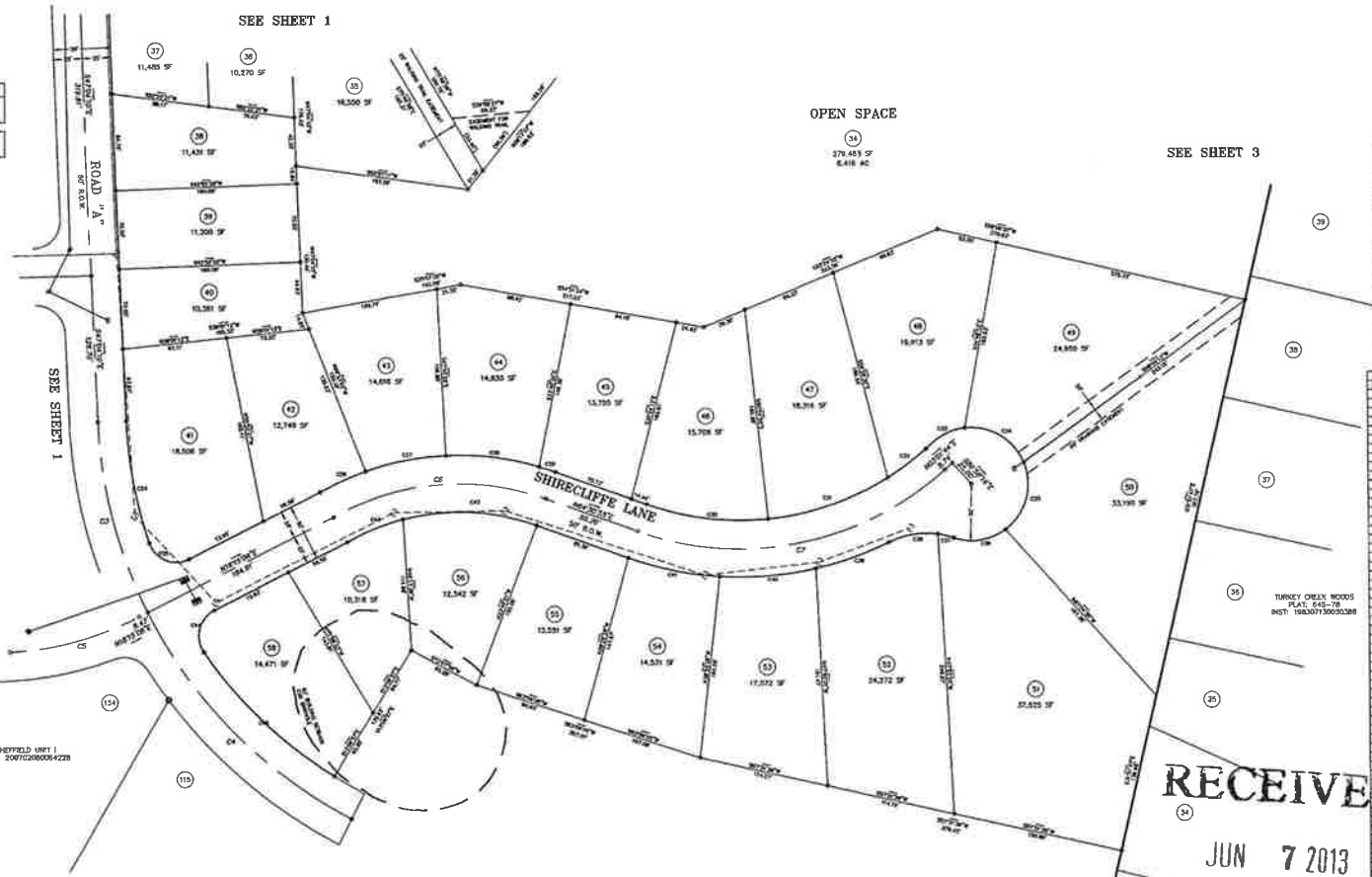
Saddlebrook Properties LLC
122 Perimeter Park Road
Knoxville, Tennessee 37922
Phone: (865) 690-3200

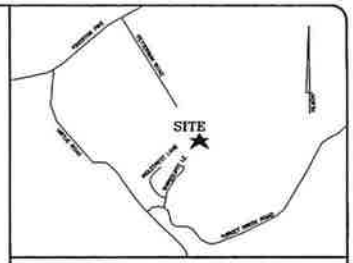
Sheffield Subdivision – Unit II
Turkey Creek Road
Town of Farragut, Tennessee
District 6, Knox County, Tennessee

PROJECT NO.
3622-1
SHEET 2 OF 25

TOTAL AREA = 27.407 AC
TOTAL LOTS = 56







LOCATION MAP NO SCALE

GENERAL NOTES

1. IRON PINS SET AT ALL CORNERS, BY THIS SURVEY, UNLESS OTHERWISE NOTED. (FINAL PLAT)
2. A FIVE (5') FOOT UTILITY, DRAINAGE AND CONSTRUCTION EASEMENT ON EACH SIDE OF INTERIOR LOT LINES. A TEN (10') FOOT UTILITY, DRAINAGE AND CONSTRUCTION EASEMENT ON INSIDE OF ROAD RIGHTS-OF-WAY AND EXTERIOR LOT LINES.
3. DEED REFERENCE: INSTRUMENT NO. 200709120066440
5. PROPERTY SHOWN ON CLT 152 PARCEL 50.03
6. PROPERTY ZONE RS, OSR
7. TOTAL AREA UNIT 1: 27.407 ACRES-1,193,826 SF
8. LOT 34 IS TO BE OWNED AND MAINTAINED BY THE OWNERS
9. ALL WALKING TRAILS SHALL HAVE A 20' EASEMENT IN FAVOR OF THE TOWN OF FARRAGUT AND ARE RESERVED FOR PUBLIC USE. UPON COMPLETION OF CONSTRUCTION OF WALKING TRAILS, THE TOWN OF FARRAGUT SHALL ACCEPT MAINTENANCE AND LIABILITY OF USE OF SAID EASEMENTS.
10. A 15' UTILITY EASEMENT EXISTS, 7.5 EITHER SIDE OF WATER AND SEWER LINES AS INSTALLED.
11. EXACT LOCATION OF WALKING TRAIL ON LOT 11 TO CARLINE ROAD TO BE DETERMINED BY THE TOWN OF FARRAGUT DURING PHASE 2 CONSTRUCTION.
12. BUILDING SETBACKS FOR (RS, OSR) ZONING ARE AS FOLLOWS:
    FRONT YARD: 30 FEET
    FRONT FACING GARAGE: 30 FEET
    SIDE YARD: (MINIMUM OF 20 FEET BETWEEN BUILDINGS) 10 FEET UNLESS SHOWN OTHERWISE.
    REAR: 35 FEET
    PERIMETER PROPERTY LINE: 50 FEET
13. GRID NORTH IS BASED ON BEARING OF S62°09'10"E BETWEEN TOP CONTROL POINT No. 022 AND 030K. (DISTANCES HAVE NOT BEEN REDUCED TO GRID)
14. LOT 34 IS AN OPEN SPACE LOT, PERMITTED FOR WALKING TRAILS ONLY.

CENTERLINE CURVE TABLE

CURVE	BEARING	DISTANCE	RADIUS	TANGENT	ARC LENGTH
C1	S44°01'11"W	11.95	800.00	5.97	11.95
C2	S50°34'32"W	170.70	900.00	85.84	171.03
C3	S59°13'36"E	173.23	410.00	88.67	174.55
C4	S80°25'24"E	253.16	410.00	134.74	258.47
C5	S29°01'00"E	117.80	285.00	60.14	118.63
C6	S60°07'32"W	180.93	224.55	103.93	194.87
C7	N32°48'20"E	276.04	270.00	150.59	286.75

RIGHTS-OF-WAY AND LOTS CURVE TABLE

CURVE	BEARING	DISTANCE	RADIUS	TANGENT	ARC LENGTH
C8	N42°35'24"E	8.02	531.00	4.01	8.02
C9	S45°26'38"W	70.16	881.50	35.08	70.12
C10	S51°37'10"W	70.08	825.00	35.06	70.00
C11	S55°17'30"W	40.47	875.00	20.24	40.47
C12	N51°54'22"E	12.53	75.00	6.29	12.54
C13	N53°28'18"E	35.36	75.00	18.21	35.72
C14	S45°37'13"W	38.04	50.00	19.92	38.87
C15	N80°32'10"W	65.71	50.00	38.20	65.25
C16	N50°20'00"W	59.58	50.00	37.00	63.82
C17	N43°12'01"E	22.96	50.00	11.74	23.01
C18	N74°59'21"E	21.95	50.00	11.20	22.42
C19	S77°00'05"W	42.19	73.44	22.02	42.79
C20	S60°07'20"W	3.48	33.82	2.74	3.48
C21	S34°41'12"W	54.37	775.00	27.20	54.36
C22	S60°31'37"W	58.14	775.00	29.09	58.15
C23	S02°36'02"W	37.00	20.00	27.50	41.83
C24	S50°13'06"E	109.60	395.00	55.36	109.83
C25	S47°24'26"E	31.82	25.00	18.93	41.90
C26	S20°32'34"W	44.41	345.55	22.26	44.47
C27	S33°28'11"W	72.39	345.55	36.58	72.54
C28	S61°53'07"W	83.01	345.55	42.06	83.40
C29	S63°12'12"W	15.03	345.55	7.54	15.07
C30	N51°52'36"E	107.57	245.00	54.94	108.08
C31	N25°36'11"E	117.34	245.00	59.17	117.53
C32	N02°06'08"E	42.46	245.00	21.39	42.51
C33	S42°31'42"W	58.91	55.54	20.77	59.75
C34	S73°28'46"W	88.33	50.00	57.82	84.78
C35	N28°16'45"W	61.52	50.00	36.02	66.27
C36	N36°12'36"E	49.21	50.00	26.06	48.04
C37	S08°13'27"W	14.18	70.00	7.11	14.18
C38	S32°49'53"W	44.05	75.00	23.04	44.71
C39	N20°22'23"E	88.55	295.00	44.56	88.41
C40	N40°18'57"E	84.91	295.00	42.90	85.21
C41	N58°33'10"E	81.73	295.00	41.26	81.99
C42	S41°03'30"W	118.37	199.55	61.47	120.18
C43	S22°47'30"W	53.38	199.55	26.83	53.64
C44	S30°34'31"E	37.84	25.00	26.58	42.87
C45	N88°41'57"E	158.53	285.00	81.00	154.68
C46	S48°37'36"E	37.96	413.00	19.00	37.97
C47	S88°13'33"W	35.15	25.00	24.72	38.58
C48	S23°09'09"W	47.43	75.00	25.00	48.25
C49	N48°33'56"E	17.10	50.00	8.68	17.19
C50	N67°48'26"E	62.68	50.00	38.17	65.20
C51	S42°47'06"E	58.96	50.00	36.63	62.96
C52	S33°18'38"W	84.29	50.00	61.98	89.82
C53	S76°52'23"W	6.25	50.00	3.13	6.26
C54	N61°01'21"E	47.43	75.00	25.00	48.38
C55	N01°47'27"W	35.56	25.00	25.25	38.56
C56	S88°13'43"W	35.15	25.00	24.71	38.58

GRAPHIC SCALE

(IN FEET)
1 inch = 50 ft.

RECEIVED
JUN 7 2013
TOWN OF FARRAGUT

BEFORE YOU DIG STOP CALL 1-800-351-1111 SOMEONE ONE CALL IT'S THE LAW

5/15/13

SURVEY FOR/OWNER:

PRELIMINARY PLAT OF:

LYNCH SURVEYS LLC
SUBDIVISIONS | AS-BUILTS | SITE DESIGN
4405 COSTER RD. KNOXVILLE, TENN. 37912
865-584-2630 FAX: 865-584-2801 WWW.LYNCHSURVEY.COM

DRAWN BY: R. LYNCH	
CHECKED BY: R. LYNCH	
APPROVED BY: R.S.L.	
SCALE: 1"=50'	
DATE: 05/15/2013	

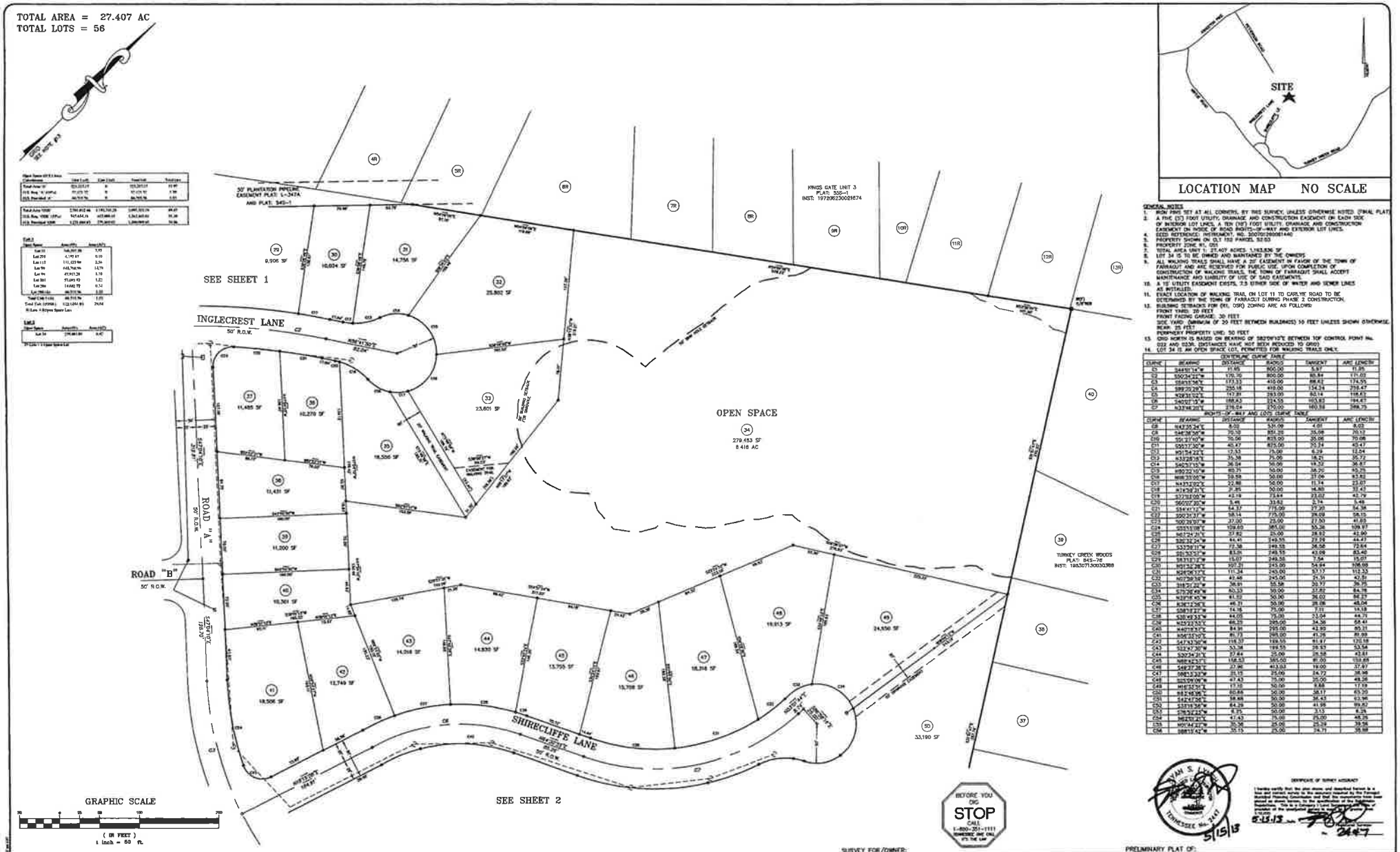
REVISIONS
1
2
3
4
5
6

Saddlebrook Properties LLC
122 Perimeter Park Road
Knoxville, Tennessee 37922
Phone: (865) 690-3200

Sheffield Subdivision – Unit II
Turkey Creek Road
Town of Farragut, Tennessee
District 6, Knox County, Tennessee

PROJECT NO. 3622-1

TOTAL AREA = 27.407 AC
TOTAL LOTS = 56



GENERAL NOTES

1. IRON PINS SET AT ALL CORNERS, BY THIS SURVEY, UNLESS OTHERWISE NOTED. (FINAL PLAT)
2. A FIVE (5') FOOT UTILITY, DRAINAGE AND CONSTRUCTION EASEMENT ON EACH SIDE OF INTERIOR LOT LINES, A TEN (10') FOOT UTILITY, DRAINAGE AND CONSTRUCTION EASEMENT ON INSIDE OF ROAD RIGHTS-OF-WAY AND EXTERIOR LOT LINES.
4. DEED REFERENCE: INSTRUMENT NO. 200701290051440
5. PROPERTY SHOWN ON CLT 152 PARCEL 52.03
6. PROPERTY ZONE R1, OS1
7. TOTAL AREA UNIT 1: 27.407 ACRES 1,193,836 SF
8. LOT 34 IS TO BE OWNED AND MAINTAINED BY THE OWNERS
9. ALL WALKING TRAILS SHALL HAVE A 20' EASEMENT IN FAVOR OF THE TOWN OF FARRAGUT AND ARE RESERVED FOR PUBLIC USE. UPON COMPLETION OF CONSTRUCTION OF WALKING TRAILS, THE TOWN OF FARRAGUT SHALL ACCEPT MAINTENANCE AND LIABILITY OF USE OF SAID EASEMENTS.
10. A 15' UTILITY EASEMENT EXISTS, 7.5 EITHER SIDE OF WATER AND SEWER LINES AS INSTALLED.
11. EXACT LOCATION OF WALKING TRAIL ON LOT 11 TO CARLYE ROAD TO BE DETERMINED BY THE TOWN OF FARRAGUT DURING PHASE 2 CONSTRUCTION.
12. BUILDING SETBACKS FOR (R1, OSR) ZONING ARE AS FOLLOWS:
    FRONT YARD: 30 FEET
    FRONT FACING GARAGE: 30 FEET
    SIDE YARD: (MINIMUM OF 20 FEET BETWEEN BUILDINGS) 10 FEET UNLESS SHOWN OTHERWISE.
    REAR: 35 FEET
    PERIMETER PROPERTY LINE: 50 FEET
13. GRID NORTH IS BASED ON BEARING OF S82°09'13"E BETWEEN TOP CONTROL POINT No. 002 AND 003A. DISTANCES HAVE NOT BEEN REDUCED TO GRID
14. LOT 34 IS AN OPEN SPACE LOT, PERMITTED FOR WALKING TRAILS ONLY.

CENTERLINE CURVE TABLE

CURVE	BEARING	DISTANCE	RADIUS	TANGENT	ARC LENGTH
C1	S44°01'14"W	91.65	800.00	5.97	11.95
C2	S50°24'21"W	170.70	800.00	85.84	171.03
C3	S54°01'56"E	173.33	410.00	88.42	174.55
C4	S89°20'28"E	235.16	410.00	134.24	238.47
C5	N36°31'32"E	117.81	263.00	60.14	118.63
C6	S40°07'12"W	188.63	224.55	103.83	194.47
C7	N33°46'20"E	278.04	270.00	160.38	288.75

RIGHTS-OF-WAY AND LOTS CURVE TABLE

CURVE	BEARING	DISTANCE	RADIUS	TANGENT	ARC LENGTH
C8	N43°30'24"E	8.02	531.00	4.01	8.03
C9	S46°36'58"W	70.10	831.00	35.08	70.12
C10	N50°31'10"W	70.06	825.00	35.06	70.08
C11	S50°17'30"W	40.47	875.00	20.24	40.47
C12	N51°54'22"E	12.53	75.00	6.29	12.54
C13	N33°28'38"E	25.38	75.00	12.81	25.27
C14	S42°51'15"W	36.54	50.00	19.22	36.87
C15	N80°22'10"E	63.71	50.00	38.20	63.25
C16	N66°33'00"W	59.58	50.00	37.06	63.83
C17	N43°12'02"E	22.88	50.00	11.74	23.07
C18	N74°58'21"E	37.85	50.00	18.80	37.42
C19	S73°55'00"W	42.19	73.44	22.02	42.79
C20	S60°03'30"W	3.48	33.82	1.74	3.48
C21	S54°10'17"W	64.37	775.00	32.20	64.38
C22	S54°10'17"W	58.14	775.00	29.08	58.15
C23	S00°28'05"W	27.00	25.00	27.00	41.83
C24	S83°53'08"E	109.63	361.00	55.26	109.97
C25	N42°34'35"E	37.82	25.00	23.03	42.90
C26	S86°22'24"W	44.41	248.55	22.28	44.47
C27	S33°55'11"W	72.58	248.55	36.58	72.84
C28	S85°55'37"W	83.01	248.55	42.08	83.40
C29	S83°31'17"W	15.07	248.55	7.54	15.07
C30	N51°52'26"E	107.21	243.00	54.44	108.08
C31	N26°06'17"E	111.34	243.00	57.17	112.33
C32	N07°39'38"E	42.48	245.00	21.35	42.91
C33	S85°22'20"W	36.91	55.58	20.77	36.75
C34	S75°26'49"W	60.33	50.00	37.82	64.18
C35	N33°16'40"W	81.52	50.00	56.03	94.37
C36	N36°12'56"E	46.71	50.00	25.08	48.04
C37	S08°58'21"W	14.16	75.00	7.11	14.18
C38	S30°49'35"W	44.05	75.00	23.04	44.71
C39	N25°21'53"E	66.55	205.00	34.38	66.41
C40	N40°58'37"E	84.99	205.00	43.09	85.31
C41	N56°35'10"E	81.73	205.00	41.26	81.99
C42	S47°43'26"W	118.37	199.55	61.47	120.18
C43	S32°47'38"W	53.38	199.55	26.93	53.64
C44	S20°34'31"E	37.44	35.00	20.58	42.61
C45	N88°42'27"E	158.53	361.00	81.00	159.88
C46	S48°37'38"E	37.96	413.03	19.00	37.97
C47	S86°53'33"W	35.13	25.00	24.72	38.98
C48	N05°09'09"W	47.43	75.00	25.00	48.26
C49	N16°32'51"E	17.12	50.00	8.68	17.19
C50	N42°45'08"E	60.84	50.00	38.17	65.00
C51	S42°47'26"E	59.88	50.00	36.43	63.96
C52	S33°16'36"W	64.29	50.00	41.98	69.82
C53	S25°32'23"W	6.93	50.00	3.53	6.95
C54	N62°01'21"E	47.43	75.00	25.00	48.26
C55	N01°44'21"W	30.36	25.00	20.29	39.56
C56	S88°15'42"W	30.15	25.00	19.71	38.58

SURVEY FOR/OWNER:

PRELIMINARY PLAT OF:

CERTIFICATE OF SURVEY ACCURACY

I hereby certify that the plat shown and described hereon is a true and correct survey to the standard required by the Farragut Subdivision Regulations and that the survey was made under my direction or supervision and that the information shown hereon is based on actual survey, to the specifications of the Subdivision Regulations. This is a Category (1) land survey.

Surveyor of the employment of

5-15-13

5/15/13

LYNCH SURVEYS LLC
SUBDIVISIONS | AS-BUILTS | SITE DESIGN
4405 COSTER RD. KNOXVILLE, TENN. 37912
865-584-2630 FAX: 865-584-2801 WWW.LYNCHSURVEY.COM

	REVISIONS
DRAWN BY: R. LYNCH	1
CHECKED BY: R. LYNCH	2
APPROVED BY: R.S.L.	3
SCALE: 1"=50'	4
DATE: 05/15/2013	5
	6

Saddlebrook Properties LLC
122 Perimeter Park Road
Knoxville, Tennessee 37922
Phone: (865) 690-3200

Sheffield Subdivision – Unit II
Turkey Creek Road
Town of Farragut, Tennessee
District 6, Knox County, Tennessee

PROJECT NO.
3622-1
SHEET 4 OF 25

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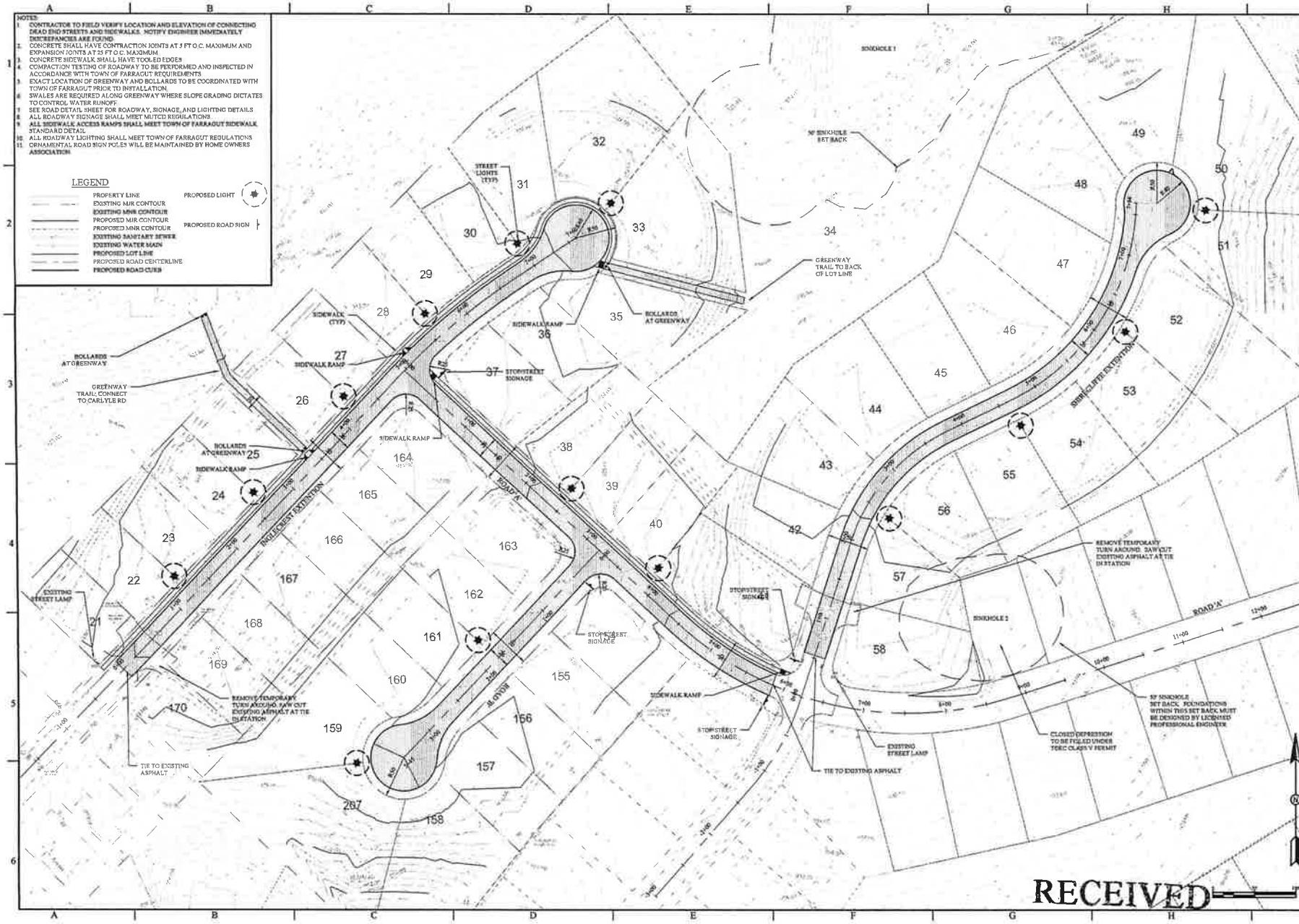
NOTES:

1. CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION OF CONNECTING DEAD END STREETS AND SIDEWALKS. NOTIFY ENGINEER IMMEDIATELY DISCREPANCIES ARE FOUND.
2. CONCRETE SHALL HAVE CONTRACTION JOINTS AT 5 FT O.C. MAXIMUM AND EXPANSION JOINTS AT 25 FT O.C. MAXIMUM.
3. CONCRETE SIDEWALK SHALL HAVE TOOLED EDGES
4. COMPACTION TESTING OF ROADWAY TO BE PERFORMED AND INSPECTED IN ACCORDANCE WITH TOWN OF FARRAGUT REQUIREMENTS
5. EXACT LOCATION OF GREENWAY AND BOLLARDS TO BE COORDINATED WITH TOWN OF FARRAGUT PRIOR TO INSTALLATION.
6. SWALES ARE REQUIRED ALONG GREENWAY WHERE SLOPE GRADING DICTATES TO CONTROL WATER RUNOFF.
7. SEE ROAD DETAIL SHEET FOR ROADWAY, SIGNAGE, AND LIGHTING DETAILS
8. ALL ROADWAY SIGNAGE SHALL MEET MUTCD REGULATIONS.
9. ALL SIDEWALK ACCESS RAMPS SHALL MEET TOWN OF FARRAGUT SIDEWALK STANDARD DETAIL
10. ALL ROADWAY LIGHTING SHALL MEET TOWN OF FARRAGUT REQULATIONS
11. ORNAMENTAL ROAD SIGN POLES WILL BE MAINTAINED BY HOME OWNERS ASSOCIATION.

LEGEND

- PROPERTY LINE
- EXISTING MJR CONTOUR
- EXISTING MNR CONTOUR
- PROPOSED MJR CONTOUR
- PROPOSED MNR CONTOUR
- EXISTING SANITARY SEWER
- EXISTING WATER MAIN
- PROPOSED LOT LINE
- PROPOSED ROAD CENTERLINE
- PROPOSED ROAD CURB
- PROPOSED LIGHT
- PROPOSED ROAD SIGN



Revisions				
Number	Date	Description	Date	Approved
1	2/21/13	STAFF COMMENTS	2/21/13	

Designed By: BNR
Checked By: BNR
Date: 5/16/13
Title Number:

DEVELOPER:
SADDLEBROOK PROPERTIES
PO BOX 23190
KNOXVILLE, TN 37933

Rackley Engineering

SHEFFIELD UNIT 2
FARRAGUT, TN
ROAD, LIGHTING, SIGNAGE PLAN

Sheet
CR.01
SHEET 5 OF 25

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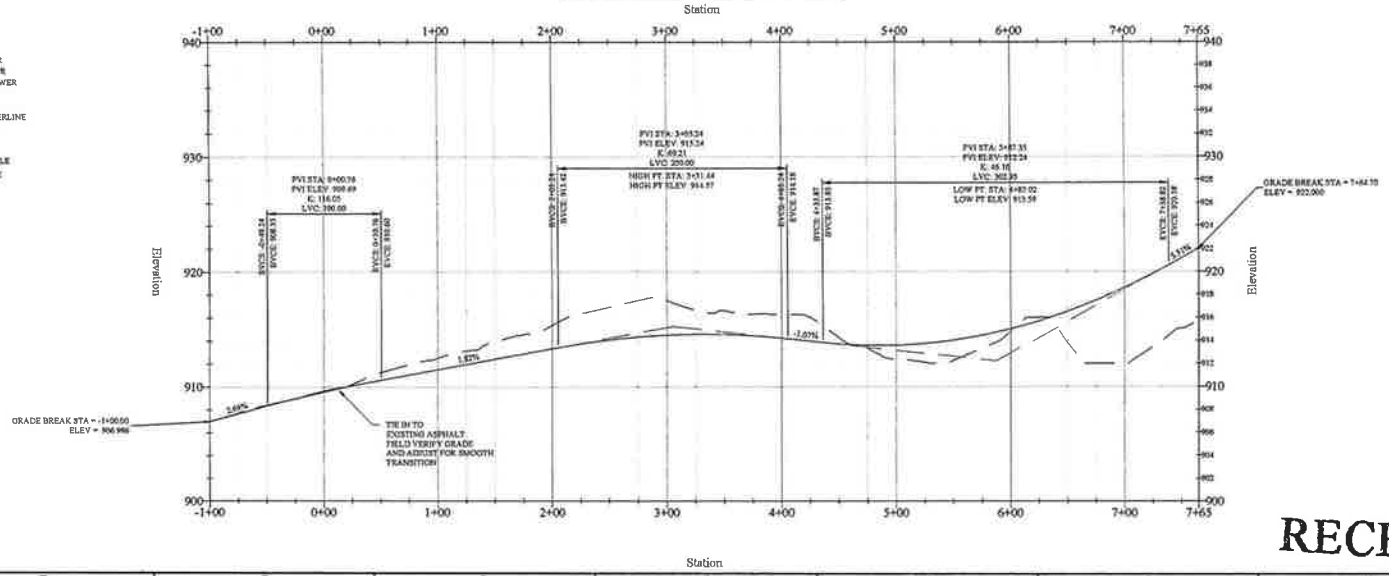
TOWN OF FARRAGUT

INGLECREST EXT PROFILE

LEGEND

- PROPERTY LINE
- EXISTING MJR CONTOUR
- EXISTING MNR CONTOUR
- EXISTING SANITARY SEWER
- EXISTING WATER MAIN
- PROPOSED LOT LINE
- PROPOSED ROAD CENTERLINE
- PROPOSED ROAD CURB
- EXISTING GRADE PROFILE
- DESIGN GRADE PROFILE



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TOWN OF FARRAGUT

DEVELOPER:
SADDLEBROOK PROPERTIES
10640 KINGSTON PIKE, STE 101
KNOXVILLE, TN 37933

Rackley Engineering
P.O. BOX 22 FARRAGUT, TN 37909
www.RACKLEYENGINEERING.com

Designed By: RNR
Checked By: RNR
Date: 05/17/13
File Name: 1-Inglecrest Ext Profile.dwg

Revisions			
Number	No.	Description	Date
	1	STAFF COMMENTS	5/28/13

SHEFFIELD UNIT 2
FARRAGUT, TN
INGLECREST PROFILE

Sheet
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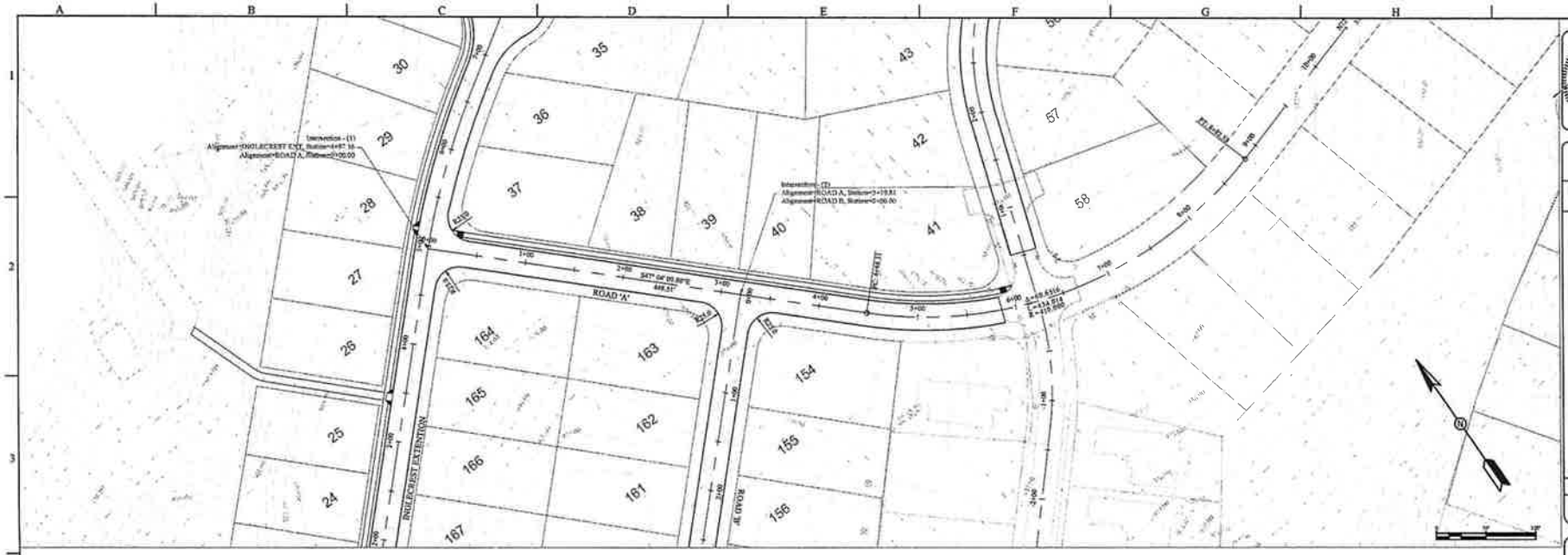
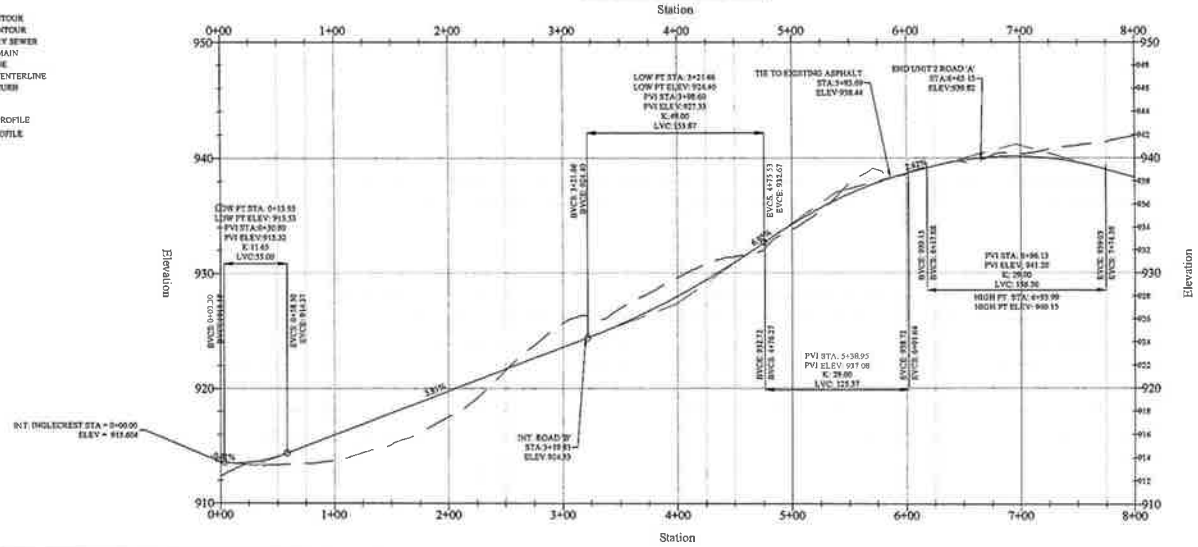
SHEET 6 OF 25



LEGEND

- PROPERTY LINE
- EXISTING MJR CONTOUR
- EXISTING MNR CONTOUR
- EXISTING SANITARY SEWER
- EXISTING WATER MAIN
- PROPOSED LOT LINE
- PROPOSED ROAD CENTERLINE
- PROPOSED ROAD CURB
- EXISTING GRADE PROFILE
- DESIGN GRADE PROFILE

ROAD A PROFILE



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JUN 17 2013

TOWN OF FARRAGUT

Revisions				
Code(s)	Rev.	Description	Date	Approved
	1	STAFF COMMENTS	6/6/13	RNR

Designed By: RNR
Checked By: RNR
Date: 05/17/13
File Name:

DEVELOPER
SADDLEBROOK PROPERTIES
PO BOX 23190
KNOXVILLE, TN 37933

Rackley Engineering

SHEFFIELD UNIT 2
FARRAGUT, TN
ROAD 'A' PROFILE

Sheet
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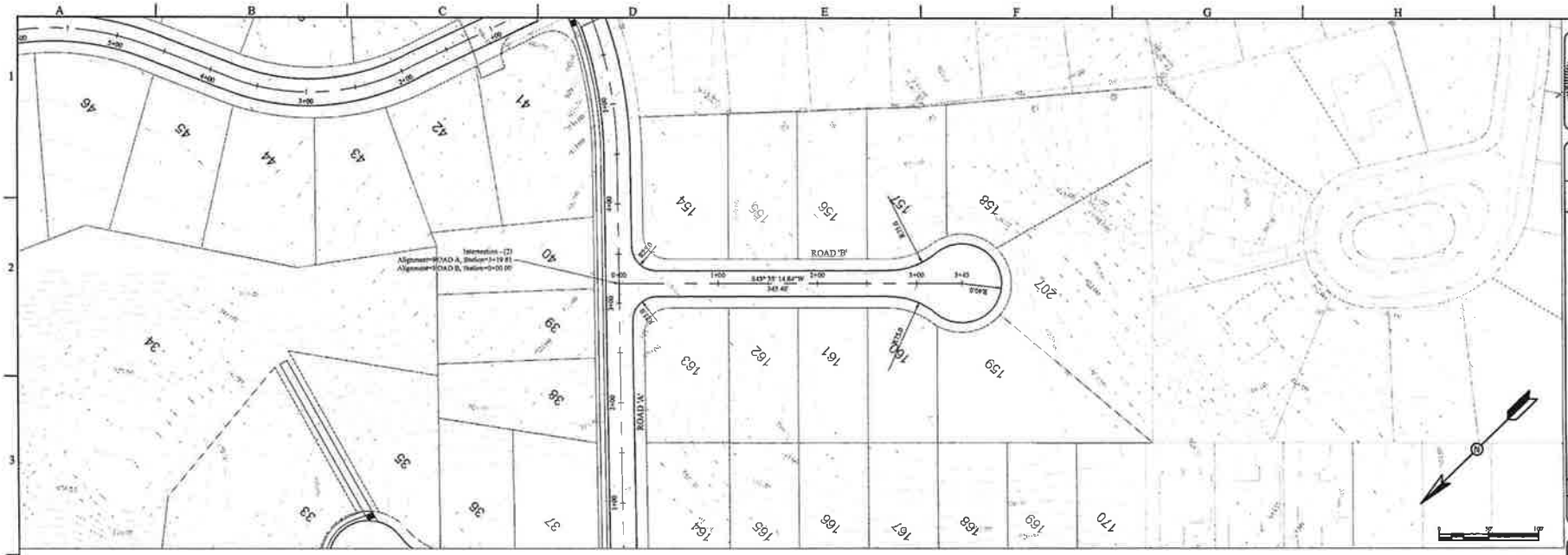
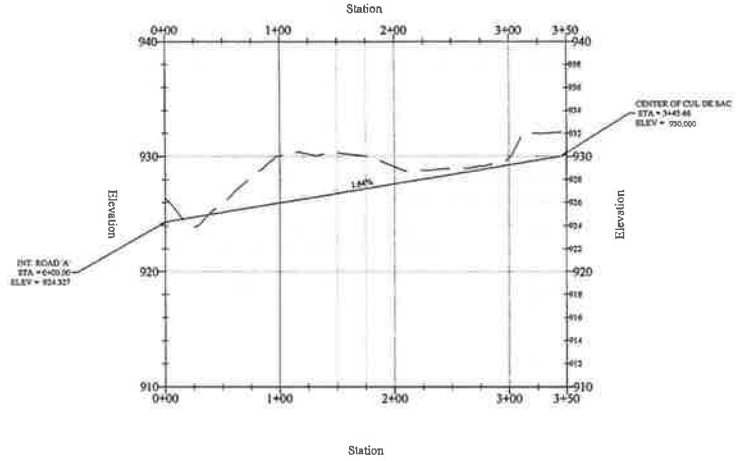
SHEET 7 OF 25



LEGEND

- PROPERTY LINE
- EXISTING MJR CONTOUR
- EXISTING MNR CONTOUR
- EXISTING SANITARY SEWER
- EXISTING WATER MAIN
- PROPOSED LOT LINE
- PROPOSED ROAD CENTERLINE
- PROPOSED ROAD CURB
- EXISTING GRADE PROFILE
- DESIGN GRADE PROFILE

ROAD B PROFILE



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JUN 7 2013

TOWN OF FARRAGUT

Revisions				
Symbol	No.	Description	Date	By	Approved
	1	STAFF COMMENTS	6/05/13	RNR	

DEVELOPER:
SADDLEBROOK PROPERTIES
10820 CROSSROADS CIR.
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Designed By: RNR
Checked By: RNR
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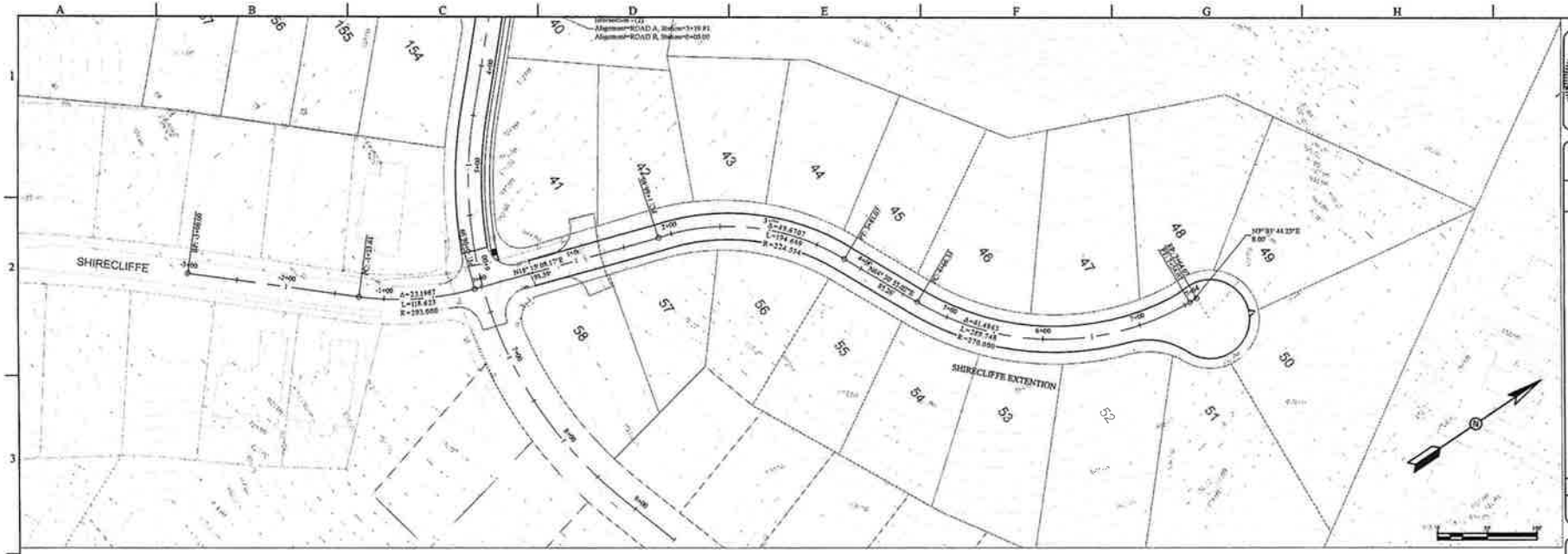
SHEFFIELD UNIT 2
FARRAGUT, TN
ROAD B PROFILE

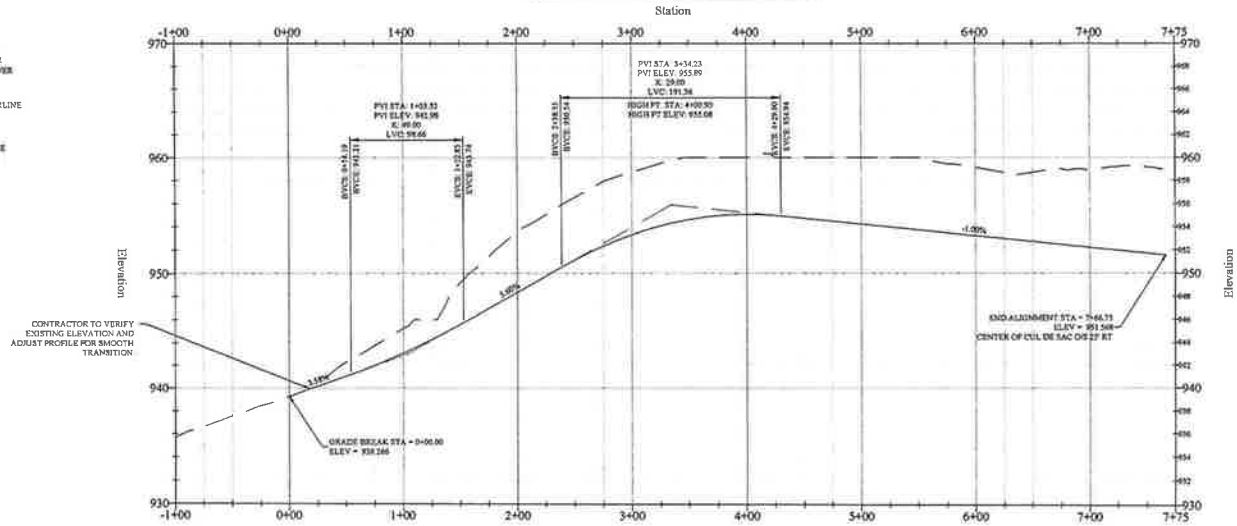
Sheet
CR.04
SHEET 8 OF 25



SHIRECLIFFE EXT PROFILE

LEGEND

- PROPERTY LINE
- EXISTING MJR CONTOUR
- EXISTING MNR CONTOUR
- EXISTING SANITARY SEWER
- EXISTING WATER MAIN
- PROPOSED LOT LINE
- PROPOSED ROAD CENTERLINE
- PROPOSED ROAD CURB
- EXISTING GRADE PROFILE
- DESIGN GRADE PROFILE



DEVELOPER:
SADDLEBROOK PROPERTIES
P.O. BOX 23199
KNOXVILLE, TN 37933

Designed by: RNR
Checked By: RNR
Date: 5/7/13
File Name:

Backley Engineering

SHEFFIELD UNIT 2
FARRAGUT, TN
SHIRECLIFFE PROFILE

Sheet
CR.05
SHEET 9 OF 25

Symbol	No	Description	Date	By	Approved
	1	STAFF COMMENTS	6/6/13	RNR	

Revisions

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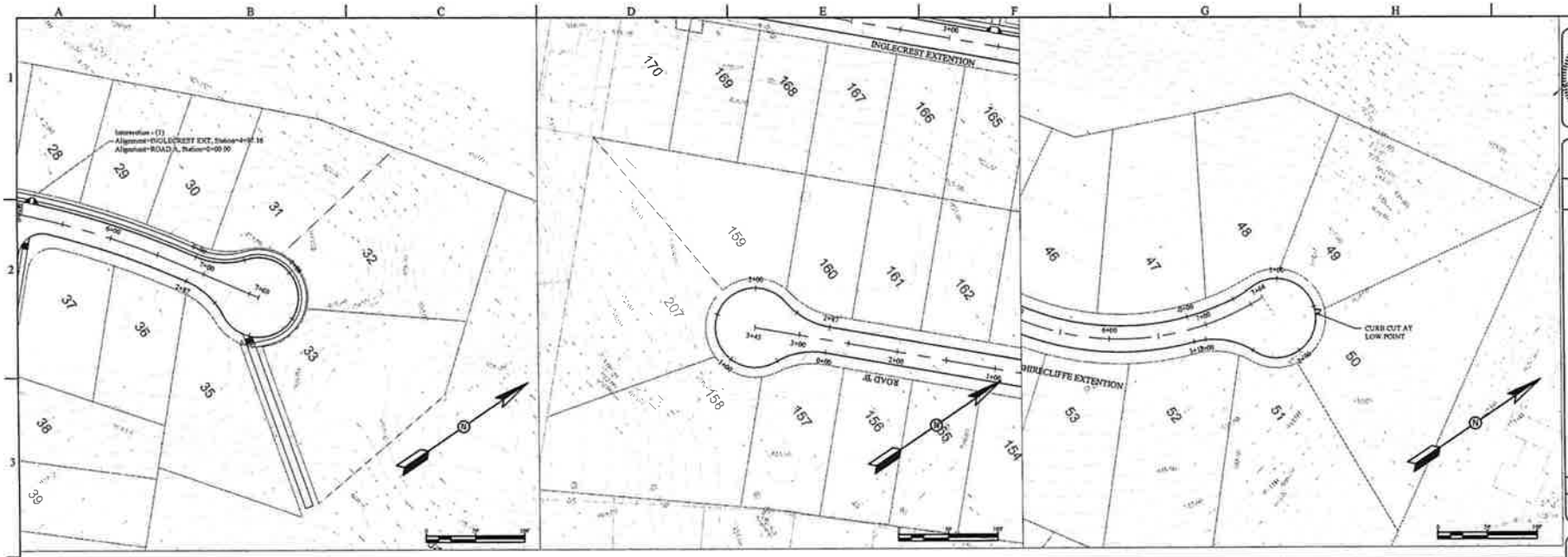
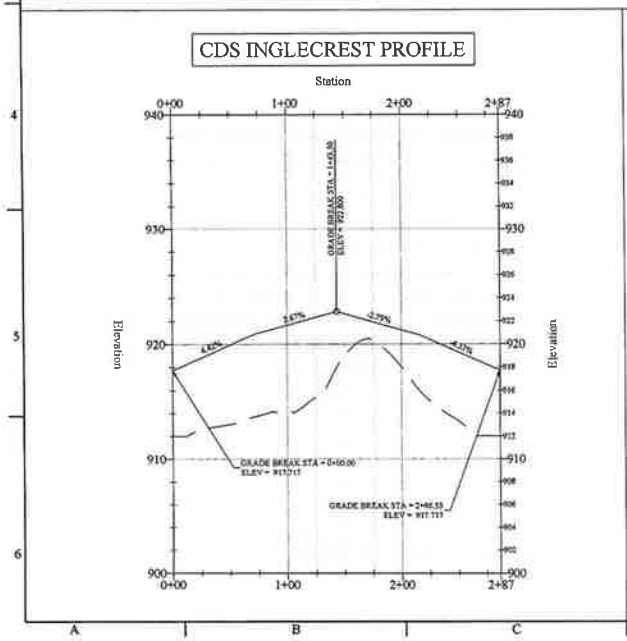
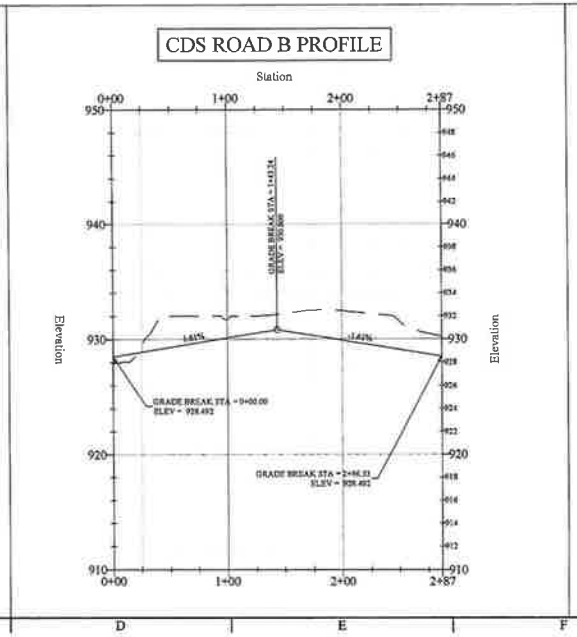
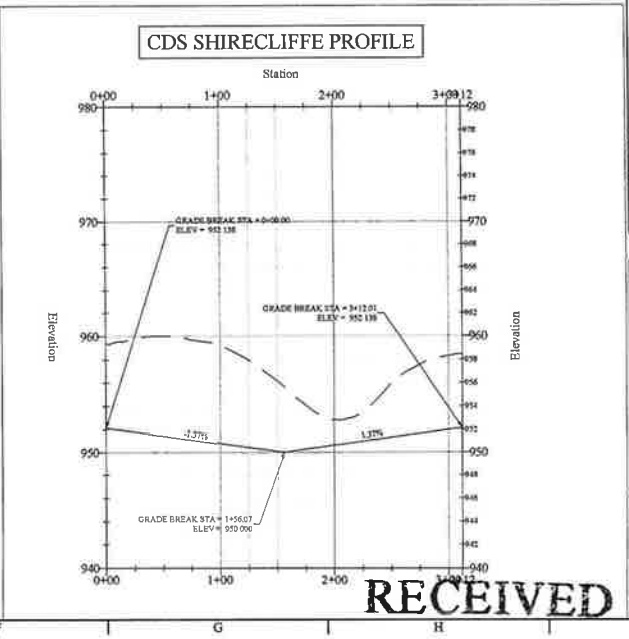
JUN 7 2013
TOWN OF FARRAGUT









DEVELOPER:
SADDLEBROOK PROPERTIES
P.O. BOX 23190
KNOXVILLE, TN 37933

Rackley Engineering

Designed By: RNR
Checked By: RNR
Date: 5/31/13

Number	Date	Description	Revised By
1	5/31/13	STAFF COMMENTS	RNR

SHEFFIELD UNIT 2
FARRAGUT, TN
CUL DE SAC PROFILES
FACE OF CURB

Sheet
CR.06
SHEET 10 OF 25

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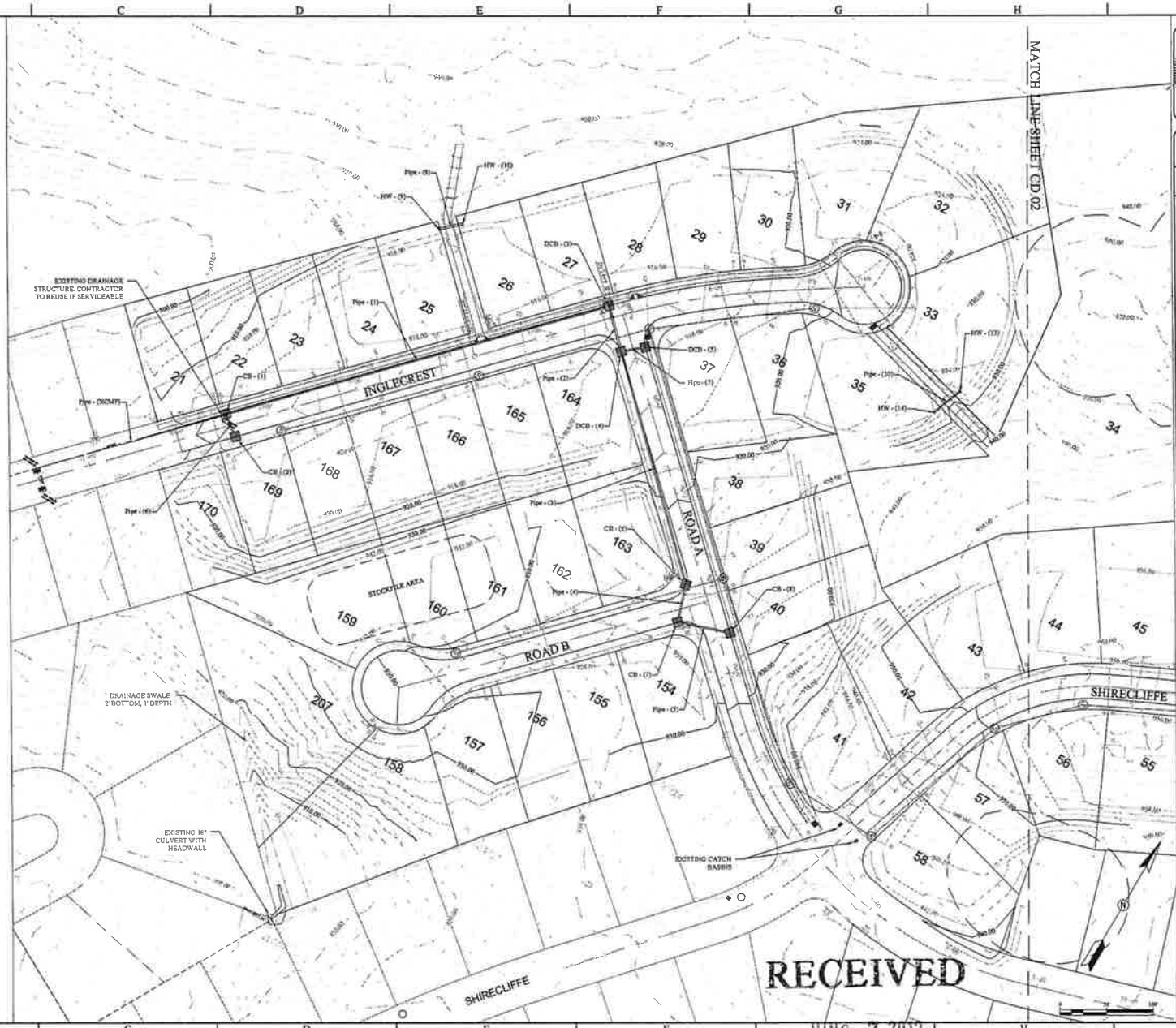
TOWN OF FARRAGUT

GRADING & DRAINAGE NOTES

1. THE CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES AROUND THE WORK AND SHALL PROVIDE PROTECTION AGAINST WATER DAMAGE AND SOIL EROSION.
2. ALL SILT BARRIERS MUST BE PLACED AS ACCESS IS OBTAINED DURING CLEARING. NO GRADING SHALL BE DONE UNTIL SILT BARRIE AND DETENTION FACILITIES ARE CONSTRUCTED.
3. ALL SEDIMENT CONTROL DEVICES ARE TO BE CONSTRUCTED AND FULLY OPERATIONAL PRIOR TO ANY OTHER CONSTRUCTION OR GRADING. ALL SEDIMENT CONTROL DEVICES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE TENNESSEE EROSION AND SEDIMENT CONTROL HANDBOOK.
4. COMPACTION OF THE BACK FILL OF ALL TRENCHES SHALL BE COMPACTED TO THE DENSITY OF 95% OF THEORETICAL MAXIMUM DRY DENSITY (ASTM D698). BACK FILL MATERIAL SHALL BE FREE FROM ROOTS, STUMPS, OR OTHER FOREIGN DEBRIS AND SHALL SHALL BE PLACED AT OR NEAR OPTIMUM MOISTURE. CORRECTION OF ANY TRENCH SETTLEMENT WITHIN A YEAR FROM THE DATE OF APPROVAL WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL FILL MATERIAL TO BE UTILIZED ON THE PROJECT SHALL BE FREE OF ORGANIC OR OTHERWISE DELETERIOUS MATERIALS AND COMPACTED TO MINIMUM DRY DENSITIES CORRESPONDING TO 93% OF MAXIMUM DRY DENSITY AS OBTAINED BY STANDARD PROCTOR, ASTM D698 AND AT LEAST 98% OF STANDARD PROCTOR WITHIN 1 FOOT BELOW PAVEMENT SUBGRADE. FILL SHALL BE PLACED IN LIFTS NOT TO EXCEED 6 INCHES IN COMPACTED FILL THICKNESS. A REPORT FROM A GEOTECHNICAL ENGINEER MAY BE REQUIRED BY THE PUBLIC WORKS INSPECTOR.
6. MAXIMUM SLOPE OF EMBANKMENT SHALL BE 3.0 FEET HORIZONTAL TO 1.0 FOOT VERTICAL.
7. PROPOSED CONTOUR INTERVALS ARE 2 FOOT INTERVALS. ALL PROPOSED CONTOURS ARE FINISHED GRADE.
8. ALL CASTINGS SHALL INCLUDE THE FOLLOWING TEXT "DUMP NO WASTE, DRAINS TO RIVER".
9. THE CONTRACTOR WILL INSURE THAT POSITIVE AND ADEQUATE DRAINAGE IS MAINTAINED AT ALL TIMES WITHIN THE PROJECT LIMITS. THIS MAY INCLUDE, BUT NOT BE LIMITED TO, REPLACEMENT OR RECONSTRUCTION OF EXISTING DRAINAGE STRUCTURES THAT HAVE BEEN DAMAGED OR REMOVED OR REGRADING AS REQUIRED BY THE ENGINEER, EXCEPT FOR THOSE DRAINAGE ITEMS SHOWN AT SPECIFIC LOCATIONS IN AND HAVING SPECIFIC PAY ITEMS IN THE DETAILED ESTIMATE. NO SEPARATE PAYMENT WILL BE MADE AT ANY COSTS INCURRED TO COMPLY WITH THIS REQUIREMENT.
10. NOTHING IN THE GENERAL NOTES OR SPECIAL PROVISIONS SHALL RELIEVE THE CONTRACTOR FORM HIS RESPONSIBILITIES TOWARD SAFETY OF THE GENERAL PUBLIC AND WORKMAN SAFETY.

LEGEND

- EXISTING LOT LINE
- EXISTING MJR CONTOUR
- EXISTING MNR CONTOUR
- EXISTING SANITARY SEWER
- EXISTING WATER MAIN
- EXISTING DRAINAGE PIPE
- PROPOSED LOT LINE
- PROPOSED WATER MAIN
- PROPOSED SANITARY SEWER
- PROPOSED ROAD CENTERLINE
- PROPOSED ROAD CURB
- PROPOSED MJR CONTOUR
- PROPOSED MNR CONTOUR
- PROPOSED DRAINAGE PIPE



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JUN 7 2013
TOWN OF FARRAGUT

DEVELOPER:
SADDLEBROOK PROPERTIES
PO BOX 23190
KNOXVILLE, TN 37933

Rackley Engineering
P.O. BOX 1130, MARYVILLE, TN 37802
WWW.RACKLEYENGINEERING.COM

Designed By: RNR
Checked By: RNR
Date: 5/18/13
File Name:

SHEFFIELD UNIT 2
FARRAGUT, TN
GRADING AND DRAINAGE

Sheet
CD.01
SHEET 12 OF 25

STRUCTURE TABLE			
STRUCTURE NAME:	DETAILS:	PIPES IN:	PIPES OUT
CB - (1)	NF 3246-AL RIM = 910.45 SUMP = 904.7 INV IN = 904.71 INV IN = 905.66 INV OUT = 904.66	Pipe - (1), 24" RCP INV IN =904.71 Pipe - (6), 18" RCP INV IN =905.66	Pipe - (XCMP), 24" CMP INV OUT =904.66
CB - (2)	NF 3246-AL RIM = 910.51 SUMP = 906.7 INV OUT = 906.68		Pipe - (6), 18" RCP INV OUT =906.68
CB - (6)	NF 3246-AL RIM = 923.43 SUMP = 919.2 INV IN = 919.30 INV OUT = 919.20	Pipe - (4), 18" RCP INV IN =919.30	Pipe - (5), 18" RCP INV OUT =919.20
CB - (7)	NF 3246-AL RIM = 924.68 SUMP = 920.3 INV IN = 920.44 INV OUT = 920.34	Pipe - (5), 18" RCP INV IN =920.44	Pipe - (4), 18" RCP INV OUT =920.34
CB - (8)	NF 3246-AL RIM = 925.71 SUMP = 921.9 INV OUT = 921.88		Pipe - (3), 18" RCP INV OUT =921.88
DCB - (3)	NF 3246-AL RIM = 915.33 SUMP = 908.5 INV IN = 908.55 INV OUT = 908.46	Pipe - (2), 24" RCP INV IN =908.56	Pipe - (1), 24" RCP INV OUT =908.46
DCB - (4)	NF 3246-AL RIM = 913.31 SUMP = 909.0 INV IN = 909.05 INV IN = 909.13 INV OUT = 909.03	Pipe - (3), 18" RCP INV IN =909.05 Pipe - (7), 18" RCP INV IN =909.13	Pipe - (2), 24" RCP INV OUT =909.03
DCB - (5)	NF 3246-AL RIM = 913.36 SUMP = 909.5 INV OUT = 909.53		Pipe - (7), 18" RCP INV OUT =909.53
HW - (9)	??? RIM = 916.12 SUMP = ??? INV IN = 913.20	Pipe - (8), 24" RCP INV IN =913.20	
HW - (10)	??? RIM = 916.25 SUMP = ??? INV OUT = 913.33		Pipe - (8), 24" RCP INV OUT =913.33
HW - (13)	??? RIM = 926.16 SUMP = ??? INV OUT = 923.83		Pipe - (10), 18" RCP INV OUT =923.83
HW - (14)	??? RIM = 925.83 SUMP = ??? INV IN = 923.50	Pipe - (10), 18" RCP INV IN =923.50	

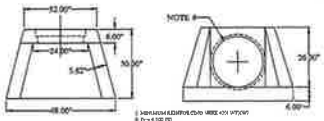
??? = DATA FIELD NOT APPLICABLE TO STRUCTURE TYPE

Pipe Table				
NAME	SIZE	LENGTH	SLOPE	MATERIAL
Pipe - (1)	24"	128.68'	0.88%	RCP
Pipe - (2)	24"	50.11'	0.93%	RCP
Pipe - (3)	18"	258.47'	3.93%	RCP
Pipe - (4)	18"	41.63'	2.30%	RCP
Pipe - (5)	18"	57.30'	2.50%	RCP
Pipe - (6)	18"	28.24'	3.89%	RCP
Pipe - (7)	18"	28.12'	3.55%	RCP
Pipe - (8)	24"	26.64'	0.49%	RCP
Pipe - (10)	18"	36.36'	0.91%	RCP
Pipe - (XCMP)	24"	213.08'	2.52%	CMP EXISTING

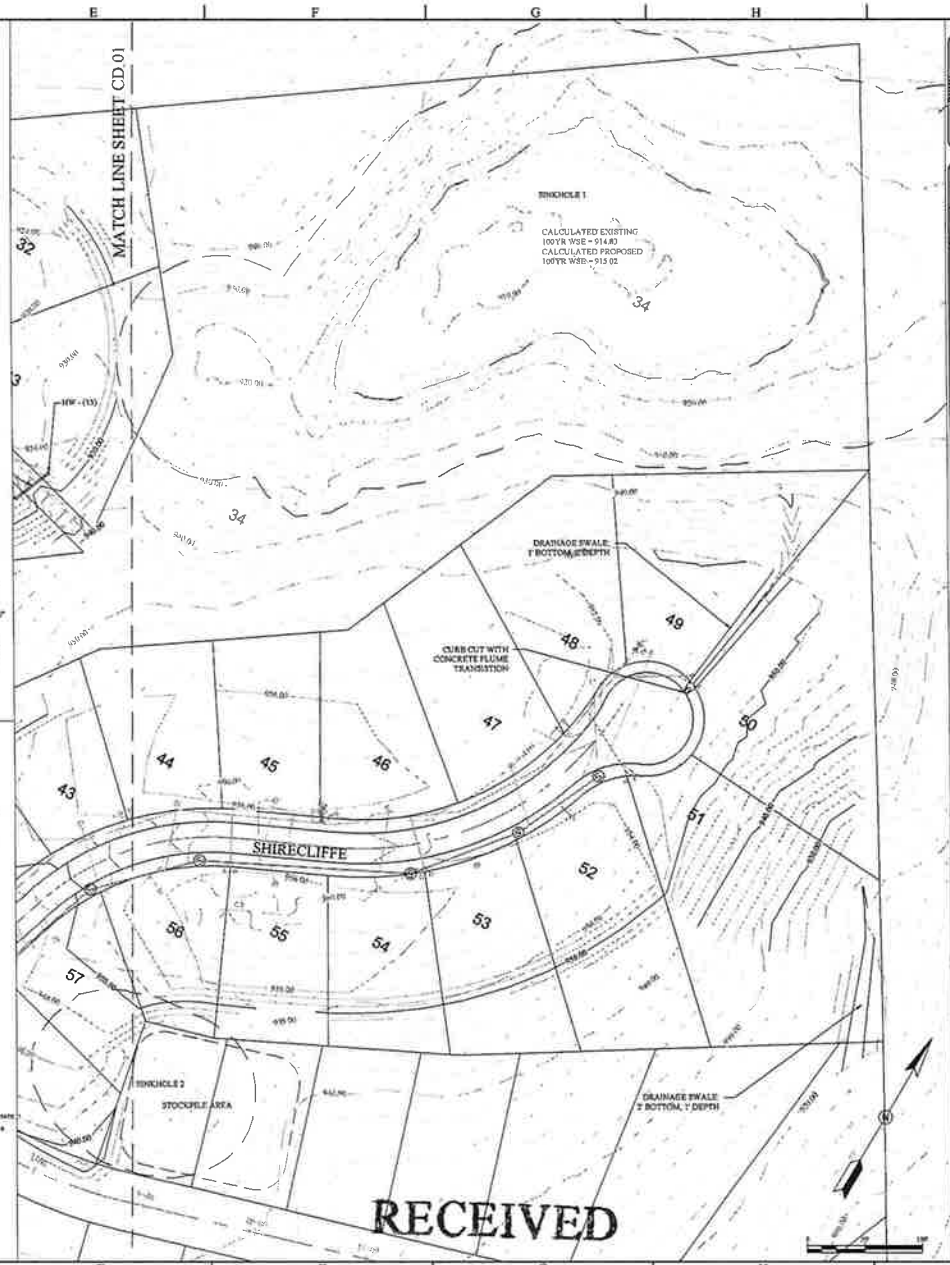
PIPE (9) OMITTED FROM PLAN

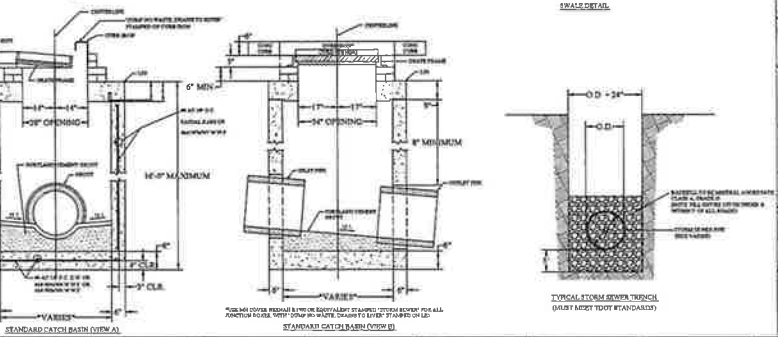
LEGEND

- EXISTING LOT LINE
- EXISTING MJR CONTOUR
- EXISTING MNR CONTOUR
- EXISTING SANITARY SEWER
- EXISTING WATER MAIN
- EXISTING DRAINAGE PIPE
- PROPOSED LOT LINE
- PROPOSED WATER MAIN
- PROPOSED SANITARY SEWER
- PROPOSED ROAD CENTERLINE
- PROPOSED ROAD CURB
- PROPOSED MJR CONTOUR
- PROPOSED MNR CONTOUR
- PROPOSED DRAINAGE PIPE



HEADWALL DETAIL





TYPICAL STORM SEWER TRENCH
(MUST MEET TDOT STANDARDS)

RECEIVED

JUN 7 2013

TOWN OF FARRAGUT

DEVELOPER:
SADDLEBROOK PROPERTIES
PO BOX 23190
KNOXVILLE, TN 37933

Designed By: RNR
Checked By: RNR
Date: 05/17/13

Rackley Engineering
P.O. BOX 1142 CLINTON, TN 37717
CIVIL ENGINEERING • SURVEYING • PLANNING

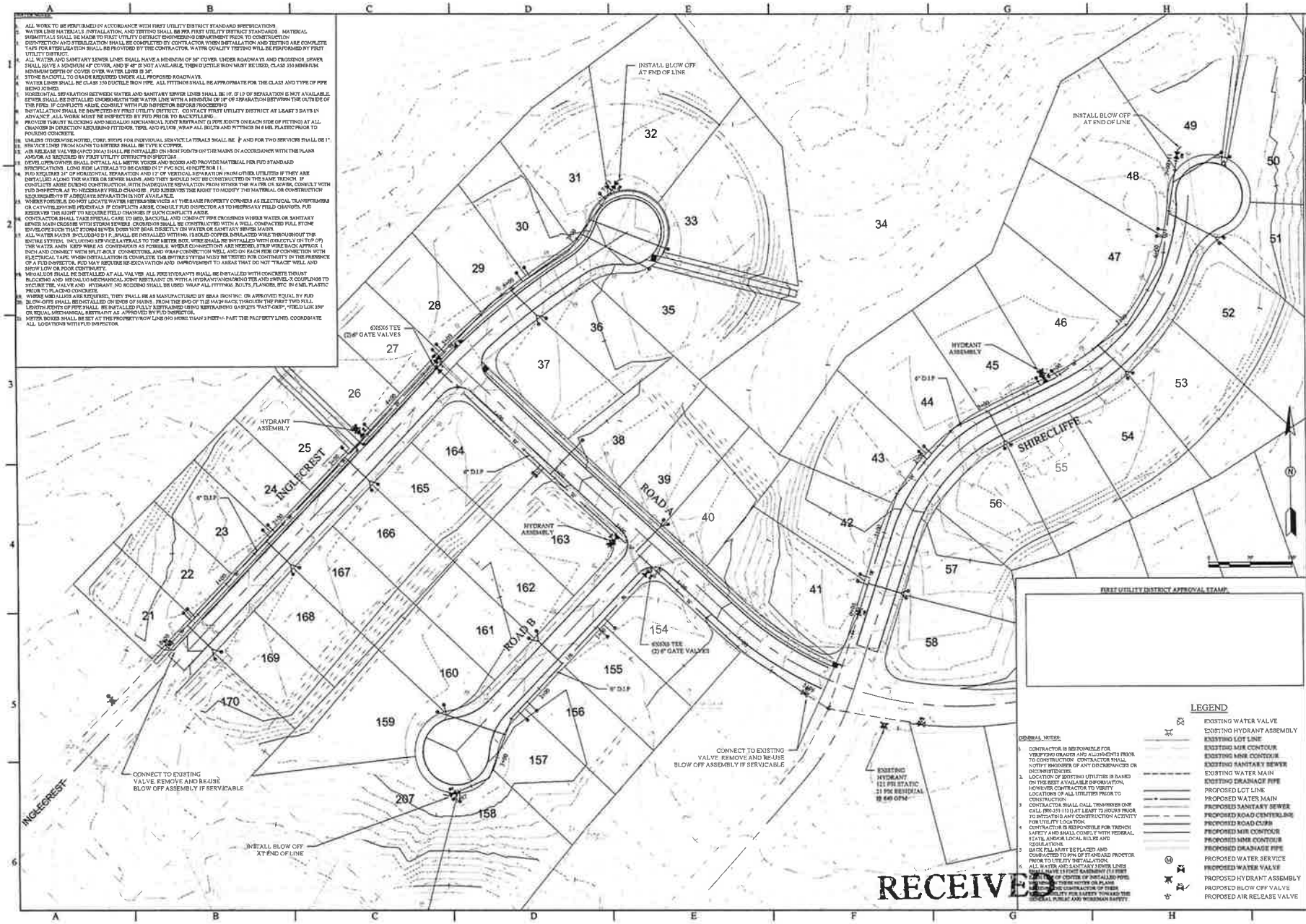
Revisions			
Symbol	Date	Description	Approved
1	06/07/13	STAFF COMMENTS	RNR

SHEFFIELD UNIT 2
FARRAGUT, TN
GRADING AND DRAINAGE

Sheet
CD.02
SHEET 13 OF 25

GENERAL NOTES:

1. ALL WORK TO BE PERFORMED IN ACCORDANCE WITH FIRST UTILITY DISTRICT STANDARD SPECIFICATIONS.
2. WATER LINE MATERIALS, INSTALLATION, AND TESTING SHALL BE PER FIRST UTILITY DISTRICT STANDARDS. MATERIAL SUBMITTALS SHALL BE MADE TO FIRST UTILITY DISTRICT ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
3. DISINFECTION AND STERILIZATION SHALL BE COMPLETED BY CONTRACTOR WHEN INSTALLATION AND TESTING ARE COMPLETE. TAPS FOR STERILIZATION SHALL BE PROVIDED BY THE CONTRACTOR. WATER QUALITY TESTING WILL BE PERFORMED BY FIRST UTILITY DISTRICT.
4. ALL WATER AND SANITARY SEWER LINES SHALL HAVE A MINIMUM OF 36" COVER. UNDER ROADWAYS AND CROSSINGS SEWER SHALL HAVE A MINIMUM 48" COVER, AND IF 48" IS NOT AVAILABLE, THEN DUCTILE IRON MUST BE USED, CLASS 350 MINIMUM. MINIMUM DEPTH OF COVER OVER WATER LINES IS 36".
5. STONE BACKFILL TO GRADE REQUIRED UNDER ALL PROPOSED ROADWAYS.
6. WATER LINES SHALL BE CLASS 350 DUCTILE IRON PIPE. ALL FITTINGS SHALL BE APPROPRIATE FOR THE CLASS AND TYPE OF PIPE BEING JOINED.
7. HORIZONTAL SEPARATION BETWEEN WATER AND SANITARY SEWER LINES SHALL BE 10'. IF 10' OF SEPARATION IS NOT AVAILABLE, SEWER SHALL BE INSTALLED UNDERNEATH THE WATER LINE WITH A MINIMUM OF 18" OF SEPARATION BETWEEN THE OUTSIDE OF THE PIPES. IF CONFLICTS ARISE, CONSULT WITH FUD INSPECTOR BEFORE PROCEEDING.
8. INSTALLATION SHALL BE INSPECTED BY FIRST UTILITY DISTRICT. CONTACT FIRST UTILITY DISTRICT AT LEAST 3 DAYS IN ADVANCE. ALL WORK MUST BE INSPECTED BY FUD PRIOR TO BACKFILLING.
9. PROVIDE THRUST BLOCKING AND MEGALUG MECHANICAL JOINT RESTRAINT (3 PIPE JOINTS ON EACH SIDE OF FITTING) AT ALL CHANGES IN DIRECTION REQUIRING FITTINGS, TEES, AND PLUGS. WRAP ALL BOLTS AND FITTINGS IN 6 MIL PLASTIC PRIOR TO POURING CONCRETE.
10. UNLESS OTHERWISE NOTED, CORP. STOPS FOR INDIVIDUAL SERVICE LATERALS SHALL BE 1" AND FOR TWO SERVICES SHALL BE 1".
11. SERVICE LINES FROM MAINS TO METERS SHALL BE TYPE K COPPER.
12. AIR RELEASE VALVES (APCO 200A) SHALL BE INSTALLED ON HIGH POINTS ON THE MAINS IN ACCORDANCE WITH THE PLANS AND/OR AS REQUIRED BY FIRST UTILITY DISTRICT'S INSPECTORS.
13. DEVELOPER/OWNER SHALL INSTALL ALL METER YOKES AND BOXES AND PROVIDE MATERIAL PER FUD STANDARD SPECIFICATIONS. LONG SIDE LATERALS TO BE CASED IN 2" PVC SCH. 40 NOTE BOB 11.
14. FUD REQUIRES 18" OF HORIZONTAL SEPARATION AND 12" OF VERTICAL SEPARATION FROM OTHER UTILITIES IF THEY ARE INSTALLED ALONG THE WATER OR SEWER MAINS, AND THEY SHOULD NOT BE CONSTRUCTED IN THE SAME TRENCH. IF CONFLICTS ARISE DURING CONSTRUCTION, WITH INADEQUATE SEPARATION FROM EITHER THE WATER OR SEWER, CONSULT WITH FUD INSPECTOR AS TO NECESSARY FIELD CHANGES. FUD RESERVES THE RIGHT TO MODIFY THE MATERIAL OR CONSTRUCTION REQUIREMENTS IF ADEQUATE SEPARATION IS NOT AVAILABLE.
15. WHERE POSSIBLE, DO NOT LOCATE WATER METERS/SERVICES AT THE SAME PROPERTY CORNERS AS ELECTRICAL TRANSFORMERS OR CATV/TELEPHONE PEDESTALS. IF CONFLICTS ARISE, CONSULT FUD INSPECTOR AS TO NECESSARY FIELD CHANGES. FUD RESERVES THE RIGHT TO REQUIRE FIELD CHANGES IF SUCH CONFLICTS ARISE.
16. CONTRACTOR SHALL TAKE SPECIAL CARE TO BED, BACKFILL AND COMPACT PIPE CROSSINGS WHERE WATER OR SANITARY SEWER MAIN CROSSES WITH STORM SEWERS. CROSSINGS SHALL BE CONSTRUCTED WITH A WELL COMPACTED FULL STONE ENVELOPE SUCH THAT STORM SEWER DOES NOT BEAR DIRECTLY ON WATER OR SANITARY SEWER MAINS.
17. ALL WATER MAINS (INCLUDING D.I.P.) SHALL BE INSTALLED WITH NO. 12 SOLID COPPER INSULATED WIRE THROUGHOUT THE ENTIRE SYSTEM, (INCLUDING SERVICE LATERALS TO THE METER BOX. WIRE SHALL BE INSTALLED WITH (DIRECTLY ON TOP OF) THE WATER MAIN. KEEP WIRE AS CONTINUOUS AS POSSIBLE. WHERE CONNECTIONS ARE NEEDED, STRIP WIRE BACK APPROX. 1 INCH AND CONNECT WITH SPLIT-BOLT CONNECTORS, AND WRAP CONNECTION WELL, AND ON EACH SIDE OF CONNECTION WITH ELECTRICAL TAPE. WHEN INSTALLATION IS COMPLETE, THE ENTIRE SYSTEM MUST BE TESTED FOR CONTINUITY IN THE PRESENCE OF A FUD INSPECTOR. FUD MAY REQUIRE RE-EXCAVATION AND IMPROVEMENT TO AREAS THAT DO NOT "TRACE" WELL AND SHOW LOW OR POOR CONTINUITY.
18. MEGALUGS SHALL BE INSTALLED AT ALL VALVES. ALL FIRE HYDRANTS SHALL BE INSTALLED WITH CONCRETE THRUST BLOCKING AND MEGALUG MECHANICAL JOINT RESTRAINT OR WITH A HYDRANT/ADAPTER AND SWIVEL-X COUPLINGS TO SECURE TEE, VALVE AND HYDRANT. NO BODDING SHALL BE USED. WRAP ALL FITTINGS, BOLTS, FLANGES, ETC. IN 6 MIL PLASTIC PRIOR TO PLACING CONCRETE.
19. WHERE MEGALUGS ARE REQUIRED, THEY SHALL BE AS MANUFACTURED BY EBAA IRON INC. OR APPROVED EQUAL BY FUD.
20. BLOW-OFFS SHALL BE INSTALLED ON ENDS OF MAINS. FROM THE END OF THE MAIN BACK THROUGH THE FIRST TWO FULL LENGTH JOINTS OF PIPE SHALL BE INSTALLED FULLY RESTRAINED USING RESTRAINING GASKETS "FAST GRIP", FIELD LOK 350 OR EQUAL MECHANICAL RESTRAINT AS APPROVED BY FUD INSPECTOR.
21. METER BOXES SHALL BE SET AT THE PROPERTY/ROW LINE (NO MORE THAN 2 FEET) AS PART THE PROPERTY LINE). COORDINATE ALL LOCATIONS WITH FUD INSPECTOR.



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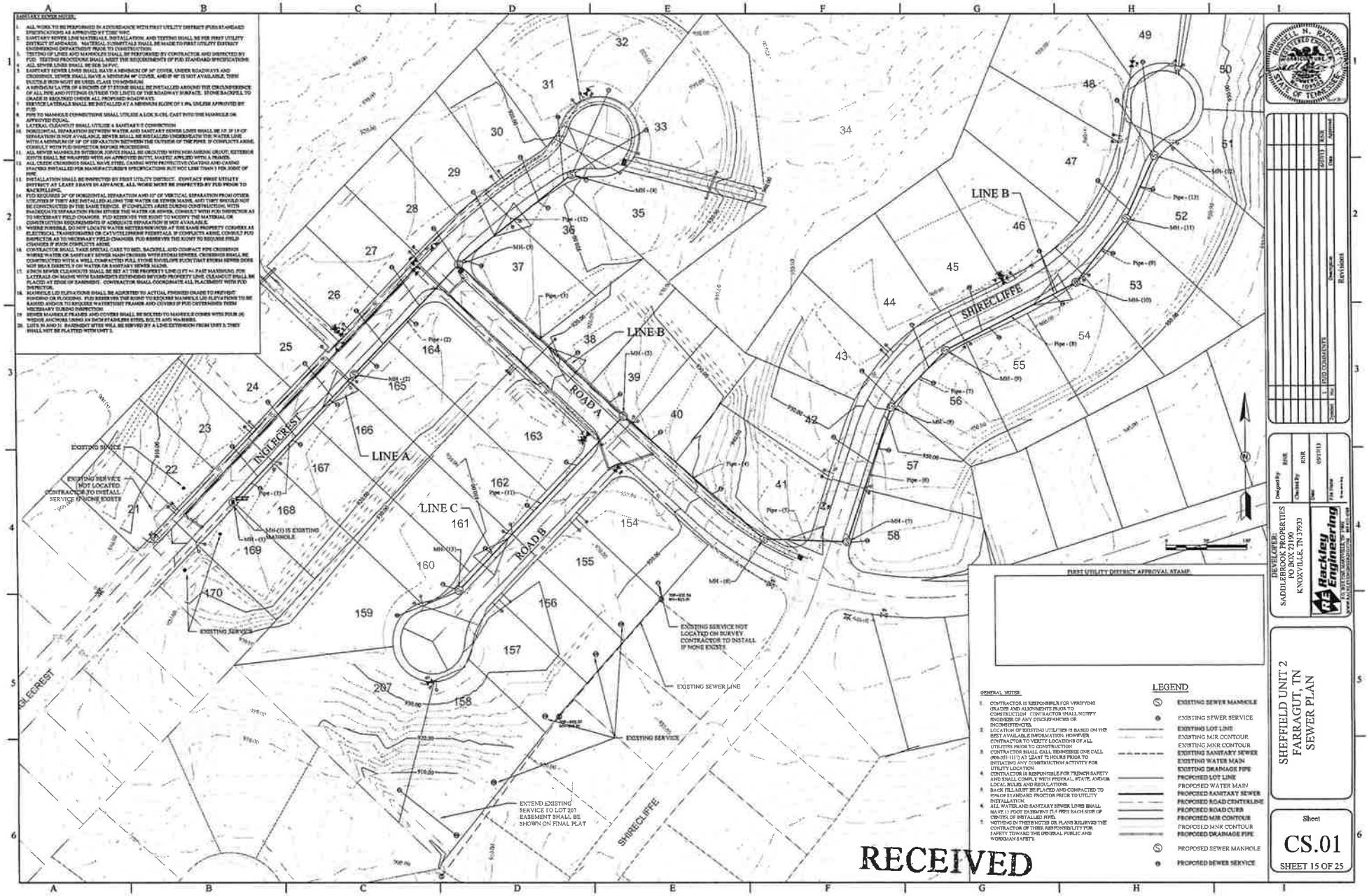
TOWN OF FARRAGUT



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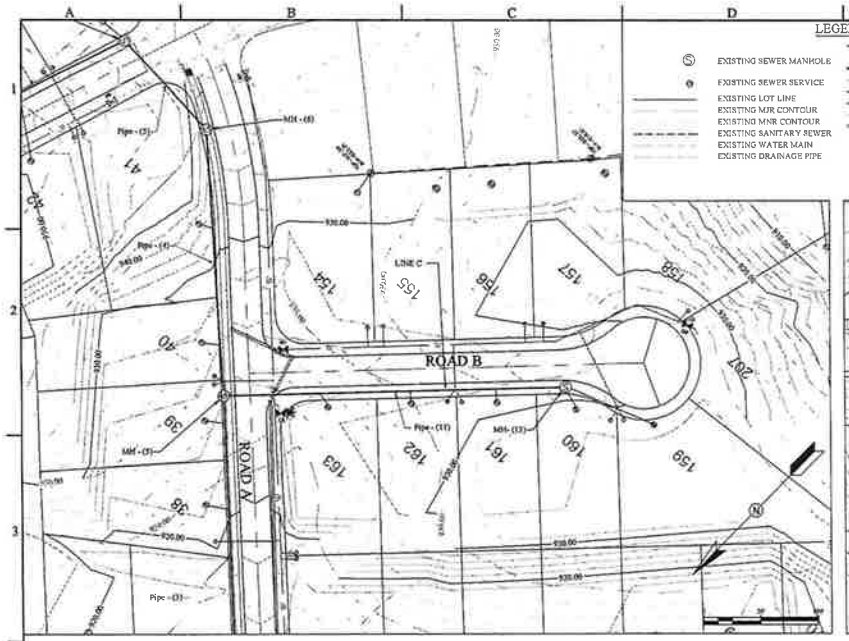
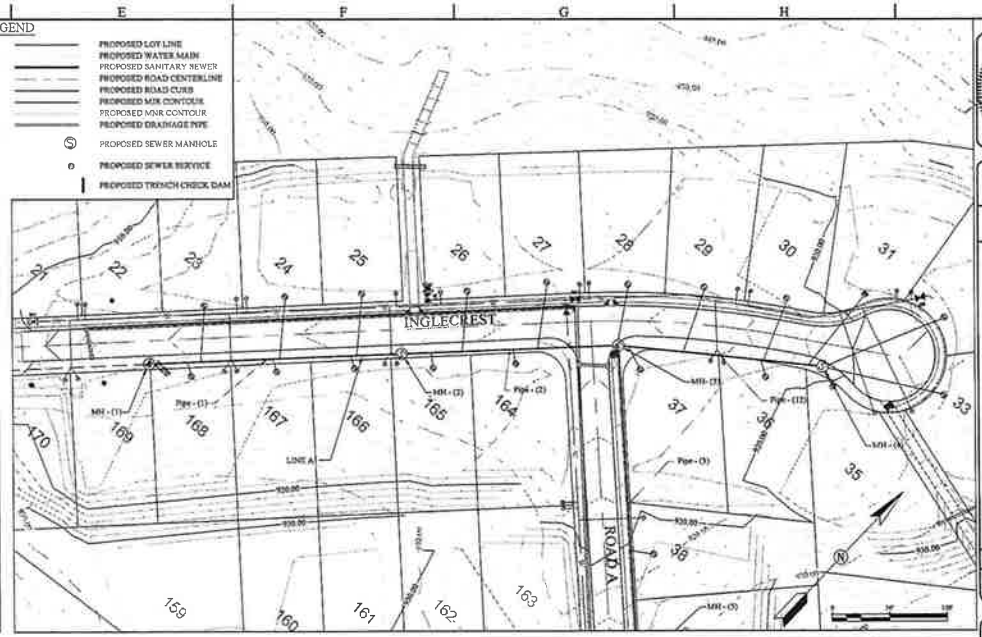
TOWN OF FARRAGUT

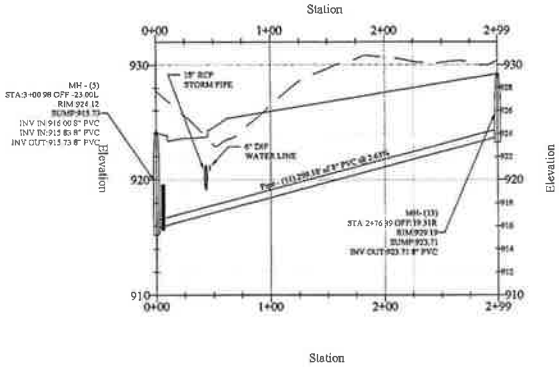


LEGEND

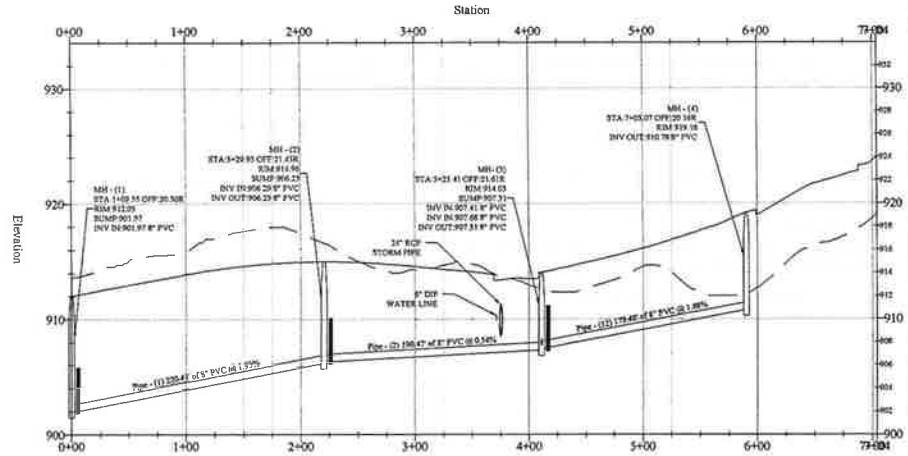
- EXISTING SEWER MANHOLE
- EXISTING SEWER SERVICE
- EXISTING LOT LINE
- EXISTING MJR CONTOUR
- EXISTING MNR CONTOUR
- EXISTING SANITARY SEWER
- EXISTING WATER MAIN
- EXISTING DRAINAGE PIPE
- PROPOSED LOT LINE
- PROPOSED WATER MAIN
- PROPOSED SANITARY SEWER
- PROPOSED ROAD CENTERLINE
- PROPOSED ROAD CURB
- PROPOSED MJR CONTOUR
- PROPOSED MNR CONTOUR
- PROPOSED DRAINAGE PIPE
- PROPOSED SEWER MANHOLE
- PROPOSED SEWER SERVICE
- PROPOSED TRENCH CHECK DAM



LINE - (C) PROFILE



LINE - (A) PROFILE



RECEIVED

JUN 7 2013

TOWN OF FARRAGUT

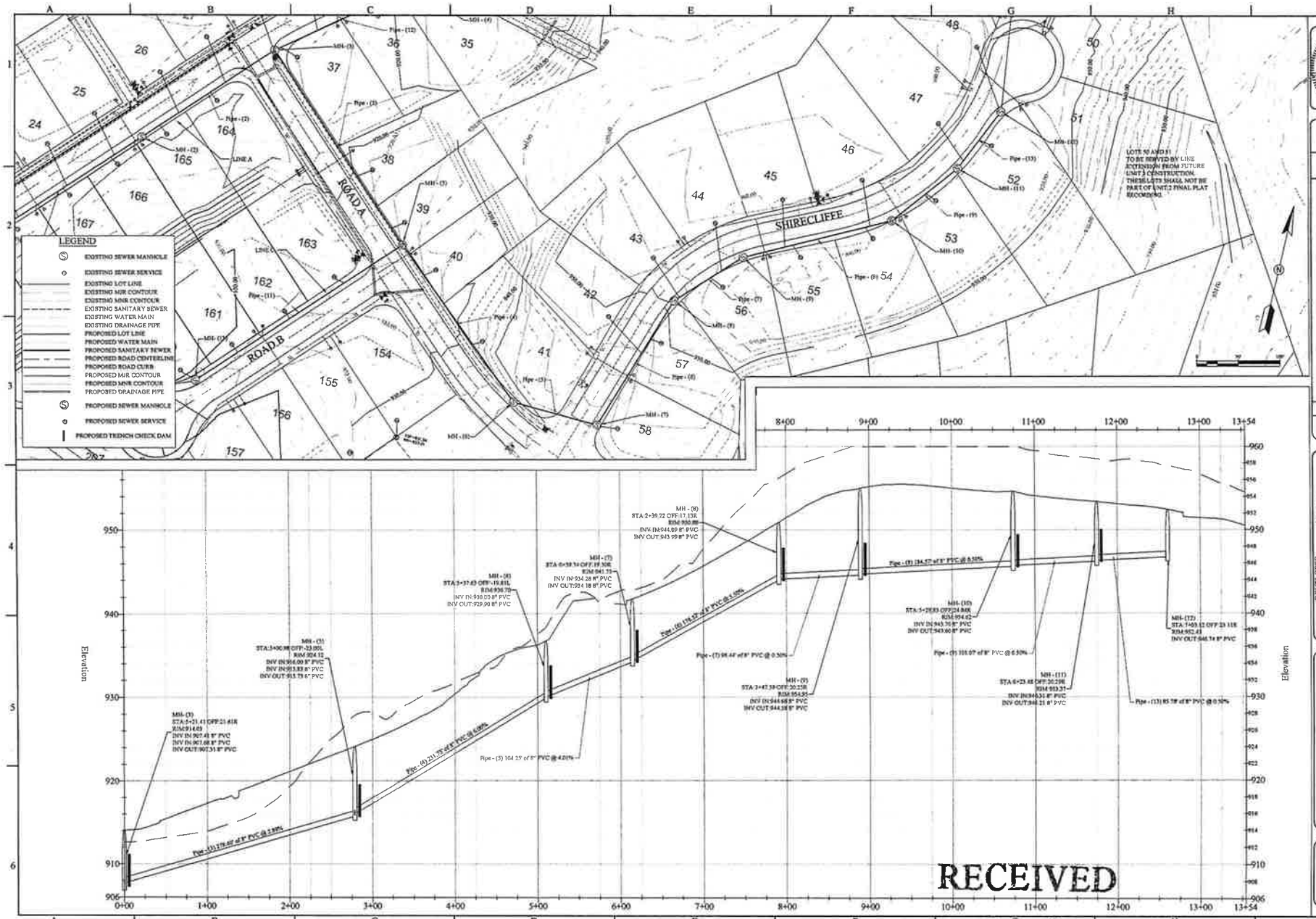
DEVELOPER:
SADDLEBROOK PROPERTIES
PO BOX 23190
KNOXVILLE, TN 37933

Rackley Engineering
P.O. BOX 1111, MARYVILLE, TN 37802
www.rackleyengineering.com

Designed By: RDR
Checked By: RDR
Date: 05/10/13
File Name:

SHEFFIELD UNIT 2
FARRAGUT, TN
SEWER LINE A AND C
PROFILES

Sheet
CS.02
SHEET 16 OF 25


LEGEND
EXISTING SEWER MANHOLE
EXISTING SEWER SERVICE
EXISTING LOT LINE
EXISTING MJR CONTOUR
EXISTING MNR CONTOUR
EXISTING SANITARY SEWER
EXISTING WATER MAIN
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PROPOSED SANITARY SEWER
PROPOSED ROAD CENTERLINE
PROPOSED ROAD CURB
PROPOSED MJR CONTOUR
PROPOSED MNR CONTOUR
PROPOSED DRAINAGE PIPE
PROPOSED SEWER MANHOLE
PROPOSED SEWER SERVICE
PROPOSED TRENCH CHECK DAM
ROAD A
ROAD B
SHIRECLIFFE
LINE A
LINE C
LOTS 50 AND 51 TO BE SERVED BY LINE EXTENSION FROM FUTURE UNIT 3 CONSTRUCTION. THESE LOTS SHALL NOT BE PART OF UNIT 2 FINAL PLAT RECORDING.
Elevation
Elevation
RECEIVED
JUN 7 2013
TOWN OF FARRAGUT
DEVELOPER:
SADDLEBROOK PROPERTIES
PO BOX 23190
KNOXVILLE, TN 37933
Rackley Engineering
SHEFFIELD UNIT 2
FARRAGUT, TN
SEWER LINE B PROFILE
Sheet
CS.03
SHEET 17 OF 25

GRADING & DRAINAGE NOTES

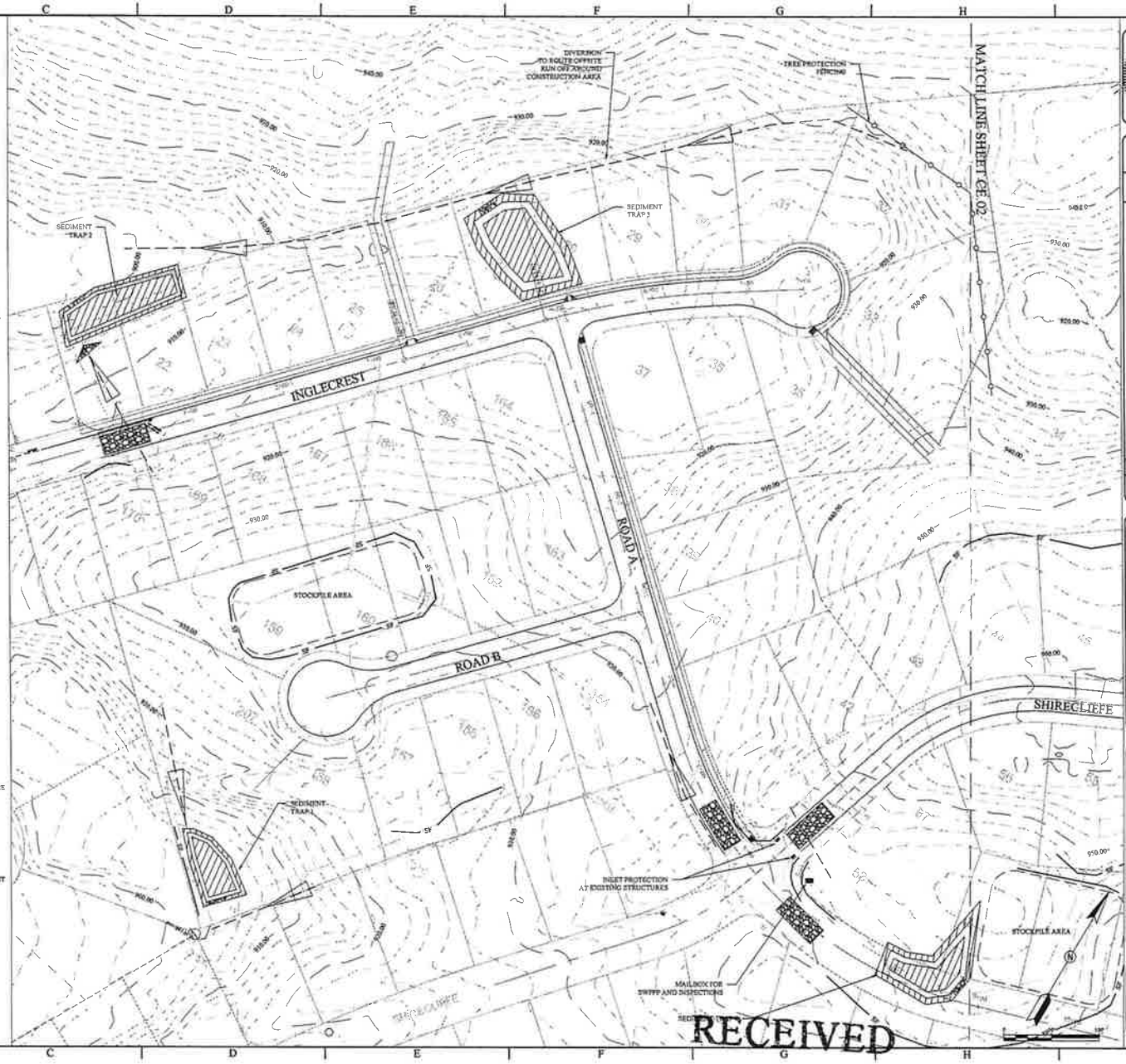
1. THE CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES AROUND THE WORK AND SHALL PROVIDE PROTECTION AGAINST WATER DAMAGE AND SOIL EROSION.
2. ALL SILT BARRIERS MUST BE PLACED AS ACCESS IS OBTAINED DURING CLEARING. NO GRADING SHALL BE DONE UNTIL SILT BARRIERS AND DETENTION FACILITIES ARE CONSTRUCTED.
3. ALL SEDIMENT CONTROL DEVICES ARE TO BE CONSTRUCTED AND FULLY OPERATIONAL PRIOR TO ANY OTHER CONSTRUCTION OR GRADING. ALL SEDIMENT CONTROL DEVICES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE TENNESSEE EROSION AND SEDIMENT CONTROL HANDBOOK AND THE SWPPP APPROVED FOR THIS PROJECT.
4. MAXIMUM SLOPE OF EMBANKMENT SHALL BE 2.0 FEET HORIZONTAL TO 1.0 FOOT VERTICAL FOR TEMPORARY SLOPES. ALL PERMANENT SLOPES SHALL BE MAXIMUM OF 3.0 FEET HORIZONTAL TO 1.0 FOOT VERTICAL.
5. PROPOSED CONTOUR INTERVALS ARE 2 FEET. ALL PROPOSED CONTOURS ARE FINISHED GRADE.
6. THE EROSION PREVENTION AND SEDIMENT CONTROL SHOWN ON THIS PLAN IS A BEST ATTEMPT AT PROVIDING ADEQUATE PREVENTION OF EROSION DURING CONSTRUCTION. THE INTENT IS TO PROTECT THE SITE AND SURROUNDING AREAS FROM CONSTRUCTION STORMWATER RUNOFF. THERE WILL BE FIELD ADJUSTMENTS NEEDED TO THIS PLAN AS DIRECTED BY INSPECTION OF ENGINEER, STATE OR LOCAL INSPECTORS, AND/OR THE CONTRACTOR'S TRAINED EROSION PERSONNEL.
7. SEE PROJECT SWPPP FOR FINAL CONTROLS PLAN TO PROTECT AND STABILIZE THE FINISHED SITE.
8. NOTHING IN THE GENERAL NOTES OR SPECIAL PROVISIONS SHALL RELIEVE THE CONTRACTOR FORM HIS RESPONSIBILITIES TOWARD SAFETY OF THE GENERAL PUBLIC AND WORKMAN SAFETY.
9. THIS IS A PRIORITY CONSTRUCTION ACTIVITY.
10. ADEQUATE DRAINAGE, EROSION AND SEDIMENT CONTROL MEASURES, BEST MANAGEMENT PRACTICES AND/OR OTHER STORMWATER MANAGEMENT FACILITIES SHALL BE PROVIDED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION. DAMAGES TO ADJACENT PROPERTY AND/OR THE CONSTRUCTION SITE CAUSED BY THE CONTRACTOR OR PROPERTY OWNER'S FAILURE TO PROVIDE AND MAINTAIN ADEQUATE DRAINAGE AND EROSION/SEDIMENT CONTROL FOR THE CONSTRUCTION AREA SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND/OR CONTRACTOR.
11. QUALITY ASSURANCE OF EROSION PREVENTION AND SEDIMENT CONTROLS SHALL BE CONDUCTED BY QUALIFIED PERSONNEL PERFORMING SITE ASSESSMENT AT EACH OUTFALL INVOLVING DRAINAGE TOTALING 10 OR MORE ACRES, OR FIVE OR MORE ACRES IF DRAINING TO IMPAIRED OR EXCEPTIONAL WATERS. THIS ASSESSMENT WILL BE CONDUCTED AT EACH QUALIFYING OUTFALL WITHIN A MONTH OF CONSTRUCTION COMMENCEMENT. (SEE CGP SEC 3.1.2 FOR ASSESSMENT LANGUAGE)
12. FUGITIVE SEDIMENT THAT HAS ESCAPED THE CONSTRUCTION SITE MUST BE REMOVED SO THAT IT IS NOT SUBSEQUENTLY WASHED INTO STORM SEWERS AND/OR STREAMS BY THE NEXT RAIN AND/OR SO THAT IT DOES NOT POSE A SAFETY HAZARD TO USERS OF PUBLIC STREETS. ARRANGEMENTS CONCERNING REMOVAL OF SEDIMENT ON A ADJOINING PROPERTY MUST BE SETTLED BY THE PERMITTEE WITH THE ADJOINING LAND OWNER.
13. SEDIMENT SHOULD BE REMOVED FROM SEDIMENT TRAPS, SILT FENCES, SEDIMENTATION PONDS, OTHER SEDIMENT CONTROLS WHEN DESIGN CAPACITY HAS BEEN REDUCED BY 50%.
14. LITTER, CONSTRUCTION DEBRIS, AND CONSTRUCTION CHEMICALS EXPOSED TO STORMWATER SHALL BE PICKED UP PRIOR TO ANTICIPATED STORM EVENTS OR BEFORE BEING CARRIED OFF THE SITE BY WIND, OR OTHERWISE PREVENTED FROM BECOMING A POLLUTION SOURCE FOR STORMWATER DISCHARGES.
15. PRECONSTRUCTION VEGETATIVE GROUND COVER SHALL NOT BE DESTROYED, REMOVED, OR DISTURBED MORE THAN 15 DAYS PRIOR TO GRADING OR EARTH MOVING UNLESS THE AREA IS SEEDED AND/OR MULCHED OR OTHER TEMPORARY COVER IS INSTALLED.
16. EXISTING VEGETATION SHOULD BE PRESERVED TO THE MAXIMUM EXTENT PRACTICABLE.
17. TEMPORARY OR PERMANENT SOIL STABILIZATION MUST BE COMPLETED NO LATER THAN 15 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS PERMANENTLY OR TEMPORARILY CEASED. STEEP SLOPES (>33%) MUST BE PERMANENTLY OR TEMPORARILY STABILIZED WITHIN 7 DAYS.
18. SITE INSPECTIONS SHALL BE PERFORMED AT LEAST TWICE WEEKLY AT A MINIMUM OF 72 HOURS APART ON ALL UNSTABILIZED SITES.
19. SEDIMENT TRAPS SHALL HAVE A MINIMUM OF TWO POROUS BAFFLES INSTALLED AND MAINTAINED

SEQUENCING OF CONSTRUCTION

1. THE SITE IS CURRENTLY ACCESSIBLE FROM DEAD END STREETS IN UNIT 1. SILT FENCING AND CONSTRUCTION EXIT SHALL BE INSTALLED PRIOR TO ANY OTHER ACTIVITY COMMENCING ON SITE. THE CONSTRUCTION EXIT SHALL BE IN INSTALLED WITH SPECIFIED MATERIAL AND A DIVERSION INSTALLED UNDER THE EXIT WITH A TEMPORARY CULVERT.
2. ONCE SILT FENCE IS INSTALLED INITIAL CLEARING CAN BEGIN TO GAIN ACCESS TO THE PROPERTY. INITIAL CLEARING WILL BE A CUTTING AND GRINDING THE VEGITATION WITHIN THE DISTURBANCE AREA. ONCE ACCESS IS GAINED TO THE CLEARING LIMITS, THE DIVERSION DITCHES SHALL BE INSTALLED TO DIRECT RUN-OFF FROM UNDISTURBED AREAS AROUND THE WORK SITE AS BEST AS PRACTABLE.
3. AFTER CLEARING TO THE MARKED CLEARING LIMITS IS COMPLETE, STUMPING AND GRINDING WILL COMMENCE.
4. AS SOON AS PRACTABLE, STRIPPING OF TOPSOIL IN THE AREAS OF THE PRESCRIBED SEDIMENT TRAPS AND SEDIMENT BASIN SHALL COMMENCE AND THESE STRUCTURES INSTALLED.
5. THE DESIGNED DITCHES, AS PART OF THE PERMANENT DESIGN DRAINAGE, SHALL BE CONSTRUCTED AS SOON AS THE AREA OF THE DITCHES IS CLOSE TO FINAL GRADE. ONCE DITCHES ARE CONSTRUCTRD, CHECK DAMS SHALL BE INSTALLED TO CONTROL RUN-OFF VELOCITIES.
6. IN THE BACK PHASE OF THE PROPERTY, MULCH FROM GRINDING OPERATIONS MAY BE USED TO TEMPORARILY STABILIZE THE CLEARED AREA PRIOR TO STRIPING TOPSOIL AND MASS GRADING.
7. NO AREA THAT IS UNWORKED FOR MORE THAN 14 DAYS SHALL REMAIN UN-STABILIZED.
8. THE SEQUENCE OF EVENTS FOR BUILDING BMP'S PRIOR TO DISTURBANCE SHALL CONTINUE AS EACH NEW AREA IS SCHEDULED FOR DISTURBANCE

LEGEND

- EXISTING LOT LINE
- EXISTING MJR CONTOUR
- EXISTING MNR CONTOUR
- EXISTING SANITARY SEWER
- EXISTING WATER MAIN
- EXISTING DRAINAGE PIPE
- PROPOSED LOT LINE
- PROPOSED WATER MAIN
- PROPOSED SANITARY SEWER
- PROPOSED ROAD CENTERLINE
- PROPOSED ROAD CURB
- PROPOSED MJR CONTOUR
- PROPOSED MNR CONTOUR
- PROPOSED DRAINAGE PIPE
- TREE PROTECTION FENCE
- CHECK DAM
- DIVERSION DITCH
- SILT FENCE
- CLEARING LIMIT
- CONSTRUCTION EXIT



JUN 7 2013

TOWN OF FARRAGUT

Revisions			
Number	Description	Date	Approved
1	STAFF COMMENTS	6/07/13	RNR

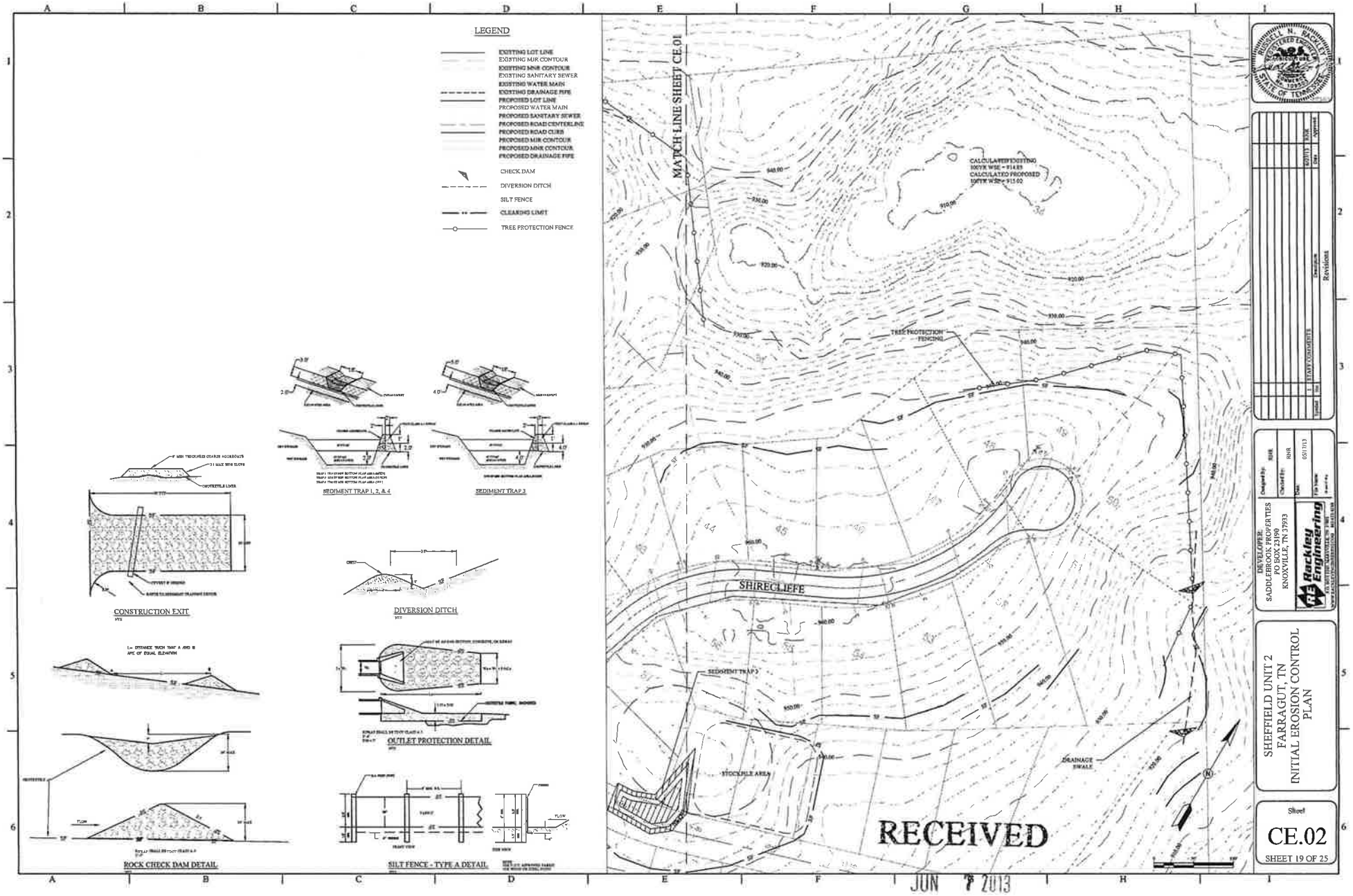
DEVELOPER:
SADDLEBROOK PROPERTIES
P.O. BOX 22393
KNOXVILLE, TN 37933

Designed By: RNR
Checked By: RNR
Date: 5/17/13
File name:
Drawing No.

Rackley Engineering
P.O. BOX 1 FARRAGUT, TN 37909
www.rackleyengineering.com

SHEFFIELD UNIT 2
FARRAGUT, TN
INITIAL EROSION CONTROL PLAN

Sheet
CE.01
SHEET 18 OF 25


LEGEND
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PROPOSED MJR CONTOUR
PROPOSED MNR CONTOUR
PROPOSED DRAINAGE PIPE
CHECK DAM
DIVERSION DITCH
SILT FENCE
CLEARING LIMIT
TREE PROTECTION FENCE
MATCH LINE SHEET CE.01
CALCULATED EXISTING 100YR WSE = 914.89
CALCULATED PROPOSED 100YR WSE = 915.02
TREE PROTECTION FENCING
SHIRECLIFFE
SEDIMENT TRAP 3
STOCKPILE AREA
DRAINAGE SWALE
SEDIMENT TRAP 1, 2, & 4
SEDIMENT TRAP 3
CONSTRUCTION EXIT
DIVERSION DITCH
OUTLET PROTECTION DETAIL
ROCK CHECK DAM DETAIL
SILT FENCE - TYPE A DETAIL
RECEIVED
JUN 7 2013
TOWN OF FARRAGUT
DEVELOPER:
SADDLEBROOK PROPERTIES
9111 CROSS PARK DRIVE, STE. 200
KNOXVILLE, TN 37923
Rackley Engineering
SHEFFIELD UNIT 2
FARRAGUT, TN
INITIAL EROSION CONTROL PLAN
Sheet
CE.02
SHEET 19 OF 25
Revisions
STAMP CONSULTANTS
RUSSELL N. RACKLEY
STATE OF TENNESSEE

GRADING & DRAINAGE NOTES

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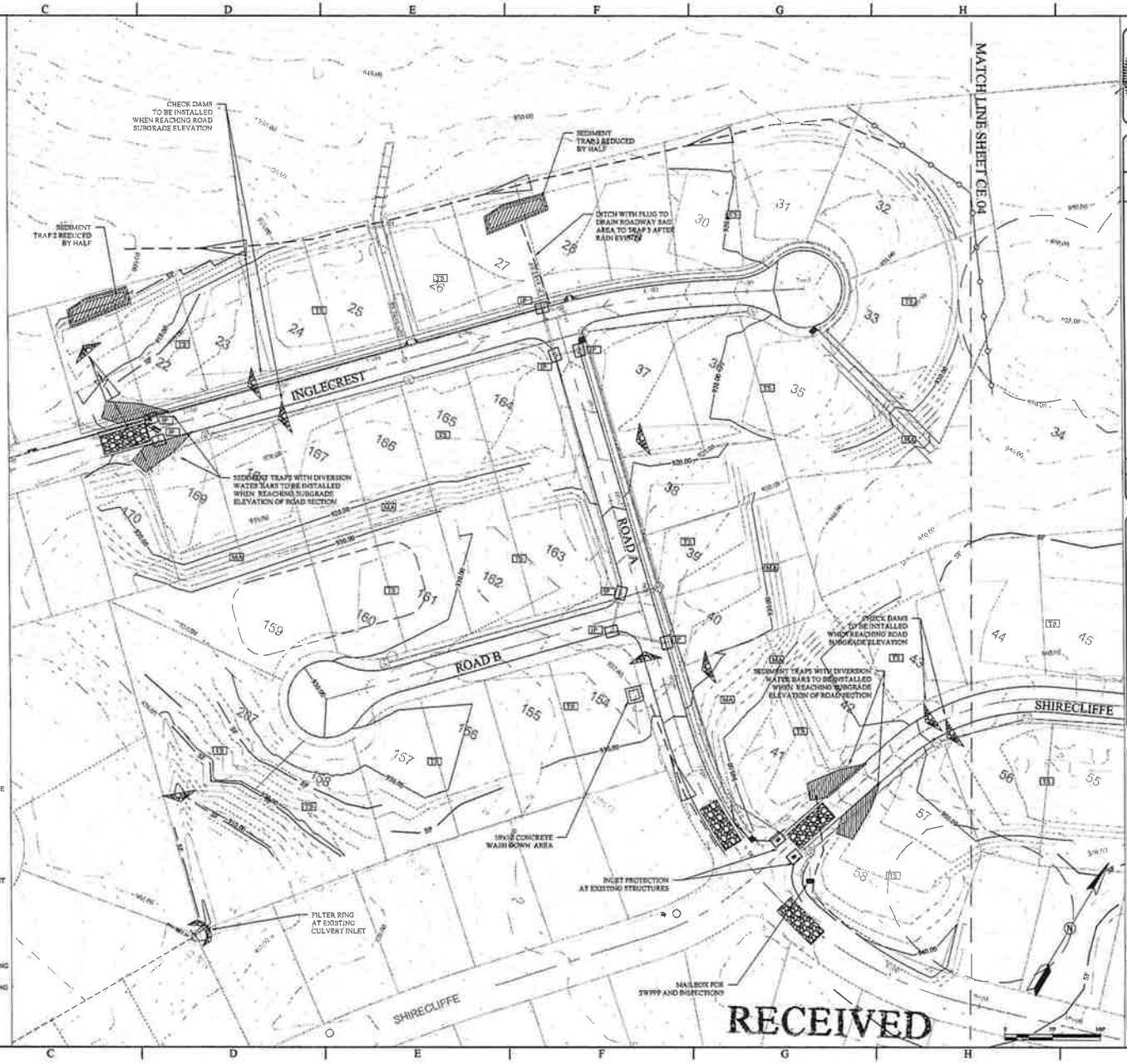
2. ALL SILT BARRIERS MUST BE PLACED AS ACCESS IS OBTAINED DURING CLEARING. NO GRADING SHALL BE DONE UNTIL SILT BARRIERS AND DETENTION FACILITIES ARE CONSTRUCTED.
3. ALL SEDIMENT CONTROL DEVICES ARE TO BE CONSTRUCTED AND FULLY OPERATIONAL PRIOR TO ANY OTHER CONSTRUCTION OR GRADING. ALL SEDIMENT CONTROL DEVICES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE TENNESSEE EROSION AND SEDIMENT CONTROL HANDBOOK AND THE SWPPP APPROVED FOR THIS PROJECT.
4. LENGTH OF RIP RAP AREA SHALL BE SIX TIMES THE DIAMETER OF THE STORM DRAIN PIPE. WIDTH OF RIP RAP AREA SHALL BE 3 TIMES THE DIAMETER AT THE MOUTH OF THE PIPE AND TWO TIMES THE DIAMETER AT DOWNSTREAM END.
5. MAXIMUM SLOPE OF EMBANKMENT SHALL BE 2.0 FEET HORIZONTAL TO 1.0 FOOT VERTICAL FOR TEMPORARY SLOPES. ALL FINAL DESIGN SLOPES ARE MAXIMUM 3.0 FEET HORIZONTAL TO 1.0 FOOT VERTICAL.
6. PROPOSED CONTOUR INTERVALS ARE 2 FEET. ALL PROPOSED CONTOURS ARE FINISHED GRADE.
7. THE EROSION PREVENTION AND SEDIMENT CONTROL SHOWN ON THIS PLAN IS A BEST ATTEMPT AT PROVIDING ADEQUATE PREVENTION OF EROSION DURING CONSTRUCTION. THE INTENT IS TO PROTECT THE SITE AND SURROUNDING AREAS FROM CONSTRUCTION STORMWATER RUNOFF. THERE WILL BE FIELD ADJUSTMENTS NEEDED TO THIS PLAN AS DIRECTED BY INSPECTION OF ENGINEER, STATE OR LOCAL INSPECTORS, AND/OR THE CONTRACTOR'S TRAINED EROSION PERSONEL.
8. SEE PROJECT SWPPP FOR FINAL CONTROLS PLAN TO PROTECT AND STABILIZE THE FINISHED SITE.
9. NOTHING IN THE GENERAL NOTES OR SPECIAL PROVISIONS SHALL RELIEVE THE CONTRACTOR FORM HIS RESPONSIBILITIES TOWARD SAFETY OF THE GENERAL PUBLIC AND WORKMAN SAFETY.
10. THIS IS A PRIORITY CONSTRUCTION ACTIVITY.
11. ADEQUATE DRAINAGE, EROSION AND SEDIMENT CONTROL MEASURES, BEST MANAGEMENT PRACTICES AND/OR OTHER STORMWATER MANAGEMENT FACILITIES SHALL BE PROVIDED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION. DAMAGES TO ADJACENT PROPERTY AND/OR THE CONSTRUCTION SITE CAUSED BY THE CONTRACTOR'S OR PROPERTY OWNER'S FAILURE TO PROVIDE AND MAINTAIN ADEQUATE DRAINAGE AND EROSION/SEDIMENT CONTROL FOR THE CONSTRUCTION AREA SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND/OR CONTRACTOR.
12. QUALITY ASSURANCE OF EROSION PREVENTION AND SEDIMENT CONTROLS SHALL BE CONDUCTED BY QUALIFIED PERSONNEL. PERFORMING SITE ASSESSMENT AT EACH OUTFALL INVOLVING DRAINAGE TOTALING 10 OR MORE ACRES, OR FIVE OR MORE ACRES IF DRAINING TO IMPAIRED OR EXCEPTIONAL WATERS. THIS ASSESSMENT WILL BE CONDUCTED AT EACH QUALIFYING OUTFALL WITHIN A MONTH OF CONSTRUCTION COMMENCEMENT. (SEE CGP SEC 3.1.2 FOR ASSESSMENT LANGUAGE)
13. FUGITIVE SEDIMENT THAT HAS ESCAPED THE CONSTRUCTION SITE MUST BE REMOVED SO THAT IT IS NOT SUBSEQUENTLY WASHED INTO STORM SEWERS AND/OR STREAMS BY THE NEXT RAIN AND/OR SO THAT IT DOES NOT POSE A SAFETY HAZARD TO USERS OF PUBLIC STREETS. ARRANGEMENTS CONCERNING REMOVAL OF SEDIMENT ON ADJOINING PROPERTY MUST BE SETTLED BY THE PERMITTEE WITH THE ADJOINING LAND OWNER.
14. SEDIMENT SHOULD BE REMOVED FROM SEDIMENT TRAPS, SILT FENCES, SEDIMENTATION PONDS, OTHER SEDIMENT CONTROLS WHEN DESIGN CAPACITY HAS BEEN REDUCED BY 50%
15. LITTER, CONSTRUCTION DEBRIS, AND CONSTRUCTION CHEMICALS EXPOSED TO STORMWATER SHALL BE PICKED UP PRIOR TO ANTICIPATED STORM EVENTS OR BEFORE BEING CARRIED OFF THE SITE BY WIND, OR OTHERWISE PREVENTED FROM BECOMING A POLLUTION SOURCE FOR STORMWATER DISCHARGES.
16. PRECONSTRUCTION VEGETATIVE GROUND COVER SHALL NOT BE DESTROYED, REMOVED, OR DISTURBED MORE THAN 15 DAYS PRIOR TO GRADING OR EARTH MOVING UNLESS THE AREA IS SEEDED AND/OR MULCHED OR OTHER TEMPORARY COVER IS INSTALLED.
17. EXISTING VEGETATION SHOULD BE PRESERVED TO THE MAXIMUM EXTENT PRACTICABLE.
18. TEMPORARY OR PERMANENT SOIL STABILIZATION MUST BE COMPLETED NO LATER THAN 15 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS PERMANENTLY OR TEMPORARILY CEASED. STEEP SLOPES (>33%) MUST BE PERMANENTLY OR TEMPORARILY STABILIZED WITHIN 7 DAYS.
19. SITE INSPECTIONS SHALL BE PERFORMED AT LEAST TWICE WEEKLY AT A MINIMUM OF 72 HOURS APART ON ALL UNSTABILIZED SITES
20. SEDIMENT TRAPS SHALL HAVE A MINIMUM OF TWO POROUS BAFFLES INSTALLED AND MAINTAINED

SEQUENCING OF CONSTRUCTION

1. THE SITE IS CURRENTLY ACCESSIBLE FROM DEAD END STREETS IN UNIT 1. SILT FENCING AND CONSTRUCTION EXIT SHALL BE INSTALLED PRIOR TO ANY OTHER ACTIVITY COMMENCING ON SITE. THE CONSTRUCTION EXIT SHALL BE IN INSTALLED WITH SPECIFIED MATERIAL AND A DIVERSION INSTALLED UNDER THE EXIT WITH A TEMPORARY CULVERT.
2. ONCE SILT FENCE IS INSTALLED INITIAL CLEARING CAN BEGIN TO GAIN ACCESS TO THE PROPERTY. INITIAL CLEARING WILL BE A CUTTING AND GRINDING THE VEGITATION WITHIN THE DISTURBANCE AREA. ONCE ACCESS IS GAINED TO THE CLEARING LIMITS, THE DIVERSION DITCHES SHALL BE INSTALLED TO DIRECT RUN-OFF FROM UNDISTURBED AREAS AROUND THE WORK SITE AS BEST AS PRACTABLE.
3. AFTER CLEARING TO THE MARKED CLEARING LIMITS IS COMPLETE, STUMPING AND GRINDING WILL COMMENCE.
4. AS SOON AS PRACTABLE, STRIPPING OF TOPSOIL IN THE AREAS OF THE PRESCRIBED SEDIMENT TRAPS AND SEDIMENT BASIN SHALL COMMENCE AND THESE STRUCTURES INSTALLED.
5. THE DESIGNED DITCHES, AS PART OF THE PERMANENT DESIGN DRAINAGE, SHALL BE CONSTRUCTED AS SOON AS THE AREA OF THE DITCHES IS CLOSE TO FINAL GRADE. ONCE DITCHES ARE CONSTRUCTED, CHECK DAMS SHALL BE INSTALLED TO CONTROL RUN-OFF VELOCITIES.
6. IN THE BACK PHASE OF THE PROPERTY, MULCH FROM GRINDING OPERATIONS MAY BE USED TO TEMPORARILY STABILIZE THE CLEARED AREA PRIOR TO STRIPING TOPSOIL AND MASS GRADING.
7. NO AREA THAT IS UN-WORKED FOR MORE THAN 14 DAYS SHALL REMAIN UN-STABILIZED.
8. THE SEQUENCE OF EVENTS FOR BUILDING BMPS PRIOR TO DISTURBANCE SHALL CONTINUE AS EACH NEW AREA IS SCHEDULED FOR DISTURBANCE.

LEGEND

- EXISTING LOT LINE
- EXISTING MJR CONTOUR
- EXISTING MNR CONTOUR
- EXISTING SANITARY SEWER
- EXISTING WATER MAIN
- EXISTING DRAINAGE PIPE
- PROPOSED LOT LINE
- PROPOSED WATER MAIN
- PROPOSED SANITARY SEWER
- PROPOSED ROAD CENTERLINE
- PROPOSED ROAD CURB
- PROPOSED MJR CONTOUR
- PROPOSED MNR CONTOUR
- PROPOSED DRAINAGE PIPE
- TREE PROTECTION FENCE
- CHECK DAM
- DIVERSION DITCH
- SILT FENCE
- CLEARING LIMIT
- CONSTRUCTION EXIT
- INLET PROTECTION
- MATTING
- TEMPORARY SEEDING
- PERMANENT SEEDING



Revisions			
Symbol	No.	Description	Date
	1	STAFF COMMENTS	05/31/13

DEVELOPER:
SADDLEBROOK PROPERTIES
9130 ROUTE 33 NORTH
KNOXVILLE, TN 37933

Designed By: RNR
Checked By: RNR
Date: 5/31/13
File Name:

Rackley Engineering
P.O. BOX 1720 SEVIERVILLE, TN 37864
WWW.RACKLEYENGINEERING.COM

SHEFFIELD UNIT 2
FARRAGUT, TN
INTERMEDIATE CONTROL PLAN

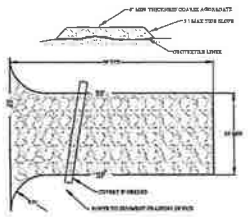
Sheet
CE.03
SHEET 20 OF 25

RECEIVED
JUN 7 2013
TOWN OF FARRAGUT

LEGEND

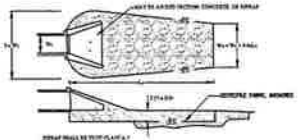
- EXISTING LOT LINE
- EXISTING MJR CONTOUR
- EXISTING MNR CONTOUR
- EXISTING SANITARY SEWER
- EXISTING WATER MAIN
- EXISTING DRAINAGE PIPE
- PROPOSED LOT LINE
- PROPOSED WATER MAIN
- PROPOSED SANITARY SEWER
- PROPOSED ROAD CENTERLINE
- PROPOSED ROAD CURB
- PROPOSED MJR CONTOUR
- PROPOSED MNR CONTOUR
- PROPOSED DRAINAGE PIPE
- CHECK DAM
- DIVERSION DITCH
- SILT FENCE
- CLEARING LIMIT
- TREE PROTECTION FENCE
- OUTLET PROTECTION
- IP INLET PROTECTION
- MA MATTING
- TS TEMPORARY SEEDING
- PS PERMANENT SEEDING

*SEE TENNESSEE EROSION & SEDIMENT CONTROL HANDBOOK, FOURTH EDITION FOR DETAILS NOT PROVIDED ON PLAN

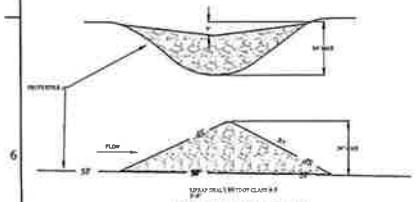


CONSTRUCTION EXIT

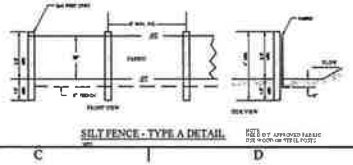
DIVERSION DITCH



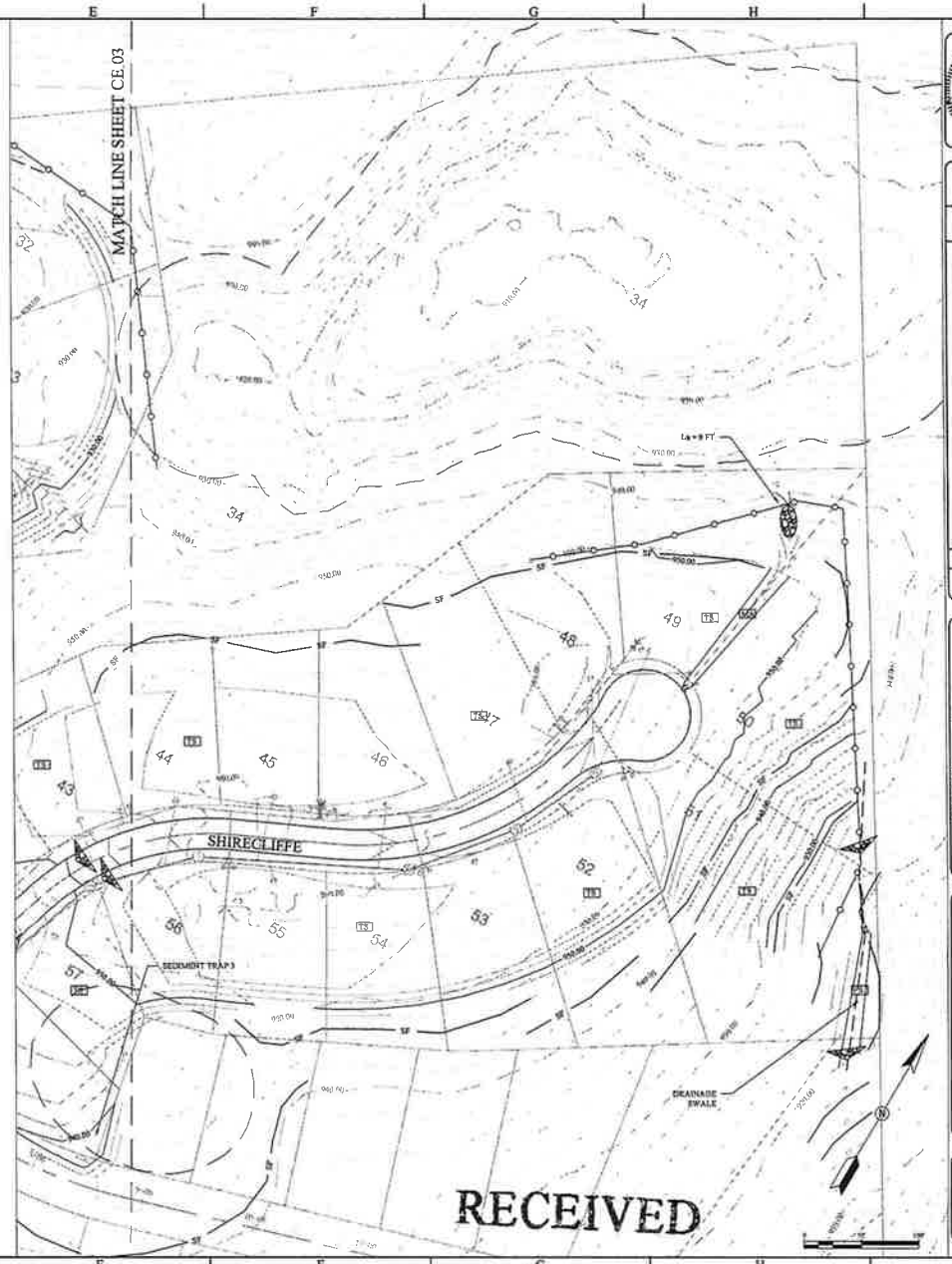
OUTLET PROTECTION DETAIL



ROCK CHECK DAM DETAIL



SILT FENCE - TYPE A DETAIL



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JUN 7 2013

TOWN OF FARRAGUT

DEVELOPER:
SADDLEBROOK PROPERTIES
PO BOX 23190
KNOXVILLE, TN 37933

Designed By: RNR
Checked By: RNR
Date: 05/17/13
File Name:

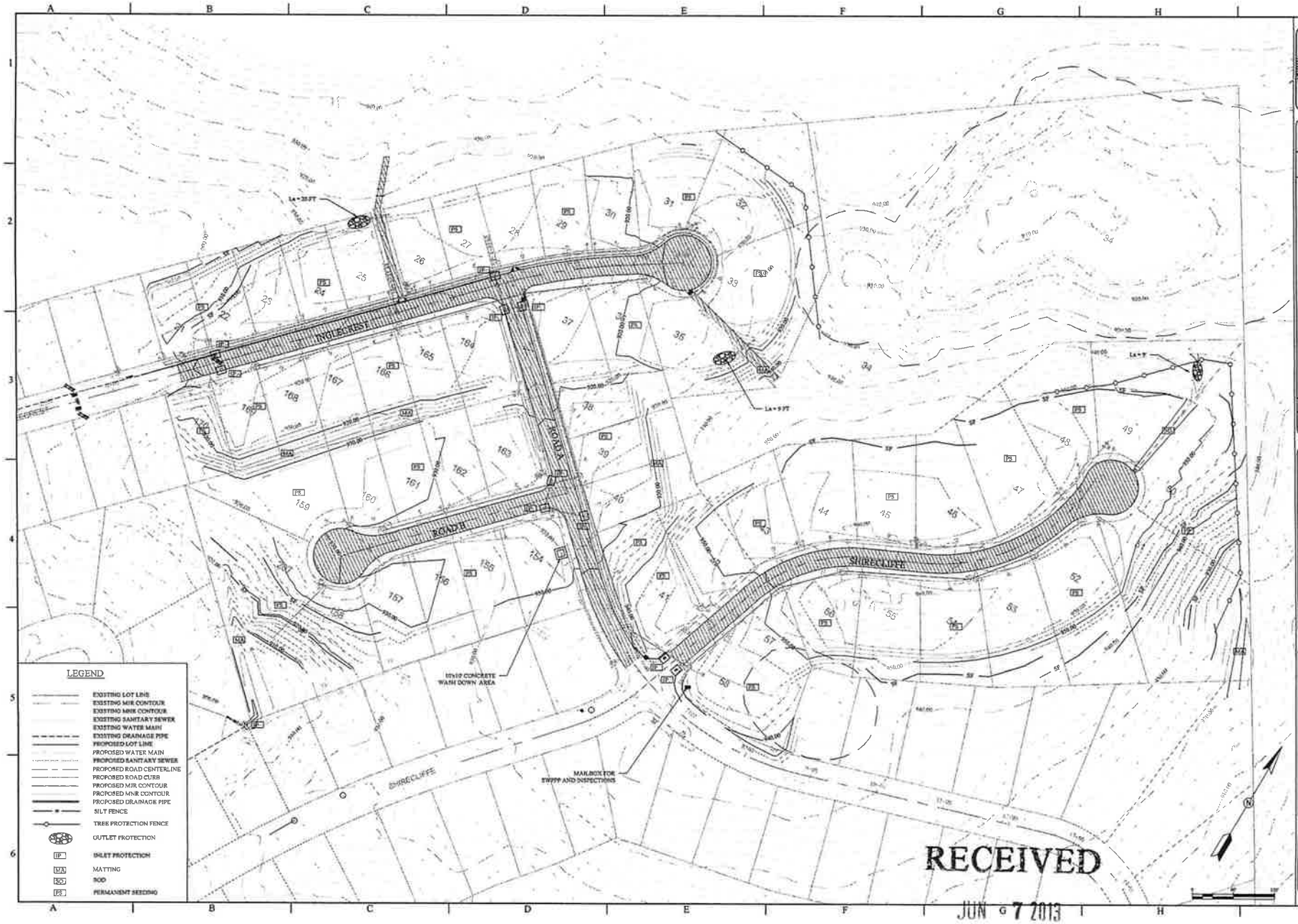
Rackley Engineering
P.O. BOX 22190 KNOXVILLE, TN 37933
CIVIL & ENVIRONMENTAL CONSULTING ENGINEERS

Symbol	No.	Description	Date	Approved
	1	STAFF COMMENTS	05/17/13	RNR

Revisions

SHEFFIELD UNIT 2
FARRAGUT, TN
INTERMEDIATE CONTROL PLAN

Sheet
CE.04
SHEET 21 OF 25



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JUN 07 2013

DEVELOPER:
SADDLEBROOK PROPERTIES
PO BOX 21159
KNOXVILLE, TN 37933

Rackley Engineering

Revisions

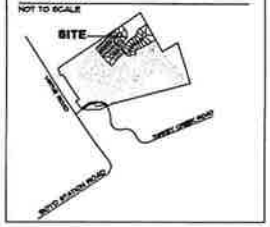
SHEFFIELD UNIT 2
FARRAGUT, TN
FINAL STABILIZATION PLAN

Sheet
CE.05
SHEET 22 OF 25

TOWN OF FARRAGUT

LOCATION MAP

NOT TO SCALE



SITE DATA

DEVELOPER:
SADDLEBROOK PROPERTIES
P.O. BOX 23959
KNOXVILLE, TN 37933

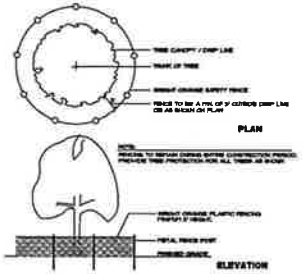
ZONE: RS, CBR AND A
C.T. MAP NO.: 153
TOTAL AREA (UNIT 2): 21.69 ACRES

LEGEND

- PROPOSED LOT LINES
- PROPOSED ROAD LAYOUT
- MAJOR TREE MASSES OUTLINE
- LEVEL OF MAJORITY
- TOWN STAND TREE TYPE (% COVERAGE)
- APPROXIMATE COVERAGE
- PREDOMINANT SPECIES OF TREE
- TREE LOCATION AND IDENTIFICATION NUMBER
- AREA OF DISTURBANCE BOUNDARY
- CLOSED CONTOUR DEPRESSION

NOTES

1. OVERALL SITE ACREAGE: 21.69 ACRES
   APPROXIMATE TREE CANOPY COVERAGE IS 292,893 SQ.FT. (6.39 AC)
2. TREE MASSES INFORMATION IS FROM AERIAL PHOTOGRAPHY COMBINED WITH FIELD ANALYSIS.
3. ALL PROTECTED TREES AND THE APPROXIMATE CANOPY OF TREE COVERED AREAS ARE SHOWN ON THE PLAN AS DEFINED IN THE FARRAGUT TREE PROTECTION ORDINANCE.
4. ENVIRONMENTALLY SENSITIVE AREAS (CLOSED CONTOUR DEPRESSION) ARE SHOWN ON PLAN.
5. TEMPORARY CONSTRUCTION ACTIVITIES, SUCH AS EQUIPMENT STORAGE, WORKER PARKING SHALL BE CONFINED COMPLETELY WITHIN THE AREA OF DISTURBANCE.
6. PROTECTED TREES, AS NOTED IN THE TREE INVENTORY, SHALL HAVE TREE PROTECTION FENCING WHICH SHALL BE INSTALLED IN ACCORDANCE WITH THE TREE PROTECTION FENCING DETAIL.
   THE LOCATION OF TREE PROTECTIVE FENCING, WHICH HAS BEEN APPROVED BY THE TOWN OF FARRAGUT AS REFLECTED ON THE APPROVED PLANS, MUST NOT BE REMOVED OR ALTERED IN ANY WAY. ANY SUCH ALTERATION OF PROTECTIVE FENCING WILL RESULT IN AN IMMEDIATE STOP WORK ORDER FOR THE ENTIRE PROJECT.
7. BUFFER STRIPS ARE NOT REQUIRED FOR THIS SITE.
8. TREE PROTECTIVE FENCING WILL SUFFICE FOR TREE PROTECTION. NO SPECIAL MEASURES WILL BE NEEDED TO PROTECT TREES OR GROUPS OF TREES UNLESS NOTED.
9. IN ADDITION TO TREE PROTECTION FENCING REQUIRED FOR SPECIFICALLY PROTECTED TREES, THE PROPOSED LIMITS OF DISTURBANCE WHICH ABUT ANY WOODED AREAS, ADDITIONAL AREAS IDENTIFIED BY TOWN STAFF AND ENVIRONMENTALLY SENSITIVE AREAS SHALL BE STAKED AND BARRICADED WITH TREE PROTECTION FENCING, UNLESS AN EQUIVALENT MATERIAL IS APPROVED BY THE TOWN STAFF. THESE MEASURES SHALL BE COMPLETED PRIOR TO ISSUANCE OF A GRADING PERMIT. TREE FENCING SHALL BE INSTALLED IN FRONT OF SILT FENCING.
10. PRIOR TO THE ISSUANCE OF A GRADING PERMIT, THE TOWN STAFF AND THE PROFESSIONAL RESPONSIBLE FOR PREPARING THE TREE PRESERVATION/REMOVAL PLAN ASSOCIATED WITH THIS PROJECT SHALL FIELD CHECK AND APPROVE THE PLACEMENT OF TREE PROTECTION FENCING, AS PROVIDED FOR ON THE APPROVED PLANS.
11. DETENTION BASINS ARE NOT REQUIRED FOR THIS PART OF DEVELOPMENT.
12. AS CONDITION OF APPROVAL, THE 36 REQUIRED REPLACEMENT TREES MUST BE PLANTED IN CONSULTATION WITH THE TOWN STAFF PRIOR TO THE TOWN SIGNING OFF ON THE FINAL PLAT.



TREE PROTECTION FENCING

SCALE: NOT TO SCALE

TREE INVENTORY

TREE NUMBER	SPECIES	DBH	TO BE REMOVED	HAZARDOUS	REMARKS
1.	RED OAK	36"	YES	NO	
2.	HS	27"	YES	NO	
3.	HS	27"	YES	NO	
4.	HS	31"	YES	NO	
5.	HS	31"	YES	NO	
6.	HS	32"	YES	NO	
7.	HS	33	YES	NO	
8.	HS	36"	YES	NO	

TREE REPLACEMENT SCHEDULE

SIZE OF HARDWOOD TREE PROPOSED FOR REMOVAL	NUMBER IN CATEGORY	NUMBER OF NEW REPLACEMENT TREES REQUIRED
≥ 24" DBH	8	32
	TOTAL	32 CALIPER INCHES

TREE CREDIT PROVISION

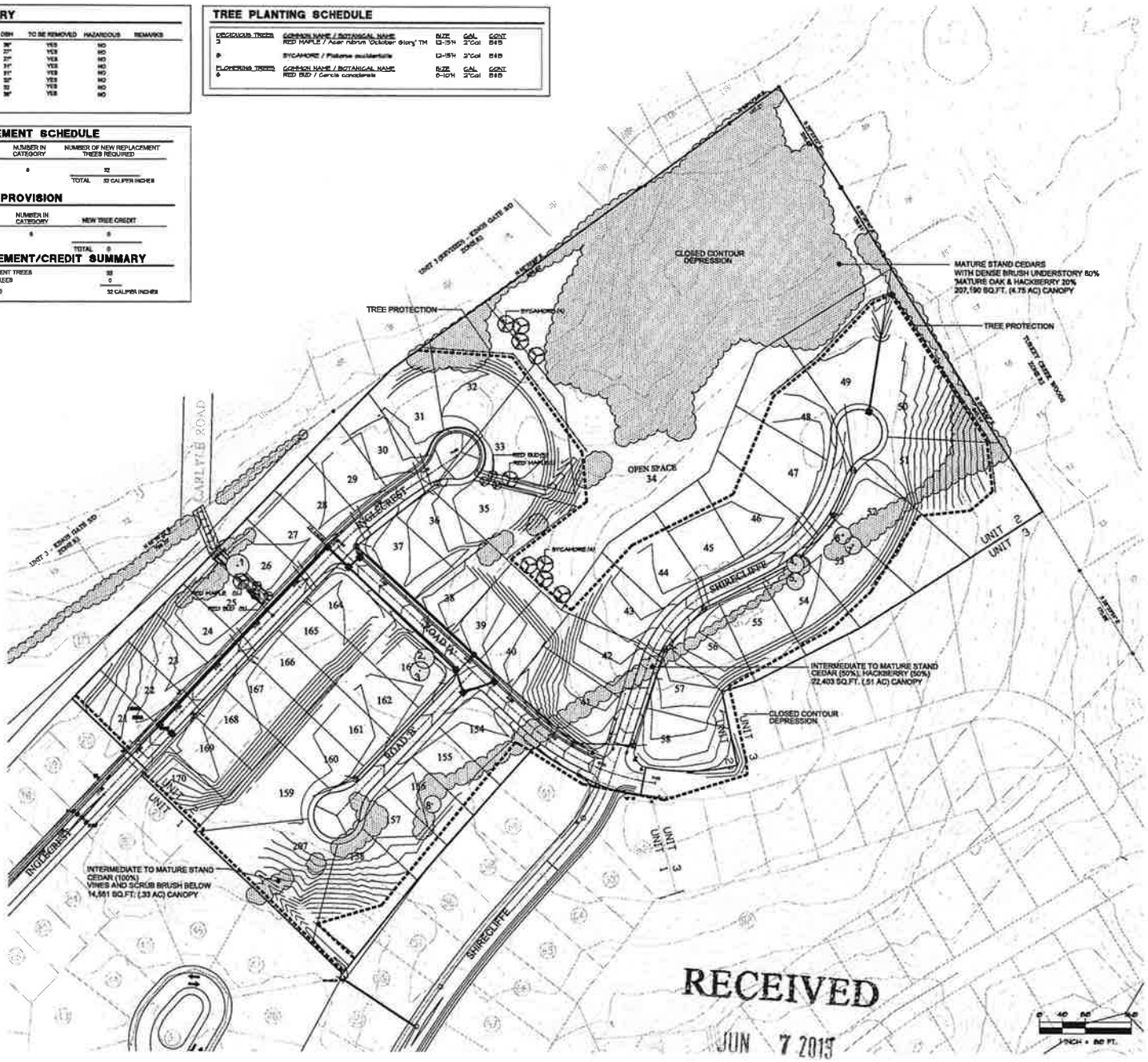
SIZE OF SPECIMEN TREE TO BE SAVED	NUMBER IN CATEGORY	NEW TREE CREDIT
≥ 24" DBH	0	0
	TOTAL	0

TREE REPLACEMENT/CREDIT SUMMARY

REQUIRED REPLACEMENT TREES	32
CREDIT FOR SAVED TREES	0
NEW TREES REQUIRED	32 CALIPER INCHES

TREE PLANTING SCHEDULE

DECIDUOUS TREES	COMMON NAME / BOTANICAL NAME	SIZE	CAL.	CONT.
3	RED MAPLE / Acer rubrum 'October Glory' TM	12-15H	2"Cal	B&B
8	SYCAMORE / Platanus occidentalis	12-15H	2"Cal	B&B
FLOWERING TREES	**COMMON NAME / BOTANICAL NAME**	**SIZE**	**CAL.**	**CONT.**
4	RED BUD / Cercis canadensis	8-10H	2"Cal	B&B



TOWN OF FARRAGUT

MICHAEL VERSEN & ASSOCIATES
LANDSCAPE ARCHITECTURE — LAND PLANNING
229 N. WEISGARBER RD. SUITE 201 KNOXVILLE, TN 37919
(865) 588-1531

Tree Preservation / Removal Plan

SHEFFIELD SUBDIVISION - UNIT 2

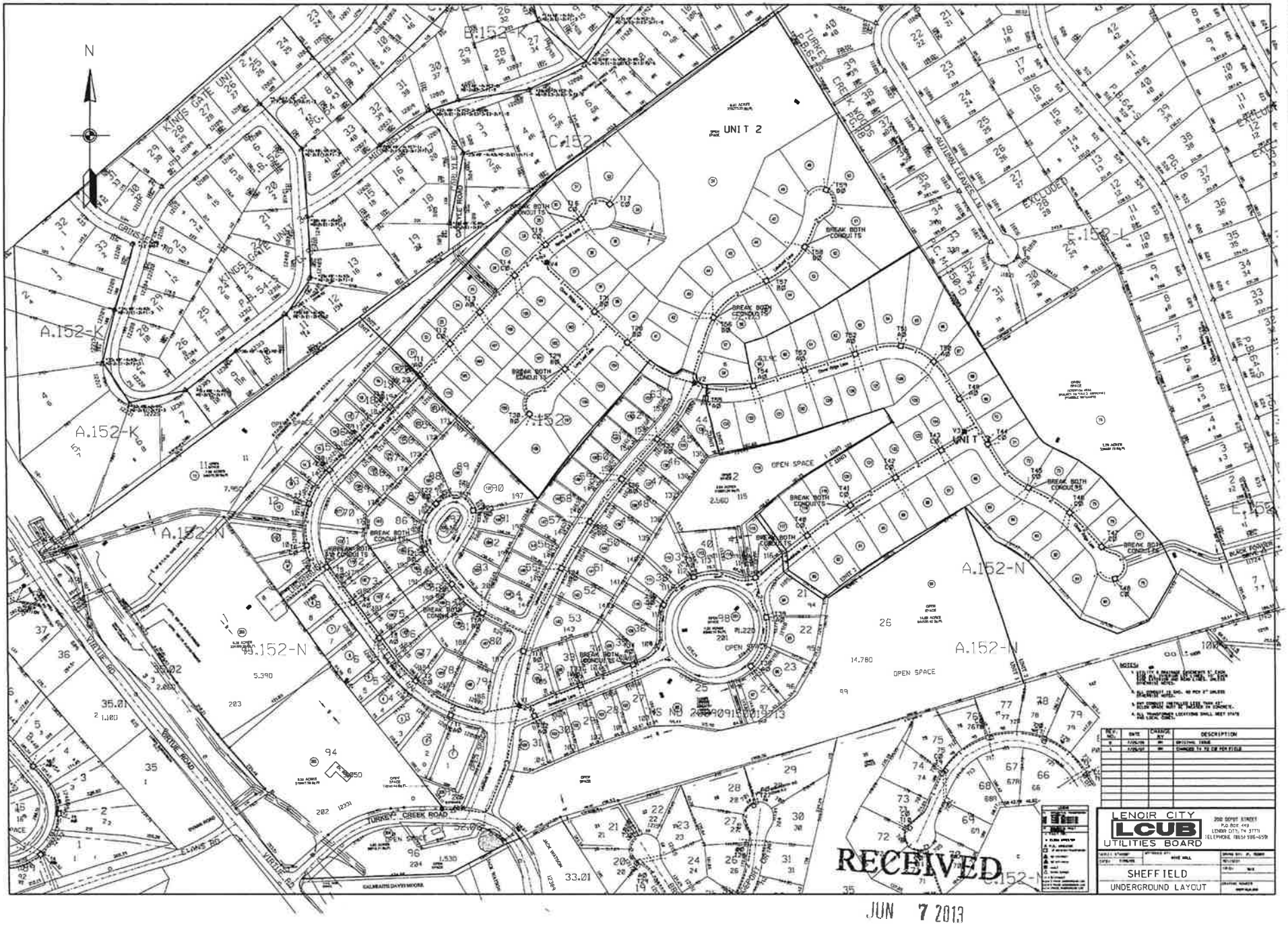
Farragut, Tennessee

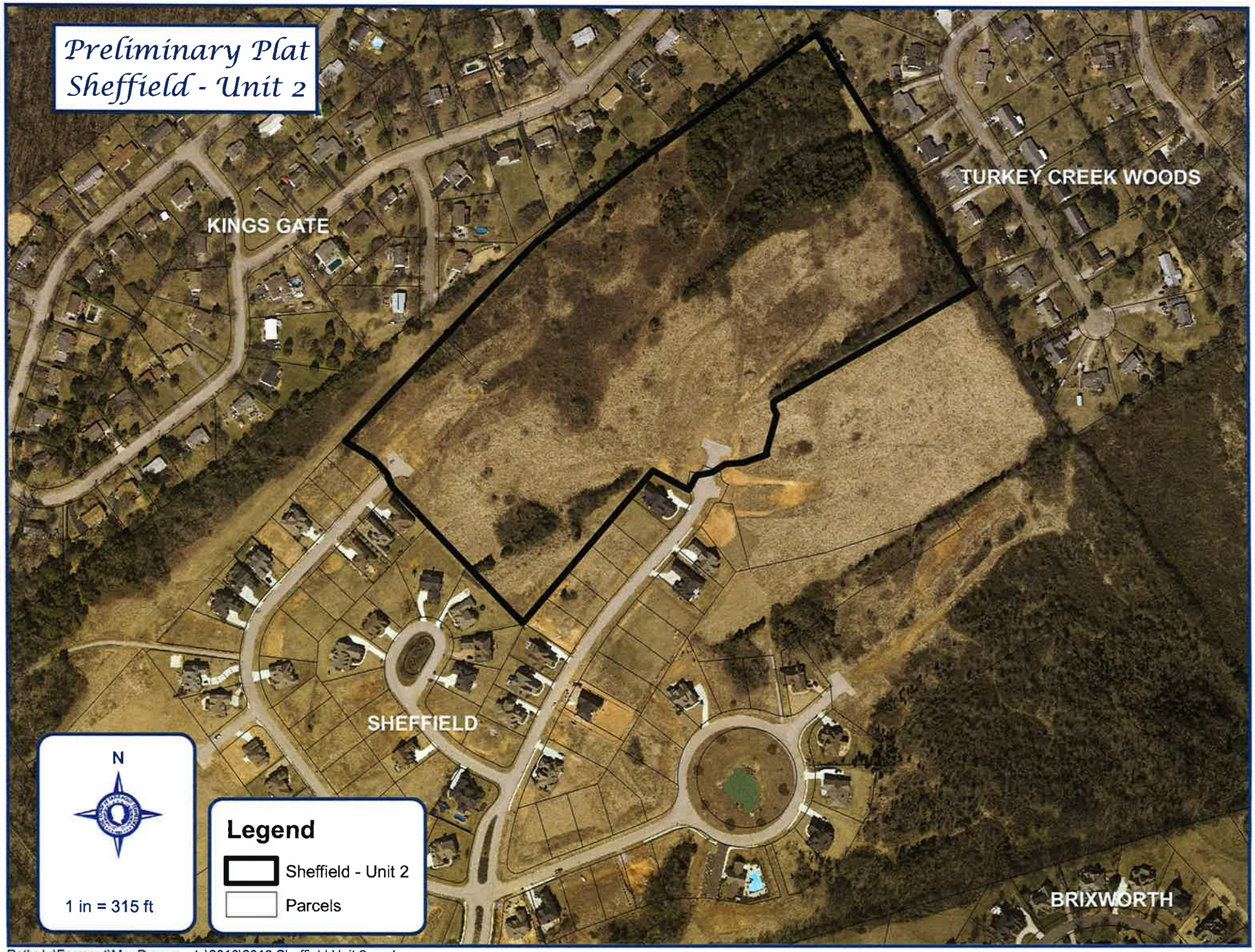
JOB NO.	213038
DRAWN	MAW/RJT
DATE	MAY 11, 2013
REVISIONS	JUNE 7, 2013

NORTH

TP-1

SHEET 23 OF 25


N
UNIT 2
OPEN SPACE
BREAK BOTH CONDUITS
A.152-K
A.152-N
E.152-K
E.152-L
C.152
KINGS GATE UNIT
TURKEY CREEK WOODS
TURKEY CREEK ROAD
VIRGIL ROAD
ELMS RD
LENOIR CITY
LCUB
UTILITIES BOARD
SHEFFIELD
UNDERGROUND LAYOUT
RECEIVED
JUN 7 2013
TOWN OF FARRAGUT



Path: L:\Farragut\MapDocuments\2013\2013 Sheffield Unit 2.mxd

Dr. Ralph McGill, *Mayor*
Mary Dorothy LaMarche, *Vice-Mayor*
David Smoak, *Town Administrator*
Allison M. Myers, *Town Recorder*

Jeff Elliott, *Alderman*
Ron Honken, *Alderman*
Robert N. Markli, *Alderman*

May 30, 2013

Saddlebrook Properties, LLC
P.O. Box 23190
Knoxville, TN 37933
dfiser@fiserinc.com

SUBJECT: Staff comments on preliminary plat for Sheffield Subdivision - Unit 2, Turkey Creek Road, Farragut

To Whom It May Concern,

The Town staff has reviewed the above referenced preliminary plat for compliance with the Town's regulations. Please address the following items and submit four (4) complete sets of 24" x 36" revised plans and one 8 ½" x 11" reduced set to the Farragut Town Hall by **Monday, June 10, at 9:00 a.m.** If plans are not resubmitted by the deadline or the items are not adequately addressed, this item will not be placed on the planning commission agenda. Also, upon resubmittal please include a letter which addresses these comments and that indicates where the information can be found on the plans.

Please remember this item will be discussed at the Staff/Developer Meeting at the Farragut Town Hall on Tuesday, June 4, from 9:30 - 10:15 a.m. The purpose of this meeting is to discuss questions you may have on staff comments. Modifications to the plans are not due until Monday, June 10.

Planning Division: (Contact Ruth Viergutz Hawk at 966-7057)

1. The entire packet is the preliminary packet. All sheets are part of the preliminary plat. Include all sheets in the packet (include R. Lynch sheets in each set). Label each sheet for specific information. What are the R. Lynch sheets?
2. Delete the certifications from the Lynch sheets. This is a preliminary (vs. final) plat;
3. Lynch sheets - generally iron pins/rods are not installed during the preliminary plat;
4. Number the sheets 1 of x, 2 of x, etc.;
5. Submit signed sheets for each utility (TDS, FUD, Charter, etc.). Each utility must sign off on their utility plan. Charter, and if applicable, TDS, can sign off on the LCUB plan because they often bury their lines in the same trench as LCUB.
6. Add a 4" empty conduit across the street at all LCUB crossings;
7. On the title page, indicate the property owner. Include a persons name;
8. Include a persons name for the developer;

9. On the title page, indicate the parcel and tax map information;
10. On the title page, include the total acreage for this phase, the total number of lots for this phase, the open space acreage and calculations for this phase. Also include the total acreage for this phase and the first phase, the total number of lots for this phase and the first phase, and the total open space acreage and calculations for this phase and the first phase;
11. Please be aware that a minimum of 35% of the gross area must be platted open space;
12. In a plat note, indicate which lots are open space lots and what uses are allowed on such open space lots. In this case, only a walking trail is permitted;
13. In a plat note, indicate the setback requirements and the maximum lot coverage. Please refer to the approved concept plan for this information;
14. The maximum bulb wattage for the street lights is a 50 watt HPS (vs. indicated 70 watt);
15. The street lights are to comply with Town of Farragut requirements (vs. MUTCD);
16. Are street lights intended to be located at transformers? If so, need to change at Lots 161/162 and 49-51;
17. Street signs are to have a blue background and white letters. Clarify on detail;
18. Label the sinkholes and associated 50' building setback;
19. Show sidewalks ramped at all street crossings. Clarify;
20. Extend the walking trails to the street with ramps;
21. Stub the walking trail at the end of Lots 33 & 35. Do not grade;
22. Sheet CR.07 - clarify in the bollard detail that they are to be installed 4' apart;
23. No grading is permitted in the open space;
24. Lots 49 & 50 - the pipe should not extend beyond the ROW. Use energy dissipater with headwall. Create an open swale/drainage ditch along the property line, but do not direct at the Kingsgate lots. Move onto this lot and direct toward sinkhole;
25. Where is the sewer line serving Lots 21 & 22 and 169 & 170?
26. Because the road and all other public infrastructure is part of this phase, Lots 50 & 51 will need to be final platted as part of this phase. A note will need to be added stating that lots are not buildable until sewer is provided through Unit 3;
27. The trail location for the connection to Carlyle Road will need to be modified/moved to save the large red oak tree;
28. Sheets CE.01 - "Area to be returned to existing grade and cover <u>after rock waste mitigation from Lots 45 - 48</u>". What does this mean? This area is open space area. Why does this need to be removed?
29. Sheet CE.02 - "Area to be returned to existing grade and cover after rock waste mitigation from lots". What is this referring and what is the purpose?
30. Indicate elevation on the new grade lines. They are difficult to find;
31. The maximum slope is 3:1. What is the slope at the rear of Lots 165-170?
32. Lots 41-44 - grade lots in a shelf pattern vs. such a steep slope on Lot 41. The shown slope is not acceptable. Sewer, sewer tap, and gas is located in this steep slope;

33. Sheets CD.01, CE.01 & CE.03 - Note # 4 - clarify specific time frame for stabilization;
34. Sheets CD.01, CE.01 & CE.03 - Note # 5 - clarify length of the rip rap. It should be based on drainage calculations (volume and velocity);
35. Sheets CD.01, CE.01 & CE.03 - Note #8 - the maximum slope is 3:1 vs. 2:1. Modify accordingly;
36. Sheet CD.01 - Note #10 - for a preliminary plat, which are full construction plans, topography should be based on field work, not KGIS;
37. Sheet CD.02 - Why are there question marks for details in the structure table for HW-(12), (9), (10), (13) and (14);

Tree Preservation/Removal Plan/Landscape Plan: (Contact Mark Shipley at 966-7057)

38. Number the set 1 of …., 2 of …., 3 of …. etc;
39. Please do not include the final plat sheets from the surveyor. This will come later when the public improvements have been installed per the approved construction plans (preliminary plat);
40. Please make the necessary plan modifications to save the 36 inch red oak where the walking trail is proposed to stub into Carlyle Road. This may involve some properly line shifts so that the trail can veer around the tree. The staff reviewed this in the field and this oak tree appears to be in good health and very worthy of being saved. An arborist review and involvement with this tree and possibly others in this unit will be needed;
41. Do not grade on any tree covered portion of open space lots. The walking trail on Lot 34 does not need to extend behind Lot 33;
42. The proposed finished grade on Lot 41 needs to be revisited. It is too steep where it abuts Road A;
43. Designate a concrete wash down area for the build out of this unit. Please designate where and within what type of container the SWPPP inspection reports (including the site assessment inspection report required by a PE within a month of construction) will be maintained on site;
44. Where is the replacement trees proposed to be planted? Based on the plan submitted, there would be sixteen (16) new 2 inch caliper trees required. Replacement trees to be planted within Unit 2 must be on open space. A plan will be needed with locations and species noted;
45. Tree protection fencing will be required anywhere the proposed limits of disturbance abuts any tree covered areas on an open space lot;

Engineering Division: (Contact Darryl Smith at 966-7057)

46. Variance is requested for profile of Road A at 0+13.93. As this is a stop condition, it is acceptable;
47. Why is variance requested at Inglecrest sta. 5+587.35? Profile appears to work with K=49, and this would assist with the issue at 0+13.93 Road A (previous variance);

48. The storm pipe should not extend beyond the right-of-way between Lots 49 & 50. Use energy dissipater with headwall. Create an open swale/drainage ditch along the property line, but do not direct at the Kingsgate lots. Move onto this lot and direct toward sinkhole;
49. Please make the site location map (on cover sheet) match actual area for Unit 2. It appears to look different;
50. Please have the following message cast into all storm drain castings: "DUMP NO WASTE, DRAINS TO RIVER";
51. Please consider installing water and electrical facilities on the opposite side of the road from proposed sidewalk. Seems like it would benefit all parties;
52. Submit an irrevocable letter of credit for Erosion Control in the amount of $90,000.00; and

53. Submit a drainage fee of $1,650.00.

Please call the designated staff person if you have any questions on the above items. Unless specified otherwise, please include all requested information on the plans. You may note that there are some duplicate comments. This is done so that if you have a question, you know that you can call either person regarding that particular issue. Please note that due to the nature and extent of the comments, additional comments may be generated upon resubmission.

Once construction has been completed, an as-built survey of all improvements must be submitted.

Sincerely,

Ruth Viergutz Hawk

Ruth Viergutz Hawk, AICP
Community Development Director

Darryl W. Smith, P.E.
Town Engineer

attachments - Grading Permit Checklist [mailed copy only]

pc: Rackley Engineering (rnrackley@gmail.com)

MEETING DATE: June 20, 2013

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Ruth Viergutz Hawk, Community Development Director

SUBJECT: Discussion and public hearing of a request for abandonment of right-of-way of old Snyder Road right-of-way at N. Campbell Station Road, located between Parcels 122 & 123.02, Tax map 130, Farragut Municipal Code, Title 16, Chapter 3. Road Closing or Terminating Policy (Eddie Kherani/Marathon Gas Station, Applicant)

INTRODUCTION: The Snyder Road/Outlet Drive road project was completed in December 2012. As part of this roadway construction project, a portion of Snyder Road was moved north so as to connect it with Outlet Drive to the east and with Snyder Road to the west. As a result of this realignment, the portion of old Snyder Road immediately adjacent to the Marathon Gas Station has been closed to traffic.

DISCUSSION: The request before you is for approximately 160' of the closed right-of-way to be given to the adjacent property owner, Eddie Kherani, the owner of the Marathon Gas Station. Per the Farragut Municipal Code, such requests are to start with the planning commission. The commission in turn makes a recommendation on the request to the Board of Mayor and Aldermen.

The commission has acted on requests such as this in the past. You may recall that two years ago the planning commission recommended to the Board of Mayor and Aldermen that the Herron Road right-of-way north of I-40/75 be quit claim deeded to the adjacent property, Buddy Gregg Motor Homes. As part of the abandonment process, the Herron Road right-of-way was to be used as a land swap for the right-of-way for the Snyder Road/Outlet Drive connector and the property owner was required to prepare and record a plat incorporating the right-of-way into their tract.

Staff feels this request is premature and that nothing should be done at this time. Since the road project was just recently completed, we are uncertain of future needs of the area. For example, the right-of-way could possibly be used as some type of pedestrian connection in the future.

I did receive an e-mail from First Utility District stating they had a sewer line in this area and they would need to retain rights to this line.

Attached please find a copy of the letter of request, an aerial photo of the general area, and a zoomed in aerial photo of the now closed Snyder Road. Also attached please find Resolution PC-13-06 and

Ordinance 13-20. Resolution PC-13-06 recommends approval of Ordinance 13-20 to the Board of Mayor and Aldermen.

RECOMMENDATION BY: Staff recommends denial of Resolution PC-13-06, Ordinance 13-20, and the relinquishing of the right-of-way.

PROPOSED MOTION: Because a motion is to be made in the positive, the motion would be "To approve Resolution PC-13-06" as attached. A failure of the motion would be a recommendation of denial of Ordinance 13-02.

AZIZ A. KHERANI
644 BLUE HERRON ROAD
KNOXVILLE, TN 37934
865-388-5431.

RECEIVED
MAR 26 2013
TOWN OF FARRAGUT

March 25, 2013

Ms. Ruth Hawk

Town of Farragut

Plans Review
11408 Municipal Center Drive

Farragut, TN 37934

Project: Marathon Gas Station, Campbell Station Road

Re: Abandoned Right of Way

Ruth: Per our discussion, the extension of Outlet Drive and abandonment of Snyder Road has created a parcel of property that is currently owned by the Town of Farragut.

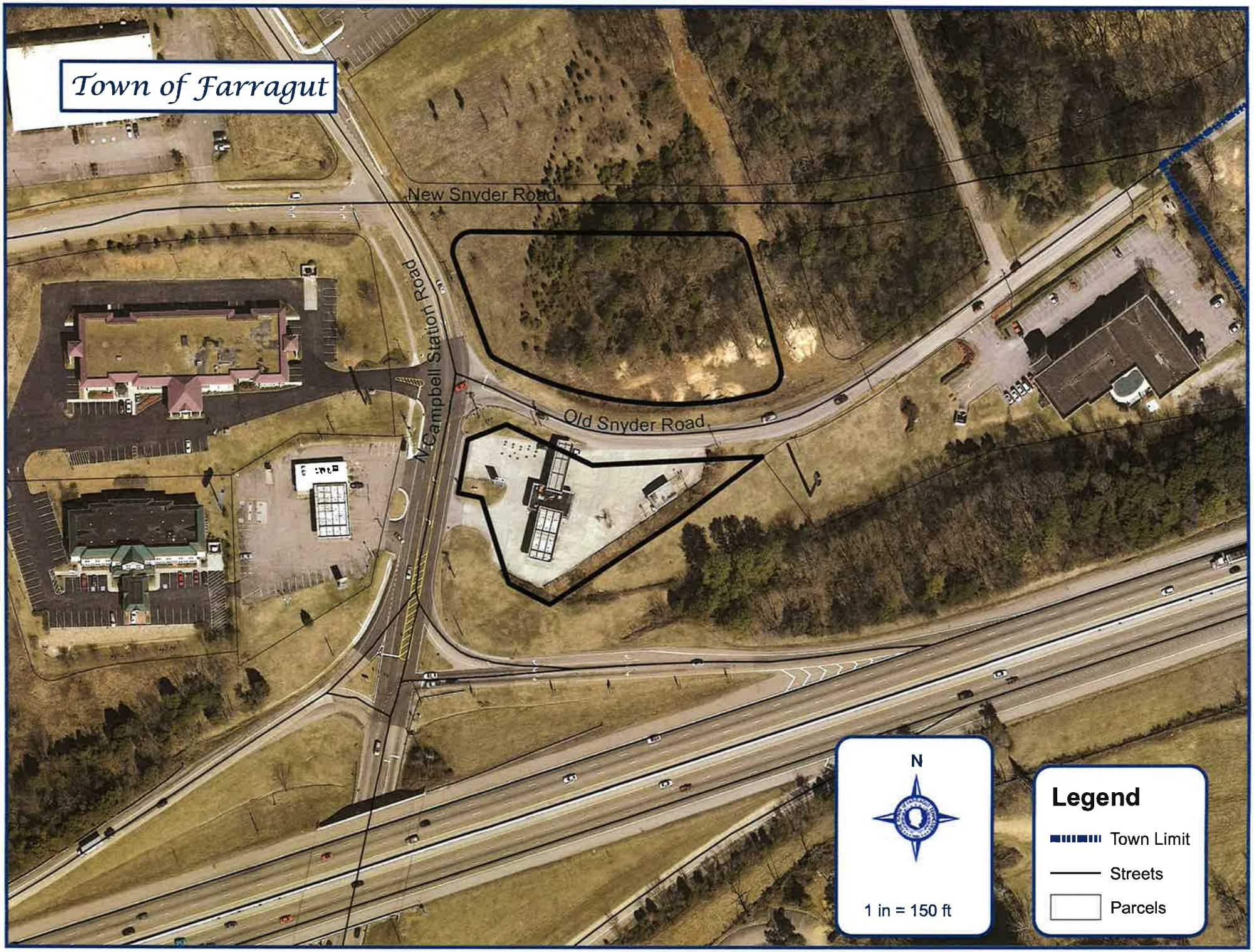
As the Owner of the *Marathon Oil* property, I am interested in the entire abandoned property as it has been brought to me that the property owner to the north has declined the option on their portion of the parcel.

Based on this information and a subsequent conversation with R2R studio, llc., it is my understanding that the Town of Farragut would entertain the possibility of transferring the property's ownership to me without monetary compensation to the Town. If this direction is amenable with the Town of Farragut, then I would be interested. If monetary exchange is deemed necessary for the property then I would not be interested.

Upon your review, please do not hesitate contact me if the Town of Farragut has further questions of me.

Respectfully submitted,

Aziz Kherani(Eddie)
865-388-5431.



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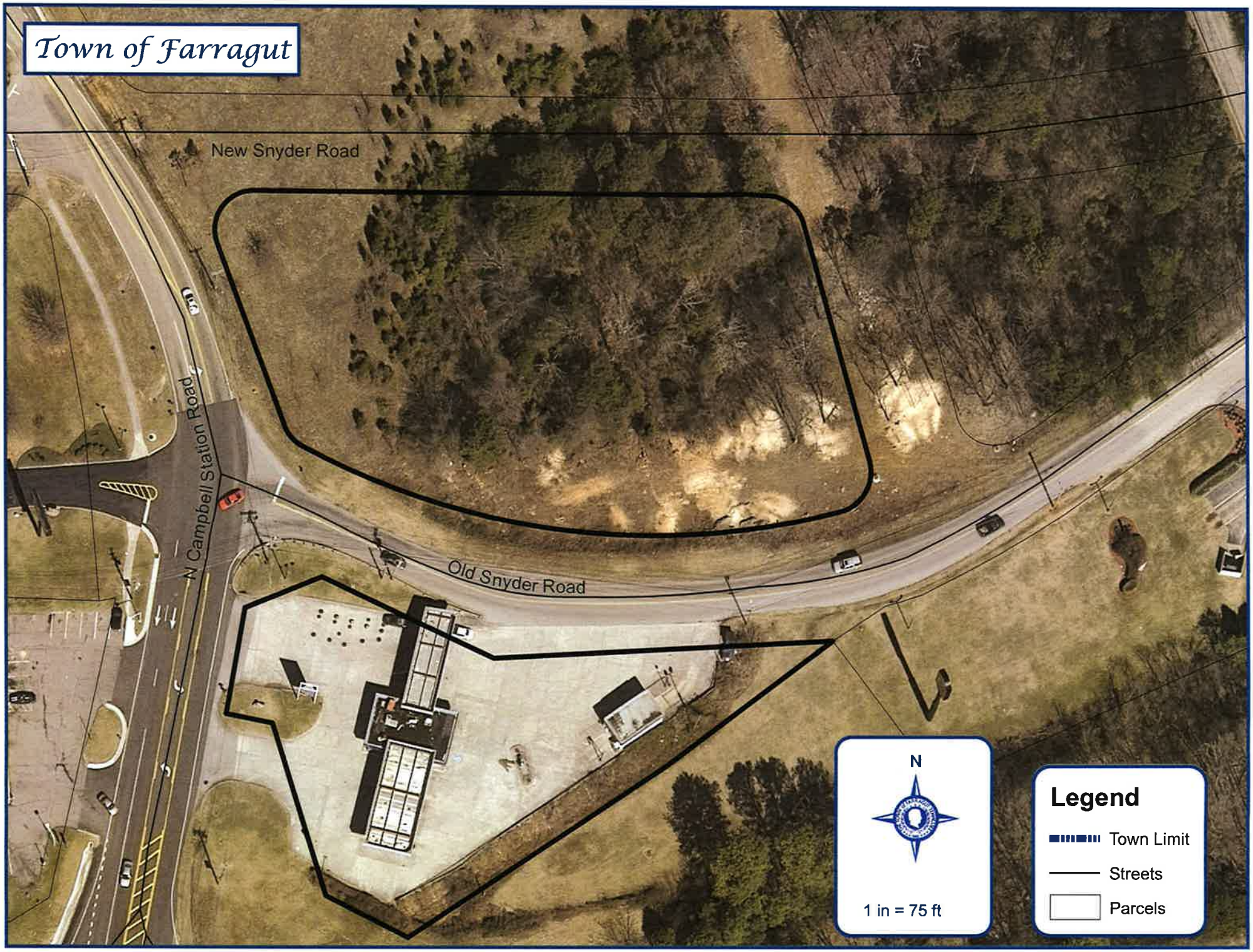

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RESOLUTION PC–13-06

FARRAGUT MUNICIPAL PLANNING COMMISSION

A RESOLUTION TO CLOSE APPROXIMATELY ONE HUNDRED SIXTY (160) FEET OF OLD SNYDER ROAD RIGHT-OF-WAY AT N. CAMPBELL STATION ROAD, LOCATED BETWEEN PARCELS 122 AND 123.02, TAX MAP 130

WHEREAS, the Tennessee Code Annotated, Section 13-4-201 et seq, provides that the Municipal Planning Commission shall make and adopt a general plan for the physical development of the municipality; and

WHEREAS, the Farragut Municipal Planning Commission has adopted a Major Road Plan as an element of the general plan for physical development; and

WHEREAS, a public hearing was held on this request on June 20, 2013;

NOW, THEREFORE, BE IT RESOLVED that the Farragut Municipal Planning Commission hereby recommends approval of Ordinance 13-20 to the Farragut Board of Mayor and Aldermen and that approximately one hundred sixty (160) feet of old Snyder Road right-of-way at N. Campbell Station Road, located between Parcels 122 & 123.02, Tax Map 130, be closed and such right-of-way relinquished to the owner of Parcel 122, Tax Map 130.

ADOPTED this 20th day of June, 2013.

_____

Rita Holladay, Chairman

_____

Edwin K. Whiting, Secretary

ORDINANCE:	**13-20**
PREPARED BY:	**Hawk**
REQUESTED BY:	**Eddie Kherani/Marathon Gas Staion**
CERTIFIED BY FMPC:	**June 20, 2013**
PUBLIC HEARING:	_____
PUBLISHED IN:	_____
DATE:	_____
1ST READING:	_____
2ND READING:	_____
PUBLISHED IN:	_____
DATE:	_____

AN ORDINANCE TO CLOSE APPROXIMATELY ONE HUNDRED SIXTY (160) FEET OF OLD SNYDER ROAD RIGHT-OF-WAY AT N. CAMPBELL STATION ROAD, LOCATED BETWEEN PARCELS 122 AND 123.02, TAX MAP 130

WHEREAS the Board of Mayor and Aldermen of the Town of Farragut has been petitioned by the adjacent property owner to close approximately one hundred sixty (160) feet of old Snyder Road right-of-way at N. Campbell Station Road, located between Parcels 122 & 123.02, Tax Map 130, and

WHEREAS the Farragut Municipal Planning Commission has as set forth in Title 16, Section 16-303. of the Farragut Municipal Code, reviewed the request for closure,

NOW, THEREFORE, BE IT ORDAINED by the Board of Mayor and Aldermen of the Town of Farragut, Tennessee, as follows:

SECTION 1.

That approximately one hundred sixty (160) feet of old Snyder Road right-of-way at N. Campbell Station Road, located between Parcels 122 and 123.02, Tax Map 130, be closed, as illustrated on Exhibit A, with the following stipulations:

1. That the Town of Farragut relinquish ownership of the right-of-way through Quit Claim Deed to the adjoining property owner of Parcel 122, Tax Map 130;
2. That the owner of Parcel 122, Tax Map 130, prepare and record a subdivision plat which dissolves the right-of-way and the interior property lines between Parcel 122, Tax Map 130, and the right-of-way to create a single parcel; and
3. That the plat establish the appropriate utility easements.

SECTION 2.

This ordinance shall take effect from and after its final passage and publication, the public welfare requiring it.

_____
Dr. Ralph McGill, Mayor

_____
Allison Myers, Town Recorder

Certified to the Farragut Board of Mayor and Aldermen this _____ day of _____, 2013, with approval recommended.

_____
Rita Holladay, Chairman

_____
Edwin K. Whiting, Secretary

FARRAGUT MUNICIPAL PLANNING COMMISSION

Town of Farragut

Ordinance 13-20
Exhibit A

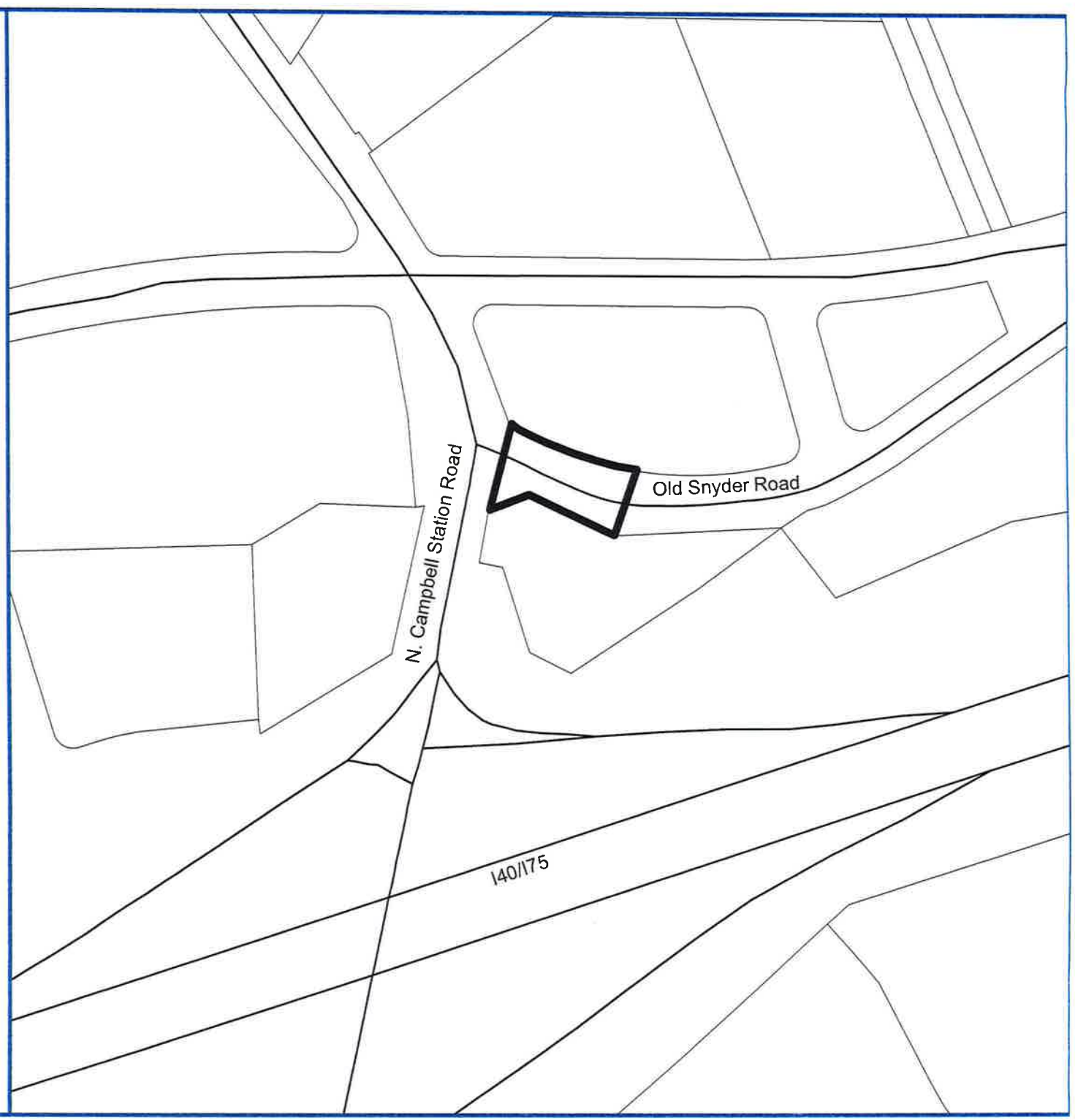
Request for abandonment
of right-of-way
of Old Snyder Road
right-of-way at
N. Campbell Station Road,
located between
Parcels 122 & 123.02, Tax Map 130

Legend

- Streets
- Town Limit
- Abandon Right-of-Way
- Parcels

N

1 in = 175 ft



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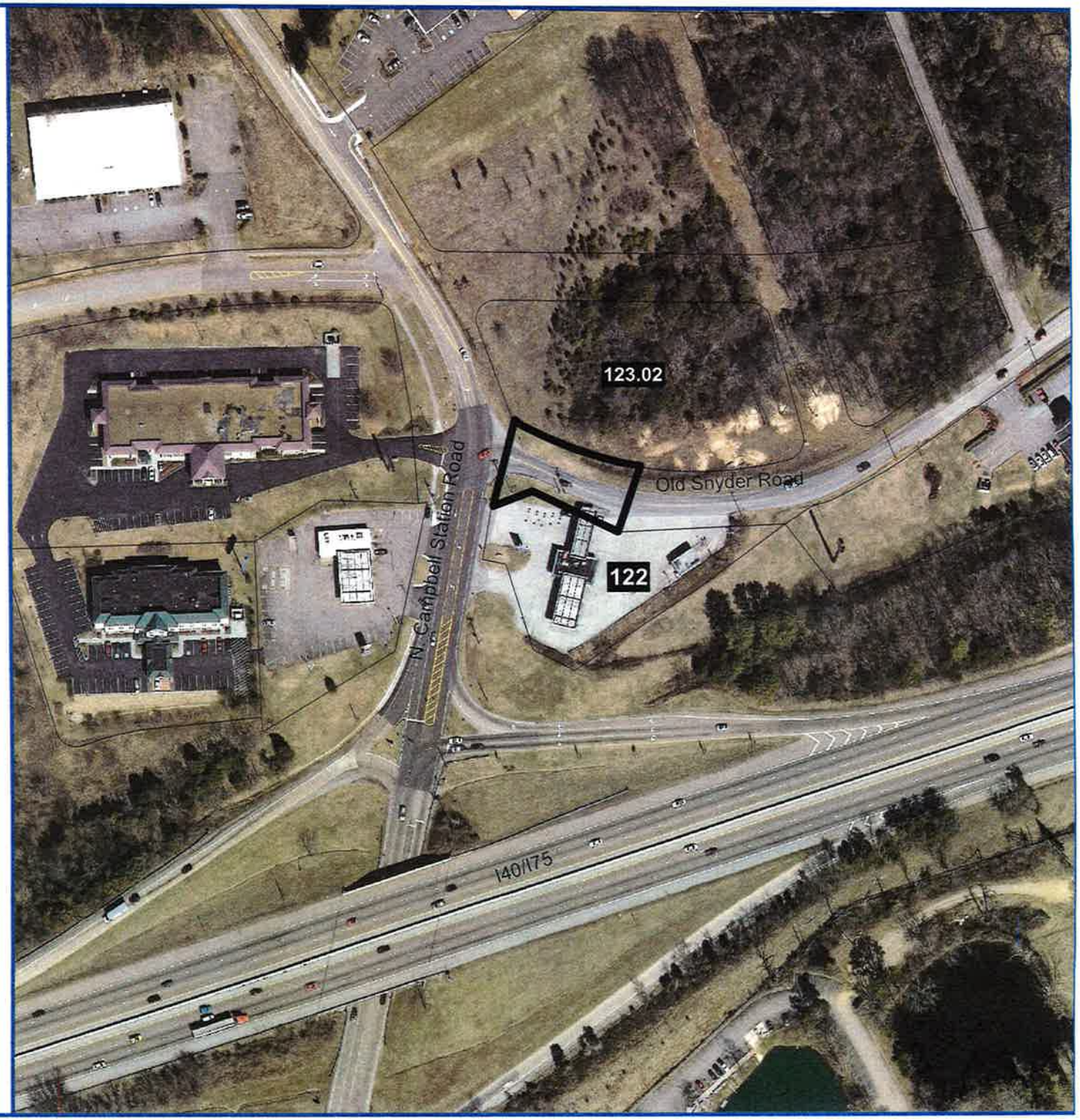
Town of Farragut

Ordinance 13-20
Exhibit A

Request for abandonment
of right-of-way
of Old Snyder Road
right-of-way at
N. Campbell Station Road,
located between
Parcels 122 & 123.02, Tax Map 130



Legend

- Town Limit
- Abandon Right-of-Way
- Parcels

N

1 in = 175 ft

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MEETING DATE: June 20, 2013

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Ruth Viergutz Hawk, Community Development Director

SUBJECT: Discussion of a request to amend the *2012 Comprehensive Land Use Plan Update*, Parcel 109, Tax Map 130, located on the east side of N. Campbell Station Road, north of Holiday Inn Express, 30.5 Acres, from Open Space Cluster Residential to Mixed Use (Kay Wellons, Applicant)

Gary Palmer, Assistant Town Administrator, met with the applicant and will report at the meeting.

Rules/Regulations:

The petitioner must illustrate compliance with the Future Land Use map ***or*** successfully petition the FMPC for an amendment to that map and then petition the FMPC and Board for an amendment to the Zoning Map.

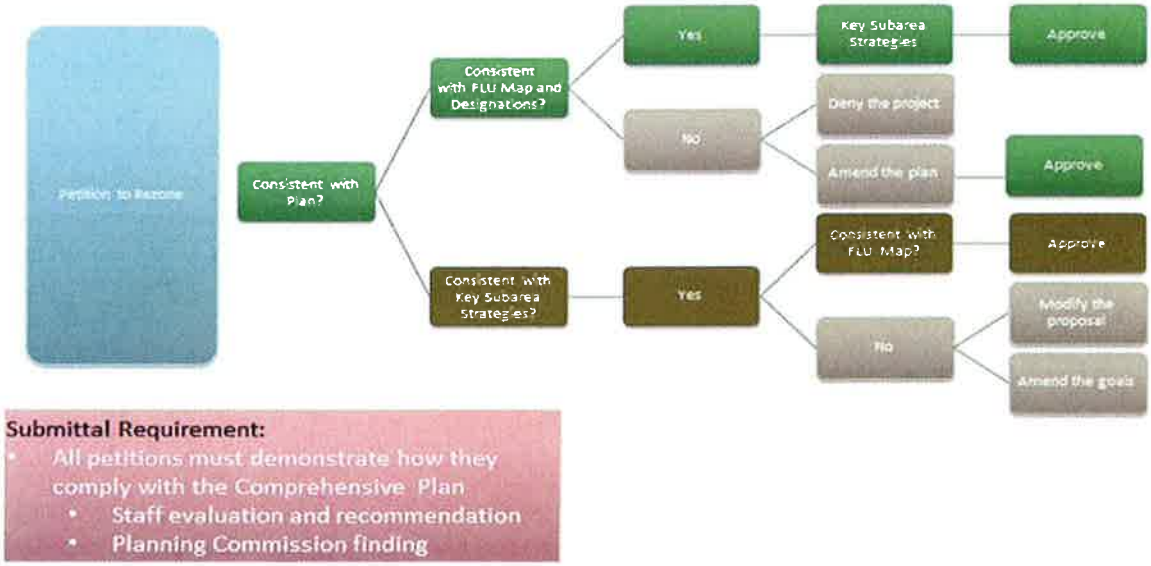
References:

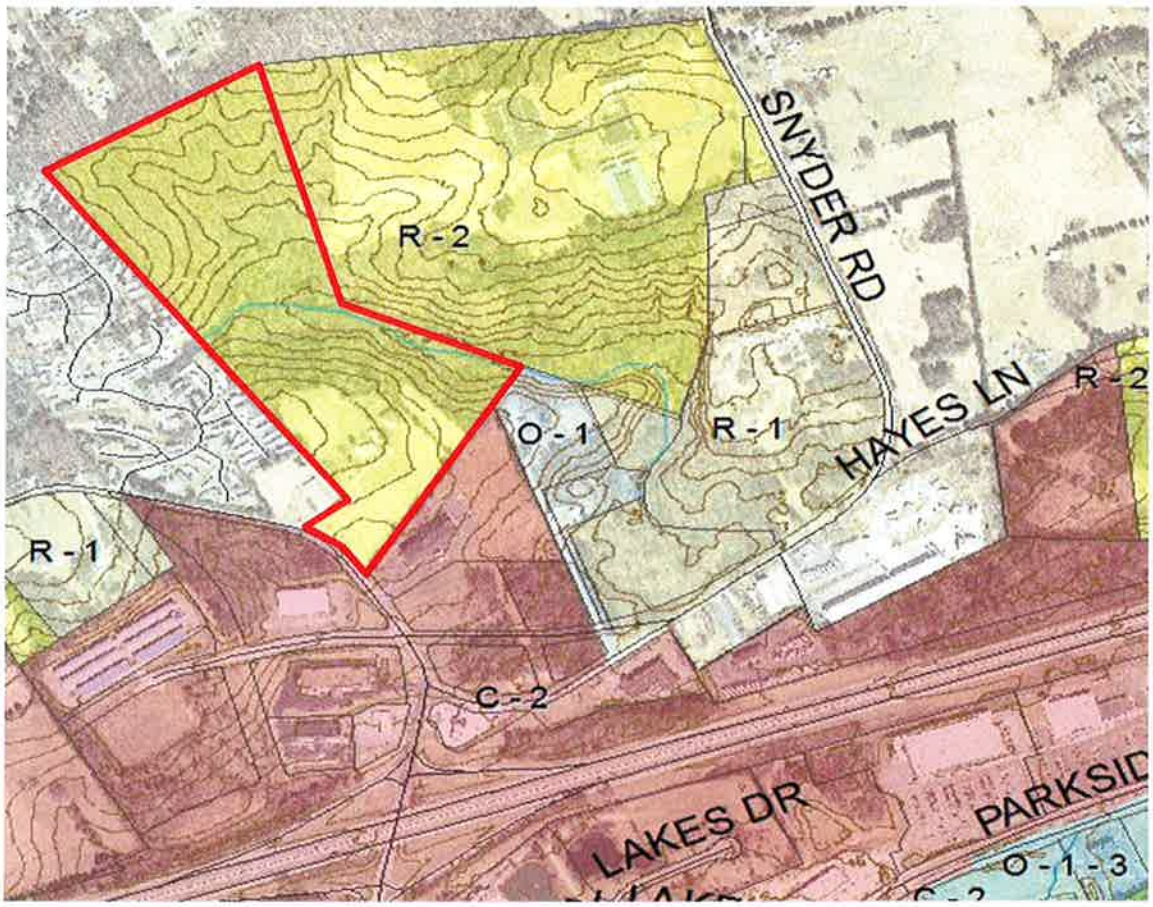
- Development Manual
- Zoning Map Amendment Application
- Application Fee Schedule (Map Amendment: $300.00)
- Zoning Ordinance
- Zoning Map (large file… will take a couple minutes to download)

The subject property is located in a unique area. The proximity to the interstate and high intensity commercial uses to the south lend support for a commercial zone; however, the low intensity residentially-used property to the northwest doesn't. The size of the property may allow a mix of uses which would create a viable transition from high intensity to low intensity (review specifically Strategy 8 and Chapter 3 in the Comprehensive Plan). The topography of the site may pose challenges to development which would have to be resolved during the platting/site plan process.

The Town recently completed the Comprehensive Land Use Plan update which categorizes the future use of the subject property as Open Space Cluster Residential (low density residential). Thus, in order to successfully rezone this property the Planning Commission must resolve to modify the Future Land Use Map and indicate this area as commercial, mixed-use, or some other category complimentary to the proposed zone.

Here is an abbreviated flow chart of the process:





820 Campbell Station Road

Town of

Farragut

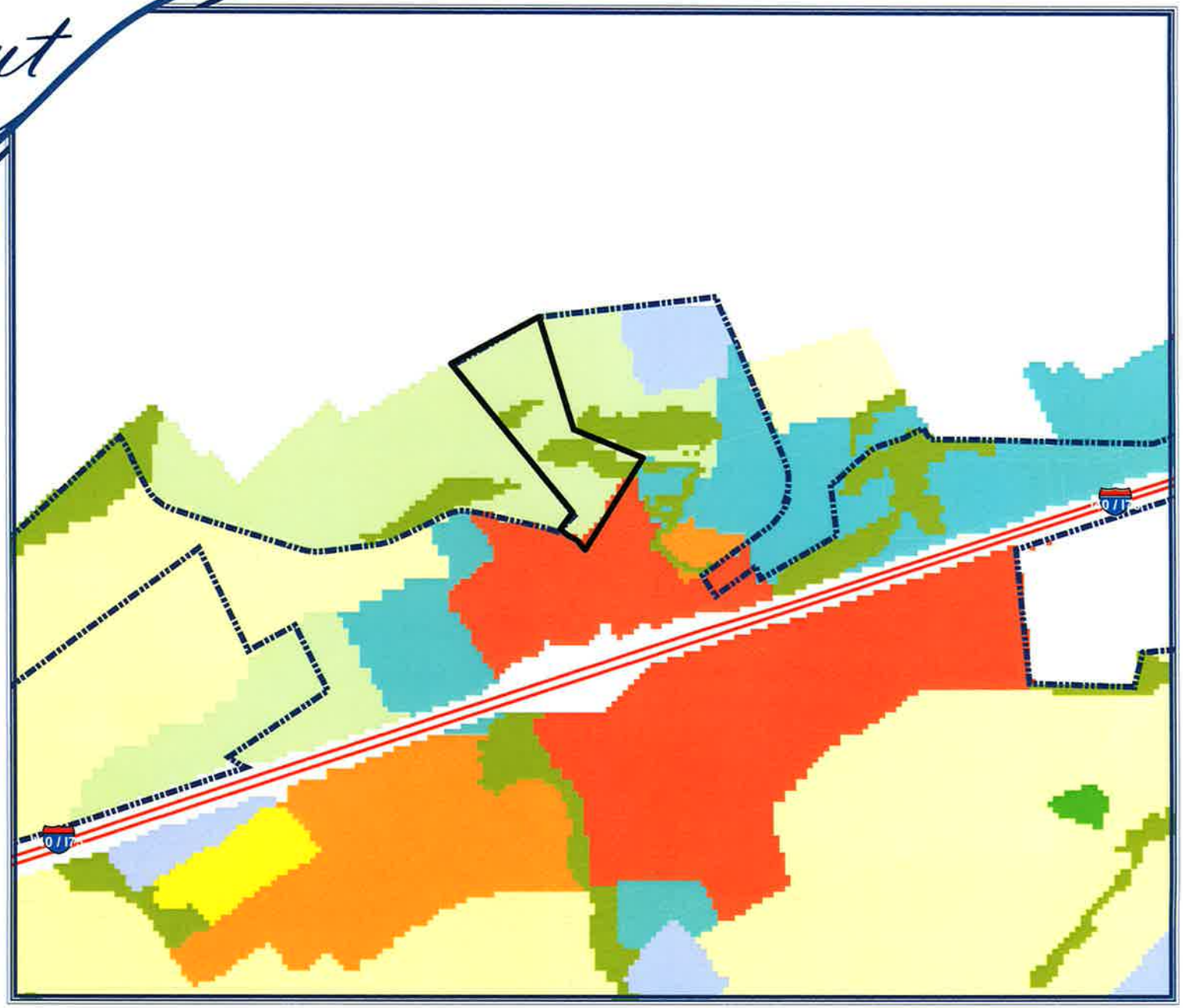
Land Use Plan

Legend

- Town Limit
- Civic/Insitutional
- Office/Light industrial
- Industrial
- Commercial
- Regional Commercial
- Open Space
- Parks and Rec
- Open Space Cluster
- Rural
- Very Low Density Residential
- Low Density Residential
- Med Density Residential
- Mixed Use
- Mixed Use Town Center
- 2012 Comprehensive Land Use Plan Amendment Request

N

1 inch = 1,325 feet



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Town of Farragut

Slope

1: 21.4%

2: 32.1%

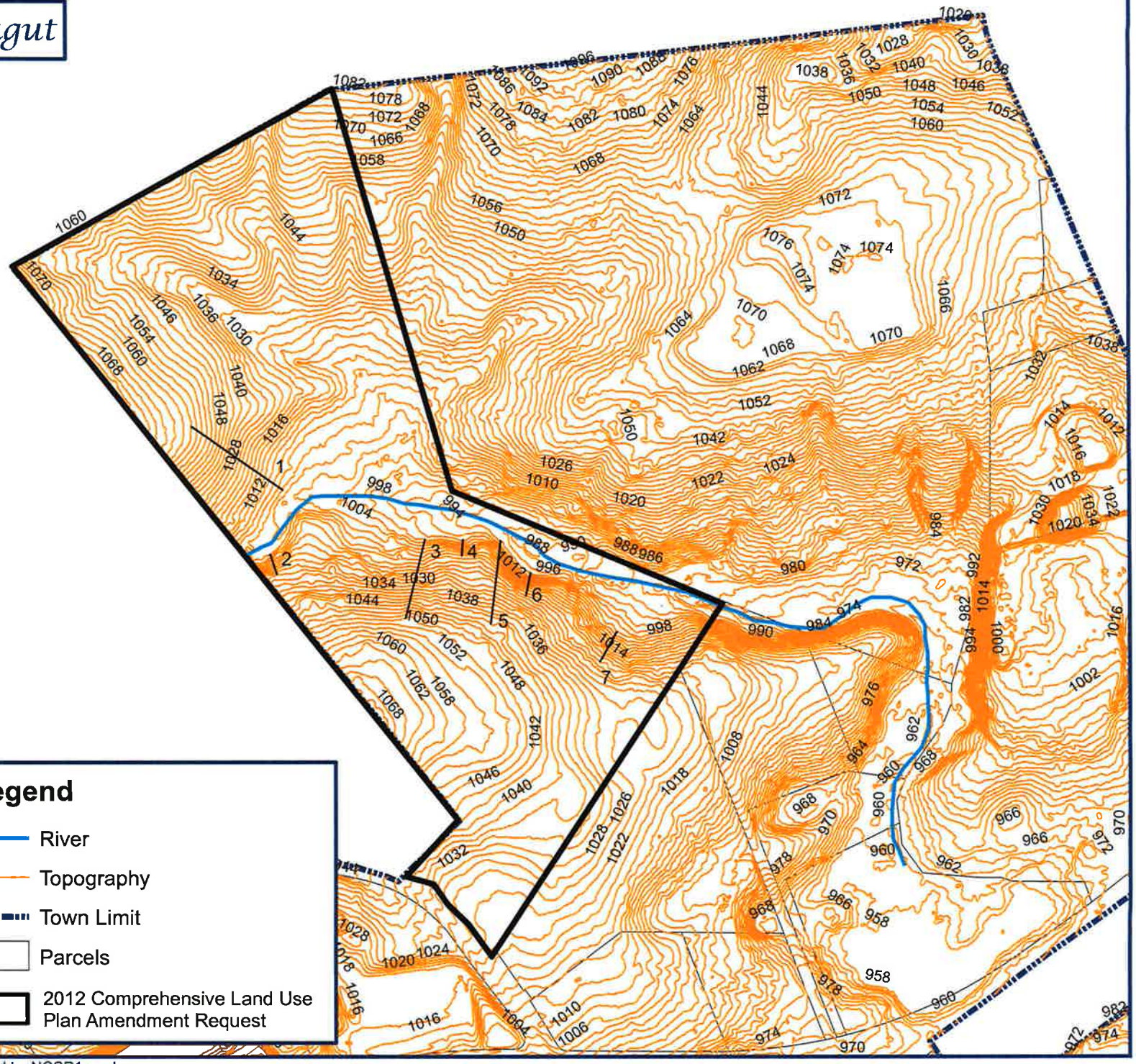
3: 21.1%

4: 31%

5: 20.4%

6: 38.8%

7: 26.7%



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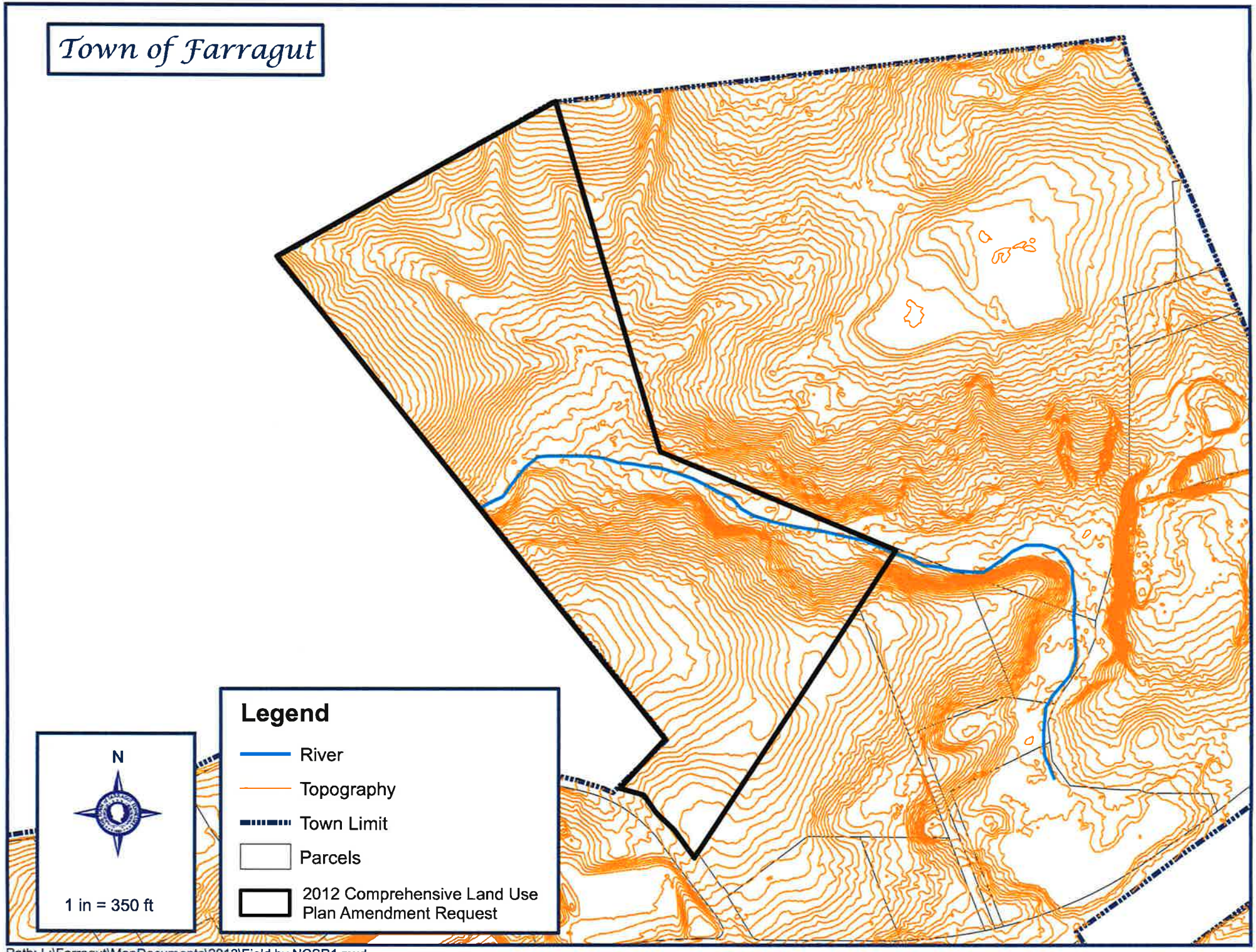

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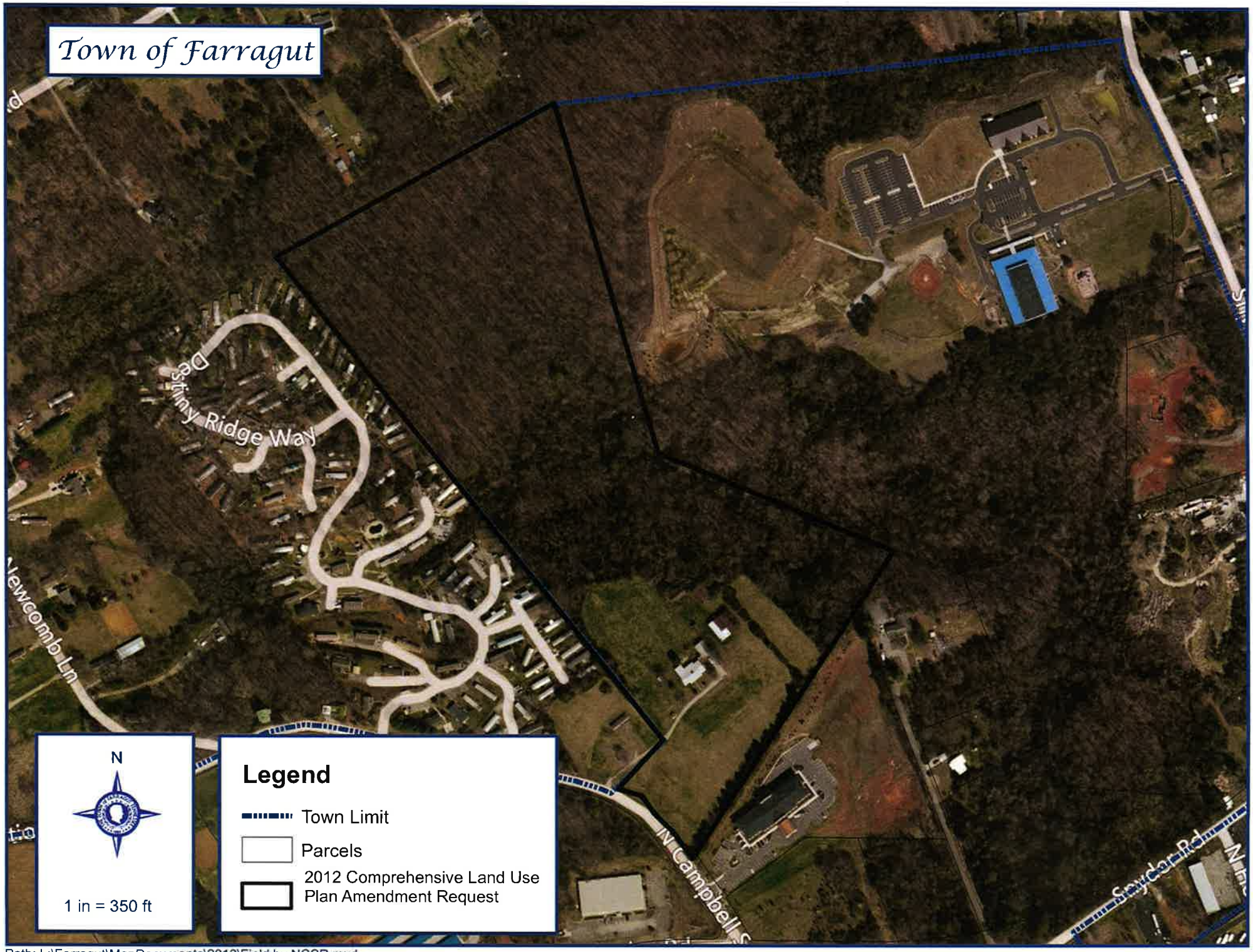

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APPLICATION TO AMEND THE TOWN OF FARRAGUT FUTURE LAND USE PLAN
FARRAGUT MUNICIPAL PLANNING COMMISSION
TOWN OF FARRAGUT, TN

The undersigned hereby makes application to amend the Town's Future Land Use Plan.

PETITIONER INFORMATION
Name: Kay Wellons
Full address: 6417 Hickory Woods Dr Knoxville, Tennessee 37934
Contact information (phone and email): 865-300-6911

OWNER INFORMATION (if not petitioner)
Name(s): Kay Lee Wellons, Karen Lee Flores, Karla Lee Hodges
Full address(es): 6417 Hickory Woods Dr Knoxville Tn 37934, 2513 Allegheny Dr Chattanooga Tn 37401 / 423-505-0330
Contact information (phone and email): 1109 Tenn River Dr Knoxville Tn 1-865-384-5798
Kay.Wellons@knoxschoolsucks, Mkarlflores@comcast.net, Karla.Hodges@knoxschools

PROPERTY/AREA INFORMATION:
Physical Address(es) of ***ALL*** Property to be considered for amendment:
930 Campbell Station Rd
Knoxville, Tennessee 37922
Current Future Land Use Designation(s): Open Space Cluster Residential
Proposed Future Land Use Designation(s): Mixed use
Zoning of Each Property to be Considered: R-2 Single Family Res
Existing Use of Property to be Considered : Agricultural
Proposed Future Use of Property (if known): Mixed use

Explain why the current future land use designation of this property/area should be changed:
It should be changed because there has been a lot more commercial activity in the area. Hotels have been built around the property, one borders one of the property lines. Another Hotel is presently being built down from it. Across the road is a pro golf shop. And one of the big reasons is presently in the green belt with low agricultural taxes and if the land designation could be changed it would help the City of Farragut and citizens with more tax money.

Describe the amendment's benefit to the Town:

Again, if the land designation could be changed, it would help the City of Fayetteville with a much higher tax base

Describe the amendment's environmental impact on the surrounding properties:

The environmental impact would be low to medium because the land does not border anything, but a hotel, A school and a mobile home park. The land is growing up and we are unable to maintain it. Instead of it sitting there being useless and becoming a home to critters residing in deep thickets, it would be better to be usable to the citizens of Fayetteville and to the town's tax base.

Describe the amendment's impact on the Town's infrastructure if developed (ie. traffic impact):

I think the extra infrastructure will be minimum because of all the new roadwork that has already been done for the Hotel.

Required Attachments:

- Map or sketch plan clearly illustrating the property/area to be considered

Recommended Attachments:

- Statements of support from surrounding property owners

Petitioner Signature: Kay Williams Date: 3-14-13

Property Owner Signature: Kay Williams Date: 3-14-13

MEETING DATE: June 20, 2013

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Ruth Viergutz Hawk, Community Development Director

SUBJECT: Discussion and public hearing on an amendment to the Farragut Subdivision Regulations, Article III. General Requirements and Minimum Standards of Design, F. Suitability of the Land, 2. Land Subject to Flooding, e. (1), to update the Flood Insurance Rate Map (FIRM), Community Panel Numbers per the most recent flood study

---

INTRODUCTION: This amendment is the second step in the adoption process of the latest flood study of Turkey Creek and North Fork Turkey Creek and so that the town will remain compliant with the National Flood Insurance program.

DISCUSSION: The National Flood Insurance Program (NFIP) in Tennessee works closely with private insurance companies to offer flood insurance to property owners and renters. In order to qualify for flood insurance, a community must join the NFIP and agree to enforce sound floodplain management standards.

The National Flood Insurance Program (NFIP) is a federal program created in 1968 that allows citizens in participating communities to purchase insurance coverage for potential property damage as a result of flooding. This voluntary program for local communities is administered by the Mitigation Division of the Federal Emergency Management Agency (FEMA). The three components of the NFIP are:

- Flood Insurance
- Floodplain Management
- Flood Hazard Mapping

In return for a local community adopting and enforcing local floodplain management regulations, flood insurance is available in the community. Of all natural disasters, flooding is historically responsible for the most loss of life and the greatest damage to property in the state. This loss of life and property damage, however, is also the most preventable.

The recent amendment to the Zoning Ordinance updated the regulations and the referenced Flood Insurance Rate Map (FIRM) community panel numbers(s). The purpose of this amendment is to update the referenced flood panel numbers in the Subdivision Regulations.

Attached please find a copy of Resolution PC-13-07.

RECOMMENDATION BY: Staff recommends approval of Resolution PC-13-07.

PROPOSED MOTION: Move to approve Resolution PC-13-07.

RESOLUTION PC-13-07

FARRAGUT MUNICIPAL PLANNING COMMISSION

A RESOLUTION TO AMEND THE FARRAGUT SUBDIVISION REGULATIONS, ARTICLE III. GENERAL REQUIREMENTS AND MINIMUM STANDARDS OF DESIGN, F. SUITABILITY OF THE LAND, 2. LAND SUBJECT TO FLOODING, e. (1), TO UPDATE THE FLOOD INSURANCE RATE MAP (FIRM), COMMUNITY PANEL NUMBERS PER THE MOST RECENT FLOOD STUDY

WHEREAS, the Farragut Municipal Planning Commission has adopted regulations governing the subdivision of land within the Town in the manner provided for in Section 13-4-303, Tennessee Code Annotated;

WHEREAS, the Farragut Municipal Planning Commission may amend the Subdivision Regulations in the manner provided for in Section 13-4-303, Tennessee Code Annotated, and after a public hearing has been held thereon;

WHEREAS, such public hearing was held on June 20, 2013; and

NOW, THEREFORE, BE IT RESOLVED that the Farragut Municipal Planning Commission adopts the following amendments to the Farragut Subdivision Regulations:

SECTION 1.

Article III. General Requirements and Minimum Standards of Design, F. Suitability of the Land, 2. Land Subject to Flooding, e. (1), is amended by deleting it in its entirety and substituting in lieu thereof the following:

(1) The floodway areas and the land subject to flood identified on the Knox County, Tennessee, and Incorporated Areas Federal Emergency Management Agency, Flood Insurance Study (FIS) and Flood Insurance Rate Map (FIRM), Community Panel Numbers(s) 47093C - 0238F, 0239F, 0352F, 0356F, and 0360F dated May 2, 2007, and Community Panel Numbers(s) 47093C - 0241G, 0242G, 0243G, 0244G, and 0357G, Dated August 5, 2013, along with all supporting technical data.

SECTION 2.

This amendment shall be in full force and effect from and after the date of passage of this Resolution.

RESOLUTION passed June 20, 2013.

_____
Rita Holladay, Chairman

_____
Edwin K. Whiting, Secretary

Municipal Flood Damage Prevention Regulations of the Farragut Zoning Ordinance, and the Aquatic Buffer Ordinance of the Farragut Municipal Code.

c. Floodway: The channel of a river or other watercourse and the adjacent land areas that must be reserved in order to discharge the base flood without cumulatively increasing the water surface elevation more than a designated height.

d. Land Subject to Flood: Areas along streams, watercourses, and low areas identified as being special flood hazards areas or other flood areas by the Federal Emergency Management Agency (FEMA) or land lying within thirty-five (35) feet of the top of the bank of the channel (measured horizontally) along streams and drainage channels that do not have established base flood elevations or floodways or are unmapped.

e. For the purposes of these standards floodways and land subject to flood shall be identified as follows:

(1) The floodway areas and the land subject to flood identified on the Knox County, Tennessee, and Incorporated Areas Federal Emergency Management Agency, Flood Insurance Study (FIS) and

Flood Insurance Rate Map (FIRM), Community Panel Numbers 47093C - 0238F, 0239F, 0241F, 0242F, 0243F, 0244F, 0352F, 0356F, 0357F, and 0360F, dated May 2, 2007, along with all supporting technical data.

(2) The areas along unmapped streams and watercourses. The planning commission or other designated public officials shall determine, on the basis of the watershed area and the probable runoff for the five hundred (500) year flood, the waterway area required to safely pass floodflows, or how close a structure may be located to the stream, and minimum floor elevations. All structures shall be located at least thirty-five (35) feet from the top of the bank of the channel (measured horizontally), unless it is demonstrated to the Farragut Municipal Planning Commission that a lesser distance but not less than twenty-five (25) feet is adequate based on engineering information.

3. Methods Formulated for Determination of Unsuitable Land.

Farragut Municipal Planning Commission
June 20, 2013
Staff Recommendations

4. **Discussion and public hearing on a final plat for the Villas At Anchor Park - Phase I, located on the north side of Turkey Creek Road across from Anchor Park, 10.95 Acres, 35 Units, Zoned R-4 (Benchmark Associates, Applicant)**

Staff recommends approval of the final plat subject to addressing the following items:

1. Sheets 3 - 5 are quite cluttered. Delete unnecessary information. For example, delete the M.B.S. line, the 18" CMP on the Town owned property at the trail, pavement lines in ROW, all unnecessary lines on the ROW's, the storm drains etc. on the ROW's, etc.;
2. Label centerline and ROW width on Sheet 1 or 2 and delete from Sheets 3 - 5;
3. Indicate the distances from the periphery property line to the individual lots on Sheets 1 or 2;
4. What is the slope easement on the non numbered lot referencing? This likely is no longer valid and should be deleted accordingly;
5. Indicate setbacks on Lot 15 to ensure compliance and not create a substandard situation;
6. Indicate dimensions from peripheral property lines to individual lots;
7. Address the substandard lot labeled future development. This area must be consistent with the preliminary plat and concept plan;
8. In the legend, define the line type used for the old property line;
9. Area Table - what is "remaining Tract 1"? Label on map portion of plat;
10. Sheet 5 - What is the dashed line that runs through the buffer strip on Lot 15 and to the north? If this represents a building setback, please delete;
11. Indicate dimensions/distances of the platted building envelopes [like what has been done with the outdoor areas];
12. Plat note #12 - delete the #3 in the text; and "and" between the words "Lots" and "shall";
13. On the map portion of the plat on Lot 15, reference plat note #21;
14. A landscape completion/maintenance letter of credit is required prior to the recording of the final plat;
15. Submit a copy of private restrictions or covenants. These must be approved by the Town and be recorded prior to building permits being issued;
16. Submit As-built drawings;
17. Complete all items on staff's punchlist, which will be assembled after walk-thru at the end of the construction. Please note that all disturbed areas must be stabilized with growing grass prior to acceptance of Final Plat;
18. Staff will calculate a Completion Letter of Credit once it is determined what elements are not going to be constructed at this time;

19. Submit two-year Maintenance Letter of Credit for maintenance of sidewalk, greenways, roadways, drainage and detention basins for $35,000; and
20. Meet all town requirements.

Proposed Motion: Move to approve site plan subject to staff's recommendation.

5. **Discussion and public hearing on a site plan for Panda Express, 11482 parkside Drive, located between JC Penney and Tennessee State Bank, 3.412 Acres, Zoned C-1 (Ray Flake, Applicant)**

Staff recommends approval of the site plan subject to addressing the following items:

1. Provide current fire hydrant flow data for closest fire hydrants used to satisfy appendix B and C. Data shall be less than 1 year old and include name of agency performing test, static pressure, residual pressure and flow in GPM;
2. Provide written approval from First Utility District of Knox County;
3. Provide the calculated fire flow, in accordance with appendix B & C of the International Fire Code. The designer may utilize the sprinkler reduction described within that section;
4. Submit a certified address verification from the Addressing Division of the Knoxville/Knox County Metropolitan Planning Commission;
5. Prior to the issuance of any Certificate of Occupancy, please submit a pdf of the finalized stamped approved site plans;
6. A two year maintenance Letter of Credit from a local lending institution will be required for the landscaping prior to the issuance of a Certificate of Occupancy;
7. Indicate the color of the dumpster enclosure gate;
8. Sheet A-100.2 - Clarify details for fixtures L-82, L-70, CL, FS-1 to insure compliance or replace with compliant fixtures;
9. Sheet C-4 - More clearly show existing contours. Delete irrelevant layers of information so that the topo lines are legible;
10. Sheet C-5 - note #28, FUD vs. KUB supplies water;
11. Show all existing lines the service lines are tying into [gas, sewer, electric, water, comm.];
12. The tree inventory on the tree preservation/removal plan still does not reflect what is on site. Please correct;
13. There are some trees shown to be saved on the tree preservation/removal plan that have silt fencing going through them on the erosion control plan. Please address this conflict;

14. The required setback for the parking lot is based on the distance from the property line(s) to the nearest portion of the curbing. Please ensure that the dimensions that are called out reflect this measurement;
15. The landscape plan should not be included in this submittal. This is a separate application and review;
16. Heavy Duty asphalt pavement includes 8" stone, 2-1/2" base mix and 1-1/2" surface. Staff suggests using binder ("B mix") instead of base ("A" mix). Light Duty asphalt pavement includes 8" base stone and 2-1/2" surface. Due to the lower structural strength of surface mix, suggest using 2" binder plus 1-1/4" surface mix;
17. Submit Drainage Fee of $570;
18. Submit irrevocable letter of credit for erosion control for $5,000; and
19. Meet all town requirements.

Proposed Motion: Move to approve approve site plan subject to staff's recommendation.

6. **Discussion and public hearing on a site plan for the Town of Farragut Outdoor Classroom, Parcel 128, Tax Map 142, located on the southeast corner of N. Campbell Station Road and the Farragut High School entrance, 1.4 Acres, Zoned OS-P**

This will be presented at the meeting.

7. **Discussion and public hearing on a preliminary plat for Sheffield Subdivision - Unit 2, Parcel 52.03, Tax Map 152, 27.4 Acres, 56 Lots, Zoned R-1 & OSR, and variance requests for sag curve K value from 49 to 11.7 at intersection transition Road 'A' at Inglecrest (Saddlebrook Properties, LLC, Applicant)**

Staff recommends approval of the preliminary plat subject to addressing the following items:

1. As part of the preliminary plat (24' x 36' sheets), each utility must sign off on their respective utility plan sheet;
2. Add a 4" empty conduit across the street at all LCUB crossings;
3. On the title page, include the total acreage for this phase, the total number of lots for this phase, the open space acreage and calculations for this phase. Also include the total acreage for this phase and the first phase, the total number of lots

for this phase and the first phase, and the total open space acreage and calculations for this phase and the first phase;

4. The maximum bulb wattage for the street light fixture is a 50 watt HPS (vs. 150 watt HPS or 100 watt MH);
5. On the LCUB plans, per comment letter, show changed location for transformer at Lots 49/50. This must coincide with street light location. As shown, the street light will be located at Lots 50/51. If the transformer is placed at that location, show the service line to Lot 49;
6. Sheet CR.07 - modify bollard detail so that bollards are 4' apart and so that bollard sleeves into the ground with no protrusions above ground when removed;
7. Because the road and all other public infrastructure is part of this phase, Lots 50 & 51 will need to be final platted as part of this phase. A note will need to be added stating that lots are not buildable until sewer is provided through Unit 3;
8. Delete side flares of sidewalk/trails handicap ramps when crossing grass strips;
9. Sheet CE.03 - Note # 4 - clarify length of the rip rap. It should be based on drainage calculations (volume and velocity);
10. Sinkhole 2 cannot be disturbed. The purpose of the OSR district is to design around environmentally sensitive areas, such as sinkholes. Please refer to plan note #11 from the approved concept plan. Verify that Lots 57 & 58 are buildable. They may need to be combined into one lot or designated as open space. Modify plans accordingly;
11. Remove sediment trap 4 and stockpile area from Sinkhole 2;
12. Please provide an arborist assessment for the 36 inch red oak that is proposed for removal in the area where the walking trail is proposed between Lots 25 and 26. A tree of this size and visual impressiveness should, barring an unfavorable assessment from a certified arborist, be protected by re-visiting grade work in this area and shifting property lines slightly in order to provide more undisturbed space around the drip line of the tree. A similar specimen red oak tree was saved recently as part of the nearby Villas at Anchor Park Subdivision off Turkey Creek Road. In order to achieve this, some modifications were made by the developer and project engineer and this tree has been incorporated into the development as an amenity. The trail location for the connection to Carlyle Road should be modified to save this large red oak tree;
13. Given the relatively tight space involved, the staff would recommend using a smaller species of tree, such as Winter King Hawthorn, in lieu of red maple for some of the replacement trees;
14. A landscape maintenance letter of credit will be needed for the replacement trees prior to approval of a final plat;
15. Submit an irrevocable letter of credit for Erosion Control in the amount of $90,000.00;

16. Submit a drainage fee of $1,650.00; and
17. Meet all town requirements.

Proposed Motion: Move to approve the preliminary plat subject to staff's recommendation.

8. **Discussion and public hearing of a request for abandonment of right-of-way of old Snyder Road right-of-way at N. Campbell Station Road, located between Parcels 122 & 123.02, Tax Map 130, Farragut Municipal Code, Title 16, Chapter 3. Road Closing or Terminating Policy (Eddie Kherani/Marathon Gas Station, Applicant)**

Staff recommends denial of Resolution PC-13-06, Ordinance 13-20, and the request for abandonment of the right-of-way of old Snyder Road ROW at N. Campbell Station Road. **Proposed Motion:** Because a motion is to be made in the positive, the motion would be "To approve Resolution PC-13-06" as attached. A failure of the motion would be a recommendation of denial of Ordinance 13-02.

9. **Discussion of a request to amend the *2012 Comprehensive Land Use Plan Update*, Parcel 109, Tax Map 130, located on the east side of N. Campbell Station Road, north of Holiday Inn Express, 30.5 Acres, from Open Space Cluster Residential to Mixed Use (Kay Wellons, Applicant)**

For discussion purposes only

10. **Discussion and public hearing on an amendment to the Farragut Subdivision Regulations, Article III. General Requirements and Minimum Standards of Design, F. Suitability of the Land, 2. Land Subject to Flooding, e. (1), to update the Flood Insurance Rate Map (FIRM), Community Panel Numbers per the most recent flood study**

Staff recommends approval of Resolution PC-13-07.

Proposed Motion: Move to approve Resolution PC-13-07.

11. **Public hearing on proposed locations for new utilities**

None at this time