



AGENDA
FARRAGUT MUNICIPAL PLANNING COMMISSION

September 15, 2016
7:00 p.m. Farragut Town Hall

For questions please either e-mail Mark Shipley at mshipley@townoffarragut.org or Ashley Miller at amiller@townoffarragut.org or call them at 865-966-7057.

- 1. Citizen Forum**
- 2. Approval of agenda**
- 3. Approval of minutes – August 18, 2016**
- 4. Discussion and public hearing on a final plat for Bridgemore, Phase I, Lots 109-112, located at the intersection of Farmgate Lane and Barnsley Road, , Parcels 109-112, Tax Map 152P, Group B, Zoned R-1/OSR, 4 Lots, approximately 2.14 Acres (Brian Shugart, Applicant)**
- 5. Discussion and public hearing on a final plat for Phase IV of the Briarstone Subdivision (formerly the Villas at Anchor Park Subdivision property) located on the north side of Turkey Creek Road across from Anchor Park, Parcel 59.09, Tax Map 152, Zoned R-1/OSMR, 19 Lots, 7.391 Acres (Saddlebrook Properties, LLC, Applicant)**
- 6. Discussion and public hearing on a site plan for the walking trail and associated “no-rise” certification associated with the walking trail stream crossing for Autumn Care III Assisted Living, Parcel 117, Tax Map 142, Zoned S-1, located at 400 Herron Road, 4.68 Acres (Autumn Care III, LLC/Peter Falk, Applicant)**
- 7. Discussion and public hearing on a site plan for Fox Den Country Club, Parcel 12, Tax Map 152, Zoned R-2, located at 12284 North Fox Den Drive, 156.99 Acres (Cory Griffis, Applicant)**
- 8. Discussion and public hearing on a revised site plan for Premier Eyecare, located at 11111 Kingston Pike, Parcels 22-24, Tax Map 143A, Group A, Zoned C-1 and FPD, 3 Lots, 2.22 Acres (Urban Engineering, Inc., Applicant)**
- 9. Discussion on a concept plan for Renaissance Crossing, located at 12639 Kingston Pike, Parcel 58 and a portion of Parcel 62.01, Tax Map 151, Zoned C-1, R-2 and Floodplain, 30 Acres (GBS Engineering, Applicant)**

NOTE: The applicant has requested to withdraw this item from the agenda.

11408 MUNICIPAL CENTER DRIVE | FARRAGUT, TN 37934 | 865.966.7057

WWW.TOWNOFFARRAGUT.ORG

It is the policy of the Town of Farragut not to discriminate on the basis of race, color, national origin, age, sex, or disability pursuant to Title VI of the Civil Rights Act of 1964, Public Law 93-112 and 101-336 in its hiring, employment practices and programs. To request accommodations due to disabilities, please call 865-966-7057 in advance of the meeting.

- 10. Discussion on text amendments to the Farragut Zoning Ordinance, Chapter 3., Section IX., Attached Single-Family Residential District (R-4)., Subsection C.11., to amend the setback provisions for accessory structures (Gregory Huddy, Applicant)**
- 11. Discussion and public hearing on a final plat for the Town of Farragut Public Works property, Parcel 74, Tax Map 130, 731 Fretz Road, Zoned S-1, T Overlay and OS-P, 11.29 Acres, and a variance request from the Subdivision Regulations requirement to construct sidewalks and other pedestrian facilities on Fretz Road (Professional Land Systems representing Concord Telephone Company, Applicant)**



**MINUTES
FARRAGUT MUNICIPAL PLANNING COMMISSION**

August 18, 2016

MEMBERS PRESENT

Rita Holladay, Chairman
Ed St. Clair, Vice-Chairman
Ed Whiting, Secretary
Ralph McGill, Mayor
Louise Povlin, Alderman
Betty Dick
Annette Brun
Rose Ann Kile

MEMBERS ABSENT

Noah Myers

Staff Representatives: Mark Shipley, Community Development Director

Chairman Holladay called the meeting to order at 7 p.m.

CITIZEN FORUM

Mayor McGill announced that Annette Brun will be leaving the Planning Commission. The Mayor indicated that he plans to appoint Drew Carson to fill her term.

Mul Wyman spoke regarding the Knoxville/Knox County MPC's current update of the Southwest Sector Plan. He asked the commission if they would be okay with the Town asking the MPC staff to include a reference to the Town's planning link on the Town's web site. This would direct anyone interested in the Town of Farragut portion of the Southwest Sector to refer to the Town's web site. The Commission felt that this was a good idea. The staff indicated that they would contact the MPC staff to address this.

APPROVAL OF AGENDA

A motion was made by Commissioner Povlin to approve the agenda as submitted. The motion was seconded by Commissioner St. Clair and the motion passed unanimously.

APPROVAL OF MINUTES

A motion was made by Commissioner Povlin to approve the July 21, 2016 minutes as submitted. The motion was seconded by Commissioner Dick and the motion passed unanimously with the exception of Commissioner Kile abstaining due to being absent from the meeting in July.

AGENDA ITEMS

DISCUSSION AND PUBLIC HEARING ON A SITE PLAN FOR SMC KNOX TURKEY CREEK 3 FOR A SMALL CELL AND DISTRIBUTED ANTENNA SYSTEM, WITHIN THE PARKSIDE DRIVE RIGHT-OF-WAY, ZONED C-2, LOCATED IN FRONT OF 11433 PARKSIDE DRIVE (Telecad Wireless on behalf of Zayo, Applicant)

The staff reviewed this item and a long discussion ensued. The staff recommended that if this was approved it should be subject to the following conditions:

- 1) Staff recommends that all structures be placed within a vault underground. This would alleviate all of the potential issues with above ground applications and nullify the need to replace the light poles that would support such structures. The staff is concerned that allowing above ground applications, particularly along Parkside Drive where utilities are placed underground, would create an environment for similar structures to be added to other poles and clutter the streetscape;
- 2) Please note that the closest address to the site should be: 11455 Parkside Drive (Marshall's Department Store);
- 3) Sheet Title: Trenching Detail – TOF Engineering Department generally does not permit open cut trenching within streets, sidewalk or driveways, and probably not at these locations. Please revise current note #1 to the following: All conduit is to be installed by means of horizontal directional drilling within all public rights-of-way. The Town of Farragut does not permit open cut trenching in any street, sidewalk or driveway without prior written approval from the Town Engineer. It is the responsibility of the contractor to contact the Town of Farragut Engineering Department at (865) 966-7057 for preapproved repairs. All sections below are for pre-approved repairs only;
- 4) Sheet Title: Trenching Detail – Please add the following note: All utility main separation guidelines and utility main easements must be honored. The horizontal separation path between a new utility and existing utility should be both designed and targeted at a minimum distance of 8 feet or more when determined practical and doable. Reductions in this guideline may be considered on a case by case basis. If approved, at no time will the minimum separation shown on the plans or targeted in the field, be inside the absolute minimum of 5 feet horizontal separation between any existing utility main and the new utility. This separation is to be measured from the outside diameter of the known utility to the outside edge of the conduit bundle;
- 5) On the cover sheet, please correct the fire department information to the correct jurisdiction;
- 6) On Page 4, please make sure all proposed improvements are within the public ROW. It appears that some of the improvements are encroaching onto the private property;
- 7) On Page 8, the utilities in the Parkside Drive area are underground, therefore aerial cable cannot be installed within these areas. The cluster of trees to the east of the Belk store for men shall not be disturbed with the extension of the fiber cable. This section of cable would also appear to be within an area that is not within a platted easement. This is not permitted;

- 8) If the poles are replaced, please provide footer and foundation information and ensure that any structures on the poles will not interfere with the Town's use of the poles or create any visibility issues or interference with nearby pedestrian facilities;
- 9) A lease agreement approved by the Town Attorney and Board of Mayor and Aldermen will be required for the use of public infrastructure/right of way;

A motion was made by Commissioner Kile to approve the proposed location for the small cell proposed in the right of way near 11455 Parkside Drive subject to the applicant submitting to the staff, which would then be forwarded to the commissioners, a more definitive description of the dimensions, mounted height, etc., of the proposed structures. Such submittal would use Option 2 as a base to establish the most discrete applications possible without placing such structures underground. The motion was also subject to staff comments 2-9 being satisfactorily addressed as verified in writing by the Town staff. The motion was seconded by Commissioner Brun and the motion passed unanimously.

DISCUSSION AND PUBLIC HEARING ON A SITE PLAN FOR SMC KNOX TURKEY CREEK 4 FOR A SMALL CELL AND DISTRIBUTED ANTENNA SYSTEM, WITHIN THE PARKSIDE DRIVE RIGHT-OF-WAY, ZONED C-2, LOCATED IN FRONT OF 11865 PARKSIDE DRIVE (Telecad Wireless on behalf of Zayo, Applicant)

The staff recommended that if this was approved it should be subject to the following conditions:

- 1) Staff recommends that all structures be placed within a vault underground. This would alleviate all of the potential issues with above ground applications and nullify the need to replace the light poles that would support such structures. The staff is concerned that allowing above ground applications, particularly along Parkside Drive where utilities are placed underground, would create an environment for similar structures to be added to other poles and clutter the streetscape;
- 2) Closest address to the site should be: 11656 Parkside Drive
- 3) Sheet Title: Trenching Detail – TOF Engineering Department generally does not permit open cut trenching within streets, sidewalk or driveways, and probably not at these locations. Please revise current note #1 to: All conduit is to be installed by means of horizontal directional drilling within all public right-of-way. The Town of Farragut does not permit open cut trenching in any street, sidewalk or driveway without prior written approval from the Town Engineer. It is the responsibility of the contractor to contact the Town of Farragut Engineering Department at (865) 966-7057 for preapproved repairs. All sections below are for pre-approved repairs only.
- 4) Sheet Title: Trenching Detail – Please add the following note: All utility main separation guidelines and utility main easements must be honored. The horizontal separation path between a new utility and existing utility should be both designed and targeted at a minimum distance of 8 feet or more when determined practical and doable. Reductions in this guideline may be considered on a case by case basis. If approved, at no time will the minimum separation shown on the plans or targeted in the field, be inside the absolute minimum of 5 feet horizontal separation between any existing utility main and the new utility. This separation is to be measured from the outside diameter of the known utility to the outside edge of the conduit bundle;
- 5) On the cover sheet, please correct the fire department information to the correct jurisdiction;

- 6) On Page 4, please make sure all proposed improvements are within the public ROW. It appears that some of the improvements are encroaching onto the private property;
- 7) On Page 8, the utilities in the Parkside Drive area are underground, therefore aerial cable cannot be installed within these areas. The cluster of trees to the east of the Belk store for men shall not be disturbed with the extension of the fiber cable. This section of cable would also appear to be within an area that is not within a platted easement. This is not permitted;
- 8) If the poles are replaced, please provide footer and foundation information and ensure that any structures on the poles will not interfere with the Town's use of the poles or create any visibility issues or interference with nearby pedestrian facilities;
- 9) A lease agreement approved by the Town Attorney and Board of Mayor and Aldermen will be required for the use of public infrastructure/right of way;

A motion was made by Commissioner Kile to approve the proposed location for the small cell proposed in the right of way near 11656 Parkside Drive subject to the applicant submitting to the staff, which would then be forwarded to the commissioners, a more definitive description of the dimensions, mounted height, etc., of the proposed structures. Such submittal would use Option 2 as a base to establish the most discrete applications possible without placing such structures underground. The motion was also subject to staff comments 2-9 being satisfactorily addressed as verified in writing by the Town staff. The motion was seconded by Commissioner Brun and the motion passed unanimously.

DISCUSSION AND PUBLIC HEARING ON A SITE PLAN FOR SMC KNOX TURKEY CREEK 5 FOR A SMALL CELL AND DISTRIBUTED ANTENNA SYSTEM , WITHIN THE CAMPBELL LAKES DRIVE RIGHT-OF-WAY, ZONED C-2, LOCATED IN FRONT OF 11548 CAMPBELL LAKES DRIVE (Telecad Wireless on behalf of Zayo, Applicant)

The staff recommended that if this was approved it should be subject to the following conditions:

- 1) Staff recommends that all structures be placed within a vault underground. This would alleviate all of the potential issues with above ground applications and nullify the need to replace the light poles that would support such structures. The staff is concerned that allowing above ground applications would create an environment for similar structures to be added to other poles and clutter the streetscape;
- 2) Closest address to the site should be: 11311 Campbell Lakes Drive
- 3) Sheet Title: Trenching Detail – TOF Engineering Department generally does not permit open cut trenching within streets, sidewalk or driveways, and probably not at these locations. Please revise current note #1 to: All conduit is to be installed by means of horizontal directional drilling within all public right-of-way. The Town of Farragut does not permit open cut trenching in any street, sidewalk or driveway without prior written approval from the Town Engineer. It is the responsibility of the contractor to contact the Town of Farragut Engineering Department at (865) 966-7057 for preapproved repairs. All sections below are for pre-approved repairs only.
- 4) Sheet Title: Trenching Detail – Please add the following note: All utility main separation guidelines and utility main easements must be honored. The horizontal separation path between a new utility and existing utility should be both designed and targeted at a minimum distance of 8 feet or more when determined practical and doable. Reductions in this guideline may be considered on a case by case basis. If approved, at no time will the

minimum separation shown on the plans or targeted in the field, be inside the absolute minimum of 5 feet horizontal separation between any existing utility main and the new utility. This separation is to be measured from the outside diameter of the known utility to the outside edge of the conduit bundle;

- 5) Please note that Campbell Lakes is Drive rather than Road;
- 6) Please verify that the placement of the new light pole will not create a visibility issue given it is only 6 feet off the back edge of the curb;
- 7) Please provide footer and foundation information for the pole;
- 8) Please include a detail of the proposed lighting to verify it complies with Town specifications; and
- 9) A lease agreement approved by the Town Attorney and Board of Mayor and Aldermen will be required for the use of public infrastructure/right of way.

A motion was made by Commissioner Kile to approve the proposed location for the small cell proposed in the right of way near 11311 Campbell Lakes Drive subject to the applicant submitting to the staff, which would then be forwarded to the commissioners, a more definitive description of the dimensions, mounted height, etc., of the proposed structures. Such submittal would use Option 2 as a base to establish the most discrete applications possible without placing such structures underground. The motion was also subject to staff comments 2-9 being satisfactorily addressed as verified in writing by the Town staff. The motion was seconded by Commissioner Brun and the motion passed unanimously.

DISCUSSION ON A REQUEST TO REZONE A PORTION OF PARCEL 116.01, TAX MAP 130, NORTH OF FARRAGUT COMMONS AND CHAPEL POINT, FROM R-2 AND FPD TO R-4 AND FPD, PARCELS 96 AND 96.01, TAX MAP 142, LOCATED ON GRIGSBY CHAPEL ROAD, FROM R-4 TO S-1, 19.73 ACRES (Diversified Holdings, Inc., Applicant)

For discussion purposes only.

DISCUSSION ON COMMUNITY DEVELOPMENT'S FY17 WORK PROGRAM AS IT RELATES TO AGENDA ITEMS INVOLVING THE PLANNING COMMISSION

For discussion purposes only.

PUBLIC HEARING ON PROPOSED LOCATIONS FOR NEW UTILITIES

None at this time.

ADJOURNMENT

The meeting adjourned at 10:00 p.m.

Edwin K. Whiting, Secretary

MEETING DATE: September 15, 2016

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on a final plat for Bridgemore, Phase I, Lots 109-112, located at the intersection of Farmgate Lane and Barnsley Road, , Parcels 109-112, Tax Map 152P, Group B, Zoned R-1/OSR, 4 Lots, approximately 2.14 Acres (Brian Shugart, Applicant)

INTRODUCTION AND BACKGROUND: This minor resubdivision plat involves combining two lots into one, shifting a property line on an existing houselot, and re-platting rear property lines to incorporate an adjacent sinkhole into an open space lot. The 50 foot building setback from the sinkhole lip elevation would remain for the non-open space lots.

RECOMMENDATION: Included in your packet is the revised resubdivision plat. This plat will establish more open space and offer greater protection to a known sinkhole. The staff recommends approval subject to the following comments being satisfactorily addressed as indicated in writing by the Town staff:

- 1) Please revise Note #11 to state "Subject property is located in Flood Zone "X" being outside the 500 year flood zone per the National Flood Insurance Rate Map Community Panel No. 47093C0352F, last revised May 02, 2007;"
- 2) Please ensure that the developer knows that this re-plat will need to be reflected when the concept plan is revised;
- 3) Please label the sinkhole lip elevation (not sinkhole area) and the 50 foot building setback from the sinkhole lip elevation – this is the language used in the Sinkhole Ordinance;
- 4) Please adjust the Certificate of Ownership and General Dedication block to include all affected properties. Each affected owner of each property will need to sign the plat in this block;
- 5) Please correct the typo in Note #2. Note #3 should break the areas into the affected lots; and
- 6) Please indicate in a plat note that the building and lot coverages are per the recorded plat for Bridgemore Phase I.

Ashley Miller

From: Mark Shipley
Sent: Monday, August 22, 2016 3:21 PM
To: James Loveday
Cc: Ashley Miller; Darryl Smith
Subject: Resub of Bridgemore Lots 109-112 comments

James,

Hope you are doing well. Below are the staffs' comments on your resub plat involving Lots 109-112 in Bridgemore:

- 1) Please sign the application (please let me know when you may be out in the area and I can leave it at the front desk);
- 2) Please include in a numbered note the purpose of the plat;
- 3) Please include the flood certification note. It would say something like "Subject property is located in Flood Zone "X" being outside of the" (this should be a standard note you place on any plat so I am sure you know the wording);
- 4) The developer will need to be aware of the need to update their overall concept plan so it is consistent with this modification;
- 5) Please include the deed references for Lot 437 in Note #9;
- 6) Please include MFE's for Lots 110R and 112R – these were listed on the Phase I plat;
- 7) The 15 foot drainage easement is actually a 20 foot drainage easement. Please correct and re-label;
- 8) Please label the sinkhole lip elevation and the 50 foot building setback from the sinkhole lip elevation;
- 9) Please include on the plat drawing, for Lot 437, the instrument number, map, cabinet, slide, property owner, and subdivision;
- 10) Please list Lot 437 instead of common area where the owner information is listed for such lot. Does the Bridgemore HOA own this lot?
- 11) Please add a title to the release of easements certification block;
- 12) Please replace County Highway Dept with Town Engineer on the Release of Easement certificate;

If you could please make the above revisions and resubmit 1 full size (18x24) and 1 11x17 plat by no later than **Tuesday at noon, September 6**, I will include this for a vote at the next planning commission meeting on September 15. Also, when you resubmit, please include a response letter which will indicate how you have addressed the initial comments. If you have any questions prior to resubmittal please let me know. Thanks.

mark shipley, AICP

COMMUNITY DEVELOPMENT DIRECTOR

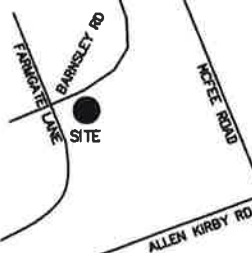
EMAIL • MSHIPLEY@TOWNOFFARRAGUT.ORG

PHONE • 865.966.7057

ADDRESS • 11408 MUNICIPAL CENTER DRIVE
FARRAGUT, TN 37934



RECEIVED
SEP 06 2016
TOWN OF FARRAGUT



LOCATION MAP
NOT TO SCALE

Certificate of Ownership and General Dedication

I, We hereby certify that I am (we are) the owner(s) of the property shown and described hereon as evidenced in Instrument Number 200203080073264 in the County Registers Office, and that I (we) hereby adopt this plan of subdivision with my (our) free consent, establish the minimum building restriction lines, and dedicate all streets, alleys, walks, parks, and other open space to public or private use as noted.

Owner _____ Date _____

Certificate of Electric, Gas, and Telephone Availability

This is to certify that every lot within this subdivision has available to it a source for the service identified by signature(s) below which service source is adequate to accommodate the reasonable needs of such lot as to such service within such subdivision.

Gas-Name, Title, and Agency of Authorized Approving Agent _____ Date _____

Electric-Name, Title, and Agency of Authorized Approving Agent _____ Date _____

Telephone-Name, Title, and Agency of Authorized Approving Agent _____ Date _____

Certificate of Water & Sewer Availability

This is to certify that every lot within this subdivision has available to it water and sewer service that is adequate to accommodate the reasonable needs of such lots needs of such lot as to such service within such subdivision.

Name, Title, and Agency of Authorized Approving Agent _____ Date _____

Certificate of Approval of Street Names

This is to certify that the subdivision shown hereon has been reviewed for compliance with the Knox County Uniform Street Naming & Addressing System Ordinance, and the road names are hereby approved for recording.

Knox County Addressing Division _____
Date _____

Certification of Accuracy of Survey

I hereby certify that the plan shown and described hereon is a true and correct survey to the accuracy required by the Farragut Municipal Planning Commission and that the monuments have been placed as shown hereon, to the specification of the Subdivision Regulations. This is a Category I Land Survey and the ratio of precision of the unadjusted survey is equal to or greater than 1:10,000.

Surveyor _____
Tennessee Certificate No. _____

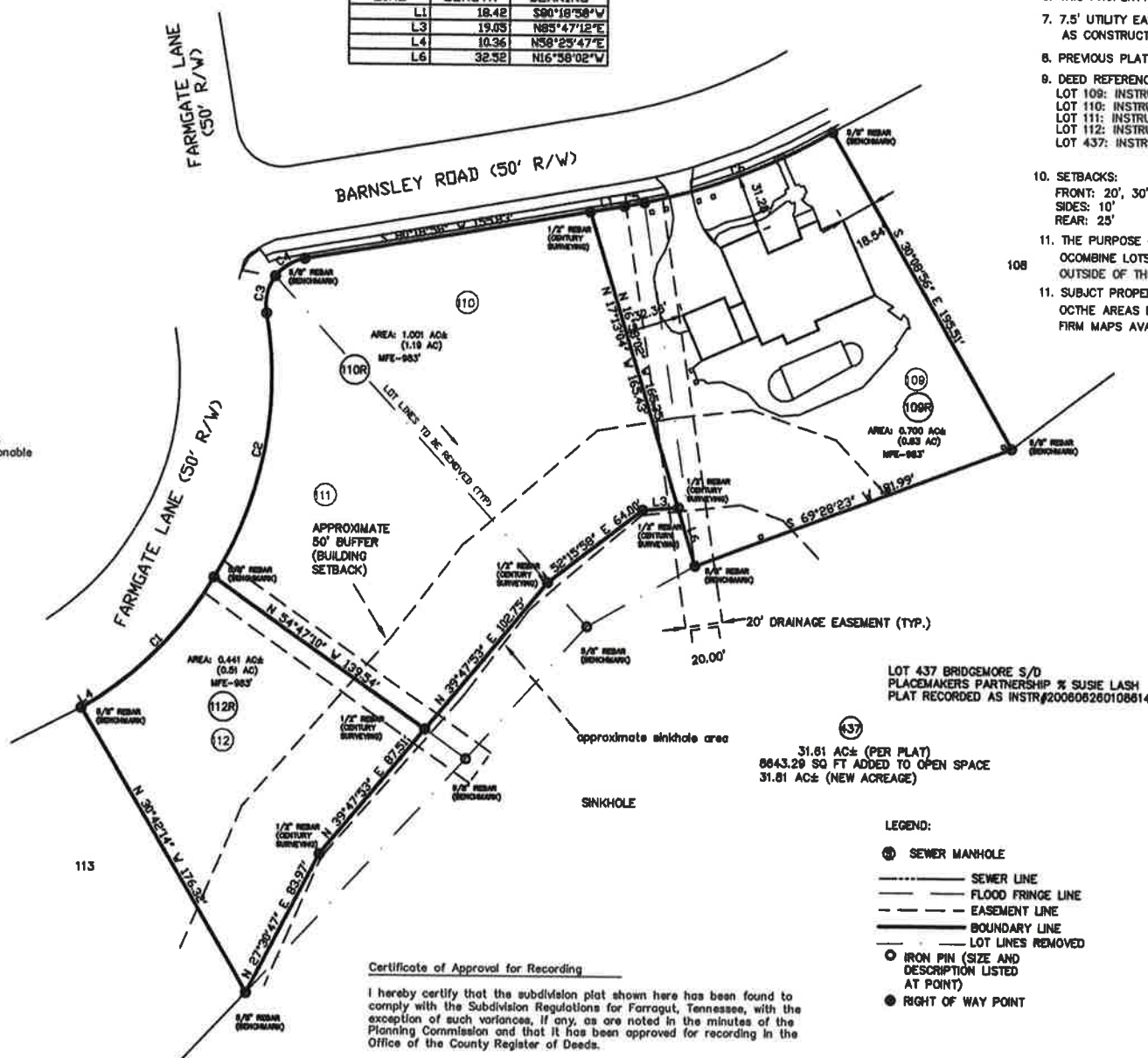
Certificate for Street Approval

I certify that streets, sidewalks, and other required improvements have been installed in an acceptable manner and according to Town specifications, or that a security bond in the amount of \$_____ has been posted with the Planning Commission to assure completion of all required improvements in case of default. Streets are public streets maintained at public expense.

Town Engineer _____
Date _____ License Number _____

CURVE TABLE				
CURVE	LENGTH	RADIUS	BEARING	CHORD
C1	90.71	200.00	N43°34'58"E	89.94
C2	147.52	200.00	N10°51'59"E	144.20
C3	20.95	25.00	S13°06'51"W	20.34
C4	18.85	25.00	S58°42'55"W	18.41
C5	10.71	335.00	N79°24'01"E	10.71
C6	108.86	335.00	N69°09'49"E	108.38

LINE TABLE		
LINE	LENGTH	BEARING
L1	18.42	S90°18'58"W
L3	19.83	N83°47'12"E
L4	10.36	N58°23'47"E
L6	32.52	N16°58'02"W



Certificate of Approval for Recording

I hereby certify that the subdivision plat shown here has been found to comply with the Subdivision Regulations for Farragut, Tennessee, with the exception of such variances, if any, as are noted in the minutes of the Planning Commission and that it has been approved for recording in the Office of the County Register of Deeds.

Secretary, Planning Commission _____
Date _____

SURVEYOR:
CENTURY SURVEYING
198 CASSIDY COURT
LENOIR CITY, TN. 37734
PH. (865) 986-1982

OWNER: LOT 109
NICHOLAS & LESLIE SANDERS
716 BARNESLEY ROAD
KNOXVILLE, TN. 37934
PH. (865) 776-4290

OWNER: LOT 110 & 111
BRIAN & AMY SHUGART
12310 VISTA BROOK LANE
KNOXVILLE, TN. 37922
PH. (865) 690-9009

OWNER: LOT 112 & LOT 437
PLACEMAKERS PARTNERSHIP % SUSIE LASH
11800 KINGSTON PIKE
KNOXVILLE, TN. 37934
PH. 671-2042

NOTES:

- CLT MAP 152-P, GROUP B, PARCEL 109, 110, 111 & 112 & PART OF 122
- NO. OF LOTS - 4 INT 3 AND ADDITIONAL COMMON AREA
- AREA (33,685.82 SQ. FT).
- IRON PINS AT ALL CORNERS. "F" Indicates Found, "S" Indicates Set.
- A FIVE (5) FOOT UTILITY, DRAINAGE, AND CONSTRUCTION EASEMENT ON EACH SIDE OF INTERIOR LOT LINES, A TEN (10) FOOT UTILITY, DRAINAGE AND CONSTRUCTION EASEMENT ON INSIDE OF ROAD RIGHTS-OF-WAY AND EXTERIOR LOT LINES.
- THIS PROPERTY IS ZONED R-1 AND OSR
- 7.5' UTILITY EASEMENT EACH SIDE OF SANITARY SEWER LINE AS CONSTRUCTED.
- PREVIOUS PLAT RECORDED AS INSTRUMENT # 200808260108614.
- DEED REFERENCES:
LOT 109: INSTRUMENT # 201511250032628
LOT 110: INSTRUMENT # 200610180033911
LOT 111: INSTRUMENT # 201512290035800
LOT 112: INSTRUMENT # 200507200006177
LOT 437: INSTRUMENT # 200411290044145
- SETBACKS:
FRONT: 20', 30' AT GARAGE OPENING
SIDES: 10'
REAR: 25'
- THE PURPOSE OF THIS PLAT IS TO MOVE LOT LINE BETWEEN 109 & 110, COMBINE LOTS 110 & 111, AND MOVE OPEN SPACE PROPERTY LINE OUTSIDE OF THE SINKHOLE AREA.
- SUBJECT PROPERTY IS LOCATED IN FLOOD ZONE "X" BEING OUTSIDE OF THE AREAS DESIGNATED "SPECIAL FLOOD HAZARDED" AS SHOWN ON THE FIRM MAPS AVAILABLE TO ME AT THIS TIME.

Certificate for Release of Easements

Except as noted or shown on this plat, the following parties hereby consent to the release of all rights that may have accrued for their use and benefit in the utility and drainage easements along the original lot lines eliminated by this map on the condition that new utility and drainage easements are provided along the new property lines.

Town Engineer _____
Signature _____
Utilities: Water _____
Signature _____
Power _____
Signature _____
Sewer _____
Signature _____
Gas _____
Signature _____
Telephone _____
Signature _____
Cable TV _____
Signature _____

Graphic Scale in Feet
50' 0' 50' 100'

FINAL PLAT
LOTS 109, 110, 111, 112 AND ADDITIONAL COMMON AREA
BRIDGEMORE PHASE 1
CLT MAP 152-P, GROUP B, PARCEL 109, 110, 111 & 112 & PART OF 122
DISTRICT 6 - KNOX CO., TENN.
SCALE: 1"=50' AUGUST 10, 2016

JOB NO 16008

MEETING DATE: September 15, 2016

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on a final plat for Phase IV of the Briarstone Subdivision (formerly the Villas at Anchor Park Subdivision property) located on the north side of Turkey Creek Road across from Anchor Park, Parcel 59.09, Tax Map 152, Zoned R-1/OSMR, 19 Lots, 7.391 Acres (Saddlebrook Properties, LLC, Applicant)

INTRODUCTION AND BACKGROUND: This plat contains the final phase of the Briarstone Subdivision. The amended concept plan that includes Phase IV was approved on August 2, 2015. The preliminary plat for this area was approved on October 15, 2015 and, since that time, the applicant has been working on completing the required public improvements needed for final plat consideration.

DISCUSSION: This phase of Briarstone provides a vehicular connection to the Audubon Hills Subdivision via Dunlin Lane and includes a walking trail connection to the Scarbrough property to the south. This plat also provides for the potential for a vehicular connection from the Scarbrough property to the Briarstone Subdivision if the Scarbrough property is further subdivided in the future.

All of these measures along with the walking trail connection from Phase III to Audubon Hills help promote the greater connectivity that is encouraged in the Comprehensive Land Use Plan (CLUP). The staff is very supportive of this aspect of the Phase IV plat.

RECOMMENDATION: Included in your packet are the staffs' comments on the initial plat. Also included is the revised plat submitted to address the staffs' initial comments. The staff will make a recommendation at the meeting based on the status of the field items and whether the revised plat addresses the staffs' comments.



LYNCH SURVEYS

Michael Strange <mike@lynchsurvey.com>

SEP 06 2016

TOWN OF FARRAGUT

Fwd: Briarstone Phase IV

3 messages

Ryan Lynch <rlynch@lynchsurvey.com>
To: Michael Strange <mike@lynchsurvey.com>

Mon, Aug 22, 2016 at 11:10 AM

We will need to deal with what we can later this week. Before the 30th

----- Forwarded message -----

From: **Mark Shipley** <mshipley@townoffarragut.org>

Date: Monday, August 22, 2016

Subject: Briarstone Phase IV

To: Ryan Lynch <rlynch@lynchsurvey.com>, "bmohney@saddlebrookproperties.com" <bmohney@saddlebrookproperties.com>

Cc: Darryl Smith <dsmith@townoffarragut.org>, Ashley Miller <amiller@townoffarragut.org>, Gary Palmer <gpalmer@townoffarragut.org>, David Sparks <dsparks@townoffarragut.org>

Below are the staffs' comments on Phase IV of Briarstone. Please let me know if you have any questions.
Thanks.

August 22, 2016

Mr. Ryan Lynch
Lynch Surveys, LLC
4405 Coster Road
Knoxville, TN 37912
rlynch@lynchsurvey.com

**SUBJECT: STAFF COMMENTS ON THE FINAL PLAT FOR PHASE
IV OF THE BRIARSTONE SUBDIVISION**

Dear Ryan:

The Town staff has reviewed the above referenced plat for compliance with the Town's regulations. **This item will be discussed at the Staff/Developer Meeting at the Farragut Town Hall on Tuesday, August 30, at 10:00 a.m.** The purpose of this meeting is to discuss questions you may have on staff comments.

Please address these comments and resubmit the corrected plat sheets by no later than noon **Tuesday, September 6**. When the plat is resubmitted, please include a letter which addresses these comments and that indicates where the information can be found on the plat sheets.

Planning Division: (Contact Mark Shipley at mark.shipley@townoffarragut.org)

1. Please correct the acreage, number of lots, and phase reference for the total lots in the summary listed at the top left portion of the plat;
2. Please correct the purpose of the plat note to include that this will add one open space lot – Lot 80;
3. Please finish all required field items;
4. Please extend the walking trail and its associated easement to peripheral boundary of Phase IV;
5. The owner's zip code appears to be incorrect;
6. Please highlight and reference in a plat note the future public road connection (platted public right of way) to Dunlin Lane for the Scarbrough property. As shown, this connector is not addressed and you would otherwise need a 50 foot peripheral setback along the east side of Lot 79;
7. Please omit Road B. This is now Dunlin Lane;
8. Please reference the correct phase in all of the certifications and elsewhere on the plat;
9. Please specifically address in a plat note that Lot 80 is to be owned and maintained by the Briarstone Homeowners Association;
10. Please add a line for the Knox County Addressing signature;
11. Lot 58 is being changed from the recorded lot from Phase III. Please make this Lot 58R and include the previous lot number and acreage in parentheses;
12. Please include the flood certification as a numbered note. This starts out "Subject property is located in Flood Zone "X", being outside....."
13. Please coordinate with the staff on the planting of the required four (4) two (2) inch caliper replacement trees that will be needed for the hackberry tree removed;
14. Please provide an update to the covenants prior to the issuance of a building permit;
15. Please correct the zoning. The Scarbrough property is zoned R-2;

Engineering Division: (Contact Darryl Smith at Darryl.smith@townoffarragut.org)

16. Complete all items on Staff's punchlist, including stabilization;
17. A completion letter of credit will be required for any items left incomplete, such as surface course and/or sidewalk. Staff will calculate as construction nears completion;
18. A maintenance letter of credit (that will cover landscaping, drainage, pedestrian facilities, and streets) will be required, and staff will calculate.

In addition to the e-mail addresses provided above you may also call the designated staff person(s) at 865-966-7057 if you have any questions on the above items. Unless specified otherwise, please include all requested information on the plans. Thank you for your assistance.

Sincerely,

Mark Shipley, AICP
Community Development Director

Darryl W. Smith, P.E.
Town Engineer

mark shipley, AICP

COMMUNITY DEVELOPMENT DIRECTOR

EMAIL • MSHIPLEY@TOWNOFFARRAGUT.ORG

PHONE • 865.966.7057

ADDRESS • 11408 MUNICIPAL CENTER DRIVE
FARRAGUT, TN 37934



  townoffarragut.org

Ryan Lynch, PLS
Lynch Surveys LLC
4405 Coster Road
Knoxville, TN 37912
p 865.584.2630
f 865.584.2801
c 865.803.3467

Michael Strange <mike@lynchsurvey.com>
To: Russ Rackley <rrackley@rackleyengineering.com>

Mon, Aug 29, 2016 at 3:14 PM

[Quoted text hidden]

Ryan Lynch <rlynch@lynchsurvey.com>
To: Michael Strange <mike@lynchsurvey.com>

Tue, Sep 6, 2016 at 7:30 AM

Can you get me 4 revised copies printed and we will deliver.

Ryan

----- Forwarded message -----

From: **Mark Shipley** <mshipley@townoffarragut.org>

[Quoted text hidden]

[Quoted text hidden]

The First Utility District Easement shown on and dedicated by this map is subject to the Restrictions and Conditions of record as Instrument #200908100011398 in the Office of the Register for Knox County

PHASE IV
TOTAL LOT AREA = 3.715 AC
TOTAL OPEN SPACE = 2.748 AC
TOTAL R.O.W. = 0.935 AC
TOTAL = 7.398 AC
TOTAL LOTS PIII = 19

TOTAL BUILDING AREA
0.75 X 36.39 = 27.29 AC
27.29 AC X 0.25 = 6.82 AC
6.82 AC / 73 = 0.0934 AC
=4069.6 SF

TOTAL LOT COVERAGE
0.75 X 36.39 = 27.29 AC
27.29 AC X 0.35 = 9.55
9.55 AC / 73 = 0.1308
AC =5698.6 SF

SYMBOL LEGEND	
○ IRON PIN (SIZE&TYPE)	☐ CATCH BASIN
○ IRON PIN SET	⊙ SANITARY MANHOLE
LINE LEGEND	
— SA —	SEWER LINE
— ST —	STORM SEWER LINE



LOCATION MAP NO SCALE

OWNER: KNOXFI TWO, LLC
EMAIL: DFISER@FISERINC.COM
ADDRESS: 132 SHERLAKE LANE
KNOXVILLE, TN 37922
PHONE: 865-691-1200

BRIARSTONE PHASE 4, FUTURE DEVELOPMENT, AND OPEN SPACE
Certificate of Approval and Dedication

I, (We) hereby certify that I am (we are) the owners of the property shown and described herein and that I (we) hereby adopt this plan of subdivision with my (our) free consent, establish the minimum building restriction lines, and dedicate all streets, alleys, walks, parks, and other open space to public or private

OWNER: KNOXFI TWO, LLC
BY: DAVID B. FISER, MANAGING MEMBER

CERTIFICATE OF COMMON AREAS DEDICATION

As owner, in recording this plat I have designated certain areas of land shown herein as common areas intended for use by the homeowners within BRIARSTONE SUBDIVISION PHASE 4 for recreation and related activities. The above described areas are not dedicated for use by the general public, but are dedicated to the common use of the homeowners within the named subdivision.

"Declaration of Covenants and Restrictions," applicable to the above named subdivision, is hereby incorporated and made a part of this plat.

OWNER: KNOXFI TWO, LLC
BY: DAVID B. FISER, MANAGING MEMBER

CERTIFICATE OF APPROVAL OF WATER SYSTEM

I hereby certify that it has been certified to us that the water system(s) outlined or indicated on the final subdivision plat entitled

BRIARSTONE SUBDIVISION PHASE 4 - have been installed in accordance with current local and state government requirements.

Date Name, Title, and Agency of
Authorized Approving Agent

CERTIFICATE OF APPROVAL OF SEWER SYSTEM

I hereby certify that it has been certified to us that the sewer systems outlined or indicated on the final subdivision plat entitled

BRIARSTONE SUBDIVISION PHASE 4 - have been installed in accordance with current local and state government requirements.

CERTIFICATE OF APPROVAL FOR RECORDING

I hereby certify that the subdivision plat shown here has been found to comply with the Subdivision Regulations for Farragut, Tennessee, with the exception of such variances, if any, as are noted in the minutes of the Planning Commission and that it has been approved for recording in the Office of the County Register of Deeds.

Date / Secretary, Planning Commission

CERTIFICATE OF APPROVAL OF STREET NAMES

This is to certify that the subdivision shown herein has been reviewed for compliance with the Knox County Uniform Street Naming & Addressing System Ordinance, and the road names are hereby approved for recording.

Knox County Addressing Division / Date

Certificate of Electric, Gas and Telephone Availability

This is to certify that every lot within this subdivision has available to it a source for the service identified by signature(s) below which service source is adequate to accommodate the reasonable needs of such lot as to such service with such subdivision.

DATE _____ GAS _____ Name, Title & Agency of Authorized Approving Agent _____
DATE _____ ELECTRIC _____ Name, Title & Agency of Authorized Approving Agent _____
DATE _____ TELEPHONE _____ Name, Title & Agency of Authorized Approving Agent _____

CERTIFICATE FOR STREET APPROVAL

I certify that streets, sidewalks, and other required improvements have been installed in an acceptable manner and according to town specifications, or that a security bond in the amount of \$ _____ has been posted with the Planning Commission to assure completion of all required improvements in case of default. Streets (are) public streets maintained at public expense.

DATE _____ TOWN ENGINEER _____
License No: _____

GRAPHIC SCALE



(IN FEET)
1 inch = 100 ft.

RELEASE OF EASEMENT(S) CERTIFICATION

Except as noted or shown on this plat, the following parties hereby consent to the release of all rights that may have accrued for their use and benefit (1) in the utility, drainage, and construction easements along the original lot lines or (2) in prior easements identified herein which are being eliminated by this plat, on the condition that new utility, drainage, and construction easements are provided along the new property lines or as facilities are otherwise installed or shown herein. The above provisions notwithstanding prior easements or prior utility placements are not released unless their release is specifically noted herein. Existing easements or placements shown herein will not be adversely affected by the development as herein proposed.

Signature (sewer) Date _____
Signature (water) Date _____
Signature (electricity) Date _____
Signature (gas) Date _____
Signature (telephone) Date _____
Signature (cable) Date _____
Signature (Town of Farragut) Date _____

SURVEY FOR:

FINAL PLAT OF BRIARSTONE SUBDIVISION PHASE 4 &
RESUBDIVISION OF LOT 19 AUDUBON HILLS SUBDIVISION UNIT 1

Briarstone Subdivision Phase 4
-
Town of Farragut, Tennessee
District 6, Knox County, Tennessee

PROJECT NO.
Sheet 1/3
3718

LYNCH SURVEYS LLC
SUBDIVISIONS | AS-BUILTS | SITE DESIGN
4405 COSTER RD. KNOXVILLE, TENN. 37912
865-584-2630 FAX: 865-584-2801 WWW.LYNCHSURVEY.COM

REVISIONS	
DRAWN BY: M.STRANGE	1
CHECKED BY: R. LYNCH	2
APPROVED BY: R.S.L.	3
SCALE: 1"=50'	4
DATE: 08/11/2016	5
	6

Saddlebrook Properties, LLC
122 Perimeter Park Road
Knoxville, Tennessee 37922
Phone: 865-690-3200



CERTIFICATE OF SURVEY ACCURACY

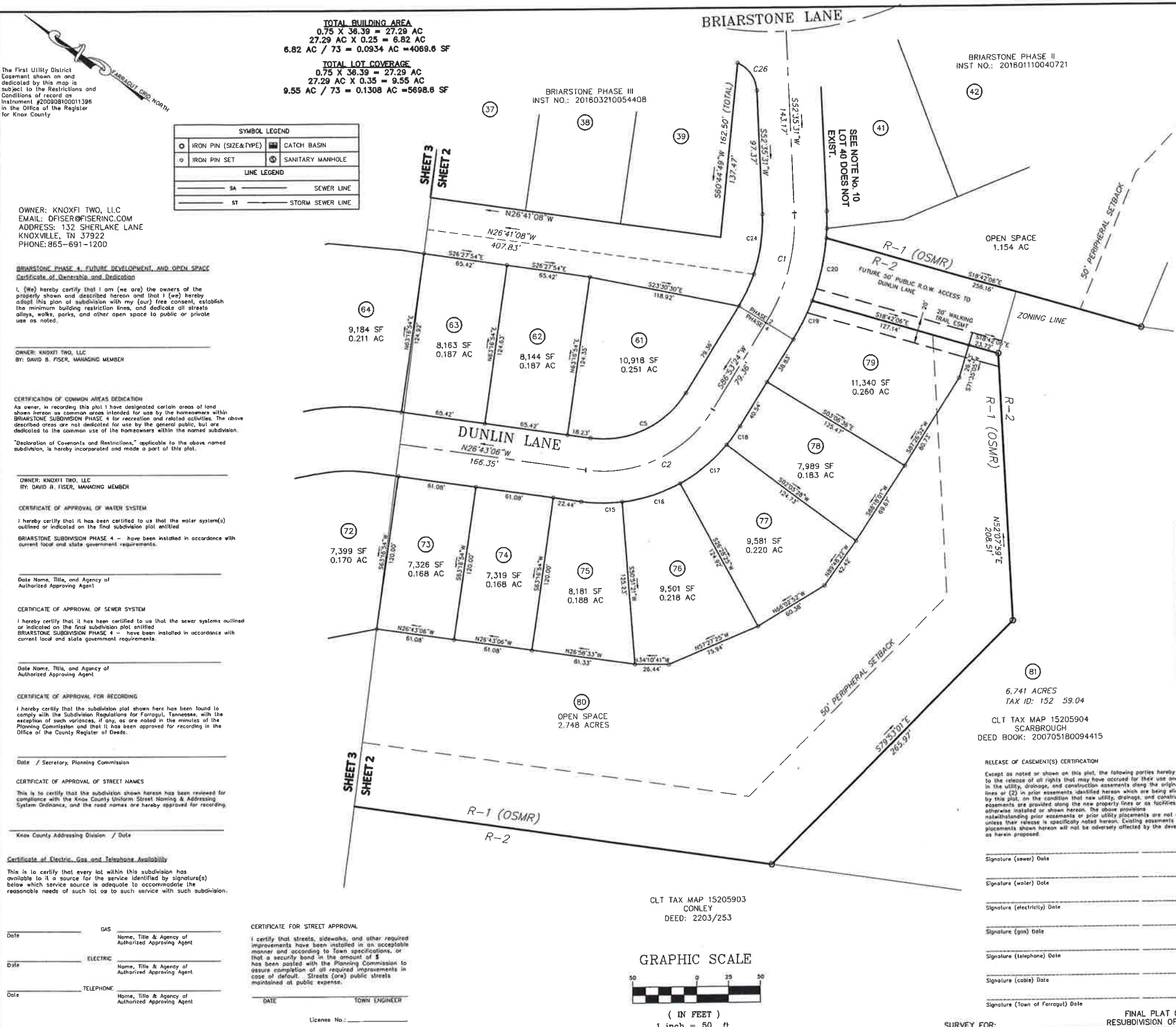
I hereby certify that the plan shown and described herein is a true and correct survey to the accuracy required by the Farragut Municipal Planning Commission and that the monuments have been placed as shown herein, to the specification of the Subdivision Regulations. This is a Category I Land Survey and the ratio of precision of the unadjusted survey is equal to or greater than 1:10,000.

Date _____ Registered Surveyor No. 2447

RECEIVED

SEP 06 2016

TOWN OF FARRAGUT



TOTAL BUILDING AREA
0.75 X 36.39 = 27.29 AC
27.29 AC X 0.25 = 6.82 AC
6.82 AC / 73 = 0.0934 AC = 4069.6 SF

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SYMBOL LEGEND	
○ IRON PIN (SIZE&TYPE)	⊠ CATCH BASIN
○ IRON PIN SET	⊠ SANITARY MANHOLE
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— SA —	SEWER LINE
— ST —	STORM SEWER LINE

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EMAIL: DFISER@FISERINC.COM
ADDRESS: 132 SHERLAKE LANE
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Certificate of Ownership and Dedication

I, (We) hereby certify that I am (we are) the owners of the property shown and described herein and that I (we) hereby adopt this plan of subdivision with my (our) free consent, establish the minimum building restriction lines, and dedicate all streets, alleys, walks, parks, and other open space to public or private use as noted.

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BY: DAVID B. FISER, MANAGING MEMBER

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As owner, in recording this plan I have designated certain areas of land shown herein as common areas intended for use by the homeowners within BRIARSTONE SUBDIVISION PHASE 4 for recreation and related activities. The above described areas are not dedicated for use by the general public, but are dedicated to the common use of the homeowners within the named subdivision.

"Declaration of Covenants and Restrictions," applicable to the above named subdivision, is hereby incorporated and made a part of this plan.

OWNER: KNOXFI TWO, LLC
BY: DAVID B. FISER, MANAGING MEMBER

CERTIFICATE OF APPROVAL OF WATER SYSTEM
I hereby certify that it has been certified to us that the water system(s) outlined or indicated on the final subdivision plat entitled BRIARSTONE SUBDIVISION PHASE 4 - have been installed in accordance with current local and state government requirements.

Date Name, Title, and Agency of Authorized Approving Agent

CERTIFICATE OF APPROVAL OF SEWER SYSTEM
I hereby certify that it has been certified to us that the sewer systems outlined or indicated on the final subdivision plat entitled BRIARSTONE SUBDIVISION PHASE 4 - have been installed in accordance with current local and state government requirements.

Date Name, Title, and Agency of Authorized Approving Agent

CERTIFICATE OF APPROVAL FOR RECORDING
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Date / Secretary, Planning Commission

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Knox County Addressing Division / Date

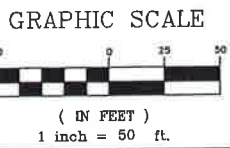
Certificate of Electric, Gas and Telephone Availability
This is to certify that every lot within this subdivision has available to it a source for the service identified by signature(s) below which service source is adequate to accommodate the reasonable needs of such lot as to such service with such subdivision.

Date	GAS	Name, Title & Agency of Authorized Approving Agent
Date	ELECTRIC	Name, Title & Agency of Authorized Approving Agent
Date	TELEPHONE	Name, Title & Agency of Authorized Approving Agent

CERTIFICATE FOR STREET APPROVAL
I certify that streets, sidewalks, and other required improvements have been installed in an acceptable manner and according to Town specifications, or that a security bond in the amount of \$ has been posted with the Planning Commission to assure completion of all required improvements in case of default. Streets (one) public streets maintained at public expense.

DATE TOWN ENGINEER
License No.:

CLT TAX MAP 15205903
CONLEY
DEED: 2203/253



- GENERAL NOTES**
- IRON PINS SET AT ALL CORNERS, BY THIS SURVEY, UNLESS OTHERWISE NOTED. (FINAL PLAT)
 - A FIVE (5) FOOT UTILITY, DRAINAGE AND CONSTRUCTION EASEMENT ON EACH SIDE OF INTERIOR LOT LINES, A TEN (10) FOOT UTILITY, DRAINAGE AND CONSTRUCTION EASEMENT ON INSIDE OF ROAD RIGHTS-OF-WAY AND EXTERIOR LOT LINES. (EXCEPT UNDER BUILDINGS)
 - DEED REFERENCE: INSTRUMENT, DEED: 200705180094415 & NO. 200705180094415
 - PROPERTY SHOWN ON CLT 152 05904
 - PROPERTY ZONE R1/OSMR (RURAL SINGLE-FAMILY RESIDENTIAL DISTRICT) (OPEN SPACE MIXED RESIDENTIAL OVERLAY DISTRICT) MINIMUM BUILDING SETBACKS FOR (OSMR) ZONING ARE AS FOLLOWS: FRONT YARD: 20 FEET FRONT FACING GARAGE: 30 FEET SIDE YARD: 20 FEET BETWEEN BUILDINGS PERIPHERY PROPERTY LINE: 50 FEET
 - TOTAL AREA PHASE 4: 7.398 ACRES (INCLUDES R.O.W.)
 - FARRAGUT AND ARE RESERVED FOR PUBLIC USE. TOWN OF FARRAGUT SHALL ACCEPT MAINTENANCE AND LIABILITY OF TRAILS AND EASEMENTS UPON THE RELEASE OF THE 2-YEAR MAINTENANCE LETTER OF CREDIT RELATED TO THE WALKING TRAILS
 - A 15' UTILITY EASEMENT EXISTS, 7.5 EITHER SIDE OF WATER AND SEWER LINES AS INSTALLED
 - THE PURPOSE OF THIS PLAT IS TO CREATE 19 SINGLE FAMILY LOTS AND DEDICATE PUBLIC R.O.W FOR FUTURE DEVELOPMENT AND DEDICATE 1 OPEN SPACE LOT (LOT 80).
 - LOT NUMBER 40 IS INTENTIONALLY OMITTED FROM BRIARSTONE SUBDIVISION'S NOMENCLATURE
 - LOT 80 IS AN OPEN SPACE LOT THAT IS TO BE OWNED AND MAINTAINED BY THE HOME OWNERS ASSOCIATION.
 - SUBJECT PROPERTY IS LOCATED IN FLOOD ZONE "X", BEING OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FIRM FLOOD INSURANCE RATE MAP 4709300358F, EFFECTIVE DATE MAY 2, 2007
 - LOT 10 AUDUBON HILLS SUBDIVISION IS NOT BOUND BY THE COVENANTS AND RESTRICTIONS FOR BRIARSTONE SUBDIVISION

CURVE TABLE					
CURVE	BEARING	DISTANCE	RADIUS	TANGENT	LENGTH
C1	N89°44'27"E	88.46	150.00	46.29	89.79
C2	S59°54'51"E	109.50	100.00	65.43	115.88
C3	N36°29'43"W	50.94	150.00	25.65	51.19
C4	S30°53'15"E	79.59	150.00	41.27	80.55
C5	S59°54'51"E	82.13	75.00	49.04	86.89
C6	N33°26'42"W	41.00	175.00	20.64	41.09
C7	N43°31'19"E	18.63	175.00	9.33	18.63
C8	S30°53'15"E	66.42	125.00	34.45	67.23
C9	S32°14'56"W	37.29	25.00	27.99	42.09
C10	S76°28'29"W	52.86	360.14	26.49	52.90
C11	S68°23'40"W	54.49	360.14	27.32	54.54
C12	N65°50'52"W	38.23	25.00	28.65	43.52
C13	S41°20'55"E	30.64	175.00	15.08	30.08
C14	N36°29'43"W	42.45	125.00	21.54	42.66
C15	S34°02'48"E	31.89	125.00	16.07	31.97
C16	S2°15'09"E	47.18	125.00	24.02	47.46
C17	S74°02'35"E	47.33	125.00	24.10	47.61
C18	S89°01'59"E	17.77	125.00	8.91	17.79
C19	N81°25'11"E	33.36	175.00	16.79	33.42
C20	N74°33'17"E	50.10	175.00	25.31	50.27
C21	S80°34'44"W	5.31	360.14	2.66	5.31
C22	S63°51'52"W	5.58	360.14	2.79	5.58
C23	N80°36'57"E	27.32	125.00	13.74	27.38
C24	N63°28'01"E	47.17	125.00	24.01	47.45
C25	S25°58'34"E	63.44	175.00	32.76	63.79
C26	N28°11'39"W	4.93	243.00	2.46	4.93

RELEASE OF EASEMENT(S) CERTIFICATION
Except as noted or shown on this plat, the following parties hereby consent to the release of all rights that may have accrued for their use and benefit (1) in the utility, drainage, and construction easements along the original lot lines or (2) in prior easements identified hereon which are being eliminated by this plat, on the condition that new utility, drainage, and construction easements are provided along the new property lines or as facilities are otherwise installed or shown hereon. The above provisions notwithstanding prior easements or prior utility placements are not released unless their release is specifically noted hereon. Existing easements or placements shown hereon will not be adversely affected by the development as herein proposed.

Signature (sewer) Date
Signature (water) Date
Signature (electricity) Date
Signature (gas) Date
Signature (telephone) Date
Signature (cable) Date
Signature (Town of Farragut) Date



CERTIFICATE OF SURVEY ACCURACY
I hereby certify that the plan shown and described hereon is a true and correct survey to the accuracy required by the Farragut Municipal Planning Commission and that the monuments have been placed as shown hereon, to the specification of the Subdivision Regulations. This is a Category I Land Survey and the ratio of precision of the unadjusted survey is equal to or greater than 1:10,000.

Date Registered Surveyor No. 2447

LYNCH SURVEYS LLC
SUBDIVISIONS | AS-BUILTS | SITE DESIGN
4405 COSTER RD. KNOXVILLE, TENN. 37912
865-584-2630 FAX: 865-584-2801 WWW.LYNCHSURVEY.COM

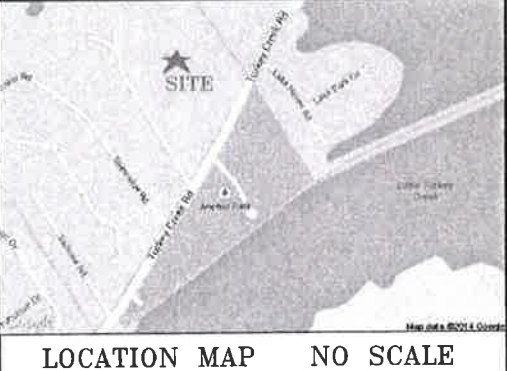
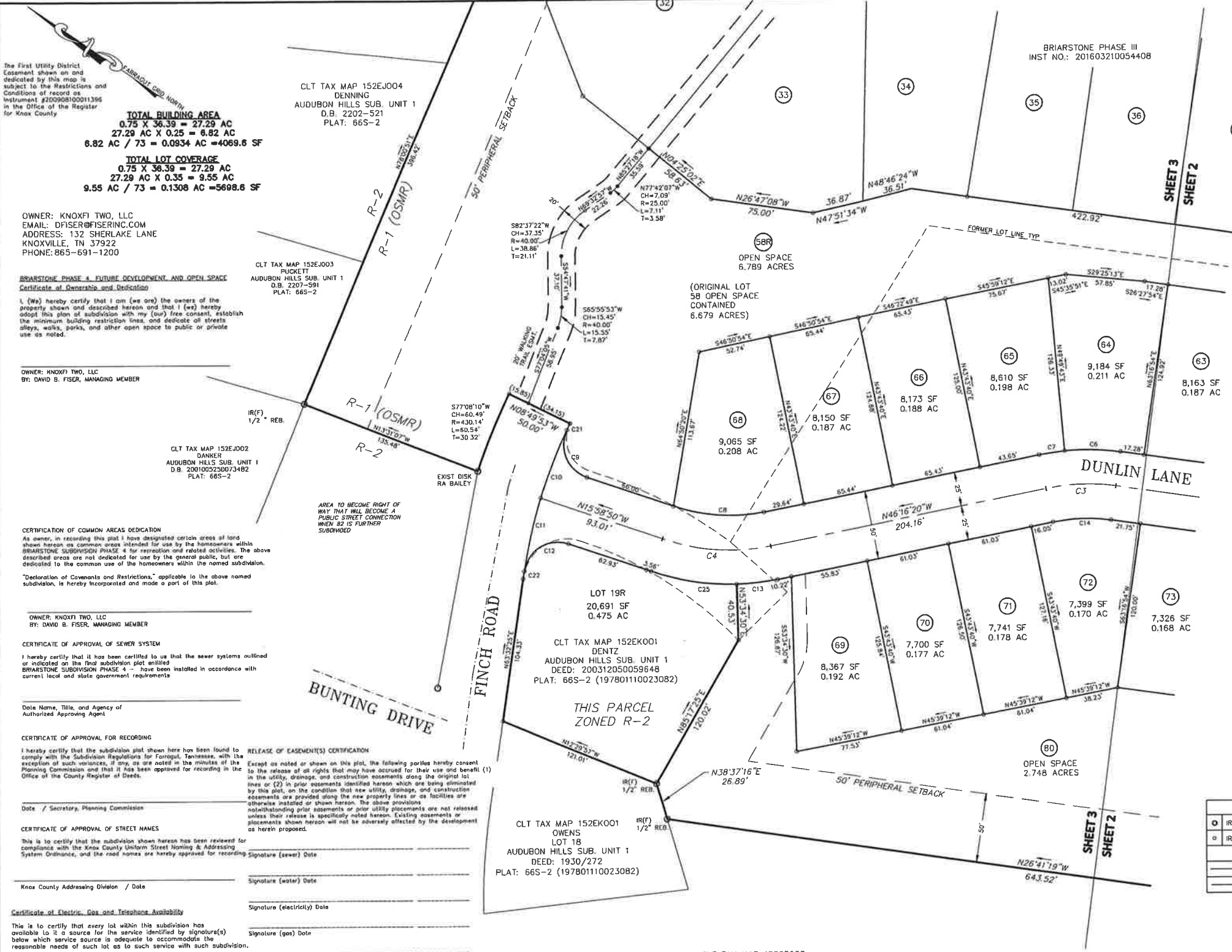
REVISIONS	
DRAWN BY: M. STRANGE	1
CHECKED BY: R. LYNCH	2
APPROVED BY: R.S.L.	3
SCALE: 1"=50'	4
DATE: 08/11/2016	5
	6

SURVEY FOR:
Saddlebrook Properties, LLC
122 Perimeter Park Road
Knoxville, Tennessee 37922
Phone: 865-690-3200

Briarstone Subdivision Phase 4
Town of Farragut, Tennessee
District 6, Knox County, Tennessee

PROJECT NO.
Sheet 2/3
3718

RECEIVED
SEP 06 2016
TOWN OF FARRAGUT



The First Utility District Easement shown on and dedicated by this map is subject to the Restrictions and Conditions of record as Instrument #200908100011396 in the Office of the Register for Knox County.

TOTAL BUILDING AREA
0.75 X 36.39 = 27.29 AC
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6.82 AC / 73 = 0.0934 AC = 4069.6 SF

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PHONE: 865-691-1200

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OWNER: KNOX TWO, LLC
BY: DAVID B. FISER, MANAGING MEMBER

CLT TAX MAP 152EJ003
PICKETT
AUDUBON HILLS SUB. UNIT 1
D.B. 2207-591
PLAT: 665-2

CLT TAX MAP 152EJ002
DANKER
AUDUBON HILLS SUB. UNIT 1
D.B. 2001005230073482
PLAT: 665-2

IR(F)
1/2" REB.

AREA TO BECOME RIGHT OF WAY THAT WILL BECOME A PUBLIC STREET CONNECTION WHEN B2 IS FURTHER SUBDIVIDED

CERTIFICATION OF COMMON AREAS DEDICATION
As owner, in recording this plat I have designated certain areas of land shown hereon as common areas intended for use by the homeowners within BRIARSTONE SUBDIVISION PHASE 4 for recreation and related activities. The above described areas are not dedicated for use by the general public, but are dedicated to the common use of the homeowners within the named subdivision.

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OWNER: KNOX TWO, LLC
BY: DAVID B. FISER, MANAGING MEMBER

CERTIFICATE OF APPROVAL OF SEWER SYSTEM
I hereby certify that it has been certified to us that the sewer systems outlined or indicated on the final subdivision plat entitled BRIARSTONE SUBDIVISION PHASE 4 - have been installed in accordance with current local and state government requirements.

Date, Name, Title, and Agency of Authorized Approving Agent

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Date / Secretary, Planning Commission

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Knox County Addressing Division / Date

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Date GAS Name, Title & Agency of Authorized Approving Agent
Date ELECTRIC Name, Title & Agency of Authorized Approving Agent
Date TELEPHONE Name, Title & Agency of Authorized Approving Agent

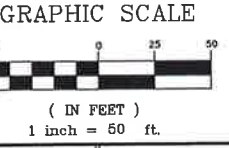
THIS PARCEL ZONED R-2

CLT TAX MAP 152EK001
OWENS
LOT 18
AUDUBON HILLS SUB. UNIT 1
DEED: 1930/272
PLAT: 665-2 (197801110023082)

CLT TAX MAP 15205903
CONLEY
DEED: 2203/253

CERTIFICATE FOR STREET APPROVAL
I certify that streets, sidewalks, and other required improvements have been installed in an acceptable manner and according to Town specifications, or that a security bond in the amount of \$ has been posted with the Planning Commission to assure completion of all required improvements in case of default. Streets (and) public streets maintained at public expense.

DATE TOWN ENGINEER License No.:



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Date, Name, Title, and Agency of Authorized Approving Agent

- GENERAL NOTES**
- IRON PINS SET AT ALL CORNERS, BY THIS SURVEY, UNLESS OTHERWISE NOTED. (FINAL PLAT)
 - A FIVE (5) FOOT UTILITY, DRAINAGE AND CONSTRUCTION EASEMENT ON EACH SIDE OF INTERIOR LOT LINES, A TEN (10) FOOT UTILITY, DRAINAGE AND CONSTRUCTION EASEMENT ON INSIDE OF ROAD RIGHTS-OF-WAY AND EXTERIOR LOT LINES. (EXCEPT UNDER BUILDINGS)
 - DEED REFERENCE: INSTRUMENT, DEED: 200705180094415 & NO. 200705180094415
 - PROPERTY SHOWN ON CLT 152 05504
 - PROPERTY ZONE R1/OSMR (RURAL SINGLE-FAMILY RESIDENTIAL DISTRICT) (OPEN SPACE MIXED RESIDENTIAL OVERLAY DISTRICT)
 - MINIMUM BUILDING SETBACKS FOR (OSMR) ZONING ARE AS FOLLOWS:
FRONT YARD: 20 FEET
FRONT FACING GARAGE: 30 FEET
SIDE YARD: 20 FEET BETWEEN BUILDINGS
PERIMETER PROPERTY LINE: 50 FEET
 - TOTAL AREA PHASE 4: 7.398 ACRES (INCLUDES R.O.W.)
 - ALL WALKING TRAILS SHALL HAVE A 20' EASEMENT IN FAVOR OF THE TOWN OF FARRAGUT AND ARE RESERVED FOR PUBLIC USE. TOWN OF FARRAGUT SHALL ACCEPT MAINTENANCE AND LIABILITY OF TRAILS AND EASEMENTS UPON THE RELEASE OF THE 2-YEAR MAINTENANCE LETTER OF CREDIT RELATED TO THE WALKING TRAILS.
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 - AS INSTALLED
 - THE PURPOSE OF THIS PLAT IS TO CREATE 19 SINGLE FAMILY LOTS AND DEDICATE PUBLIC R.O.W. FOR FUTURE DEVELOPMENT AND DEDICATE 1 OPEN SPACE LOT (LOT 80).
 - LOT NUMBER 40 IS INTENTIONALLY OMITTED FROM BRIARSTONE SUBDIVISION'S NOMENCLATURE
 - LOT 80 IS AN OPEN SPACE LOT THAT IS TO BE OWNED AND MAINTAINED BY THE HOME OWNERS ASSOCIATION
 - SUBJECT PROPERTY IS LOCATED IN FLOOD ZONE "X", BEING OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FIRM FLOOD INSURANCE RATE MAP 47083C0356F, EFFECTIVE DATE MAY 2, 2007
 - LOT 19 AUDUBON HILLS SUBDIVISION IS NOT BOUND BY THE COVENANTS AND RESTRICTIONS FOR BRIARSTONE SUBDIVISION.

CURVE TABLE					
CURVE	BEARING	DISTANCE	RADIUS	TANGENT	LENGTH
C1	N69°44'27"E	88.46	150.00	46.29	89.79
C2	S69°54'51"E	109.50	100.00	65.43	115.88
C3	N36°29'43"W	50.94	150.00	25.85	51.19
C4	S30°53'15"E	79.59	150.00	41.27	80.55
C5	S59°54'51"E	82.13	75.00	49.04	68.89
C6	N33°44'42"W	41.00	175.00	20.84	41.09
C7	N43°31'19"W	18.63	175.00	9.33	18.63
C8	S30°51'53"E	66.42	125.00	34.45	67.23
C9	S32°14'56"W	37.29	25.00	27.99	42.09
C10	S76°29'28"W	52.88	380.14	28.49	52.90
C11	S68°23'40"W	34.49	380.14	27.32	54.54
C12	N55°50'52"W	38.23	25.00	29.65	43.52
C13	S41°20'55"E	30.04	175.00	15.08	30.08
C14	N36°29'43"W	42.45	125.00	21.54	42.66
C15	S34°02'48"E	31.89	125.00	16.07	31.97
C16	S52°15'09"E	47.18	125.00	24.02	47.46
C17	S74°02'30"E	47.33	125.00	24.10	47.61
C18	S69°01'59"E	17.77	125.00	8.91	17.79
C19	N81°25'11"E	33.36	175.00	16.76	33.42
C20	N67°43'13"E	50.10	175.00	25.31	50.27
C21	S80°24'44"W	5.31	380.14	2.66	5.31
C22	S63°51'52"W	5.58	380.14	2.79	5.58
C23	N80°36'57"E	27.32	125.00	13.74	27.38
C24	N63°28'01"E	47.17	125.00	24.01	47.45
C25	S25°58'54"E	63.44	175.00	32.26	63.79
C26	N26°11'39"W	4.93	243.00	2.40	4.93

SYMBOL LEGEND	
IRON PIN (SIZE&TYPE)	CATCH BASIN
IRON PIN SET	SANITARY MANHOLE
LINE LEGEND	
SA	SEWER LINE
ST	STORM SEWER LINE



CERTIFICATE OF SURVEY ACCURACY
I hereby certify that the plan shown and described hereon is a true and correct survey to the accuracy required by the Farragut Municipal Planning Commission and that the monuments have been placed as shown hereon, to the specification of the Subdivision Regulations. This is a Category I Land Survey and the ratio of precision of the unadjusted survey is equal to or greater than 1:10,000.

Date Registered Surveyor No. 2447

LYNCH SURVEYS LLC
SUBDIVISIONS | AS-BUILTS | SITE DESIGN
4405 COSTER RD. KNOXVILLE, TENN. 37912
865-884-2630 FAX: 865-884-2801 WWW.LYNCHSURVEYS.COM

REVISIONS	
DRAWN BY: M.STRANGE	1
CHECKED BY: R. LYNCH	2
APPROVED BY: R.S.L.	3
SCALE: 1"=50'	4
DATE: 08/11/2016	5
	6

Saddlebrook Properties, LLC
122 Perimeter Park Road
Knoxville, Tennessee 37922
Phone: 865-690-3200

Briarstone Subdivision Phase 4
-
Town of Farragut, Tennessee
District 6, Knox County, Tennessee

PROJECT NO.
Sheet 3/3
3718

RECEIVED
SEP 06 2016
TOWN OF FARRAGUT

MEETING DATE: September 15, 2016

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Ashley Miller, Assistant Community Development Director

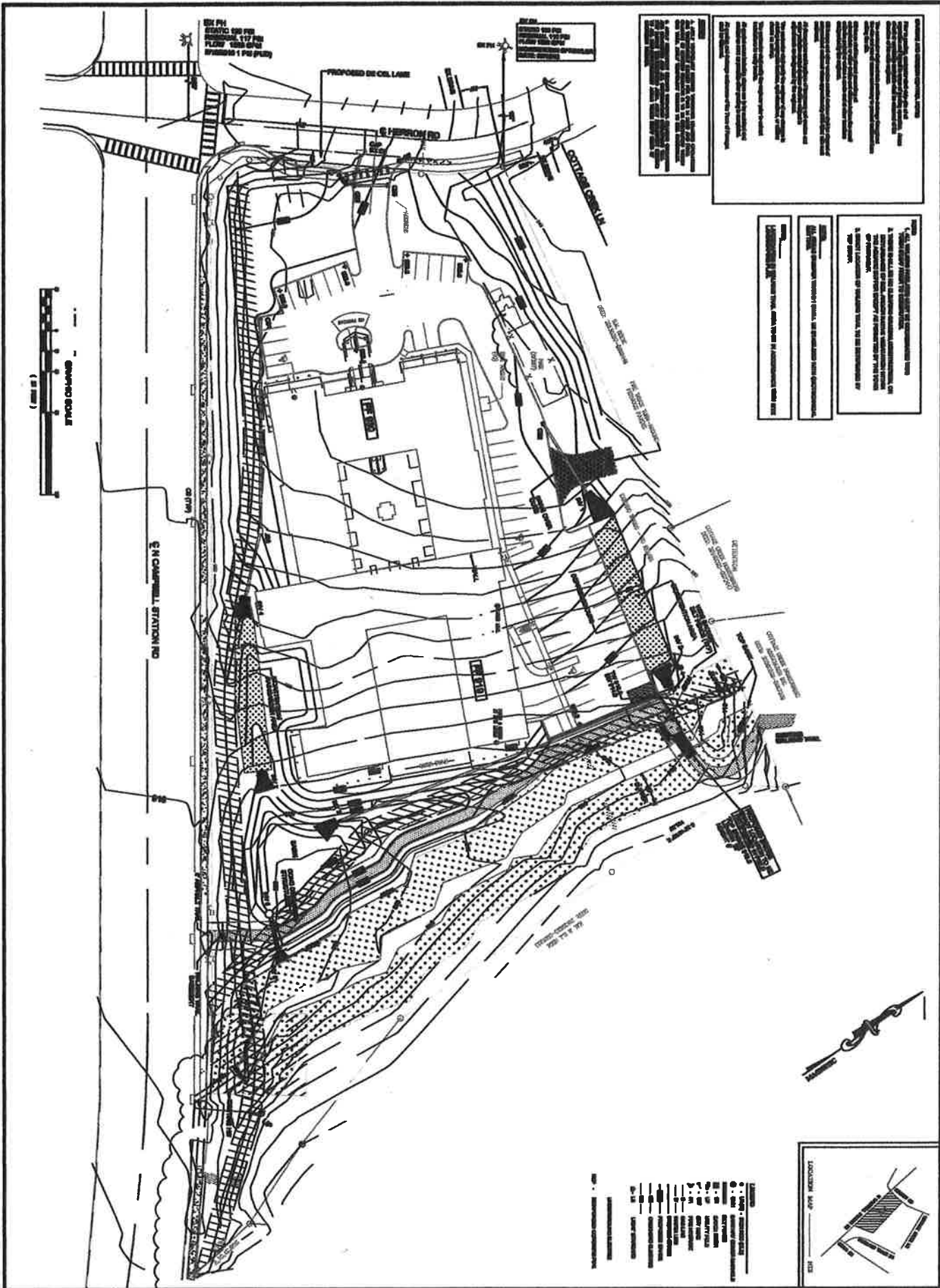
SUBJECT: Discussion and public hearing on a site plan for the walking trail and associated “no-rise” certification associated with the walking trail stream crossing for Autumn Care III Assisted Living, Parcel 117, Tax Map 142, Zoned S-1, located at 400 Herron Road, 4.68 Acres (Autumn Care III, LLC/Peter Falk, Applicant)

INTRODUCTION AND BACKGROUND: This request is associated with the site plan for Autumn Care III Assisted Living which was approved with conditions by the Planning Commission at the July 21st meeting. Specifically, this request is for the approval of the small stream crossing for the walking trail and the associated “no-rise” certification for this project. This walking trail section will link the N. Campbell Station Road sidewalk to the existing walking trail in the Cottage Creek Subdivision.

DISCUSSION: As noted as a condition of the site plan approval in July, the bridge and walking trail crossing within a small stream require a separate review and action by the FMPC and at that time the full engineering analysis had not been completed for this portion of the project. Given this stream is not mapped by FEMA, the Town’s Flood Damage Prevention Ordinance only allows for encroachments into the small stream setback areas if the encroachment is approved by the Planning Commission and certification by a TN registered professional engineer is provided demonstrating that the cumulative effect of the proposed development will not increase the water surface elevation of the base flood at any point within the locality.

The request before the FMPC is the evaluation of the information associated with the encroachment into the small stream setback area.

RECOMMENDATION: Included in your packet is a copy of the minutes from the July 21st FMPC meeting related to this item, the revised site plan for this portion of the property and the “no-rise” certification prepared by the design engineer. Staff will make a recommendation at the meeting.



Autumn Care III, LLC
Assisted Living

400 Herron Rd & Campbell Station Road
Knoxville, TN 37934

**ODLE & YOUNG
ARCHITECTS, INC.**



1545 Western Ave.
Knoxville, TN 37921
865-323-6200
865-323-6200 Fax
office@odleyoung.com
www.odleyoung.com

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"NO RISE" PERMIT APPLICATION

Prepared for:

AUTUMN CARE III

400 Herron Road

Town of Farragut, Tennessee

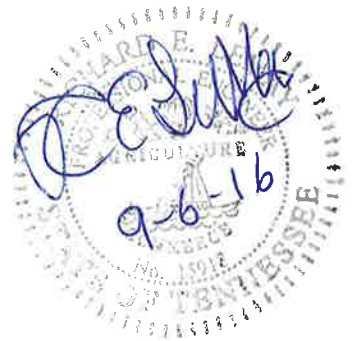
LeMay and Associates

10816 Kingston Pike, 2nd Floor

Knoxville, TN 37922

Phone: 865-671-0183; Fax: 865-671-0213

97-06-2016



#5543-NR

ENGINEERING "NO RISE/NO IMPACT" CERTIFICATION

***This is to certify that I am a duly qualified engineer licensed to practice in
the State of Tennessee.***

***It is to further certify the attached technical data supports the fact that
the proposed Autumn Care III will not impact the 100-year flood
elevations.***

***Floodway elevations and floodway widths have not been established for
the stream.***



Seal, Signature, and Date

A handwritten signature in blue ink that reads "Richard LeMay". The signature is written over a horizontal line.

Richard LeMay

LeMay & Associates

10816 Kingston Pike

Project Description

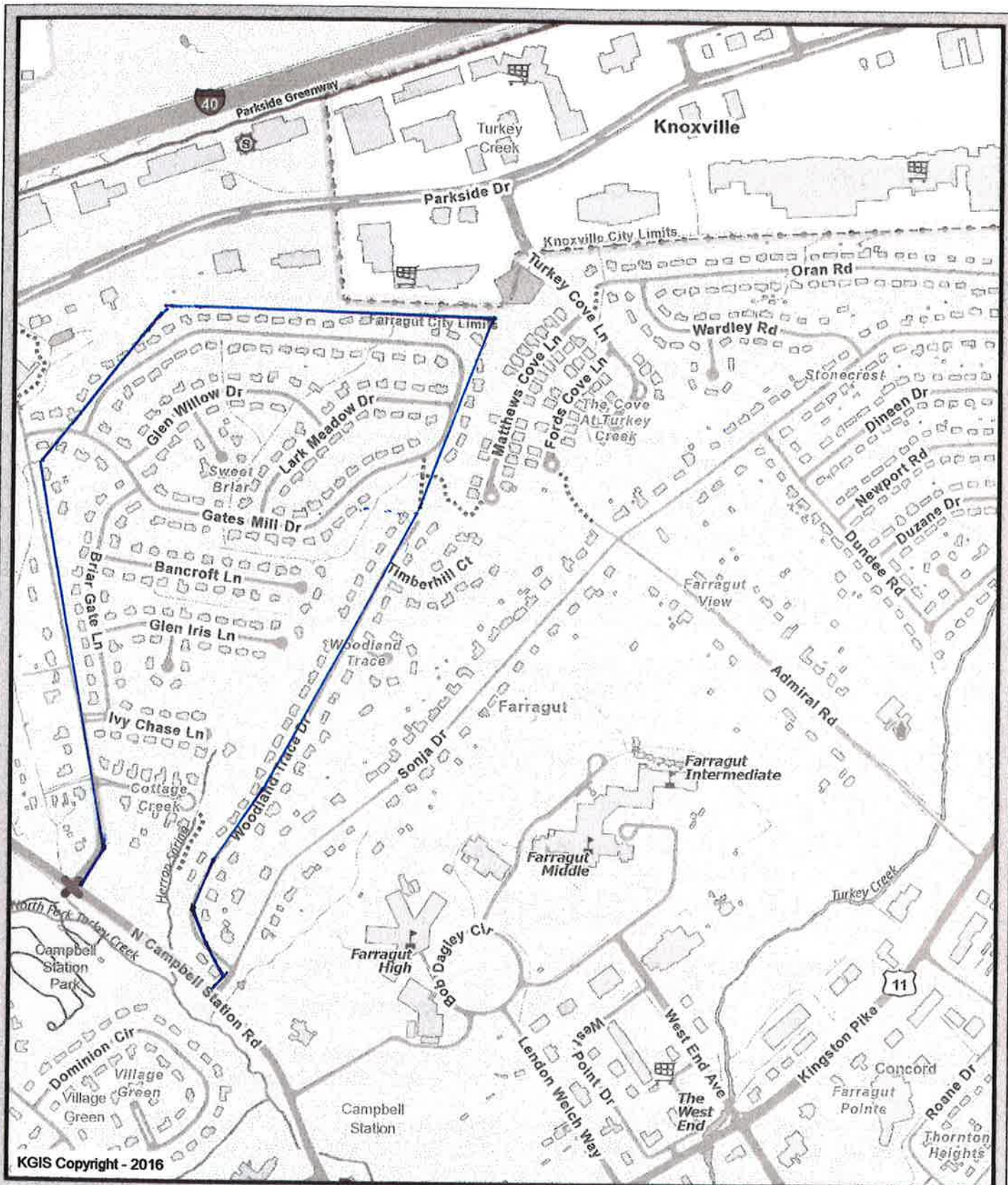
The approxamtely 76 acre tract lies south of Herron Road and North of Woodland Trace Subdivision draining to a small stream running from east to west to a culvert under N Campbell Station Road.

The proposed project contains 4.8 acres and will contain an assisted living facility. The runoff generated by the development will be detained in a basin and discharged at the predeveloped runoff rate before entering the stream.

A bridge crossing the stream is proposed for the installation of a walking trail as part of the proposed development.

The attached calculations prepared utilizing Pond Pack hydrology software indicated that the bridge installation will not create a rise in the creek water levels.

**DRAINAGE SHED
PRE & POST DEVELOPMENT**



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Letter Portrait

DRAINAGE SHED 76A

Knoxville - Knox County - KUB Geographic Information System

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Ashley Miller

From: Mark Shipley
Sent: Wednesday, August 24, 2016 8:56 AM
To: Peter Falk (falkp@comcast.net); Steve Young; Richard LeMay
Cc: Ashley Miller; Darryl Smith; Lori Saal; Gary Palmer
Subject: Autumn Care bridge and trail

Guys,

Hope you all are doing well. Below are the staffs' comments on the bridge/walking trail plan associated with the site plan for Autumn Care III. We will discuss these comments at the staff/developer meeting on August 30 at 10:30 here at the Town Hall. If you have any questions in the mean-time please let me know. Thank you very much.

1. There appears to be grading in the aquatic buffer where the trail parallels the stream. Please revise accordingly;
2. Please submit a specific detailed plan for erosion control measures for this subarea of the plan, specifically for all disturbances within the aquatic buffer;
3. Please submit a bridge detail that is specifically designed for this project;
4. In accordance with the adopted Flood Damage Prevention Ordinance, please submit a "no-rise" certification by a Tennessee registered professional engineer to demonstrate that the cumulative effect of the proposed development, when combined with all other existing and anticipated development, will not increase the water surface elevation of the base flood at any point within the locality and please include the Hec-Ras output supporting the certification;
5. Please show where the trail is connecting to the development;
6. The delineation for the aquatic buffer appears to disappear on the lower portion of the stream on the north side of the stream. The end treatment cannot be within the buffer. Please remove this for the buffer;
7. Please ensure this plan is consistent with the remainder of the site plan sheets;

These comments will need to be addressed and 4 revised full size sheets and one 11x17 sheet submitted by noon Tuesday, September 6. Thank you very much.

mark shipley, AICP

COMMUNITY DEVELOPMENT DIRECTOR

EMAIL • MSHIPLEY@TOWNOFFARRAGUT.ORG

PHONE • 865.966.7057

ADDRESS • 11408 MUNICIPAL CENTER DRIVE
FARRAGUT, TN 37934



7. The Area Calculations table lists 49 rather than 48 houselots. This conflicts with the plat and Plat Note #3. Please revise;
8. A determination from TDEC has yet to be submitted to the Town staff as it relates to Lot 59. What is needed is their determination as to whether there is a sinkhole on Lot 59. If there is, then the lip elevation must be identified per their assessment and, in accordance with the Town's Sinkhole Ordinance, there would be a 50 foot building setback from the lip elevation. This could significantly affect Lot 60, potentially making it unbuildable;
9. Would it be desired to center the drainage easement equally between the side property lines of Lots 71 and 72?
10. Please show the traffic calming area on the plat similar to what was shown on the recorded plat for Phase I of Sheffield;
11. As a reminder, the street lighting must comply with the Town's residential street lighting requirements;
12. Please provide any necessary amendments to the covenants prior to the issuance of a building permit;
13. Are property owners being made aware of the FUD stamp that is being added to plats? Do they understand what this stamp means for their property? The staff would request that each homebuyer be made aware of what this stamp means in relation to the use of their property;
14. Complete all items on staff's punchlist, including stabilization. Given the current hot weather, staff is open to the idea of allowing the recording of this plat, with the understanding that building permits will be withheld if significant progress on stabilization does not continue. This will allow building to commence on certain lots under contract, but please understand that the entire disturbed area must be stabilized by early fall;
15. Please provide a completion LOC for sidewalks in the amount of \$100,000; and
16. Please provide a maintenance LOC for roadways, sidewalks, walking trail, and drainage and detention in the amount of \$57,000.

A motion was made by Commissioner Myers to approve the plat subject to the conditions noted by staff. The motion was seconded by Commissioner St. Clair and the motion passed unanimously.

DISCUSSION AND PUBLIC HEARING ON A RESUBDIVISION OF LOTS 50, 51 AND 61 OF THE BATTERY AT BERKELEY PARK, LOCATED AT THE WESTERN SIDE OF COTTON BLOSSOM ROAD, PARCELS 50, 51 AND 61, TAX MAP 142A, GROUP D, ZONED R-1/OSR, 3 LOTS, 1.366 ACRES (Benchmark Associates, Inc., Applicant)

Staff recommended approval.

A motion was made by Commissioner St. Clair to approve the plat as submitted. The motion was seconded by Commissioner Povlin and the motion passed unanimously.

(X) DISCUSSION AND PUBLIC HEARING ON A SITE PLAN FOR AUTUMN CARE III ASSISTED LIVING, PARCEL 117, TAX MAP 142, ZONED S-1, LOCATED AT 400 HERRON ROAD, 4.68 ACRES (Autumn Care III, LLC/Peter Falk, Applicant)

Staff noted that separate action would be needed on the access and the site plan since the proposed access onto Herron Road would need a variance from the distance between driveways and distance from intersection provisions in the Driveways and Other Accessways Ordinance.

With regards to the proposed access onto Herron Road, a minimum of 200 feet between driveways and from intersections is required since Herron Road is a collector street. In accordance with the Traffic Impact Study submitted for this project, the proposed access would be 110 feet from the stop bar on Herron Road near the intersection with N. Campbell Station Road. A motion was made by Commissioner Myers to approve a variance to the Driveways and Other Accessways Ordinance of approximately 90 feet and in accordance with the recommendation of the Traffic Impact Study. The motion was seconded by Alderman Povlin and the motion passed unanimously.

The Commission then considered the site plan and, after a long discussion, a motion was made by Alderman Povlin to approve the site plan subject to the remaining comments being satisfactorily addressed as verified in writing by the Town staff.

- 1) Please provide fire hydrant flow data for fire hydrant located on Herron Rd. Please leave data for hydrant on Campbell Station on the drawings;
- 2) Please provide required fire flow requirements, as determined by Appendix B & C of the 2012 IFC on Sheet C-3;
- 3) Please include design criteria, relating to the minimum 30,000lb per axel loading, for the fire apparatus turn around area;
- 4) Staff is concerned that a vehicle may not be able to make the turn from the entrance roadway into the area under the portico;
- 5) Prior to the issuance of a Certificate of Occupancy a plat will be required which establishes the walking trail, access easement to the property to the north (Reeves property), any other new easements, and which plats the required right of way and the right of way needed for the Herron Road deceleration lane;
- 6) Please verify with FUD as to what can be constructed within their sanitary sewer easement. Please ensure that no building or covered area encroaches into a platted utility easement;
- 7) Please remove the outlet structure from the aquatic buffer;
- 8) Please confirm that there will not be any finished slopes steeper than 2.5:1;
- 9) All parking lot islands (including terminal islands) must be (throughout their entire depth) at least 5 feet in width as measured from back of curb to back of curb;
- 10) Sheet 2 refers to an address along the access drive into the property. This is probably not correct;
- 11) In terms of the transition area, the Planning Commission will need to specifically authorize the dog park and the grass paver turnaround area as being permitted in accordance with the S-1 Zoning District;
- 12) Please verify and demonstrate on the plans that the proposed access to Herron Road is per the TIS recommendation. The TIS recommends that the access off Herron Road be 110 feet from the stop bar. It needs to be verified with the TIS traffic engineer that where the access is shown is compliant with the recommendation;
- 13) A variance to the Driveways and Other Accessways Ordinance will be needed for the access onto Herron Road. This will be voted on separately as part of the site plan review;

- 
- 14) Please verify that all of the mechanical units for the project are in the eastern corner of the building. Any units that may otherwise be visible from an adjacent property or right of way must be screened by the building they are serving. Landscaping cannot be used solely to fulfill this requirement;
 - 15) In terms of the site lighting, it must be specified that the lantern lights (Fixture F) and the bollard lights (Fixture B) will either have their light source hidden in the fixture itself or the lens will be frosted. The maximum lumens permitted are 950 per fixture. The flood lights may be required shields. Please verify the lumens for each of these fixtures;
 - 16) Please consider using more decorative, residential style, fixtures instead of the more commercial shoe box style fixtures;
 - 17) Please include a cross section of the pole lighting to verify compliance with the maximum height permitted. It appears that these will be 20 feet in height. Please show that measurement on a cross section from ground level to the top of the light fixture;
 - 18) The placement of the walking trail needs further evaluation with the staff. The bridge and walking trail will need to be reviewed and action taken at a separate Planning Commission meeting since there is not enough information completed at this time;
 - 19) Please include on the landscape plan and grading/drainage plan a cross section for the bioswales and how they are to be constructed;
 - 20) Prior to the issuance of a Certificate of Occupancy a 2-year landscape maintenance letter of credit will be needed;
 - 21) Please note that the front building setback is 20 rather than 25 feet;
 - 22) Please add an interior landscape island along the row of parking on the north side of the building where there are more than 15 parking spaces in a row;
 - 23) Please provide a 5 foot sidewalk connection from the parking lot to the sidewalk along Herron Road. A sidewalk connection is also needed from the facility to the dog park. Where the access ways are crossed, please show compliant cross walks and include a detail with the plans;
 - 24) Prior to the issuance of a grading permit the water and sewer plan must be signed off by FUD;
 - 25) Prior to the issuance of a Certificate of Occupancy a digital as-built will be required in a JPEG format;
 - 26) Please show and give distances for all existing driveways in the vicinity of this project to the proposed access for the facility;
 - 27) Please provide a short narrative summarizing detention performance, including pre-developed and post-developed outfall rates;
 - 28) Please check elevations on details for overflow riser and detention basin;
 - 29) Please submit Erosion Control Letter of Credit in the amount of \$21,000;
 - 30) Please submit Drainage Fee of \$1575; and
 - 31) Please submit copy of NOC.

The motion was seconded by Commissioner Myers and the motion passed unanimously.

DISCUSSION AND PUBLIC HEARING ON TEXT AMENDMENTS TO THE FARRAGUT ZONING ORDINANCE, CHAPTER 3., SECTION IX., ATTACHED SINGLE-FAMILY RESIDENTIAL DISTRICT (R-4), SUBSECTION D.1.B., TO AMEND THE FRONT YARD SETBACK PROVISIONS WHEN PARKING GARAGES ARE REAR LOADED (Benchmark Associates, Inc., Applicant)

MEETING DATE: September 15, 2016

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on a site plan for Fox Den Country Club, Parcel 12, Tax Map 152, Zoned R-2, located at 12284 North Fox Den Drive, 156.99 Acres (Cory Griffis, Applicant)

INTRODUCTION AND BACKGROUND: This item involves the construction of a small, roughly 925 square foot, training center and relatively minor exterior renovations to the rear of the existing clubhouse at the Fox Den Country Club.

DISCUSSION: The new training center building and the proposed renovations to the clubhouse building are consistent with the applicable provisions of the Architectural Design Standards. The new building will be stone to match, to the greatest extent possible, the stone on the clubhouse building.

RECOMMENDATION: Included in your packet are the staffs' comments on the initial site plan that was submitted. Also included is the revised site plan submitted to address the staffs' initial comments. The staff will make a recommendation at the meeting based on the status of the field items and whether the revised plan addresses the staffs' comments.

September 7, 2016

Attn: Mark Shipley
Town of Farragut
11408 Municipal Center Dr.
Farragut, TN 37934

RECEIVED

SEP - 7 2016

TOWN OF FARRAGUT

Re: Additions and Renovation for Fox Den Country Club
MBI Comm. No.: 150318

Dear Mr. Shipley:

The following is in response to review comments received from your office dated August 23, 2016, for the above-mentioned project. Please find these corrections and clarifications delineated in the attached drawings and/or documents.

1. Please include on a title sheet a title for this project;

Added title at top left corner of the title page. Project title is also on the right side of every sheet.

2. Please correct the setback note. The setbacks are per the R-2 Zoning District;

Acknowledged. The site plans now correctly show 30' Building setbacks per R-2 Zoning District

3. Please include on the title sheet the name, address, e-mail, telephone number, seal and signature of the professional(s) responsible for preparing this site plan;

Acknowledged

4. Please include a verbal and graphic scale;

Acknowledged

5. Please include on the 11x17 site plan sheets the cut sheet information for all proposed lighting and be very clear about which specific fixtures are proposed and at what lumens;

The (2) wall packs for the Training Center are the only new exterior lighting. 3 copies of the cut sheet have been attached to site plan.

6. Please identify and label the location of all proposed external lighting;

Acknowledged. Wall packs shown on Training Center elevation sheet

7. Will you have any new HVAC units? If so, please show how they will be screened by the building they are serving;

The Training Center will only have a small ductless mini split unit, which will be easily hidden with landscaping. The new HVAC units at the Clubhouse will be replacements for the old units and will be hidden on the roof in the same location as the existing units.

8. Will you need a sidewalk to access the training center? If so, please provide a detail;

There will be no sidewalk to the training center. It will be accessed directly from the driving range

9. Please note that approval of the site plan does not constitute approval of the building in terms of building and fire code compliance. This will require a separate submittal and review.

Acknowledged

Thank you for your further review of these items. Please feel free to contact me, should you have any questions or comments.

Sincerely,
Michael Brady Inc

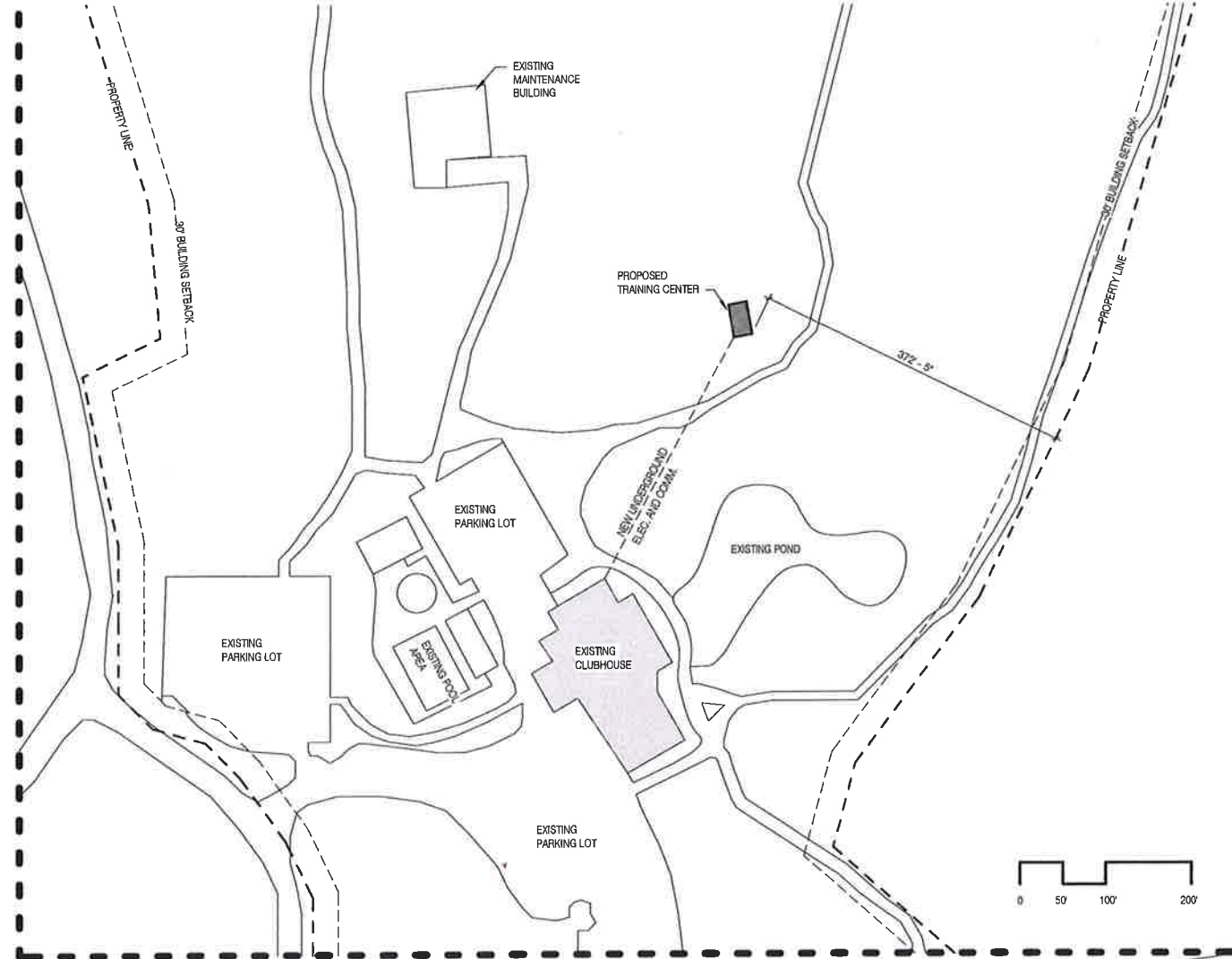
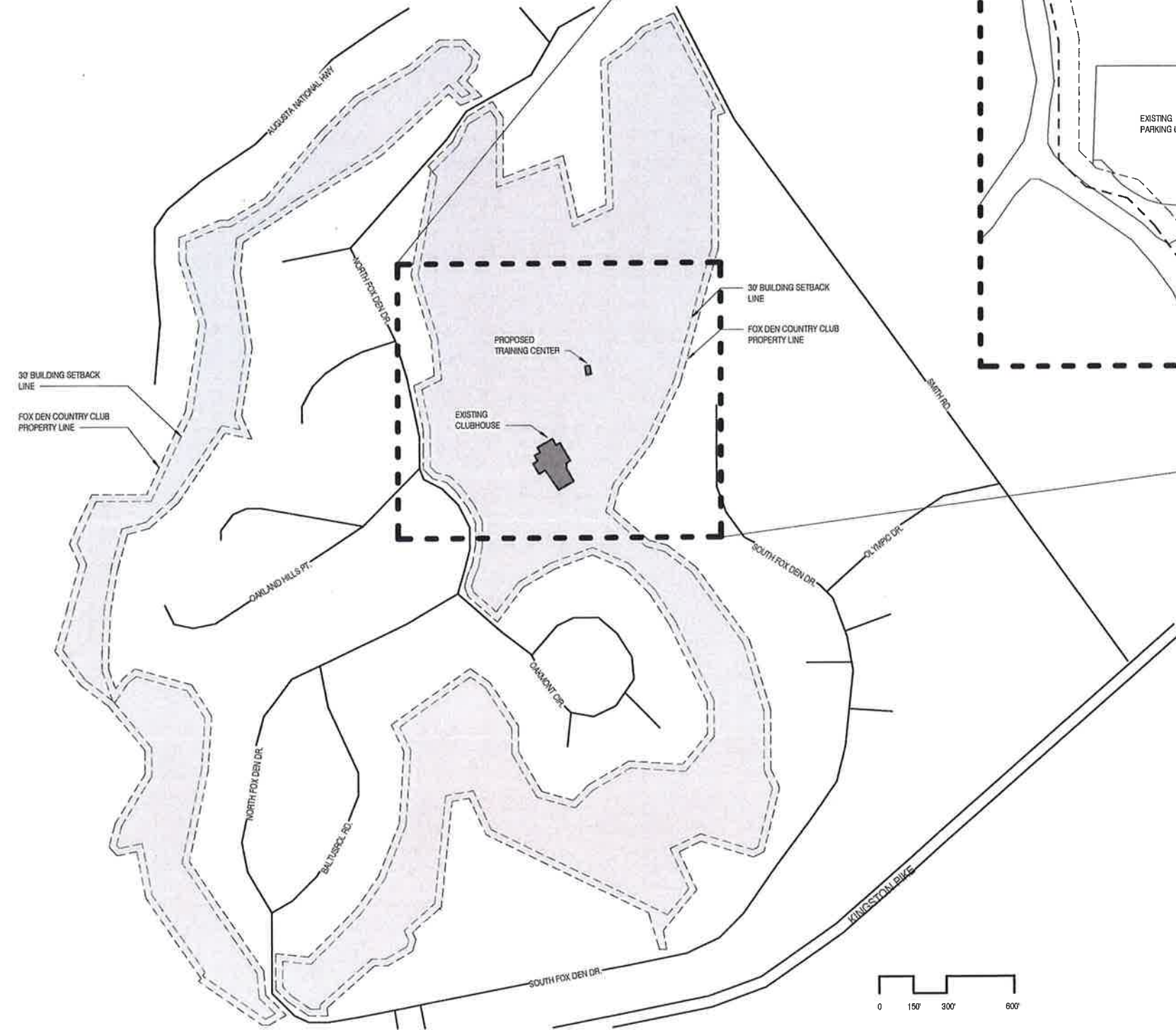


Cory Griffis
Project Manager

FOX DEN COUNTRY CLUB

PROPERTY INFORMATION

OWNER: FOX DEN COUNTRY CLUB
ADDRESS: 12284 NORTH FOX DEN DR.
PARCEL ID: 152.012
LOT AREA: 156.99 ACRES
ZONE: R-2
SETBACKS:
FRONT: 30'
SIDE: 30' TOTAL (10' EACH SIDE)
REAR: 25'

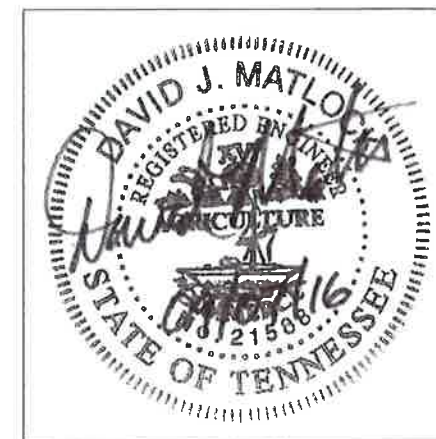


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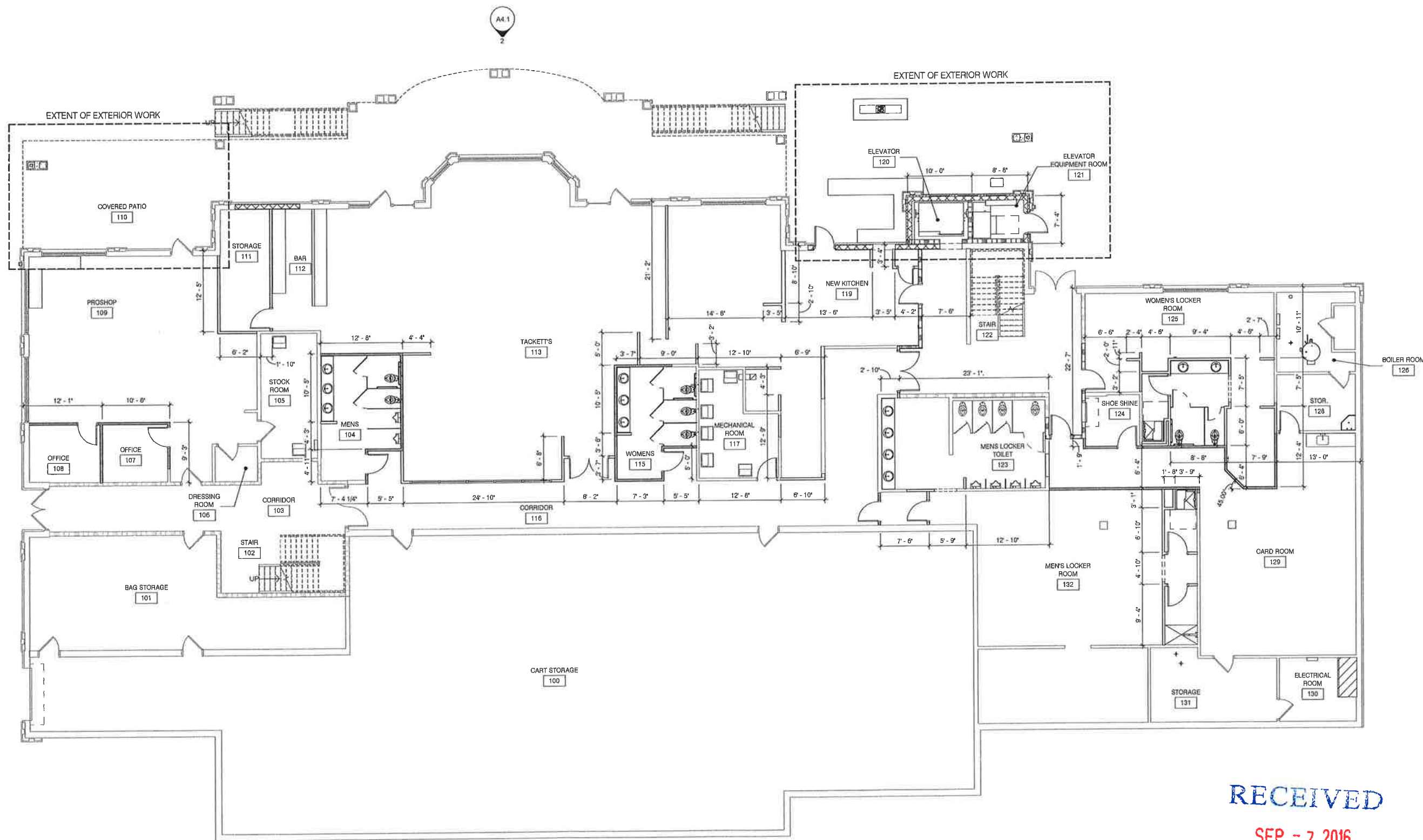
SEP - 7 2016

TOWN OF FARRAGUT

CIVIL ENGINEER:
MICHAEL BRADY INC.
DAVID MATLOCK
299 N. WEISGARBER RD.
KNOXVILLE, TN 37919
865-584-0999



SITE PLAN



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SEP - 7 2016

TOWN OF FARRAGUT

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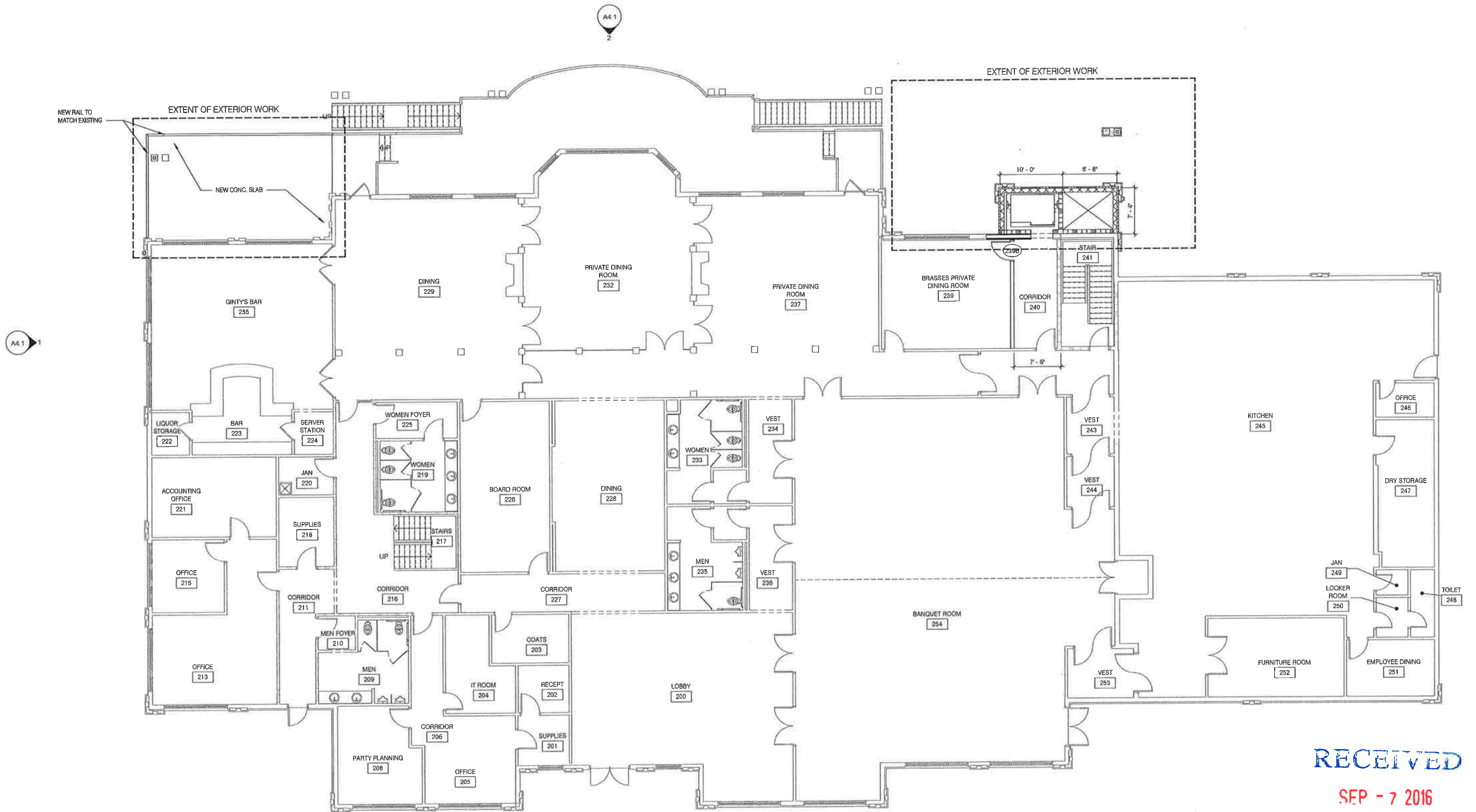
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Comments

Revised



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SEP - 7 2016
TOWN OF FARRAGUT

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Drawn

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Date:

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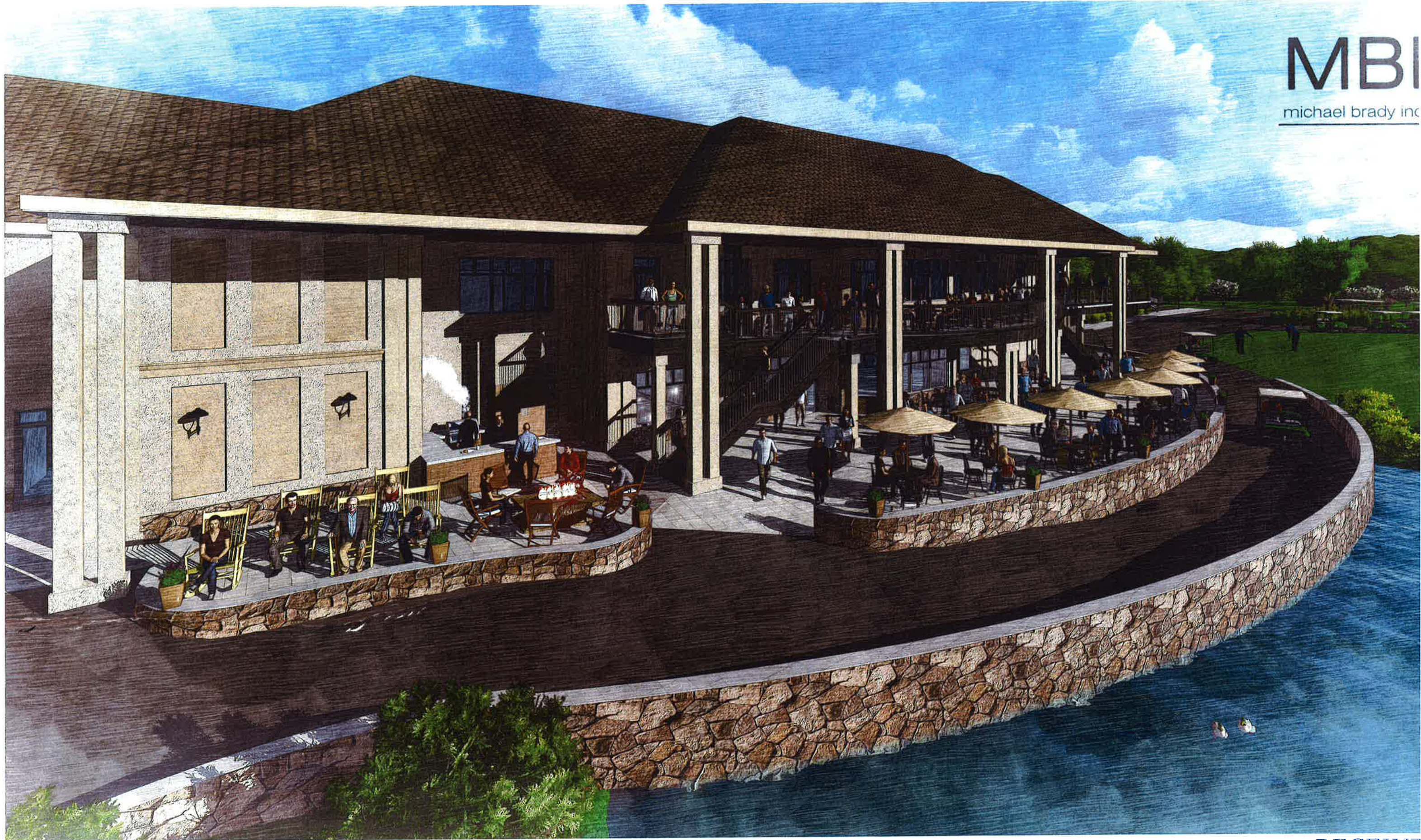
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michael brady inc



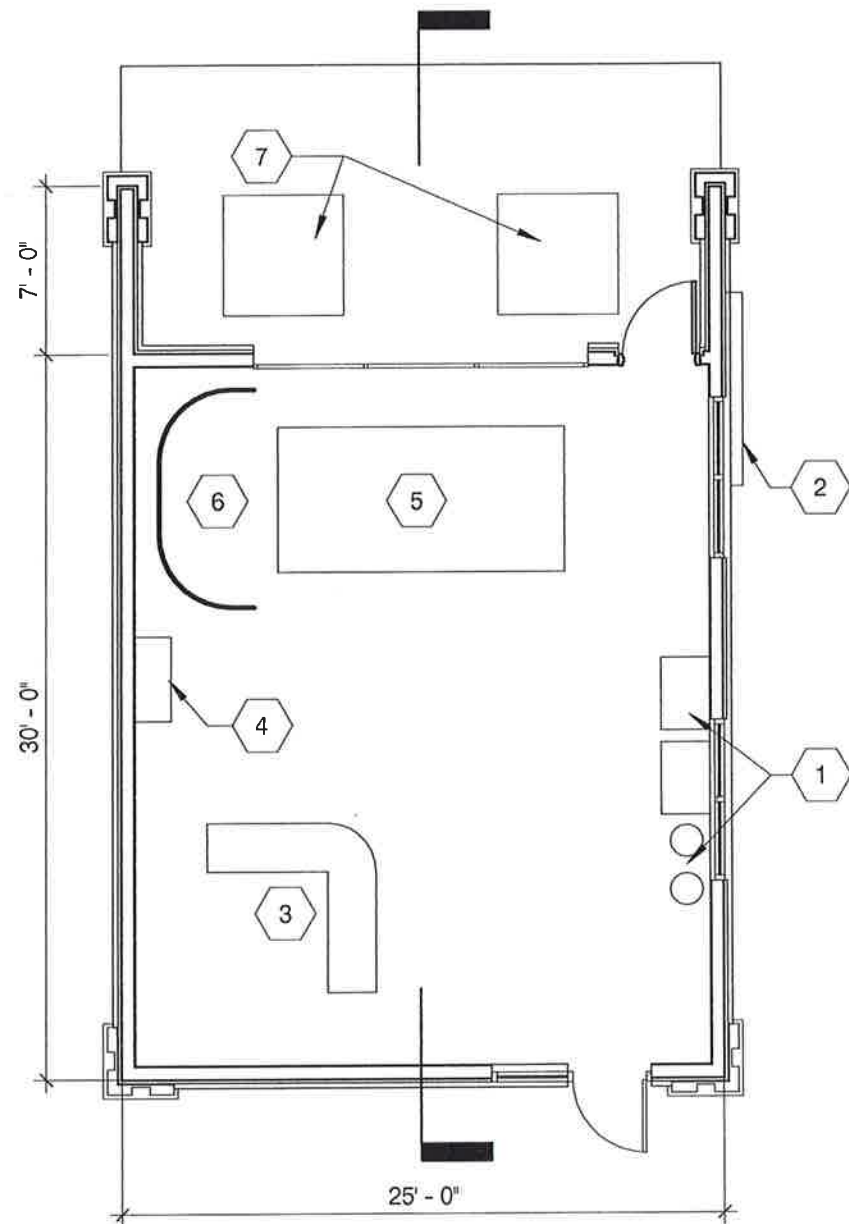
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SEP - 7 2016

KEYNOTES



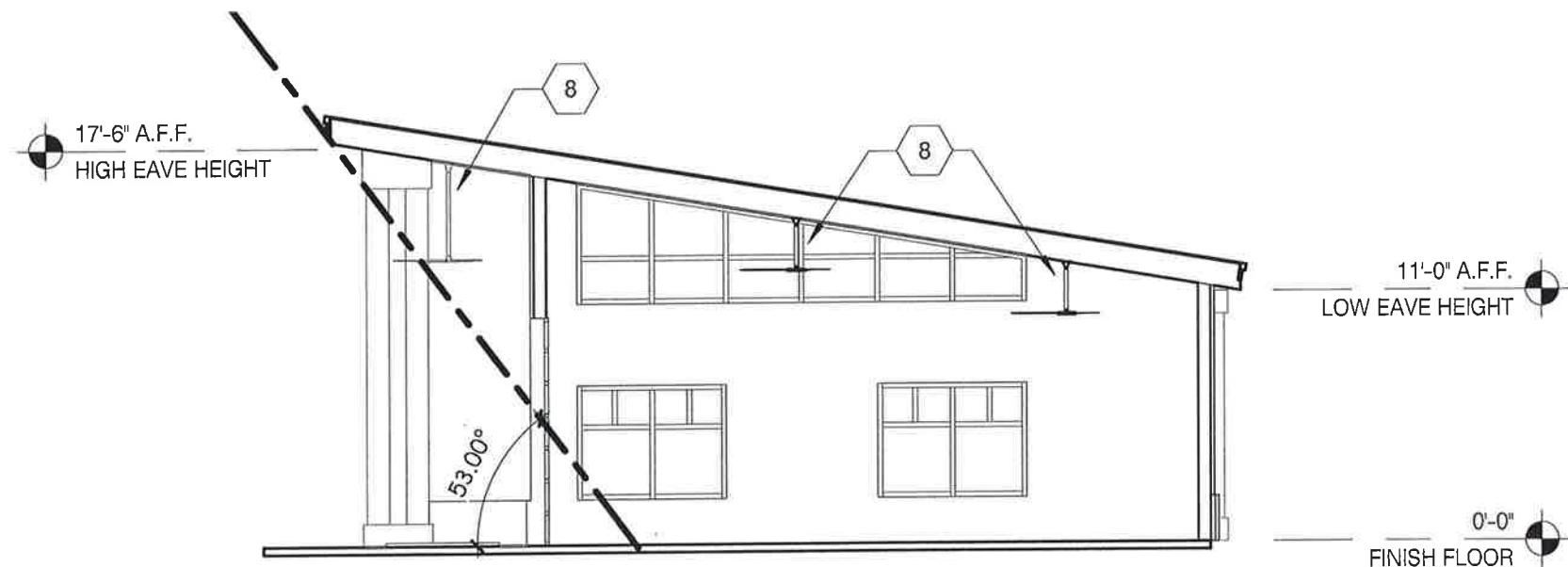
1. CLUBS AND CLUB FITTING
2. BUILDING SIGNAGE
3. DESK
4. VIDEO EQUIPMENT STORAGE
5. MAIN HITTING STATION
6. GOLF NET
7. INCLEMENT WEATHER HITTING STATION
8. CEILING FAN



FLOOR PLAN

SCALE : 1/8" = 1'-0"

1



BUILDING SECTION

SCALE : 1/8" = 1'-0"

2

MBI

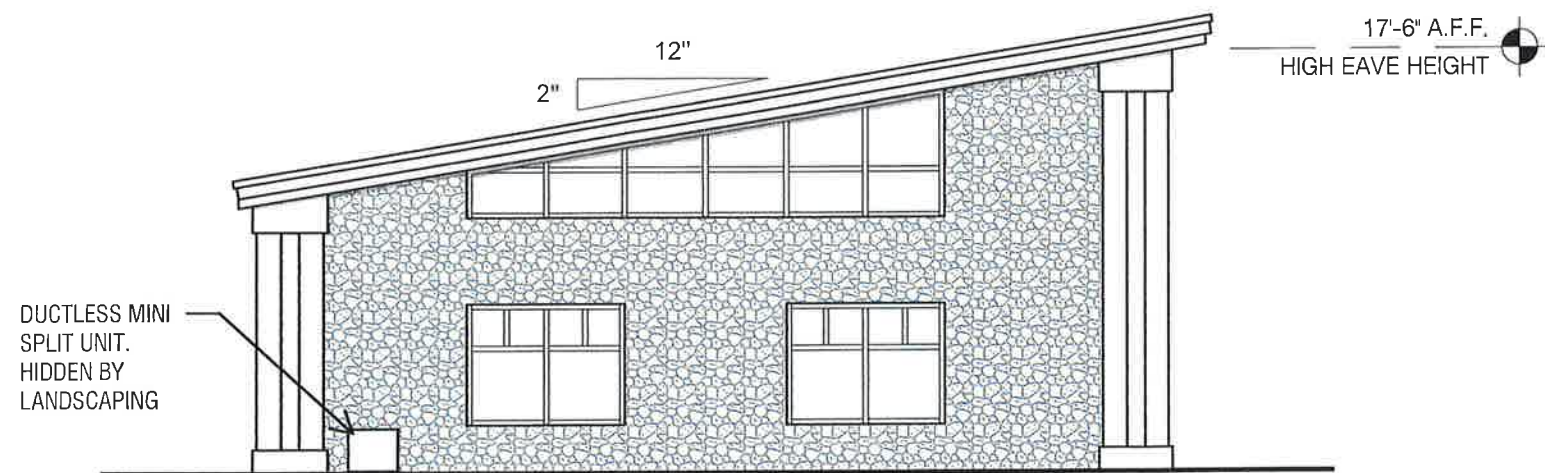
michael brady inc.
architecture.engineering.interiors.

FOX DEN GOLF TRAINING CENTER

RECEIVED

08/03/16

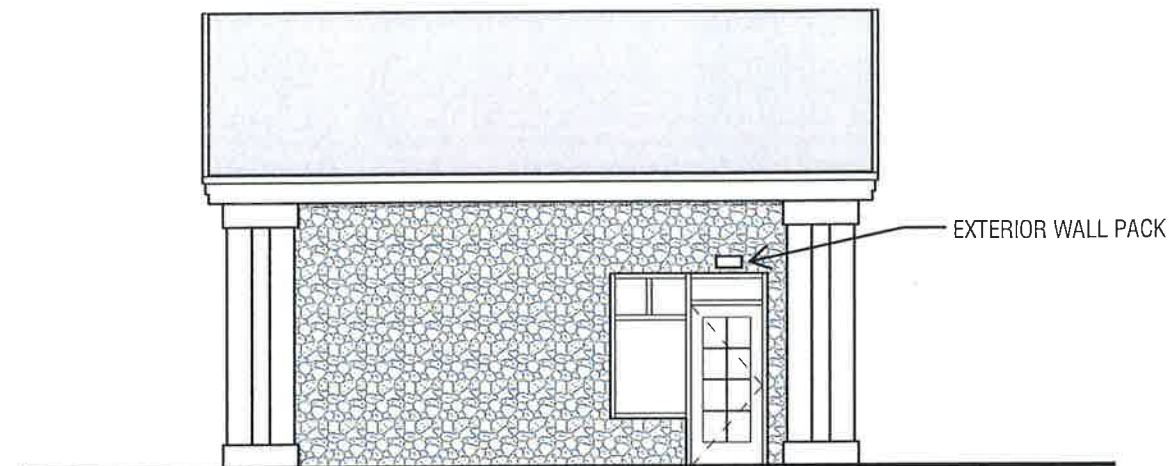
SEP - 7 2016



EAST ELEVATION

SCALE : 1/8" = 1'-0"

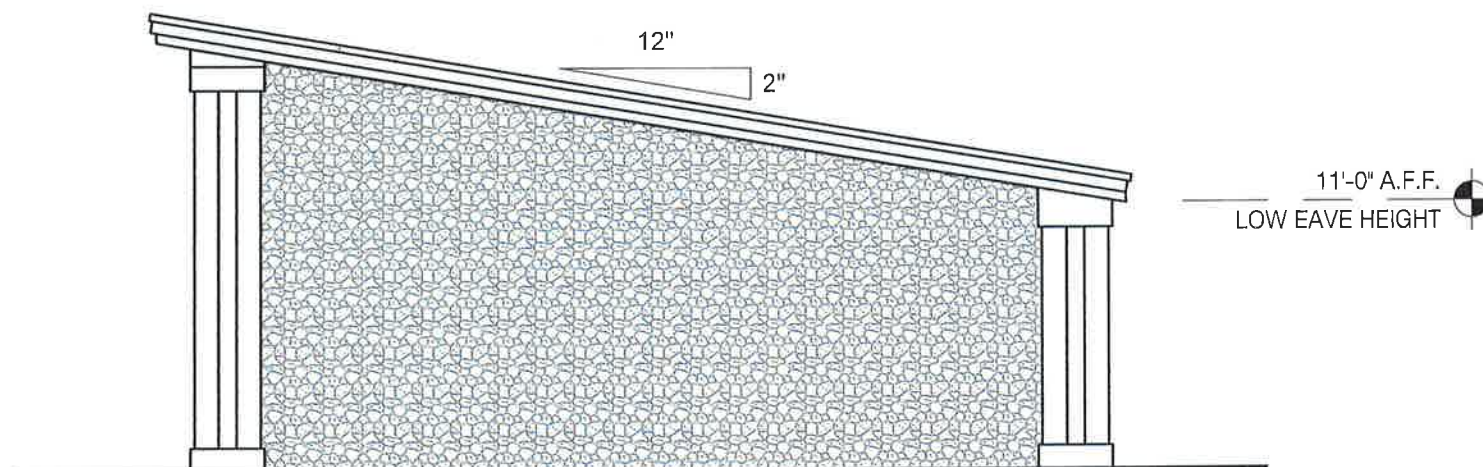
1



SOUTH ELEVATION

SCALE : 1/8" = 1'-0"

2



WEST ELEVATION

SCALE : 1/8" = 1'-0"

3



NORTH ELEVATION

SCALE : 1/8" = 1'-0"

4

MBI

michael brady inc.
architecture.engineering.interiors.

FOX DEN GOLF TRAINING CENTER

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08/03/16

SEP - 7 2016

MBI

michael brady inc



RECEIVED

SEP - 7 2016

MEETING DATE: September 15, 2016

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on a revised site plan for Premier Eyecare, located at 11111 Kingston Pike, Parcels 22-24, Tax Map 143A, Group A, Zoned C-1 and FPD, 3 Lots, 2.22 Acres (Urban Engineering, Inc., Applicant)

INTRODUCTION AND BACKGROUND: At the Planning Commission meeting in June a site plan was conditionally approved for the Premier Eyecare facility proposed at the west intersection of Admiral Road and Kingston Pike. During the discussions regarding the site plan, there were some concerns about the building's architecture and its adherence to the Town's Architectural Design Standards (ADS).

Some specific standards that were discussed included whether the building has a defined cap, whether it has an iconic element, the style of roof, the windowless west side of the building, and the lack of consistency between the proposed building and the building to the west.

The applicant was asked to make some modifications to the building and has forward those to the staff so that these could then be forwarded to the commissioners for their input. Since that time, the applicant has made some revisions to the site involving grading, parking lot placement, and building configuration. It appears the revised option would not have a walk out basement. The staff has included in your packets the site plan, grading plan, tree protection plan and building elevations that were reviewed when the site plan was conditionally approved. Also included are the revised site plan, grading plan, and tree protection sheets along with the revised building elevations. Collectively, these will be considered for approval as amendments to the site plan.

RECOMMENDATION: In terms of the site layout and grading modifications, the revised plan would slightly lessen the grading footprint to the northeast (near Turkey Creek) but would expand the grading footprint to the west and northwest where more sizable trees are located. Consistent with Standard 1.17 of the ADS, the staff would recommend that in the northwest portion of the development a retaining wall be constructed to save the trees that would have been saved with the previous plan. Those trees, based on the tree protection plan, included two 12 inch hickories, a 15 inch maple, and an 18 inch and 24 inch gum tree.

Also, in accordance with Standard 1.27 of the ADS, the staff would recommend that the site design take advantage of the existing topography and lessen the disturbance footprint by obtaining desired square footage in a walk out basement as was shown on the previous approved site plan.

In terms of the architecture of the building, the staff would recommend further and significant modifications so that the building was more compatible with the mostly traditional brick building to the west. The building as proposed would appear to be architecturally modern and out of context with the adjoining development. One of the reasons the Town adopted the ADS was to encourage buildings with a timeless character and avoid a fragmented series of buildings that lacked a collective symmetry and

cohesion. Again, the building as proposed may be fine in the correct setting but that would not be this location.

Included in your packet are the remaining staff comments on the revised plan.

Ashley Miller

From: Mark Shipley
Sent: Tuesday, August 30, 2016 4:51 PM
To: Chris Sharp
Cc: Ashley Miller; Darryl Smith; Gary Palmer
Subject: Premier Eyecare revision

Chris,

Hope you are doing okay. Below are the remaining staff comments on the Premier Eyecare revision. This will be discussed at the next FMPC meeting on Sept 15.

1. Prior to the issuance of a grading permit the water and sewer plan must be signed off by FUD;
2. Please include specification sheets for all of the proposed light fixtures and on the site plan 24x36 sheets;
3. Please consider a short retaining wall to lessen tree removal and disturbance on the site. Such measures have been applied on a number of sites to minimize the footprint of clearing and grading;
4. The staff would consider the building, as proposed, as being out of character with the office building to the west. One goal of the ADS was to provide for more consistency in the appearance of buildings adjacent to each other, especially where the adjacent building is a building that adheres to the design standards and is mostly brick;
5. Please remove any reference to signage from the site plan submittal;
6. Prior to the issuance of a Certificate of Occupancy a digital as-built will be required in a JPEG format;
7. Please provide an irrevocable letter of credit for erosion control for \$10,000;
8. Please provide a copy of TDOT access permit.

Further revisions to the building would be recommended but the owner can present what they have to the commission for their input if they desire. Thanks for your help. I know the building is not your issue.

mark shipley, AICP

COMMUNITY DEVELOPMENT DIRECTOR

EMAIL • MSHIPLEY@TOWNOFFARRAGUT.ORG

PHONE • 865.966.7057

ADDRESS • 11408 MUNICIPAL CENTER DRIVE
FARRAGUT, TN 37934



ADS

LANDSCAPE & PARKING

Landscape and parking areas are a prominent feature of most properties in Farragut. Landscaping, surface parking and associated site lighting should work together to project a cohesive image.

Landscaping

Landscaping addresses the basic aesthetics of a site, including trees, shrubs and other plantings, as well as ornamental features and site contours. Sites should be landscaped to enhance community image, invite pedestrian activity, preserve mature trees and highlight distinctive topographic or other site features. In general, indigenous or well-acclimated and noninvasive species should be used. Landscape design within a site should also help to establish a sense of visual continuity. The guidelines below are intended to complement landscaping requirements in the Farragut Zoning Ordinance.

1.15 Design sites to highlight landscape areas.

- Cluster buildings to consolidate landscape areas.
- Avoid site development patterns that leave small patches of uncoordinated open space.

1.16 Use a coordinated landscape palette to establish a sense of visual continuity.

- Use patterns of similar tree and shrub species to establish visual consistency across a larger development.
- Use subtle variations in the landscape palette to highlight different uses or character areas within a larger development.



1.17 Preserve and maintain mature trees and significant vegetation.

- Include existing vegetation as a part of a landscape design scheme where appropriate.
- Identify healthy trees and vegetation clusters for preservation. Special consideration should be given to mature trees, 6" or greater in diameter, and to vegetation clusters with significant visual impacts.

1.18 Use hardy plant and tree species.

- Incorporate native tree and plant species in landscape design, whenever possible.
- Reserve the use of high-maintenance plants, if necessary, for small accent areas in the landscape.

1.19 Use landscaping to enhance pedestrian improvements.

- Use plantings to define the edges of sidewalks, pedestrian paths and outdoor open space.
- Use plantings to highlight building entries.
- Use shade trees to create a canopy over pedestrian areas, including sidewalks, paths along the street and paths through surface parking areas.

1.20 Integrate landscaping and stormwater management systems.

- Use stormwater management facilities, such as ponds, swales and bioretention areas, as landscape amenities.
- See the guidelines for stormwater management on page 28 for more information.



Use plantings to define the edges of sidewalks, pedestrian paths and outdoor open space.



Use native tree and plant species in landscape design, whenever possible.

Farragut Zoning Ordinance Landscaping Requirements

The Farragut Zoning Ordinance provides base landscaping regulations for commercial, office, public and multi-family properties.

The ordinance also outlines requirements for submittal of a landscape plan to ensure that landscaping regulations have been met.

See "Town of Farragut Zoning Ordinance" on page 2 for more information on the relationship between zoning requirements and design guidelines.

WORKING WITH TOPOGRAPHY

Many sites in Farragut include topological features such as slopes and ravines, or geological issues such as potential sinkholes or soil problems that influence the way that they may be developed. Where possible, site design should preserve and work within existing topography. Any re-grading should maintain pedestrian and vehicular connectivity while minimizing potential negative visual impacts of large retaining walls.



Maintain pedestrian connections when re-grading a site and incorporate topographic features as natural or open space amenities

1.26 Design a site to take advantage of existing topography.

- Incorporate topographic features as natural or open space amenities.
- Maintain pedestrian connections when re-grading a site.
- Divide large grade changes into a series of benches and terraces, where feasible.
- Re-grade the site as a stable, "natural" slope, when necessary.
- Terrace parking lots on steep slopes, following site contours.

1.27 Design a retaining wall to minimize impacts on the natural character of the site.

- Terrace retaining walls on steeper slopes to minimize height of individual walls - test what happens.
- Use high quality materials such as brick and stone in the design of a retaining wall.
- Integrate landscaping into the design of a retaining wall.



Use high quality materials such as brick and stone in the design of a retaining wall.

1.28 Design a building foundation to conform to the existing topography.

- Step the foundation of a building to follow site contours, when feasible.
- If stepping the foundation is not possible, disguise the cut with building placement and/or building walls, and provide a landscape buffer system at the top of a cut.



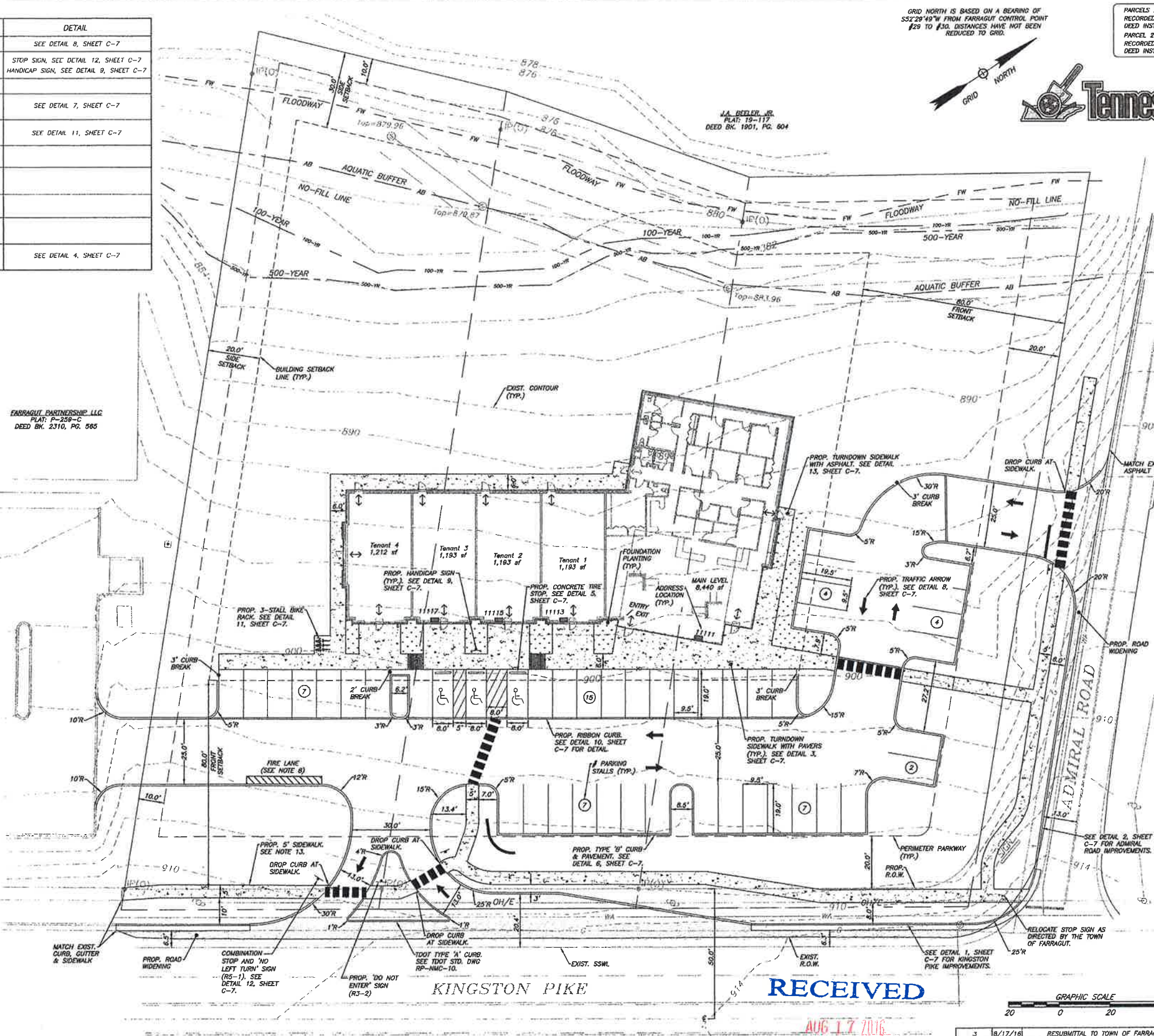
Design a retaining wall to minimize impacts on the natural character of the site.

1.29 Design a site to minimize vulnerability to sinkholes.

- Ensure that stormwater is directed away from building foundations and not allowed to permeate into known unstable soils.
- Install underground barrier systems to protect building foundations where sinkhole risk is high.
- Do not locate buildings on site areas prone to sinkhole development.

SYMBOL	DESCRIPTION	DETAIL
	TRAFFIC ARROW	SEE DETAIL 8, SHEET C-7
	STOP SIGN / HANDICAP SIGN	STOP SIGN, SEE DETAIL 12, SHEET C-7 HANDICAP SIGN, SEE DETAIL 9, SHEET C-7
	12" PAINTED STOP BAR	
	PAINTED HANDICAP SYMBOL	SEE DETAIL 7, SHEET C-7
	3-STALL BIKE RACK	SEE DETAIL 11, SHEET C-7
	4" PAINTED CROSSWALK	
	NO. OF PARKING STALLS (PROP.)	
	CONCRETE SIDEWALK / PAD	
	FOUNDATION PLANTING	
	HANDICAP RAMP	SEE DETAIL 4, SHEET C-7

FARRAGUT PARTNERSHIP, LLC
PLAT: P-259-C
DEED BK. 2310, PG. 585



GRID NORTH IS BASED ON A BEARING OF
S52°29'49"W FROM FARRAGUT CONTROL POINT
#29 TO #30. DISTANCES HAVE NOT BEEN
REDUCED TO GRID.

J.A. BEELER, JR.
PLAT: 19-117
DEED BK. 1901, PG. 804

PARCELS 22 & 23:
RECORDED PLAT: BOOK 19, PAGE 117
DEED INST. 200705210094721
PARCEL 24:
RECORDED PLAT: BOOK 19, PAGE 117
DEED INST. 201403170053251



LOCATION MAP

SITE PLAN NOTES:

- PROPERTY CORNERS MARKED AS NOTED.
- THIS PROPERTY IS ZONED C-1. REQUIRED BUILDING SETBACKS AS FOLLOWS:
FRONT: 40'/60'/80'
SIDE: MINIMUM 20'/TOTAL 60'
REAR: 30'
- PARKING: 1 SPACE PER 250 SQUARE FEET OF GROSS FLOOR AREA. 1 BIKE STALL PER 5,000 SQUARE FEET OF GROSS FLOOR AREA.
PROPOSED BUILDING GROSS FLOOR AREA = 10,746 S.F.
REQUIRED PARKING = 43 SPACES (INCLUDING 2 H.C.)
REQUIRED BIKE STALLS = 3
PROPOSED PARKING = 46 SPACES (INCLUDING 3 H.C.)
PROPOSED BIKE STALLS = 3
- TOTAL SITE AREA = 90,842 S.F. (2.22 ACRES) AFTER R.O.W. DEDICATION
BUILDING & ROOF AREA = 10,746 S.F.
PARKING & FLATWORK AREA = 22,261 S.F.
TOTAL IMPERVIOUS AREA = 33,007 S.F.
TOTAL LOT COVERAGE = 34.1%
*SEE DETAIL 19, SHEET C-8 FOR LOT COVERAGE DIAGRAM.
- REQUIRED FOUNDATION PLANTING = 2.5 x 250
= 625 S.F.
PROPOSED FOUNDATION PLANTING = 970 S.F.
- THERE ARE NO PROPOSED ANTENNAS AS PART OF THIS DEVELOPMENT.
- TREES THAT ARE DAMAGED OR REMOVED ARE TO BE REPLACED PER THE TOWN OF FARRAGUT TREE PROTECTION/REPLACEMENT ORDINANCE.
- FIRE LANES SHALL BE 3' WIDE WITH 1'-9" LETTERING AS SHOWN ON THE PLAN.
- SIGNAGE AND STRIPING TO CONFORM TO THE MUTCD, LATEST EDITION.
- TRAFFIC CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR.
- PROVIDE 1/2" PRE-MOLDED EXPANSION JOINTS WHERE SIDEWALK ABUTS BUILDING. PROVIDE SAWED CONSTRUCTION JOINTS AT 5' INTERVALS.
- SETBACKS SHOWN ON THIS PLAN ARE PER THE CURRENT TOWN OF FARRAGUT ZONING ORDINANCE.
- THE CENTERLINES OF PROPOSED SIDEWALKS LOCATED OUT OF PUBLIC RIGHT OF WAY - THE CENTERLINE OF A PROPOSED 20' EASEMENT.
- ALL WALKING FACILITIES (WALKING TRAILS/SIDEWALKS) MUST BE COORDINATED WITH TOWN STAFF PRIOR TO CONSTRUCTION.
- ALL PROPOSED HVAC IS ROOF-MOUNTED. ALL HVAC UNITS SHALL BE SCREENED BY THE BUILDING THEY ARE SERVING SO THAT THEY ARE NOT VISIBLE FROM ADJACENT PROPERTIES OR RIGHTS OF WAYS.



SHEET C-2 (SHEET 3 OF 16)

SITE PLAN PREMIER EYECARE

SITE ADDRESS: 11111 KINGSTON PIKE, FARRAGUT, TENNESSEE 37934
DIST. FW KNOX COUNTY
TOWN OF FARRAGUT TENNESSEE
CLT MAP 143 PARCELS 22, 23 & 24
SCALE: 1"=20' MAY 16, 2016

OWNER (PARCEL 24):
THOMAS NELSON CATE, THOMAS M. CATE, JR.
& CHERYL ARBO
12327 AMHERST
KNOXVILLE, TN 37922

OWNER (PARCELS 22 & 23):
LEONE RUTH DYAR TRUSTEE
122 DEBUSK LN
KNOXVILLE, TN 37922

DEVELOPER:
PREMIER EYECARE
11121 KINGSTON PIKE, SUITE A
KNOXVILLE, TN 37934
(865) 966-0100

URBAN ENGINEERING, INC.
11852 KINGSTON PIKE
FARRAGUT, TENNESSEE 37934
(865) 966-1924

DWN: BDS CHK: CAS DWG. NO. 1603007

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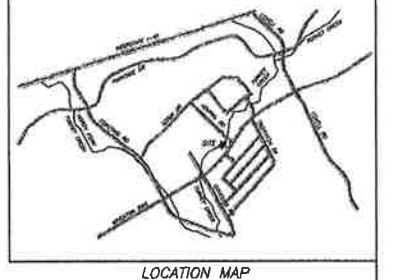
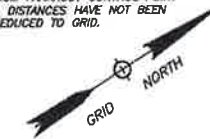
TOWN OF FARRAGUT

REVISION	DATE	DESCRIPTION	BY
3	8/17/16	RESUBMITTAL TO TOWN OF FARRAGUT	BDS
2	7/27/16	GENERAL REVISIONS	BDS
1	6/6/16	REVISED PER TOW COMMENTS	BDS



PARCELS 22 & 23:
RECORDED PLAT: BOOK 19, PAGE 117
DEED INST. 200705210094721
PARCEL 24:
RECORDED PLAT: BOOK 19, PAGE 117
DEED INST. 201403170053251

GRID NORTH IS BASED ON A BEARING OF
S52°29'48"W FROM FARRAGUT CONTROL POINT
#29 TO #30. DISTANCES HAVE NOT BEEN
REDUCED TO GRID.



GRADING & DRAINAGE NOTES:

1. CLEAR AND GRUB. CLEARING AND GRUBBING INCLUDES THE REMOVAL OF TREES, BRUSH, DEBRIS, AND STUMPS FROM THE WORK AREA WITHIN 6" OF THE GROUND SURFACE. REMOVE ALL BUILDINGS, DRIVES, CROSS FENCES, AND MISCELLANEOUS EQUIPMENT.
2. STRIP AND STOCKPILE TOPSOIL NEEDED FOR RESREADING AND SEEDING. SURROUND TOPSOIL PILES WITH SALT FENCE, STRAW BALES, TEMPORARY SEEDING OR ADDITIONAL MEASURES AS NEEDED TO PREVENT EROSION/SEDIMENTATION.
3. AFTER STRIPPING AND REMOVAL, PROOF ROLL ENTIRE DISTURBED AREA WITH TANDEM TRUCK FULLY LOADED WITH EARTH. REMOVE ANY AREAS WHICH ARE SOFT OR YIELDING UNDER LOAD AND REPLACE WITH NEW MATERIAL MEETING PROJECT SPECIFICATIONS.
4. IF UNSUITABLE SUBGRADE MATERIALS ARE ENCOUNTERED, THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND REPLACEMENT WITH APPROVED MATERIAL FROM CUSTIE OR APPROVED OFFSITE BORROW AREA. UNSUITABLE MATERIALS ARE THOSE CLASSIFIED AS MH, OH, CH, OL, AND PEAT IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM.
5. COMPACTION REQUIREMENTS ARE SUMMARIZED AS FOLLOWS: (PLACE IN 8" LIFTS)
 - a. TOP 24 INCHES OF SUBGRADE UNDER PAVED AREAS 100 PERCENT STANDARD PROCTOR - LOWER THAN 24 INCHES BELOW PAVED AREA 95 PERCENT STANDARD PROCTOR.
 - b. AREAS WITHIN THE BUILDING ENVELOPE TO BE PREPARED IN ACCORDANCE WITH RECOMMENDATIONS IN REPORT OF GEOTECHNICAL INVESTIGATION AND/OR AS DIRECTED BY THE SOILS ENGINEER.
6. CONCRETE PIPE SHALL BE CLASS III. BACKFILL ALL PIPE TRENCHES UNDER PAVEMENT WITH CRUSHED STONE AGGREGATE BASE (TODT 3030). OTHER TRENCH AREAS WITH WELL COMPACTED CLAY. INSTALL ALL PIPE PER MANUFACTURER'S RECOMMENDATIONS.
7. ALL FINISHED YARD AREAS SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL. YARD FINISHED GRADES SHOWN ARE AFTER PLACEMENT OF 4 INCHES OF TOPSOIL. ALL FINISHED YARD SURFACES SHALL BE SMOOTHLY AND UNIFORMLY GRADED, FREE FROM IRREGULARITIES AND SHALL BE FULLY FUNCTIONAL TO PROVIDE POSITIVE DRAINAGE AT ALL LOCATIONS.
8. ALL WORK SHALL BE SEQUENCED AND COMPLETED IN ACCORDANCE WITH THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION EROSION CONTROL HANDBOOK AND THE RULES AND REGULATIONS OF THE TOWN OF FARRAGUT.
9. THE TOTAL AREA DISTURBED AS PART OF THIS PROJECT IS 80,000 S.F.± (1.8-ACRE).
10. PROPOSED SPOT ELEVATIONS AND PROPOSED CONTOURS ARE AFTER THE INSTALLATION OF TOPSOIL IN GRASSED AREAS AND PAVING WITHIN DRIVES AND PARKING LOTS.
11. INSTALL TRM (LANDLOCK 435, AS DISTRIBUTED BY SUPERIOR DRAINAGE, OR EQUIVALENT). PERMANENT GROUND COVER SHALL BE NON-INVASIVE AND REQUIRE LOW TO NO MAINTENANCE. COORDINATE SPECIFIC PLANTING WITH THE TOWN OF FARRAGUT.
12. MINIMUM FLOOR ELEVATION = 885.3.
13. RETAINING WALL ELEVATIONS ARE EXISTING AND FINISHED GRADES AND DO NOT ALLOW FOR CAP BLOCK OR BURIED BLOCK.
14. THERE SHALL BE NO CLEARING, GRADING, CONSTRUCTION, OR DISTURBANCE OF SOIL AND/OR NATIVE VEGETATION WITHIN THE AQUATIC BUFFER EXCEPT AS PERMITTED BY THE TOWN OF FARRAGUT.
15. INSTALL TRM (LANDLOCK 435, AS DISTRIBUTED BY SUPERIOR DRAINAGE, OR EQUIVALENT). PERMANENT GROUND COVER SHALL BE NON-INVASIVE AND REQUIRE LOW TO NO MAINTENANCE. COORDINATE SPECIFIC PLANTING WITH THE TOWN OF FARRAGUT.

LEGEND:

- 890 --- EXISTING CONTOUR
- 90 --- PROPOSED CONTOUR
- 100-YEAR --- 100-YEAR FLOOD FRINGE
- NO-FILL LINE --- NO-FILL LINE
- FLOODWAY --- FLOODWAY
- 500-YEAR --- 500-YEAR FLOOD FRINGE
- AQUATIC BUFFER --- AQUATIC BUFFER

- PROPOSED SPOT ELEVATION
- FC = FACE OF CURB/WALK (AT ASPHALT)
 - EG = EXISTING GRADE
 - FG = FINISHED GRADE
 - TW = TOP OF WALL AT FINISHED GRADE
 - BW = BOTTOM OF WALL AT GRADE

SHEET C-3 (SHEET 4 OF 16)

GRADING PLAN PREMIER EYECARE

SITE ADDRESS: 11111 KINGSTON PIKE, FARRAGUT, TENNESSEE 37934
DIST. FW KNOX COUNTY
TOWN OF FARRAGUT TENNESSEE
CLT MAP 143 PARCELS 22, 23 & 24
SCALE: 1"=20' MAY 16, 2016

OWNER (PARCEL 24):
THOMAS NELSON CATE, THOMAS M. CATE, JR.
& CHERYL ARBO
12327 AMHERST
KNOXVILLE, TN 37922

OWNER (PARCELS 22 & 23):
LEONE RUTH DYAR TRUSTEE
122 DEBUSK LN
KNOXVILLE, TN 37922

DEVELOPER:
PREMIER EYECARE
11121 KINGSTON PIKE, SUITE A
KNOXVILLE, TN 37934
(865) 966-0100

URBAN ENGINEERING, INC.
11852 KINGSTON PIKE
FARRAGUT, TENNESSEE 37934
(865) 966-1924

DWN: BDS CHK: CAS DWG. NO. 1603007



REVISION	DATE	DESCRIPTION	BY
3	8/17/16	RESUBMITAL TO TOWN OF FARRAGUT	BDS
2	8/2/16	GENERAL REVISIONS	CAS
1	8/6/16	REVISED PER TOF COMMENTS	BDS

RECEIVED

AUG 17 2016

TOWN OF FARRAGUT

KINGSTON PIKE

ADMIRAL ROAD

TREE INVENTORY

TREES REMOVED			
DECIDUOUS/EVERGREEN	# TO BE REMOVED	SIZE (DBH)	TREE REPLACEMENT SUMMARY
DECIDUOUS	68 (x2)	10-15" DBH	136 TREES
DECIDUOUS	28 (x3)	16-20" DBH	84 TREES
DECIDUOUS	8 (x4)	>20" DBH	32 TREES
			252 TOTAL

TREES SAVED			
DECIDUOUS/EVERGREEN	# TO BE SAVED	SIZE (DBH)	TREE CREDIT SUMMARY
DECIDUOUS	6 (x4)	10-15" DBH	24 TREES
			24 TOTAL

228 TOTAL REPLACEMENTS
(SEE SUMMARY BELOW)

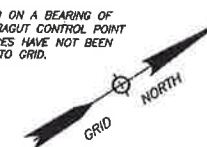
TREE REPLACEMENT SUMMARY:

34,384 S.F. IMPERVIOUS AREA
34,384 / 2,500 = 14 TREES
14 TREES x 20% = 3 TREES
TOTAL REQUIRED TREES = 14+3 =
17 TREES (< 14 + 228)



PARCELS 22 & 23:
RECORDED PLAT: BOOK 19, PAGE 117
DEED INST. 200705210094721
PARCEL 24:
RECORDED PLAT: BOOK 19, PAGE 117
DEED INST. 201403170053251

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S52°29'49"W FROM FARRAGUT CONTROL POINT
#29 TO #30. DISTANCES HAVE NOT BEEN
REDUCED TO GRID.



LOCATION MAP

TREE PROTECTION PLAN NOTES

1. THE LOCATIONS OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED ON FIELD LOCATION OF VISIBLE STRUCTURES SUCH AS DITCH BASINS, MANHOLES, WATER MAINS, ETC., AND COMPILING INFORMATION FROM PLANS SUPPLIED BY VARIOUS UTILITY COMPANIES AND GOVERNMENT AGENCIES. THE CONTRACTORS SHALL NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES AND ALSO CALL TOWN ONE-CALL PRIOR TO ANY EXCAVATION WORK, TO VERIFY INFORMATION SHOWN AND DETERMINE THE LAYOUT OF THE IRRIGATION SYSTEM AND IF ADDITIONAL IMPROVEMENTS MAY EXIST.
2. UNLESS OTHERWISE INDICATED, ALL VEGETATION WITHIN THE PROPOSED AREA OF DISTURBANCE WILL BE REMOVED.
3. ALL REPLACEMENT SHALL BE IN ACCORDANCE WITH THE TOWN OF FARRAGUT'S ORDINANCES.
4. ALL CONSTRUCTION ACTIVITIES, INCLUDING EQUIPMENT OR WORKER PARKING, MATERIALS STORAGE, BURN HOLES (IF APPROVED AS PART OF BURN PERMIT), AND EQUIPMENT WASH DOWN AREAS, WILL BE CONDUCTED COMPLETELY WITHIN THE LIMITS OF THE DISTURBANCE (NOTED AS THE GRADING LIMITS) APPROVED BY THE FARRAGUT MUNICIPAL PLANNING COMMISSION (FMPC) - ANY SUCH ACTIVITIES BEYOND THESE LIMITS WILL RESULT IN A STOP WORK ORDER FOR THE ENTIRE PROJECT.
5. THE LIMITS OF THE DISTURBANCE APPROVED BY THE FMPC WILL BE DESIGNATED WITH A HIGHLY DURABLE AND VISIBLE MATERIAL AND APPROVED BY TOWN STAFF BEFORE GRADING PERMIT IS ISSUED SO THAT CONSTRUCTION ACTIVITIES DO NOT OCCUR IN AREAS WHERE SUCH ACTIVITIES HAVE NOT BEEN APPROVED. THE MATERIAL USED TO DESIGNATE THE APPROVED LIMITS OF DISTURBANCE SHALL BE MAINTAINED SO THAT SUCH MATERIAL IS CLEARLY VISIBLE THROUGHOUT THE DURATION OF THE PROJECT. SHOULD THIS MATERIAL BE REMOVED, RELOCATED, AND/OR NOT BE ADEQUATELY PROTECTED AND MAINTAINED, A STOP WORK ORDER WILL BE ISSUED FOR THE ENTIRE PROJECT.
6. TOTAL AREA OF PROJECT = 2.22 ACRES. TOTAL DISTURBED AREA = 1.8 ACRES.
7. THE CONTRACTOR SHALL COORDINATE THE EXACT LOCATION OF THE TREE PROTECTIVE FENCE PRIOR TO ITS INSTALLATION.

LEGEND

- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO REMAIN

RECEIVED

AUG 17 2016

TOWN OF FARRAGUT



SHEET TP-1 (SHEET 10 OF 16)

TREE PROTECTION PLAN PREMIER EYECARE

SITE ADDRESS: 11111 KINGSTON PIKE, FARRAGUT, TENNESSEE 37934
DIST. FW KNOX COUNTY
TOWN OF FARRAGUT TENNESSEE
CLT MAP 143 PARCELS 22, 23 & 24
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DWN: BUS CHK: CAS DWG. NO. 1603007

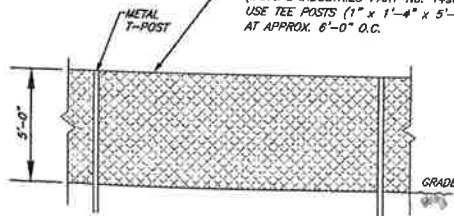
I ATTEST THAT I HAVE REVIEWED THIS TREE REPLACEMENT
PLAN AND THAT IT WAS PREPARED IN ACCORDANCE WITH
THE TOWN OF FARRAGUT'S TREE PROTECTION ORDINANCE.

Chris H.
GREEN DUKE - LAND DESIGN GROUP

GRAPHIC SCALE
20 0 20 40

REVISION	DATE	DESCRIPTION	BY
3	8/17/16	RESUBMITTAL TO TOWN OF FARRAGUT	BUS
2	7/27/16	GENERAL REVISIONS	BUS
1	8/6/16	REVISED PER TDF COMMENTS	CAS

HEAVY DUTY ORANGE
PLASTIC SAFETY FENCING
(MUTUAL INDUSTRIES PART No. 14888)
USE TEE POSTS (1" x 1'-4" x 5'-0")
AT APPROX. 6'-0" O.C.



FOR PROTECTION OF TREES AND OTHER SPECIFIED SITE FEATURES

TREE PROTECTION FENCE

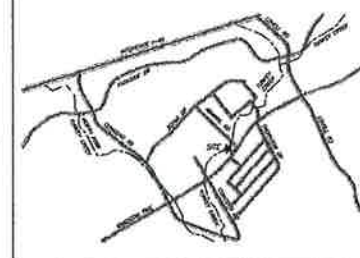
N.T.S.

KINGSTON PIKE

ADMIRAL ROAD

PARCELS 22 & 23:
RECORDED PLAT: BOOK 19, PAGE 117
DEED INST. 200705210094721
PARCEL 24:
RECORDED PLAT: BOOK 19, PAGE 117
DEED INST. 201403170063251

GRID NORTH IS BASED ON A BEARING OF
S22°29'49"W FROM FARRAGUT CONTROL POINT
#29 TO #30. DISTANCES HAVE NOT BEEN
REDUCED TO GRID.

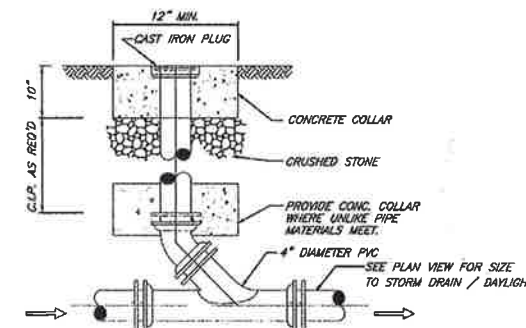


LOCATION MAP



PERMEABLE PAVEMENT NOTES:

- 1) THE LOCATIONS OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED ON FIELD LOCATION OF VISIBLE STRUCTURES SUCH AS CATCH BASINS, MANHOLES, WATER VALVES, ETC., AND COMPILING INFORMATION FROM PLANS SUPPLIED BY VARIOUS UTILITY COMPANIES AND GOVERNMENT AGENCIES. THE CONTRACTOR SHALL NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES AND ALSO CALL TOWN ONE-CALL PRIOR TO ANY EXCAVATION WORK TO VERIFY INFORMATION SHOWN AND DETERMINE THE LAYOUT OF THE IRRIGATION SYSTEM AND IF ADDITIONAL IMPROVEMENTS MAY EXIST.
- 2) PERMEABLE PAVERS SHALL BE BELGARD 'ECO DUBLIN' OR EQUIVALENT AND SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
- 3) PVC AGGREGATE DRAINS SHALL BE 8" PERFORATED HDPE (SDR 17) UNLESS OTHERWISE NOTED.
- 4) INSTALL RIBBON CURB FULL DEPTH (TO SUBGRADE).
- 5) TRANSITION FROM SCH. 40 TO SCH. 80 PVC WITHIN PARKING AREA.



TYPICAL CLEANOUT DETAIL (STORM)
N.T.S.

SHEET C-4 (SHEET 5 OF 16)

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AUG 17 2016

TOWN OF FARRAGUT



GRAPHIC SCALE
20 0 20 40

3	8/17/16	RESUBMITTAL TO TOWN OF FARRAGUT	BDS
2	7/27/16	GENERAL REVISIONS	BDS
1	6/6/16	REVISED PER TOW COMMENTS	CAS
REVISION	DATE	DESCRIPTION	BY

PAVER AND DRAINAGE PLAN PREMIER EYECARE	
SITE ADDRESS: 11121 KINGSTON PIKE, FARRAGUT, TENNESSEE 37934	
DIST. FW TOWN OF FARRAGUT CLT MAP 143 SCALE: 1"=20'	KNOX COUNTY TENNESSEE PARCELS 22, 23 & 24 MAY 16, 2016
OWNER (PARCEL 24): THOMAS NELSON CATE, THOMAS M. CATE, JR. & CHERYL ARBO 12327 AMHERST KNOXVILLE, TN 37922	
OWNER (PARCELS 22 & 23): LEONE RUTH DYAR TRUSTEE 122 DEBUSK LN KNOXVILLE, TN 37922	
DEVELOPER: PREMIER EYECARE 11121 KINGSTON PIKE, SUITE A KNOXVILLE, TN 37934 (865) 966-0100	
URBAN ENGINEERING, INC. 11852 KINGSTON PIKE FARRAGUT, TENNESSEE 37934 (865) 966-1924	
DWN: BDS	CHK: CAS
DWG. NO. 1603007	

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TOWN OF FARRAGUT



**STUDIO
FOUR
DESIGN**

Architecture & Interiors
Planning - Graphics - Consulting
four14 Clinch Ave. Knoxville, TN 37902
t 865 523-5001 f 865 523-5003
studiofourdesign.com



Project Name:
Ponder Ryegate
11111-11117 Kingston Pike
Knoxville, TN 37934

Project Number: 14088.00
Date: 07/22/2016
Drawn By: Author
Checked By: Checker

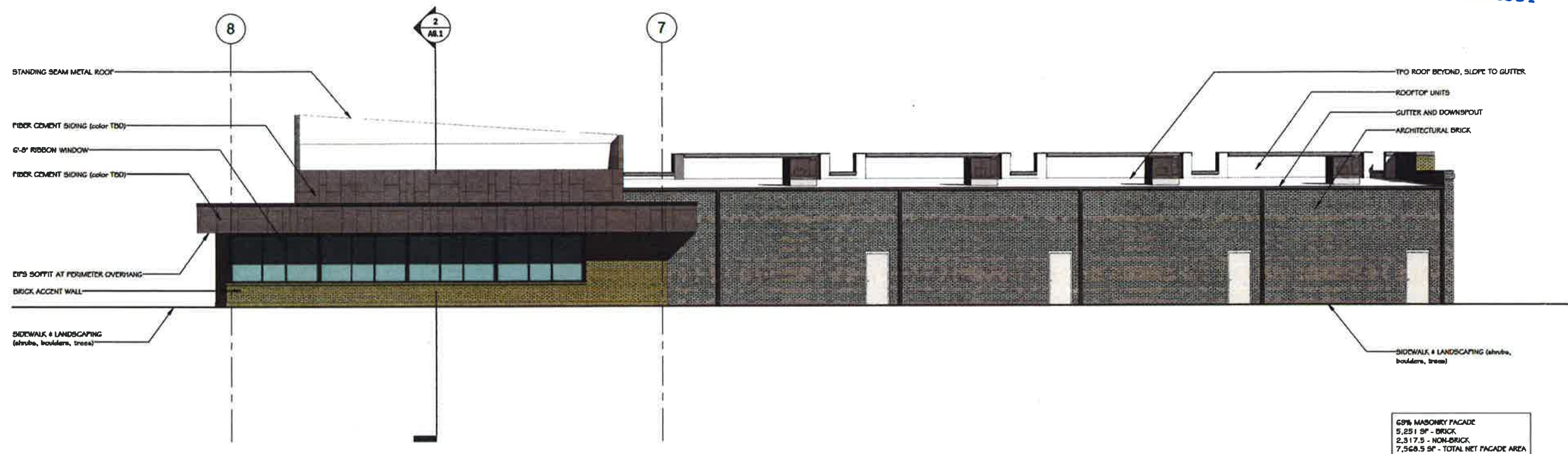
Drawing Issued For:
☐ Schematic Design
☒ Design Development
☐ Construction

Revisions:
No. Date Description

Sheet Title:
Exterior Elevations

Sheet No:

A5.1



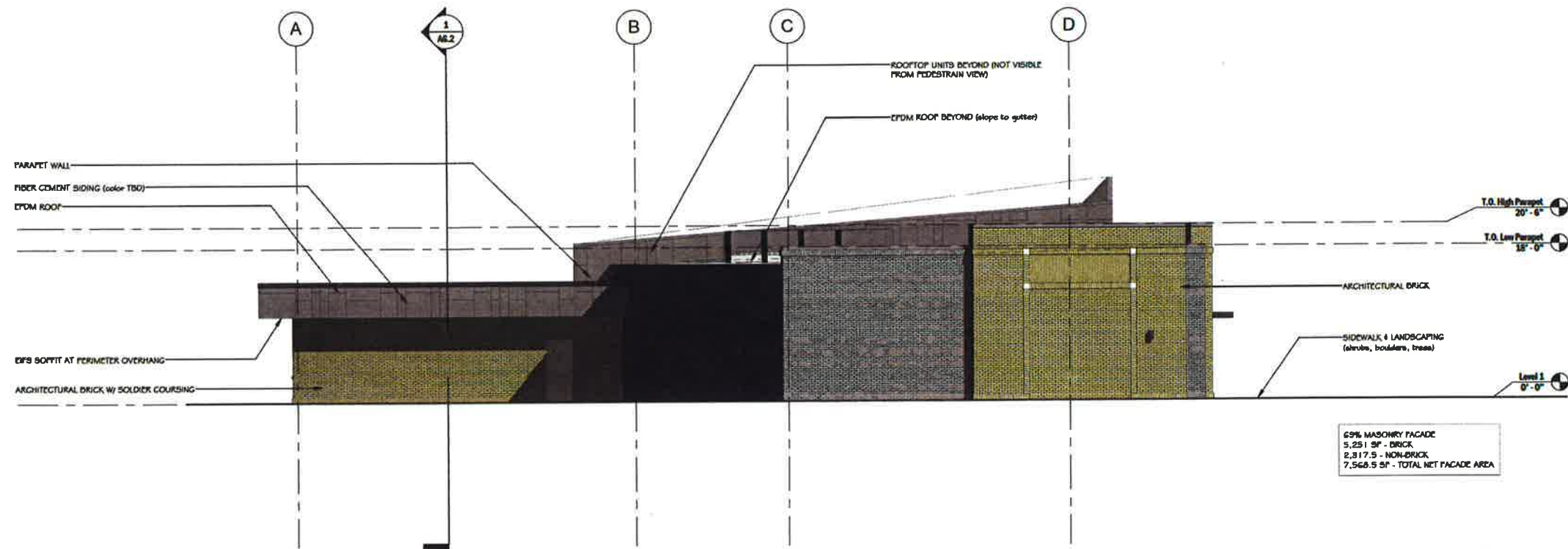
2 Northwest Elevation
1/8" = 1'-0"



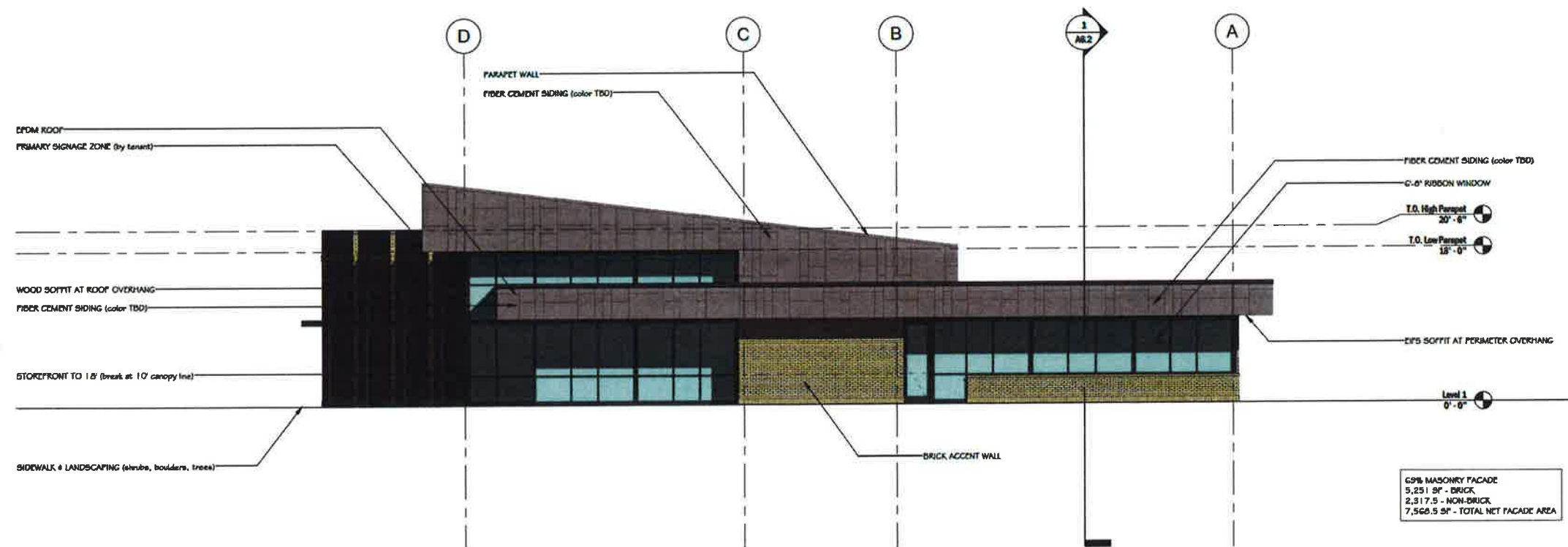
1 Southeast Elevation- Kingston Pike
1/8" = 1'-0"

Date: 6/16/2016 2:11:38 PM
User: Author
File: C:\Work\Local Files\14088.00_PonderRyegate\Exterior Elevations\A5.1.dwg

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2	Southwest Elevation 1/8" = 1'-0"
---	-------------------------------------



1	Northeast Elevation- Admiral Road 1/8" = 1'-0"
---	---



Project Name:
Founder Sponsor
11111-11117 Kingston Pike
Knoxville, TN 37984

Project Number:	14086.08
Date:	07/22/02
Drawn By:	Author
Checked By:	Checker
Drawing Issued For:	
☐ Schematic Design ☒ Design Development ☐ Construction	

Revisions:	
No.	Date
	Description

Sheet Title: _____
 Exterior Elevations

Sheet No: _____

A5.2

Date: 8/16/2016 2:11:48 PM
User: Author
File: C:\Work Local Files\140689_00_Premises Eye Cam_140720_000001.rvt

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3 View 3 - Entrance
NTS



2 View 2 - Tenant Spaces
NTS



1 View 1 - Offices
NTS



STUDIO FOUR DESIGN

Architecture & Interiors
Planning • Graphics • Consulting
four14 Clinch Ave. Knoxville, TN 37902
t 865 523-5001 f 865 523-5003
studiofourdesign.com



Project Name:
Pender Spacem
11111-11117 Kingston Pike
Knoxville, TN 37904

Project Number: 140689_00
Date: 07/29/16
Drawn By: Author
Checked By: Checker

Drawing Issued For:
☐ Schematic Design
☒ Design Development
☐ Construction

Revisions:
No. Date Description

Sheet Title:
Exterior Perspectives

Sheet No:

A5.3

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AUG 17 2016

TOWN OF FARRAGUT

June 16th FMPC

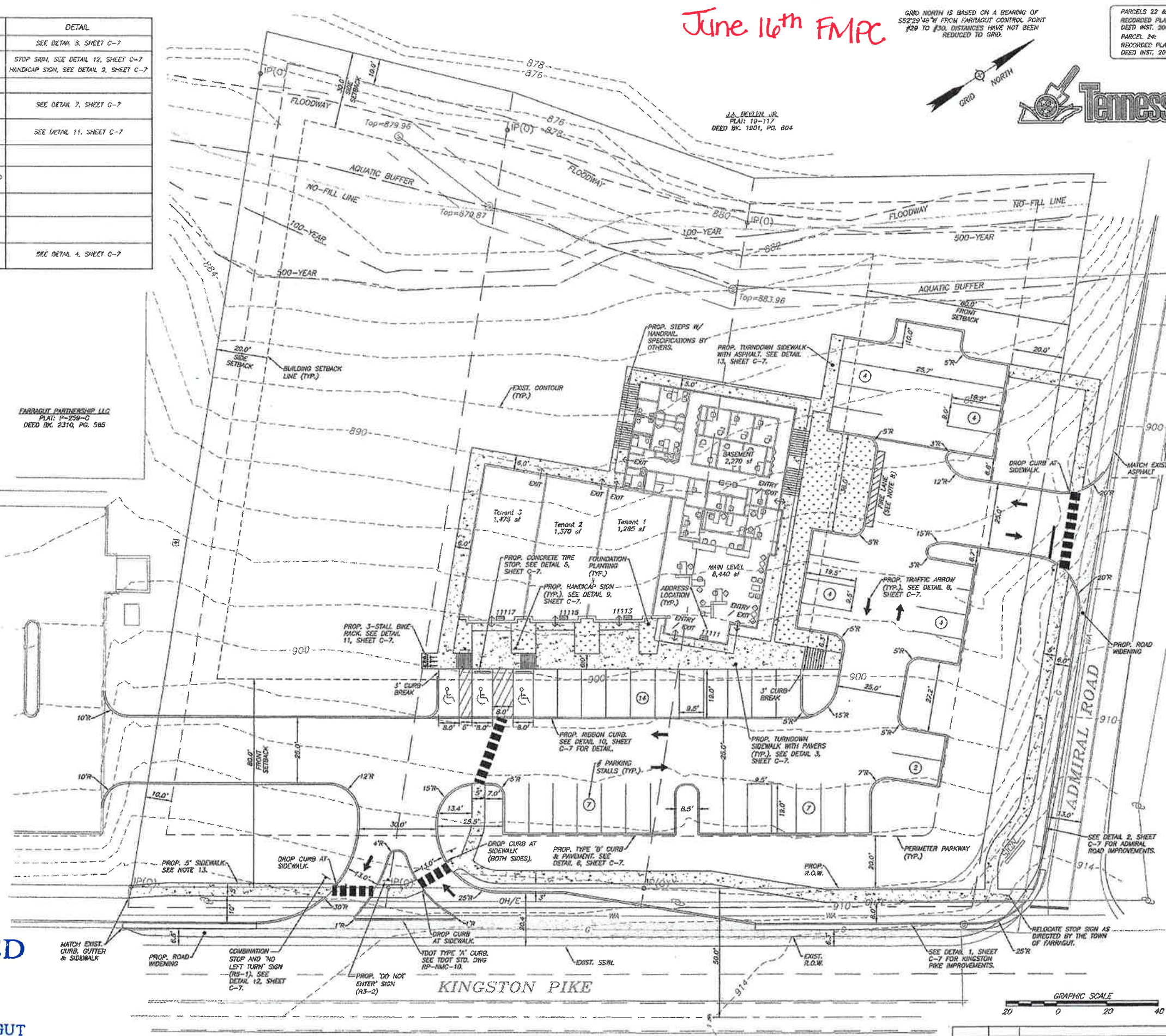
GRID NORTH IS BASED ON A BEARING OF
S52°29'49"W FROM FARRAGUT CONTROL POINT
#29 TO #30. DISTANCES HAVE NOT BEEN
REDUCED TO GRID.

PARCELS 22 & 23:
RECORDED PLAT BOOK 19, PAGE 117
DEED INST. 20070521004721
PARCEL 24:
RECORDED PLAT BOOK 19, PAGE 117
DEED INST. 201403170003251



LEGEND:		
SYMBOL	DESCRIPTION	DETAIL
	TRAFFIC ARROW	SEE DETAIL 8, SHEET C-7
	STOP SIGN / HANDICAP SIGN	STOP SIGN, SEE DETAIL 12, SHEET C-7 HANDICAP SIGN, SEE DETAIL 9, SHEET C-7
	12" PAINTED STOP BAR	
	PAINTED HANDICAP SYMBOL	SEE DETAIL 7, SHEET C-7
	3-STALL BIKE RACK	SEE DETAIL 11, SHEET C-7
	4" PAINTED CROSSWALK	
	NO. OF PARKING STALLS (PROP.)	
	CONCRETE SIDEWALK / PAD	
	FOUNDATION PLANTING	
	HANDICAP RAMP	SEE DETAIL 4, SHEET C-7

FARRAGUT PARTNERSHIP LLC
PLAT P-259-C
DEED BK. 2310, PG. 565



- SITE PLAN NOTES:**
1. PROPERTY CORNERS MARKED AS NOTED.
 2. THIS PROPERTY IS ZONED C-1. REQUIRED BUILDING SETBACKS AS FOLLOWS:
FRONT: 40'/60'/80'
SIDE: MINIMUM 20'/TOTAL 60'
REAR: 30'
 3. PARKING: 5 SPACES PER 1,000 SQUARE FEET OF GROSS FLOOR AREA. 1 BIKE STALL PER 5,000 SQUARE FEET OF GROSS FLOOR AREA.
PROPOSED BUILDING GROSS FLOOR AREA = 11,354 S.F.
REQUIRED PARKING = 45 SPACES (INCLUDING 2 H.C.)
REQUIRED BIKE STALLS = 2
PROPOSED PARKING = 46 SPACES (INCLUDING 3 H.C.)
PROPOSED BIKE STALLS = 3
 4. TOTAL SITE AREA = 96,842 S.F. (2.22 ACRES) AFTER R.O.W. DEDICATION
BUILDING & ROOF AREA = 10,034 S.F.
PARKING & PLANTING AREA = 21,556 S.F.
TOTAL IMPERVIOUS AREA = 31,590 S.F.
TOTAL LOT COVERAGE = 32.6%
 - *SEE DETAIL 20, SHEET C-8 FOR LOT COVERAGE DIAGRAM.
 5. REQUIRED FOUNDATION PLANTING = 2.5 x 211
= 528 S.F.
PROPOSED FOUNDATION PLANTING = 1,904 S.F.
 6. THERE ARE NO PROPOSED ANTENNAS AS PART OF THIS DEVELOPMENT.
 7. TREES THAT ARE DAMAGED OR REMOVED ARE TO BE REPLACED PER THE TOWN OF FARRAGUT TREE PROTECTION/REPLACEMENT ORDINANCE.
 8. FIRE LANES SHALL BE 3' WIDE WITH 1'-9" LETTERING AS SHOWN ON THE PLAN.
 9. SIGNAGE AND STRIPING TO CONFORM TO THE MUTCD, LATEST EDITION.
 10. TRAFFIC CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR.
 11. PROVIDE 1/2" PRE-MOLDED EXPANSION JOINTS WHERE SIDEWALK ABUTS BUILDING. PROVIDE SAWED CONSTRUCTION JOINTS AT 5' INTERVALS.
 12. SETBACKS SHOWN ON THIS PLAN ARE PER THE CURRENT TOWN OF FARRAGUT ZONING ORDINANCE.
 13. THE CENTERLINES OF PROPOSED SIDEWALKS LOCATED OUT OF PUBLIC RIGHT OF WAY = THE CENTERLINE OF A PROPOSED 20' EASEMENT.
 14. ALL WALKING FACILITIES (WALKING TRAILS/SIDEWALKS) MUST BE COORDINATED WITH TOWN STAFF PRIOR TO CONSTRUCTION.
 15. ALL PROPOSED HVAC IS ROOF-MOUNTED. ALL HVAC UNITS SHALL BE SCREENED BY THE BUILDING THEY ARE SERVING SO THAT THEY ARE NOT VISIBLE FROM ADJACENT PROPERTIES OR RIGHTS OF WAYS.



SHEET C-2 (SHEET 3 OF 15)

SITE PLAN	
PREMIER EYECARE	
SITE ADDRESS: 11111 KINGSTON PIKE, FARRAGUT, TENNESSEE 37934	
DIST. FW	KNOX COUNTY
TOWN OF FARRAGUT	TENNESSEE
CLT MAP 143	PARCELS 22, 23 & 24
SCALE: 1"=20'	MAY 16, 2016
OWNER (PARCEL 24): THOMAS NELSON CATE, THOMAS M. CATE, JR. & CHERYL ARBO 12327 AMHERST KNOXVILLE, TN 37922	
OWNER (PARCELS 22 & 23): LEONE RUTH DYAR TRUSTEE 122 DEBUSK LN KNOXVILLE, TN 37922	
DEVELOPER: PREMIER EYECARE 11121 KINGSTON PIKE, SUITE A KNOXVILLE, TN 37934 (865) 966-0100	
URBAN ENGINEERING, INC. 11852 KINGSTON PIKE FARRAGUT, TENNESSEE 37934 (865) 966-1924	
DWN: BOS	ENR: CAS
DWG. NO. 1605007	

RECEIVED
JUN 06 2016
TOWN OF FARRAGUT

GRAPHIC SCALE		
20	0	20 40
1	6/6/16	REVISED PER TOW COMMENTS
REVISION	DATE	DESCRIPTION
BOS		

RECEIVED

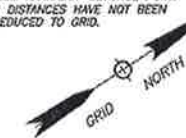
JUN 06 2016

TOWN OF FARRAGUT



PARCELS 22 & 23:
RECORDED PLAT: BOOK 19, PAGE 117
DEED INST. 20070521004721
PARCEL 24:
RECORDED PLAT: BOOK 19, PAGE 117
DEED INST. 201403170053251

GRID NORTH IS BASED ON A BEARING OF
S52°29'49"W FROM FARRAGUT CONTROL POINT
#29 TO #30. DISTANCES HAVE NOT BEEN
REDUCED TO GRID.



LOCATION MAP

June 16th
FMPC

GRADING & DRAINAGE NOTES:

1. CLEAR AND GRUB. CLEARING AND GRUBBING INCLUDES THE REMOVAL OF TREES, BRUSH, DEBRIS, AND STUMPS FROM THE WORK AREA WITHIN 6' OF THE GROUND SURFACE. REMOVE ALL BUILDINGS, DRIVES, CROSS FENCES, AND MISCELLANEOUS EQUIPMENT.
2. STRIP AND STOCKPILE TOPSOIL NEEDED FOR RESURFACING AND SEEDING. SURROUND TOPSOIL PILES WITH SILT FENCE, STRAW BALES, TEMPORARY SEEDING OR ADDITIONAL MEASURES AS NEEDED TO PREVENT EROSION/SEDIMENTATION.
3. AFTER STRIPPING AND REMOVAL, PROOF ROLL ENTIRE DISTURBED AREA WITH TANDEN TRUCK FULLY LOADED WITH EARTH. REMOVE ANY AREAS WHICH ARE SOFT OR HOLDING UNDER LOAD AND REPLACE WITH NEW MATERIAL MEETING PROJECT SPECIFICATIONS.
4. IF UNSUITABLE SUBGRADE MATERIALS ARE ENCOUNTERED, THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND REPLACEMENT WITH APPROVED MATERIAL FROM ON-SITE OR APPROVED OFF-SITE BORROW AREA. UNSUITABLE MATERIALS ARE THOSE CLASSIFIED AS MH, CH, OH, OL, AND PEAT IN ACCORDANCE WITH THE UNITED SOIL CLASSIFICATION SYSTEM.
5. COMPACTION REQUIREMENTS ARE SUMMARIZED AS FOLLOWS: (PLACE IN 8" LIFTS)
 - a. TOP 24 INCHES OF SUBGRADE UNDER PAVED AREAS 100 PERCENT STANDARD PROCTOR - LOWER THAN 24 INCHES BELOW PAVED AREA 95 PERCENT STANDARD PROCTOR.
 - b. AREAS WITHIN THE BUILDING ENVELOPE TO BE PREPARED IN ACCORDANCE WITH RECOMMENDATIONS IN REPORT OF GEOTECHNICAL INVESTIGATION AND/OR AS DIRECTED BY THE SOILS ENGINEER.
6. CONCRETE PIPE SHALL BE CLASS III. BACKFILL ALL PIPE TRENCHES UNDER PAVEMENT WITH CRUSHED STONE APPROPRIATE BASE (DOT 3030). OTHER TRENCH AREAS WITH WELL COMPACTED CLAY. INSTALL ALL PIPE PER MANUFACTURER'S RECOMMENDATIONS.
7. ALL FINISHED YARD AREAS SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL. YARD FINISHED GRADES SHOWN ARE AFTER PLACEMENT OF 4 INCHES OF TOPSOIL. ALL FINISHED YARD SURFACES SHALL BE SMOOTHLY AND UNIFORMLY GRADED, FREE FROM IRREGULARITIES AND SHALL BE FULLY FUNCTIONAL TO PROVIDE POSITIVE DRAINAGE AT ALL LOCATIONS.
8. ALL WORK SHALL BE SEQUENCED AND COMPLETED IN ACCORDANCE WITH THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION EROSION CONTROL HANDBOOK AND THE RULES AND REGULATIONS OF THE TOWN OF FARRAGUT.
9. THE TOTAL AREA DISTURBED AS PART OF THIS PROJECT IS 70,000 S.F.± (1.8-ACRE).
10. PROPOSED SPOT ELEVATIONS AND PROPOSED CONTOURS ARE AFTER THE INSTALLATION OF TOPSOIL IN GRASSED AREAS AND PAVING WITHIN DRIVES AND PARKING LOTS.
11. INSTALL TRM (LANDLOCK 435, AS DISTRIBUTED BY SUPERIOR DRAINAGE, OR EQUIVALENT). PERMANENT GROUND COVER SHALL BE NON-INVASIVE AND REQUIRE LOW TO NO MAINTENANCE. COORDINATE SPECIFIC PLANTING WITH THE TOWN OF FARRAGUT.
12. MINIMUM FLOOR ELEVATION = 885.3.
13. RETAINING WALL ELEVATIONS ARE EXISTING AND FINISHED GRADES AND DO NOT ALLOW FOR CAP BLOCK OR BURIED BLOCK.
14. THERE SHALL BE NO CLEARING, GRADING, CONSTRUCTION, OR DISTURBANCE OF SOIL AND/OR NATIVE VEGETATION WITHIN THE AQUATIC BUFFER EXCEPT AS PERMITTED BY THE TOWN OF FARRAGUT.
15. INSTALL TRM (LANDLOCK 435, AS DISTRIBUTED BY SUPERIOR DRAINAGE, OR EQUIVALENT). PERMANENT GROUND COVER SHALL BE NON-INVASIVE AND REQUIRE LOW TO NO MAINTENANCE. COORDINATE SPECIFIC PLANTING WITH THE TOWN OF FARRAGUT.

LEGEND:

---	EXISTING CONTOUR
---	PROPOSED CONTOUR
---	100-YEAR
---	100-YEAR FLOOD FRINGE
---	NO-FILL LINE
---	FLOODWAY
---	500-YEAR
---	500-YEAR FLOOD FRINGE
---	AQUATIC BUFFER
---	AQUATIC BUFFER

PROPOSED SPOT ELEVATION

FC = FACE OF CURB/WALK (AT ASPHALT)
EO = EXISTING GRADE
FG = FINISHED GRADE
TW = TOP OF WALL AT FINISHED GRADE
BW = BOTTOM OF WALL AT GRADE



REVISION	DATE	DESCRIPTION	BY
1	6/6/15	REVISED PER TDP COMMENTS	BDS

SHEET C-3 (SHEET 4 OF 15)

**GRADING PLAN
PREMIER EYECARE**

SITE ADDRESS: 11111 KINGSTON PIKE, FARRAGUT, TENNESSEE 37934

DIST. FW KNOX COUNTY

TOWN OF FARRAGUT TENNESSEE

CLT MAP 143 PARCELS 22, 23 & 24

SCALE: 1"=20' MAY 16, 2016

OWNER (PARCEL 24):

THOMAS NELSON CATE, THOMAS M. CATE, JR.
& CHERYL ARBO
12327 AMHERST
KNOXVILLE, TN 37922

OWNER (PARCELS 22 & 23):

LEONE RUTH DYAR TRUSTEE
122 DEBUSK LN
KNOXVILLE, TN 37922

DEVELOPER:

PREMIER EYECARE
11121 KINGSTON PIKE, SUITE A
KNOXVILLE, TN 37934
(865) 966-0100

URBAN ENGINEERING, INC.
11852 KINGSTON PIKE
FARRAGUT, TENNESSEE 37934
(865) 966-1924

DWN: BDS CHK: CAS DWG. NO. 1603007

TREE INVENTORY

DECIDUOUS/EVERGREEN	# TO BE REMOVED	SIZE (DBH)	TREE REPLACEMENT SUMMARY
DECIDUOUS	66 (x2)	10-15" DBH	132 TREES
DECIDUOUS	27 (x3)	16-20" DBH	81 TREES
DECIDUOUS	7 (x4)	>20" DBH	28 TREES
			241 TOTAL

DECIDUOUS/EVERGREEN	# TO BE SAVED	SIZE (DBH)	TREE CREDIT SUMMARY
DECIDUOUS	8 (x4)	10-15" DBH	32 TREES
DECIDUOUS	1 (x6)	16-20" DBH	6 TREES
DECIDUOUS	1 (x6)	>20" DBH	6 TREES
			46 TOTAL

195 TOTAL REPLACEMENTS
(SEE SUMMARY BELOW)

TREE REPLACEMENT SUMMARY:

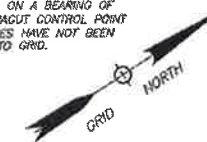
34,384 S.F. IMPERVIOUS AREA
34,384 / 2,500 = 14 TREES
14 TREES x 20% = 3 TREES
TOTAL REQUIRED TREES = 14+3 =
17 TREES (< 14 + 195)



PARCELS 22 & 23:
RECORDED PLAT: BOOK 19, PAGE 117
DEED INST. 200703210084721
PARCEL 24:
RECORDED PLAT: BOOK 19, PAGE 117
DEED INST. 201403170053281

June 16th
FMPC

GRID NORTH IS BASED ON A BEARING OF
S52°28'48"W FROM FARRAGUT CONTROL POINT
#29 TO #30. DISTANCES HAVE NOT BEEN
REDUCED TO GRID.



LOCATION MAP

TREE PROTECTION PLAN NOTES

1. THE LOCATIONS OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED ON FIELD LOCATION OF VISIBLE STRUCTURES SUCH AS CATCH BASINS, MANHOLES, WATER VALVES, ETC., AND COMPILING INFORMATION FROM PLANS SUPPLIED BY VARIOUS UTILITY COMPANIES AND GOVERNMENT AGENCIES. THE CONTRACTOR SHALL NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES AND ALSO CALL TOWN ONE-CALL PRIOR TO ANY EXCAVATION WORK, TO VERIFY INFORMATION SHOWN AND DETERMINE THE LAYOUT OF THE IRRIGATION SYSTEM AND IF ADDITIONAL IMPROVEMENTS MAY EXIST.
2. UNLESS OTHERWISE INDICATED, ALL VEGETATION WITHIN THE PROPOSED AREA OF DISTURBANCE WILL BE REMOVED.
3. ALL REPLACEMENT SHALL BE IN ACCORDANCE WITH THE TOWN OF FARRAGUT'S ORDINANCES.
4. ALL CONSTRUCTION ACTIVITIES, INCLUDING EQUIPMENT OR WORKER PARKING, MATERIALS STORAGE, BURN HOLES (IF APPROVED AS PART OF BURN PERMIT), AND EQUIPMENT WASH DOWN AREAS, WILL BE CONDUCTED COMPLETELY WITHIN THE LIMITS OF THE DISTURBANCE (NOTED AS THE GRADING LIMITS) APPROVED BY THE FARRAGUT MUNICIPAL PLANNING COMMISSION (FMPC) - ANY SUCH ACTIVITIES BEYOND THESE LIMITS WILL RESULT IN A STOP WORK ORDER FOR THE ENTIRE PROJECT.
5. THE LIMITS OF THE DISTURBANCE APPROVED BY THE FMPC WILL BE DESIGNATED WITH A HIGHLY DURABLE AND VISIBLE MATERIAL AND APPROVED BY TOWN STAFF BEFORE GRADING PERMIT IS ISSUED SO THAT CONSTRUCTION ACTIVITIES DO NOT OCCUR IN AREAS WHERE SUCH ACTIVITIES HAVE NOT BEEN APPROVED. THE MATERIAL USED TO DESIGNATE THE APPROVED LIMITS OF DISTURBANCE SHALL BE MAINTAINED SO THAT SUCH MATERIAL IS CLEARLY VISIBLE THROUGHOUT THE DURATION OF THE PROJECT. SHOULD THIS MATERIAL BE REMOVED, RELOCATED, AND/OR NOT BE ADEQUATELY PROTECTED AND MAINTAINED, A STOP WORK ORDER WILL BE ISSUED FOR THE ENTIRE PROJECT.
6. TOTAL AREA OF PROJECT = 2.22 ACRES. TOTAL DISTURBED AREA = 1.6 ACRES.
7. THE CONTRACTOR SHALL COORDINATE THE EXACT LOCATION OF THE TREE PROTECTIVE FENCE PRIOR TO ITS INSTALLATION.

LEGEND

- EXISTING TREES TO BE REMOVED
- EXISTING TREES TO REMAIN



SHEET TP-1 (SHEET 10 OF 15)

TREE PROTECTION PLAN PREMIER EYECARE

SITE ADDRESS: 11121 KINGSTON PIKE, FARRAGUT, TENNESSEE 37934

DIST. FW KNOX COUNTY

TOWN OF FARRAGUT TENNESSEE

CLT MAP 143 PARCELS 22, 23 & 24

SCALE: 1"=20' MAY 16, 2016

OWNER (PARCEL 24):

THOMAS NELSON CATE, THOMAS M. CATE, JR.

& CHERYL ARBO

12327 AMHERST

KNOXVILLE, TN 37922

OWNER (PARCELS 22 & 23):

LEONE RUTH DYAR TRUSTEE

122 DEBUSK LN

KNOXVILLE, TN 37922

DEVELOPER:

PREMIER EYECARE

11121 KINGSTON PIKE, SUITE A

KNOXVILLE, TN 37934

(865) 966-0100

URBAN ENGINEERING, INC.

11852 KINGSTON PIKE

FARRAGUT, TENNESSEE 37934

(865) 966-1924

DWG: BDS CHK: CAS DWG. NO. 1803007

1 5/6/16 REVISED PER TOF COMMENTS

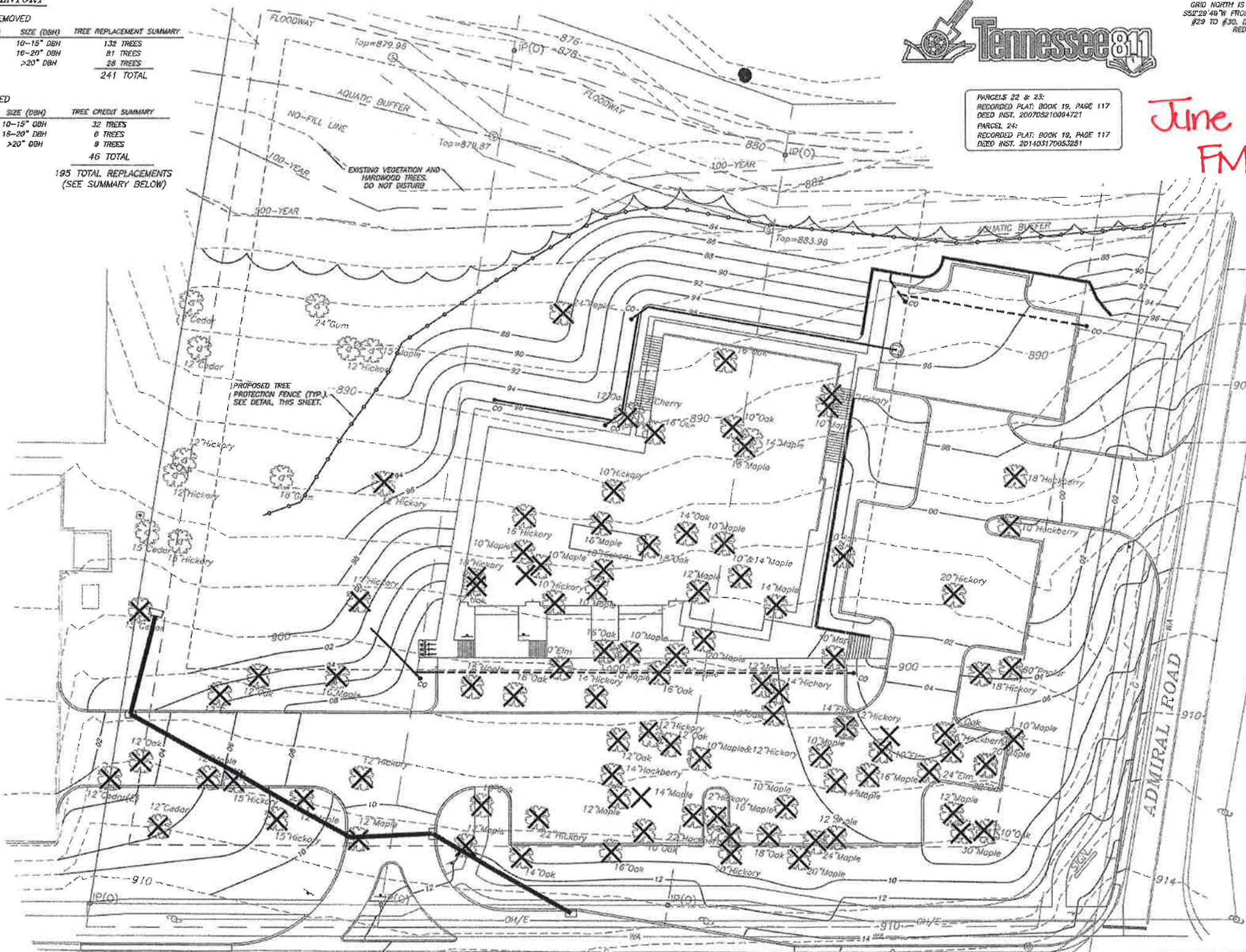
REVISION DATE DESCRIPTION BY

I ATTEST THAT I HAVE REVIEWED THIS TREE REPLACEMENT PLAN AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE TOWN OF FARRAGUT'S TREE PROTECTION ORDINANCE.

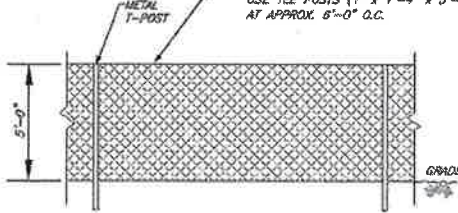
ALLEN DUME - LAND DESIGN GROUP

GRAPHIC SCALE
20 0 20 40

REVISION	DATE	DESCRIPTION	BY
1	5/6/16	REVISED PER TOF COMMENTS	DAS



HEAVY DUTY ORANGE
PLASTIC SAFETY FENCING
(MUTUAL INDUSTRIES PART NO. 14988)
USE TEE POSTS (1" x 1-1/4" x 5'-0")
AT APPROX. 6'-0" O.C.



FOR PROTECTION OF TREES AND OTHER SPECIFIED SITE FEATURES

TREE PROTECTION FENCE

N.T.S.

RECEIVED

JUN 06 2016

TOWN OF FARRAGUT

June 16th FMPC



**STUDIO
FOUR
DESIGN** INC.

Architecture & Interiors
Planning • Graphics • Consulting
four14 Clinch Ave., Knoxville, TN 37902
t 865 523-5001 f 865 523-5003
studiofourdesign.com

STANDING SEAM METAL ROOF
FIBER CEMENT SIDING (color TBD)
6" R AROUND WINDOW
EPDM ROOF w/ ballast
FIBER CEMENT SIDING (color TBD)
ARCHITECTURAL BRICK w/ SOLDER COURSE
EPS SOFFIT AT PERIMETER OVERHANG
WOOD ACCENT WALL
SIDEWALK & LANDSCAPING (shrubs, boulders, trees)

EPDM ROOF BEYOND (slope to gutter)
ROOFTOP UNITS
GUTTER AND DOWNSPOUT
CMU TO MATCH ADJACENT BRICK
SIDEWALK & LANDSCAPING (shrubs, boulders, trees)

T.O. High Parapet
19'-10"
T.O. Low Parapet
18'-0"
T.O. Storefront
13'-0"
T.O. Low Storefront
10'-0"
Level 1
0'-0"
Level 0.1
-12'-0"

2 Northwest Elevation

ARCHITECTURAL BRICK
(two colors - beige)
ROOFTOP UNITS BEYOND (not
visible from pedestrian side)
ARCHITECTURAL PRECAST
DETAILS AND BRICK SOLDIERS
EPDM ROOF BEYOND (slope to rear)
METAL COPING (to match storefronts)
SIGNAGE ZONE, RPT. (by tenant)
TENANT ADDRESS (44 tenants)
ALUMINUM CANOPY SYSTEM (if projected)
BUILDING LIGHTING (wall sconces)

STANDING SEAM METAL ROOF
FIBER CEMENT SIDING (color TBD)
STOREFRONT TO 18' (break at 10' canopy line)
PRIMARY SIGNAGE ZONE (by tenant)
WOOD SOFFIT AT ROOF OVERHANG
EPDM ROOF w/ ballast
SECONDARY SIGNAGE ZONE (by tenant)
FIBER CEMENT SIDING (color TBD)
WOOD ACCENT WALL
SIDEWALK & LANDSCAPING (shrubs, boulders, trees)

T.O. High Parapet
19'-10"
T.O. Low Parapet
18'-0"
T.O. Storefront
13'-0"
T.O. Low Storefront
10'-0"
Level 1
0'-0"

60% MASONRY FACADE
CONSTRUCTION TYPE: IIIb

1 Southeast Elevation - Kingston Pike



Project Name:

Project Number:

14049.00

Date:

07/22/03

Drawn By:

Author

Checked By:

Checker

Drawing Issued For:

- ☐ Schematic Design
☐ Design Development
☐ Construction

Revisions:

No.	Date	Description

Sheet Title:

SHEET ELEV01 (SHEET 13 OF 15)

Sheet No:

ELEV01

Date: 6/17/2003 11:14:28 AM
User: Author
File: C:\Users\jerry\My Documents\Projects\Knox\Knox_2003\Knox_2003.dwg

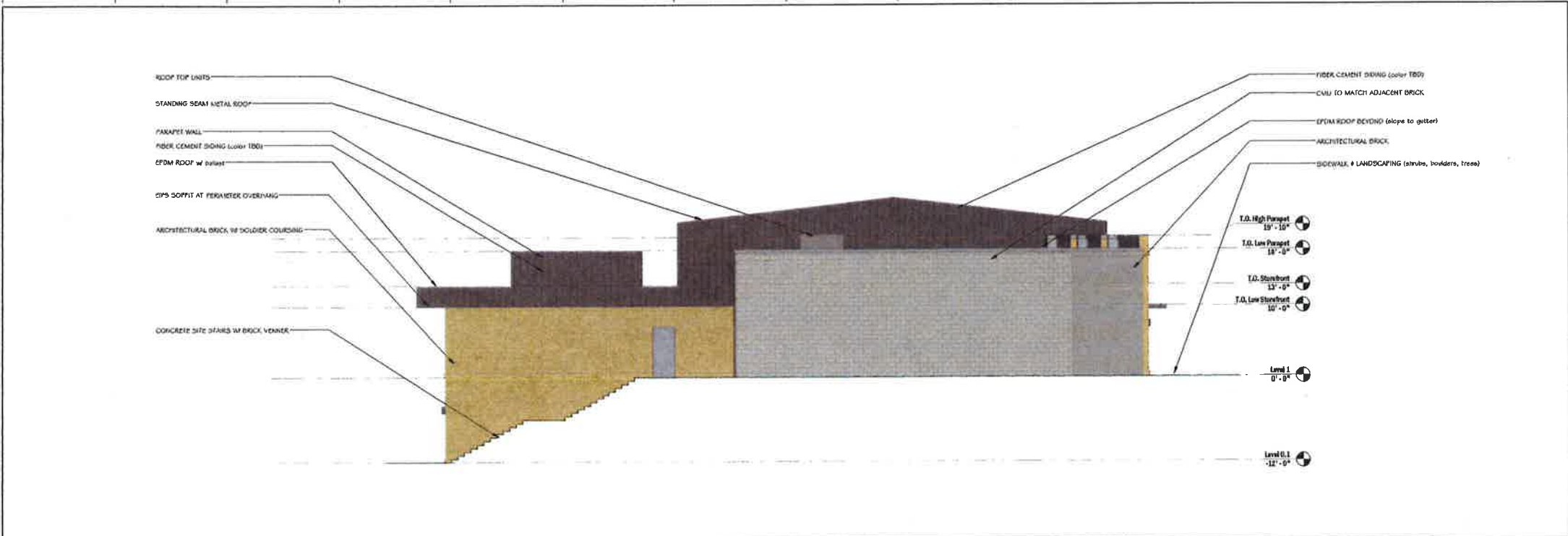
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June 16th FMPC

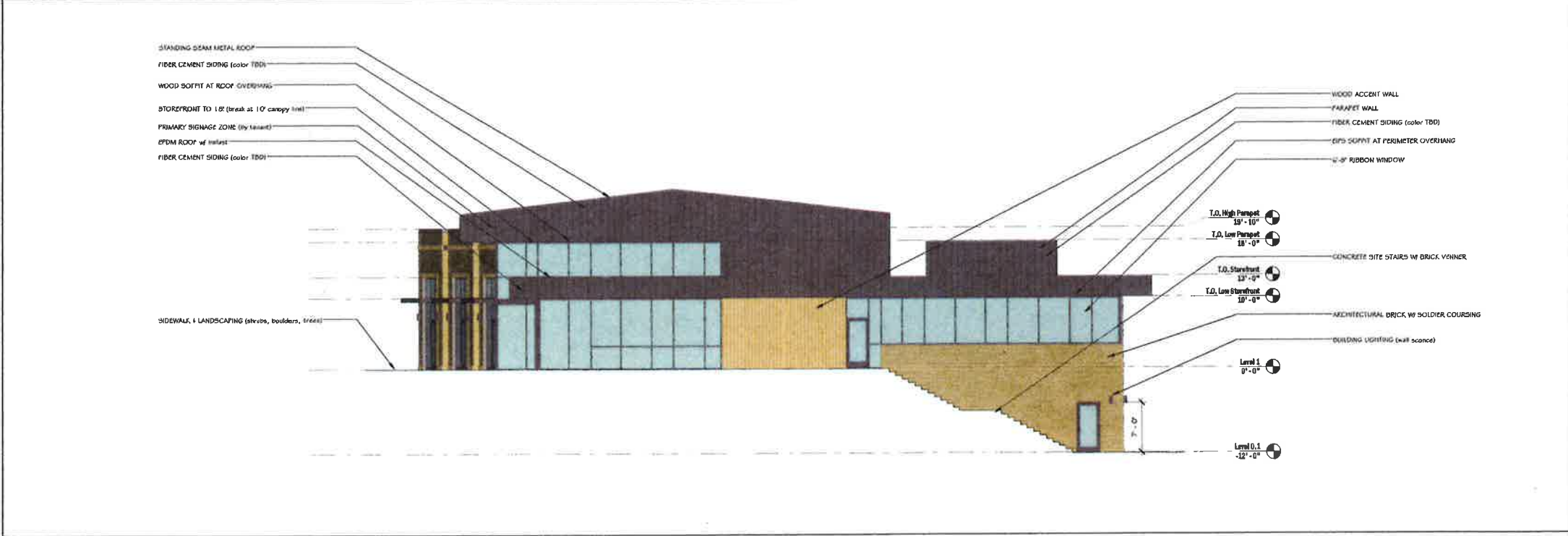


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studiofourdesign.com



2 Southwest Elevation



1 Northeast Elevation- Admiral Road

Date: 6/7/2016 11:17 AM
User: Admin
File: C:\Users\Admin\Documents\160601_01_Preliminary Elevation.dwg

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Project Name:
Premier Square

Project Number: 14049.00
Date: 07/12/13
Drawn By: Author
Checked By: Checker

Drawing Issued For:
☐ Schematic Design
☐ Design Development
☐ Construction

Revisions:
No. Date Description

Sheet Title:
SHEET ELEV02 (SHEET 14 of 16)

Sheet No:
ELEV02

MEETING DATE: September 15, 2016

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion on text amendments to the Farragut Zoning Ordinance, Chapter 3., Section IX., Attached Single-Family Residential District (R-4)., Subsection C.11., to amend the setback provisions for accessory structures (Gregory Huddy, Applicant)

INTRODUCTION AND BACKGROUND: This item essentially involves setback provisions for accessory structures in the R-4 Zoning District. Unlike detached single-family developments where there is more space between dwelling units, the R-4 district requires dwelling units to be attached. As a result, residents are closer together and how the non-building portion of the remainder of their lot is used is very important.

When someone buys into an R-4 development they buy into an understanding and expectation on what may be permitted around them. Consequently, accessory structures in general have very different setbacks than those in single-family detached developments. In the R-4 district, accessory structures, excluding fences, subdivision walls, entrance pillars, and certain utility structures, are required to be set back a minimum of 25 feet, except as provided for elsewhere in this ordinance or the Municipal Code.

Each lot within an R-4 development is also required to have reasonable visual privacy with a private yard, patio, deck, or other outdoor area immediately adjacent or contiguous to the dwelling units on the lot which area is to contain not less than 400 square feet. Fences, walls, and/or landscaping are to be used in providing the protection and privacy of the private outdoor areas.

Over the years, amendments to the R-4 district have occurred in relation to certain accessory structures, including permanent outdoor fireplaces and grills, and arbors and pergolas. Those amendments included the following language:

Permanent outdoor fireplaces and grills may be constructed within the private outdoor areas provided such structures are set back a minimum of five (5) feet from all buildings, are set back a minimum of twenty-five (25) feet from all front property lines, do not exceed six (6) feet in height, are gas powered only, and meet all requirements of the Municipal Code.

Arbors and pergolas may be constructed within the private outdoor areas provided such structures are set back a minimum of twenty-five (25) feet from all peripheral and front property lines, do not exceed fifteen (15) feet in height, and do not exceed twenty-five (25) percent of the platted private outdoor area.

In order to ensure that each lot will have the minimum of 400 square feet of private outdoor area, such square footage is required to be shown and designated on the final plat that is recorded. A point of confusion in relation to administering this provision is whether the entire non-building portion of a lot

(i.e. any area outside of the platted building envelope) can be platted as a private outdoor area where certain structures could be permitted in any portion of such area. Another issue with the R-4 district has been that certain accessory structures have been specified (through amendments) as being permitted with lesser setbacks while those not specified, but which would be treated as comparable in a single-family detached development, would be held to a 25 foot setback from property lines.

Though the request at this time involves how to address setbacks for accessory structures, in general, in the R-4 Zoning District, the staff would recommend that in the long term the R-4 district be completely restructured to be more compatible with the CLUP and transitional housing options that would be critical to the development of a mixed use town center or mixed use neighborhood. In the short term and in response to this specific request the staff would agree that more clarity is needed in relation to private outdoor areas and setbacks for accessory structures.

The staff would recommend that the private outdoor area be removed as a requirement and the developer/resident be given the flexibility to use the non-building footprint area of their lot in a manner appropriate for the development/resident. Rather than spelling out which accessory structures would be given different setbacks, the setback provisions for accessory structures would apply equally to any structure, with the exception of perhaps a fence which may be along a property line.

Unlike detached single-family developments, building and lot coverages in the R-4 district are based on the entire development rather than individual lots. The R-4 district currently allows a lot coverage of up to 50% of the entire development. There is also a requirement of at least 10% open space and a 50 foot building setback around the periphery of the development with a 25 foot buffer strip around the outermost portion.

In single-family detached developments accessory structures are generally permitted to within 5 feet of a side or rear property line, unless there are platted easements that are greater in width than 5 feet along such property lines. In which case, no such structures could be placed within the platted easements. Some questions related to accessory structures in attached single-family developments are as follows:

- 1) Should the Town continue to require a private outdoor area for each lot in an R-4 development?
- 2) Provided they will comply with any applicable building and fire codes (due to the closeness of buildings), should accessory structures be treated equally, with the exception of fences, and held to the same setbacks in an attached single-family development?
- 3) Should the setbacks for accessory structures be the same as single-family detached developments or should attached single-family have different setbacks given the closeness of the dwelling units?
- 4) Are there certain accessory structures that are of a concern (e.g. that could be seen as a nuisance) in an attached single-family development due to the closeness of the buildings? and
- 5) Should there be a limitation on how much coverage is permitted on an individual single-family attached lot or should it continue to be based on the entire development?

These are just some of the questions that may relate to this request and that will need to be addressed in order for the staff to have some direction on any potential text amendment.

RECEIVED

AUG 15 2016

APPLICATION TO AMEND ORDINANCE TEXT
TOWN OF FARRAGUT, TENNESSEE

TOWN OF FARRAGUT

FOR OFFICE USE ONLY

Fee Paid: \$ 250.00

APPLICANT NAME: Gregory Huddy

Address: 312 S. Gay St., Suite 200

City/State/Zip: Knoxville, TN 37902

Phone Number: 865-309-4461

Fax Number:

E-mail: ghuddy@c3studiollc.com

CHANGE REQUESTED

Amend Zoning Ordinance, Sign Ordinance, or Municipal Code text as follows:

~~IX. ATTACHED SINGLE-FAMILY RESIDENTIAL DISTRICT (R-4): C. MINIMUM DEVELOPMENT REQUIREMENTS:~~

~~#11: To say "...Permanent outdoor fireplaces, grills, and pools may be constructed in rear yards (including private outdoor areas) provided such structures are set back a minimum of five (5) feet from all buildings, are set back a minimum of twenty-five (25) feet from all front property lines, do not exceed six (6) feet in height, are gas powered only, and meet all requirements of the Municipal Code.~~

~~Arbors and pergolas may be constructed in rear yards (including private outdoor areas) provided such structures are set back a minimum of twenty-five (25) feet from all peripheral and front property lines and do not exceed fifteen (15) feet in height.~~

The proposed amendment is necessary due to the following changed or changing conditions: (be specific)

Current zoning ordinance is unclear on location and description of outdoor permanent structures for single-family residential zoning R-4. We are requesting a change in zoning text to allow more flexibility for outdoor patio and structures in single-family (R-4) zoning, as well as, asking for the addition of pool to the language, as the current zoning ordinance does not explicitly define pools and their locations.


APPLICANT SIGNATURE

8-15-16
DATE

OR

I HEREBY CERTIFY THAT I AM THE LEGAL REPRESENTATIVE FOR THE APPLICANT INVOLVED
IN THIS REQUEST.

NAME (SIGNATURE)

DATE

Street Address

City/State/Zip

Telephone Number

MEETING DATE: September 15, 2016

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on a final plat for the Town of Farragut Public Works property, Parcel 74, Tax Map 130, 731 Fretz Road, Zoned S-1, T Overlay and OS-P, 11.29 Acres, and a variance request from the Subdivision Regulations requirement to construct sidewalks and other pedestrian facilities on Fretz Road (Professional Land Systems representing Concord Telephone Company, Applicant)

INTRODUCTION AND BACKGROUND: This item involves a request for the extension of a utility. Specifically, the applicant is requesting approval for a plat that would establish an easement to permit a telecommunications line to be extended underground from the overhead lines at the north end of Fretz Road into the Town of Farragut's Public Works property to the existing utility easement associated with the monopole cell tower.

Per TCA, the extension of utilities must be presented to and approved by the planning commission. In this case, the easement will also need to be taken to the Board of Mayor and Aldermen in the form of an easement agreement since it will involve Town of Farragut property.

RECOMMENDATION: In your packet is a copy of the initial plat and the staffs' comments on the initial plat. The staff will make a recommendation at the meeting.

Ashley Miller

From: Mark Shipley
Sent: Friday, September 02, 2016 3:12 PM
To: Ned Ferguson
Cc: Bud Mckelvey; Darryl Smith; Gary Palmer; Ashley Miller; tomhale@kramer-rayson.com
Subject: RE: Fretz Road easement for TDS underground cable

In terms of the plat itself we would only have the following comments:

- 1) Please show the proposed underground telecommunications line as following the north edge of the Public Works driveway;
- 2) Please submit the revised plat on 18x24 sized paper;
- 3) Please note the purpose of the plat more precisely (i.e. to establish an easement for the extension of a telecommunications line);
- 4) Please show the physical easement related to this proposed utility extension;
- 5) The S-1 has been recently updated. So just note that the S-1 is per the Farragut Zoning Ordinance;
- 6) An easement agreement must be coordinated with the Town Attorney and then taken to and approved by the Board of Mayor and Aldermen. The recorded agreement will then need to be referenced on the plat when it is recorded.

If you have any questions please let me know. Thanks.

From: Ned Ferguson [mailto:nedferguson@gmail.com]
Sent: Thursday, September 01, 2016 6:23 PM
To: Mark Shipley <mshipley@townoffarragut.org>
Subject: Re: Fretz Road easement for TDS underground cable

Mark,

Any update on our easement document and/or record plat?

Thanks.



Ned D Ferguson
Land Surveyor

p 865.689.6169 • f 888.232.8718 • ned@plsurvey.com •
Professional Land Systems • 205 Lamar Ave, Clinton TN 37716
• <http://PLSurvey.com>
• <http://UAVsurveys.tech>



My latest post: [How mini-drone Orthophotos save time and money](#)

On Fri, Aug 12, 2016 at 10:03 AM, Mark Shipley <mshipley@townoffarragut.org> wrote:

This is fine. Thanks.

From: Ned Ferguson [mailto:nedferguson@gmail.com]
Sent: Friday, August 12, 2016 9:48 AM

