



AGENDA
FARRAGUT MUNICIPAL PLANNING COMMISSION

January 19, 2017
7:00 p.m. Farragut Town Hall

For questions please either e-mail Mark Shipley at mshipley@townoffarragut.org or Ashley Miller at amiller@townoffarragut.org or call them at 865-966-7057.

- 1. Citizen Forum**
- 2. Approval of agenda**
- 3. Approval of minutes – December 15, 2016**
- 4. Discussion and public hearing on a preliminary plat for Easton Park Subdivision, Phase I, Parcel 59.07, Tax Map 152, located at 11739 Turkey Creek Road, 38 Lots, 15.15 Acres (Site Incorporated, Applicant)**
- 5. Discussion and public hearing on a preliminary plat for Peterson Road Extension, Parcels 69 and 69.01, Tax Map 142, located off of Kingston Pike, 2.75 Acres (Goodworks Unlimited, LLC, Applicant)**
- 6. Discussion and public hearing on a site plan for the Villages of Farragut, Phase I, Parcel 69.02, Tax Map 142, located off of Kingston Pike, 23.06 Acres (Goodworks Unlimited, LLC, Applicant)**
- 7. Discussion and public hearing on a site plan for Dog Days Canine Playschool, located at 10875 Kingston Pike, 23.06 Acres (Dog Days Canine Playschool, Applicant)**
- 8. Discussion and public hearing on amendments to the Farragut Zoning Ordinance, Chapter 4., Section XX., Parking and Loading., to provide for new requirements associated with off-street parking**
- 9. Discussion and public hearing on the adoption of a color palette to help strengthen the implementation of the adopted Architectural Design Standards**
- 10. Discussion on updates to the complete streets cross sections in the Pedestrian and Bicycle Plan**
- 11. Discussion on an amendment to the Farragut Subdivision Regulations to clarify that collector and arterial street frontages of subdivisions shall be improved in accordance with a complete streets cross section, as provided for in the Pedestrian and Bicycle Plan**

11408 MUNICIPAL CENTER DRIVE | FARRAGUT, TN 37934 | 865.966.7057

WWW.TOWNOFFARRAGUT.ORG

It is the policy of the Town of Farragut not to discriminate on the basis of race, color, national origin, age, sex, or disability pursuant to Title VI of the Civil Rights Act of 1964, Public Law 93-112 and 101-336 in its hiring, employment practices and programs. To request accommodations due to disabilities, please call 865-966-7057 in advance of the meeting.



**MINUTES
FARRAGUT MUNICIPAL PLANNING COMMISSION**

December 15, 2016

MEMBERS PRESENT

Rita Holladay, Chairman
Ed Whiting, Secretary
Louise Povlin, Alderman
Noah Myers
Betty Dick
Rose Ann Kile
Drew Carson
Jack Coker, Youth Representative

MEMBERS ABSENT

Ralph McGill, Mayor
Ed St. Clair, Vice-Chairman

Staff Representatives: Mark Shipley, Community Development Director
Ashley Miller, Assistant Community Development Director

Chairman Holladay called the meeting to order at 7 p.m.

CITIZEN FORUM

Chairman Holladay commented on Founder's Park being so beautiful with all the lighted trees and decoration. She commended Bud McKelvey and his crew for all their hard work.

APPROVAL OF AGENDA

A motion was made by Commissioner Myers to approve the agenda as presented. The motion was seconded by Commissioner Povlin and the motion passed unanimously.

APPROVAL OF MINUTES

A motion was made by Commissioner Myers to approve the November 17, 2016 minutes as submitted. The motion was seconded by Commissioner Whiting and the motion passed unanimously with Commissioners Povlin, Kile and Carson abstaining because they were absent.

AGENDA ITEMS

DISCUSSION AND PUBLIC HEARING ON A SITE PLAN FOR PLANET FITNESS, 11433 KINGSTON PIKE, ZONED C-1/MUTC (Mike Twiss, Applicant)

If the site plan were approved, the staff recommended that the approval be subject to the following items being satisfactorily addressed:

- 1) Please follow the site plan checklist for all applicable items;
- 2) Please ensure that the proposed building materials and general appearance of the proposed exterior modifications are consistent with the remainder of the shopping center and the Architectural Design Standards (ADS);
- 3) Since some modification is being proposed to the site (e.g. the addition of a dumpster and enclosure), please submit a detailed site plan of this portion of the development. The “site plan” shown on the revision does not qualify as a site plan. This would need to include the applicable items noted on the site plan checklist and differs from the tenant space layout diagram that was provided;
- 4) The resubmittal must be on sheets no greater than 24” x 36”;
- 5) Please add the map and parcel information to the title block;
- 6) Please have the designer seal and sign all plan sheets;
- 7) Please number the sheets 1 of ..., 2 of ..;
- 8) Please add a written and graphic scale to all plan sheets;
- 9) Please show the dumpster enclosure location on the scaled site plan;
- 10) All materials and colors swatches need to be included as part of the site plan submittal. The response letter notes cut sheets but those elements need to be included in the packet submittal and not as freestanding documents;
- 11) The purple banding proposed on the façade is very bright and out of context with the surrounding development (ADS 2.20). This will need to be changed to an earth tone or muted color;
- 12) Please provide screening details for the new HVAC units to verify that they will not be visible from adjacent properties or rights of ways; and
- 13) Please include a detail on the plans of the wall sconce lights. These must comply with the Town’s outdoor site lighting requirements.

Commissioner Myers moved to approve the site plan subject to the items noted by the staff which included some further architectural design changes with the parapet and the gable on the front so as to match the remainder of the shopping center. As a condition of approval, this revision would need to be forwarded to the commissioners for their review. Motion was seconded by Commissioner Kyle and motion passed 6-0-1, with Commissioner Povlin abstaining.

DISCUSSION AND PUBLIC HEARING ON A REQUEST TO AMEND THE 2012 COMPREHENSIVE LAND USE PLAN FOR A PORTION OF PARCEL 116.01, TAX MAP 130, NORTH OF FARRAGUT COMMONS AND CHAPEL POINT, AND PARCELS 96 AND 96.01, TAX MAP 142, ADJACENT GRIGSBY CHAPEL ROAD, FROM MEDIUM DENSITY RESIDENTIAL TO CIVIC/INSTITUTIONAL (Diversified Holdings, Inc., Applicant)

The staff noted that the applicant has requested to amend their rezoning application. The amended request, from the staffs' perspective, would not warrant a change to the future land use map.

Commissioner Myers made a motion that given the applicant's amended rezoning request, no action should be taken on an amendment to the future land use map in the Comprehensive Land Use Plan. Commissioner Povlin seconded the motion and the motion passed unanimously.

DISCUSSION AND PUBLIC HEARING ON A REQUEST TO REZONE A PORTION OF PARCEL 116.01, TAX MAP 130, NORTH OF FARRAGUT COMMONS AND CHAPEL POINT, 8.63 ACRES, FROM R-2 AND FPD TO R-4 AND FPD, AND TO REZONE PARCELS 96 AND 96.01, TAX MAP 142, ADJACENT TO GRIGSBY CHAPEL ROAD, 11.43 ACRES, FROM R-4 TO S-1, (Diversified Holdings, Inc., Applicant)

The staff noted that the applicant asked to postpone their request to rezone Parcels 96 and 96.01, Tax Map 142, 11.43 acres, from R-4 to S-1 but wished to continue with their request to rezone a portion of Parcel 116.01, Tax Map 130, 8.63 acres, from R-2 and FPD to R-4 and FPD. The staff indicated that Ordinance 16-23 was revised accordingly and that Resolution PC-16-19 recommends approval of Ordinance 16-23.

Commissioner Myers made a motion to remove from the applicant's request the rezoning of Parcels 96 and 96.01, Tax Map 142, adjacent to Grigsby Chapel Road, 11.43 Acres, from R-4 to S-1. The motion was seconded by Commissioner Povlin and the motion passed unanimously. The staff noted, and the commission agreed, that should this or any other portion of the property be later desired for a rezoning, a new application and public notification process would apply.

Commissioner Kile made a motion to approve Resolution PC-16-19 to rezone a portion of Parcel 116.01, Tax Map 130, from R-2 and FPD to R-4 and FPD. Commissioner Myers seconded the motion and the motion passed unanimously.

DISCUSSION ON TEXT AMENDMENTS TO THE FARRAGUT SUBDIVISION REGULATIONS, ARTICLE III., GENERAL REQUIREMENTS AND MINIMUM DESIGN STANDARDS., TO PROVIDE FOR NEW REQUIREMENTS IN RELATION TO STREET WIDTHS AND PEDESTRIAN FACILITIES (Saddlebrook Properties, LLC, Applicant)

For discussion purposes only.

DISCUSSION ON TEXT AMENDMENTS TO THE FARRAGUT ZONING ORDINANCE, CHAPTER 3., SECTION IX., ATTACHED SINGLE-FAMILY RESIDENTIAL DISTRICT (R-4)., TO PROVIDE FOR NEW REQUIREMENTS (Saddlebrook Properties, LLC, Applicant)

For discussion purposes only.

DISCUSSION AND PUBLIC HEARING ON AMENDMENTS TO THE FARRAGUT ZONING ORDINANCE, CHAPTER 4., SECTION XX., PARKING AND LOADING., TO PROVIDE FOR NEW REQUIREMENTS ASSOCIATED WITH OFF-STREET PARKING

Staff recommended approval of Resolution PC-16-20 which recommended approval of Ordinance 16-27. After a discussion, the commission asked that some minor amendments be made to the ordinance and brought back for a vote at a subsequent meeting.

DISCUSSION AND PUBLIC HEARING ON THE ADOPTION OF A COLOR PALETTE TO HELP STRENGTHEN THE IMPLEMENTATION OF THE ADOPTED ARCHITECTURAL DESIGN STANDARDS

Staff recommended approval of Resolution PC-16-21 which recommended approval of Ordinance 16-28. After a discussion, the commission asked that some minor amendments be made to the ordinance and brought back for a vote at a subsequent meeting.

PUBLIC HEARING ON PROPOSED LOCATIONS FOR NEW UTILITIES

None at this time.

ADJOURNMENT

The meeting adjourned at 10:20 p.m.

Edwin K. Whiting, Secretary

MEETING DATE: January 19, 2017

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Ashley Miller, Assistant Community Development Director

SUBJECT: Discussion and public hearing on a preliminary plat for Easton Park Subdivision, Phase I, Parcel 59.07, Tax Map 152, located at 11739 Turkey Creek Road, 38 Lots, 15.15 Acres, Zoned R-3 (Site Incorporated, Applicant)

INTRODUCTION AND BACKGROUND: This request involves the review of a preliminary plat for a portion of the George Smith property on the north side of Turkey Creek Road across from Anchor Park that was recently rezoned from R-1 to R-3.

DISCUSSION: As noted above, the property in question is now zoned R-3 which requires a minimum of 10% open space that must have a functional component for the benefit of the development and that cannot include the required 25 foot buffer strip or any areas devoted to stormwater detention.

Due to the proposed subdivision exceeding 30 lots, a secondary access for emergency vehicles has been proposed to cross the Lorenz property and tie into Briarstone Lane, north of the walking trail in Phase I. Given this proposed access will be crossing the Lorenz property, a notarized letter of consent from the property owner will need to be submitted as a condition of the preliminary plat. Additionally, this property owner will also have to sign the final plat.

Since the platting of the final phase of Briarstone, which adjusted the boundaries of the Smith property, an additional subdivision by deed has occurred for the remainder of Smith property. This latest subdivision of the Smith property occurred by deed in August 2016, which has now resulted in the Smith home being on a lot currently with no public street frontage. Though it was envisioned to be part of the Easton Park plat, which would have established the Smith house lot and public street frontage for the remaining Smith tract, the proper subdivision process was not followed. The preliminary plat before the planning commission addresses the public road frontage issue for the Smith lot.

RECOMMENDATION: The staffs' initial review of the preliminary plat included a number of significant comments. Included in your packet is a copy of the initial staff comments on this preliminary plat along with a copy of the revised plan. Staff will make a recommendation at the meeting based on whether the initial staff comments have been satisfactorily addressed. The planning commission will need to take action on this item, as the applicant did not sign the 30-day waiver.



Civil Engineers

January 10, 2017

Mark Shipley
Town of Farragut
11408 Municipal Center Dr.
Farragut, TN 37934

Re: Staff comments on Preliminary Plat for the Extension of Easton Park Subdivision

Dear Mark,

Please find attached our revised plans per staff comments dated 12/30/16. We have provided responses to staff comments below.

Fire Division: (Contact Dan Johnson at djohnson@townoffarragut.org)

- 1) Provide note on sheet 5.0 stating that "All fire hydrants will provide the required 1000 gpm at 20psi";
 - a. **Note added to Sheet C5.0.**
- 2) Provide a grade detail for the approach at the fire apparatus access road intersection with Briarstone Lane;
 - a. **See sheet C4.1 for road profile.**

Planning Division: (Contact Mark Shipley at mshipley@townoffarragut.org) or Ashley Miller at amiller@townoffarragut.org)

- 3) On the cover sheet please provide an address and a tax map and parcel reference;
 - a. Information added to the cover.
- 4) Please provide the correct acreage of the property involved in this subdivision;
 - a. Sheet C1.1 has been revised with corrected information.
- 5) On the cover sheet please provide the name, address, telephone number, e-mail of the owner and developer;
 - a. **Information has been added to the Cover Sheet.**
- 6) On Sheet C-1, please include the updated property lines, zoning designations, map and parcel information, and acreages;
 - a. **Information has been updated.**
- 7) The staff assumes that the closed contours is a farm pond and not a sinkhole. Please verify;
 - a. **Please see attached letter.**

- 8) In terms of the proposed layout, all open space lots must be accessible and provide some recreational value for the development. The open space proposed is disjointed, includes significant grading in tree covered areas, and does not provide any recreational elements or amenities. A linear open space with a walking trail (perhaps an open space boulevard with a walking trail) or designed and interconnected landscaped passive recreational areas may be some options to consider. The open space will need to be completely revisited before this is ready for formal Planning Commission consideration;
- a. **Open spaces were left in existing conditions except where grading is necessary for the development.**
- 9) Tree covered areas designated for open space must be protected. Please revise the grading plan accordingly;
- a. **See sheet C7.1 for the Tree Preservation and Removal Plan.**
- 10) Due to the steepness of the road, more curvature is needed on the upper portion. Perhaps some eyebrows could be provided to address this and provide more visual interest;
- a. **Roundabout has been revised.**
- 11) The approach to Turkey Creek Road should be perpendicular;
- a. **The angle of the intersection at Turkey Creek Road meets the zoning ordinance requirements.**
- 12) In the R-3 Zoning District, non-cul-de-sac lots must have at least 75 feet of road frontage. Please revise accordingly;
- a. **All lots have 75 feet of road frontage.**
- 13) Please coordinate secondary emergency vehicle access with the Fire Marshal. This cannot be gated and must be topographically and structurally feasible for the intended use;
- a. **See sheet C4.1 for road profile.**
- 14) If the secondary access cannot be provided please reduce the number of lots to 30 or less or sprinkle the buildings;
- a. **Secondary access has been provided.**
- 15) You will need to ensure that you designate area for sign easements and subdivision entrance structures and landscaping;
- a. **Sign easements have been added.**
- 16) Please provide a pedestrian facility along the connector to the Scarbrough property and indicate on the plan that, upon further development or subdivision of the Scarbrough property, Road D shall be extended and provide for a connection to Dunlin Lane in the Briarstone Subdivision;
- a. **Note has been added to sheet C1.1.**
- 17) Please show the zoning lines and the zoning of abutting properties;
- a. **See sheet C1.1.**
- 18) Is the width of Lots 14, 18, 23, and 27 buildable?
- a. **Yes.**
- 19) Is the designated detention basin the low spot on the property?
- a. **Yes, stormwater will drain to the detention pond.**
- 20) Please verify that the access onto Turkey Creek Road meets the 200 separation between access points;
- a. **200 feet of separation between access points has been provided.**
- 21) Are the centers of the cul-de-sacs intended to be landscaped medians? Landscaping within the right of way is encouraged provided it does not create any visibility obstructions or maintenance issues;
- a. **Yes, cul-de-sac islands shall be landscaped.**

- 22) The open space and detention basin lots will need to be numbered;
a. Lot numbers have been added.
- 23) The proposed grading appears to stop abruptly at the buffer strip line;
a. Noted.
- 24) An access easement will be needed from Lot 3R2 for the secondary public access road into Briarstone. As noted above, the access road must be open and accessible;
a. Access easement shall be provided.
- 25) Please add the note “conceptual information which is not intended for construction purposes” to the title block of all sheets;
a. Note has been added to all sheets.
- 26) Please include a legend;
a. Legends have been added.
- 27) Please note the contour intervals and elevations;
a. One foot contours and elevations have been added to the plans.

Engineering Division: (Contact Darryl Smith at dsmith@townoffarragut.org)

- 28) The grading plan should indicate where all swales are to be located, particularly along the greenway as it crosses the north side of the property (rear of lots 16-19) and turns along the west side of the property. There is definitely a need to provide swales and pipe crossings the entire length;
a. Swale and storm pipes crossings have been added.
- 29) The existing contours indicate runoff from west of property will enter a swale and be directed to the detention basin. Though this area is not shown on the drainage map in calculations;
a. Drainage map and calculations shall be revised.
- 30) The grading plan shows pipe discharging near top of 3:1 slope at rear of lot 35. This discharge should be at bottom of slope, with defined ditch to detention basin. Suggest picking up discharge on north side of greenway and piping under greenway to bottom of detention basin to avoid erosion issues;
a. Discharges have been revised.
- 31) Please note that the minimum pipe size is 18”;
a. Pipe sizes shall be revised.
- 32) Please show details for mini roundabout, as well as islands in cul de sacs;
a. Roundabout has been removed.
- 33) A typical section should show sidewalk, with slope at “1.5% (2.0% max.)”;
a. Slope will be revised on sidewalk detail.
- 34) The mid-block pedestrian crossings will require proper signage per MUTCD. Indicate on plans that all signs shall be in compliance with the current edition of the MUTCD, including reflectivity;
a. Crosswalk signage has been added to the plans.
- 35) As this development will require a large disturbed area on steep slopes, intermediate rows of silt fence will likely be needed to avoid major issues during storms;
a. Additional silt fence has been added to the plans.
- 36) Please submit the NOC;
a. NOC shall be provided once received from TDEC.

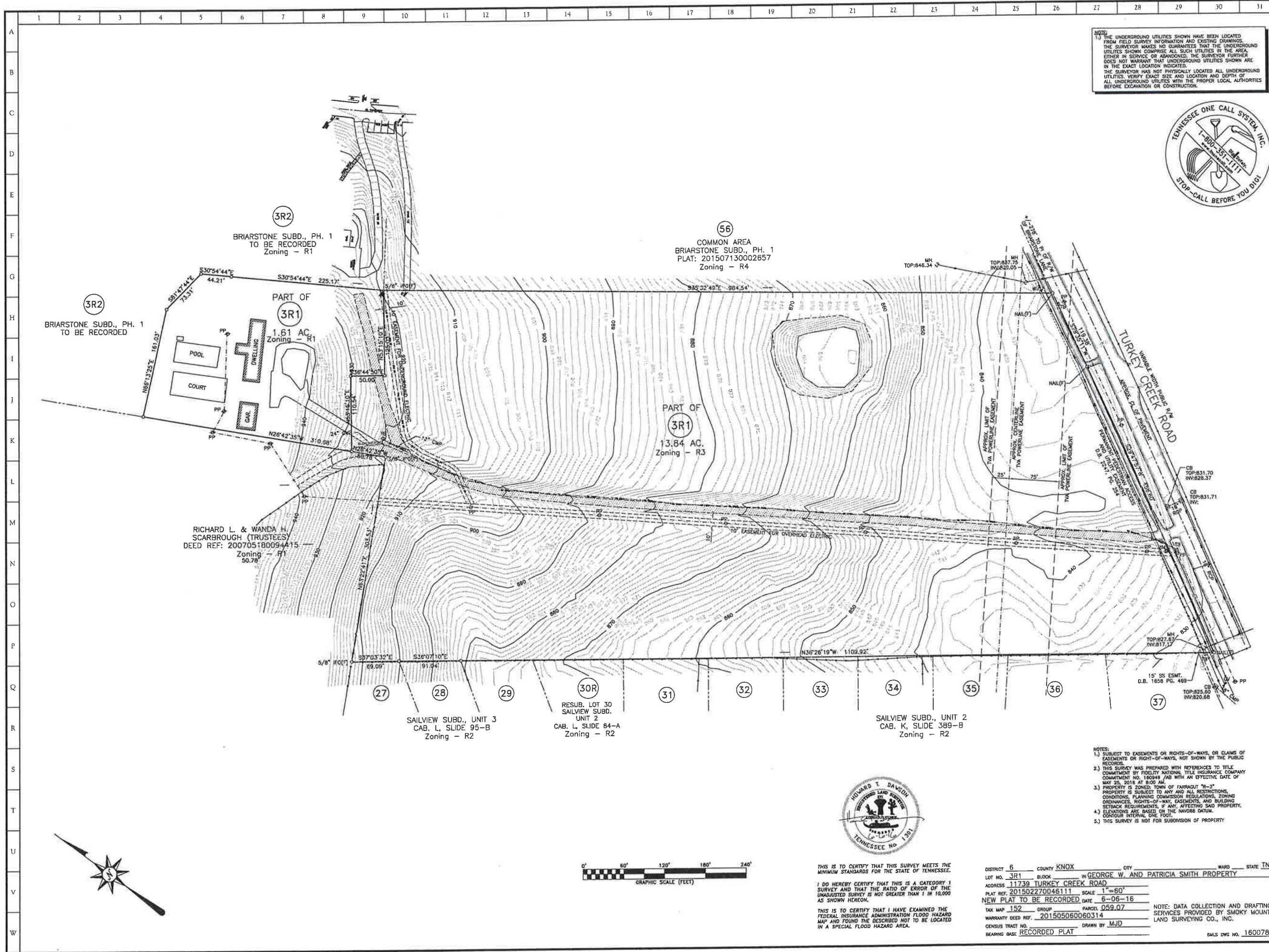
- 37) Please submit an erosion control letter of credit in the amount of \$101,000;
a. Erosion control letter of credit shall be provided.
- 38) Please submit a drainage fee of \$1080.
a. Shall be provided.

Please let us know if any of our responses are unclear or if you need additional information.

Sincerely,

A handwritten signature in blue ink, appearing to read "Ryan M. Estabrooks".

Ryan M. Estabrooks, P.E.
SITE, Incorporated



SITE INCORPORATED
Civil Engineers & Surveyors
10215 Technology Drive, Suite 304 Knoxville, TN 37932
Phone: (865) 777-4166 Fax: (865) 777-4199

Boundary and Topographic Survey

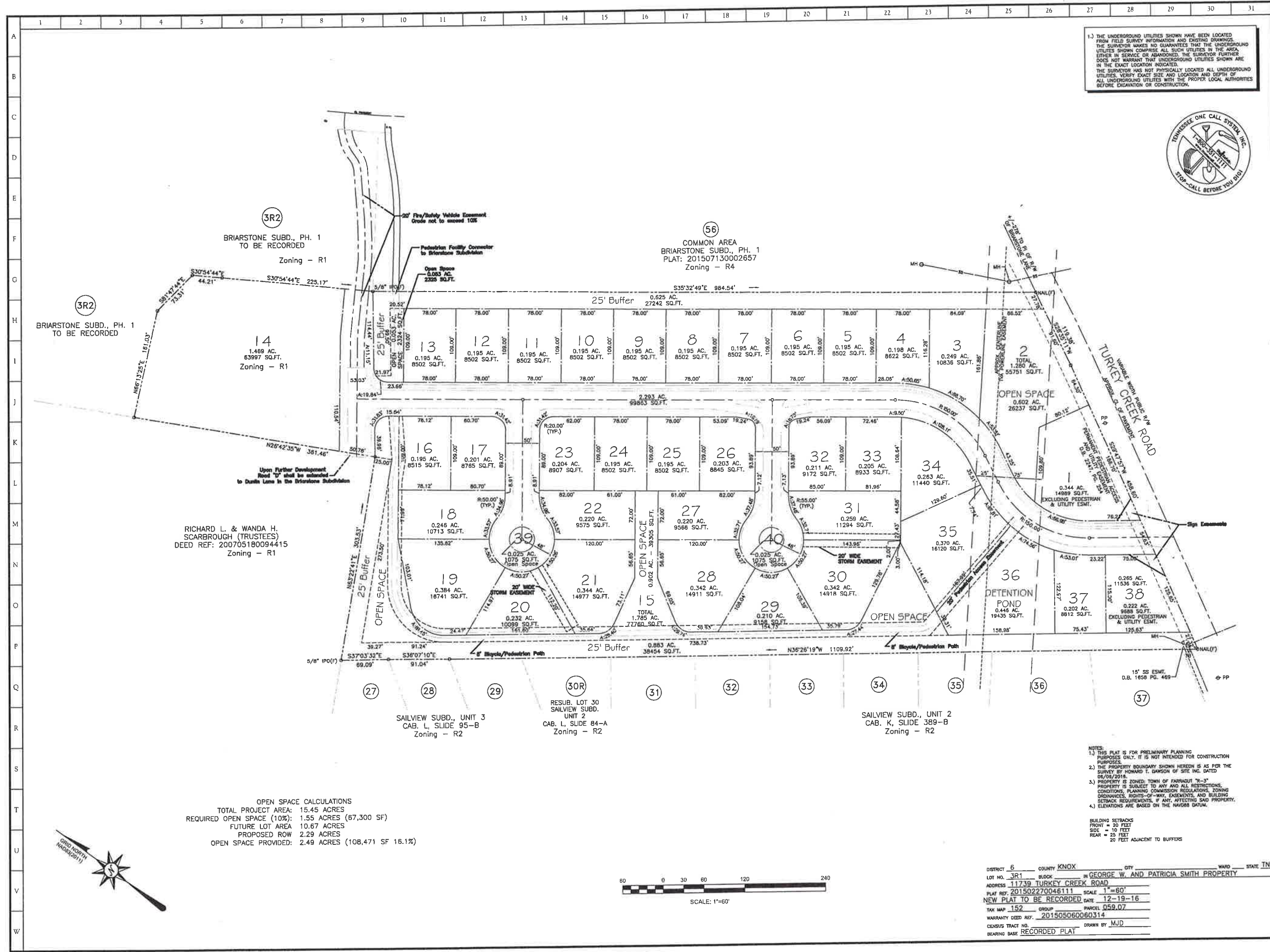
Easton Park
11739 Turkey Creek Road
Farragut, Tennessee
Belle Investment Company Inc

RECEIVED
JAN 10 2017
TOWN OF FARRAGUT

DR-1 W/V BY: MJD DATE: 06/06/2016
CHECKED BY: LTD FILE: 1925 Survey

REVISIONS	
NO.	DATE COMMENTS
1	10/10/16 Per LCT Review

C-1
SHEET 2 OF 2



1.) THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THE SURVEYOR HAS NOT PHYSICALLY LOCATED ALL UNDERGROUND UTILITIES. VERIFY EXACT SIZE AND LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES WITH THE PROPER LOCAL AUTHORITIES BEFORE EXCAVATION OR CONSTRUCTION.



SITE INCORPORATED
Civil Engineers & Surveyors
Knoxville, TN 37912
10315 Technology Drive, Suite 304
Phone: (605) 777-4166 Fax: (605) 777-4189



Preliminary Subdivision Plat - Lot Layout
Easton Park
11739 Turkey Creek Road
Farragut, Tennessee
HFTC Partnership, GP

RECEIVED
JAN 10 2017
TOWN OF FARRAGUT

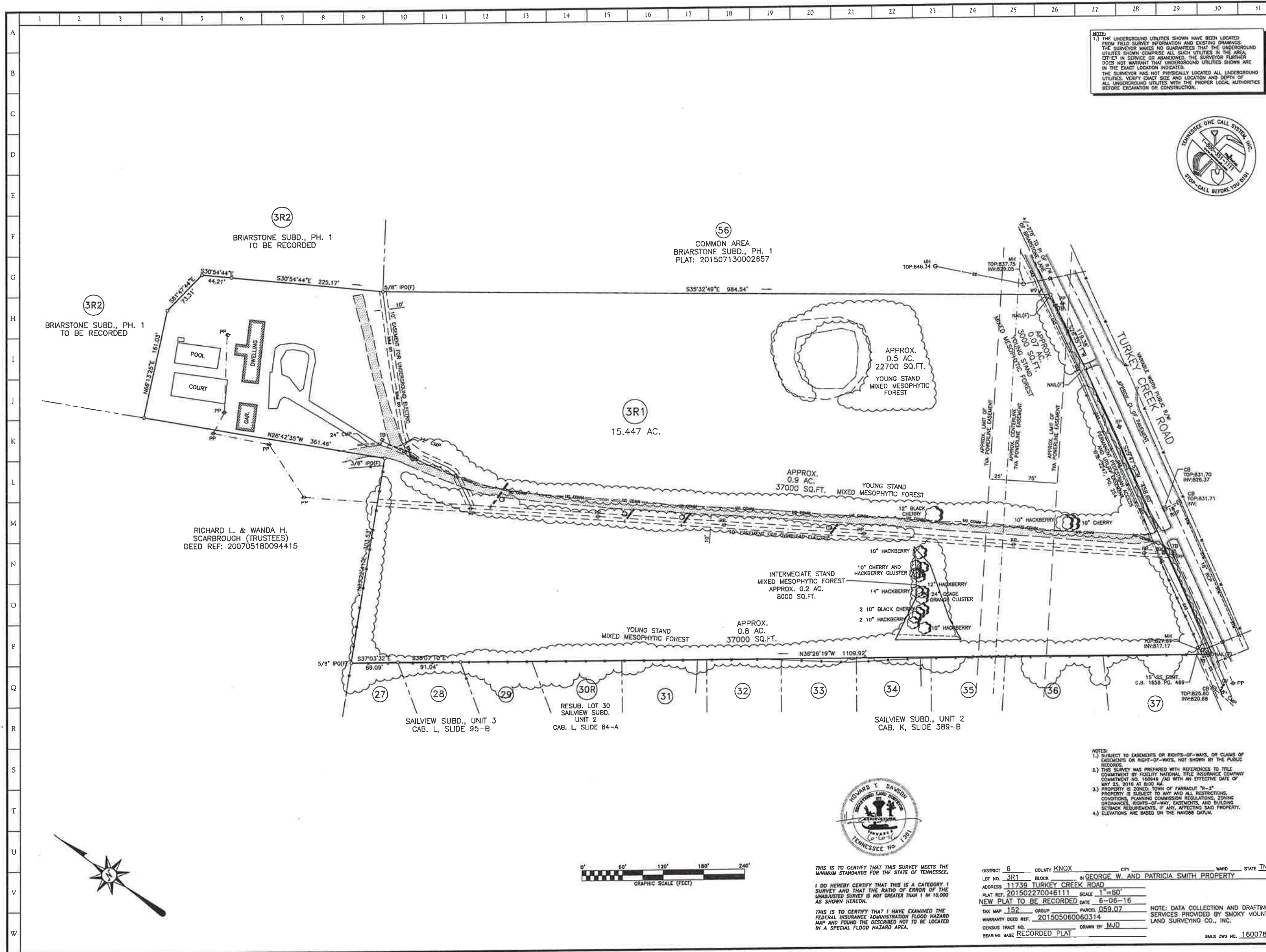
OPEN SPACE CALCULATIONS
TOTAL PROJECT AREA: 15.45 ACRES
REQUIRED OPEN SPACE (10%): 1.55 ACRES (67,300 SF)
FUTURE LOT AREA 10.67 ACRES
PROPOSED ROW 2.29 ACRES
OPEN SPACE PROVIDED: 2.49 ACRES (108,471 SF 16.1%)

NOTES:
1.) THIS PLAT IS FOR PRELIMINARY PLANNING PURPOSES ONLY. IT IS NOT INTENDED FOR CONSTRUCTION PURPOSES.
2.) THE PROPERTY BOUNDARY SHOWN HEREON IS AS PER THE SURVEY BY HOWARD T. DAWSON OF SITE INC. DATED 06/08/2016.
3.) PROPERTY IS ZONED: TOWN OF FARRAGUT "R-3". PROPERTY IS SUBJECT TO ANY AND ALL RESTRICTIONS, CONDITIONS, PLANNING COMMISSION REGULATIONS, ZONING ORDINANCES, RIGHTS-OF-WAY, EASEMENTS, AND BUILDING SETBACK REQUIREMENTS, IF ANY, AFFECTING SAID PROPERTY.
4.) ELEVATIONS ARE BASED ON THE NAVD83 DATUM.

BUILDING SETBACKS
FRONT = 20 FEET
SIDE = 10 FEET
REAR = 25 FEET
20 FEET ADJACENT TO BUFFERS

DISTRICT 6 COUNTY KNOX CITY _____ WARD _____ STATE TN
LOT NO. 3R1 BLOCK _____ IN GEORGE W. AND PATRICIA SMITH PROPERTY
ADDRESS 11739 TURKEY CREEK ROAD
PLAT REF. 201502270046111 SCALE 1"=60'
NEW PLAT TO BE RECORDED DATE 12-19-16
TAX MAP 152 GROUP PARCEL Q59.07
WARRANTY DEED REF. 201505060060314
CENSUS TRACT NO. _____ DRAWN BY MJD
BEARING BASE RECORDED PLAT

C1.1
SHEET 3 OF 18



SITE
INCORPORATED
Civil Engineers & Surveyors
Knoxville, TN 37932
10215 Technology Drive, Suite 304
Phone: (865) 771-4160
Fax: (865) 771-4159

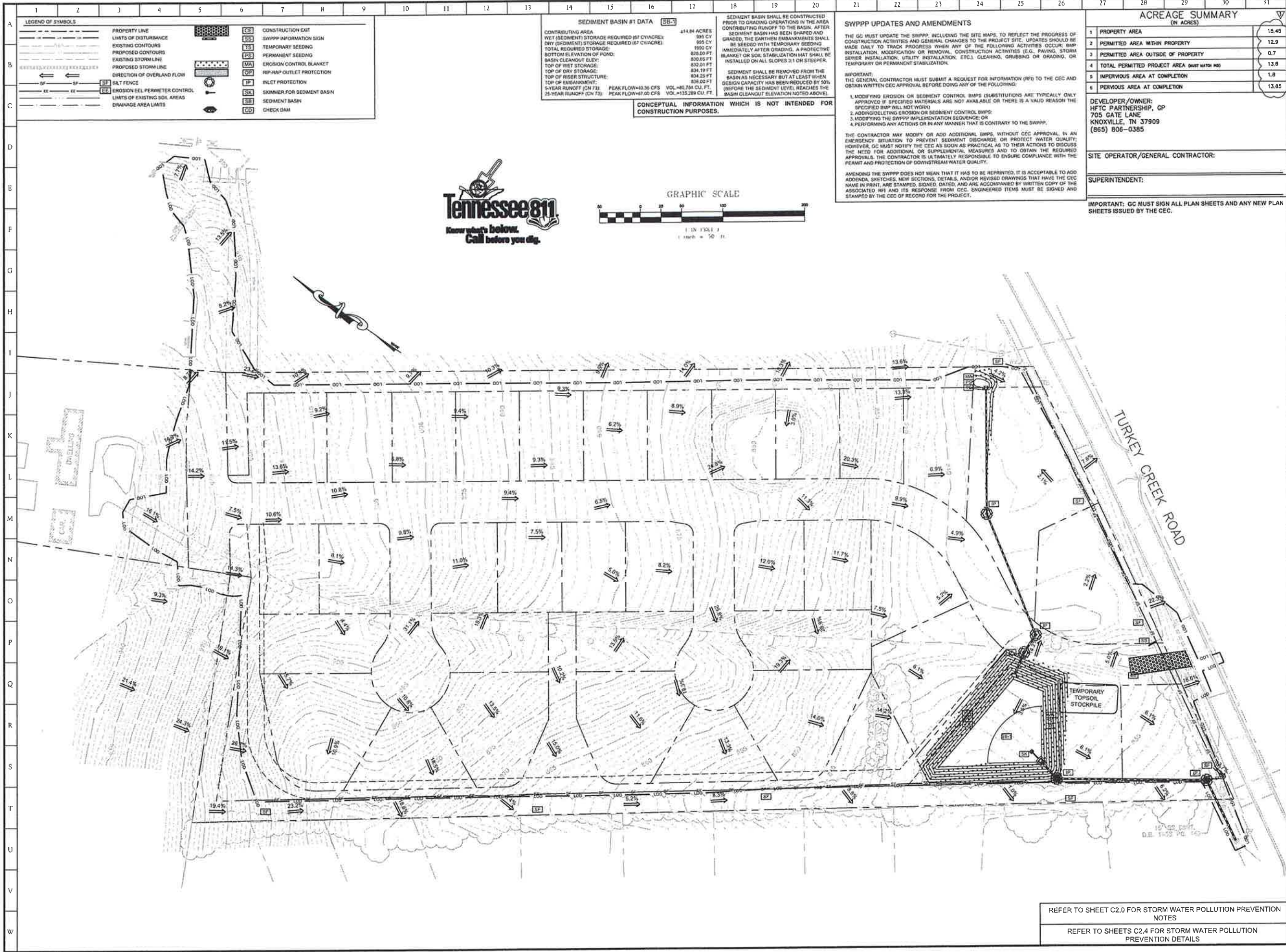
Tree Survey
Easton Park
11739 Turkey Creek Road
Farragut, Tennessee
Belle Investment Company Inc.

RECEIVED
JAN 10 2017
TOWN OF FARRAGUT

DRAWN BY:	MJD	DATE:	06/06/2016
CHECKED BY:	HTD	FILE:	1925 Trees
REVISIONS			
NO.	DATE	COMMENTS	
1	03/03/16	Per TCF Review	

C2.0
SHEET 1 OF 10

DISTRICT 6 COUNTY KNOX CITY _____ WARD _____ STATE TN
LOT NO. 3R1 BLOCK _____ IN GEORGE W. AND PATRICIA SMITH PROPERTY
ADDRESS 11739 TURKEY CREEK ROAD
PLAT REF. 201502270046111 SCALE 1"=60'
NEW PLAT TO BE RECORDED DATE 6-06-16
TAX MAP 152 GROUP PARCEL 059.07
WARRANTY DEED REF. 201505060060314
CENSUS TRACT NO. _____ DRAWN BY MJD
BEARING BASE RECORDED PLAT
NOTE: DATA COLLECTION AND DRAFTING SERVICES PROVIDED BY SMOKEY MOUNTAIN LAND SURVEYING CO., INC.
SMLS DWG NO. 160078



SITE
INCORPORATED
Civil Engineers & Surveyors
Knoxville, TN 37932
Phone: (865) 777-4189
Fax: (865) 777-4160
10215 Technology Drive, Suite 304
Knoxville, TN 37932



Stormwater Pollution Prevention Plan - Phase II

Easton Park
11739 Turkey Creek Road
Farragut, Tennessee
HFTC Partnership, GP

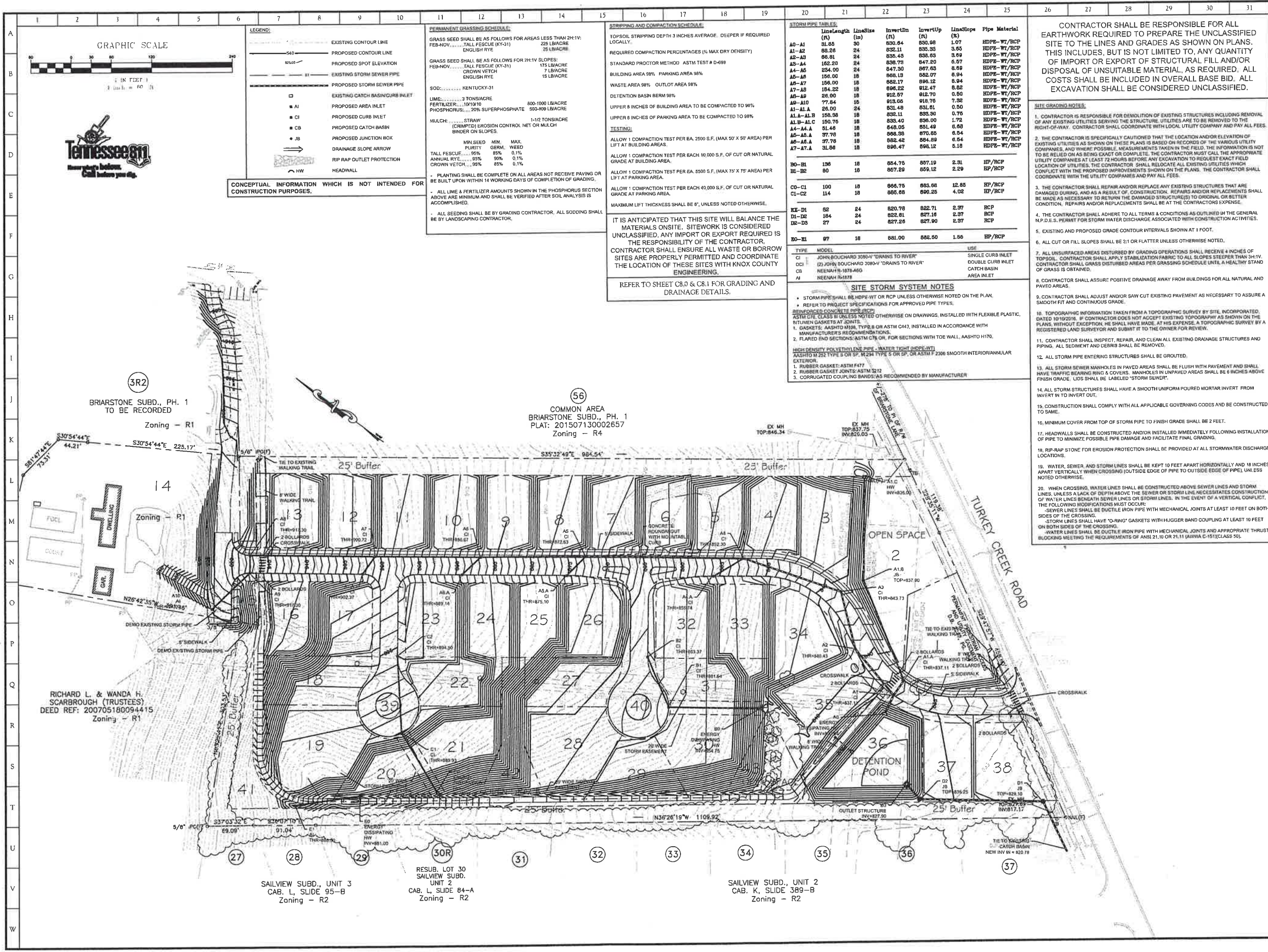
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JAN 10 2017
TOWN OF FARRAGUT

DRA W N BY: <u> </u> DGB <u> </u> DATE: <u>12/19/16</u>		
CHECKED BY: <u> </u> RME <u> </u> FILE: <u>1926 SWPPP</u>		
REVISIONS		
NO.	DATE	COMMENTS
1	12/20/16	Revised per Town of Farragut Comments
2	01/09/17	TOP COMMENTS

REFER TO SHEET C2.0 FOR STORM WATER POLLUTION PREVENTION NOTES

REFER TO SHEETS C2.4 FOR STORM WATER POLLUTION PREVENTION DETAILS

C2.3
SHEET 7 OF 9



SITE INCORPORATED
Civil Engineers & Surveyors
10215 Technology Drive, Suite 304
Knoxville, TN 37932
Phone: (865) 777-4160
Fax: (865) 777-4189

Site Grading Plan

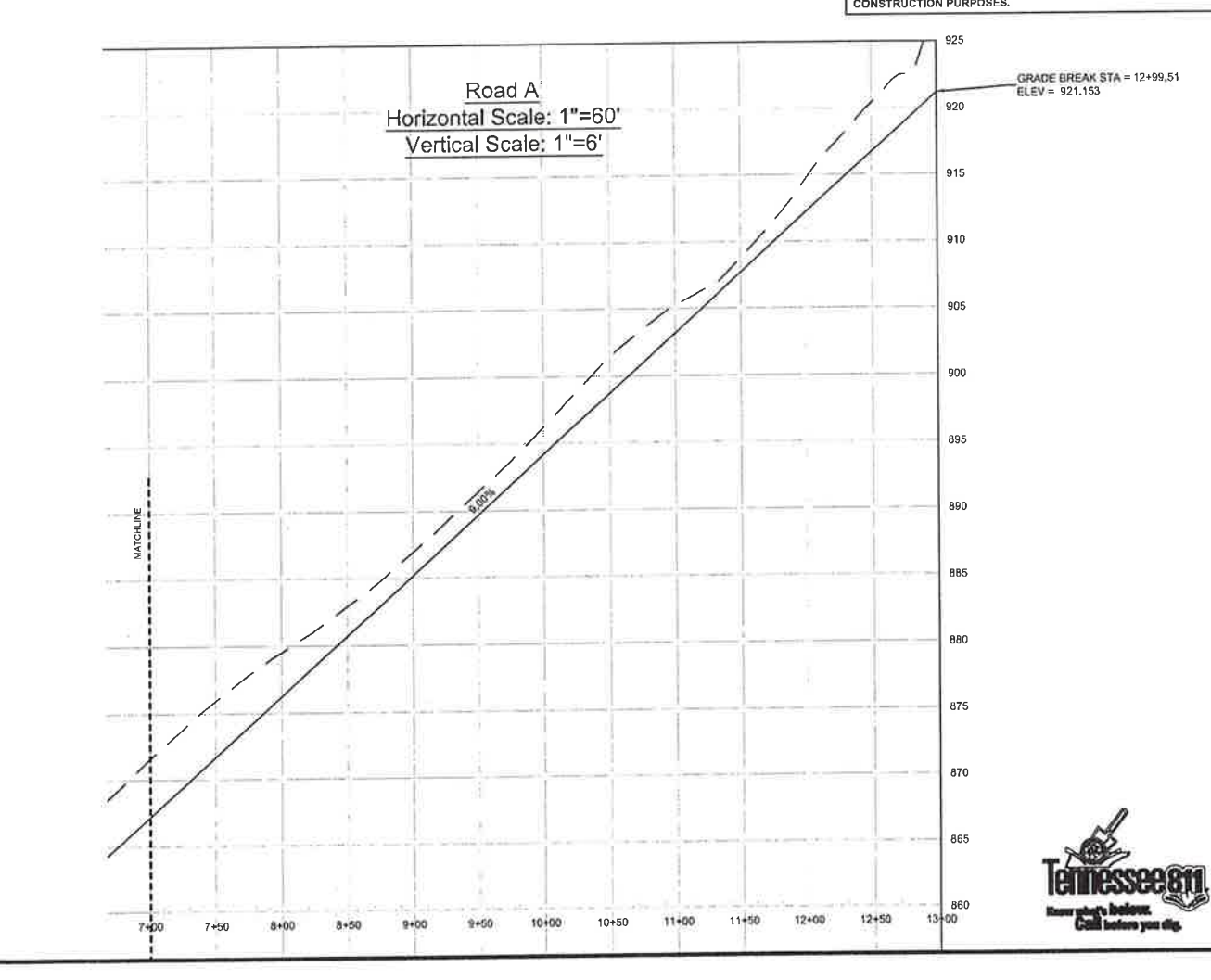
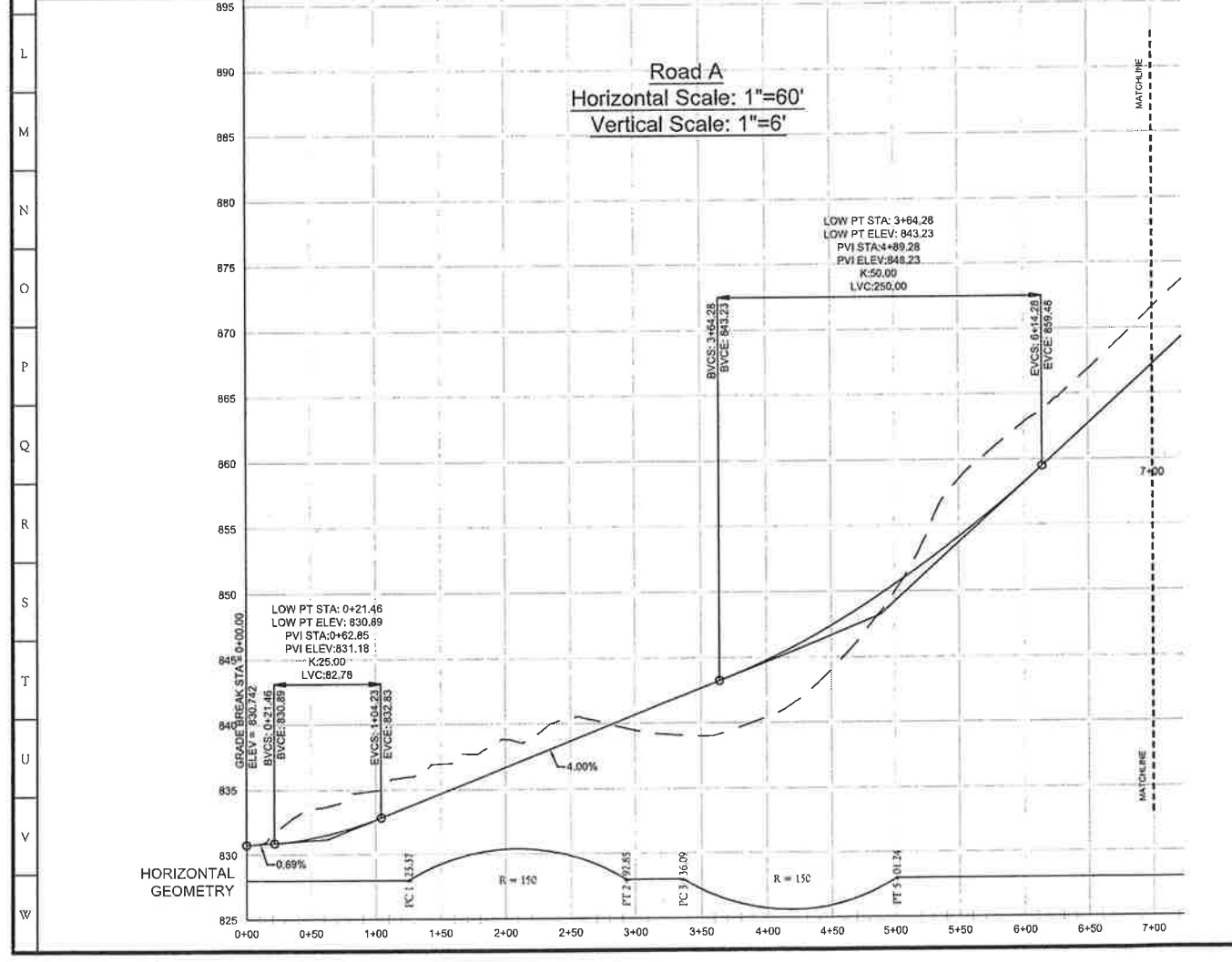
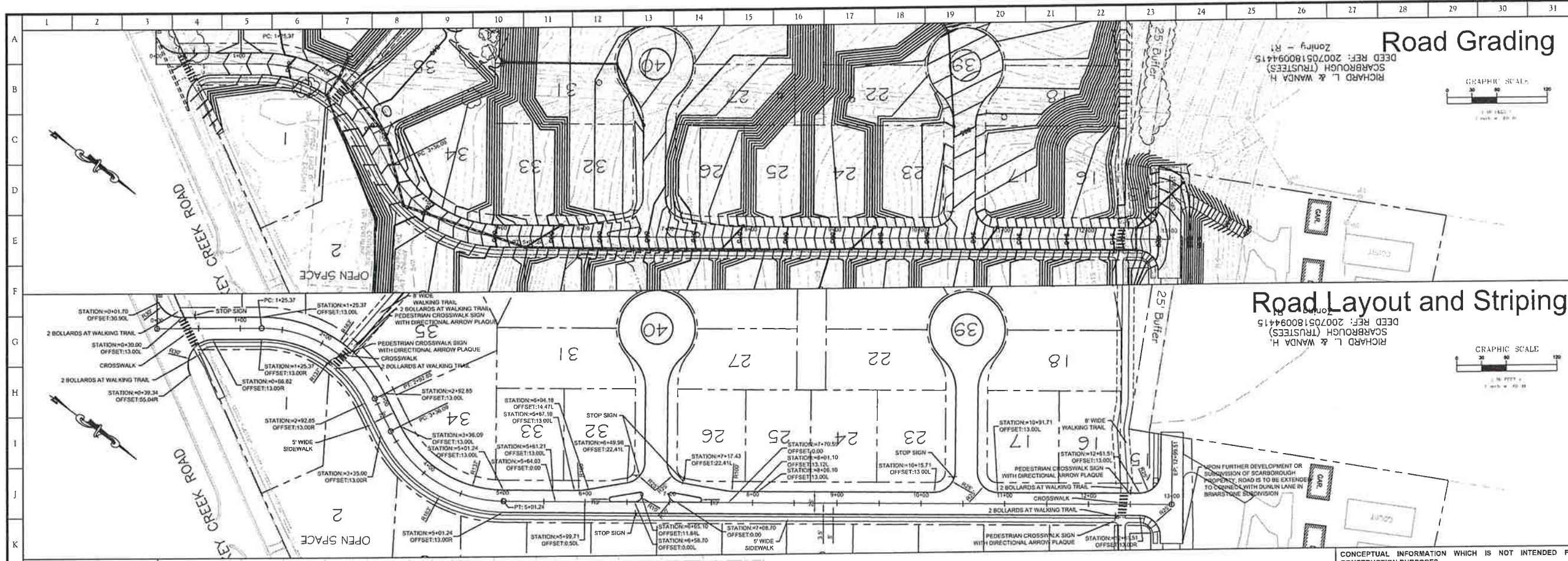
Easton Park
11739 Turkey Creek Road
Farragut, Tennessee
HFTC Partnership, GP

RECEIVED
JAN 10 2017
TOWN OF FARRAGUT

DRAWN BY: JAE
 CHECKED BY: DOR
 DATE: 12/19/2016
 FILE: 1826C3.0

REVISIONS	
NO.	DATE
1	01/09/17
2	01/09/17

C3.0



SITE
INCORPORATED
Civil Engineers & Surveyors
10215 Technology Drive, Suite 304
Knoxville, TN 37932
Phone: (865) 777-4160
Fax: (865) 777-4199

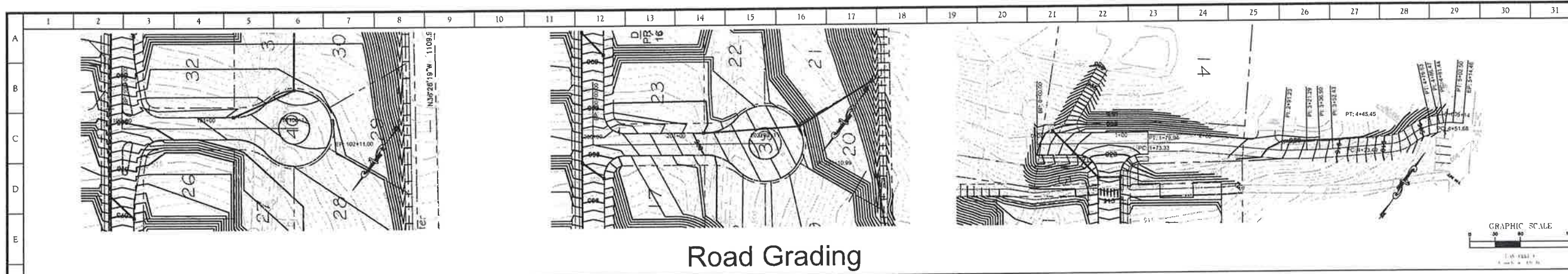


Site Road Profiles
Easton Park
11739 Turkey Creek Road
Farragut, Tennessee
HFTC Partnership, GP

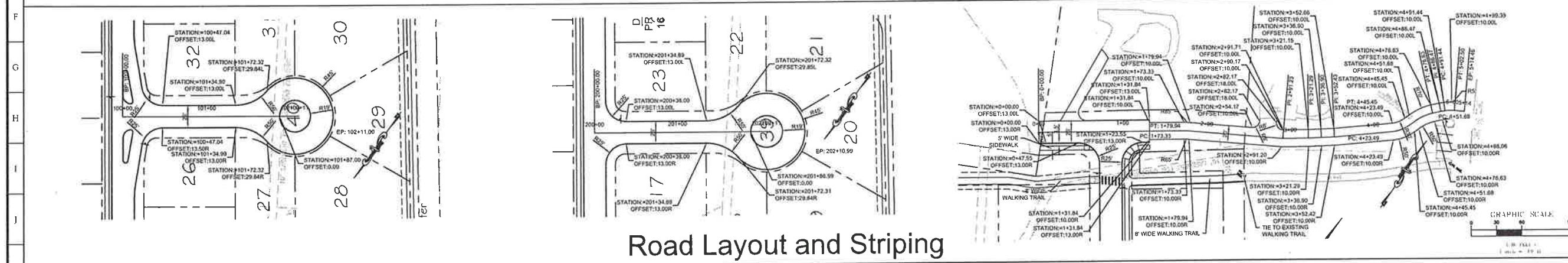
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DRAWN BY: JAE		DATE: 12/19/16
CHECKED BY: DOR		FILE: 1926 Grading
REVISIONS		
NO.	DATE	COMMENTS
1	01/07/17	TOP COMMENTS

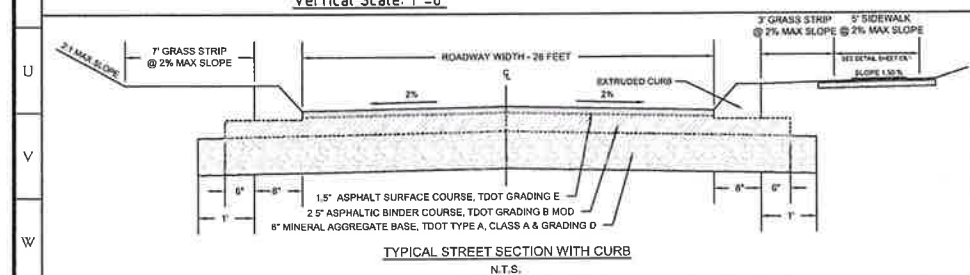
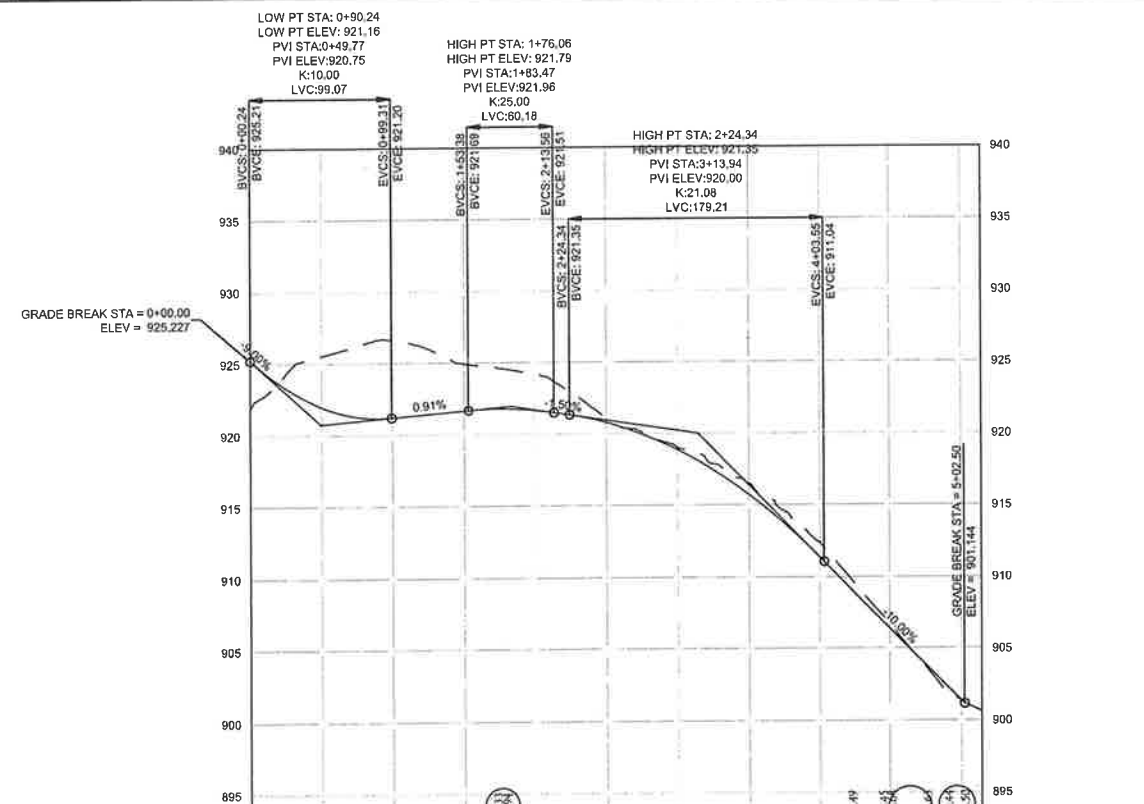
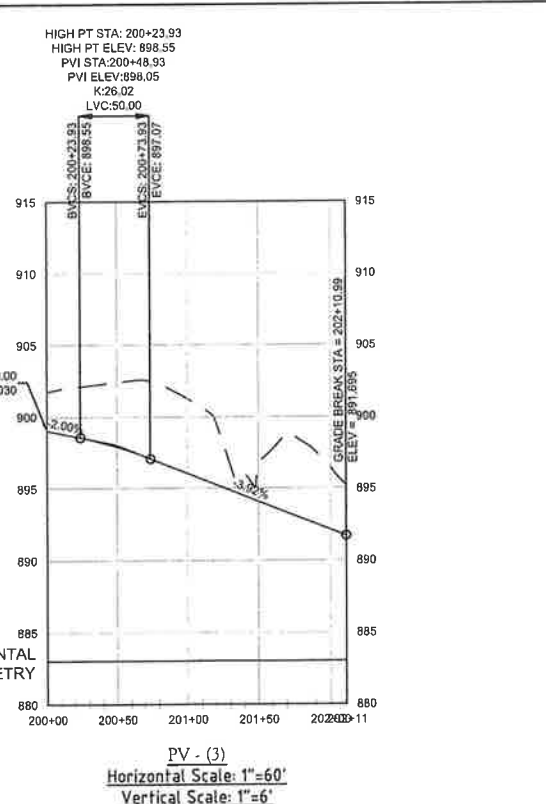
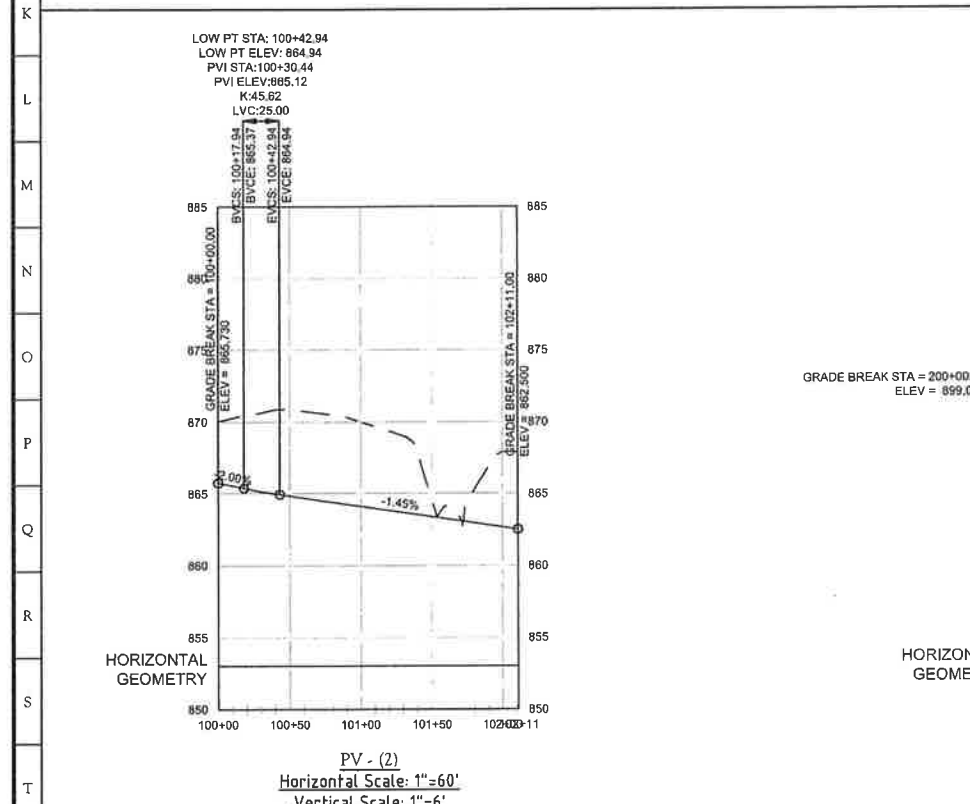
C4.0
SHEET 11 OF 18



Road Grading

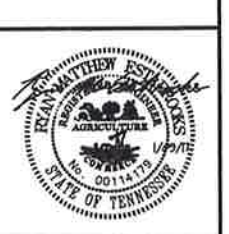


Road Layout and Striping



TYPICAL STREET SECTION WITH CURB
N.T.S.

SITE INCORPORATED
Civil Engineers & Surveyors
10215 Technology Drive, Suite 304
Knoxville, TN 37932
Phone: (865) 777-4160 Fax: (865) 777-4189



Site Road Profiles
Easton Park
11739 Turkey Creek Road
Farragut, Tennessee
HFTC Partnership, GP

RECEIVED
JAN 10 2017
TOWN OF FARRAGUT

DRAWN BY:	JAE	DATE:	12/19/16
CHECKED BY:	DOR	FILE:	1926 Grading
REVISIONS			
NO.	DATE	COMMENTS	
1	12/20/16	Revised per Town of Farragut Comments	
2	01/09/17	TOF COMMENTS	



CONCEPTUAL INFORMATION WHICH IS NOT INTENDED FOR CONSTRUCTION PURPOSES.

C4.1
SHEET 12 OF 18

MEETING DATE: January 19, 2017

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Ashley Miller, Assistant Community Development Director

SUBJECT: Discussion and public hearing on a preliminary plat for Peterson Road Extension, Parcels 69 and 69.01, Tax Map 142, located off of Kingston Pike, 2.75 Acres (Goodworks Unlimited, LLC, Applicant)

INTRODUCTION AND BACKGROUND: This preliminary plat involves the grading, utility, and public infrastructure associated with the extension of Peterson Road into the property that will be developed as the Villages of Farragut Senior Living Community.

DISCUSSION: The property bisected by the proposed extension of Peterson Road as well as the property that will become the Villages of Farragut were recently rezoned so that the lots that would be created in association with this extension would be developable.

At this point, the existing Peterson Road on the south side of Kingston Pike is shown as a local collector on the Major Road Plan. The extension of Peterson Road on the north side of Kingston Pike will also be treated as a local collector which provides for a 50 foot right of way and pedestrian facilities along each side of the street with a 6 foot grass strip separation between the pedestrian facility and the street. In addition, the staff has questioned that in an effort to make a more developable lot, Lots 2A and 3A should be combined. Due to the proposed configuration of both lots, combining the two would provide for a more developable area.

RECOMMENDATION: Since the applicant has proposed a walking trail on the east side of Peterson Road extension and no facility on the west side, a variance to the subdivision regulations will be needed as part of this plat since pedestrian facilities are required on both sides of a collector street. The applicant is proposing that pedestrian facilities along the west side of the extension be constructed as part of site plan developments on these parcels. In this manner, the pedestrian facilities can be better coordinated with the associated site developments.

Included in your packet are the staffs' comments on the initial plat. Also included is the revised plat that was submitted to address the staffs' initial comments. The staff will make a recommendation at the meeting based on whether the revised plat addresses the staffs' comments.



Civil Engineers

January 9, 2016

Mark Shipley
Town of Farragut
11408 Municipal Center Dr.
Farragut, TN 37934

Re: Staff comments on Preliminary Plat for the Extension of N. Peterson Road.

Dear Mark,

Please find attached our revised plans per staff comments dated 12/30/16. We have provided responses to staff comments below.

Fire Division: (Contact Dan Johnson at djohnson@townoffarragut.org)

- 1) Provide note "Fire hydrants shall provide 1000GPM at 20PSI";
Per our conversation water service and fire hydrants have been omitted. It will be the responsibility of the land owner to provide water and fire service at the time the properties develop. We have provided 2" water line to lots 2 and 3 for future connection. See sheet C5.0

Planning Division: (Contact Mark Shipley at mark.shipley@townoffarragut.org) or Ashley Miller at Ashley.miller@townoffarragut.org)

- 2) Please number all of the sheets in the submittal 1 of..., 2 of..., 3 of...;
Sheets have been properly numbered.
- 3) Please number the open space lots and show the open space calculations in a plat note. Please be aware that the 10% open space shall be calculated based on the acreage of the entire subdivision. A landscaped median would count toward satisfying this requirement;
The open space lots have been numbered. The area included in the calculations is the proposed N Peterson Rd right-of-way, all of Lots 2, 3, 4, and the portion of Lot 3R1 that is zoned O-1. See sheets C1.0 and C4.0. The open space area is shown in a preliminary plat note on sheet C1.0 and in a table on sheet C4.0.
- 3) Please have the electrical engineer provide more detail related to the lenses for the proposed lighting fixture;
A note regarding the lenses has been added. See sheet E1.0.
- 4) In an effort to make a more developable lot, staff would recommend combining Lots 2A and 3A;
The landowner wishes to maintain the 2 separate lots at this time.
- 5) On the Village of Farragut site plan, the walking trail is shown to be extended to the north to Baldwin Park. Do you wish to include the platting of that easement on this preliminary plat or will you be submitting a separate plat for that section of the walking trail?
We will submit a separate plat for all required easements on the Villages of Farragut property.

- 6) A general note has been added to the preliminary plat related to the property not being located in a special flood hazard area “per current FIRM map.” Please reference to the FIRM panel and effective date within the note that was utilized to make this assessment;
FIRM panel and date have been added the note. See sheet C1.0.
- 7) To provide for a landscaped and more visually appealing entrance into the development please include a landscaped boulevard (as was approved on the concept plan). An inverted median with a landscaped bioswale should be given consideration as a unique and functional entrance element;
We are providing a boulevard with a grassed median. See sheets C3.0, C3.1 and C4.0
- 8) At a minimum, Peterson Road will be a local collector at this time. The right of way is 50 feet for this street classification;
Right-of-way shown is a minimum of 50’.
- 9) Prior to the issuance of a grading permit FUD must sign off on the utility plans;
We will work with FUD to gain plan approval. Sheet C5.0
- 10) Please note that setbacks shall be in accordance with the Farragut Zoning Ordinance based on the individual zoning district. Please remove setback information associated with buffer strips;
Buffer strip information has been removed.
- 11) Please provide the correct tax map and parcel information for all affected tracts, this includes the future Villages of Farragut property;
Tax map and parcel information can be found on sheet C1.0.
- 12) The lots should be numbered in numerical order, please renumber and remove the “A” and “B” associated with several of the proposed lot numbers, as the new lots will be created as a result of the final plat that will be based on the lots shown on the preliminary plat;
Lots have been renumbered. See sheet C1.0.
- 13) Please provide a tree protection plan for the trees to remain;
Tree Protection Plan has been provided. See Sheet C2.0.
- 14) Please revise the road cross-section to reflect the walking trail width;
Road cross sections have been revised to reflect the walking trail width. See sheet C3.1.

Engineering Division: (Contact Darryl Smith at Darryl.smith@townoffarragut.org)

- 15) Please submit the erosion control plan (SWPPP);
Erosion control plans will be submitted with the Villages of Farragut Site Plan submittal since the erosion control for two projects must function together.
- 16) The Drainage calculations do not match detail of outfall structure. Please check the orifice and weir size/elevations;
The outfall structure detail has been revised to match the drainage calculations. See sheet C8.0.
- 17) Typical section should show median, along with details of curb. Will lane width be 13’ from curb to curb? With median, staff would prefer 6-30 curb & gutter on outside edges, in order to provide additional width. Will sidewalk be constructed on easements, or right of way? Typical should show sidewalk cross slope as “2% maximum” to avoid issues with ADA compliance. Suggest “1.5% (2% max.)”;

The cross sections have been revised to show the various conditions. We have indicated a cross slope of 1.50% in the typical cross sections. The property owner would prefer to construct the 8" extruded curb. See sheet C3.1.

- 18) The Traffic Control plan continues to show stop sign on Peterson Road at Ingles' entrance. Has this been determined to be the best option by a traffic engineer?;

The sign shown is a "Do Not Block Intersection" sign. We have removed the stop bar. See sheet C4.0.

- 19) The area of disturbance appears to be approximately 2.2 acres. Please submit an erosion control Letter of Credit for \$16,000;

I calculate the area of disturbance for this portion of the project to be 2.4 acres.

- 21) The drainage fee will be calculated at the time of review of each of the lots;

- 22) Please submit the NOC.

We intend to submit 1 NOI that will combine both the N Peterson Road Extension and Villages of Farragut. We will submit a copy of the NOC when we receive it.

Please let us know if any of our responses are unclear or if you need additional information.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Annette Hommel', with a stylized flourish at the end.

Annette Hommel, P.E.



LEGEND:	
	EXISTING PROPERTY LINE TO BE REMOVED
	PROPERTY LINE
	ZONING LINE
	8" EXTRUDED CURB
	PROPOSED STORM PIPE
	EXISTING WET WEATHER CONVEYANCE
	EXISTING STORM PIPE
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING GAS LINE
	EXISTING OVERHEAD ELEC-TELEPHONE-CABLE
	EXISTING OVERHEAD ELECTRIC

CURVE TABLE				
CURVE	LENGTH	RADIUS	BEARING	CHORD
C1	33.35'	20.00'	N 14°14'24" E	29.62'
C2	17.90'	13.00'	S 72°59'04" E	16.52'
C3	29.44'	20.00'	S 73°42'00" E	26.85'

LINE TABLE		
LINE	BEARING	LENGTH
L1	N 57°42'05" E	51.53'
L2	S 46°16'51" E	68.07'
L3	N 33°32'00" W	91.84'
L4	S 62°07'41" W	1.93'
L5	S 62°38'34" W	25.57'
L6	S 61°44'06" W	84.79'
L7	S 62°00'48" W	0.18'

BUILDING SETBACKS:

ZONE O-1:
FRONT - 70'
REAR - 30'
SIDE - COMBINED TOTAL OF 50', BUT NO LESS THAN 20' ON EITHER SIDE

ZONE C-1:
FRONT - 80'
REAR - 30'
SIDE - COMBINED TOTAL OF 60', BUT NO LESS THAN 20' ON EITHER SIDE

ZONE S-1:
FRONT - 20'
SIDE AND REAR - 50' ADJACENT TO RESIDENTIAL OR AGRICULTURAL AND 25' ADJACENT TO NON-RESIDENTIAL OR NON-AGRICULTURAL. FREESTANDING INDEPENDENT AND CATERED LIVING BUILDINGS MAY BE 35' FROM THE PERIPHERY OF AN ADJUTING RESIDENTIAL OR AGRICULTURE ZONING DISTRICT.

DISTRICT: FW
CLT MAP: 142
PARCELS: 089.01, 089.02 & 089.00
TEMP. ADDRESS: 11863 KINGSTON PIKE
ACREAGE: 20.231 ACRES TOTAL
RIGHT OF WAY DEDICATION: 1.161 AC.
TOTAL LOTS: 4

NOTE: THE PURPOSE OF THIS PLAT IS:
- DEDICATE RIGHT-OF-WAY FOR PETERSON ROAD EXTENSION SHOWN HEREIN.
- CREATE LOTS OF RECORD 1, 2A, 2B, AND 3A AS SHOWN.
- ESTABLISHED OPEN SPACES AND STORM PIPE AND DETENTION BASIN EASEMENTS AS SHOWN.

- OPEN SPACE CALCULATIONS:
(EXCLUDING LOT 1)
SUBD. AREA: 337899 SQ.FT.
OPEN SPACE REQUIRED: 33789 SQ.FT.
OPEN SPACE PROVIDED: 33777 SQ.FT.

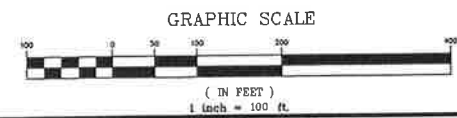
NOTE: PROPERTY IS NOT LOCATED WITH A SPECIAL FLOOD HAZARD AREA PER CURRENT FEMA FIRM MAP, MAP NO. 47093C0243G DATED 8-5-13 AND MAP NO. 47093C0356F DATED 5-2-07.

DEVELOPER:
GOODWORKS UNLIMITED, LLC
2202 JEFFERSON CT.
FRANKLIN, TN 37064
PHONE: 615-790-7041
CONTACT: GARY KECKLEY

PROPERTY OWNER:
PARCELS 089.00 & 089.01
HORNE DOUGLAS A & BRENDA P
PO BOX 31769
KNOXVILLE, TN 37930

PROPERTY OWNER:
PARCEL 089.02
FARRAGUT SENIOR CENTER
2202 JEFFERSON CT.
ATTN: GARY KECKLEY
FRANKLIN, TN 37064

ENGINEERS:
SITE, INCORPORATED
10215 TECHNOLOGY DRIVE
SUITE 304
KNOXVILLE, TN 37932
PHONE: 605-777-4160



SITE
INCORPORATED
Civil Engineers & Surveyors
Knoxville, TN 37932
10215 Technology Drive, Suite 304
Phone: (605) 777-4160
Fax: (605) 777-4169



N. Peterson Road Preliminary Plat

N. Peterson Road Extension

TOWN OF FARRAGUT TO NAO

N. Peterson Road
Farragut, Tennessee

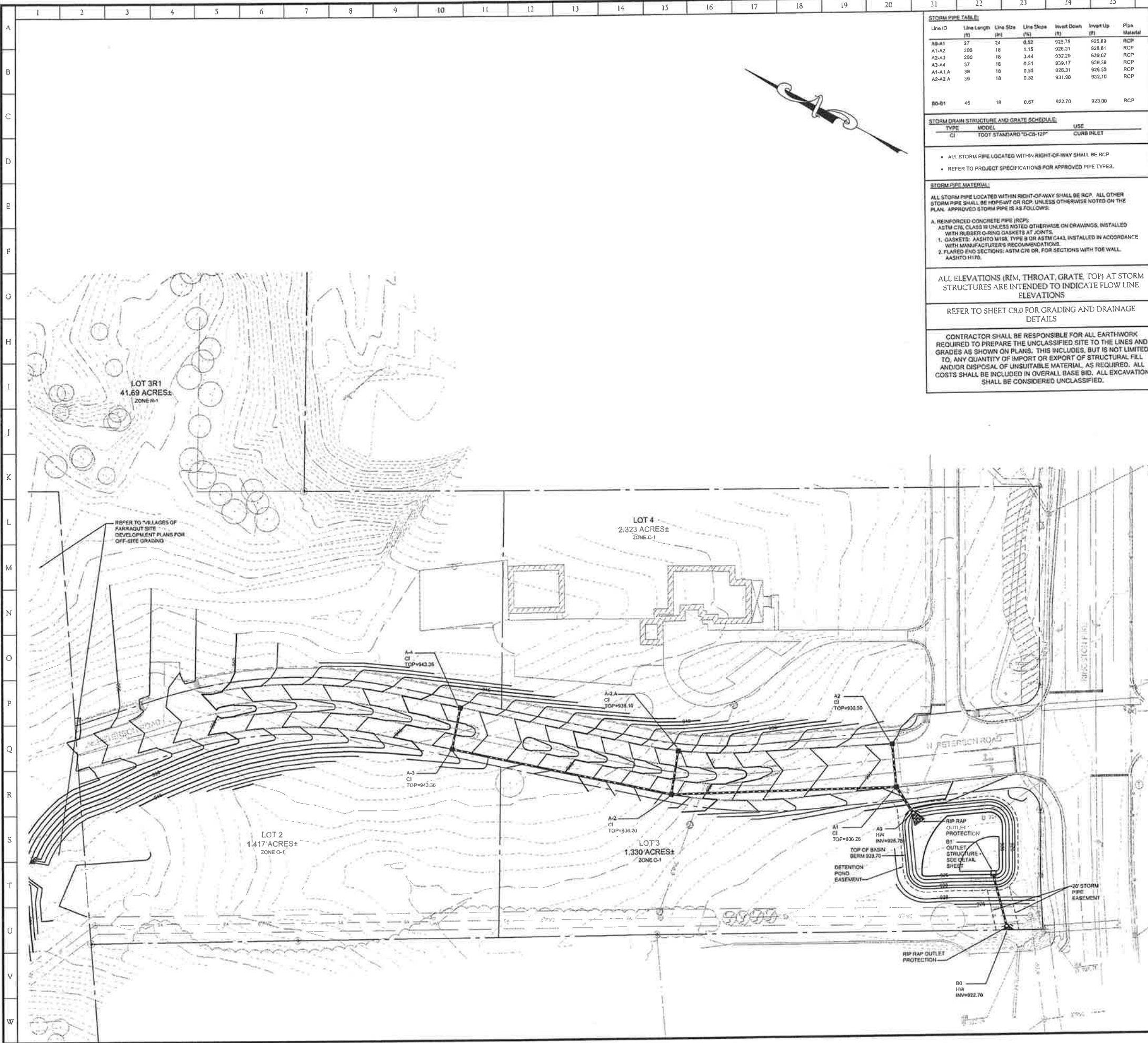
JAN 10 2017

1/24-1/24/2016 BY: DGB		1/24/16		09/19/2016	
CHECKED BY: ACH		FILE: 1921		Prelim Plat.	
REVISIONS					
NO.	DATE	COMMENTS	BY	CHKD	APPD
1	09/20/2016	Revised per Town of Farragut comments			
2	12/19/16	Revised per Town Comments			
3	01/09/17	Revised per Town Comments			

C1.0

SHEET 2 OF 10

RECEIVED



STORM PIPE TABLE:					
Line ID	Line Length (ft)	Line Size (in)	Line Slope (%)	Invert Down (ft)	Invert Up (ft)
AB-A1	27	24	0.52	925.75	925.88
A1-A2	200	18	1.15	928.31	928.81
A2-A3	200	18	3.44	932.29	939.07
A3-A4	37	18	0.51	939.17	938.36
A1-A1.A	38	18	0.50	928.31	928.50
A2-A2.A	39	18	0.52	931.00	932.10
BO-B1	45	18	0.67	922.70	923.00

STORM DRAIN STRUCTURE AND GRATE SCHEDULE:		
TYPE	MODEL	USE
CI	TOOT STANDARD 12-CB-12P	CURB INLET

- ALL STORM PIPE LOCATED WITHIN RIGHT-OF-WAY SHALL BE RCP.
- REFER TO PROJECT SPECIFICATIONS FOR APPROVED PIPE TYPES.

STORM PIPE MATERIAL:

ALL STORM PIPE LOCATED WITHIN RIGHT-OF-WAY SHALL BE RCP. ALL OTHER STORM PIPE SHALL BE HOPE-WT OR RCP, UNLESS OTHERWISE NOTED ON THE PLAN. APPROVED STORM PIPE IS AS FOLLOWS:

- REINFORCED CONCRETE PIPE (RCP): ASTM C76, CLASS B UNLESS NOTED OTHERWISE ON DRAWINGS, INSTALLED WITH RUBBER O-RING GASKETS AT JOINTS.
- GASKETS: ASHTO M158, TYPE B OR ASTM C443, INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- FLARED END SECTIONS: ASTM C76 OR, FOR SECTIONS WITH TIE WALL, ASHTO H170.

ALL ELEVATIONS (RIM, THROAT, GRATE, TOP) AT STORM STRUCTURES ARE INTENDED TO INDICATE FLOW LINE ELEVATIONS

REFER TO SHEET C8.0 FOR GRADING AND DRAINAGE DETAILS

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EARTHWORK REQUIRED TO PREPARE THE UNCLASSIFIED SITE TO THE LINES AND GRADES AS SHOWN ON PLANS. THIS INCLUDES, BUT IS NOT LIMITED TO, ANY QUANTITY OF IMPORT OR EXPORT OF STRUCTURAL FILL AND/OR DISPOSAL OF UNSUITABLE MATERIAL, AS REQUIRED. ALL COSTS SHALL BE INCLUDED IN OVERALL BASE BID. ALL EXCAVATION SHALL BE CONSIDERED UNCLASSIFIED.

STRIPPING AND COMPACTION SCHEDULE:

TOPSOIL STRIPPING DEPTH 3'-4" AVERAGE. DEEPER IF REQUIRED LOCALLY.

REQUIRED COMPACTION PERCENTAGES (% MAX DRY DENSITY)

STANDARD PROCTOR TEST METHOD: ASTM TEST # D-698

PAVED AREA 54%

TESTING:

ALLOW 1 COMPACTION TEST PER EA. 2500 S.F. (MAX 50' X 30' AREA) PER LIFT AT BUILDING AREAS.

ALLOW 1 COMPACTION TEST PER EACH 10,000 S.F. OF CUT OR NATURAL GRADE AT BUILDING AREA.

ALLOW 1 COMPACTION TEST PER EA. 5500 S.F. (MAX 75' X 75' AREA) PER LIFT AT PARKING AREA.

ALLOW 1 COMPACTION TEST PER EACH 40,000 S.F. OF CUT OR NATURAL GRADE AT PARKING AREA.

MAXIMUM LOOSE LIFT THICKNESS SHALL BE 8", UNLESS NOTED OTHERWISE.

- SITE GRADING NOTES:**
- CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY. CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITY COMPANY AND PAY ALL FEES.
 - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. THE CONTRACTOR SHALL RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANIES AND PAY ALL FEES.
 - THE CONTRACTOR SHALL REPAIR AND/OR REPLACE ANY EXISTING STRUCTURES THAT ARE DAMAGED DURING, AND AS A RESULT OF, CONSTRUCTION. REPAIRS AND/OR REPLACEMENTS SHALL BE MADE AS NECESSARY TO RETURN THE DAMAGED STRUCTURE(S) TO ORIGINAL OR BETTER CONDITION. REPAIRS AND/OR REPLACEMENTS SHALL BE AT THE CONTRACTOR'S EXPENSE.
 - THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL R.P.D.E.S. PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
 - EXISTING AND PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT.
 - ALL SLOPES SHALL BE 2:1 OR FLATTER UNLESS OTHERWISE NOTED.
 - ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATIONS SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL GRASS DISTURBED AREAS PER GRASSING SCHEDULE UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
 - CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
 - CONTRACTOR SHALL ADJUST AND/OR SAW CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS DRIVE.
 - TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PROVIDED BY THE OWNER. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
 - CONTRACTOR SHALL INSPECT, REPAIR, AND CLEAN ALL EXISTING DRAINAGE STRUCTURES AND PIPING. ALL SEDIMENT AND DEBRIS SHALL BE REMOVED.
 - ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED.
 - ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 8 INCHES ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER".
 - ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT.
 - CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
 - MINIMUM COVER FROM TOP OF PIPE TO FINISH GRADE SHALL BE 2 FEET.
 - HEADWALLS SHALL BE CONSTRUCTED AND/OR INSTALLED IMMEDIATELY FOLLOWING INSTALLATION OF PIPE TO MINIMIZE POSSIBLE PIPE DAMAGE AND FACILITATE FINAL GRADING.
 - RIP-RAP STONE FOR EROSION PROTECTION SHALL BE PROVIDED AT ALL STORMWATER DISCHARGE LOCATIONS.
 - WATER, SEWER, AND STORM LINES SHALL BE KEPT 10 FEET APART HORIZONTALLY AND 18 INCHES APART VERTICALLY WHEN CROSSING (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE), UNLESS NOTED OTHERWISE.
 - WHEN CROSSING, WATER LINES SHALL BE CONSTRUCTED ABOVE SEWER LINES AND STORM LINES, UNLESS A LACK OF DEPTH ABOVE THE SEWER OR STORM LINE NECESSITATES CONSTRUCTION OF WATER LINES BENEATH SEWER LINES OR STORM LINES. IN THE EVENT OF A VERTICAL CONFLICT, THE FOLLOWING MODIFICATIONS MUST OCCUR:
 - SEWER LINES SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF THE CROSSING.
 - STORM LINES SHALL HAVE "O-RING" GASKETS WITH HUGGER BAND COUPLING AT LEAST 10 FEET ON BOTH SIDES OF THE CROSSING.
 - WATER LINES SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AND APPROPRIATE THRUST BLOCKING MEETING THE REQUIREMENTS OF ANSI 21.10 OR 31.11 (AWWA C-151/CLASS 50).

LEGEND:	
	EXISTING CONTOUR LINE
	PROPOSED CONTOUR LINE
	EXISTING STORM SEWER PIPE
	PROPOSED STORM SEWER PIPE
	EXISTING CATCH BASIN/JUNCTION BOX
	PROPOSED CURB INLET
	PROPOSED HEADWALL
	RIP-RAP OUTLET PROTECTION



STEE INCORPORATED
Civil Engineers & Surveyors
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Knoxville, TN 37932
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Fax: (865) 777-4169

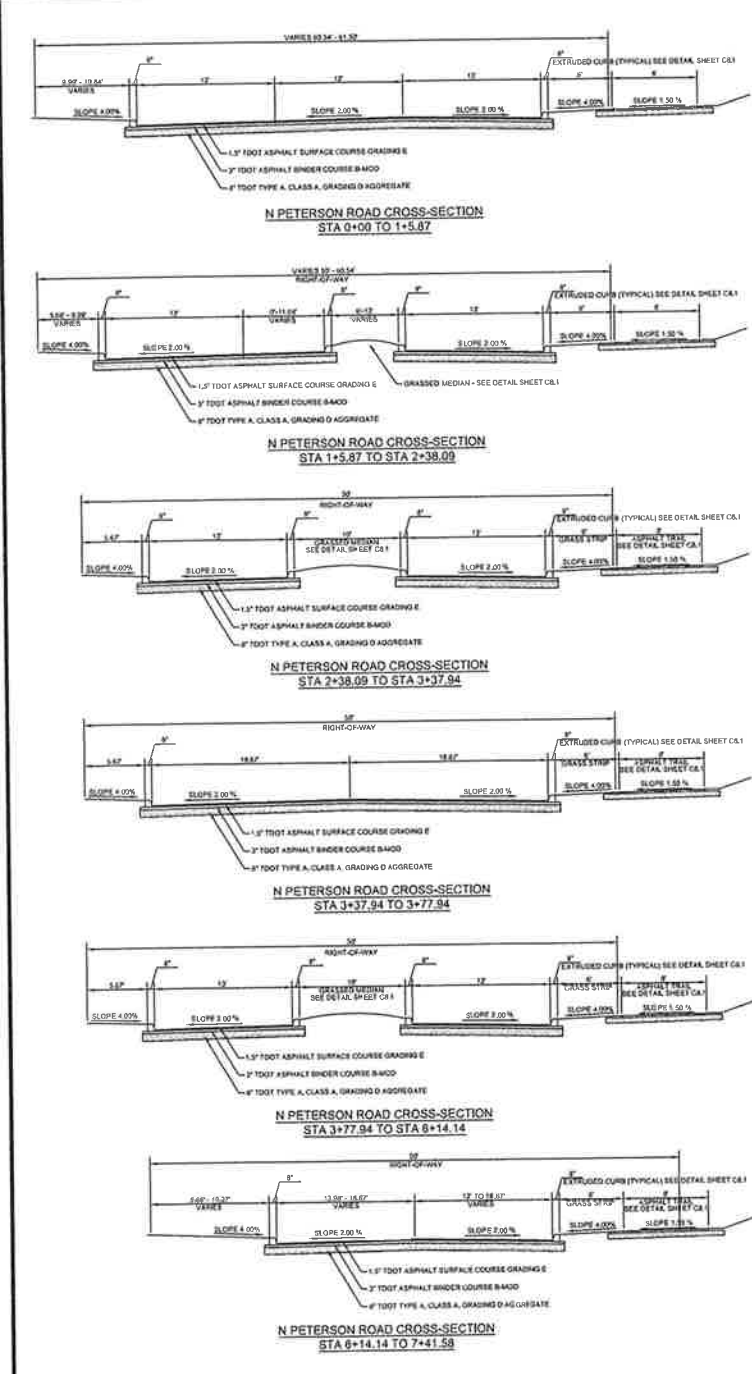
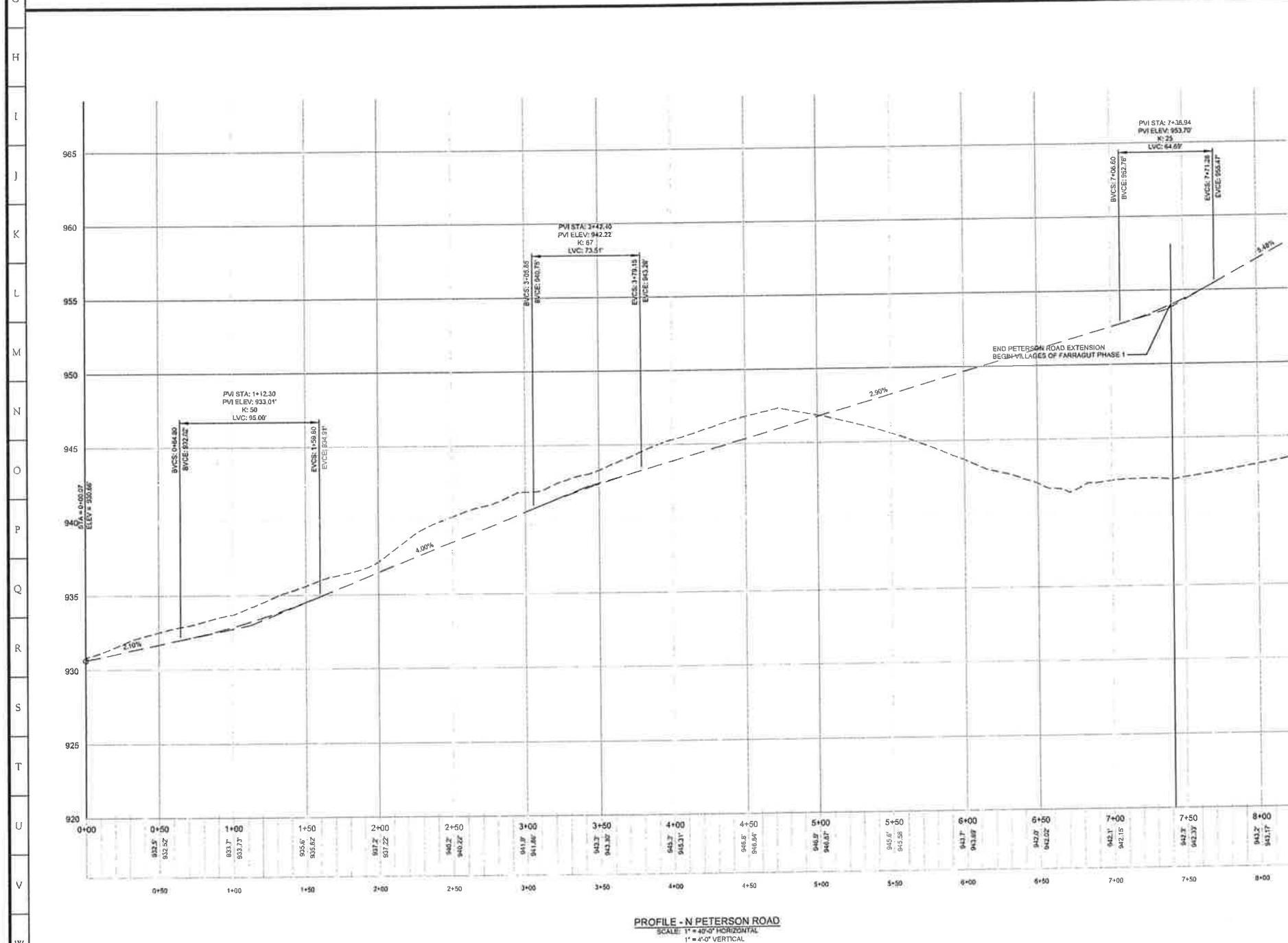
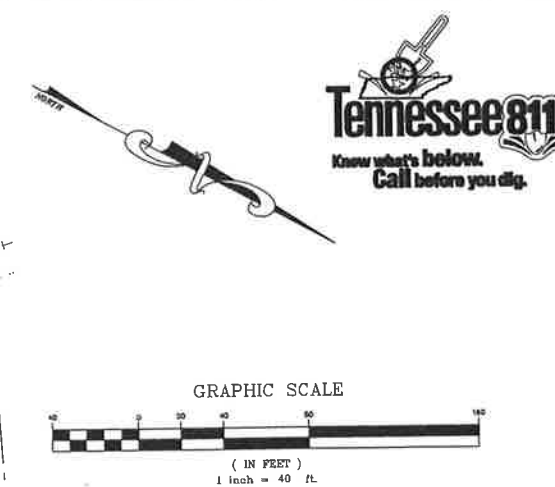
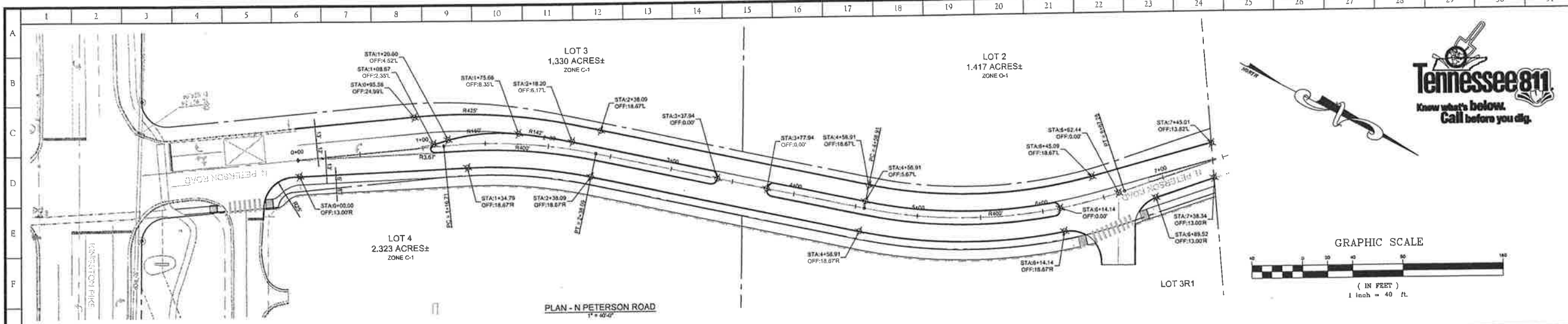


Preliminary Plat - Site Grading and Drainage Plan
N. Peterson Road Extension
Town of Farragut
N. Peterson Road
Farragut, Tennessee
JAN 10 2017

DRAWN BY: ACH		DATE: 09/19/16	CHECKED BY: FILE: 1921-Grading	
REVISIONS				
NO.	DATE	COMMENTS		
1	10/01/16	Revised per Town of Farragut Comments		
2	12/19/16	Revised per Town of Farragut Comments		
3	01/09/17	Revised per Town of Farragut Comments		

C3.0

SHEET 4 OF 10



STEE
 INCORPORATED
 Civil Engineers & Surveyors
 10215 Technology Drive, Suite 104
 Knoxville, TN 37932
 Phone: (865) 777-4160

RECEIVED
 JAN 10 2017

ANNETTE C. HODGINS
 REGISTERED ENGINEER
 AGRICULTURE
 00103
 STATE OF TENNESSEE

REVISIONS

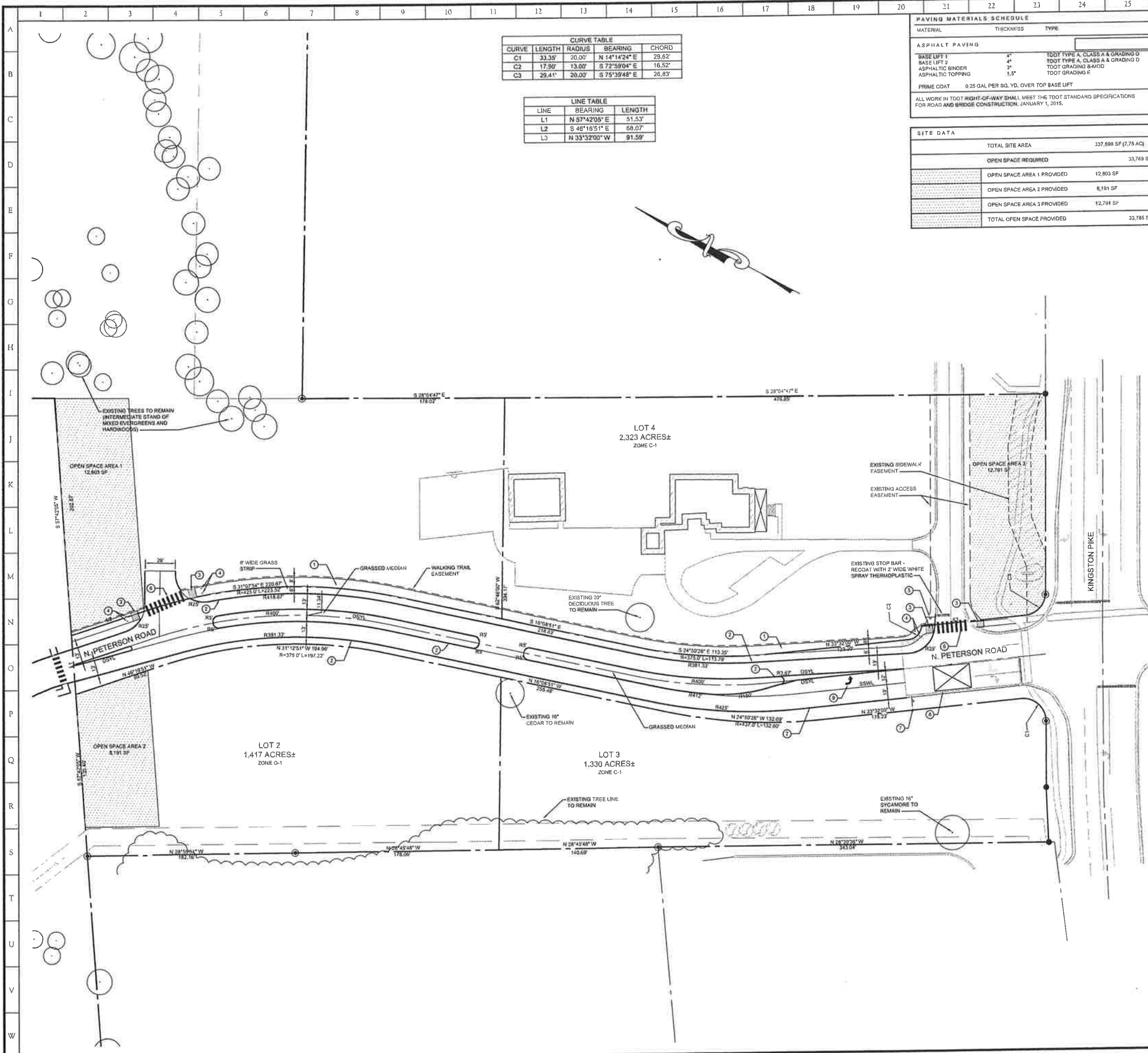
NO.	DATE	COMMENTS
1	10/10/16	Revised per Town of Farragut Comments
2	12/09/16	Revised per Town Comments
3	01/09/17	Revised per Town Comments

Preliminary Plat - Site Plan and Profile
N. Peterson Road Extension
 LOCATED TO NAOI N. Peterson Road
 Farragut, Tennessee

C3.1
 SHEET 5 OF 10

DRAWN BY: ACH DATE: 09/19/16
 CHECKED BY: FILE FILE: 1921-Grading

10215 Technology Drive, Suite 104
 Knoxville, TN 37932
 Phone: (865) 777-4160



CURVE TABLE				
CURVE	LENGTH	RADIUS	BEARING	CHORD
C1	33.35'	20.00'	N 14°14'24" E	29.62'
C2	17.90'	13.00'	S 72°59'04" E	16.52'
C3	29.41'	20.00'	S 75°39'48" E	26.83'

LINE TABLE		
LINE	BEARING	LENGTH
L1	N 57°42'05" E	51.53'
L2	S 46°16'51" E	68.07'
L3	N 33°32'00" W	91.59'

PAVING MATERIALS SCHEDULE		
MATERIAL	THICKNESS	TYPE
ASPHALT PAVING		
BASE LIFT 1	4"	TOTOT TYPE A, CLASS A & GRADING D
BASE LIFT 2	4"	TOTOT TYPE A, CLASS A & GRADING D
ASPHALTIC BINDER	3"	TOTOT GRADING B-MOD
ASPHALTIC TOPPING	1.5"	TOTOT GRADING E
PRIME COAT	0.25 GAL PER SQ. YD.	OVER TOP BASE LIFT
ALL WORK IN TOTOT RIGHT-OF-WAY SHALL MEET THE TOTOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, JANUARY 1, 2015.		

SITE DATA	
TOTAL SITE AREA	337,680 SF (7.75 AC)
OPEN SPACE REQUIRED	33,769 SF
OPEN SPACE AREA 1 PROVIDED	12,803 SF
OPEN SPACE AREA 2 PROVIDED	8,191 SF
OPEN SPACE AREA 3 PROVIDED	12,791 SF
TOTAL OPEN SPACE PROVIDED	33,785 SF

- SITE PLAN NOTES:**
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
 - ALL DISTURBED AREAS NOT BUILT NOR PAVED UPON ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH, AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
 - ALL DIMENSIONS AND RADII ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - EXISTING STRUCTURES WITHIN THE CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED, OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO ALL UTILITIES, STORM DRAINAGE, SIGNS, FENCING, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
 - SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION WAS TAKEN FROM A SURVEY PROVIDED BY THE OWNER.
 - THE SITEWORK FOR THIS PROJECT SHALL MEET OR EXCEED THE SITE WORK SPECIFICATIONS. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.

- PAVING ELEVATION TOLERANCE**
FINAL SUBGRADE SHALL BE INSPECTED BY PAVING CONTRACTOR FOR REQUIRED ELEVATION AND ADEQUATE COMPACTION BEFORE COMMENCING ANY PAVING ACTIVITY. PAVING ELEVATION SHALL NOT HAVE MORE THAN 1/2" DEVIATION IN ANY 10' INCREMENT.
- PAVING THICKNESS TOLERANCE**
PAVING THICKNESS AT ANY ONE CORE SHALL NOT BE LESS THAN 90% OF SPECIFIED THICKNESS. THE AVERAGE OF ALL APPROVED TESTS MUST BE AT LEAST EQUAL TO THE SPECIFIED THICKNESS FOR EACH MATERIAL. NOT MORE THAN 20% OF ALL APPROVED TEST MAY FALL BELOW SPECIFIED MINIMUMS. ANY AREA FOUND TO BE LESS THAN 90% SPECIFIED THICKNESS SHALL BE OVERLAIN WITH ASPHALT AS DIRECTED BY SITE, INC.

TESTING DURING PLACEMENT
GENERAL CONTRACTOR SHALL PERFORM SEVERAL SPOT CHECKS OF PAVING BASE THICKNESS PRIOR TO INSTALLATION OF ANY ASPHALTIC OR CONCRETE PAVING. DENSITY TESTS SHALL BE PERFORMED ON EACH LIFT AT THE RATE OF ONE TEST PER 10,000 SQUARE FEET.

CONTRACTOR SHALL PROVIDE FOR TESTING OF COMPLETED PAVING INSTALLATION FOR COMPLIANCE WITH DESIGN CRITERIA AND REQUIRED THICKNESS. CONTRACTOR SHALL REPLACE ALL NON-COMFORMING MATERIAL AT HIS OWN EXPENSE.

TESTING SHALL BE PERFORMED ONLY BY AN INDEPENDENT TESTING AGENT APPROVED BY SITE, INC. TEST HOLES NOT SPOTTED BY SITE, INC. MAY NOT BE CONSIDERED ACCEPTABLE.

ALLOW A MINIMUM OF SIXTEEN CORE TESTS TO BE LOCATED ONLY BY WRITTEN INSTRUCTION BY SITE, INC.

THE PAVING CONTRACTOR SHALL REPAIR ALL CORING HOLES BY FILLING HOLES WITH CONCRETE FLUSH TO TOP OF PAVEMENT.

ASPHALTIC PAVING MATERIALS
MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE SPECIFICATION OF THE HIGHWAY DEPARTMENT OF THE STATE IN WHICH THE PROJECT IS LOCATED. REFER TO PAVING MATERIALS LEGEND.

CONCRETE
CONCRETE CURBING SHALL BE 4000 PSI 28 DAY STRENGTH 2" - 3" SLUMP, (NO CURB DEFORMATION) 3% - 5% AIR ENTRAINMENT. INSTALL WITH RC-70 TACK COAT EMULSION OVER ASPHALT.

PROVIDE CYLINDER BREAK TEST - 3500 L.F. OF CURBING OR 1-DAY POUR WITH BREAKS - 1 @ 7-DAYS, 2 @ 28-DAYS. COMPLY WITH ASTM C-31 AND ASTM C-39. ALSO PROVIDE ONE SLUMP TEST PER 500 L.F. OF CURBING OR 1-DAY POUR.

PROVIDE EXPANSION JOINT @ 50' O.C. (MAX) AND CONTROL JOINTS @ 20' O.C. (MAX) AT ALL CONCRETE PAVING AREAS. REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.

PAVEMENT MARKING
PROVIDE PAVEMENT MARKING AS SHOWN ON THE DRAWINGS. STRIPPING SHALL BE 4" WIDE OR AS NOTED OTHERWISE ON THE PLANS. ALL MARKINGS SHALL BE THERMOPLASTIC AND SHALL MEET THE TENNESSEE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, MARCH 1, 2008 (SECTION 918.23).

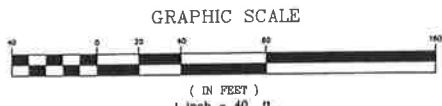
CONTRACTOR SHALL REMOVE ALL EXISTING PAVEMENT MARKINGS THAT DO NOT CONFORM TO TOTOT STANDARDS FOR MODIFIED INTERSECTION.

TEMPORARY PAVEMENT LINE MARKINGS ON INTERMEDIATE LAYERS OF PAVEMENT SHALL BE REFLECTIVE TAPE OR REFLECTORIZED PAINT INSTALLED TO PERMANENT STANDARDS BEFORE DARK HOURS. SHORT, UNMARKED SECTIONS SHALL NOT BE ALLOWED.

ALL MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE MUTCD AND TOTOT STANDARD DRAWINGS T-401 THROUGH T-444.

- LEGEND:**
- ① 8" WIDE ASPHALT TRAIL (SEE DETAIL SHEET)
 - ② 8" EXTRADEED CURB (SEE DETAIL SHEET)
 - ③ ACCESSIBLE RAMP
 - ④ BOLLARD AT GREENWAY TRAIL (SEE DETAIL SHEET)
 - ⑤ R 1-1 "STOP" SIGN (SEE DETAIL SHEET)
 - ⑥ CROSSWALK: 2" WIDE WHITE SPRAY THERMOPLASTIC STRIPES AT 4' O.C.
 - ⑦ R10-7 "DO NOT BLOCK INTERSECTION" SIGN
 - ⑧ 8" WIDE WHITE SPRAY THERMOPLASTIC "DO NOT BLOCK INTERSECTION" MARKINGS
 - ⑨ DIRECTIONAL ARROW - WHITE SPRAY THERMOPLASTIC

REFER TO SHEET C8.1 FOR TYPICAL SITE DETAILS	
LEGEND	
PROPERTY LINE	---
PROPOSED CURB	---



SITE INCORPORATED
Civil Engineers & Surveyors
10215 Technology Drive, Suite 304
Knoxville, TN 37932
Phone: (865) 777-4160
Fax: (865) 777-4169



Preliminary Plat - Site Layout Plan

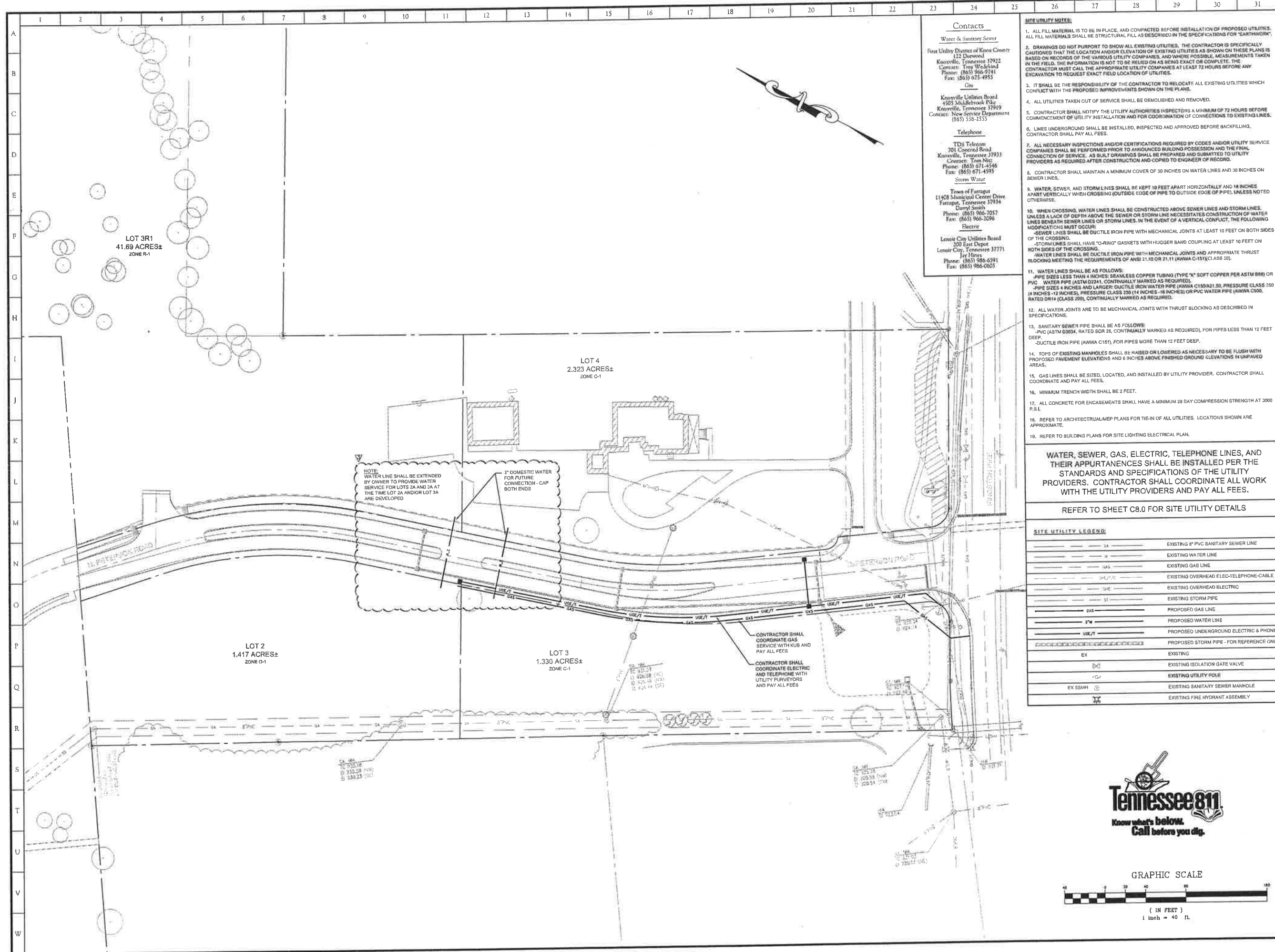
N. Peterson Road Extension

LOCATED TO N.W.C. N. Peterson Road
Farragut, Tennessee

REVISIONS	
NO.	DATE
1	10/10/2016
2	12/19/16
3	01/09/17

C4.0
SHEET 5 OF 10

RECEIVED
JAN 10 2017



Contracts

Water & Sanitary Sewer

Clark Utility Division of Knox County
122 Dorwood
Knoxville, Tennessee 37922
Contact: Troy Westlund
Phone: (865) 574-6741
Fax: (865) 575-4595

Gas

Knoxville Utilities Board
405 Mullock Way
Knoxville, Tennessee 37919
Contact: New Service Department
(865) 537-4555

Telephone

TD5 Telecom
701 Concord Road
Knoxville, Tennessee 37933
Contact: Tom Nitz
Phone: (865) 671-4546
Fax: (865) 671-4595

Storm Water

Town of Farragut
11408 Municipal Center Drive
Farragut, Tennessee 37934
Contact: Tom Nitz
Phone: (865) 566-7057
Fax: (865) 566-2696

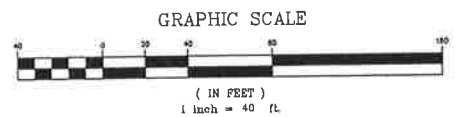
Electric

Lenoir City Utilities Board
200 East Depot
Lenoir City, Tennessee 37771
Contact: Tom Nitz
Phone: (865) 596-6391
Fax: (865) 596-0025

UTILITY NOTES:

1. ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES. ALL FILL MATERIALS SHALL BE STRUCTURAL FILL AS DESCRIBED IN THE SPECIFICATIONS FOR "EARTHWORK".
2. DRAWINGS DO NOT PURPORT TO SHOW ALL EXISTING UTILITIES. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
3. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
4. ALL UTILITIES TAKEN OUT OF SERVICE SHALL BE DEMOLISHED AND REMOVED.
5. CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS A MINIMUM OF 72 HOURS BEFORE COMMENCEMENT OF UTILITY INSTALLATION AND FOR COORDINATION OF CONNECTIONS TO EXISTING LINES.
6. LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING. CONTRACTOR SHALL PAY ALL FEES.
7. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICE. AS BUILT DRAWINGS SHALL BE PREPARED AND SUBMITTED TO UTILITY PROVIDERS AS REQUIRED AFTER CONSTRUCTION AND COPIED TO ENGINEER OF RECORD.
8. CONTRACTOR SHALL MAINTAIN A MINIMUM COVER OF 30 INCHES ON WATER LINES AND 30 INCHES ON SEWER LINES.
9. WATER, SEWER, AND STORM LINES SHALL BE KEPT 10 FEET APART HORIZONTALLY AND 18 INCHES APART VERTICALLY WHEN CROSSING (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE), UNLESS NOTED OTHERWISE.
10. WHEN CROSSING, WATER LINES SHALL BE CONSTRUCTED ABOVE SEWER LINES AND STORM LINES. UNLESS A LACK OF DEPTH ABOVE THE SEWER OR STORM LINE NECESSITATES CONSTRUCTION OF WATER MAINS BENEATH SEWER LINES OR STORM LINES. IN THE EVENT OF A VERTICAL CONFLICT, THE FOLLOWING MINIMUM CLEARANCE SHALL BE MAINTAINED:
 - SEWER LINES SHALL BE CONSTRUCTED WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF THE CROSSING.
 - STORM LINES SHALL HAVE "O-RING" GASKETS WITH HUGER BAND COUPLING AT LEAST 10 FEET ON BOTH SIDES OF THE CROSSING.
 - WATER LINES SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AND APPROPRIATE THRUST BLOCKING MEETING THE REQUIREMENTS OF ANSI 21.10 OR 21.11 (AWWA C151/C152 CLASS 20).
11. WATER LINES SHALL BE AS FOLLOWS:
 - PIPE SIZES LESS THAN 4 INCHES: SEAWLESS COPPER TUBING (TYPE "K" SOFT PEX PER ASTM B88) OR PVC WATER PIPE (ASTM D2241, CONTINUALLY MARKED AS REQUIRED).
 - PIPE SIZES 4 INCHES AND LARGER: DUCTILE IRON WATER PIPE (AWWA C115)/21.30, PRESSURE CLASS 350 (4 INCHES -12 INCHES), PRESSURE CLASS 250 (14 INCHES -18 INCHES) OR PVC WATER PIPE (AWWA C300, RATED DATA CLASS 200), CONTINUALLY MARKED AS REQUIRED.
12. ALL WATER JOINTS ARE TO BE MECHANICAL JOINTS WITH THRUST BLOCKING AS DESCRIBED IN SPECIFICATIONS.
13. SANITARY SEWER PIPE SHALL BE AS FOLLOWS:
 - PIPE (ASTM D3034, RATED SDR 26, CONTINUALLY MARKED AS REQUIRED), FOR PIPES LESS THAN 12 FEET DEPTH.
 - DUCTILE IRON PIPE (AWWA C151), FOR PIPES MORE THAN 12 FEET DEPTH.
14. TOPS OF EXISTING MANHOLES SHALL BE RAISED OR LOWERED AS NECESSARY TO BE FLUSH WITH PROPOSED PAVEMENT ELEVATIONS AND 6 INCHES ABOVE FINISHED GROUND ELEVATIONS IN UNPAVED AREAS.
15. GAS LINES SHALL BE SIZED, LOCATED, AND INSTALLED BY UTILITY PROVIDER. CONTRACTOR SHALL COORDINATE AND PAY ALL FEES.
16. MINIMUM TRENCH WIDTH SHALL BE 2 FEET.
17. ALL CONCRETE FOR ENCASUREMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH AT 3000 P.S.I.
18. REFER TO ARCHITECTURAL/MEP PLANS FOR TIE-IN OF ALL UTILITIES. LOCATIONS SHOWN ARE APPROXIMATE.
19. REFER TO BUILDING PLANS FOR SITE LIGHTING ELECTRICAL PLAN.

WATER, SEWER, GAS, ELECTRIC, TELEPHONE LINES, AND THEIR APPURTANANCES SHALL BE INSTALLED PER THE STANDARDS AND SPECIFICATIONS OF THE UTILITY PROVIDERS. CONTRACTOR SHALL COORDINATE ALL WORK WITH THE UTILITY PROVIDERS AND PAY ALL FEES.	
REFER TO SHEET C8.0 FOR SITE UTILITY DETAILS	
<u>SITE UTILITY LEGEND:</u>	
	EXISTING 8" PVC SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING GAS LINE
	EXISTING OVERHEAD ELEC-TELEPHONE CABLE
	EXISTING OVERHEAD ELECTRIC
	EXISTING STORM PIPE
	PROPOSED GAS LINE
	PROPOSED WATER LINE
	PROPOSED UNDERGROUND ELECTRIC & PHONE
	PROPOSED STORM PIPE - FOR REFERENCE ONLY
EX	EXISTING
	EXISTING ISOLATION GATE VALVE
	EXISTING UTILITY POLE
EX SSIM	EXISTING SANITARY SEWER MANHOLE
	EXISTING FIRE HYDRANT ASSEMBLY



Drawn By: DGB **Date:** 09/19/2016

Checked By: ACH **File:** 1921-Utility

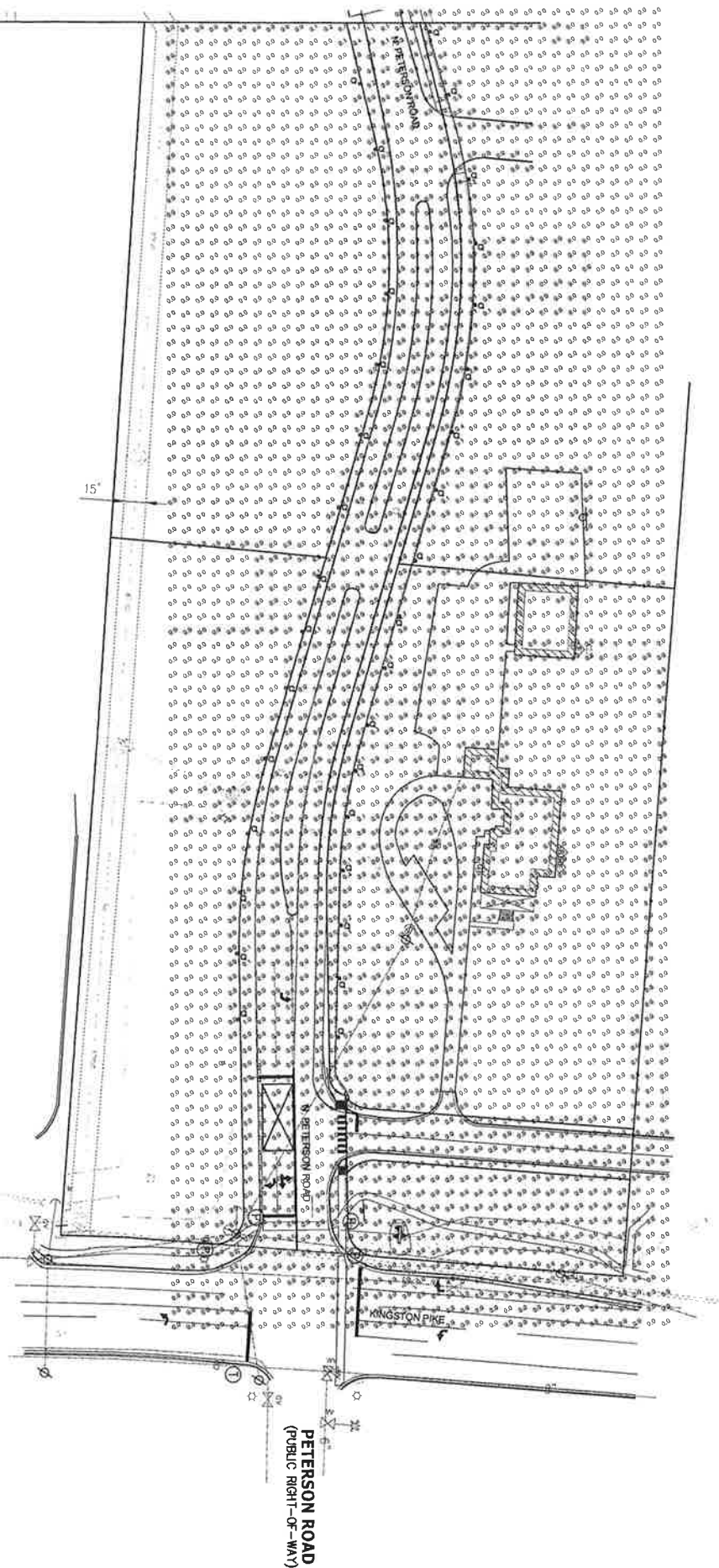
Revisions

No.	Date	Comments
1	10/10/2016	Revised per Town of Farragut Comments
2	12/18/16	Revised per Town Comments
3	01/09/17	Revised per Town Comments

C5.0

SHEET 7 OF 10

Project: 16123 Drawing: E1.0(Peterson).dwg



SITE LIGHTING AND PHOTOMETRIC PLAN
SCALE: 1" = 50'-0"



TYPE "Q" FIXTURE DETAIL

SITE PHOTOMETRIC NOTES

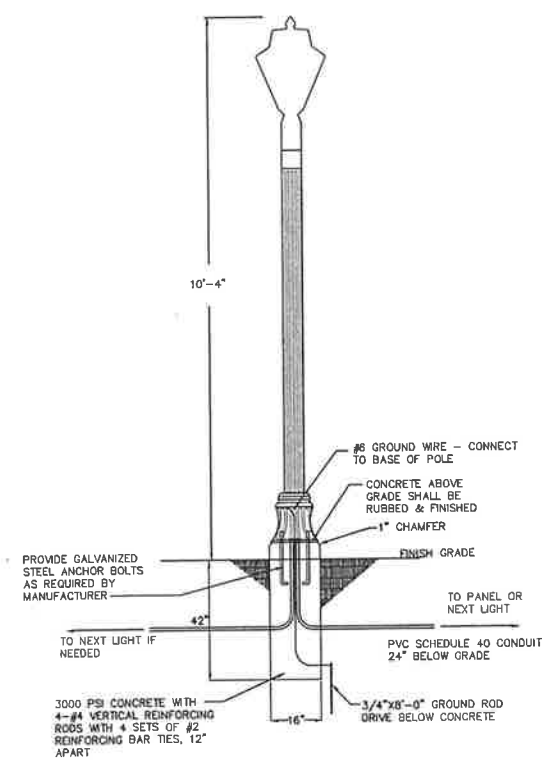
1. CALCULATIONS SHOWN REPRESENT MAINTAINED LIGHTING LEVELS IN FOOTCANDLES AT GRADE WITH A TOTAL LIGHT LOSS FACTOR OF 0.95. CALCULATIONS DO NOT INCLUDE CONTRIBUTIONS FROM OTHER LIGHT SOURCES.
2. CIVIL BASE PLAN AS PROVIDED TO PARSONS ENGINEERING, INC. SHOWED NO OVERHEAD UTILITIES. THE CIVIL ENGINEER SHALL VERIFY THAT THERE ARE NO CONFLICTS WITH EXISTING OR PROPOSED UTILITY LINES OR EASEMENTS.
3. THESE CALCULATIONS HAVE BEEN GENERATED FROM MANUFACTURER SUPPLIED PHOTOMETRIC FILES. PARSONS ENGINEERING, INC. HAS MADE A REASONABLE ATTEMPT TO OBTAIN THE MOST CURRENT PHOTOMETRIC REPORT. PARSONS ENGINEERING, INC. IS NOT RESPONSIBLE FOR ERRANT RESULTS DUE TO MANUFACTURERS' QUALITY CONTROL OR DESIGN CHANGES.

STATISTICS

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	0.0 fc	8.6 fc	0.0 fc	N/A	N/A

LUMINAIRE SCHEDULE

Label	Qty	Catalog Number	Description	Lamp	Lumens	LLF	Watts
Q	54	P6445-2020K9	Outdoor Plat Lantern with softly diffused seeded glass shade (18" x 16.5" cone shape fixture).	20 - NICHIA 3000K LEDs (RW-JIAL Module)	Absolute	0.95	9



POLE LIGHT DETAIL

NO SCALE
POLE BASE DETAIL PROVIDED FOR SCOPE AND BID PURPOSES. CONTRACTOR SHALL SUBMIT A POLE BASE DESIGN SUITABLE FOR LOCAL CONDITIONS AND APPROVED BY A STRUCTURAL ENGINEER.



Preliminary Platt - N. Peterson Road Extension
N. Peterson Road
Farragut, TN 37934

SHEET
TITLE SITE LIGHTING AND PHOTOMETRIC PLAN

PROJECT NO:
16123

DATE:
09/19/2016

REVISED:
1/9/2017

SHEET NO:

E1.0

SHEET 8 OF 10

RECEIVED

JAN 10 2017

TOWN OF FARRAGUT

MEETING DATE: January 19, 2017

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Ashley Miller, Assistant Community Development Director

SUBJECT: Discussion and public hearing on a site plan for the Villages of Farragut, Phase I, Parcel 69.02, Tax Map 142, located off of Kingston Pike, 23.06 Acres (Goodworks Unlimited, LLC, Applicant)

INTRODUCTION AND BACKGROUND: This item is related to the previous item and involves a site plan for Phase I of the Villages of Farragut senior living community. This phase primarily involves the grading and infrastructure associated with a three-story State licensed assisted-care living facility that will provide for 88 suites. The freestanding independent and catered living buildings that will be constructed around the periphery of the property will be part of a subsequent phase(s).

DISCUSSION: As provided for in Chapter 4 of the Zoning Ordinance, a senior living community may have a building of up to 3 stories or 45 feet in height provided such building is greater than 100 feet from a periphery property line. The building proposed as part of this site plan is 3 stories and is greater than 100 feet from the periphery property line. This phase of the Villages of Farragut will provide a stubbed out vehicular connection to the north and to the east (as part of the extension of Peterson Road). There will also be a walking trail from Kingston Pike to the end of the walking trail that is currently stubbed out between Lots 8 and 9 in the Baldwin Park Subdivision. Other vehicular and pedestrian connections shown on the concept plan for the Villages of Farragut will be provided in subsequent phases.

RECOMMENDATION: Included in your packet are the staffs' comments on the initial site plan. This is a very complex site plan and the applicant may not be ready at this time. The staff will update the commission and make a recommendation at the meeting.



Civil Engineers

January 9, 2016

Mark Shipley
Town of Farragut
11408 Municipal Center Dr.
Farragut, TN 37934

Re: Staff comments on Villages of Farragut.

Dear Mark,

Please find attached our revised plans per staff comments dated 12/30/16. We have provided responses to staff comments below.

Codes Division: (Contact John Householder at jhouseholder@townoffarragut.org)

- 1) Per the building code, the building appears to be three (3) stories. Please show the full elevation detail so staff is able to accurately verify the number of stories;
Building Elevations are shown on sheets A3.0, A3.1, and A3.2
- 2) The construction type is noted to as III-B, please verify the total square footage meets the code;
Information provided on sheets G1.0 – G1.4 (sheets 32-36 of 36).
- 3) Please show the occupancy type on the plans;
Occupancy type is shown on the Cover Sheet C0.0 and sheet G1.0 (sheet 32 of 36).
- 4) One-hour protection is required, please add verification on the plans that this is being provided;
See sheets G1.0 –G1.4 (sheets 32-36 of 36).
- 5) Please provide a complete code review assessment on the A-sheets that verifies code compliance for items #76-81 of the site plan checklist;
See sheets G1.0 thru G1.4 (sheets 32-36 of 36).

Fire Division: (Contact Dan Johnson at djohnson@townoffarragut.org)

- 6) Staff suggests connecting the 6" water line at the Villages of Farragut to the proposed water line tie in on the Peterson Rd extension;
We are not proposing to extend water/fire service to N Peterson Rd extension at this time. We will work with FUD to provide the water and fire service pressure and flow required by the facility and the Town.
- 7) Provide the occupancy type of the structure;
Show on the Cover Sheet C0.0 and sheet G1.0 (sheet 32 of 36).
- 8) Provide a note on the utility sheets stating "Fire hydrants shall provide 1000gpm at 20psi minimum";
Note has been added to sheets C5.0 and C5.1.
- 9) Staff suggests that the developer establish an ambulance pick up point based on the facilities procedures and emergency vehicle accessibility routes;

Pickup points are anticipated to be at the front entrance canopy area and at the rear service area near the dumpster enclosure. The interior elevator locations are near these two points making those locations most convenient. See sheet C4.0.

Planning Division: (Contact Mark Shipley at mshipley@townoffarragut.org) or Ashley Miller at amiller@townoffarragut.org)

- 10) Please include all pages in the site plan submittal. The sets submitted are missing pages 4-8;
Erosion Control Plans are forthcoming. (Sheets 5-16 of 36).
- 11) Please correct the page number on sheet C6.3;
Page number has been corrected.
- 12) Please provide a sheet with the overall development phasing plan for the property;
Overall Site Phasing Plan has been added. See sheet C2.0.
- 13) Please show all setbacks for parking areas, buildings and accessory structures;
Setbacks have been added. See sheet C4.0.
- 14) Please show all required buffer areas;
Transitional Buffer areas are shown on sheet C4.0 and the Landscape Plan.
- 15) Will you be submitting a separate plat to establish the walking trail easement that extends to Baldwin Park or is the intent to include it on the preliminary plat for the N. Peterson Road Extension?
We will submit a separate plan to establish all easements prior to C.O.
- 16) Please provide the calculations and diagrams verifying landscaping requirements between buildings and parking lots;
Calculations and diagrams are shown on sheet C2.1.
- 17) On sheet C2.1, please make sure the tree fencing is extended to the dripline in all areas;
Tree Preservation Plan has been renumbered to sheet C2.2. Fencing is extended to the driplines.
- 18) Please provide for the dimensions from inside curb to inside curb for the landscape islands;
Inside to inside curb dimensions have been added as noted by *. See sheet C4.0.
- 19) Please denote where on the building the address will be posted;
Building address location is shown above the main entrance on sheet A3.0.
- 20) Please provide a detail for the dumpster enclosure as is noted on sheet C4.0;
Dumpster enclosure will be provided. Detail is forthcoming.
- 21) Please provide the calculations for the required bicycle parking for the site and ensure that required number are accounted for on the site plan;
Based on a total square footage for Phase I of this project, the required number of bicycle parking spaces is 23. We feel that is an unreasonable amount of bicycle parking for a project of this scope. We have shown parking for 8 bicycles near the main building entrance and feel this is a more than reasonable amount of spaces.
- 22) Please have the electrical engineer provide more detail related to the lenses for the proposed lighting fixtures;
A note regarding the lenses has been added to sheet E1.0.
- 23) Please reflect the HVAC locations and screening details;
The only HVAC location will be next to the dumpster enclosure. It will be screened. Detail is forthcoming.

- 24) The architectural sheets need to be signed and sealed by the architect;
The sheets have been signed and sealed.
- 25) Please label all materials on the building elevations;
- 26) Prior to the issuance of a Certificate of Occupancy a 2-year landscape maintenance letter of credit will be needed;
- 27) Prior to the issuance of a grading permit the water and sewer plan must be signed off by FUD;
We will work with FUD to obtain approval of the water and sewer system.
- 28) Please address the remaining comments on the preliminary plat for Peterson Road extension since it is part of this development;
Preliminary Plat comments have been addressed and resubmitted for staff review.
- 29) A plat will be needed prior to the issuance of a Certificate of Occupancy in order to establish any applicable easements and property lines;
We will prepare and submit a plat prior to C.O.
- 30) Prior to the issuance of a Certificate of Occupancy a digital as-built will be required in a JPEG format;
We will prepare and submit an as-built prior to C.O.

Engineering Division: (Contact Darryl Smith at Darryl.smith@townoffarragut.org)

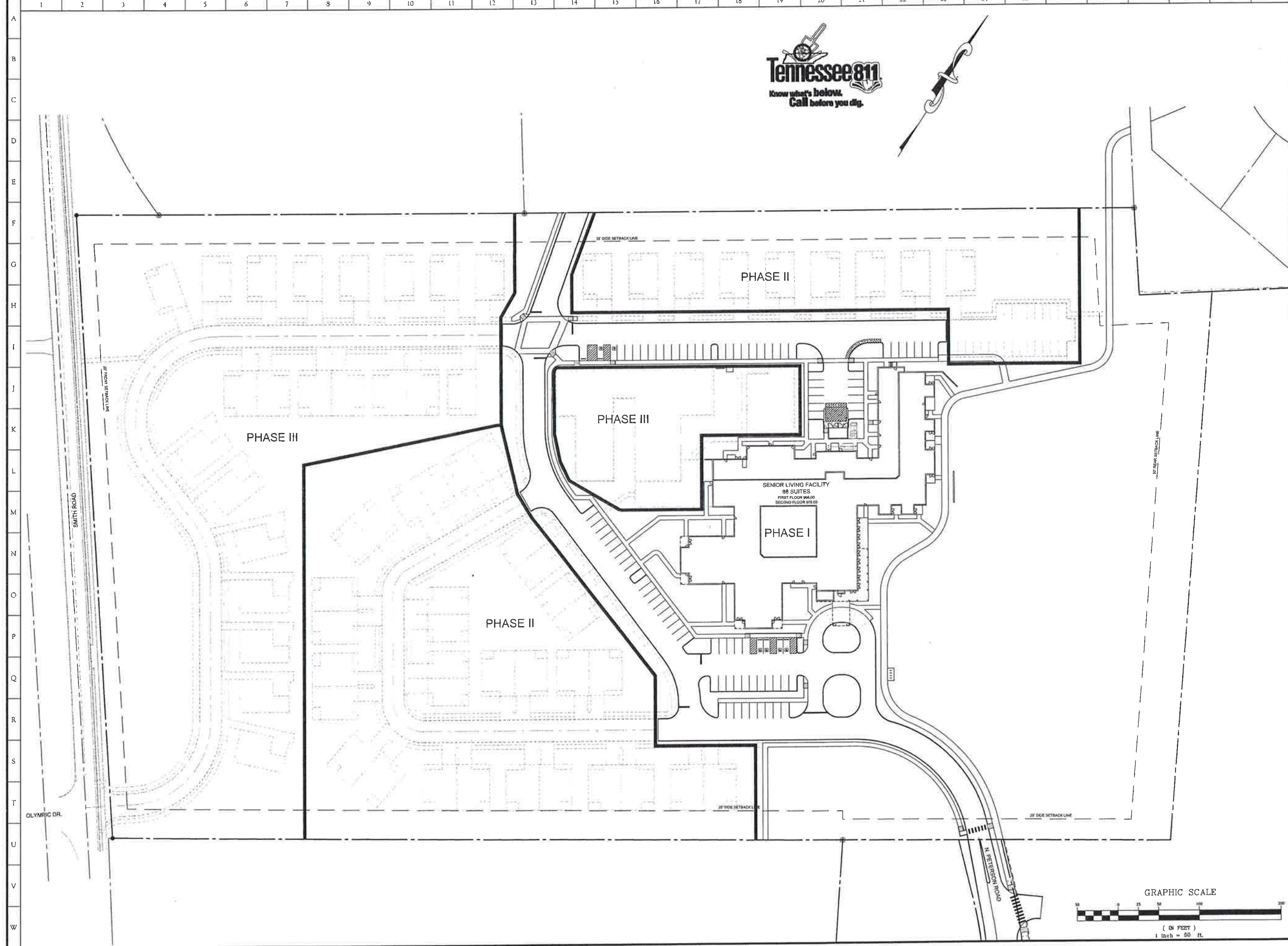
- 31) Please show the pond liner detail;
We have specified a pond liner to be installed per the manufacturer's specifications. See sheet C3.1.
- 32) The sanitary sewer lines are shown for phase 1 construction, but consider tapping to edge of future streets to allow for future construction to the west;
We have shown a stub-out of one of the proposed manholes. Additionally, we will work with FUD to provide any needed provisions for future connections to the sewer line.
- 33) Please submit the SWPPP;
SWPPP is forthcoming and will include N Peterson Road Extension. (Sheets 5-16 of 36)
- 34) The area of disturbance appears to be approximately 14.5 acres. Please submit an erosion control Letter of Credit for \$87,000;
I have calculated the area of disturbance to be 14.5 acres as well.
- 35) Please submit the drainage fee of \$2,830;
- 36) Please submit the NOC.
We will submit the NOC as soon as we receive it.

Please let us know if any of our responses are unclear or if you need additional information.

Sincerely,



Annette Hommel, P.E.



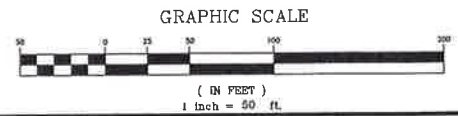
STITE
INCORPORATED
Civil Engineers & Surveyors
10215 Technology Drive, Suite 304 Knoxville, TN 37932
Phone: (865) 777-4160 Fax: (865) 777-4169



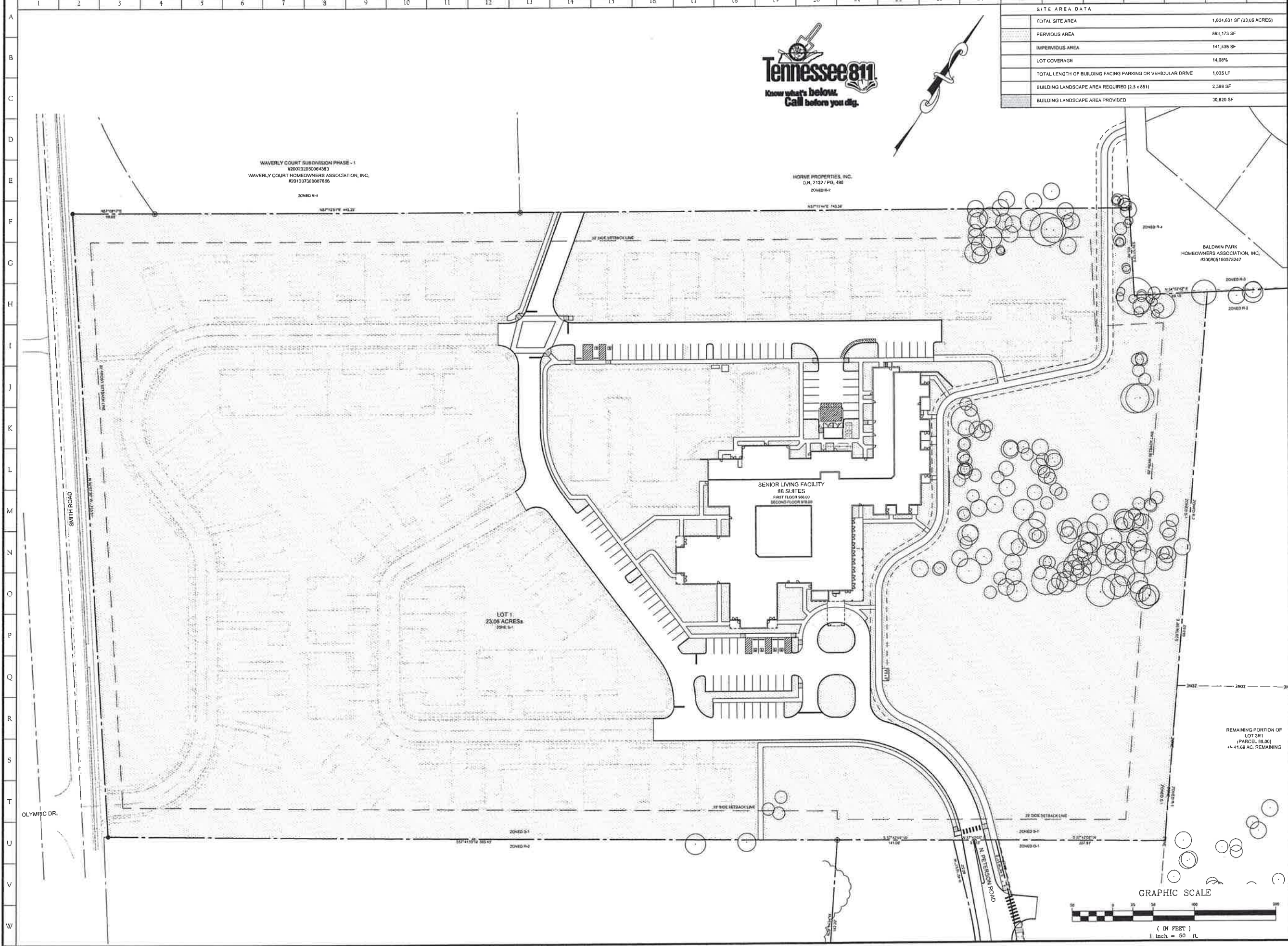
Overall Site Phasing Plan
Villages of Farragut
208 Smith Road
Farragut, Tennessee

RECEIVED
JAN 10 2017
TOWN OF FARRAGUT

1/24-1/24/17 BY: ACH 1/24/17 01/09/17	
CHECKED BY: FILE: 1921 Layout	
NO.	DATE
REVISIONS	
COMMENTS	



C2.0
SHEET 2 OF 36



SITE AREA DATA	
TOTAL SITE AREA	1,004,631 SF (23.08 ACRES)
PERVIOUS AREA	863,173 SF
IMPERVIOUS AREA	141,458 SF
LOT COVERAGE	14.08%
TOTAL LENGTH OF BUILDING FACING PARKING OR VEHICULAR DRIVE	1,035 LF
BUILDING LANDSCAPE AREA REQUIRED (2.5 x 851)	2,588 SF
BUILDING LANDSCAPE AREA PROVIDED	30,820 SF

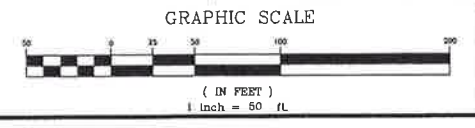


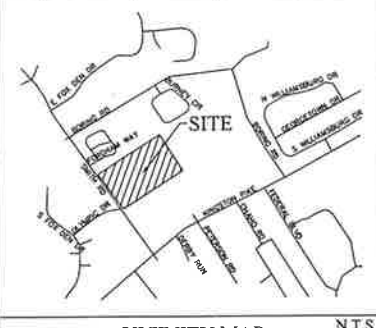
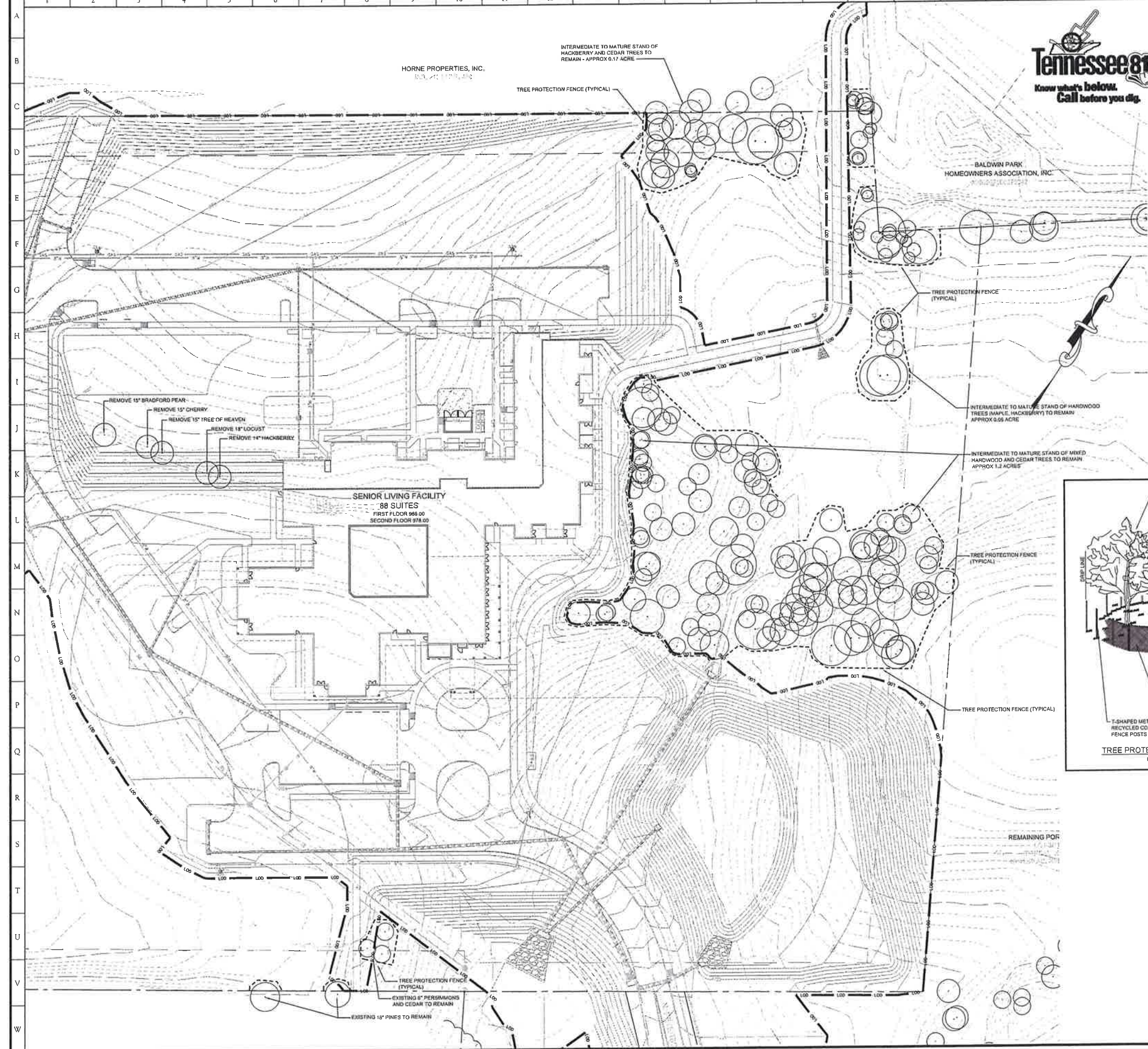
SITH
INCORPORATED
Civil Engineers & Surveyors
10215 Technology Drive, Suite 304
Knoxville, TN 37932
Phone: (865) 777-4160
Fax: (865) 777-4169



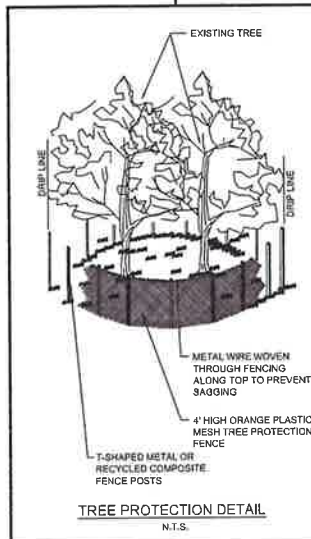
Site Area Plan
Villages of Farragut
208 Smith Road
Farragut, Tennessee

REVISIONS	
NO.	DATE
1	01/20/17



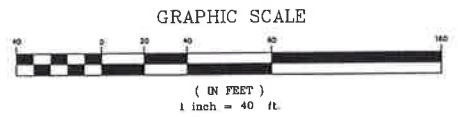


- TREE PRESERVATION NOTES:**
1. THERE ARE NO ENVIRONMENTALLY SENSITIVE AREAS ON THIS SITE.
 2. TREE PROTECTION FENCING WILL BE REQUIRED AS SHOWN ON THE PLAN. PRIOR TO THE ISSUANCE OF A GRADING PERMIT, THE PROPOSED LIMITS OF DISTURBANCE MUST BE IDENTIFIED IN THE FIELD WITH THE CONTRACTOR, THE TOWN STAFF, AND THE APPLICANT'S CIVIL ENGINEER TO ASSESS THE EXACT LOCATION AND EXTENT OF TREE PROTECTIVE FENCING.
 3. CONTRACTOR SHALL CONSTRUCT TREE PROTECTION FENCING TO THE DRIP LINE OF PROTECTED TREES.
 4. THE LOCATION OF TREE PROTECTIVE FENCING THAT HAS BEEN APPROVED BY THE TOWN OF FARRAGUT SHALL NOT BE REMOVED OR ALTERED. ANY REMOVAL OR ALTERATION OF PROTECTIVE FENCING WILL RESULT IN A STOP WORK ORDER FOR THE ENTIRE PROJECT.
 5. ALL TEMPORARY CONSTRUCTION ACTIVITIES INCLUDING, BUT NOT LIMITED TO, STORAGE OF EQUIPMENT, WORKER PARKING, AND BURN HOLES, SHALL BE CONTAINED WITHIN THE PROPOSED LIMITS OF DISTURBANCE.
 6. NO ACTIVITY OR STORAGE OF ANY MATERIALS OR VEHICLES SHALL BE PERMITTED WITHIN THE AREA BOUNDED BY TREE PROTECTION FENCING.
 7. ANY SPECIAL MEASURES, INCLUDING BUT NOT LIMITED TO, ROOT PRUNING OR MULCHED AISLE WAYS, NEEDED TO SAVE ANY OF THE TREES THAT ABUT THE PROPOSED AREA OF DISTURBANCE, MUST BE APPROVED BY THE TOWN OF FARRAGUT PRIOR TO ANY SPECIAL MEASURE REQUIRED. MINOR FIELD CORRECTIONS SHALL BE TAKEN AFTER INSPECTION BY THE TOWN OF FARRAGUT STAFF.
 8. ARBORIST REVIEW MAY BE REQUIRED BY THE TOWN OF FARRAGUT IF IT IS DETERMINED THAT SPECIAL MEASURES ARE NEEDED TO SAVE A TREE(S) ABUTTING AN AREA TO BE DISTURBED. ARBORIST RECOMMENDATIONS, IF REQUIRED, WILL BE ADDED AS REVISIONS TO THIS PLAN.
 9. WHERE TREES ARE TO BE REMOVED, SUCH TREES SHALL BE FLAGGED AND SHALL BE FELLED AWAY FROM, RATHER THAN INTO AREAS WITH EXISTING TREES AND VEGETATION TO BE PRESERVED.
 10. ALL TREE DIAMETERS SHOWN ON THIS PLAN MEASURED AT 4'-6" ABOVE GROUND AS REQUIRED BY THE TOWN OF FARRAGUT TREE PROTECTION ORDINANCE.
 11. PROPERTY OWNER:
FARRAGUT SENIOR LIVING, LLC
2202 JEFFERSON COURT
FARRAGUT, TENNESSEE 37064
ATTN: GARY KECKLEY
PHONE: 615-790-7041



TREE REPLACEMENT SCHEDULE			
HARDWOOD	SIZE OF TREE TO BE REMOVED	TOTAL	NUMBER OF REPLACEMENT TREES REQUIRED
	10" - 15" DBH	8	12
	16" - 20" DBH	1	3
	> 20" DBH	0	0
TOTAL HARDWOOD TREES TO BE REPLACED		15	
EVERGREEN	SIZE OF TREE TO BE REMOVED	TOTAL	NUMBER OF REPLACEMENT TREES REQUIRED
	10" - 20" DBH	0	0
	> 20" DBH	0	0
	TOTAL EVERGREEN TREES TO BE REPLACED		0
TOTAL TREES TO BE REPLACED		15	
TREE CREDIT SCHEDULE		TREES WITHIN 50' OF PAYMENT	
HARDWOOD	SIZE OF TREE TO BE PRESERVED	TOTAL	NUMBER OF REPLACEMENT TREES REQUIRED
	10" - 15" DBH	13	12
	16" - 20" DBH	1	6
	> 20" DBH	1	8
TOTAL HARDWOOD TREES TO BE CREDITED		66	
EVERGREEN	SIZE OF TREE TO BE PRESERVED	TOTAL	NUMBER OF REPLACEMENT TREES REQUIRED
	10" - 20" DBH	6	18
	> 20" DBH	0	0
	TOTAL EVERGREEN TREES TO BE CREDITED		18
TOTAL TREES TO BE CREDITED		84	
TREE REPLACEMENT/CREDIT SUMMARY			
NUMBER OF REPLACEMENT TREES REQUIRED:		13	
NUMBER OF CREDIT TREES PROVIDED		84	
TOTAL NUMBER OF TREES TO BE CREDITED		69	
LEGEND:			
— LOO — LOO —			
----- TREE PROTECTION FENCE			
----- PROPERTY LINE			

LEGEND:			
---	100'	---	100'
---	---	---	---
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SITE
INCORPORATED
Civil Engineers & Surveyors
10215 Technology Drive, Suite 304
Knoxville, TN 37932
Phone: (665) 777-4160
Fax: (665) 777-4169



Tree Preservation Plan
Villages of Farragut
208 Smith Road
Farragut, Tennessee

RECEIVED
JAN 10 2017
TOWN OF FARRAGUT

REVISIONS	
NO.	DATE
1	01/09/17
Comments: Revised per Town Comments	

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SHEET 4 OF 36

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- SITE GRADING NOTES:**
1. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY. CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITY COMPANY AND PAY ALL FEES.
 2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. THE CONTRACTOR SHALL RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANIES AND PAY ALL FEES.
 3. THE CONTRACTOR SHALL REPAIR AND/OR REPLACE ANY EXISTING STRUCTURES THAT ARE DAMAGED DURING, AND AS A RESULT OF, CONSTRUCTION. REPAIRS AND/OR REPLACEMENTS SHALL BE MADE AS NECESSARY TO RETURN THE DAMAGED STRUCTURE(S) TO ORIGINAL OR BETTER CONDITION. REPAIRS AND/OR REPLACEMENTS SHALL BE AT THE CONTRACTORS EXPENSE.
 4. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
 5. EXISTING AND PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT.
 6. ALL SLOPES SHALL BE 2:1 OR FLATTER UNLESS OTHERWISE NOTED.
 7. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATIONS SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL GRASS DISTURBED AREAS PER GRASSING SCHEDULE UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
 8. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
 9. CONTRACTOR SHALL ADJUST AND/OR SAW CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
 10. TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PROVIDED BY OWNER. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
 11. CONTRACTOR SHALL INSPECT, REPAIR, AND CLEAN ALL EXISTING DRAINAGE STRUCTURES AND PIPING. ALL SEDIMENT AND DEBRIS SHALL BE REMOVED.
 12. ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED.
 13. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6 INCHES ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER".
 14. ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT.
 15. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
 16. MINIMUM COVER FROM TOP OF PIPE TO FINISH GRADE SHALL BE 2 FEET.
 17. HEADWALLS SHALL BE CONSTRUCTED AND/OR INSTALLED IMMEDIATELY FOLLOWING INSTALLATION OF PIPE TO MINIMIZE POSSIBLE PIPE DAMAGE AND FACILITATE FINAL GRADING.
 18. RIP-RAP STONE FOR EROSION PROTECTION SHALL BE PROVIDED AT ALL STORMWATER DISCHARGE LOCATIONS.
 19. WATER, SEWER, AND STORM LINES SHALL BE KEPT 10 FEET APART HORIZONTALLY AND 18 INCHES APART VERTICALLY WHEN CROSSING (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE), UNLESS NOTED OTHERWISE.
 20. WHEN CROSSING, WATER LINES SHALL BE CONSTRUCTED ABOVE SEWER LINES AND STORM LINES, UNLESS A LACK OF DEPTH ABOVE THE SEWER OR STORM LINE NECESSITATES CONSTRUCTION OF WATER LINES BENEATH SEWER LINES OR STORM LINES. IN THE EVENT OF A VERTICAL CONFLICT, THE FOLLOWING MODIFICATIONS MUST OCCUR:
 - SEWER LINES SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF THE CROSSING.
 - STORM LINES SHALL HAVE "O-RING" GASKETS WITH HUGGER BAND COUPLING AT LEAST 10 FEET ON BOTH SIDES OF THE CROSSING.
 - WATER LINES SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AND APPROPRIATE THRUST BLOCKING MEETING THE REQUIREMENTS OF ANSI 21.10 OR 21.11 (AWWA C-151) (CLASS 90).

ALL ELEVATIONS (RIM, THROAT, GRATE, TOP) AT STORM STRUCTURES ARE INTENDED TO INDICATE FLOW LINE ELEVATIONS

REFER TO SHEET C3.0 FOR GRADING AND DRAINAGE DETAILS.

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EARTHWORK REQUIRED TO PREPARE THE UNCLASSIFIED SITE TO THE LINES AND GRADES AS SHOWN ON PLANS. THIS INCLUDES, BUT IS NOT LIMITED TO, ANY QUANTITY OF IMPORT OR EXPORT OF STRUCTURAL FILL AND/OR DISPOSAL OF UNSUITABLE MATERIAL, AS REQUIRED. ALL COSTS SHALL BE INCLUDED IN OVERALL BASE BID. ALL EXCAVATION SHALL BE CONSIDERED UNCLASSIFIED.

STRIPPING AND COMPACTION SCHEDULE:

TOPSOIL STRIPPING DEPTH 4'-12" AVERAGE. DEEPER IF REQUIRED LOCALLY.

REQUIRED COMPACTION PERCENTAGES (% MAX DRY DENSITY)

STANDARD PROCTOR TEST METHOD ASTM TEST # D-698

PAVEMENT AND BUILDING AREA 98%

T E S T I N G :

ALLOW 1 COMPACTION TEST PER EA. 2500 S.F. (MAX 50' X 50' AREA) PER LIFT AT BUILDING AREAS.

ALLOW 1 COMPACTION TEST PER EACH 10,000 S.F. OF CUT OR NATURAL GRADE AT BUILDING AREA.

ALLOW 1 COMPACTION TEST PER EA. 5500 S.F. (MAX 75' X 75' AREA) PER LIFT AT PARKING AREA.

ALLOW 1 COMPACTION TEST PER EACH 40,000 S.F. OF CUT OR NATURAL GRADE AT PARKING AREA.

MAXIMUM LOOSE LIFT THICKNESS SHALL BE 8", UNLESS NOTED OTHERWISE.

LEGEND:

	EXISTING CONTOUR LINE	TC	TOP OF CURB
	PROPOSED CONTOUR LINE	TP	TOP OF PAVEMENT
	EXISTING STORM SEWER PIPE	TW	TOP OF WALL
	PROPOSED STORM SEWER PIPE	BW	BOTTOM OF WALL
	EXISTING CATCH BASIN/JUNCTION BOX		RIP RAP OUTLET PROTECTION
	PROPOSED CATCH BASIN		
	PROPOSED JUNCTION BOX		

GRAPHIC SCALE

(IN FEET)

1 inch = 40 ft

Tennessee 811

Know what's below. Call before you dig.

SITE INCORPORATED

Civil Engineers & Surveyors

10215 Technology Drive, Suite 304
Knoxville, TN 37932
Phone: (865) 777-4160 Fax: (865) 777-4169



Site Grading and Drainage Plan

Villages of Farragut

208 Smith Road
Farragut, Tennessee

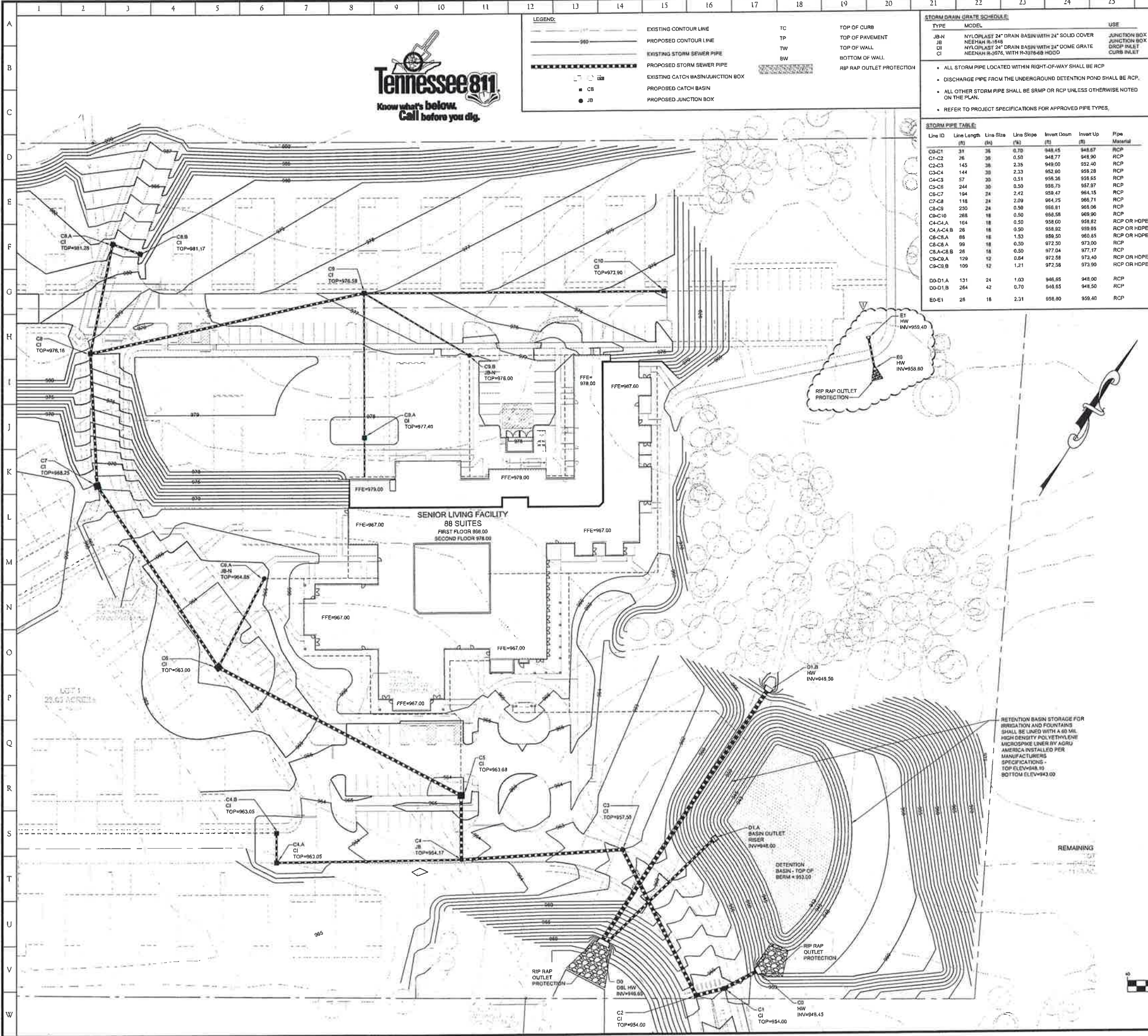
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IAN 10 2017

REVISIONS	
NO.	DATE COMMENTS
1	01/26/17 Revised per Town Comments

C3.0

SHEET 7 OF 36



LEGEND:			
	EXISTING CONTOUR LINE	TC	TOP OF CURB
	PROPOSED CONTOUR LINE	TP	TOP OF PAVEMENT
	EXISTING STORM SEWER PIPE	TW	TOP OF WALL
	PROPOSED STORM SEWER PIPE	BW	BOTTOM OF WALL
	EXISTING CATCH BASIN/JUNCTION BOX		RIP RAP OUTLET PROTECTION
	PROPOSED CATCH BASIN		
	PROPOSED JUNCTION BOX		

STORM DRAIN (GRATE) SCHEDULE:		USE
TYPE	MODEL	
J8-N	NYLOPLAST 24" DRAIN BASIN WITH 24" SOLID COVER	JUNCTION BOX
J8	NYLOPLAST 24" DRAIN BASIN WITH 24" COME GRATE	JUNCTION BOX
CI	NEENAH R-3076, WITH R-3076-68 HOGG	DRCP INLET CURB INLET

- ALL STORM PIPE LOCATED WITHIN RIGHT-OF-WAY SHALL BE RCP
- DISCHARGE PIPE FROM THE UNDERGROUND DETENTION POND SHALL BE RCP
- ALL OTHER STORM PIPE SHALL BE SRMP OR RCP UNLESS OTHERWISE NOTED ON THE PLAN.
- REFER TO PROJECT SPECIFICATIONS FOR APPROVED PIPE TYPES.

STORM PIPE TABLE:							
Line ID	Line Length (ft)	Line Size (in)	Line Slope (%)	Invert Down (ft)	Invert Up (ft)	Pipe Material	
C0-C1	31	36	0.70	948.45	948.67	RCP	
C1-C2	26	36	0.50	948.77	949.00	RCP	
C2-C3	145	36	2.35	949.00	952.40	RCP	
C3-C4	144	36	2.33	952.80	958.28	RCP	
C4-C5	57	30	0.51	958.36	958.65	RCP	
C5-C6	244	30	0.50	958.75	957.97	RCP	
C6-C7	194	24	2.42	958.47	964.15	RCP	
C7-C8	118	24	2.09	964.25	966.71	RCP	
C8-C9	220	24	0.50	966.81	968.06	RCP	
C9-C10	288	18	0.50	968.58	969.90	RCP	
C4-A-C4-A	164	18	0.50	958.00	958.82	RCP OR HOPE	
C4-A-C4-B	26	18	0.50	958.82	959.05	RCP OR HOPE	
C6-C8-A	88	18	1.33	959.50	960.85	RCP OR HOPE	
C8-C8-A	98	18	0.30	972.50	973.00	RCP	
C8-A-C8-B	26	18	0.50	977.04	977.17	RCP	
C9-C8-A	129	12	0.84	972.58	973.40	RCP OR HOPE	
C9-C8-B	109	12	1.21	972.58	973.90	RCP OR HOPE	
D0-D1-A	131	24	1.03	946.65	948.00	RCP	
D0-D1-B	264	42	0.70	946.65	948.50	RCP	
E0-E1	25	18	2.31	958.80	959.40	RCP	

STORM PIPE MATERIAL:

ALL STORM PIPE LOCATED WITHIN RIGHT-OF-WAY SHALL BE RCP. ALL OTHER STORM PIPE SHALL BE HOPE-WT OR RCP, UNLESS OTHERWISE NOTED ON THE PLAN. APPROVED STORM PIPE IS AS FOLLOWS:

1. REINFORCED CONCRETE PIPE (RCP):
ASTM C78, CLASS III UNLESS NOTED OTHERWISE ON DRAWINGS, INSTALLED WITH RUBBER O-RING GASKETS AT JOINTS.

2. GASKETS: ASHTO M58, TYPE B OR ASTM C43, INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

3. FLARED END SECTIONS: ASTM C78 OR, FOR SECTIONS WITH TOE WALL, ASHTO H170.

4. HIGH DENSITY POLYETHYLENE PIPE - WATER TIGHT (HOPE-WT):
ASHTO M 252 TYPE S, M 294 TYPE S, OR ASTM F 2206 SMOOTH INTERIOR/ANNULAR EXTERIOR.

5. RUBBER GASKET: ASTM F477

6. RUBBER GASKET JOINTS: ASTM 3212

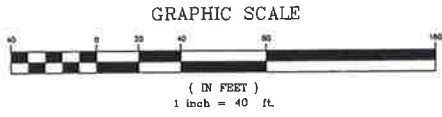
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STRIPPING AND COMPACTION SCHEDULE:	
TOPSOIL STRIPPING DEPTH 4"-12" AVERAGE, DEEPER IF REQUIRED LOCALLY.	
REQUIRED COMPACTION PERCENTAGES (% MAX DRY DENSITY)	
STANDARD PROCTOR TEST METHOD ASTM TEST # D-698	
PAVEMENT AND BUILDING AREA 98%	
TESTING:	
ALLOW 1 COMPACTION TEST PER EA. 2500 S.F. (MAX 50' X 50' AREA) PER LIFT AT BUILDING AREAS.	
ALLOW 1 COMPACTION TEST PER EACH 10,000 S.F. OF CUT OR NATURAL GRADE AT BUILDING AREA.	
ALLOW 1 COMPACTION TEST PER EA. 3500 S.F. (MAX 75' X 75' AREA) PER LIFT AT PARKING AREA.	
ALLOW 1 COMPACTION TEST PER EACH 40,000 S.F. OF CUT OR NATURAL GRADE AT PARKING AREA.	
MAXIMUM LOOSE LIFT THICKNESS SHALL BE 8", UNLESS NOTED OTHERWISE.	



SITE INCORPORATED
Civil Engineers & Surveyors
Knoxville, TN 37932
10215 Technology Drive, Suite 304
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Fax: (665) 777-4189

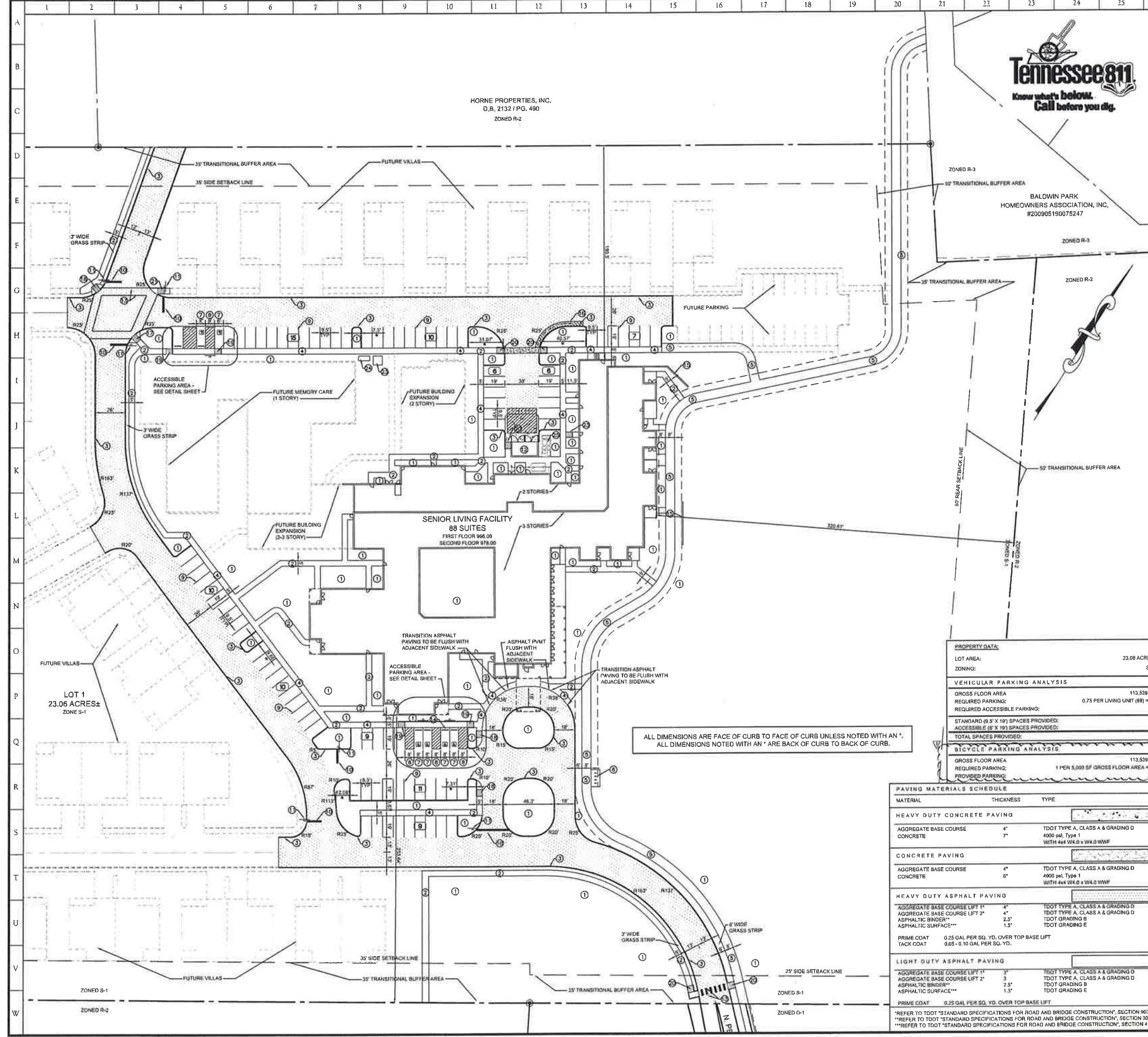


Site Grading and Drainage Plan
Villages of Farragut
208 Smith Road
Farragut, Tennessee

RECEIVED
JAN 10 2017
TOWN OF FARRAGUT

DR-1 W/ N BY:	ACH	DATE:	12/19/16
CHECKED BY:		FILE:	1921 Grading
REVISIONS			
NO.	DATE	COMMENTS	
1	01/09/17	Revised per Town Comments	

C3.1
SHEET 18 OF 36



HORNE PROPERTIES, INC.
D.B. 2132 / PG. 490
ZONED R-2



BALDWIN PARK
HOMEOWNERS ASSOCIATION, INC.
#200905190075247

ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS NOTED WITH AN *.
ALL DIMENSIONS NOTED WITH AN * ARE BACK OF CURB TO BACK OF CURB.

PROPERTY DATA:	
LOT AREA:	23.06 ACRES
ZONING:	S-1
VEHICULAR PARKING ANALYSIS	
GROSS FLOOR AREA	113,539 SF
REQUIRED PARKING:	0.75 PER LIVING UNIT (88) = 66
REQUIRED ACCESSIBLE PARKING:	4
STANDARD (8' X 19') SPACES PROVIDED:	91
ACCESSIBLE (8' X 19') SPACES PROVIDED:	6
TOTAL SPACES PROVIDED:	97
BICYCLE PARKING ANALYSIS	
GROSS FLOOR AREA	113,539 SF
REQUIRED PARKING:	1 PER 5,000 SF GROSS FLOOR AREA = 23
PROVIDED PARKING:	9

PAVING MATERIALS SCHEDULE		
MATERIAL	THICKNESS	TYPE
HEAVY DUTY CONCRETE PAVING		
AGGREGATE BASE COURSE	4"	TDOT TYPE A, CLASS A & GRADING D
CONCRETE	7"	4000 psi, Type 1 WITH 4x4 W4.0 x W4.0 WWF
CONCRETE PAVING		
AGGREGATE BASE COURSE	4"	TDOT TYPE A, CLASS A & GRADING D
CONCRETE	6"	4000 psi, Type 1 WITH 4x4 W4.0 x W4.0 WWF
HEAVY DUTY ASPHALT PAVING		
AGGREGATE BASE COURSE LIFT 1"	4"	TDOT TYPE A, CLASS A & GRADING D
AGGREGATE BASE COURSE LIFT 2"	4"	TDOT TYPE A, CLASS A & GRADING D
ASPHALTIC BINDER***	2.5"	TDOT GRADING B
ASPHALTIC SURFACE***	1.5"	TDOT GRADING E
PRIME COAT	0.25 GAL PER SQ. YD. OVER TOP BASE LIFT	
TACK COAT	0.05 - 0.10 GAL PER SQ. YD.	
LIGHT DUTY ASPHALT PAVING		
AGGREGATE BASE COURSE LIFT 1"	3"	TDOT TYPE A, CLASS A & GRADING D
AGGREGATE BASE COURSE LIFT 2"	3"	TDOT TYPE A, CLASS A & GRADING D
ASPHALTIC BINDER***	2.5"	TDOT GRADING B
ASPHALTIC SURFACE***	1.5"	TDOT GRADING E
PRIME COAT	0.25 GAL PER SQ. YD. OVER TOP BASE LIFT	

**REFER TO TDOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", SECTION 903.05
***REFER TO TDOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", SECTION 307
****REFER TO TDOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", SECTION 411

- SITE PLAN NOTES:**
1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
 2. ALL DISTURBED AREAS NOT BUILT NOR PAVED UPON ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH, AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
 3. ALL DIMENSIONS AND RADII ARE TO FACE OF CURB UNLESS OTHERWISE NOTED WITH AN *. ALL DIMENSIONS NOTED WITH AN * ARE BACK OF CURB TO BACK OF CURB.
 4. EXISTING STRUCTURES WITHIN THE CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED, OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
 5. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO ALL UTILITIES, STORM DRAINAGE, SIGNS, FENCING, ETC., AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
 6. SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION WAS TAKEN FROM A SURVEY PROVIDED BY THE OWNER.
 7. THE SITEWORK FOR THIS PROJECT SHALL MEET OR EXCEED THE SITE WORK SPECIFICATIONS. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.

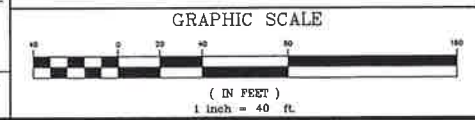
- SITE PAVING NOTES:**
- PAVING ELEVATION TOLERANCE**
FINAL SUBGRADE SHALL BE INSPECTED BY PAVING CONTRACTOR FOR REQUIRED ELEVATION AND ADEQUATE COMPACTION BEFORE COMMENCING ANY PAVING ACTIVITY. PAVING ELEVATION SHALL NOT HAVE MORE THAN 1/4" DEVIATION IN ANY 10' INCREMENT.
- PAVING THICKNESS TOLERANCE**
PAVING THICKNESS AT ANY ONE CORE SHALL NOT BE LESS THAN 90% OF SPECIFIED THICKNESS. THE AVERAGE OF ALL APPROVED TESTS MUST BE AT LEAST EQUAL TO THE SPECIFIED THICKNESS FOR EACH MATERIAL. NOT MORE THAN 20% OF ALL APPROVED TEST MAY FALL BELOW SPECIFIED MINIMUMS. ANY AREA FOUND TO BE LESS THAN 90% SPECIFIED THICKNESS SHALL BE OVERLAIN WITH ASPHALT AS DIRECTED BY SITE, INC.
- TESTING DURING PLACEMENT**
GENERAL CONTRACTOR SHALL PERFORM SEVERAL SPOT CHECKS OF PAVING BASE THICKNESS PRIOR TO INSTALLATION OF ANY ASPHALTIC OR CONCRETE PAVING. DENSITY TESTS SHALL BE PERFORMED ON EACH LIFT AT THE RATE OF ONE TEST PER 10,000 SQUARE FEET.
- CONTRACTOR SHALL PROVIDE FOR TESTING OF COMPLETED PAVING INSTALLATION FOR COMPLIANCE WITH DESIGN CRITERIA AND REQUIRED THICKNESS. CONTRACTOR SHALL REPLACE ALL NON-COMPLYING MATERIAL AT HIS OWN EXPENSE.
- TESTING SHALL BE PERFORMED ONLY BY AN INDEPENDENT TESTING AGENT APPROVED BY SITE, INC. TEST HOLES NOT SPOTTED BY SITE, INC. MAY NOT BE CONSIDERED ACCEPTABLE.
- ALLOW A MINIMUM OF SIXTEEN CORE TESTS TO BE LOCATED ONLY BY WRITTEN INSTRUCTION BY SITE, INC.
- THE PAVING CONTRACTOR SHALL REPAIR ALL CORING HOLES BY FILLING HOLES WITH CONCRETE FLUSH TO TOP OF PAVEMENT.
- ASPHALTIC PAVING MATERIALS**
MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE SPECIFICATION OF THE HIGHWAY DEPARTMENT OF THE STATE IN WHICH THE PROJECT IS LOCATED. REFER TO PAVING MATERIALS LEGEND.
- CONCRETE**
CONCRETE CURBING SHALL BE 4000 PSI 28 DAY STRENGTH 2"-3" SLUMP. (NO CURB DEFORMATION) 3% - 5% AIR ENTRAINMENT. INSTALL WITH RC-70 TACK COAT EMULSION OVER ASPHALT.
- PROVIDE CYLINDER BREAK TEST - 3500 L.F. OF CURBING OR 1-DAY POUR WITH BREAKS - 1 @ 7-DAYS, 2 @ 28-DAYS. COMPLY WITH ASTM C-31 AND ASTM C-39. ALSO PROVIDE ONE SLUMP TEST PER 500 L.F. OF CURBING OR 1-DAY POUR.
- PROVIDE EXPANSION JOINT @ 50' O.C. (MAX) AND CONTROL JOINTS @ 20' O.C. (MAX) AT ALL CONCRETE PAVING AREAS. REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- PAVEMENT MARKING**
PROVIDE PAVEMENT MARKING AS SHOWN ON THE DRAWINGS. STRIPING SHALL BE 4" WIDE OR AS NOTED OTHERWISE ON THE PLANS. ALL MARKINGS SHALL BE THERMOPLASTIC AND SHALL MEET THE TENNESSEE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, MARCH 1, 2008 (SECTION 916.23).
- CONTRACTOR SHALL REMOVE ALL EXISTING PAVEMENT MARKINGS THAT DO NOT CONFORM TO TDOT STANDARDS FOR MODIFIED INTERSECTION.
- TEMPORARY PAVEMENT LINE MARKINGS ON INTERMEDIATE LAYERS OF PAVEMENT SHALL BE REFLECTIVE TAPE OR REFLECTORIZED PAINT INSTALLED TO PERMANENT STANDARDS BEFORE DARK HOURS. SHORT, UNMARKED SECTIONS SHALL NOT BE ALLOWED.
- ALL MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE MUTCD AND TDOT STANDARD DRAWINGS T-401 THROUGH T-444.

- LEGEND**
- 1 LANDSCAPE AREAS/LAND
 - 2 5" WIDE CONCRETE SIDEWALK (SEE DETAIL SHEET)
 - 3 8" EXTRUDED CURB (SEE DETAIL SHEET)
 - 4 INTEGRAL CURB/SIDEWALK (SEE DETAIL SHEET)
 - 5 8" WIDE ASPHALT TRAIL (SEE DETAIL SHEET)
 - 6 BIKE RACKS (SEE DETAIL SHEET)
 - 7 HANDICAP SPACE WITH PAINTED ACCESSIBLE SYMBOL (SEE DETAIL SHEET)
 - 8 4" WIDE DIAGONAL PAINT STRIPES AT 2'-0" O.C.
 - 9 4" WIDE PAINTED WHITE PARKING STRIPES (TYP)
 - 10 2' WIDE WHITE PAINTED STOP BAR (SEE DETAIL SHEET)
 - 11 R 1-1 "STOP" SIGN (SEE DETAIL SHEET)
 - 12 DUMPSTER ENCLOSURE - CMU WITH BRICK TO MATCH BUILDING AND (2) WOOD DOUBLE GATES (REFER TO ARCHITECTURAL PLANS)
 - 13 CROSSWALK WITH 8" WIDE SOLID WHITE LINES SPACED MINIMUM OF 6' APART
 - 14 CONCRETE WHEEL STOP (TYP) (SEE DETAIL SHEET)
 - 15 SEGMENTAL BLOCK RETAINING WALL (SEE DETAIL SHEET)
 - 16 FIRE LANE STRIPING (SEE DETAIL SHEET)
 - 17 ACCESSIBLE RAMP - TYPE I (SEE DETAIL SHEET)
 - 18 ACCESSIBLE RAMP - TYPE II (SEE DETAIL SHEET)
 - 19 ACCESSIBLE RAMP - TYPE III (SEE DETAIL SHEET)
 - 20 ACCESSIBLE RAMP - TYPE IV (SEE DETAIL SHEET)
 - 21 ACCESSIBLE RAMP - TYPE V (SEE DETAIL SHEET)
 - 22 ACCESSIBLE RAMP - TYPE VI (SEE DETAIL SHEET)
 - 23 TRANSFORMER (SEE SITE ELECTRICAL PLANS)
 - 24 GENERATOR (SEE SITE ELECTRICAL PLANS)
 - 25 CONDENSING UNITS (SEE MECHANICAL PLANS)

REFER TO SHEET C6.2 FOR TYPICAL SITE DETAILS

HVAC SYSTEMS, ANTENNAS, AND SATELLITE DISHES SHALL BE LOCATED ON THE ROOF AND WILL BE SCREENED SO THAT THEY ARE NOT VISIBLE FROM ADJACENT PROPERTIES AND RIGHT-OF-WAYS PER TOWN OF FARRAGUT REQUIREMENTS

ALL WALKING FACILITIES (WALKING TRAILS/SIDEWALKS) MUST BE COORDINATED WITH TOWN STAFF PRIOR TO CONSTRUCTION.



STH
INCORPORATED
Civil Engineers & Surveyors
10215 Technology Drive, Suite 304
Knoxville, TN 37932
Phone: (665) 777-4160
Fax: (665) 771-4189



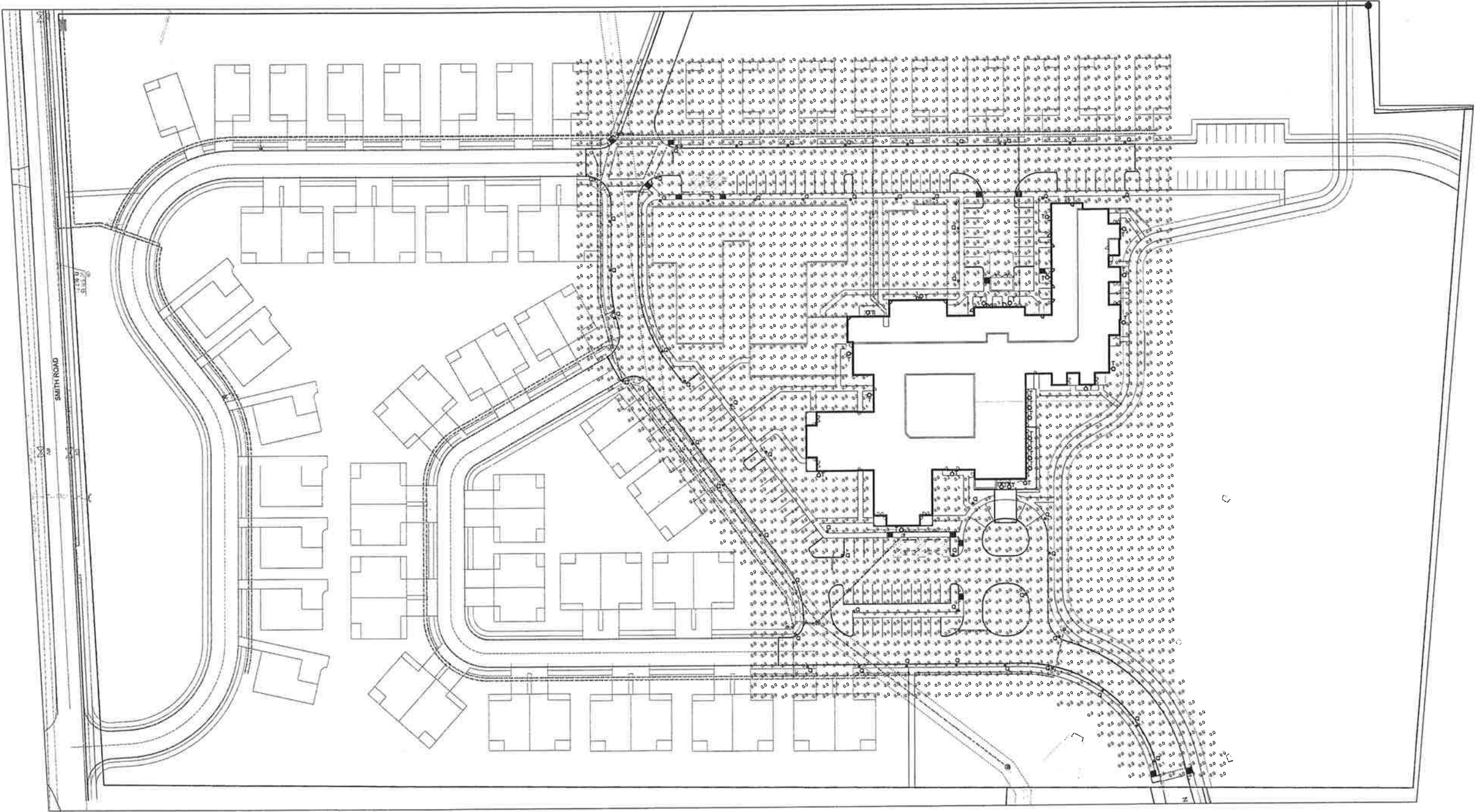
Site Layout Plan
Villages of Farragut
208 Smith Road
Farragut, Tennessee

RECEIVED
JAN 10 2017
TOWN OF FARRAGUT

CHECKED BY: _____ DATE: 12/19/16	
FILE: 1921-Layout	
REVISIONS	
NO.	DATE
1	01/07/17
Comments: Revised per Town Comments	
C4.0	
SHEET 10 OF 38	

STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Cale Zone #2	+	0.0 fc	3.3 fc	0.0 fc	N / A	N / A

LUMINAIRE SCHEDULE							
Label	Qty	Catalog Number	Description	Lamp	Lumens	LLF	Watts
Q	54	P5445-203Q3	Outdoor Post Luminaire with softly diffused seeded glass shade (17' x 18.5" cone shape fixture)	20 - NICHIA 3000K LEDs (9W HAL Module)	Absolute	0.85	9
T	16	P5853-203Q3	1-L1 Wall Luminaire (7' square) with softly diffused seeded glass shade and HAL AG LED Module	20 - NICHIA 3000K	Absolute	0.85	9



SITE LIGHTING AND PHOTOMETRIC PLAN
SCALE: 1" = 50'-0"



SHEET TITLE: SITE LIGHTING AND PHOTOMETRIC PLAN

Village of Farragut - Phase 1
208 Smith Road
Farragut, TN 37934

RECEIVED
JAN 10 2017
TOWN OF FARRAGUT

PROJECT NO:	18123
DATE:	12/19/2016
REVISED:	1/9/2017

SHEET NO:

E1.0

SHEET 26 OF 36



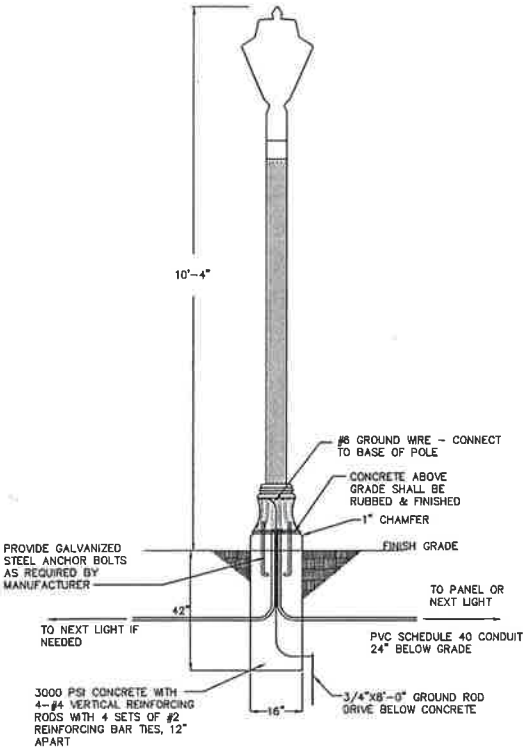
TYPE "Q" FIXTURE DETAIL



TYPE "T" FIXTURE DETAIL

SITE PHOTOMETRIC NOTES

1. CALCULATIONS SHOWN REPRESENT MAINTAINED LIGHTING LEVELS IN FOOTCANDLES AT GRADE WITH A TOTAL LIGHT LOSS FACTOR OF 0.95. CALCULATIONS DO NOT INCLUDE CONTRIBUTIONS FROM OTHER LIGHT SOURCES.
2. CIVIL BASE PLAN AS PROVIDED TO PARSONS ENGINEERING, INC. SHOWED NO OVERHEAD UTILITIES. THE CIVIL ENGINEER SHALL VERIFY THAT THERE ARE NO CONFLICTS WITH EXISTING OR PROPOSED UTILITY LINES OR EASEMENTS.
3. THESE CALCULATIONS HAVE BEEN GENERATED FROM MANUFACTURER SUPPLIED PHOTOMETRIC FILES. PARSONS ENGINEERING, INC. HAS MADE A REASONABLE ATTEMPT TO OBTAIN THE MOST CURRENT PHOTOMETRIC REPORT. PARSONS ENGINEERING, INC. IS NOT RESPONSIBLE FOR ERRANT RESULTS DUE TO MANUFACTURERS' QUALITY CONTROL OR DESIGN CHANGES.



POLE LIGHT DETAIL

NO SCALE
POLE BASE DETAIL PROVIDED FOR SCOPE AND BID PURPOSES. CONTRACTOR SHALL SUBMIT A POLE BASE DESIGN SUITABLE FOR LOCAL CONDITIONS AND APPROVED BY A STRUCTURAL ENGINEER.



Villages of Farragut - Phase 1
208 Smith Road
Farragut, TN 37934

RECEIVED
JAN 10 2017
TOWN OF FARRAGUT

PROJECT NO:
18123
DATE:
12/19/2016
REVISION:
1/9/2017

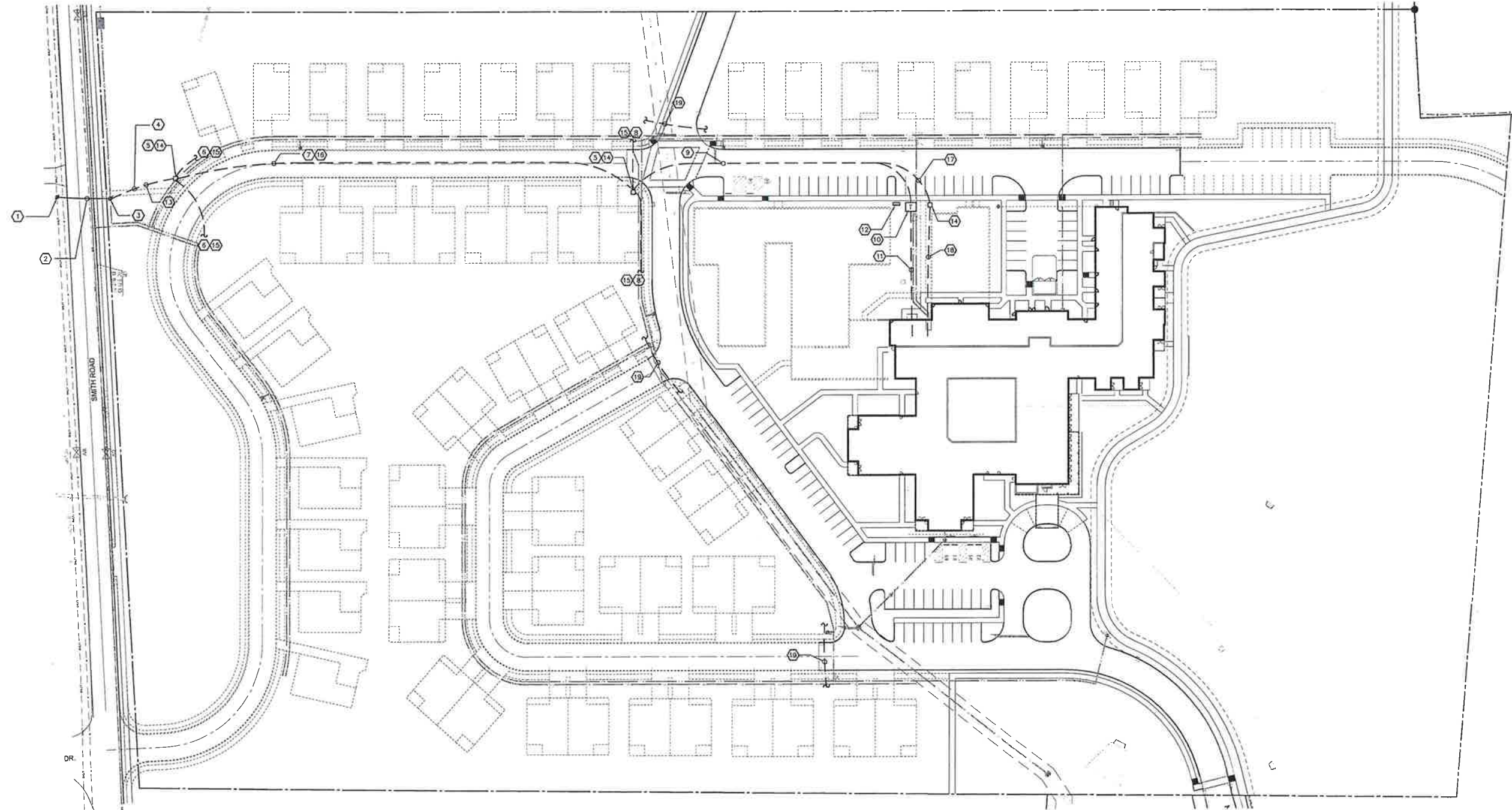
SHEET NO:

E1.1

SHEET 27 OF 36

⑦ ELECTRICAL KEYNOTES

1. APPROXIMATE LOCATION OF EXISTING ELECTRICAL UTILITY POLE, COORDINATE EXACT LOCATION WITH LENOIR CITY UTILITY BOARD.
2. NEW OVERHEAD PRIMARY.
3. NEW ELECTRICAL UTILITY SERVICE POLE, COORDINATE EXACT LOCATION AND REQUIREMENTS WITH LENOIR CITY UTILITY BOARD.
4. PROVIDE (3) 2" CONDUITS FOR NEW UNDERGROUND PRIMARY FROM NEW UTILITY COMPANY SERVICE POLE TO NEW TAP BOX, COORDINATE EXACT LOCATION AND REQUIREMENTS WITH LENOIR CITY UTILITY BOARD.
5. NEW UTILITY COMPANY TAP BOX, COORDINATE EXACT LOCATION AND REQUIREMENTS WITH LENOIR CITY UTILITY BOARD.
6. PROVIDE (2) 2" CONDUITS OUT OF TAP BOX FOR FUTURE USE, COORDINATE EXACT REQUIREMENTS WITH LENOIR CITY UTILITY BOARD.
7. PROVIDE (3) 2" CONDUITS FOR NEW UNDERGROUND PRIMARY BETWEEN TAP BOXES, COORDINATE EXACT LOCATION AND REQUIREMENTS WITH LENOIR CITY UTILITY BOARD.
8. PROVIDE (3) 2" CONDUITS OUT OF TAP BOX FOR FUTURE USE, COORDINATE EXACT REQUIREMENTS WITH LENOIR CITY UTILITY BOARD.
9. PROVIDE (3) 2" CONDUITS FOR NEW UNDERGROUND PRIMARY BETWEEN TAP BOX AND PAD MOUNTED TRANSFORMER, COORDINATE EXACT LOCATION AND REQUIREMENTS WITH LENOIR CITY UTILITY BOARD.
10. NEW UTILITY COMPANY PAD MOUNTED TRANSFORMER.
11. NEW UNDERGROUND SECONDARY.
12. NEW GENERATOR LOCATION.
13. PROVIDE (1) 4" CONDUIT FOR CABLE AND (1) 4" CONDUIT FOR PHONE IN SAME TRENCH AS PRIMARY, COORDINATE EXACT REQUIREMENTS WITH LENOIR CITY UTILITY BOARD AND LOCAL CABLE/PHONE UTILITY.
14. TURN UP CABLE AND PHONE CONDUITS FOR PROPOSED CABLE/PHONE PEDESTAL, COORDINATE EXACT LOCATION AND REQUIREMENTS WITH LENOIR CITY UTILITY BOARD AND LOCAL CABLE/PHONE UTILITY.
15. PROVIDE (1) 4" CONDUIT FOR CABLE AND (1) 4" CONDUIT FOR PHONE IN SAME TRENCH AS PRIMARY FOR FUTURE USE, COORDINATE EXACT REQUIREMENTS WITH LENOIR CITY UTILITY BOARD AND LOCAL CABLE/PHONE UTILITY.
16. PROVIDE (1) 4" CONDUIT FOR CABLE AND (1) 4" CONDUIT FOR PHONE IN SAME TRENCH AS PRIMARY BETWEEN CABLE/PHONE PEDESTALS, COORDINATE EXACT REQUIREMENTS WITH LENOIR CITY UTILITY BOARD AND LOCAL CABLE/PHONE UTILITY.
17. PROVIDE (1) 4" CONDUIT FOR CABLE AND (1) 4" CONDUIT FOR PHONE TO PROPOSED CABLE/PHONE PEDESTAL, COORDINATE EXACT LOCATION AND REQUIREMENTS WITH LENOIR CITY UTILITY BOARD AND LOCAL CABLE/PHONE UTILITY.
18. PROVIDE (1) 4" CONDUIT FOR CABLE AND (1) 4" CONDUIT FOR PHONE FROM PROPOSED CABLE/PHONE PEDESTAL TO COMMUNICATION ROOM INSIDE BUILDING, COORDINATE EXACT LOCATION AND REQUIREMENTS WITH LENOIR CITY UTILITY BOARD AND LOCAL CABLE/PHONE UTILITY.
19. PROVIDE (5) 4" CONDUITS UNDER ROAD FOR FUTURE USE.



SITE ELECTRICAL PLAN
SCALE: 1" = 50'-0"



Village of Faragut - Phase 1
208 Smith Road
Faragut, TN 37934

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JAN 10 2017
TOWN OF FARAGUT

PROJECT NO:
16123
DATE:
12/19/2016
REVISED:
1/9/2017

SHEET NO:
E2.0
SHEET 28 OF 36



1 ELEVATION



2 ELEVATION



3 ELEVATION

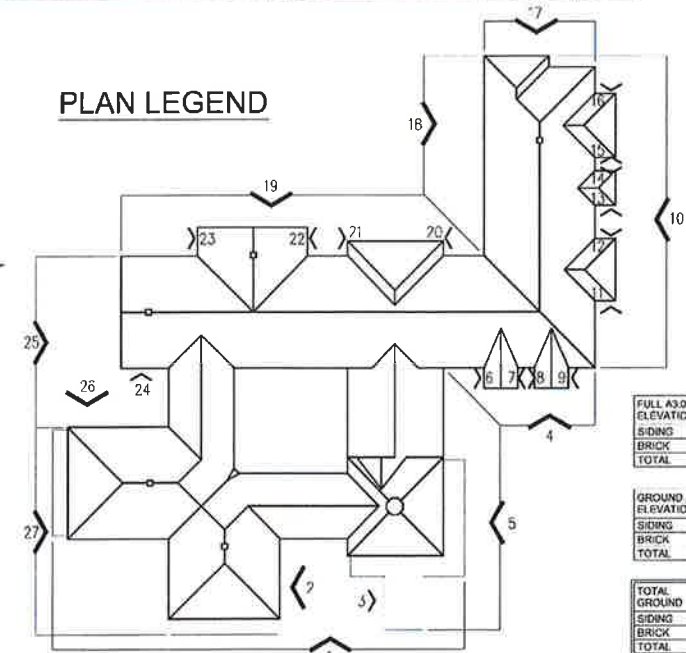


4 ELEVATION



5 ELEVATION

PLAN LEGEND



FULL A3.0 ELEVATIONS	SURFACE AREA	PERCENT OF TOTAL
SIDING	3450	34%
BRICK	5821	62%
TOTAL	9461	

GROUND A3.0 ELEVATIONS	SURFACE AREA	PERCENT OF TOTAL
SIDING	219	8%
BRICK	3037	91%
TOTAL	3247	

TOTAL GROUND	SURFACE AREA	PERCENT OF TOTAL
SIDING	2116	16%
BRICK	6089	82%
TOTAL	11705	

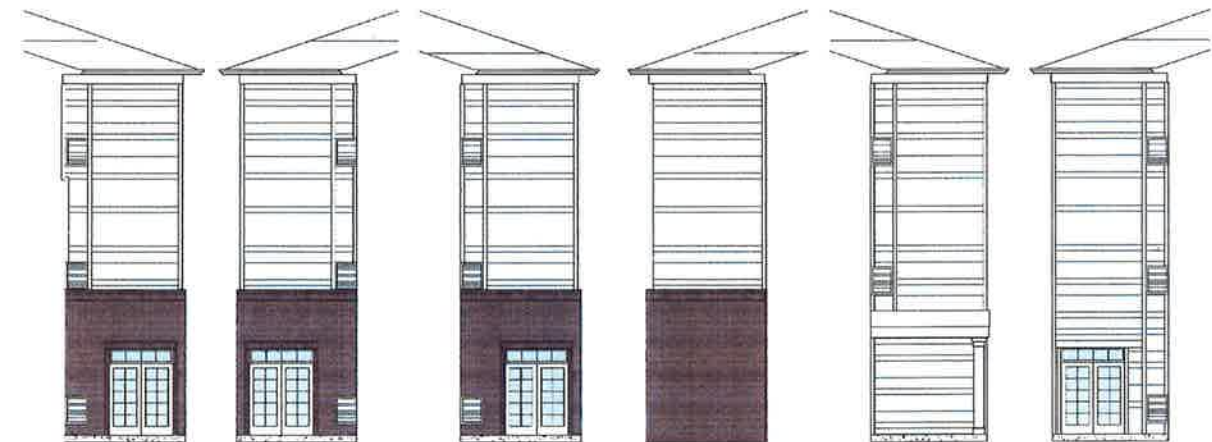
TOTAL ELEVATIONS	SURFACE AREA	PERCENT OF TOTAL
SIDING	12193	49%
BRICK	17061	80%
TOTAL	30154	



6 ELEVATION 7 ELEVATION 8 ELEVATION 9 ELEVATION



10 ELEVATION



11 ELEVATION 12 ELEVATION 13 ELEVATION 14 ELEVATION 15 ELEVATION 16 ELEVATION

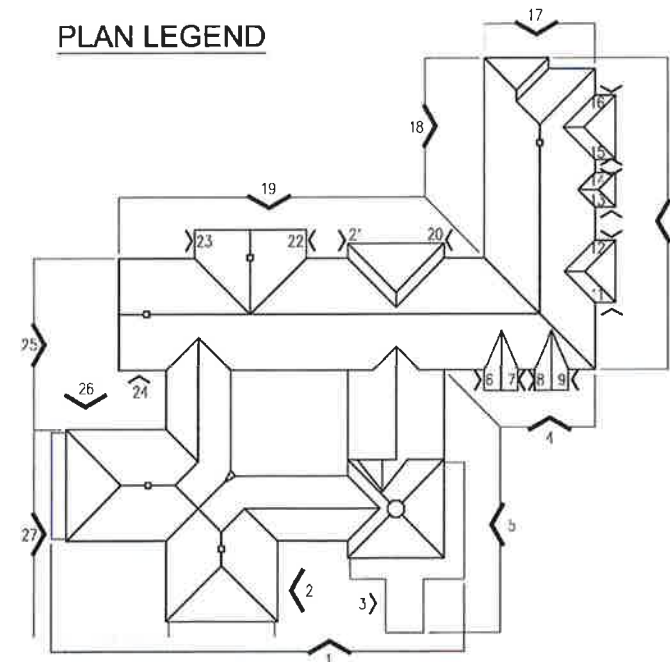


17 ELEVATION



18 ELEVATION

PLAN LEGEND



FULL A3.1 ELEVATIONS	SURFACE AREA	PERCENT OF TOTAL
SIDING	3369	35%
BRICK	6243	65%
TOTAL	9612	

GROUND A3.1 ELEVATIONS	SURFACE AREA	PERCENT OF TOTAL
SIDING	436	11%
BRICK	3418	89%
TOTAL	3854	

TOTAL GROUND	SURFACE AREA	PERCENT OF TOTAL
SIDING	2116	19%
BRICK	9589	82%
TOTAL	11705	

TOTAL ELEVATIONS	SURFACE AREA	PERCENT OF TOTAL
SIDING	12152	40%
BRICK	17061	60%
TOTAL	29213	



GOOD WORKS
UNLIMITED, LLC

Development, Design and
Management of Senior Living
Communities

2202 JEFFERSON COURT
FRANKLIN, TN 37064
615.790.7041 P/F



Inspireon
LLC

Planning
Architecture
Interiors
Construction

1733 Fieldcrest Circle
Franklin, TN 37064
615.790.7041 p/f



DATE DESCRIPTION

THE
Village
OF FARRAGUT
FARRAGUT, TENNESSEE

RECEIVED

JAN 10 2017

TOWN OF FARRAGUT

DRAWING TITLE:
EXTERIOR
ELEVATIONS

SCALE: 1/8"=1'-0"

A3.1

DATE	DESCRIPTION

THE
Village
OF FARRAGUT
FARRAGUT, TENNESSEE
RECEIVED
JAN 10 2017
TOWN OF FARRAGUT

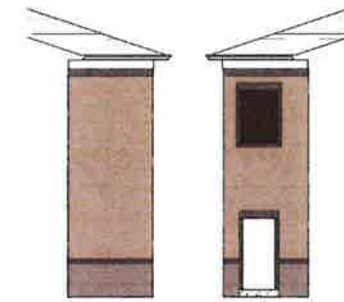
DRAWING TITLE:
EXTERIOR
ELEVATIONS

SCALE: 1/8"=1'-0"

A3.2



19 ELEVATION



20 ELEVATION

21 ELEVATION



22 ELEVATION

23 ELEVATION

24 ELEVATION



25 ELEVATION

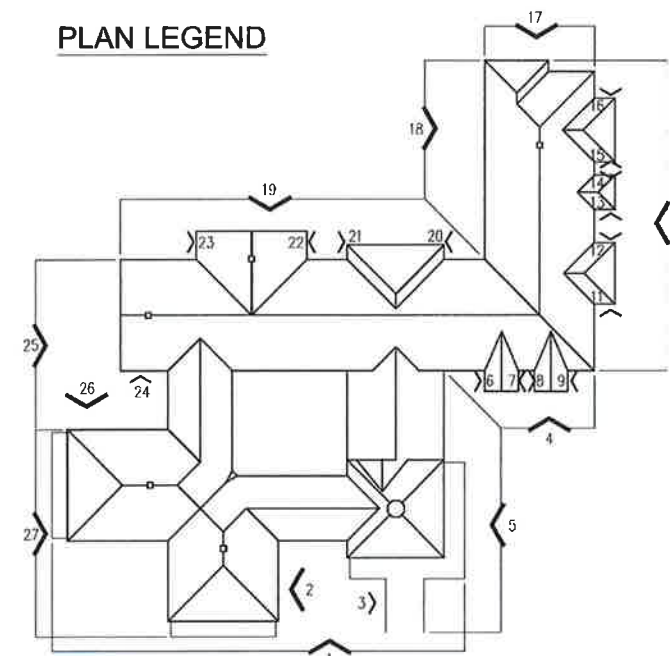


26 ELEVATION



27 ELEVATION

PLAN LEGEND



SW
ARCTIC
WHITE

SW
COBBLE
STONE

SW
KHAKI
BROWN

SW
WOODSTOCK
BROWN

SW
HEATHERED

SW
TIMBER
BARK

GS
SAINTCLOUD

GS
AUTUMN
RIDGE

GS
CALLAWAY
TUDOR

GS
MILLSTONE

GS
SHADOW
GREY

FULL A3.2 ELEVATIONS	SURFACE AREA	PERCENT OF TOTAL
SIDING	5184	47%
BRICK	5897	53%
TOTAL	11081	

GROUND A3.2 ELEVATIONS	SURFACE AREA	PERCENT OF TOTAL
SIDING	1475	32%
BRICK	3134	68%
TOTAL	4604	

TOTAL GROUND	SURFACE AREA	PERCENT OF TOTAL
SIDING	2116	18%
BRICK	5589	82%
TOTAL	11705	

TOTAL ELEVATIONS	SURFACE AREA	PERCENT OF TOTAL
SIDING	12193	40%
BRICK	17861	60%
TOTAL	30154	



DISTRICT: FW
CLT MAP: 142
PARCELS: 89.02
ZONE: S-1

DEVELOPER:
GOODWORKS UNLIMITED, LLC
2202 JEFFERSON CT.
FRANKLIN, TN 37064
PHONE: 615-790-7041
CONTACT: GARY KECKLEY
EMAIL: GARY@GOODWORKSUNLIMITED.COM

PROPERTY OWNER:
FARRAGUT SENIOR LIVING, LLC
2202 JEFFERSON CT.
FRANKLIN, TN 37064
PHONE: 615-790-7041
CONTACT: GARY KECKLEY
EMAIL: GARY@GOODWORKSUNLIMITED.COM

ARCHITECT:
INSPIREON, LLC
1753 FIELDCREST CIRCLE
FRANKLIN, TN 37064
PHONE: 615-790-7041

ENGINEERS:
SITE, INCORPORATED
10215 TECHNOLOGY DRIVE
SUITE 304
KNOXVILLE, TN 37932
PHONE: 865-777-4160

LANDSCAPE ARCHITECT:
THE PENLAND STUDIO, INC.
111 N. CENTRAL ST.
SUITE 100
KNOXVILLE, TN 37902
PHONE: 865-230-9955

THE PENLAND STUDIO
111 N. CENTRAL ST. SUITE 100
KNOXVILLE, TENNESSEE 37902
TEL: 865.230.9955



Planting Plan
Villages of Farragut
208 Smith Road
Farragut, Tennessee

RECEIVED

JAN 10 2017

TOWN OF FARRAGUT

DRAWN BY: DATE: 1/9/17
CHECKED BY: FILE: 1921-Landscape

REVISIONS

NO. DATE COMMENTS

L1.1

SHEET 1 OF 21



PLANTING NOTES:

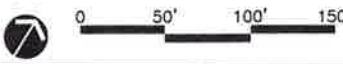
- SEE SHEET C2.0 FOR TREE PRESERVATION PLAN.
- THE LOCATION OF ALL SURFACE AND UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR BEFORE GROUND BREAK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES FROM DAMAGE AS REQUIRED DURING CONSTRUCTION AND TO REPAIR ANY DAMAGE WHICH SHOULD OCCUR TO THE SATISFACTION OF THE OWNER.
- THIS PLAN REFLECTS AND IS CONSISTENT WITH THE REMAINING PLAN SHEETS ASSOCIATED WITH THIS PROJECT. AT THE TIME OF PRINTING, SITE ELECTRICAL ENGINEERING IS IN PROGRESS. PROPOSED LANDSCAPING SHALL NOT INTERFERE WITH OR CREATE SHORT OR LONG-TERM MAINTENANCE PROBLEMS ASSOCIATED WITH OVERHEAD OR UNDERGROUND UTILITIES AND SITE LIGHTING.
- ALL FINISHED LAWNS SHALL HAVE A MINIMUM OF 4" TOPSOIL, SMOOTHLY AND EVENLY DISTRIBUTED. TOPSOIL SHALL BE FREE OF DEBRIS AND NOXIOUS MATERIALS, AND SHALL HAVE POSITIVE DRAINAGE IN ALL LOCATIONS.
- ANY LAWN 3:1 OR STEEPER SHALL HAVE EROSION CONTROL BLANKET UNTIL GRASS HAS PROPAGATED AND COVERED 95% OF ALL BARE AREAS.
- ALL AREAS SHOWN AS LAWN SHALL BE SEEDED OR SODDED WITH HYBRID FESCUE.
- ALL PLANTS SHALL BE FREE OF DISEASE AND SHALL HAVE A HEALTHY APPEARANCE AT THE TIME OF PLANTING.
- ALL PLANTING BEDS AND GROUPED EVERGREEN TREES SHALL RECEIVE A 3" LAYER OF HARDWOOD MULCH.
- ALL PLANT GROWTH IN LANDSCAPED AREAS SHALL BE CONTROLLED BY PRUNING, TRIMMING OR OTHER SUITABLE METHODS SO THAT PLANT MATERIALS DO NOT INTERFERE WITH UTILITIES, RESTRICT PEDESTRIAN OR VEHICULAR ACCESS OR OTHERWISE CONSTITUTE A HAZARD.
- ALL LANDSCAPED AREAS SHALL BE MAINTAINED IN A RELATIVELY WEED-FREE CONDITION AND CLEAR OF UNDERGROWTH.
- ALL PLANTINGS SHALL BE FERTILIZED AT INTERVALS AS ARE NECESSARY TO PROMOTE OPTIMUM GROWTH.
- ALL TREES, SHRUBS, GROUNDCOVERS AND OTHER PLANT MATERIALS SHALL BE REPLACED IF THEY DIE OR BECOME UNHEALTHY DUE TO ACCIDENTS, DRAINAGE PROBLEMS, DISEASE OR OTHER CAUSES.
- ESTABLISH SMOOTH CURVILINEAR ROWING/BED LINES WHERE GRASSES MEET MULCHED SHRUB OR GROUND COVER MASS. BED LINE LOCATIONS SHALL BE APPROVED BY LANDSCAPE ARCHITECT BEFORE BEGINNING BED PREPARATION. PROVIDE METAL BED EDGING WHERE LANDSCAPE BEDS MEET LAWNS.
- ALL AREAS OF MASS PLANTING SHALL RECEIVE 8" OF APPROVED TOPSOIL PRIOR TO PLANTING.

APPROXIMATE LIMIT OF PHASE ONE GRADING / DISTURBANCE. SEE ALL DISTURBED AREAS WITH-BLENDED FESCUE. SEE NOTES.

THE VILLAGES AT FARRAGUT (PHASE ONE) PLANT LIST

QUANTITY	SYMBOL	COMMON NAME	BOTANICAL NAME	LOCATION	ROOTS	MINIMUM SIZE	TYPE	REMARKS
TREES								
15	ARO	October Glory Red Maple	<i>Acer rubrum</i> 'October Glory'	SHADE, BUFFER	B&B	2" Cal.	Canopy Tree	Full Crown, branched @ 7' for ARO's within or adjacent to Visibility Triangles - See Sht. L1.0
7	ASL	Legacy Sugar Maple	<i>Acer saccharum</i> 'Legacy'	SHADE, BUFFER	B&B	2" Cal.	Canopy Tree	
4	AA	Serviceberry	<i>Amelanchier arborea</i> 'Autumn Brilliance'	ALL	B&B	8" Ht.	Understory Flowering Tree	Multi-Stem
4	CCS	Redbud	<i>Cercis canadensis</i>	ALL	B&B	8" Ht.	Understory Flowering Tree	Multi-Stem
6	CFC	Appalachian Spring Flowering Dogwood	<i>Cornus florida</i> 'Appalachian Spring'	ALL	B&B	2" Cal.	Understory Flowering Tree	
7	CIY	Yoshino Cryptomeria	<i>Cryptomeria japonica</i> 'Yoshino'	AREA, BUFFER	B&B	6" Ht.	Canopy Tree	Full to Ground @ 20' O.C.
16	JVB	Burkii Red Cedar	<i>Juniperus virginiana</i> 'Burkii'	AREA, BUFFER	B&B	6" Ht.	Canopy Tree	Full to Ground @ 15' O.C.
7	MVA	Sweetbay Magnolia	<i>Magnolia virginiana</i>	ALL	B&B	8" Ht.	Understory Flowering Tree	Clump, pruned to 36", Full Crown
8	NSW	Wildfire Blackgum	<i>Nyssa sylvatica</i> 'Wildfire'	SHADE, BUFFER	B&B	2" Cal.	Canopy Tree	
8	QNI	Nuttall Oak	<i>Quercus nuttallii</i>	SHADE	B&B	2" Cal.	Canopy Tree	
7	TAS	Pond Cypress	<i>Taxodium ascendens</i>	BASIN	B&B	2" Cal.	Canopy Tree	Full Crown
11	TGG	Green Giant Arborvitae	<i>Thuja 'Green Giant'</i>	BUFFER	B&B	6" Ht.	Canopy Tree	Full to Ground @ 20' O.C.
1	UPA	Allee Elm	<i>Ulmus parvifolia</i> 'Timer II' Alice	SHADE	B&B	2" Cal.	Canopy Tree	
SHRUBS								
13	AGA	Glossy Abelia	<i>Abelia x grandiflora</i>	LANDSCAPING	Cont.	3 Gal.	Flowering Evergreen Shrub	Full Plants, 4" O.C.
27	AFA	False Indigo Bush	<i>Amorpha fruticosa</i>	BASINS	Cont.	3 Gal.	Flowering Deciduous Shrub	Full Plants, 8" O.C.
5	CSW	Winter's Dream Camellia	<i>Camellia alifera</i> 'Winter's Dream'	LANDSCAPING	Cont.	7 Gal.	Flowering Evergreen Shrub	Specimen
42	CSA	Redoubt Dogwood	<i>Cornus sericea</i>	BASINS, AREA	Cont.	3" Ht.	Large Shrub	Full Plants, 6" O.C.
5	TKO	Double Knockout Rose	<i>Rosa 'Knockout'</i>	LANDSCAPING	Cont.	3 Gal.	Flowering Shrub	Full Plants, 4" O.C.
23	VBM	Mohawk Viburnum	<i>Viburnum x burkwoodii</i> 'Mohawk'	BASINS	Cont.	7 Gal.	Flowering Shrub	Full Plants, 8" O.C.
GROUND COVER								
33	CHP	Prostrata Japanese Plum Yew	<i>Cephalotaxus harringtonia</i> 'Prostrata'	LANDSCAPING	Cont.	24" Spread	Evergreen Groundcover	36" O.C.
20	JBP	Blue Pacific Shore Juniper	<i>Juniperus conferta</i> 'Blue Pacific'	LANDSCAPING	Cont.	3 Gal.	Evergreen Groundcover	36" O.C.
SEEDING AREAS								
LI		Fescue Blend		LAWNS	Seed	Seed		
DI		Detention Basin Mix	Mix of Riparian Grasses & Forbs	BASINS	Seed	Seed		Prairie Moon Nursery's Detention Basin Seed Mix or Approved Equivalent- Application Rate per Grower's Recommendation

1 PLANTING PLAN
SCALE: 1"=50'-0"



MEETING DATE: January 19, 2017

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on a site plan for Dog Days Canine Playschool, located at 10875 Kingston Pike, 23.06 Acres (Dog Days Canine Playschool, Applicant)

INTRODUCTION AND BACKGROUND: At the December Planning Commission meeting an ordinance, Ordinance 16-25, was recommended for approval and has subsequently been approved by the Board of Mayor and Aldermen that would provide for new requirements associated with commercial kennels. Primarily these new requirements include an opportunity for an outdoor fenced area subject to compliance with a number of parameters.

One of the provisions in the ordinance is that a site plan review is required for any outdoor fenced area that an applicant may propose. The site plan would need to specifically address all of the applicable parameters in the ordinance. A copy of Ordinance 16-25 is included in the packet.

DISCUSSION: One of the parameters in Ordinance 16-25 is that the fencing must not interfere with parking spaces, access ways, and/or pedestrian access. The applicant is proposing a roughly 600 square foot fenced area for the Dog Days Day Care facility that is moving from their existing location behind the Campbell Station Inn (Russell House) to a new location in the Patriot's Corner development. The proposed fenced area that is shown on the site plan is in the southwest corner of Building B. As proposed, the fenced area would enclose the existing terminal island in this portion of the parking lot.

Terminal landscape islands are required in the Town's zoning ordinance to terminate a row of parking and provide for an opportunity to landscape a parking lot. The staff is concerned that fencing in the terminal island will compromise the intent of this parking lot element and create an undesirable precedent for other locations. Patriot's Corner has an excess amount of parking and another option may be to fence in a couple of parking spaces on the south side of the building provided such fenced area would not interfere with car parked in an abutting parking space or traffic flow within the parking lot. If this option were pursued, a door would need to be added to the south side of the building. This is doable but must be coordinated with the codes staff to ensure building and fire code compliance.

Also, since this use will have dogs that could be urinating within the fenced area, a plan will need to be in place with the stormwater director to ensure that no adverse impacts to stormwater will be created.

RECOMMENDATION: Included in your packet is the applicant's site plan and documentation along with some photographs of the area where the fencing is proposed. The staff will review this at the meeting.

ORDINANCE:	16-25
PREPARED BY:	Shipley
REQUESTED BY:	Staff
CERTIFIED BY FMPC:	November 17, 2016
PUBLIC HEARING:	_____
PUBLISHED IN:	_____
DATE:	_____
1ST READING:	_____
2ND READING:	_____
PUBLISHED IN:	_____
DATE:	_____

AN ORDINANCE TO AMEND THE TEXT OF THE FARRAGUT ZONING ORDINANCE, ORDINANCE 86-16, AS AMENDED, PURSUANT TO AUTHORITY GRANTED BY SECTION 13-4-201, TENNESSEE CODE ANNOTATED, BY AMENDING CHAPTER 3. SPECIFIC DISTRICT REGULATIONS, SECTION XII., GENERAL COMMERCIAL DISTRICT (C-1)., SUBSECTION B. 12., TO ALLOW FOR NEW REQUIREMENTS ASSOCIATED WITH KENNELS

WHEREAS, the Board of Mayor and Aldermen of the Town of Farragut, Tennessee, wishes to amend Chapter 3, Specific District Regulations, of the Farragut Zoning Ordinance, Ordinance 86-16,

NOW, THEREFORE, BE IT ORDAINED by the Board of Mayor and Aldermen of the Town of Farragut, Tennessee, that the Farragut Zoning Ordinance is hereby amended as follows:

SECTION 1.

The Farragut Zoning Ordinance, Chapter 3, Specific District Regulations, Section XII. General Commercial District (C-1), Subsection B., 12., is amended by deleting it in its entirety and substituting in lieu thereof the following:

12. Commercial kennels, provided the following development criteria are met:

- a. Any outdoor structures (e.g. fences) associated with the kennel shall not be visible from public streets;
- b. Boarding of animals shall be confined to the interior of a structure designated for this purpose;
- c. Outdoor fences are permitted solely to provide an area for exercise and waste elimination and shall be used only with on-site supervision. Outdoor fences shall adhere to the following specifications:
 - a. Opaque with no openings as viewed from the outside of the fence and a minimum of six (6) feet in height;
 - b. Properly maintained and constructed of durable, low maintenance materials that are earth tone, black, or white in color and contain no signage. No chain link fencing

- shall be permitted;
- c. Set back at least fifty (50) feet from an adjacent property that is not zoned residential or agriculture. Such measurement shall be a straight line distance from the nearest portion of the fence to the nearest portion of the property that is not zoned residential or agriculture;
 - d. Set back at least two-hundred fifty (250) feet from an adjacent property that is zoned residential or agriculture. Such measurement shall be a straight line distance from the nearest portion of the fence to the nearest portion of the property that is zoned residential or agriculture;
 - e. Shall be reviewed as part of a site plan process through the Planning Commission and shall not interfere parking spaces, access ways, and/or pedestrian access;
 - d. The square footage of fenced areas shall not exceed one-fourth (¼) of the gross square footage of the interior space associated with the commercial kennel;
 - e. Fenced areas shall be properly maintained in a clean and sanitary condition so as to be free from offensive odors or other nuisances and shall not adversely affect public health;
 - f. Fenced areas with a non-vegetated surface shall be designed and constructed to drain to the sanitary sewer. An alternative would be for the wash water to drain to an infiltration area (rain garden, bioswale, pervious concrete, etc.,) adjacent to the impervious area to promote infiltration, reduce runoff, and provide treatment of the wash water before it reaches a stream or other waterway. Fenced areas, regardless of their size, that are associated with a commercial kennel shall be covered by the Town's Special Pollution Abatement Permit to ensure proper stormwater practices are maintained on the site;
 - g. The indoor space devoted to the kennel shall be sound proofed to prevent the noise of barking dogs from exceeding 80 decibels (dB) inside and yielding no more than 30 dB outside the facility. A certification from a registered engineer qualified to make such an assessment shall be provided to verify compliance with these decibel requirements; and
 - h. Such facility shall be subject to an unannounced annual inspection to assess compliance with the provisions of this ordinance.

SECTION 2.

This ordinance shall take effect from and after its final passage and publication, the public welfare requiring it.

Dr. Ralph McGill, Mayor

Allison Myers, Town Recorder

Certified to the Farragut Board of Mayor and Aldermen this ____ day of _____, 2016, with approval recommended.

Rita Holladay, Chairman

Edwin K. Whiting, Secretary

FARRAGUT MUNICIPAL PLANNING COMMISSION

1) We are over 250 ft from nearest Residential area. We are over 50 ft from Sir Boonys and the Gas Station.

2) My Building is 2500 sq ft and fence has to be $\frac{1}{4}$ of Building mine will be 608 sq ft

3) I will only be taking one parking space which is marked out as a loading zone. Total Buildings sq ft 41,581 sq ft 1 space per 400 ft so 103.9 needed and there are 177 spaces

4) Fence will be 6 ft pressure treated privacy fence with wood posts and a gate (per fire marshall) Dogs will be supervised on patio and it will be used in short spurts for exercise and potty Breaks. It will be kept clean and sanitary. Island will be all Grass.

PROPOSAL



**LOUDON
COUNTY
FENCE, L.L.C.**

5482 Highway 321 N.
Lenoir City, TN 37771
865-988-9935 or 865-988-9141
865-988-9961 fax

Mr./Mrs. Dog Days Canine Playschool
Address 10875 Kingston Pike
Farragut, TN 37934
Home 898-9230 Work _____
Date 12-13-16 Fax _____

CHAIN LINK HEIGHT		TYPE <u>PTP</u> <u>wood</u>
TOTAL FT.		HEIGHT <u>6' +</u>
GATES		TOTAL FT. <u>94'</u>
WIRE GAUGE		STYLE <u>Dog Ear</u> <u>Privacy</u>
TOP RAIL		GATES <u>4'5ngl</u>
TERMINAL POSTS		POST TYPE <u>4x4x8</u>
LINE POSTS		BOARD SIZE & SPACING <u>1x6x6</u>
TENSION WIRE		DECORATIVE TOPS <u>Flat</u>

All materials are guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. **CUSTOMER IS SOLELY RESPONSIBLE FOR PROPERTY LINES, EASEMENTS AND ALL UNDERGROUND OBSTRUCTION.** Should it be necessary to drill for rock, for the setting of posts there will be an extra expense. Our workers are fully covered by Worker's Compensation Insurance.

Payment Policy: Payment in full on day of completion

Cash: chk Credit Card: + 0%
1 1/2% on unpaid balance applied after 30 days

Total Amount _____

Down Amount 0

Buyer's Acceptance

Date _____

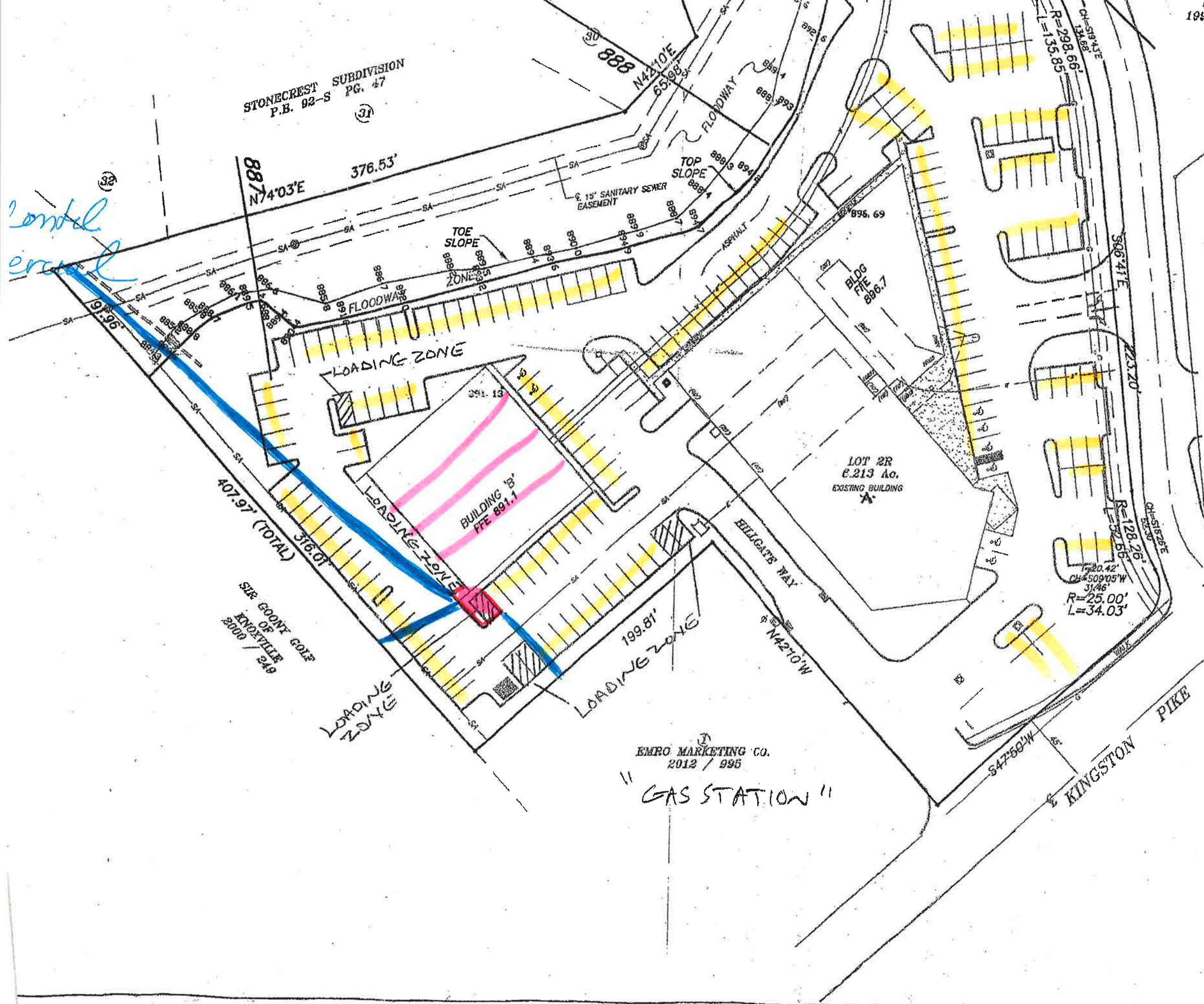
Seller Jeff Jones



STONECREST SUBDIVISION
P.B. 92-S PG. 47

1994

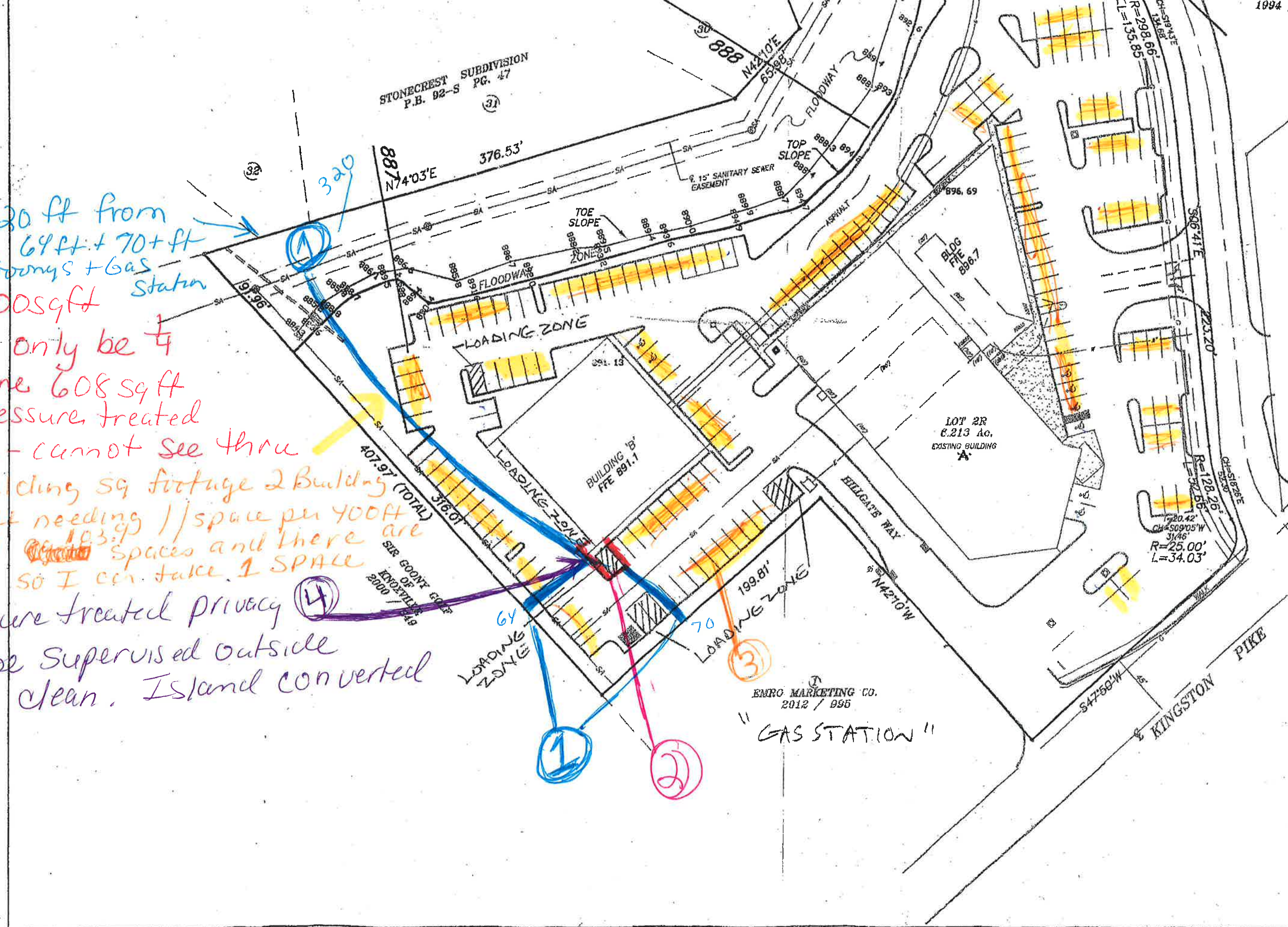
Cont'd
erail



EMRO MARKETING CO.
2012 / 995

"GAS STATION"

- 1) At least 320 ft from residential 64 ft + 70 ft from Sir Goony's + Gas Station
- 2) Building 2500 sq ft fence can only be 1/4 625 sq ft. mine 608 sq ft 6 ft wood pressure treated privacy fence - cannot see thru
- 3) Total Building sq footage 2 Building 41,581 ~~sq ft~~ sq ft needing 1/4 space per 400 ft would need ~~103~~ spaces and there are 177 spaces so I can take 1 space
- 4) 6 ft pressure treated privacy fence will be supervised outside and kept clean. Island converted to grass



MEETING DATE: January 19, 2017

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on amendments to the Farragut Zoning Ordinance, Chapter 4., Section XX., Parking and Loading., to provide for new requirements

INTRODUCTION AND BACKGROUND: As part of a continuing effort to implement different components of the Town's adopted Architectural Design Standards (ADS), the staff presented the Commission with some options initially at the November meeting that could address certain aspects of the standards that have been challenging.

One site related standard in the ADS that has presented some challenges is how to soften the visual and functional impact of surface parking. Based on feedback received at the November meeting, the staff presented the Commission with some ordinance language, reflected in Ordinance 16-27, at the December meeting that would provide for flexibility in terms of parking space allocations and that would address sites that are over-parked.

DISCUSSION: At both the November and December meetings, the staff presented some visual images of parking lots in the Town and the significant amount of space they consume that is mostly unused during a majority of the year. This excessive surface parking has a significant visual impact on the community and creates additional challenges in terms of stormwater management. Devoting a large portion of valuable property to largely unused surface parking also represents a very inefficient use of real estate and detracts from the opportunity to make more productive and tax generating use of an area that otherwise creates little value. The Town is rapidly approaching build out in its commercial land and, as the staff noted last month, it is critical to provide for regulations that promote greater land use efficiency.

RECOMMENDATION: As part of the discussion last month related to Ordinance 16-27, Commissioners asked that some minor amendments be incorporated into Ordinance 16-27. Those amendments involved some statement concerning on-street parking, a grammatical rearrangement of the wording in one sentence in the shared parking section, and lowering the percentage of spaces that could be devoted to compact cars from 30% to 20%.

The staff has made these suggested amendments and the revisions are reflected in red in the packet version of Ordinance 16-27. The staff recommends approval of Resolution PC-16-20 which recommends approval of Ordinance 16-27.

RESOLUTION PC-16-20

FARRAGUT MUNICIPAL PLANNING COMMISSION

A RESOLUTION TO APPROVE AN AMENDMENT TO THE FARRAGUT ZONING ORDINANCE, ORDINANCE 86-16, TO RECOMMEND THE APPROVAL OF AN AMENDMENT TO CHAPTER 4, GENERAL PROVISIONS AND EXCEPTIONS, SECTION XX., PARKING AND LOADING., TO PROVIDE FOR NEW REQUIREMENTS

WHEREAS, the Tennessee Code Annotated, Section 13-4-201et seq, provides that the Municipal Planning Commission shall make and adopt a general plan for the physical development of the municipality; and

WHEREAS, the Farragut Municipal Planning Commission has adopted various elements of a zoning plan as an element of the general plan for physical development; and

WHEREAS, a public hearing was held on this request on January 19, 2017;

NOW, THEREFORE, BE IT RESOLVED that the Farragut Municipal Planning Commission hereby recommends approval to the Farragut Board of Mayor and Aldermen of an ordinance, amending Ordinance 86-16, of the Farragut Zoning Ordinance, by adding Ordinance 16-27.

ADOPTED this 19th day of January, 2017.

Rita Holladay, Chairman

Edwin K. Whiting, Secretary

ORDINANCE:	16-27
PREPARED BY:	Shipley
REQUESTED BY:	Town Staff
CERTIFIED BY FMPC:	January 19, 2017
PUBLIC HEARING:	_____
PUBLISHED IN:	_____
DATE:	_____
1ST READING:	_____
2ND READING:	_____
PUBLISHED IN:	_____
DATE:	_____

AN ORDINANCE TO AMEND THE TEXT OF THE FARRAGUT ZONING ORDINANCE, ORDINANCE 86-16, AS AMENDED, PURSUANT TO AUTHORITY GRANTED BY SECTION 13-4-201, TENNESSEE CODE ANNOTATED, BY AMENDING CHAPTER 4., GENERAL PROVISIONS AND EXCEPTIONS, SECTION XX., PARKING AND LOADING., TO PROVIDE FOR NEW REQUIREMENTS

WHEREAS, the Board of Mayor and Aldermen of the Town of Farragut, Tennessee, wishes to amend Chapter 4, General Provisions and Exceptions, of the Farragut Zoning Ordinance, Ordinance 86-16,

NOW, THEREFORE, BE IT ORDAINED by the Board of Mayor and Aldermen of the Town of Farragut, Tennessee, that the Farragut Zoning Ordinance is hereby amended as follows:

SECTION 1.

The Farragut Zoning Ordinance, Chapter 4, General Provisions and Exceptions, Section XX., Parking and Loading., is amended by deleting it in its entirety and substituting in lieu thereof the following:

XX. - Parking and loading.

A. Off-street parking requirements.

1. General requirements.

- a. Residential off-street parking space shall consist of a parking lot, driveway, garage, or combination thereof and shall be located on the lot it is intended to serve.
- b. Unless approved by the Planning Commission as provided for in this ordinance, any area once designated as required off-street parking shall not be changed to any other use unless and until equal facilities are provided elsewhere.
- c. The placement of motor vehicles for sale or the repair of vehicles on required off-street parking facilities is prohibited. This provision does not apply to the placing of a "For Sale" sign on or in not more than one (1) licensed vehicle, boat, or other equipment at the same time located in a private residential driveway and which

licensed vehicle, boat, or other equipment is owned by an occupant of said private residence.

- d. Wherever parking is required by this ordinance, no building permit shall be issued prior to approval of entrance to affected city streets and/or state highways by the appropriate town and/or state official.

2. Location and setbacks.

- a. With the exception of shared parking, as provided for in this ordinance, all off-street parking shall be located on land owned by or under long-term lease to the owner or owners of the principal use it is intended to serve.
- b. Where the commercial parking lot abuts side lot lines of a residential district, the required buffer strip shall not be used for parking purposes.
- c. Where parking is to be provided in the front yard of a commercial, office, or multi-family development, the parking lot shall be set back a minimum of twenty (20) feet from the front property line.
- d. Where parking is to be provided in the rear or side yard of a commercial or office development, the parking lot shall be set back a minimum of ten (10) feet from the side or rear property line.
- e. Where parking is to be provided in the rear or side yard of a multi-family development, the parking lot shall be set back a minimum of fifty (50) feet from the side or rear property line, except as provided for elsewhere in this ordinance.

3. Number of parking spaces required.

Bicycle parking. The minimum number of bicycle spaces provided in all districts at such time any non-single-family or two-family residential building is constructed or modified, shall be one (1) bicycle space per five thousand (5,000) square feet of gross floor area. Such bicycle racks shall be provided in desirable locations and shall be conveniently located near the building entrance. The rack placement should not impede pedestrian movement and should not cause conflicts between bicycles and pedestrians.

Vehicular parking. Unless a modification, as authorized in this ordinance, is approved by the Planning Commission as part of the site plan review process, provisions for off-street parking in all districts at such time any building or structure is erected or enlarged or increased in capacity shall be based on the minimum number of off-street parking spaces provided below.

For uses not specifically mentioned herein, off-street parking requirements shall be determined by the Board of Zoning Appeals.

- Assisted-care living facility: Three-fourth ($\frac{3}{4}$) parking spaces per each housing unit.
- Automobile and/or truck repair shop: One (1) parking space per two hundred fifty (250) square feet of gross floor area.
- Automobile sales, new and/or used: Five (5) plus one (1) per two hundred (200) square feet of gross floor area.

- Banks, business offices: One (1) per three hundred (300) square feet of gross floor area.
- Barber shop or beauty parlor: One (1) per two hundred (200) square feet of gross floor area.
- Boarding or rooming house: One (1) for each lodging unit.
- Bowling alleys: Five (5) per bowling lane.
- Business services: One (1) for every fifty (50) square feet of customer service area, plus two (2) per three (3) employees based on the design capacity of the largest shift.
- Carpet, rug, linoleum and floor covering sales: One (1) per four hundred (400) square feet of gross floor area.
- Churches: One (1) per thirty (30) square feet of gross floor area of auditorium.
- Coin operated laundry and/or dry cleaning establishments: One (1) per one hundred (100) square feet of gross floor area.
- Coin operated automatic automobile washing establishments: Three (3) stack-up spaces per washer bay. Such spaces must be designed so that the spaces will not limit ingress or egress to the site.
- Conveyor-type automatic automobile washing establishments: One (1) stack-up space per five (5) feet of conveyor tunnel. Such spaces must be designed so that the spaces will not limit ingress or egress to the site.
- Country club/private club: One (1) per four hundred (400) square feet of gross floor area. Plus one and one-half (1½) per hole for golf course, two (2) per tennis court, and one (1) per one hundred (100) square feet of surface for swimming pools.
- Day care center: One (1) per employee plus one (1) per twenty-five (25) children.
- Dry cleaning and laundry collection stations: One (1) per four hundred (400) square feet of gross floor area.
- Furniture and major appliance establishments: One (1) per four hundred (400) square feet of gross floor area.
- Gasoline/mini-mart station: Two (2) per one (1) gas pump island plus two (2) per each employee during the major work shift or two (2) per one (1) gas pump island plus one (1) per one hundred fifty (150) square feet of gross floor area, whichever is greater.
- Governmental office building: One (1) per three hundred (300) square feet of gross floor area.

- Handicapped/accessible parking spaces: Where parking is provided, the number of handicapped/accessible parking spaces shall be as specified by the current adopted edition of the International Building Code, as amended by the Town of Farragut.
- Hospital: Two (2) per bed.
- Hotel: One (1) per one (1) room or suite.
- Independent living and care: One (1) parking space per bedroom and one (1) guest space per ten (10) bedrooms.
- Indoor soccer, inline hockey, baseball, and softball fields: Forty-one (41) parking spaces per indoor play field.
- Kennel: One (1) per four hundred (400) square feet of gross floor area.
- Lawn and tractor sales and service establishments: One (1) parking space per six hundred ninety (690) square feet of gross floor area.
- Library: One (1) for each four hundred (400) square feet of floor area.
- Mortuary establishments: One (1) per one hundred (100) square feet of gross floor area.
- Motels and tourist courts: One (1) per guest bedroom.
- Nursing homes: One (1) per three (3) patient beds.
- Professional offices: One (1) per two hundred fifty (250) square feet of gross floor area.
- Residential:
 - Single and two-family dwellings: Two (2) spaces per dwelling unit.
 - Apartments/multi-family: One and three-fourth (1 $\frac{3}{4}$) spaces per dwelling unit.
- Residential recreational facilities:
 - Pavilion: One (1) per four hundred (400) square feet of gross floor area or a minimum of three (3) parking spaces, whichever is greater.
 - Arbor: No parking required.
 - Decorative fountain: No parking required.
- Restaurants, tea rooms, cafes, coffee houses, or other similar establishments serving food or beverage: One (1) per one hundred (100) square feet of gross floor space plus one (1) per two hundred (200) square feet of discernable outdoor dining area.
- Retail liquor store: One (1) per four hundred (400) square feet of gross floor area.

- Retail stores (except as otherwise specified herein): One (1) per two hundred fifty (250) square feet of gross floor area.
- Retail stores larger than fifty thousand (50,000) square feet: Three and one-half (3.5) per one thousand (1,000) square feet of gross floor area.
- Retail warehousing, building supplies, home improvement super centers/stores, and construction supplies establishments: One (1) parking space per four hundred (400) square feet of gross floor area.
- Schools shall be provided with parking spaces under the following schedules:
 - Elementary, junior high, and the equivalent private or parochial schools:
 - Two (2) per three (3) teachers and employees normally engaged in or about the building or grounds, plus one (1) space for each one hundred fifty (150) square feet of seating area, including aisles, in any auditorium.
 - Senior high schools and the equivalent private or parochial schools:
 - Two (2) per three (3) teachers and employees normally engaged in or about the building or grounds, plus one (1) space per five (5) students, or one (1) space for each one hundred fifty (150) square feet of seating area, including aisles, in any auditorium, gymnasium or cafeteria intended to be used as an auditorium, whichever is greater.
 - Kindergartens, day schools, and the equivalent private or parochial schools:
 - Two (2) parking spaces per three (3) teachers and employees normally engaged in or about the building or grounds, plus one (1) off-street loading space per eight (8) pupils.
- Shopping centers: For shopping centers and other multiple use buildings larger than seventy-five thousand (75,000) gross square feet, there shall be four (4) parking spaces for each one thousand (1,000) square feet of gross floor area.
- For shopping centers and other multiple use buildings between fifty thousand (50,000) and seventy-five thousands (75,000) gross square feet, there shall be four and one-half (4½) parking spaces for each one thousand (1,000) square feet of gross floor area.
- For shopping centers and other multiple use buildings with less than fifty thousand (50,000) gross square feet, there shall be five (5) parking spaces for each one thousand (1,000) square feet of gross floor area.
- Parking for detached facilities and buildings that are located on the same lot, parcel, or tract as the shopping center and/or multiple use building shall be in accordance with the regulations of parking required for such uses in these regulations.
- Skating rinks: One (1) parking space per one hundred thirty (130) square feet of skating surface area.

- Stadiums and sports arenas: One (1) per twelve (12) feet of benches.
- Swimming pools (nonresidential): One (1) per one hundred fifty (150) square feet of water area for swimming pools developed as part of a subdivision, or one (1) per one hundred (100) square feet of water area for public swimming pools.
- Theaters, auditoriums and places of assembly without fixed seats: One (1) per one hundred (100) square feet of gross area.

4. Increasing or reducing required parking.

Where an applicant requests to increase or reduce parking from the minimum number of required off-street parking spaces, such request shall be based on demonstrated parking demands that are typical for the proposed use(s) throughout a majority of the year. Allocations shall not be based on selected dates where parking demands are atypical in comparison to the remainder of the year. An applicant shall be responsible for providing such documentation and this documentation shall be current and part of the site plan submittal.

Where the Planning Commission is asked to consider an increase from the minimum number of required off-street parking spaces and the applicant can properly demonstrate a need based on the language provided in this ordinance, the Planning Commission shall not authorize additional parking spaces in excess of 10% above the minimum number required unless the following measures are provided and reflected on the approved site and landscape plans:

- a. An additional interior parking lot island is provided for every 5 parking spaces in excess of the minimum required; and
- b. The additional surface parking and travel lanes associated with the parking in excess of the minimum required shall be constructed in permeable pavers or a comparable and widely recognized low impact development surface parking application.

5. Off-street parking lot construction and maintenance.

Whenever the required off-street parking requires the building of a parking lot, and wherever a parking lot is built, such parking lot shall be constructed and maintained in accordance with the following regulations:

- a. All areas devoted to permanent off-street parking shall be of a sealed-surface construction such as plant mix asphalt, penetrating asphalt or concrete, or permeable pavers and shall be properly maintained;
- b. The curbs surrounding parkways, terminal islands, and interior parking lot islands shall be constructed with six (6) inch high raised curbs to prevent uncontrolled access of vehicles. Where the area within a parkway or island is being used to accommodate stormwater an alternate means of preventing uncontrolled access of vehicles into such areas may be considered. In this manner, stormwater may be directed from the parking lot into the parkway or island without being inhibited by curbing.

6. Minimum site design.

To provide for orderly, safe, and systematic circulation within parking areas, off-street parking areas shall meet the following general requirements:

- a. **Backing Prohibited onto Public Street.** Except for parcels of land devoted to one (1) and two (2) family residential uses, all areas devoted to off-street parking shall be so designed and be of such size that no vehicle is required to back into a public street to obtain egress.

Turn-around areas. Back-up or turn-around areas located at the end of dead-end parking aisles shall be a minimum of ten (10) feet in depth.

- b. **Handicap Parking.** Each handicapped/accessible parking space shall be a minimum of eight (8) feet in width and nineteen (19) feet in length. Such spaces shall have an adjacent access aisle, which shall be a minimum of five (5) feet in width and extend the full length of the parking spaces they serve. For every six (6) handicapped/accessible parking spaces, at least one (1) shall be a van-accessible parking space. Such van-accessible parking space shall have an adjacent access aisle of eight (8) feet in width.

Handicapped/accessible parking spaces shall be located on the shortest accessible route of travel from adjacent parking to an accessible building entrance. In parking facilities that do not serve a particular building, accessible parking spaces shall be located on the shortest route to an accessible pedestrian entrance to the parking facility. Where buildings have multiple accessible entrances with adjacent parking, accessible parking spaces shall be dispersed and located near the accessible entrances.

- c. **Compact Car Parking.** An applicant may design and construct up to twenty percent of their parking spaces for compact cars, as defined by the Environmental Protection Agency, in accordance with the dimensions listed below in this ordinance. Compact car spaces shall be grouped together to the greatest possible extent in areas clearly designated for compact cars. Parking lots shall have a system of regulatory compliant signs beginning at the entrance that clearly indicates the location of compact car spaces.
- d. **Parking Space and Travel Lane Dimensions.** For the purposes of this ordinance, the minimum parking space width shall be measured perpendicular to the center line of the parking space. For standard cars, the minimum parking space width shall be nine (9) feet and the minimum parking space depth shall be nineteen (19) feet. For compact cars, the minimum parking space width shall be eight (8) feet and the minimum parking space depth shall be seventeen (17) feet. Travel lanes shall conform to the following minimum standards:

Parking Angle	Travel Lane Width (one way)		Travel Lane Width (two way)	
	Standard Space	Compact Car	Standard Space	Compact Car
45°	14 feet	12 feet	24 feet	22 feet
60°	16 feet	14 feet	24 feet	22 feet
90°	22 feet	19 feet	24 feet	22 feet

- e. **Shared Off-Site Parking.** Shared off-site parking is encouraged, where applicable, as a means of more efficient land use. The development of a site should take into consideration any opportunities to share parking with an adjacent use. Shared off-site parking shall be considered as part of a site plan review and shall be subject to the following conditions:
 - 1. No more than 30% of an applicant's required amount of off-street parking may be shared with an adjacent use;
 - 2. Off-site parking shall be within five hundred (500) feet of the property for which it is being requested;
 - 3. Off-site parking may only be provided if the off-site lot has an excess number of spaces or if the applicant can demonstrate, using the latest peak demand analyses published by the Institute of Traffic Engineers (ITE) or other comparable source acceptable to the Planning Commission, that the on-site and off-site uses have non-competing peak demands;
 - 4. The amount of off-site parking spaces shall not be less than the amount of reduced on-site parking spaces;
 - 5. Off-site parking spaces provided by a separate private property owner shall be subject to a shared parking easement agreement that is legally binding and runs with the land and that is graphically displayed on a recorded plat. Site plan approval where off-site parking is requested, shall be subject to the recorded agreement and plat; and
 - 6. Uses sharing a parking facility shall provide for safe, convenient walking between uses and parking, including safe, well-marked pedestrian crossings, signage, and adequate lighting that complies with the Town's Outdoor Site Lighting requirements.
- f. **Addressing Fractions in Parking Space Determination.** In any determination of parking requirements as set forth in this section, where the resultant figure contains a fraction, any fraction less than one-half ($\frac{1}{2}$) may be dropped and any fraction one-half ($\frac{1}{2}$) or more shall be counted as one (1) parking space.
- g. **Driveways and Other-Access Ways.** Driveways and other access ways shall meet the requirements of the Farragut Municipal Code.
- h. **Perimeter Parkways.** Perimeter parkways no less than twenty (20) feet in width shall be provided adjacent to the front property line. Perimeter parkways no less than ten (10) feet in width shall be provided adjacent to the side and rear property lines (Illustration 5 (see Chapter 1)). If an access easement exists on a front property line, a perimeter parkway no less than twenty (20) feet in width shall be provided adjacent to the edge of the access easement. If an access easement exists on a side or rear property line, a perimeter parkway no less than ten (10) feet in width shall be provided adjacent to the edge of the access easement.
- i. **Interior Parkways.** Interior parkways not less than ten (10) feet wide shall be provided for at least every other parking aisle. The curbs shall be constructed with six (6) inch high raised curbs to prevent uncontrolled access of vehicles.

- j. Terminal Islands. Terminal islands not less than five (5) feet wide from inside of curb to inside of curb shall be provided for at both ends of parking rows and interior parkways. The curbs shall be constructed with six (6) inch high raised curbs to prevent uncontrolled access of vehicles.
- k. Interior Islands. Interior islands not less than seven and one-half (7½) feet wide from inside of curb to inside of curb and extending the full length of the parking space shall be provided every fifteen ten (15) spaces within a row. As an alternative, an interior island not less than ten (10) feet wide from inside of curb to inside of curb and extending the full length of the parking space shall be provided every twenty (20) spaces within a row.
- l. Curbing Around Parkways or Islands. Curbing around parkways or islands shall be constructed with six (6) inch high raised curbs to prevent uncontrolled access of vehicles. Where the area within a parkway or island is being used to accommodate stormwater, an alternate means of preventing uncontrolled access of vehicles into such areas may be considered. In this manner, stormwater may be directed from the parking lot into the parkway or island area without being inhibited by curbing.

B. Off-street loading requirements.

For all commercial and institutional uses, a plan for parking lot and loading areas access shall be submitted as part of the site plan application. No service loading space shall be counted for a required parking space. A plan for delivery circulation through a site shall be included as part of the site plan.

C. On-street parking.

In relation to on-street parking, within the Town Center District (TCD), the Primary Street Cross Section included as Diagram TCD-1, as amended, shall be used.

In other areas where on-street parking spaces are proposed, such applications shall be considered only on joint access easements and streets classified as local on the Major Road Plan. Such on-street parking shall also be reviewed with the Town Engineer, emergency service providers, and other applicable entities to ensure that adequate space is available and no safety related issues will be created. A minimum parking space width of eight (8) feet and a minimum parking space depth of twenty-three (23) feet shall be provided.

D. Turning radius requirements.

When designing curb radii for a site, the default design vehicle should be the passenger vehicle. Therefore, the default corner radius should be 15 feet. Larger design vehicles should be used only where they are known to regularly make turns at the intersection, and corner radii should be designed based on the larger design vehicle traveling at crawl speed. In such case, the turning radius shall not exceed 25 feet. In all cases, consideration shall be given to minimize any pedestrian and vehicular conflicts.

SECTION 2.

This ordinance shall take effect from and after its final passage and publication, the public welfare requiring it.

Dr. Ralph McGill, Mayor

Allison Myers, Town Recorder

Certified to the Farragut Board of Mayor and Aldermen this ____ day of _____, 2017,
with approval recommended.

Rita Holladay, Chairman

Edwin K. Whiting, Secretary

FARRAGUT MUNICIPAL PLANNING COMMISSION

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion on updates to the complete streets cross sections in the Pedestrian and Bicycle Plan - 2010

INTRODUCTION AND BACKGROUND: One of the items on the Community Development Work Program is to work on updating the Pedestrian and Bicycle Plan – 2010. As the title of this document would imply, this plan was approved in 2010, specifically April 15, 2010.

Essentially, the Pedestrian and Bicycle Plan – 2010 is a policy document with general statements that would provide guidance for ordinance language, budget formulation, and capital improvement planning. Most of the Plan is still current and applicable. Some updates are needed however in a few of the sections. The staff would encourage Commissioners to re-visit the Plan in preparation for a discussion of possible updates. The Plan and related exhibits are accessible on the Town's web site at the following link: <http://www.townoffarragut.org/DocumentCenter/Home/View/358>

Included in the Plan are a series of exhibits (these are also included in your packet) which help to illustrate desirable complete streets cross sections for collector and arterial streets. As defined in the Plan, a complete street is one that is designed and operated to enable safe access for all users. Such a street would provide for an opportunity to accommodate not only motorists, but also pedestrians, bicyclists and, where applicable, transit riders.

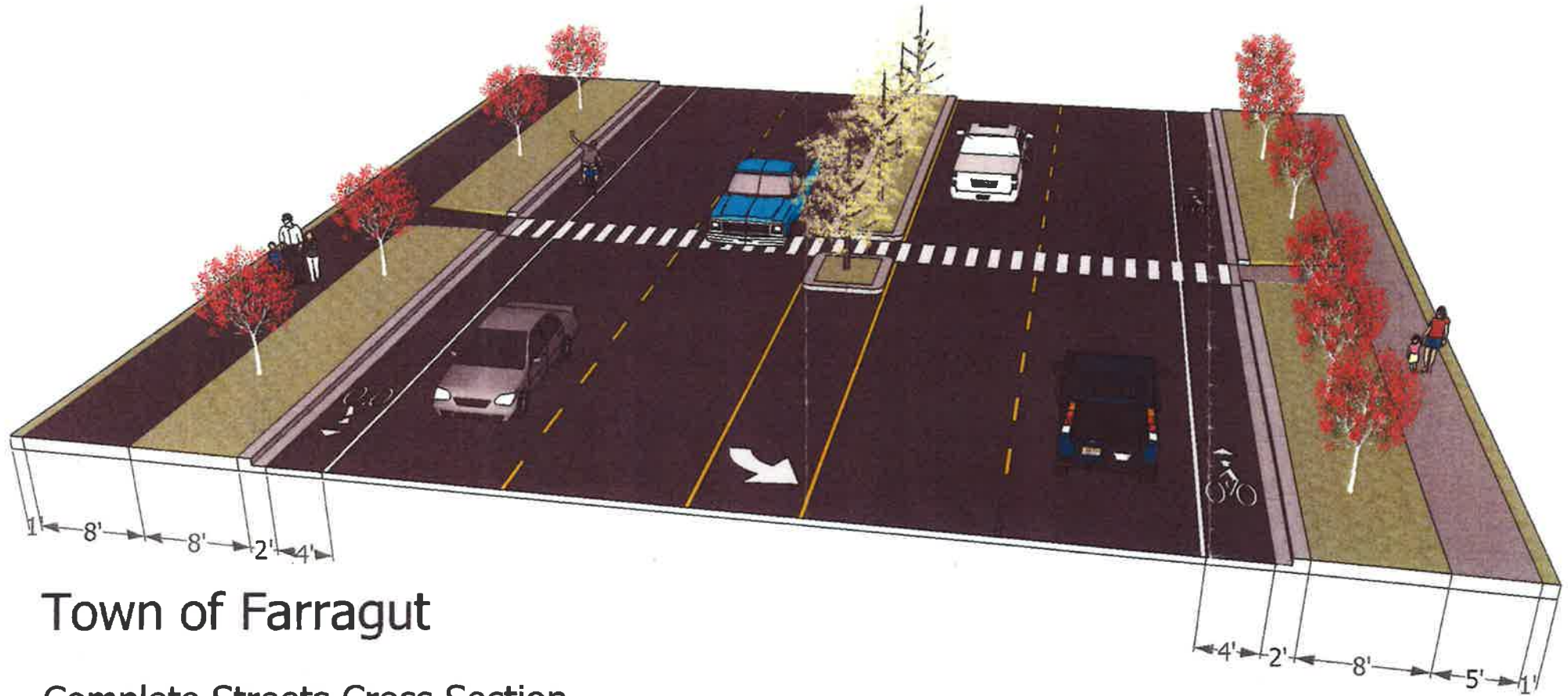
DISCUSSION: Though the complete streets exhibits are for illustration purposes, the staff would recommend that the Commission re-visit these to discuss whether any updates are needed as part of an update to the Plan itself. Because these cross sections are used in relation to the Town's expectations concerning street improvements, some questions that need to be explored in terms of possible updates (which would also need to be reflected in the Subdivision Regulations) include:

- 1) Whether landscaped medians that may include inverted bioswales for stormwater management should be a default element of collector and arterial street cross sections – the staff would support such a default element;
- 2) Consider bicycle lanes as only part of a desired cross section when the road in question is part of a mapped bicycle route network where such facilities or a wide shoulder should be provided. On streets that are not shown as part of such a network, the space that would otherwise be devoted to bicycle lanes could be used for separated multi-use paths on each side of such street(s);
- 3) Should multi-use paths be greater than 8 feet in width so as to lessen any conflicts with pedestrian vs. bicycle users? Perhaps a 10-12 foot wide path would be more functional, particularly where bicycle lanes are not part of the cross section for the street in question;
- 4) Omit sidewalks from the cross sections on collector and arterial streets and make a separated multi-use path the default pedestrian/bicycle facility. Sidewalks may be appropriate for certain local

streets but a more functional facility, such as a multi-use path, should be the standard for non-local streets;

- 5) Include street widths in the cross section and consider the widths in relation to the context. Perhaps on some collector streets in a more rural setting an 11 foot rather than 12 foot travel lane should be the default width. Reduced travel lane widths could help provide space necessary to add landscaping within the street. This, in turn, could give the street a softer, more inviting, and more residential feel;
- 6) The Subdivision Regulations encourage the use of natural drainage systems. This should be considered in lieu of curb and gutter on certain collector and, potentially, arterial streets. Such a system could incorporate landscaping which could help a street retain a more rural and aesthetically pleasing character.

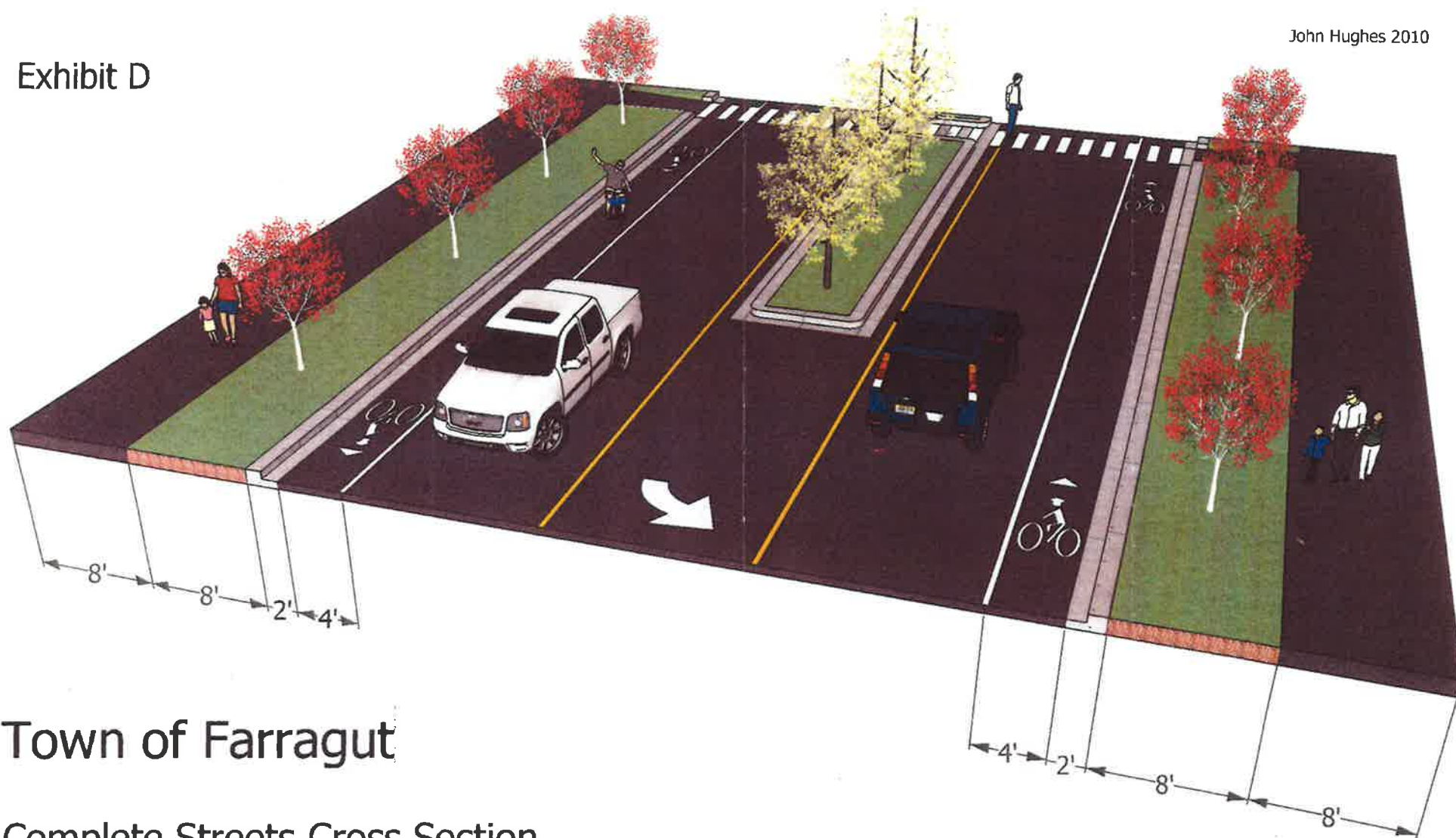
RECOMMENDATION: Based on feedback received to the above and possibly other questions, the staff will make any necessary amendments to the Plan along with some minor text updates and bring this back to the Planning Commission at a subsequent meeting.



Town of Farragut

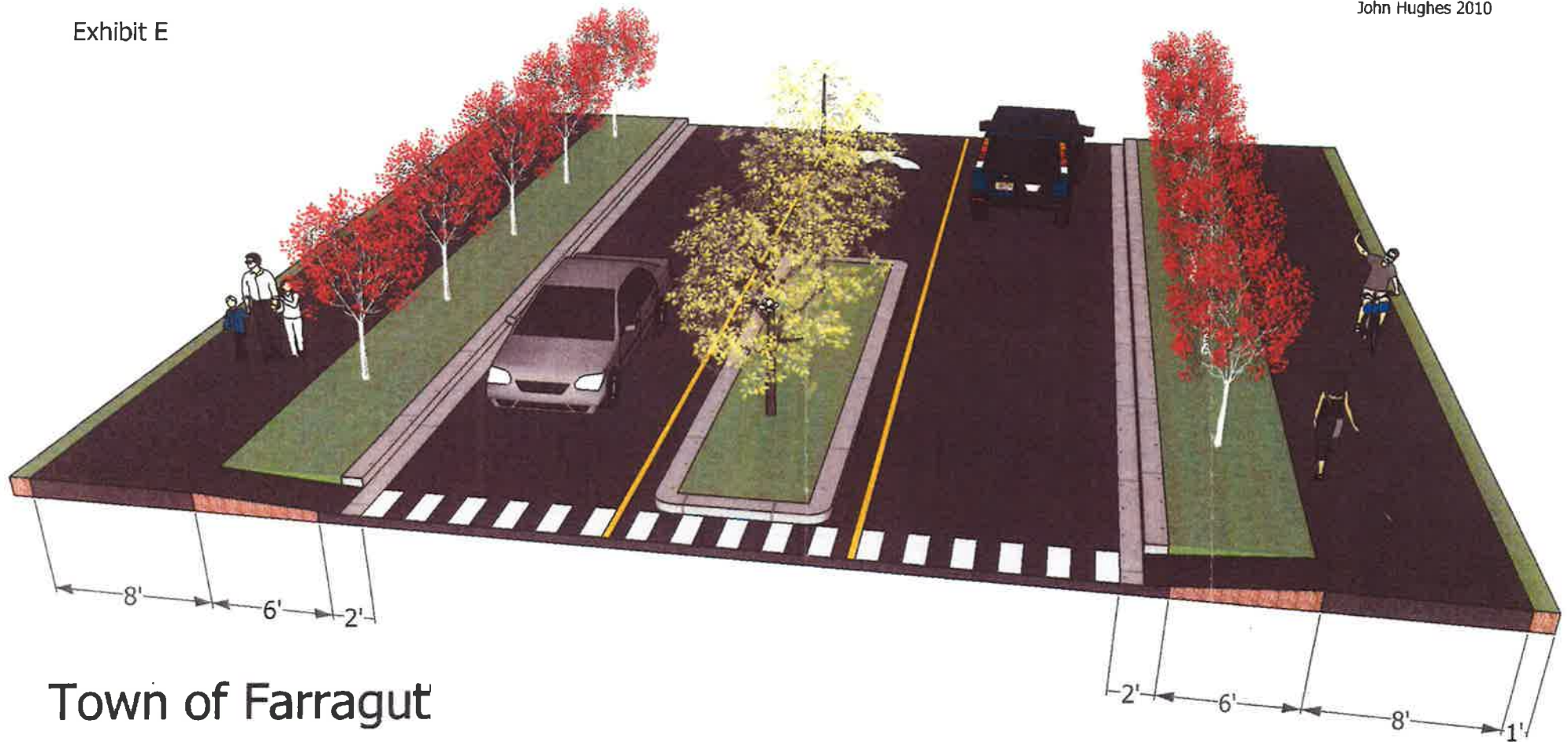
Complete Streets Cross Section
Major Arterial

Exhibit D



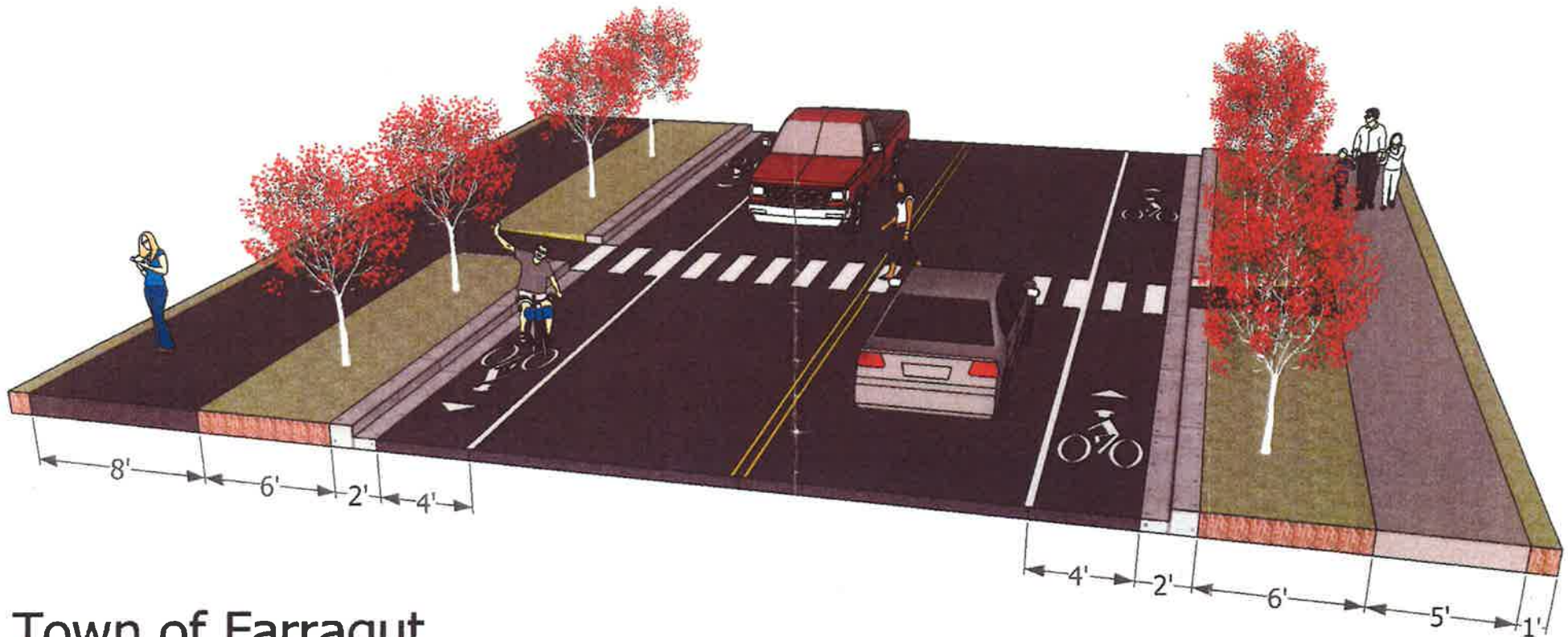
Town of Farragut

Complete Streets Cross Section
Minor Arterial



Town of Farragut

Complete Streets Cross Section
Major Collector- 3 Lane Scenario



Town of Farragut

Complete Streets Cross Section
Major Collector- 2 Lane Scenario

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion on an amendment to the Farragut Subdivision Regulations to clarify that collector and arterial street frontages of subdivisions shall be improved in accordance with a complete streets cross section, as provided for in the Pedestrian and Bicycle Plan

INTRODUCTION AND BACKGROUND: This item is related to the previous item. The Town's Subdivision Regulations provide for the standards that govern property subdivision and required public improvements. Since the Planning Commission's adoption of the Pedestrian and Bicycle Plan – 2010, the policy statements provided for in the Plan have been used for guidance in ordinance language and public infrastructure expectations. The complete streets cross sections that are shown and referenced in the Plan have been used for guidance in road improvement projects such as Everett Road the upcoming improvements to Concord Road and in ordinance language updates such as greater grass strip widths between pedestrian facilities and street curbing.

RECOMMENDATION: From the staffs' perspective and in an effort to further clarify the Town's expectations (and current practice) involving improvements to non-local streets, the Subdivision Regulations should more clearly reference how they interact with the adopted Pedestrian and Bicycle Plan. The staff would recommend that Article III., Section A., 1., which is entitled "Conformity to the Major Thoroughfare Plan," be re-worded as follows:

1. Conformity to the Major Road Plan and the Pedestrian and Bicycle Plan – 2017, As Amended

The Town's adopted Major Road Plan, as amended, shall serve as the official document regarding street classifications involving the Town's existing and future transportation system. For those streets that are classified on the Major Road Plan as collector or arterial, an abutting subdivision that fronts along such street(s) shall be improved along such frontage as part of the subdivision process to provide for a complete street cross section consistent with Exhibits *(these will be the same exhibits in the Pedestrian and Bicycle Plan – 2017 and will also be included as exhibits in the Subdivision Regulations)* as applicable to the street in question. Where a subdivision fronts on only one side of a collector or arterial street, only the side of such street abutting the subdivision shall be required to be improved to the complete street cross section.

Depending on what modifications, if any, are proposed to the complete street cross sections in the Pedestrian and Bicycle Plan – 2010, some additional amendments to the Subdivision Regulations that would be consistent with such modifications may also be necessary.

ARTICLE III. GENERAL REQUIREMENTS AND MINIMUM STANDARDS OF DESIGN

A. Streets

1. Conformity to the Major Thoroughfare Plan

The location and width of all streets and roads shall conform to the official Major Thoroughfare Plan which includes the Major Street Plan within the municipality and the Major Road Plan within the remainder of the jurisdiction.

2. Relation to Adjoining Street System

The proposed street system shall extend existing streets within proposed projects at the same or greater width, but in no case less than the required minimum width.

3. Access Streets to Subdivision Boundaries

Sufficient access streets to adjoining properties shall be provided in subdivisions to permit harmonious development of the area.

4. Right-of-Way and Pavement widths

The minimum width of any right-of-way is measured from lot line to lot line. The width of pavement is measured from pavement edge to pavement edge, thus excluding the gutter and curb section. Standards for both right-of-way and lane width for applications falling within the jurisdiction of these regulations shall not be less than as follows:

a. Major Arterial Streets

right-of-way	100 feet
curb & gutter (TDOT 6-30)	30 inches
lane width	12 feet*

*Reduction in lane width may be permitted due to existing conditions based on the recommendation of the Town Engineer.

Such streets are used primarily for fast or heavy traffic and are located on the Major Road Plan. Turn lanes may be required by the planning commission if warranted by the Traffic Impact Study.

Existing

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Ashley Miller, Assistant Community Development Director

SUBJECT: Discussion and public hearing on the adoption of a color palette to help strengthen the implementation of the adopted Architectural Design Standards

INTRODUCTION AND BACKGROUND: This item involves further discussion and consideration on an adopted color palette to assist in the implementation of the adopted Architectural Design Standards (ADS). At the November 17 and December 15 meetings the Commission discussed and viewed some color palette options.

DISCUSSION: Since the discussion at the meeting on December 15th, the staff has looked at other design guidelines throughout the country. Staff has found that most of them limit accent materials and colors to a lesser percentage than the town's current ADS. This brings up several questions:

- 1) Should the town look at increasing the masonry percentage outside of the MUTC area? Staff's thought is that outside of the MUTC, 60% of the net area façade is to be masonry, leaving an additional 40% to be accent material/colors. Should this be changed or is the planning commission comfortable with percentages currently established?;
- 2) Should the town look at adopting something similar to Charles County, MD and keeping with the drafted earth tone palette of colors (with the definition below, the staff has focused mostly on the 10% façade segment and the height of the band), which states:

"Color bands used as building trims and accent colors may feature any color provided that they are limited to 10% of the effected façade segment and have a height of no more than 24 inches."

- 3) Staff has included in your packet an excerpt from the City of Naperville, IL Building Design Guidelines which establishes good definitions for materials and colors, should we look at adding a page to the town's ADS similar to this along with a color palette? This document also includes some information that may be helpful when we discuss compatibility of building styles and/or desirable building forms.

(<https://www.naperville.il.us/contentassets/7fed1bf2ba19496fa9a037f019616748/cdg-building-design-guidelines.pdf>)

Since the December meeting, the staff has adjusted the color palette. The staff has also included in the packet a draft of the color palette, which reflects the comments from last month. These colors clearly indicate that an applicant would have many options to choose from. The end result would be a building with colors that are more in keeping with the ADS and provide the applicant with more clarity in terms of what the Town's expectations may be in relation to building colors. The adoption of a color palette would also assist the Commission in its decision making process since the available colors would be known and the Commission would simply assess the applicant's choice in relation to the specific project.

RECOMMENDATION: The staff will review the color palette and associated questions at the meeting. Depending on the Commission's comments, Resolution PC-16-21, which recommends approval of Ordinance 16-28, may not be ready for a vote at the meeting.

A. Context Fit

► A1. Design Context

A2. Building Mass Transition

B. Pedestrian Friendliness

C. Visual Attractiveness

D. Sustainable Design



Figure A1.3: Office buildings create a sense of enclosure around a central open space amenity.

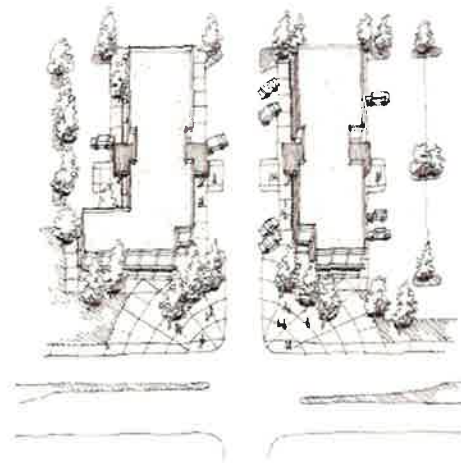


Figure A1.4: Retail buildings create a facing commercial frontage and provide visual access from the adjacent neighborhood.

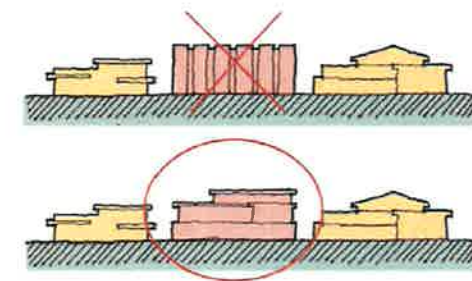


Figure A1.6: In the lower example the middle building fits better with its architectural context by use of horizontal articulation

A1.2

Buildings should be arranged to relate to each other and to create view corridors that promote visual access from the site to adjacent neighborhoods. View corridors are spaces that frame views from one location to another. Streets are one type of view corridor, pedestrian walkways are another.

A1.3

Buildings should be arranged in a manner that creates a sense of enclosure and defined space.

A1.4

A site's buildings should be arranged so that they help to frame and define the fronting and internal streets, giving deliberate form to streets and sidewalk areas.

A1.5

For infill sites, buildings should be set back from the street in accordance with the predominant line of building massing (setback) along the street in order to create a defined streetscape and sense of place.

A1.6

Buildings that have a distinctive architectural, historic or cultural context should incorporate those elements through the use of similar or compatible styles, materials, architectural detailing or other appropriate references.

A1.7

In areas where the existing context is not well-defined, new development may be recognized as a pioneer with the opportunity to establish a pattern of identity from which future development can take its cues. The site's zoning and other relevant Comprehensive Plan policies should be considered as indicators of the desired direction for the area and project.

A2. Building Mass Transition

Building mass is defined as the physical volume or bulk of a structure and can be measured by height and size of the building footprint. Building mass is an important factor that affects functional and visual compatibility between adjacent neighborhoods and different land uses. The following design guidelines promote coordination and continuity of the proposed development and the development efforts throughout the neighborhood through creation of a gradual transition between different building masses.

A2.1

Buildings at the outer edge of an activity center should be comparable in height and mass with the surrounding neighborhood.

A2.2

Adverse visual (view) impacts of a massive building should be minimized or mitigated through the use of visual buffers, neighborhood-compatible architecture and building mass and siting techniques. Large buildings should be broken into multiple buildings if possible, or into smaller building massing elements through varied rooflines, varied façade planes, upper story setback, windows on front elevation, etc. in order to reduce the apparent size of the building.

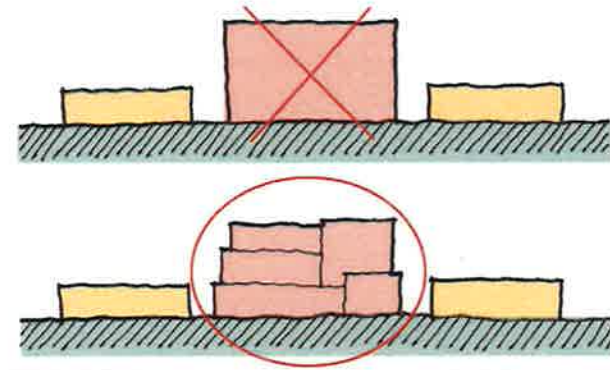


Figure A2.2a: The mass of the larger building steps down near smaller buildings and the varied roof forms reduce apparent size.



Figure A2.2b: This building uses varied roof forms and façade planes to reduce apparent size.

A. Context Fit

A1. Design
Context

► A2. Building

Mass
Transition

B. Pedestrian
Friendliness

C. Visual
Attractiveness

D. Sustainable
Design

A. Context Fit

B. Pedestrian
FriendlinessC. Visual
AttractivenessC1 Architectural
CompositionC2 Articulation
& ModulationC3 Proportions
& RhythmC4 Building
Base, Middle
& Cap

C5 Materials

► C6 Color
SchemeC7 Secondary
Building
FacesC8 Service Area
ScreeningC9 Exterior
Building
SignageD. Sustainable
Design

C6. Color Scheme

The color scheme for a building should unify the building image and complement the building context.



Figure C6.1: A coordinated palette of colors including one primary color



Figure C6.2: Two primary colors coordinated with trim accent color.

C6.1

Coordinated Palette of Colors - A coordinated palette of colors should be created for each development that includes one primary color with up to three major accent colors and a range of minor accent colors.

C6.2

Primary Base Color - The primary color of the buildings should be compatible with adjacent buildings. Use of a single primary color will serve to tie the building together. The use of two primary colors should be limited to mixed-use or multi-story buildings where the two colors are coordinated.

C6.3

Earth Tones - Natural stone and unglazed brick represent the range of earth tones. Earth tones are preferred as the primary base color.

C6.4

Accent Colors - Accent colors should complement the selected primary base color. Accent color intensity should be related to the amount of accent color proposed, with brighter colors having less accent area.

C6.5

Bright colors - Bright colors include red, yellow, emerald green, bright blue and other colors with intense hue. These colors can detract from the overall building design and context, and should be used sparingly as accents that visually activate pedestrian areas or convey information as part of a sign.

RESOLUTION PC-16-21

FARRAGUT MUNICIPAL PLANNING COMMISSION

A RESOLUTION TO APPROVE AN AMENDMENT TO TITLE 14, CHAPTER 6., BEING THE FARRAGUT ARCHITECTURAL DESIGN STANDARDS, OF THE FARRAGUT MUNICIPAL CODE, ORDINANCE 15-03, TO ADD APPENDIX A, BEING AN ADOPTED COLOR PALETTE

WHEREAS, the Tennessee Code Annotated, Section 6-54-133, provides that municipalities may create and adopt general guidelines for the exterior appearance of nonresidential property, multiple family residential property, and any entrance to a nonresidential development within the municipality; and

WHEREAS, the Farragut Municipal Planning Commission has been designated as the design review commission; and

WHEREAS, a public hearing was held on this request on January 19, 2017;

NOW, THEREFORE, BE IT RESOLVED that the Farragut Municipal Planning Commission hereby recommends approval to the Farragut Board of Mayor and Aldermen an ordinance, amending Title 14, Chapter 6., being the Farragut Architectural Design Standards, of the Farragut Municipal Code, by adding Ordinance 16-28.

ADOPTED this 19th day of January, 2017.

Rita Holladay, Chairman

Edwin K. Whiting, Secretary

ORDINANCE:	16-28
PREPARED BY:	Shipley
REQUESTED BY:	Town Staff
CERTIFIED BY FMPC:	January 19, 2017
PUBLIC HEARING:	_____
PUBLISHED IN:	_____
DATE:	_____
1ST READING:	_____
2ND READING:	_____
PUBLISHED IN:	_____
DATE:	_____

AN ORDINANCE TO AMEND THE FARRAGUT MUNICIPAL CODE, PURSUANT TO AUTHORITY GRANTED BY SECTION 6-54-133, TENNESSEE CODE ANNOTATED, BY AMENDING TITLE 14, CHAPTER 6., FARRAGUT ARCHITECTURAL DESIGN STANDARDS TO PROVIDE FOR APPENDIX A, BEING AN ADOPTED COLOR PALETTE

WHEREAS, the Board of Mayor and Aldermen of the Town of Farragut, Tennessee, wishes to amend Title 14., Land Use Controls, Chapter 6., Architectural Design Standards, of the Farragut Municipal Code, Ordinance 15-03,

NOW, THEREFORE, BE IT ORDAINED by the Board of Mayor and Aldermen of the Town of Farragut, Tennessee, that the Farragut Architectural Design Standards are hereby amended as follows:

SECTION 1.

The Farragut Municipal Code, Title 14, Land Use Controls, Chapter 6., Farragut Architectural Design Standards, is amended by adding Appendix A as reflected in the attached document referenced as Exhibit A.

SECTION 2.

This ordinance shall take effect from and after its final passage and publication, the public welfare requiring it.

Dr. Ralph McGill, Mayor

Allison Myers, Town Recorder

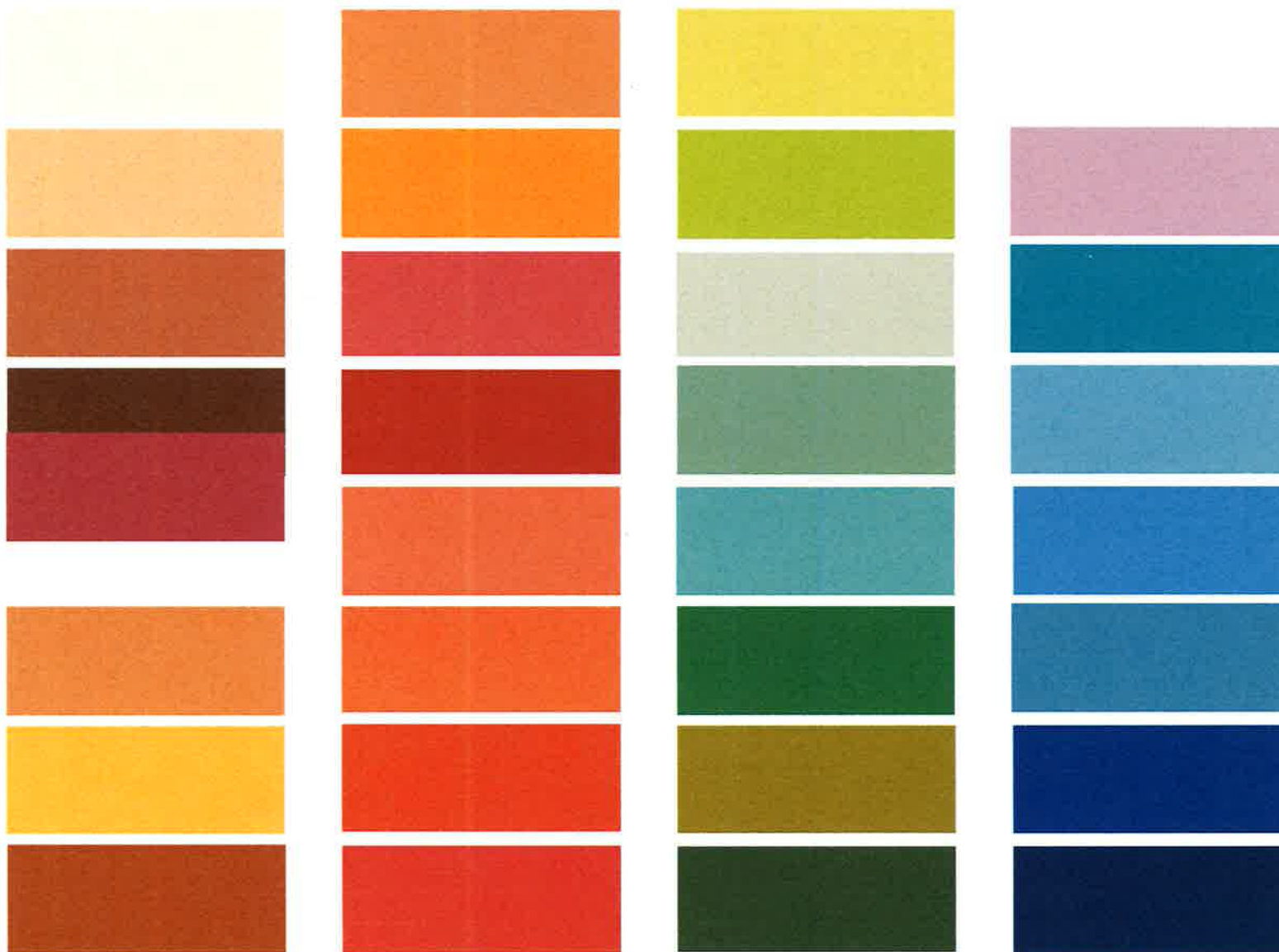
Certified to the Farragut Board of Mayor and Aldermen this ____ day of _____, 2017,

with approval recommended.

Rita Holladay, Chairman

Edwin K. Whiting, Secretary

FARRAGUT MUNICIPAL PLANNING COMMISSION



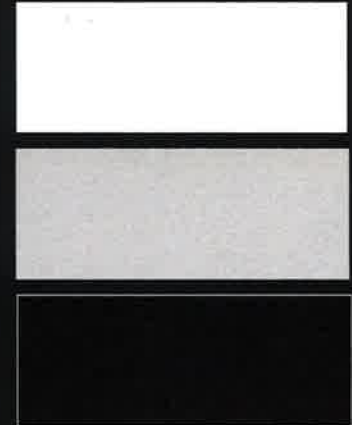
Any
WHITE-GRAY-BLACK
grayscale:



Appendix A
Architectural
Design Standards
Color Palette



Any
WHITE-GRAY-BLACK
grayscale:



Appendix A
Architectural
Design Standards
Color Palette

0 0 10 0 #ffffe6	0 33 64 5 #f2a257	2 0 57 15 #d4d95d	
0 13 39 8 #ebcc8f	0 35 100 0 #ffa600	15 0 57 10 #c3e663	0 15 0 26 #bda0bd
0 38 57 35 #a66747	0 58 61 24 #c2514c	5 0 11 20 #c2ccb6	100 0 0 40 #009999
0 42 73 70 #4d2c15	0 83 100 40 #991a00	28 0 26 38 #729e75	46 10 0 27 #65a8ba
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0 17 74 0 #ffd442	0 65 92 9 #e85113	0 0 100 50 #808000	98 81 3 35 #031fa1
32 63 91 20 #8b4b12	0 68 77 16 #d64531	59 0 69 68 #215219	100 90 10 64 #000953

Any
WHITE–GRAY–BLACK
grayscale:



Appendix A

Architectural Design Standards Color Palette

C Y M K
HEX#