



**AGENDA
FARRAGUT MUNICIPAL PLANNING COMMISSION**

**May 18, 2017
7:00 p.m. Farragut Town Hall**

For questions please either e-mail Mark Shipley at mshipley@townoffarragut.org or call him at 865-966-7057.

- 1. Citizen Forum**
- 2. Approval of agenda**
- 3. Approval of minutes – April 20, 2017**
- 4. Appointment of the FMPC Stormwater Advisory Committee representative**
- 5. Discussion and public hearing on a site plan for Phase 2 remodeling at the West End Center at 126 and 156 West End Avenue, 6.99 Acres, Zoned C-1 (Stuart Anderson, Applicant)**
- 6. Discussion and public hearing on a site plan for the NHC Memory Care Facility at 120 Cavette Hill Lane, 15.504 Acres, Zoned C-1 (National Healthcare Corporation, Applicant)**
- 7. Discussion and public hearing on an amendment to the concept plan associated with the Kingston Pike Town Center to provide for a new access to N. Campbell Station Road, Parcel 131, Tax Map 142, 16.23 Acres, Zoned TCD (Craig Allen, Applicant)**
- 8. Discussion on a request to rezone Parcels 79, 80, 81, 97, 96, 96.01, Tax Map 151 and portions of Parcels 78, 95 and 95.01, Tax Map 151, located along Kingston Pike and S. Watt Road, 18.65 Acres, from R-1 and C-1 to PCD (GBS Engineering, Applicant)**
- 9. Discussion on a request to rezone Parcels 52, 54, 54.01, 55, and 57, Tax Map 151, located at 12723, 12733, 12737, 12743, and 12751 Union Road, 115 Acres, from A to R-1/OSR (Site Inc., Applicant)**
- 10. Discussion and public hearing on the proposed FY 2018 Capital Investment Plan**
- 11. Discussion on updates to the Major Road Plan**

11408 MUNICIPAL CENTER DRIVE | FARRAGUT, TN 37934 | 865.966.7057

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**MINUTES
FARRAGUT MUNICIPAL PLANNING COMMISSION**

April 20, 2017

MEMBERS PRESENT

Rita Holladay, Chairman
Ed St. Clair, Vice-Chairman
Louise Povlin, Alderman
Noah Myers
Betty Dick
Rose Ann Kile
Jack Coker, Youth Representative

MEMBERS ABSENT

Ed Whiting, Secretary
Ralph McGill, Mayor
Drew Carson

Staff Representatives: Mark Shipley, Community Development Director

Chairman Holladay called the meeting to order at 7 p.m.

1. CITIZEN FORUM

Scout Troop 444 was present for merit badges. John Nils spoke about the need for bicycle lanes for bicyclists. The staff noted that Ashley Miller had taken another job and reminded the Commissioners that a training session was upcoming in early May for mixed use neighborhoods.

2. APPROVAL OF AGENDA

A motion was made by Commissioner St. Clair to approve the agenda. The motion was seconded by Commissioner Myers and the motion passed unanimously.

3. APPROVAL OF MINUTES

A motion was made by Commissioner Povlin to approve the March 16, 2017 minutes. The motion was seconded by Commissioner Dick and the motion passed with Commissioner Myers and Commissioner St. Clair abstaining due to being absent.

4. DISCUSSION AND PUBLIC HEARING ON A FINAL PLAT FOR OCHO COMPANY SUBDIVISION, PARCEL 10, TAX MAP 152, LOCATED AT 12403 KINGSTON PIKE, 2 LOTS, 3.85 ACRES (Tim Dunaway, Applicant)

Staff recommended approval subject to the following items being satisfactorily addressed as verified in writing by the Town staff:

- 1) If any portion of a sinkhole is on the property please show the sinkhole lip elevation and the 50 foot building setback. An MFE is required if a sinkhole exists on the property and all applicable provisions of the Farragut Sinkhole Ordinance shall apply;
- 2) The front building setbacks are 80, 60, or 20 feet, depending on the placement of the parking lot in relation to the building;

A motion was made by Commissioner St. Clair to approve the final plat subject to the staff recommendations. A motion was seconded by Commissioner Myers and the motion was approved unanimously.

5. DISCUSSION AND PUBLIC HEARING ON A SITE PLAN FOR THE DOLLAR GENERAL STORE, 12403 KINGSTON PIKE, A PORTION OF PARCEL 10, TAX MAP 152, LOCATED ON KINGSTON PIKE TO THE EAST OF THE OLD STAGE ROAD INTERSECTION, 1.29 ACRES (JMB Investment Co., LLC, Applicant)

Staff recommended approval subject to the following items being satisfactorily addressed as verified in writing by the Town staff:

- 1) The terminal island along the southeast row of parking is required to be a minimum of five (5) feet in width as measured from back of curb to back of curb. You may request to lose an additional parking space if necessary. Please correct;
- 2) Please correct the tree preservation/removal plan so that it is up to date with the site and grading plan sheets;
- 3) Please coordinate the proposed exterior light fixtures with the Town staff. There are still some questions that remain;
- 4) Based on existing tree cover, please show the one inch water line so that it avoids the removal of trees. It is still unclear on the plans if the location shown is the best in terms of avoiding tree removal;
- 5) Based on the building's dimensions, there is 500 square feet of landscaped area required between the building and parking lot. Please provide for this and update both the site plan and landscape plan and ensure that they are consistent with each other;
- 6) Please remove the light duty pavement shown on the westernmost interior parking lot island on Sheet 4. This was probably just a layer that wasn't turned off;
- 7) Please remove Note #4 from Sheet 4. This references an older building;
- 8) The minimum sidewalk width is 5 rather than 4 feet. Please correct;
- 9) Please provide the calculated fire flow and quantity of fire hydrants required in accordance with appendix B and C of the 2012 International Fire Code. This must be included on the drawings, not as a separate submittal, preferably on sheet 5 of 23;
- 10) The landscape plan will be reviewed by the VRRB. A grading permit cannot be issued until the landscape plan is approved;
- 11) Where cut is proposed within the drip line of trees to be saved, an arborist assessment and recommendations are required. Root pruning and possibly other measures may be needed;
- 12) Prior to the issuance of a Certificate of Occupancy a digital as-built will be required in a JPEG format;
- 13) Please submit drainage fee of \$620;
- 14) Please submit Erosion Control Letter of Credit in the amount of \$11,500;
- 15) Please submit TDOT Entrance Permit; and
- 16) Please submit NOC.

After a brief discussion, Commissioner Myers noted that an additional item that would need to be addressed is to show how the compact car spaces would be identified. With this additional item, Commissioner Myers moved to approve the site plan subject to the staffs' recommendations. A motion was seconded by Commissioner Povlin and the motion passed unanimously.

6. DISCUSSION AND PUBLIC HEARING ON AN AMENDMENT TO THE SITE PLAN FOR FOX DEN COUNTRY CLUB, PARCEL 12, TAX MAP 152, ZONED R-2, LOCATED AT 12284 NORTH FOX DEN DRIVE, 156.99 ACRES, TO AMEND THE BUILDING FAÇADE MATERIALS (Cory Griffis, Applicant)

Staff recommended approval of the amendment since the ADS has some flexibility in relation to accessory buildings based on the context (e.g. distance from property lines and compatibility with materials on nearby buildings).

After some discussion, a motion was made by Commissioner Povlin to approve the site plan modification for the following reasons:

- 1) The ADS provides for some flexibility in building materials for minor projects (like accessory buildings);*
- 2) The proposed building is over 350 feet from the nearest property line; and*
- 3) The proposed materials on the buildings are compatible with materials that are used on nearby buildings on the same parcel.*

The motion was seconded by Commissioner Kile and the motion passed with Commissioners Dick and Myers abstaining.

7. DISCUSSION ON A CONCEPT SKETCH PLAN FOR THE KNICKERBOCKER BUILDING, PARCEL 137.14, TAX MAP 142, LOCATED ON MUNICIPAL CENTER DRIVE EAST OF THE POST OFFICE, ZONED C-1, 1.7 ACRES (MBH, Inc., Applicant)

For discussion purposes only. Some discussion topics related to this item may include building scale, permeable pavers in parking lot to accommodate stormwater and relaxed parking lot setbacks, providing for pedestrian facilities and connectivity, and on-street parking (particularly along Municipal Center Drive).

The staff introduced this item. Though there were some questions and details that will need to be addressed when more detailed plans are prepared, the staff and commissioners were receptive to this concept.

8. DISCUSSION ON A REQUEST TO REZONE PARCELS 79, 80, 81, 97, 96, 96.01, TAX MAP 151 AND PORTIONS OF PARCELS 78, 95 AND 95.01, TAX MAP 151, LOCATED ALONG KINGSTON PIKE AND S. WATT ROAD, 18.65 ACRES, FROM R-1 AND C-1 TO PCD (GBS Engineering, Applicant)

For discussion purposes only. Some discussion topics related to the master concept plan reflect the need for a land planner to be actively involved in the complete design process. Some general issues with the current draft design include:

- 1) A lack of inventorying the physical opportunities that the property provides and working them into the design. As an example, retail/restaurants could have an active and scenic outdoor space that capitalizes on the properties physical characteristics (e.g. making the drainageway a heavily landscaped bioswale with outdoor seating facing this area and a walking trail running parallel with the bioswale as an amenity for the development);
- 2) Moving the outer buildings up to the street with landscaped outdoor space and shifting the parking to sides and the rear. This would provide for a better and more inviting entrance to the Town and the development from the west and would help address some of the language specified in the ADS and CLUP as it relates to this portion of the Town;
- 3) Providing for significantly more pedestrian and vehicular connections within the development and to abutting properties;
- 4) Removing drive-thru's from the periphery of the development and instead bringing the building to the street to establish a more inviting feel that signals a different type of development from traditional commercial;
- 5) Ensuring that the scale of buildings transition properly to the surrounding properties;
- 6) The fuel center is shown over a platted sanitary sewer easement and this would not be permitted;
- 7) The parking must be broken up into smaller pods. The central parking area is massive and detracts from the project as a whole, particularly given the project's residential component;
- 8) Though this would be more site plan level detail, locations for shopping carts have not been factored into the concept;
- 9) More pockets of functional and connected open space are needed, especially given the residential component of the development. The various components of the project must blend together and this can be assisted with connected and functional open space;
- 10) Please account for the LID requirements in the PCD District and blend them with other project objectives (e.g. walking trail along bioswale);
- 11) Please note that parking space allocations are more flexible with the PCD and the Town has also recently amended our parking requirements to further provide more flexibility. These should be included in the design.

The staff introduced this item and noted some concerns and comments regarding the master concept plan. The Commissioners agreed that modifications were needed and could be presented as a workshop discussion item at the meeting in May.

9. DISCUSSION ON UPDATES TO THE COMPLETE STREETS CROSS SECTIONS IN THE PEDESTRIAN AND BICYCLE PLAN

For discussion purposes only.

The staff conducted a charrette involving different collector streets and cross section options that would be most desirable when these streets are improved.

PUBLIC HEARING ON PROPOSED LOCATIONS FOR NEW UTILITIES

None at this time.

ADJOURNMENT

The meeting adjourned at 9:14 p.m.

Edwin K. Whiting, Secretary

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Appointment of the FMPC Stormwater Advisory Committee representative

INTRODUCTION AND BACKGROUND: This item involves the appointment of the Planning Commission representative for the Stormwater Advisory Committee. The current Planning Commission representative is Ed Whiting.

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on a site plan for Phase 2 remodeling at the West End Center at 126 and 156 West End Avenue, 6.99 Acres, Zoned C-1 (Stuart Anderson, Applicant)

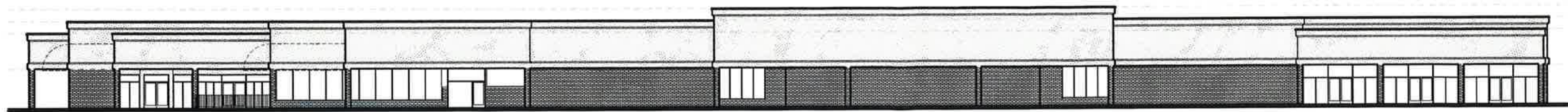
INTRODUCTION AND BACKGROUND: On August 20, 2015, the Planning Commission approved a site plan that involved the re-facing of the West End Center complex on the west side of West End Avenue, including the freestanding building which is now the Fruition Café. The property owner completed this work and is now requesting approval for a site plan that would involve re-facing the building on the east side of West End Avenue where the Goodwill and other tenants are located. As part of this site plan the freestanding building with the Subway and barber shop would also be refaced.

As noted in 2015 with the original site plan for the west side of West End Avenue, the West End Center is situated within the Mixed Use Town Center and the property owner is working to incrementally create more traditional town center looking buildings. Similar to the original phase this second phase involves only the building facades. There will be no site modifications at this time.

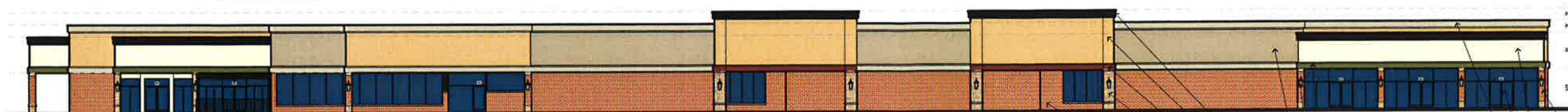
Since the existing buildings do not meet the Town's Architectural Design Standards, namely in terms of materials and form, there is flexibility embedded in the standards to encourage modifications where they are clearly promoting greater adherence to the design standards.

RECOMMENDATION: Though not as extensive as the re-face on the west side of West End Avenue, the proposed re-face on the east side of West End Avenue would still promote greater adherence to the design standards with articulation enhancements, more earth tone colors, a provision for external decorative lighting, and enhanced accent treatments. The re-face would also help implement Strategy 2 of the Comprehensive Land Use Plan – Repair Aging Shopping Centers.

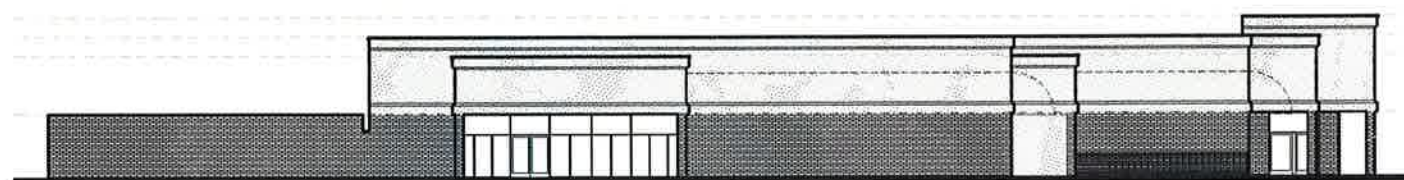
Included in your packet is a copy of the site plan which includes a before and after of the building façade. The lighting proposed at this time would be identical to the lighting that was used on the original re-face. Signage will be transitioned to a consistent and more town center style when individual signs are replaced. The owner is hoping to work with the tenants at this time so that the signage could be replaced while the re-face is underway.



1 EXIST. BLDG. 'A' SOUTHEAST ELEVATION
SCALE: 3/32" = 1'-0"



2 NEW BLDG. 'A' SOUTHEAST ELEVATION
SCALE: 3/32" = 1'-0"



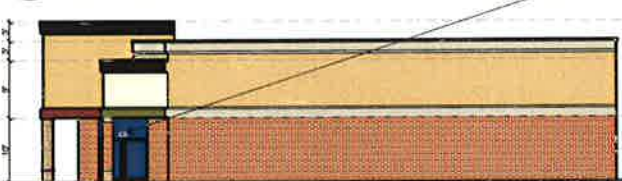
3 EXIST. BLDG. 'A' SOUTHWEST ELEVATION
SCALE: 3/32" = 1'-0"



4 NEW BLDG. 'A' SOUTHWEST ELEVATION
SCALE: 3/32" = 1'-0"



5 EXIST. BLDG. 'A' NORTHEAST ELEVATION
SCALE: 3/32" = 1'-0"



6 NEW BLDG. 'A' NORTHEAST ELEVATION
SCALE: 3/32" = 1'-0"

- TYPICAL ELEVATION NOTES:**
- E1'S TRIM, COLOR: LIGHT WARM GREY
 - E1'S TRIM, COLOR: MOSS
 - EXISTING ALUMINUM STOREFRONT TO REMAIN, COLOR: DARK BRONZE
 - E1'S FIELD, COLOR: CREAM
 - NEW THIN BRICK SOLDIER TRIM (COLOR: TAN) W/ CULTURED STONE BASE (COLOR: TANGREY)
 - WALL SCORCE LED LIGHT FIXTURE W/ RECESSED BULB, COLOR: BLACK - SEE E1, TYPE 'C'
 - E1'S FIELD, COLOR: TAUPE
 - PREFIN. ALUM. CORP. AND E1'S TRIM, COLOR: DARK BRONZE
 - E1'S FIELD, COLOR: TAN
 - E1'S TRIM, COLOR: TERRA COTTA
 - CULTURED STONE BASE AND COLUMN WRAP (COLOR: TANGREY)
 - EXISTING BROWNED RANGE BRICK TO REMAIN
 - TENANT ADDRESSES TYPICALLY ABOVE OR ON ENTRY DOOR

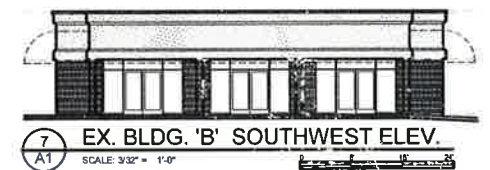


13 SITE PLAN
SCALE: 1" = 100'

PROJECT NOTE: THIS PLAN IS FOR FACADE RENOVATION ONLY - NO MODIFICATIONS TO THE SITE ARE PROPOSED AT THIS TIME

BUILDING 'A' NOTES (E1'S WEST END AVE):
SIZE OF BUILDING: 51,470 S.F.
NUMBER OF STORIES: 1
CONSTRUCTION TYPE: S-B, NON-SPRINKLERED
OCCUPANCY TYPE: MIXED - MERCANTILE, BUSINESS, ASSEMBLY
LIST ADDRESSES: 138, 142, 146, 150, 154, 145, 156 WEST END AVE
ONE-HOUR PROTECTED: NO

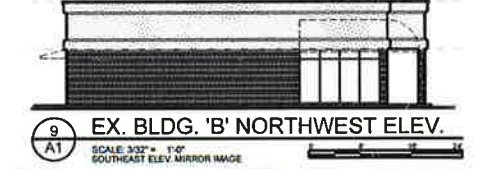
BUILDING 'B' NOTES (E1'S WEST END AVE):
SIZE OF BUILDING: 3,320 S.F.
NUMBER OF STORIES: 1
CONSTRUCTION TYPE: S-B, NON-SPRINKLERED
OCCUPANCY TYPE: MIXED - MERCANTILE, BUSINESS
LIST ADDRESSES: 126 WEST END AVE
ONE-HOUR PROTECTED: NO



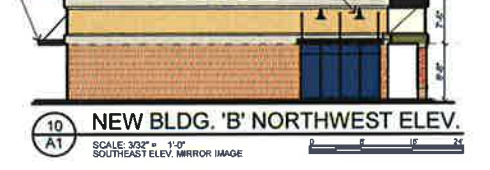
7 EX. BLDG. 'B' SOUTHWEST ELEV.
SCALE: 3/32" = 1'-0"



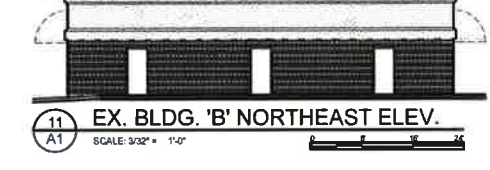
8 NEW BLDG. 'B' SOUTHWEST ELEV.
SCALE: 3/32" = 1'-0"



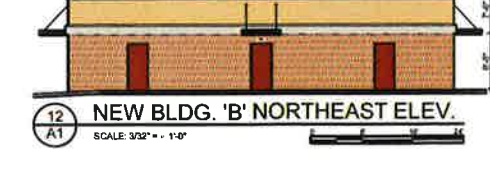
9 EX. BLDG. 'B' NORTHWEST ELEV.
SCALE: 3/32" = 1'-0"
SOUTHWEST ELEV. MIRROR IMAGE



10 NEW BLDG. 'B' NORTHWEST ELEV.
SCALE: 3/32" = 1'-0"
SOUTHWEST ELEV. MIRROR IMAGE



11 EX. BLDG. 'B' NORTHEAST ELEV.
SCALE: 3/32" = 1'-0"



12 NEW BLDG. 'B' NORTHEAST ELEV.
SCALE: 3/32" = 1'-0"

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RTC
GENERAL CONTRACTORS

PHASE 2 REMODELING OF
WEST END CENTER
126 & 156 WEST END AVE.
FARRAGUT, TN
DEVELOPER: WEST END CENTER, LLC
CLT MAP, 10 PARCEL 13



RECEIVED
APR 17 2017
TOWN OF FARRAGUT

EXTERIOR ELEVATIONS AND SITE PLAN

DATE: 17 APR 2017
PROJECT NO.: 17033
PROJECT MGR.: STUART

A1

[illegible]

PROS - Providence Small Housing Style Type |

1. NAME | **1. COLOR**

2. LUMENS | **2. COLOR**

3. LUMEN/FOOT | **3. COLOR**

4. SPECIFICATIONS

5. DIMENSIONS

6. INSTALLATION

7. NOTES

8. CONTACT INFORMATION

9. SPECIFICATIONS

10. DIMENSIONS

11. INSTALLATION

12. NOTES

13. CONTACT INFORMATION

14. SPECIFICATIONS

15. DIMENSIONS

16. INSTALLATION

17. NOTES

18. CONTACT INFORMATION

19. SPECIFICATIONS

20. DIMENSIONS

21. INSTALLATION

22. NOTES

23. CONTACT INFORMATION

24. SPECIFICATIONS

25. DIMENSIONS

26. INSTALLATION

27. NOTES

28. CONTACT INFORMATION

29. SPECIFICATIONS

30. DIMENSIONS

31. INSTALLATION

32. NOTES

33. CONTACT INFORMATION

34. SPECIFICATIONS

35. DIMENSIONS

36. INSTALLATION

37. NOTES

38. CONTACT INFORMATION

39. SPECIFICATIONS

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41. INSTALLATION

42. NOTES

43. CONTACT INFORMATION

44. SPECIFICATIONS

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47. NOTES

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102. NOTES

103. CONTACT INFORMATION

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212. NOTES

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214. SPECIFICATIONS

215. DIMENSIONS

216. INSTALLATION

217. NOTES

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219. SPECIFICATIONS

220. DIMENSIONS

221. INSTALLATION

222. NOTES

223. CONTACT INFORMATION

224. SPECIFICATIONS

225. DIMENSIONS

226. INSTALLATION

227. NOTES

228. CONTACT INFORMATION

229. SPECIFICATIONS

230. DIMENSIONS

231. INSTALLATION

232. NOTES

233. CONTACT INFORMATION

234. SPECIFICATIONS

235. DIMENSIONS

236. INSTALLATION

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RECEIVED

APR 17 2012

TOWN OF FARRAGUT

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on a site plan for the NHC Memory Care Facility at 120 Cavette Hill Lane, 15.504 Acres, Zoned C-1 (National Healthcare Corporation, Applicant)

INTRODUCTION AND BACKGROUND: This item involves a request for approval of a site plan for a memory care facility for National Healthcare Corporation (NHC) to be constructed to the west of the existing NHC facility. This memory care facility will be approximately 40,000 square feet and will have 60 units.

DISCUSSION: As proposed, the site plan includes bioretention and provides for a sidewalk connection to the walking trail that runs along the drainageway. With regards to pedestrian facilities, a question that was noted in the staffs' review of the site plan was regarding a pedestrian facility along Sugarwood Drive. At the March 15, 2012 Planning Commission meeting, a site plan was approved for a 3,000 square foot therapy addition at the existing NHC facility that abuts Sugarwood Drive. As part of this site plan, the Planning Commission required a sidewalk to be constructed along Sugarwood Drive to fulfill the requirement in the Zoning Ordinance for a pedestrian facility to be constructed along an abutting street as part of a site plan review. This requirement pre-dated the original NHC facility.

NHC appealed the Planning Commission's action to the Board of Zoning Appeals (BZA). The BZA granted a variance to not construct a pedestrian facility south of the walking trail due to the minor scale of the addition proposed at that time. The Board did require a connecting trail to be constructed from the walking trail to the sidewalk along Kingston Pike. This smaller section was seen as roughly proportional to the scale of the addition proposed at that time. A question for the Planning Commission at this time is whether the sidewalk that was originally required by the Planning Commission along Sugarwood Drive should now be constructed due to the much larger scale project that is under consideration at this time.

RECOMMENDATION: Since the only reason the sidewalk was not constructed in 2012 was due to a much smaller project and the same property owner owns each parcel, the staff would recommend that the applicant construct a sidewalk along the NHC frontage of Sugarwood Drive south of where the walking trail terminates into Sugarwood Drive. The staff will need to work with the applicant and the applicant's engineer in terms of how to address the crossing of the drainageway.

Included in your packet is a copy of selected sheets from the revised site plan and the staffs' comments on the original site plan. Also included in your packet are the applicant's response letter concerning the staffs' comments and the completed Architectural Design Standards Checklist. The staff will make a recommendation on the site plan at the meeting based on whether the original comments have been satisfactorily addressed.

April 25, 2017

Mr. Mervyn Whittenburg
National HealthCare Corporation
100 East Vine Street
Murfreesboro, TN 37130
mwhittenburg@nhccare.com

**SUBJECT: STAFF COMMENTS ON THE SITE PLAN FOR THE NHC
MEMORY CARE FACILITY AT 120 CAVETTE HILL LANE**

Dear Mr. Whittenburg:

The Town staff has reviewed the revised site plan for the NHC Memory Care Facility at 120 Cavette Hill Lane and would ask that you please address the following items and submit five (5) full size copies and one (1) 11" x 17" reduced set to the Farragut Town Hall by **Monday, May 8** (if you wish to be heard at the May 18 Planning Commission meeting). Also, upon resubmittal, please include a letter which addresses these comments and that indicates where the information can be found on the plans.

This item will be discussed at the Staff/Developer Meeting at the Farragut Town Hall on Tuesday, May 2, at 10:00 a.m. The purpose of this meeting is to discuss questions you may have on staff comments. Modifications to the plans are not due until Monday, May 8.

Fire Division: (Contact Dan Johnson at djohnson@townoffarragut.org)

- 1) The Provided construction type does not appear to comply with our local amendments for the size of building. Please confirm by referencing the Town of Farragut Municipal Code, Chapter 12, Amendments to the 2012 IBC;
- 2) Recommend relocating fire hydrant, located on the Eastern most driveway, that crosses property line to the property which it is fed from. This could create conflicts should the parcels be separately owned at a later date;
- 3) Please confirm that the structure will be protected by an NFPA 13 fire sprinkler system and document that system type on the site drawings;
- 4) Please confirm that needed fire flow, in accordance with the 2012 IFC, is accurately reduced for sprinkler system type. In the case of an NFPA 13 system, a 75% reduction may be utilized. If a 13R system is utilized only a 25% reduction is allowed;
- 5) Please provide the location of the Fire Department Connection for the fire sprinkler system;
- 6) Please provide the location of the PIV or other fire sprinkler system control valve;

Codes Division: (Contact John Householder at jhouseholder@townoffarragut.org)

- 7) Please specify an estimated building cost at this point based on the square footage and required building construction type;

- 8) The listed construction type does not comply with the Town's minimum requirements;

Planning Division: (Contact Mark Shipley at mshipley@townoffarragut.org)

- 9) Please number all sheets 1 of ..., 2 of ..., 3 of ...;
- 10) Please verify if this building will have a different address. If so, please provide a certified address from Knox County MPC;
- 11) All sheets must be signed and sealed. The architectural sheets were not signed and sealed;
- 12) Please ensure that all sheets have a written and graphic scale;
- 13) Please ensure that the landscape plan is consistent with the site plan. A landscape plan must be approved prior to the issuance of a grading or building permit;
- 14) Please verify and note on the plans that the net façade area of the building will be at least 75% masonry (brick or stone). This is required in the ADS;
- 15) Please ensure that the architect completes the ADS checklist and addresses all applicable requirements provided in the checklist
<http://www.townoffarragut.org/Search/Results?searchPhrase=architectural%20design%20standards>
- 16) In terms of the connectivity requirement in the C-1 Zoning District, the project is in need of additional pedestrian connections to both the existing eastern part of NHC and the existing walking trail to the north along with the applicable crosswalks. Staff would also suggest an asphalt trail around the parking to provide staff and visitors with the ability to take a walk around the facility. These trails are very common in health care facilities;
- 17) Related to this, when the 3,000 square foot therapy addition was approved by the Planning Commission on March 15, 2012, the Commission required a sidewalk to be constructed along the Sugarwood Drive frontage of NHC. A variance was subsequently granted from the Board of Zoning Appeals to not construct this south of the walking trail due to the minor scale of the addition proposed at that time. The Board did require a connecting trail to be constructed from the walking trail to the sidewalk along Kingston Pike. This smaller section was seen as roughly proportional to the scale of the addition proposed at that time. A question for the Planning Commission at this time is whether a sidewalk should be required from the walking trail south along the NHC frontage of Sugarwood Drive given the much larger scale of this project;
- 18) Please note that this site is significantly over parked and the Planning Commission may only authorize parking in excess of 10% above the minimum number of spaces required where the following measures are provided and reflected on the site and landscape plans:
 - a. An additional interior parking lot island is provided for every 5 parking spaces in excess of the minimum required; and
 - b. The additional surface parking and travel lanes associated with the parking in excess of the minimum required shall be constructed in permeable pavers or a comparable and widely recognized low impact development surface parking application.

- 19) Please note that the mechanical units are required to be screened by the building they are serving;
- 20) Please include on the plans a detail and lumen output for each proposed exterior light fixture and a cross section of the proposed light poles to verify height compliance. Decorative light fixtures are encouraged since this is a quasi-residential use;
- 21) Some of the parking lot islands do not maintain the minimum five feet in width throughout their depth. Please correct;
- 22) Finished slopes cannot exceed 2.5:1. Any slopes steeper than this require a retaining wall;
- 23) There appears to be a 6 inch sanitary sewer line going under the building. Please clarify;
- 24) On the tree preservation plan please show in the table the mature hardwood stand (#60) as being saved;

Engineering Division: (Contact Darryl Smith at dsmith@townoffarragut.org)

- 25) To FMPC: Traffic Impact Study indicates minimal impact to traffic operations at the intersection of Kingston Pike and Cavette Hill Lane. Peak hour Level of Service is LOS C (good). TIS also notes that new signal at Kingston Pike/Virtue provides needed gaps for vehicles entering/departing Cavette Hill Lane;
- 26) Drainage plan is very good, with only minor comments. Generally, the Town requires that all pipes be minimum of 18" diameter to facilitate easier clean-out. The plans show several smaller HDPE pipes carrying flow from minor area drains and side drains, which should be permitted in most locations. However, staff suggests the following pipes be increased to 18" diameter, due to location and difficulty of replacement (if necessary): from structure 16 to structure 2, 18 to 21, 21 to 22, and 13 to 8. Our stormwater ordinance requires reinforced concrete pipe in any location where pipe failure would lead to runoff being diverted away from detention basin or across neighboring property lines. Staff suggests the following pipes should be concrete due to this requirement, or due to depth: from structure 8 to structure 7, 7 to 6, 6 to 5, 5 to 4, 4 to 3, 3 to 2, 2 to 1, 19 to 18, 18 to 17, 17 to 2;
- 27) Please check invert elevations posted for bottom of pond (901.00) and 2" orifice (901.00) on Outlet Side View of Detail 23;
- 28) Where are Electric, Telephone and Cable lines to be installed?
- 29) Please submit Drainage Fee of \$2235;
- 30) Please submit irrevocable letter of credit for erosion control for \$38,000; and
- 31) Please submit NOC.

In addition to the e-mail addresses provided above you may also call the designated staff person(s) at 865-966-7057 if you have any questions on the above items. Unless specified otherwise, please include all requested information on the plans. Thank you for your assistance.

Sincerely,

May 8, 2017

Mark Shipley, AICP
Town of Farragut
Community Development Director
11408 Municipal Center Drive
Farragut, TN 37934

**RE: NHC Memory Care Facility
Response Letter to Staff Comments on Site Plan**

Dear Mr. Shipley:

Please find attached our revised drawings on the NHC Memory Care project for your review and the May 18th Planning Commission Meeting. The drawings are revised to address each of the items listed in your letter dated April 25, 2017. Please find below our responses to your staff review comments:

Fire Division: (Contact Dan Johnson at djohnson@townoffarragut.org)

- 1) The Provided construction type does not appear to comply with our local amendments for the size of building. Please confirm by referencing the Town of Farragut Municipal Code, Chapter 12, Amendments to the 2012 IBC;

Response: Construction type has been revised to III-A. In addition, coordination has been performed between the architect and Dan Johnson regarding the revision to the construction type.

- 2) Recommend relocating fire hydrant, located on the Eastern most driveway, that crosses property line to the property which it is fed from. This could create conflicts should the parcels be separately owned at a later date.

Response: Hydrant has been revised based on latest site plan. Hydrant is now connected to the proposed on-site fire main.

- 3) Please confirm that the structure will be protected by an NFPA 13 fire sprinkler system and document that system type on the site drawings;

Response: The structure will be fully protected with an NFPA 13 automatic sprinkler system (Wet-pipe below roof/ceiling assembly, Dry-pipe in attic). Note has been added to the plans on the Overall Site Layout (C1.01).

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- 4) Please confirm that needed fire flow, in accordance with the 2012 IFC, is accurately reduced for sprinkler system type. In the case of an NFPA 13 system, a 75% reduction may be utilized. If a 13R system is utilized only a 25% reduction is allowed;

Response: The building will be protected with a NFPA 13 system. The calculation was provided on the Water Line Plan (C5.01) using a 75% reduction which was less than the minimum requirement of 1500 gpm. Per 2012 IFC, Type III-A (39,962 sf) requires 3,000 gpm @ 3 hr duration. With a 75% reduction, the required fire flow is 750 gpm (minimum is 1500 gpm @ 3 hr duration).

- 5) Please provide the location of the Fire Department Connection for the fire sprinkler system;

Response: Remote FDC location has been added to the Overall Site Layout (C1.01), Enlarged Site Layout (C1.02 and C1.03), and the Water Line Plan (C5.01).

- 6) Please provide the location of the PIV or other fire sprinkler system control valve;

Response: PIV has been added to the Water Line Plan (C5.01).

Codes Division: (Contact John Householder at jhouseholder@townoffarragut.org)

- 7) Please specify an estimated building cost at this point based on the square footage and required building construction type;

Response: Our current construction estimate is \$8.5 mm (\$1.5 site / \$7.0 bldg).

- 8) The listed construction type does not comply with the Town's minimum requirements;

Response: The building type has been revised to Type III-A construction.

Planning Division: (Contact Mark Shipley at mshipley@townoffarragut.org)

- 9) Please number all sheets 1 of ..., 2 of ..., 3 of ...;

Response: Sheets have been revised to include numbering as requested.

- 10) Please verify if this building will have a different address. If so, please provide a certified address from Knox County MPC;

Response: A certified address from MPC is included with this submittal. The address is 121 Cavette Hill Lane (plans have been revised accordingly).

- 11) All sheets must be signed and sealed. The architectural sheets were not signed and sealed;

Response: Architectural sheets included in this submittal are signed and sealed.

- 12) Please ensure that all sheets have a written and graphic scale;

Response: Graphic scale added to the Landscape and Tree Preservation plans.

- 13) Please ensure that the landscape plan is consistent with the site plan. A landscape plan must be approved prior to the issuance of a grading or building permit;

Response: Landscape plan has been revised to match the latest revised site plan. A separate submittal will be made for the full landscape design and approval (June VRRB Meeting).

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- 14) Please verify and note on the plans that the net façade area of the building will be at least 75% masonry (brick or stone). This is required in the ADS;

Response: Tables were included in the previous submittal on A6.4 showing the percentage of brick for the building (76.52%).

- 15) Please ensure that the architect completes the ADS checklist and addresses all applicable requirements provided in the checklist
<http://www.townoffarragut.org/Search/Results?searchPhrase=architectural%20design%20standards>

Response: Checklist has been provided with this submittal for review. Please advise if additional information is needed.

- 16) In terms of the connectivity requirement in the C-1 Zoning District, the project is in need of additional pedestrian connections to both the existing eastern part of NHC and the existing walking trail to the north along with the applicable crosswalks. Staff would also suggest an asphalt trail around the parking to provide staff and visitors with the ability to take a walk around the facility. These trails are very common in health care facilities;

Response: Sidewalk has been added to the entrance driveway which provides connection to both the greenway and the existing sidewalks for NHC. Due to the function of the Memory Care Facility, it is not recommended to include an asphalt trail around the parking areas.

- 17) Related to this, when the 3,000 square foot therapy addition was approved by the Planning Commission on March 15, 2012, the Commission required a sidewalk to be constructed along the Sugarwood Drive frontage of NHC. A variance was subsequently granted from the Board of Zoning Appeals to not construct this south of the walking trail due to the minor scale of the addition proposed at that time. The Board did require a connecting trail to be constructed from the walking trail to the sidewalk along Kingston Pike. This smaller section was seen as roughly proportional to the scale of the addition proposed at that time. A question for the Planning Commission at this time is whether a sidewalk should be required from the walking trail south along the NHC frontage of Sugarwood Drive given the much larger scale of this project;

Response: As discussed at the review meeting, we anticipate the sidewalk along Sugarwood Drive to be a topic for discussion at the Planning Commission meeting. We have a long history of providing facilities that are constructed to meet or exceed the local building requirements and we look forward to continuing this tradition on this project. NHC will discuss this item further with the Planning Commission if they determine the sidewalk to be a requirement of this project.

- 18) Please note that this site is significantly over parked and the Planning Commission may only authorize parking in excess of 10% above the minimum number of spaces required where the following measures are provided and reflected on the site and landscape plans:
- An additional interior parking lot island is provided for every 5 parking spaces in excess of the minimum required; and
 - The additional surface parking and travel lanes associated with the parking in excess of the minimum required shall be constructed in permeable pavers or a comparable and widely recognized low impact development surface parking application.

Response: Parking has been revised to reduce the overall number of spaces provided. In addition, the required parking has been revised to "Assisted-Care Living Facility" which is closer to the type of facility that is proposed instead of Nursing Home. The revised parking provides 49 total spaces which does not exceed 10%.

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19) Please note that the mechanical units are required to be screened by the building they are serving;

Response: Architectural plans have been revised accordingly based on our conversation at the review meeting. In addition, note #9 on C1.01 has been revised.

20) Please include on the plans a detail and lumen output for each proposed exterior light fixture and a cross section of the proposed light poles to verify height compliance. Decorative light fixtures are encouraged since this is a quasi-residential use;

Response: Photometric site plan was included in the set. Lighting fixture design to be similar to adjacent facility. Cut sheet of proposed fixture has been included with this submittal.

21) Some of the parking lot islands do not maintain the minimum five feet in width throughout their depth. Please correct;

Response: The parking island located on the exit portion of the one way entrance area drive has been revised to maintain 5 feet. Please advise if additional areas are required to be modified.

22) Finished slopes cannot exceed 2.5:1. Any slopes steeper than this require a retaining wall;

Response: The slope at the driveway connection has been revised to 2.5:1.

23) There appears to be a 6 inch sanitary sewer line going under the building. Please clarify;

Response: The line shown is a building service line that allows the grease trap to be located outside the building. The site sanitary sewer line does not begin until the cleanout located 5 feet outside the building at the entrance area.

24) On the tree preservation plan please show in the table the mature hardwood stand (#60) as being saved;

Response: Tree preservation plan has been revised accordingly.

Engineering Division: (Contact Darryl Smith at dsmith@townoffarragut.org)

25) To FMPC: Traffic Impact Study indicates minimal impact to traffic operations at the intersection of Kingston Pike and Cavette Hill Lane. Peak hour Level of Service is LOS C (good). TIS also notes that new signal at Kingston Pike/Virtue provides needed gaps for vehicles entering/departing Cavette Hill Lane;

Response: Comment noted.

26) Drainage plan is very good, with only minor comments. Generally, the Town requires that all pipes be minimum of 18" diameter to facilitate easier clean-out. The plans show several smaller HDPE pipes carrying flow from minor area drains and side drains, which should be permitted in most locations. However, staff suggests the following pipes be increased to 18" diameter, due to location and difficulty of replacement (if necessary): from structure 16 to structure 2, 18 to 21, 21 to 22, and 13 to 8. Our stormwater ordinance requires reinforced concrete pipe in any location where pipe failure would lead to runoff being diverted away from detention basin or across neighboring property lines. Staff suggests the following pipes should be concrete due to this requirement, or due to depth: from structure 8 to structure 7, 7 to 6, 6 to 5, 5 to 4, 4 to 3, 3 to 2, 2 to 1, 19 to 18, 18 to 17, 17 to 2;

Response: Pipe sizes and material revised as noted.

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27) Please check invert elevations posted for bottom of pond (901.00) and 2" orifice (901.00) on Outlet Side View of Detail 23;

Response: Elevations shown on the outlet structure detail have been revised from 901.00 to 891.00.

28) Where are Electric, Telephone and Cable lines to be installed?

Response: Per our coordination, these utility services will be designed by the utility providers. We will provide plans once received from the utility companies.

29) Please submit Drainage Fee of \$2235;

Response: Drainage fee will be provided at the time a grading permit is ready to be issued.

30) Please submit irrevocable letter of credit for erosion control for \$38,000; and

Response: Either a Letter of Credit or a check will be provided at the time a grading permit is ready to be issued.

31) Please submit NOC.

Response: Plans have been submitted to TDEC for review and approval. We will send the Notice of Coverage once received and prior to issuance of a grading permit request.

Thank you for your review of this submittal. If you have any questions please do not hesitate to contact me at (865) 670-8555.

Sincerely,



Jason R. Hunt, P.E.

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TOWN OF BRISTOL

Chapter 1: Site Design Guidelines

STREETSCAPE

Intent Statement: Streetscape features should be functional and durable while helping to affirm or establish the identity of a neighborhood, district, or development.

Note: Page numbers refer to the "Farragut Architectural Design Standards" document.

Page #	Guideline #	Guideline Description	Met	Not Met	NA	Brief description of how the guideline is achieved:
pg. 14	1.1	Integrate functional pedestrian improvements into the streetscape.	☒	☐	☐	Comment: Project does not connect to public r.o.w. except at Cavette Hill Lane. Sidewalk connection to existing greenway is included.
pg. 14	1.2	Coordinate streetscape elements along public frontages surrounding a development.	☐	☐	☒	Comment: Project does not impact streetscape on Kingston Pike or Virtue Road.
pg. 14	1.3	Coordinate streetscape elements on internal streets and lanes within a development.	☒	☐	☐	Comment: Site lighting designed to coordinate with the existing NHC facility.
pg. 14	1.4	Use streetscape elements that invite a high level of activity along a commercial street frontage.	☐	☐	☒	Comment:
pg. 14	1.5	Use streetscape elements that invite passive pedestrian and recreational activity along a residential street frontage.	☐	☐	☒	Comment:

BUILDING SETBACKS & FRONTAGE:

Intent Statement: Whenever possible, buildings should be aligned along the street to hide parking and promote active sidewalks. A uniform alignment of buildings helps to define a "street wall," which provides a sense of enclosure and a comfortable scale for pedestrians.

Page #	Guideline #	Guideline Description	Met	Not Met	NA	Brief description of how the guideline is achieved:
pg. 16	1.6	Design the street frontage to promote pedestrian activity.	☐	☐	☒	Comment:

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pg. 16	1.7	Design the street frontage to be compatible with the surrounding context.	☒	☐	☐	Comment: Landscape between building and parking areas coordinated with existing NHC facility.
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CONNECTIVITY:

Intent Statement: Future development should help create a more active, and inter-connected environment throughout Farragut.

Page #	Guideline #	Guideline Description	Met	Not Met	NA	Brief description of how the guideline is achieved:
pg. 18	1.8	Provide pedestrian and bicycle connections into and between properties.	☒	☐	☐	Comment: Sidewalk connection between site and existing greenway included.
pg. 18	1.9	Provide vehicular connections into and between adjoining properties.	☒	☐	☐	Comment: A connection to Cavette Hill Lane and the existing parking lot for NHC included.

OUTDOOR OPEN SPACE:

Intent Statement: New development should incorporate outdoor open space that projects a vibrant image and invites pedestrian activity with durable furnishings and visual elements such as public art to add interest.

Page #	Guideline #	Guideline Description	Met	Not Met	NA	Brief description of how the guideline is achieved:
pg. 20	1.10	Locate outdoor open space to provide a focal point.	☒	☐	☐	Comment: Landscape plans will be provided that include the full design of the courtyard areas.
pg. 20	1.11	Locate and orient outdoor open space to be actively used.	☒	☐	☐	Comment: Courtyard areas are designed to accommodate the use of the facility including security.
pg. 21	1.12	Furnish outdoor open spaces to encourage active use.	☒	☐	☐	Comment: See responses above. Courtyard areas designed to accommodate the need of the facility.
pg. 21	1.13	Design outdoor open space to incorporate Low Impact Development (LID) principles for stormwater management.	☒	☐	☐	Comment: Bioretention used within the development.

PUBLIC ART:

Intent Statement: Public art is encouraged as a way of bringing visual interest and special identity to individual sites and neighborhoods. The guideline provided below is voluntary and is not meant to imply a requirement for inclusion of public art.

Page #	Guideline #	Guideline Description	Met	Not Met	NA	Brief description of how the guideline is achieved:
pg. 22	1.14	Use public art to add interest to an outdoor open space.	☐	☐	☒	Comment:

LANDSCAPING:

Intent Statement: Sites should be landscaped to enhance community image, invite pedestrian activity, preserve mature trees and highlight distinctive topographic or other site features. In general, indigenous or well-acclimated and noninvasive species should be used. Landscape design within a site should also help to establish a sense of visual continuity. The guidelines below are intended to complement landscaping requirements in the Farragut Zoning Ordinance.

Page #	Guideline #	Guideline Description	Met	Not Met	NA	Brief description of how the guideline is achieved:
pg. 23	1.15	Design sites to highlight landscape areas.	☐	☐	☒	Comment: Full landscape design will be provided with a separate submittal package.
pg. 23	1.16	Use a coordinated landscape palette to establish a sense of visual continuity.	☐	☐	☒	Comment: Full landscape design will be provided with a separate submittal package.
pg. 23	1.17	Preserve and maintain mature trees and significant vegetation.	☐	☐	☒	Comment: Full landscape design will be provided with a separate submittal package.
pg. 23	1.18	Use hardy plant and tree species.	☐	☐	☒	Comment: Full landscape design will be provided with a separate submittal package.
pg. 23	1.19	Use landscaping to enhance pedestrian improvements.	☐	☐	☒	Comment: Full landscape design will be provided with a separate submittal package.
pg. 23	1.20	Integrate landscaping and stormwater management systems.	☐	☐	☒	Comment: Full landscape design will be provided with a separate submittal package.

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SURFACE PARKING:

Intent Statement: Surface parking lots should not be a visually prominent feature of sites in Farragut, especially those along high-traffic corridors, such as Kingston Pike, or in locations intended for strong pedestrian orientation such as the Town Center District.

Page #	Guideline #	Guideline Description	Met	Not Met	NA	Brief description of how the guideline is achieved:
pg. 24	1.21	Minimize the visual impact of surface parking.	☒	☐	☐	Comment: Parking areas have been designed to be smaller areas within the development.
pg. 24	1.22	Locate and design parking lots to allow for pedestrian access.	☒	☐	☐	Comment: Parking areas designed to accommodate the needs of the facility.
pg. 24	1.23	Design parking access to minimize potential negative impacts on pedestrians.	☒	☐	☐	Comment: One access onto Cavette Hill Lane is included as part of the site plan.

SITE LIGHTING:

Intent Statement: The character and level of site lighting should help establish a sense of identity and cohesion. Site lighting should help create a sense of place, highlight distinctive architectural details, and reinforce the overall form, massing, and spatial characteristics of the building or site. Note that streetlights are an important feature of the overall streetscape as addressed on page 14 of the design guidelines.

Page #	Guideline #	Guideline Description	Met	Not Met	NA	Brief description of how the guideline is achieved:
pg. 25	1.24	Scale site lighting to its purpose.	☒	☐	☐	Comment: Site lighting designed to accommodate Memory Care use.
pg. 25	1.25	Shield site lighting to minimize off-site glare.	☒	☐	☐	Comment: Site photometric plan included with submittal.

WORKING WITH TOPOGRAPHY:

Intent Statement: Where possible, site design should preserve and work within existing topography. Any re-grading should maintain pedestrian and vehicular connectivity while minimizing potential negative visual impacts of large retaining walls.

Page #	Guideline #	Guideline Description	Met	Not Met	NA	Brief description of how the guideline is achieved:
pg. 26	1.26	Design a site to take advantage of existing topography.	☒	☐	☐	Comment: Site layout designed to remove need for retaining walls.
pg. 26	1.27	Design a retaining wall to minimize impacts on the natural character of the site.	☐	☐	☒	Comment:
pg. 26	1.28	Design a building foundation to conform to the existing topography.	☐	☐	☒	Comment:
pg. 26	1.29	Design a site to minimize vulnerability to sinkholes.	☒	☐	☐	Comment: Drainage is directed away from the building and bioretention is located at a lower elevation.

SERVICE AREAS & UTILITIES:

Intent Statement: Service areas and utilities should be located and designed to be visually unobtrusive and integrated with the design of the site and the building. Service areas are typically most appropriate when located to the rear of a building and not visible from the public right-of-way.

Page #	Guideline #	Guideline Description	Met	Not Met	NA	Brief description of how the guideline is achieved:
pg. 27	1.30	Locate a utility or service area to minimize visual impacts from the street and sidewalk.	☒	☐	☐	Comment: Located at the rear and screened from neighbors by tree line and constructed screens.
pg. 27	1.31	Locate and design a utility building or shed to minimize the visual impacts from the street and sidewalk.	☐	☐	☒	Comment: Utility building or shed not in the project scope.
pg. 27	1.32	Locate buildings and other site improvements to allow for potential future undergrounding of utility lines.	☒	☐	☐	Comment: Free site area will still be available to accommodate future such undergroundings.
pg. 27	1.33	Enclose a free-standing utility or service area.	☐	☐	☒	Comment: Service area is required to be adjacent to structure.

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STORMWATER MANAGEMENT & LOW-IMPACT DEVELOPMENT:

Intent Statement: The guidelines for stormwater management and low-impact development are intended to complement landscaping requirements in the Farragut Zoning Ordinance by promoting the use of low-impact development principles to meet those requirements while also providing site amenities that help enhance community image.

Page #	Guideline #	Guideline Description	Met	Not Met	NA	Brief description of how the guideline is achieved:
pg. 28	1.34	Maintain pre-development hydrologic features to minimize stormwater impacts.	☒	☐	☐	Comment: Natural drainage way (stream) preserved.
pg. 28	1.35	Incorporate Low Impact Development (LID) principles to address stormwater as close to the source as possible.	☒	☐	☐	Comment: Bioretention included.
pg. 28	1.36	Incorporate stormwater management systems to maximize water quality.	☒	☐	☐	Comment: Bioretention included. Detention discharge located at vegetated buffer for stream.
pg. 28	1.37	Use stormwater management systems as site amenities.	☐	☐	☒	Comment: Site amenities separated due to the unique use of the facility.

INCREMENTAL SITE DESIGN IMPROVEMENTS:

Intent Statement: While improvements should consider long term objectives for the area and site, flexibility in the application of the design guidelines is appropriate for such projects to ensure that development is able to respond to current market conditions.

Page #	Guideline #	Guideline Description	Met	Not Met	NA	Brief description of how the guideline is achieved:
pg. 29	1.38	Locate incremental improvements to anticipate future development.	☒	☐	☐	Comment: Drive aisle extended to the rear of the facility to accommodate future expansion of development.
pg. 29	1.39	Locate and design incremental improvements to enhance the pedestrian environment of an existing development.	☒	☐	☐	Comment: Connection to existing greenway included.

NEIGHBORHOOD SITE DESIGN TRANSITIONS:

Intent Statement: Site design adjacent to an existing or future residential neighborhood should provide a compatible transition that minimizes potential negative impacts while promoting positive connections. Designs that incorporate compatible uses and designs, and which link commercial and mixed-use areas with the adjacent residential neighborhoods are generally preferred as illustrated in "Strategies to Promote a Compatible Transition to Adjacent Neighborhood/Agricultural Land" on page 32 of the design guidelines.

Page #	Guideline #	Guideline Description	Met	Not Met	NA	Brief description of how the guideline is achieved:
pg. 31	1.40	Design a commercial or mixed-use site to be compatible with adjacent neighborhoods.	☐	☐	☒	Comment: Memory Care facility
pg. 31	1.41	Design landscape buffer areas to provide shared amenities.	☐	☐	☒	Comment: Shared amenities not included due to the unique use of the development.
pg. 31	1.42	Provide pedestrian, bike and vehicular connections to adjacent neighborhoods.	☒	☐	☐	Comment: Bike parking spaces and sidewalks included in the development.

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Chapter 2: Building Design Guidelines

BUILDING HEIGHT:

Intent Statement: New development and redevelopment should meet zoning requirements while recognizing traditional height variations in Farragut and stepping down towards adjacent lower-scale buildings.

Page #	Guideline #	Guideline Description	Met	Not Met	NA	Brief description of how the guideline is achieved:
pg. 37	2.1	Provide variation in building heights.	☒	☐	☐	Comment: Variations in floor plan create variations in height, plus entrance eave line is elevated.
pg. 37	2.2	Position taller building elements to minimize visual impacts.	☐	☐	☒	Comment:
pg. 37	2.3	Design floor-to-floor heights to establish a sense of scale and reflect Farragut traditions.	☐	☐	☒	Comment: Only 1 story.

BUILDING ARTICULATION:

Intent Statement: New development and redevelopment in Farragut should incorporate articulation techniques that promote a sense of human scale and divide the mass and scale of a larger building into smaller parts that relate to traditionally-scaled buildings.

Page #	Guideline #	Guideline Description	Met	Not Met	NA	Brief description of how the guideline is achieved:
pg. 38	2.4	Use vertical articulation techniques to add visual interest and express traditional façade widths.	☒	☐	☐	Comment: Variations in eave heights, roof massing, and elevations of material changes.
pg. 38	2.5	Use horizontal articulation techniques to establish a sense of human scale in the design of a larger building.	☒	☐	☐	Comment: Offsets in plans, variation in window fenestration and facade materials, residential scale.

ICONIC DESIGN FEATURES:

Intent Statement: New development and redevelopment in a highly-visible location, such as the intersection of arterial roads, should incorporate iconic design features to foster a unique sense of place, add visual interest and help differentiate Farragut from surrounding areas. In most cases, large-scale new development projects in any location should also incorporate iconic design features.

Page #	Guideline #	Guideline Description	Met	Not Met	NA	Brief description of how the guideline is achieved:
pg. 40	2.6	Use iconic design features to foster a unique sense of place.	☐	☐	☒	Comment: Not a highly-visible location.
pg. 40	2.7	Locate iconic design features to maximize their visibility and impact.	☐	☐	☒	Comment: Not a highly-visible location.

ROOF FORM:

Intent Statement: New development and redevelopment should incorporate roof forms that convey compatible mass and scale, add visual interest and are appropriate to a building's use.

Page #	Guideline #	Guideline Description	Met	Not Met	NA	Brief description of how the guideline is achieved:
pg. 40	2.8	Create a sense of visual interest by using a variety of roof forms along the street.	☒	☐	☐	Comment: Height & massing vary.
pg. 40	2.9	Consider incorporating a roof form that provides a "cap."	☒	☐	☐	Comment: Substantial overhang at eaves and two piece frieze.

OVERALL FAÇADE CHARACTER:

Intent Statement: Visible building façades that incorporate high-quality design features enhance Farragut's community image and convey an active and vibrant appearance to passing vehicles and pedestrians. The design guidelines for overall façade character below apply to visible façade areas that face public streets, sidewalks, pedestrian areas or parking lots.

Page #	Guideline #	Guideline Description	Met	Not Met	NA	Brief description of how the guideline is achieved:
pg. 42	2.10	Design a building façade to enhance community image.	☒	☐	☐	Comment: The scale and choice of materials are in context with the community.
pg. 42	2.11	Design a building façade to be compatible with its context.	☒	☐	☐	Comment: It compliments the residential scale of its function as an assisted living facility.

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pg. 42	2.12	Design a building façade to convey visual interest.	☒	☐	☐	Comment: Variations in both vertical and horizontal line and materials.
pg. 42	2.13	Design a building façade to promote an active appearance.	☒	☐	☐	Comment: The façade form is a direct reflection of the active function within.

GROUND FLOOR DESIGN:

Intent Statement: Ground floor building design should incorporate features that help create a pedestrian-friendly street level. In a commercial area, it is especially important to incorporate active features such as ground floor storefront windows. In a multi-family residential area, the ground floor may incorporate other design features, such as porches and stoops, to engage the sidewalk and street.

Page #	Guideline #	Guideline Description	Met	Not Met	NA	Brief description of how the guideline is achieved:
pg. 44	2.14	Design the ground floor of a building façade to engage the public realm and promote pedestrian activity.	☒	☐	☐	Comment: Entry porte-cochere, sidewalks, and activity courtyards with gazebo.
pg. 44	2.15	Use high quality, durable materials to define the ground floor and add visual interest.	☒	☐	☐	Comment: Brick and cement-fiber trim & siding, alternate color brick soldier courses & recessed accent course

BUILDING MATERIALS & COLORS:

Intent Statement: Exterior building materials and colors provide a sense of scale and texture and are used to convey design quality and visual interest. Building façades should use high-quality, durable, materials that contribute to the visual continuity of the context and convey high quality in design and detail. Masonry should be used as a significant façade element on new construction.

Page #	Guideline #	Guideline Description	Met	Not Met	NA	Brief description of how the guideline is achieved:
pg. 46	2.16	Use compatible materials to enhance community image.	☒	☐	☐	Comment: Brick with some siding. Brick to be at least 75% as required.
pg. 47	2.17	Use masonry materials to promote a cohesive community image.	☒	☐	☐	Comment: Residential brick with color range to compliment adjacent facility and neighborhood residents.

pg. 48	2.18	Use accent materials to enhance visual interest.	☒	☐	☐	Comment: We have employed color accent bands in the masonry, some siding & panels above windows
pg. 48	2.19	Use materials to convey a sense of human scale and visual interest to pedestrians.	☒	☐	☐	Comment: We are using modular brick and residential style siding.
pg. 48	2.20	Use exterior material, paint and roof colors that are compatible with the surrounding context.	☒	☐	☐	Comment: Brick, siding and dimensional shingle all blend with the adjacent structure and residences.

FAÇADE RENOVATION:

Intent Statement: Façade renovations are encouraged to enhance community image and help attract tenants to aging commercial or office buildings. Renovations may include ground floor improvements to attract pedestrian activity, the addition of iconic design features or complete replacement of an existing façade. When possible, such incremental improvements should anticipate future phases of development that may include new buildings, parking areas and pedestrian paths.

Page #	Guideline #	Guideline Description	Met	Not Met	NA	Brief description of how the guideline is achieved:
pg. 50	2.21	When possible, renovate an aging commercial or office façade to enhance community image.	☐	☐	☒	Comment:
pg. 50	2.22	Anticipate future phases of development when renovating a façade.	☐	☐	☒	Comment:

ADAPTIVE REUSE:

Intent Statement: Preserving and adapting a structure to a new use has environmental benefits and may help preserve the existing character of an area. Re-using a building preserves the energy and resources invested in its construction, and removes the need for producing new construction materials. Adaptive reuse projects are encouraged.

Page #	Guideline #	Guideline Description	Met	Not Met	NA	Brief description of how the guideline is achieved:
pg. 51	2.23	Adapt an existing structure to a new use as an alternative to demolition whenever possible.	☐	☐	☒	Comment:

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pg. 51	2.24	Consider future objectives for the site when adapting an existing structure to a new use.	☐	☐	☒	Comment: Only new structure involved.
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NEIGHBORHOOD BUILDING DESIGN TRANSITIONS:

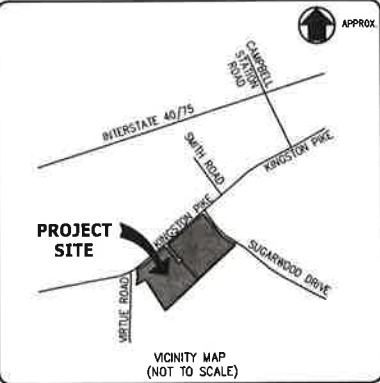
Intent Statement: The design of buildings adjacent to an existing or future residential neighborhood should provide a compatible transition that minimizes potential negative impacts while promoting visual connections. Where possible, buildings located near an adjacent neighborhood should have a lower-scale residential character to provide a compatible transition.

Page #	Guideline #	Guideline Description	Met	Not Met	NA	Brief description of how the guideline is achieved:
pg. 52	2.25	Provide a compatible scale transition adjacent to a residential neighborhood.	☒	☐	☐	Comment: Facility is residential in scale and function.
pg. 52	2.26	Incorporate residential design features adjacent to a residential neighborhood.	☒	☐	☐	Comment: Facility is residential in scale and function. Windows, roofing, façade materials are all residential

NATIONAL HEALTHCARE CORPORATION

MEMORY CARE FACILITY

121 CAVETTE HILL LANE
FARRAGUT, TENNESSEE 37934



DRAWING INDEX

CIVIL PLANS:

- C0.01 COVER SHEET
- C0.02 EXISTING CONDITIONS DEMOLITION PLAN
- C0.03 LOT COVERAGE AND LANDSCAPED AREAS
- C1.01 OVERALL SITE PLAN
- C1.02 SITE LAYOUT PLAN
- C1.03 SITE LAYOUT PLAN
- C2.01 OVERALL GRADING AND DRAINAGE PLAN
- C2.02 ENLARGED GRADING AND DRAINAGE PLAN
- C2.03 ENLARGED GRADING AND DRAINAGE PLAN
- C2.04 DETENTION POND GRADING PLAN
- C3.01 INITIAL EROSION CONTROL PLAN
- C3.02 INTERMEDIATE EROSION CONTROL PLAN
- C3.03 FINAL EROSION CONTROL PLAN
- C4.01 SITE DETAILS
- C4.02 SITE DETAILS
- C4.03 SITE DETAILS
- C4.04 SITE DETAILS
- C5.01 WATER LINE PLAN
- C6.01 SANITARY SEWER PLAN
- C7.01 GAS LINE PLAN

LANDSCAPE PLANS:

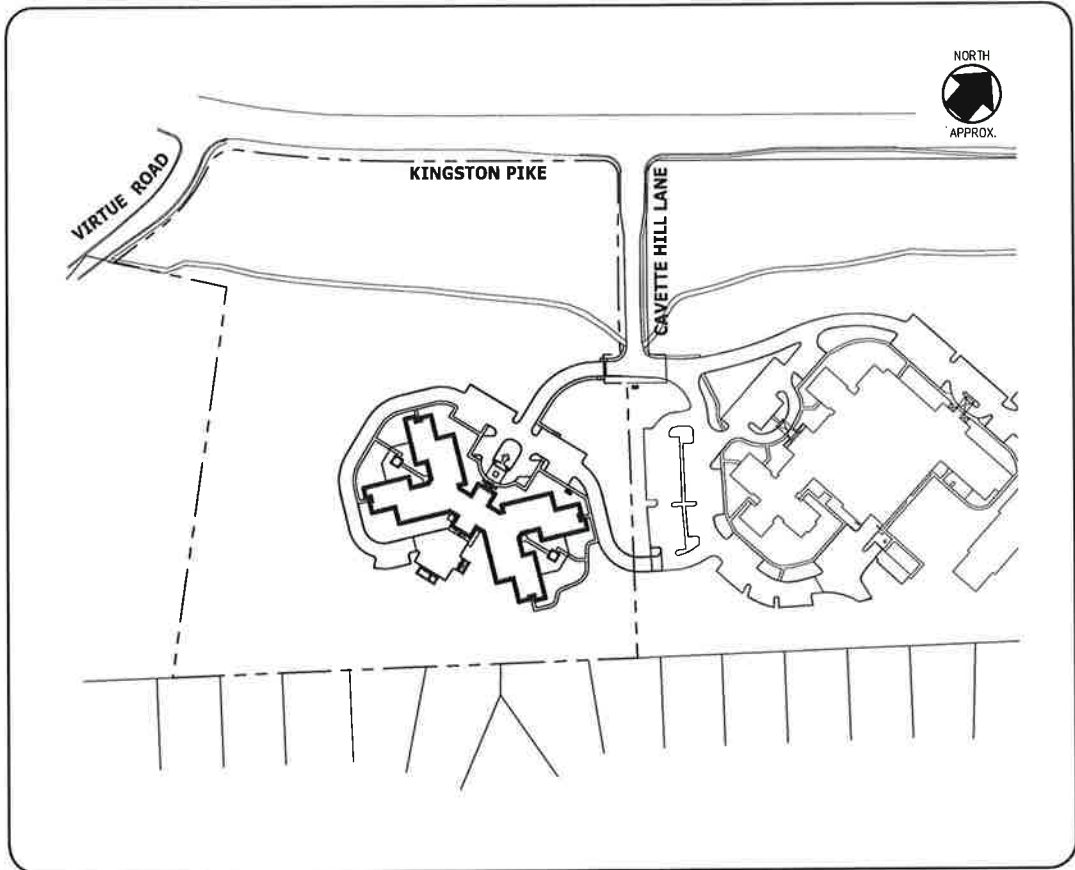
- L1.0 TREE PRESERVATION AND REPLACEMENT PLAN
- L1.2 LANDSCAPE PLAN

LIGHTING PLANS:

- E0.1 PHOTOMETRIC SITE PLAN

ARCHITECTURAL PLANS:

- A6.1 EXTERIOR ELEVATIONS
- A6.2 EXTERIOR ELEVATIONS
- A6.3 EXTERIOR ELEVATIONS
- A6.4 EXTERIOR ELEVATIONS



LOCATION MAP
N.T.S.

PROPERTY DATA	
PROPERTY OWNER	NATIONAL HEALTH REALTY, INC. 120 CAVETTE HILL LANE KNOXVILLE, TENNESSEE 37922
KNOXVILLE CLT. MAP NO.	152
PARCEL NUMBER	22
JURISDICTION	TOWN OF FARRAGUT, 6TH CIVIL DISTRICT
ZONING	B-1 "BUFFER DISTRICT" C-1 "GENERAL COMMERCIAL DISTRICT"

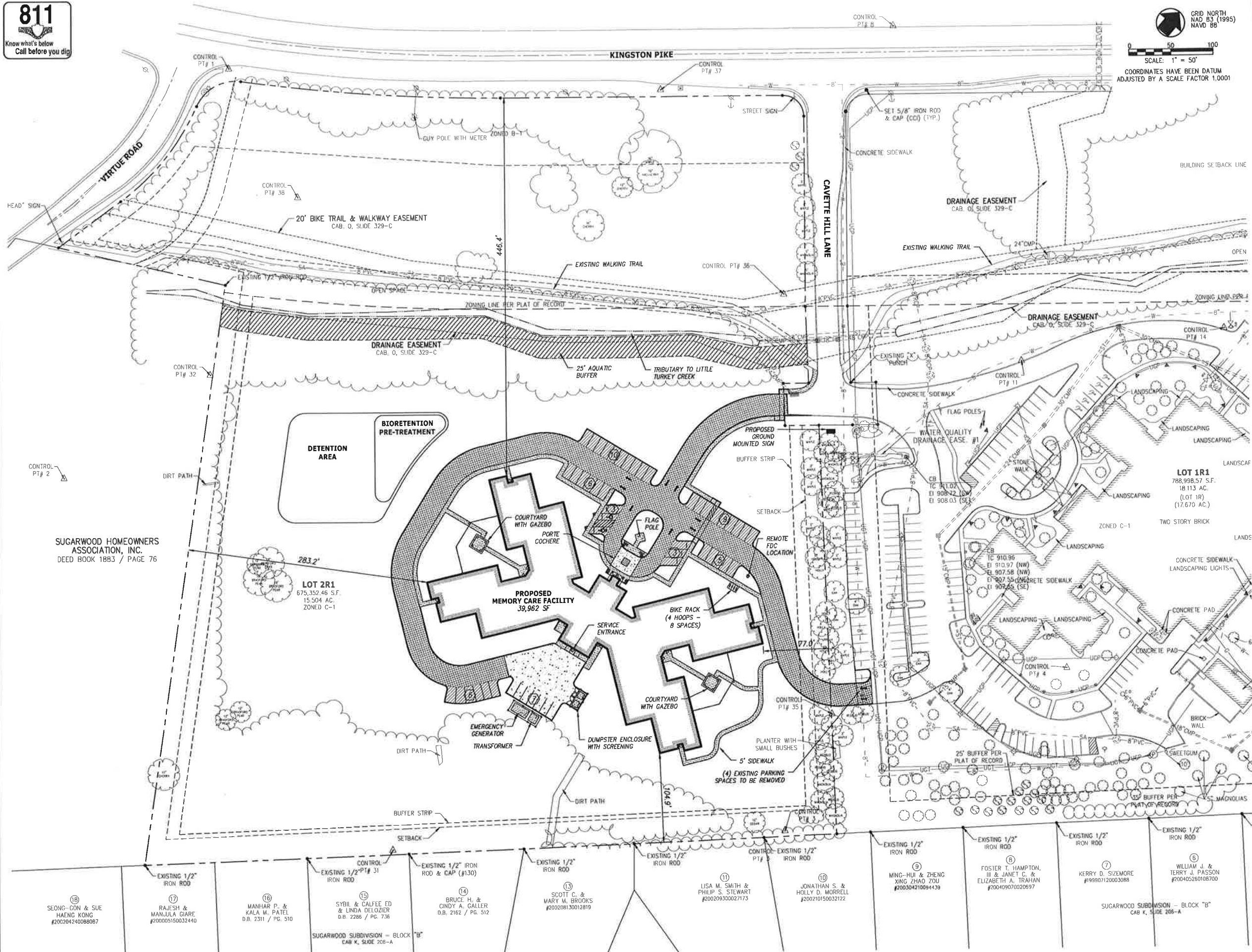
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TOWN OF FARRAGUT

REVISIONS	DATE		
REVISED PER TOWN OF FARRAGUT COMMENTS	05-08-2017		
CANNON & CANNON INC CONSULTING ENGINEERS - FIELD SURVEYORS TEL: 865.670.0555 8550 Kingston Pike WWW.CANNON-CANNON.COM Knoxville, TN 37919			
CLIENT: NATIONAL HEALTH CARE CORPORATION 100 VINE STREET MURFREESBORO, TN 37130			
PROJECT: MEMORY CARE FACILITY 121 CAVETTE HILL LANE KNOXVILLE, TN 37934			
COVER SHEET			
CSI PROJECT NO. 00615-0005			
DRAWING DATE APRIL 17, 2017			
FM	JRH	PG	MAW
DRAWN	CO	CHECKED	-
C0.01			
SHEET 1 OF 27			

811

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NOTES:

1. THE BOUNDARY AND TOPOGRAPHIC DATA SHOWN WAS PROVIDED BY CANNON & CANNON, INC. DATED DECEMBER 12, 2004 AND SUPPLEMENTED ON APRIL 11, 2016 AND FEBRUARY 16, 2017.
2. UNLESS NOTED OTHERWISE, DIMENSIONS ARE TAKEN FROM OUTSIDE FACE OF BUILDING AND/OR FACE OF CURB.
3. THE MINERAL AGGREGATE BASE AND ASPHALTIC SURFACE COURSES SHALL MEET THE MATERIALS, EQUIPMENT, CONSTRUCTION, AND TESTING REQUIREMENTS OF THESE DRAWINGS, AND THE TOWN OF FARRAGUT STANDARD SPECIFICATIONS.
4. PROPERTY CONCERNED REFLECTS PARCEL 22 AS SHOWN ON KNOX COUNTY CLT TAX MAP NO. 152. TOTAL AREA IS 15.5+ ACRES. THE TOTAL DISTURBED AREA IS APPROXIMATELY 6.0+ ACRES.
5. ZONING: B-1 AND C-1
6. TRAFFIC CONTROL DEVICES AND PAYMENT MARKING SHALL CONFORM TO THE FEDERAL HIGHWAY ADMINISTRATION "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES."
7. ALL SETBACKS SHALL BE IN ACCORDANCE WITH THE TOWN OF FARRAGUT ZONING ORDINANCE.
8. BUILDING INFORMATION:
OCCUPANCY TYPE: ASSISTED LIVING (I.B.C. TYPE I-1)
CONSTRUCTION TYPE: III-A
GROSS SQUARE FOOTAGE: 39,962 S.F.
ONE STORY FULLY PROTECTED BY NFPA 13
HVAC UNITS WILL BE ROOF MOUNTED AND SCREENED BY THE BUILDING FROM ADJOINING PROPERTIES AND ROAD RIGHT-OF-WAYS.
9. OWNER: NHR / FARRAGUT, L.P.
120 CAVETTE HILL LANE
KNOXVILLE, TN 37922

PARKING SUMMARY

PROPOSED STANDARD SPACES = 47
PROPOSED ACCESSIBLE SPACES = 2
TOTAL PROPOSED SPACES = 49

REQUIRED SPACES

3/4 SPACE PER 1 UNIT (ASSISTED-CARE LIVING)
60 UNITS x 3/4 = 45 SPACES
1 ACCESSIBLE SPACE PER 25 STANDARD SPACES
1 BICYCLE SPACE/5,000 SF
39,959 SF/5,000 SF = 8 BICYCLE SPACES
MAX. PARKING (10X) = 45 X 1.10 = 50 SPACES

LOT COVERAGE CALCULATIONS

TOTAL LOT AREA: 15.50 AC
PAVED SURFACES: 1.45 AC
DETENTION BASIN STRUCTURE: 0.01 AC
BUILDING AREAS: 1.08 AC
(INCLUDING SIDEWALKS)
REMAINING "GREEN SPACE": 13.14 ACRES
% IMPERVIOUS LOT COVERAGE: 16.6%

LEGEND

- PROPOSED HEAVY DUTY ASPHALT PAVEMENT
- CONCRETE SIDEWALK
- CONCRETE PAVEMENT
- PROPOSED LIGHT DUTY ASPHALT PAVEMENT
- EXIST. R.O.W.
- BUILDING SETBACK LINE
- EXIST. EASEMENT LINE
- DETAIL REFERENCE (DETAIL NO./SHEET NO.)
- NUMBER OF PARKING SPACES
- COORDINATE POINT
- ACCESSIBLE PARKING
- ACCESSIBLE RAMP

REVISIONS	DATE
1. REVISED PER TOWN OF FARRAGUT COMMENTS	05-08-2017
CANNON & CANNON INC CONSULTING ENGINEERS - FIELD SURVEYORS TEL 865.670.0555 8560 Kingston Pike WWW.CANNON-CANNON.COM Knoxville, TN 37919	
CLIENT: NATIONAL HEALTH CARE CORPORATION 100 VINE STREET MURFREESBORO, TN 37130	
PROJECT: MEMORY CARE FACILITY 121 CAVETTE HILL LANE KNOXVILLE, TN 37934	
OVERALL SITE PLAN	
CSI PROJECT NO. 00615-0006	DRAWING DATE APRIL 17, 2017
PM JRH	PIG C.MAW
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C1.01 SHEET 4 OF 27	

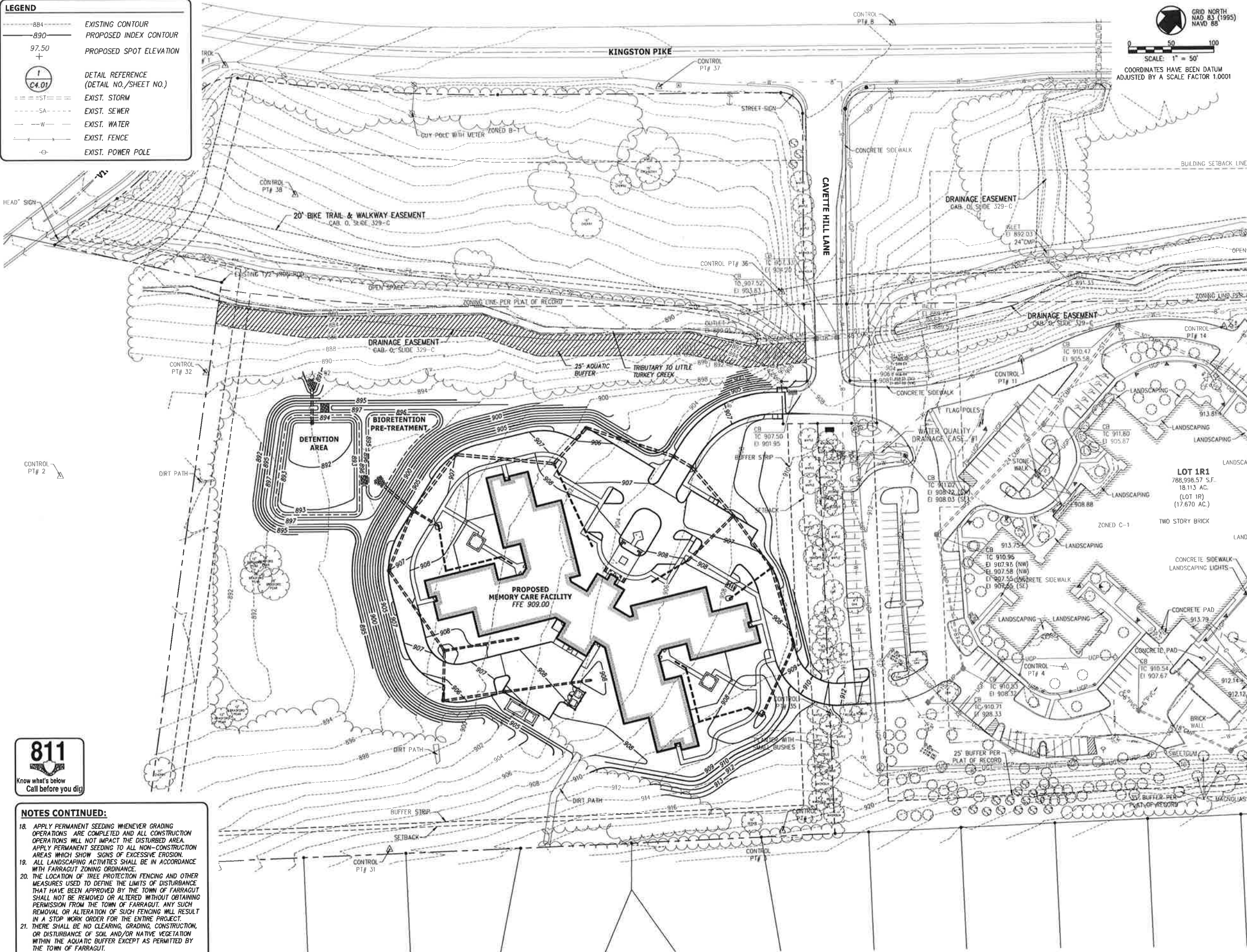
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- LEGEND**
- 884 EXISTING CONTOUR
 - 890 PROPOSED INDEX CONTOUR
 - 97.50 PROPOSED SPOT ELEVATION
 - 4.01 DETAIL REFERENCE (DETAIL NO./SHEET NO.)
 - ST EXIST. STORM
 - SA EXIST. SEWER
 - W EXIST. WATER
 - EXIST. FENCE
 - EXIST. POWER POLE

GRID NORTH
NAD 83 (1995)
NAD 88

SCALE: 1" = 50'

COORDINATES HAVE BEEN DATUM
ADJUSTED BY A SCALE FACTOR 1.0001



NOTES:

- THE BOUNDARY AND TOPOGRAPHIC DATA SHOWN WAS PROVIDED BY CANNON & CANNON, INC. DATED DECEMBER 12, 2004 AND SUPPLEMENTED ON APRIL 11, 2016 AND FEBRUARY 16, 2017.
- THE DISTURBED AREA IS APPROXIMATELY 6.2± ACRES. THE TOTAL SITE AREA IS APPROXIMATELY 15.5± ACRES.
- UNLESS NOTED OTHERWISE, THE PROPOSED GRADES SHOWN ON THESE DRAWINGS ARE FINISH GRADE. EXISTING CONTOURS ARE SHOWN AT 2 FT. INTERVALS. PROPOSED CONTOURS ARE SHOWN AT 1 FT. INTERVALS.
- EROSION CONTROL DEVICES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE TENNESSEE EROSION AND SEDIMENT CONTROL HANDBOOK. THE DEVICES SHOWN ON THE DRAWINGS ARE THE MINIMUM REQUIRED. THE CONTRACTOR SHALL PROVIDE ADDITIONAL EROSION CONTROL DEVICES AS NEEDED.
- THE SITE SHALL BE CLEARED AND GRUBBED WITHIN THE LIMITS OF EXCAVATION. COMPLETELY DISPOSE OF ALL MATERIALS RESULTING FROM CLEARING AND GRUBBING OFF-SITE OR ON-SITE AT A LOCATION DETERMINED BY THE OWNER.
- ALL TREE STUMPS, BOULDERS, AND OTHER OBSTRUCTIONS SHALL BE REMOVED TO A DEPTH OF 2 FT. BELOW THE SUBGRADE. ROCK SHALL BE SCARIFIED TO A DEPTH OF 1 FT. BELOW SUBGRADE.
- STRIP TOPSOIL TO A MINIMUM DEPTH OF 8-IN. AND TEMPORARILY STOCKPILE EXCAVATED MATERIALS. INSTALL SILT FENCE OR OTHER APPROPRIATE EROSION CONTROL STRUCTURES ON THE DOWN HILL SIDE OF THE STOCKPILE.
- PROOF ROLL AREAS TO RECEIVE FILL AND PLACE FILL IN ACCORDANCE WITH THE SITE SPECIFIC REPORT OF GEOTECHNICAL EXPLORATION PREPARED BY GEOSERVICES, LLC.
- A 4 IN. (MIN) LAYER OF TOPSOIL SHALL BE PLACED OVER THE AREAS TO BE SEED AND TO THE FINISH GRADE ELEVATIONS AS SHOWN ON THE DRAWINGS.
- ALL NEWLY GRADED EARTHEN AREAS THAT ARE NOT TO BE PAVED, STABILIZED, OR SODDED SHALL BE SEED, FERTILIZED, AND MULCHED WITHIN 30 DAYS OF ATTAINMENT OF FINAL GRADE.
- TEMPORARY SEEDING MIXTURES SHALL BE AS FOLLOWS:

SEEDING DATES	GRASS SEED	PERCENTAGES
1/1 TO 5/1	ITALIAN RYE	33%
	KOREAN LESPEDEZA	33%
	SUMMER OATS	34%
5/1 TO 7/15	SUDAN - SORGHUM	100%
5/1 TO 7/15	STAR MILLET	100%
7/15 TO 1/1	BALBOA RYE	67%
	ITALIAN RYE	33%
- PERMANENT SEEDING MIXTURES SHALL BE AS FOLLOWS:

SEEDING DATES	GRASS SEED	PERCENTAGES
2/1 TO 7/1	KENTUCKY 31 FESCUE	80%
	KOREAN LESPEDEZA	15%
	ENGLISH RYE	5%
6/1 TO 8/15	KENTUCKY 31 FESCUE	55%
	ENGLISH RYE	20%
	KOREAN LESPEDEZA	15%
	GERMAN MILLET	10%
4/15 TO 8/15	BERMUDAGRASS (HULLED)	70%
	ANNUAL LESPEDEZA	30%
8/1 TO 12/1	KENTUCKY 31 FESCUE	70%
	ENGLISH RYE	20%
	WHITE CLOVER	10%
2/1 TO 12/1	KENTUCKY 31 FESCUE	70%
	CROWN VETCH	25%
	ENGLISH RYE	5%
- MULCH WITH STRAW AT A RATE OF 100 LBS./1000 S.F. OVER THE SEEDED AREAS.
- DO NOT ALLOW WATER TO ACCUMULATE IN EXCAVATIONS OR POND ON-SITE. PROVIDE NECESSARY MEASURES TO KEEP THE SITE FREE-DRAINING.
- NO SLOPE SHALL EXCEED 2:1 (H:V). ALL SLOPES STEEPER THAN 3:1 TO RECEIVE EXTENDED TERM EROSION CONTROL BLANKET.
- TO PREVENT EROSION, ALL SLOPES 2:1 OR GREATER ARE TO BE TRACKED WITH A DOZER TO FORM CLEAT MARKS PARALLEL TO THE CONTOUR.
- APPLY TEMPORARY SEEDING WHENEVER GRADING OPERATIONS ARE HALTED FOR OVER 14 DAYS AND FINAL GRADING OF EXPOSED SURFACE IS TO BE COMPLETED WITHIN ONE YEAR. APPLY TEMPORARY SEEDING TO ALL SOIL STOCKPILES.

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NOTES CONTINUED:

- APPLY PERMANENT SEEDING WHENEVER GRADING OPERATIONS ARE COMPLETED AND ALL CONSTRUCTION OPERATIONS WILL NOT IMPACT THE DISTURBED AREA. APPLY PERMANENT SEEDING TO ALL NON-CONSTRUCTION AREAS WHICH SHOW SIGNS OF EXCESSIVE EROSION.
- ALL LANDSCAPING ACTIVITIES SHALL BE IN ACCORDANCE WITH FARRAGUT ZONING ORDINANCE.
- THE LOCATION OF TREE PROTECTION FENCING AND OTHER MEASURES USED TO DEFINE THE LIMITS OF DISTURBANCE THAT HAVE BEEN APPROVED BY THE TOWN OF FARRAGUT SHALL NOT BE REMOVED OR ALTERED WITHOUT OBTAINING PERMISSION FROM THE TOWN OF FARRAGUT. ANY SUCH REMOVAL OR ALTERATION OF SUCH FENCING WILL RESULT IN A STOP WORK ORDER FOR THE ENTIRE PROJECT.
- THERE SHALL BE NO CLEARING, GRADING, CONSTRUCTION, OR DISTURBANCE OF SOIL AND/OR NATIVE VEGETATION WITHIN THE AQUATIC BUFFER EXCEPT AS PERMITTED BY THE TOWN OF FARRAGUT.

REVISED PER TOWN OF FARRAGUT COMMENTS	05-08-2017
REVISIONS	DATE
CANNON & CANNON INC CONSULTING ENGINEERS - FIELD SURVEYORS TEL: 865.670.8555 8550 Kingston Pike WWW.CANNON-AND-CANNON.COM KNOXVILLE, TN 37919	
CLIENT: NATIONAL HEALTH CARE CORPORATION 100 VINE STREET MURFREESBORO, TN 37130	
PROJECT: MEMORY CARE FACILITY 121 CAVETTE HILL LANE KNOXVILLE, TN 37934	
OVERALL GRADING AND DRAINAGE PLAN	
CPI PROJECT NO. 00615-0005 DRAWING DATE: APRIL 17, 2017 PM: JRH, PIC: MAW DRAWN: CO, CHECKED: []	
C2.01 SHEET 7 OF 27	

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NOTES:

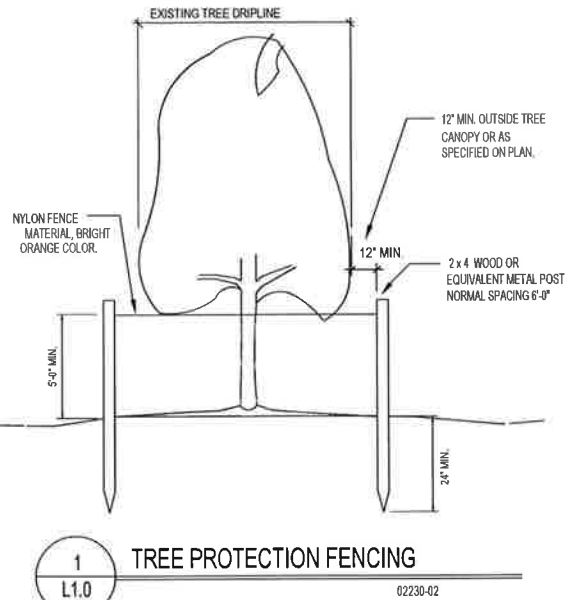
1. TREES MARKED BY AND ASTERISK (*) SHALL BE SAVED. HOWEVER, THERE ARE NO TREE CREDITS GAINED AS ALL TREES TO BE SAVED ARE EITHER BLACK OAK OR UNDER 12" CALIPER.
2. 10 REPLACEMENT TREES WILL BE PLANTED ON NATIONAL HEALTH CARE FACILITY PROPERTY.
3. ADDITIONAL TREES WILL BE PLANTED BEYOND THE 10 REQUIRED REPLACEMENT TREES PER THE LANDSCAPE PLAN (L2).
4. APPROXIMATE AREA OF EXISTING TREE COVERAGE TO BE REMOVED 12,000 SF OR 0.28 ACRES.
5. NOTE: SEE CIVIL/CONCRETE SHEET FOR VOLUME MAP.
6. AN ENVIRONMENTALLY SENSITIVE AREA EXISTS ON SITE: A STREAM RUNS THROUGH THE NORTHWEST PORTION OF THE SITE, OUTSIDE THE LIMITS OF DISTURBANCE.
7. THE PROPERTY IS ZONED C-1.
8. A 25' WIDE LANDSCAPE BUFFER IS REQUIRED FOR THIS SITE. SEE PLAN FOR LOCATIONS.
9. THE LOCATION OF TREE PROTECTIVE FENCING THAT HAS BEEN APPROVED BY THE TOWN OF FARRAGUT SHALL NOT BE REMOVED OR ALTERED. ANY REMOVAL OR ALTERATION OF PROTECTIVE FENCING WILL RESULT IN A STOP WORK ORDER FOR THE ENTIRE PROJECT.
10. ALL TEMPORARY CONSTRUCTION ACTIVITIES SUCH AS EQUIPMENT STORAGE AND BURN HOLE SHALL BE CONTAINED WITHIN THE PROJECT LIMITS OF DISTURBANCE.
11. PRIOR TO THE ISSUANCE OF A GRADING PERMIT, THE PROPOSED LIMITS OF DISTURBANCE WILL BE IDENTIFIED IN THE FIELD WITH THE CONTRACTOR, THE TOWN OF FARRAGUT STAFF, AND THE LANDSCAPE ARCHITECT TO VERIFY THE EXACT LOCATION OF TREE PROTECTIVE FENCING. A REVISED PLAN WILL BE REQUIRED IF FENCE LOCATIONS VARY NOTICEABLY FROM THE PLAN.
12. THIS PLAN IS CONSISTENT WITH OTHER SITE DEVELOPMENT PLANS, SUCH AS GRADING AND UTILITY PLANS.
13. PRIOR TO THE ISSUANCE OF A GRADING PERMIT, THE TOWN OF FARRAGUT STAFF MAY REQUIRE A CERTIFIED ARBORIST TO EVALUATE AND PREPARE RECOMMENDATIONS FOR SELECTED TREES AS APPROPRIATE. THESE RECOMMENDATIONS WILL THEN NEED TO BE IMPLEMENTED AND MONITORED.
14. THE TOTAL NUMBER OF REQUIRED TREES IS BASED ON 98.19 49 SF OF IMPERVIOUS SURFACE = 38 TREES.

TREE INVENTORY

(*) = TREES TO BE SAVED

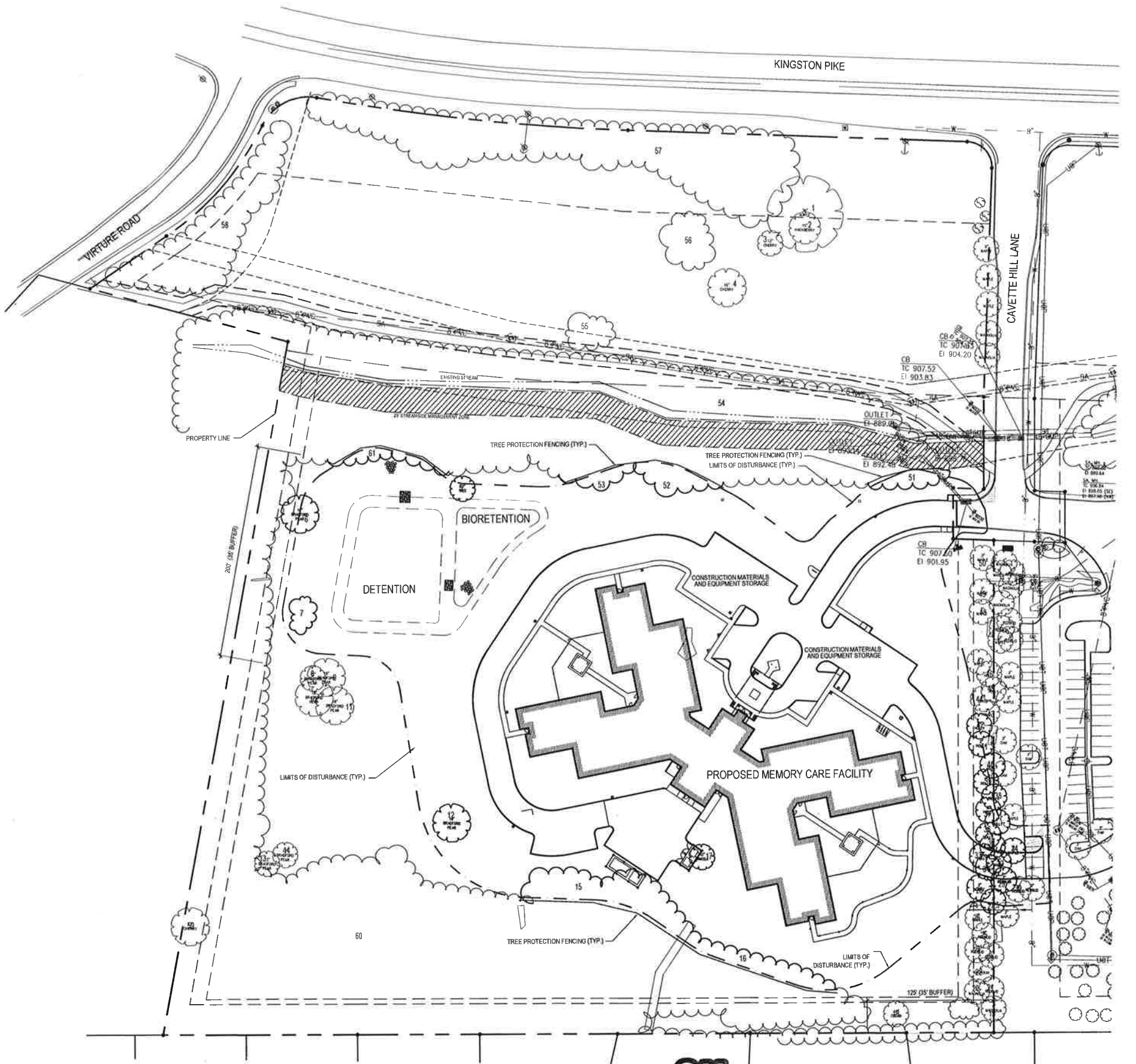
#	DBH	COMMON NAME
1	12"	MAPLE
2	12"	WALNUT
3	12"	CHERRY
4	12"	DOUGLASS PINE
5	12"	DOUGLASS PINE
6	12"	DOUGLASS PINE
7	12"	DOUGLASS PINE
8	12"	DOUGLASS PINE
9	12"	DOUGLASS PINE
10	12"	DOUGLASS PINE
11	12"	DOUGLASS PINE
12	12"	DOUGLASS PINE
13	12"	DOUGLASS PINE
14	12"	DOUGLASS PINE
15	12"	DOUGLASS PINE
16	12"	DOUGLASS PINE
17	12"	DOUGLASS PINE
18	12"	DOUGLASS PINE
19	12"	DOUGLASS PINE
20	12"	DOUGLASS PINE
21	12"	DOUGLASS PINE
22	12"	DOUGLASS PINE
23	12"	DOUGLASS PINE
24	12"	DOUGLASS PINE
25	12"	DOUGLASS PINE
26	12"	DOUGLASS PINE
27	12"	DOUGLASS PINE
28	12"	DOUGLASS PINE
29	12"	DOUGLASS PINE
30	12"	DOUGLASS PINE
31	12"	DOUGLASS PINE
32	12"	DOUGLASS PINE
33	12"	DOUGLASS PINE
34	12"	DOUGLASS PINE
35	12"	DOUGLASS PINE
36	12"	DOUGLASS PINE
37	12"	DOUGLASS PINE
38	12"	DOUGLASS PINE
39	12"	DOUGLASS PINE
40	12"	DOUGLASS PINE
41	12"	DOUGLASS PINE
42	12"	DOUGLASS PINE
43	12"	DOUGLASS PINE
44	12"	DOUGLASS PINE
45	12"	DOUGLASS PINE
46	12"	DOUGLASS PINE
47	12"	DOUGLASS PINE
48	12"	DOUGLASS PINE
49	12"	DOUGLASS PINE
50	12"	DOUGLASS PINE
51	12"	DOUGLASS PINE
52	12"	DOUGLASS PINE
53	12"	DOUGLASS PINE
54	12"	DOUGLASS PINE
55	12"	DOUGLASS PINE
56	12"	DOUGLASS PINE
57	12"	DOUGLASS PINE
58	12"	DOUGLASS PINE
59	12"	DOUGLASS PINE
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61	12"	DOUGLASS PINE
62	12"	DOUGLASS PINE
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64	12"	DOUGLASS PINE
65	12"	DOUGLASS PINE
66	12"	DOUGLASS PINE
67	12"	DOUGLASS PINE
68	12"	DOUGLASS PINE
69	12"	DOUGLASS PINE
70	12"	DOUGLASS PINE
71	12"	DOUGLASS PINE
72	12"	DOUGLASS PINE
73	12"	DOUGLASS PINE
74	12"	DOUGLASS PINE
75	12"	DOUGLASS PINE
76	12"	DOUGLASS PINE
77	12"	DOUGLASS PINE
78	12"	DOUGLASS PINE
79	12"	DOUGLASS PINE
80	12"	DOUGLASS PINE
81	12"	DOUGLASS PINE
82	12"	DOUGLASS PINE
83	12"	DOUGLASS PINE
84	12"	DOUGLASS PINE
85	12"	DOUGLASS PINE
86	12"	DOUGLASS PINE
87	12"	DOUGLASS PINE
88	12"	DOUGLASS PINE
89	12"	DOUGLASS PINE
90	12"	DOUGLASS PINE
91	12"	DOUGLASS PINE
92	12"	DOUGLASS PINE
93	12"	DOUGLASS PINE
94	12"	DOUGLASS PINE
95	12"	DOUGLASS PINE
96	12"	DOUGLASS PINE
97	12"	DOUGLASS PINE
98	12"	DOUGLASS PINE
99	12"	DOUGLASS PINE
100	12"	DOUGLASS PINE

NATURE HARDWOOD STAND CONSISTS OF:
PEAR, REDBUD, CROWN, WACHSBERG,
STYRACHE (ALONG CREEK), MAPLE AND OAK.



TREE REPLACEMENT SCHEDULE

SIZE OF TREE TO BE REMOVED	TOTAL	NUMBER OF REPLACEMENT TREES REQUIRED
10" - 12" DBH	3	4
12" - 20" DBH	2	4
20" - 30" DBH	1	4
30" - 40" DBH	1	4
40" - 60" DBH	1	4
60" - 80" DBH	1	4
80" - 100" DBH	1	4
100" - 120" DBH	1	4
120" - 140" DBH	1	4
140" - 160" DBH	1	4
160" - 180" DBH	1	4
180" - 200" DBH	1	4
200" - 220" DBH	1	4
220" - 240" DBH	1	4
240" - 260" DBH	1	4
260" - 280" DBH	1	4
280" - 300" DBH	1	4
300" - 320" DBH	1	4
320" - 340" DBH	1	4
340" - 360" DBH	1	4
360" - 380" DBH	1	4
380" - 400" DBH	1	4
400" - 420" DBH	1	4
420" - 440" DBH	1	4
440" - 460" DBH	1	4
460" - 480" DBH	1	4
480" - 500" DBH	1	4
500" - 520" DBH	1	4
520" - 540" DBH	1	4
540" - 560" DBH	1	4
560" - 580" DBH	1	4
580" - 600" DBH	1	4
600" - 620" DBH	1	4
620" - 640" DBH	1	4
640" - 660" DBH	1	4
660" - 680" DBH	1	4
680" - 700" DBH	1	4
700" - 720" DBH	1	4
720" - 740" DBH	1	4
740" - 760" DBH	1	4
760" - 780" DBH	1	4
780" - 800" DBH	1	4
800" - 820" DBH	1	4
820" - 840" DBH	1	4
840" - 860" DBH	1	4
860" - 880" DBH	1	4
880" - 900" DBH	1	4
900" - 920" DBH	1	4
920" - 940" DBH	1	4
940" - 960" DBH	1	4
960" - 980" DBH	1	4
980" - 1000" DBH	1	4
TOTAL TREES TO BE REPLACED	10	10



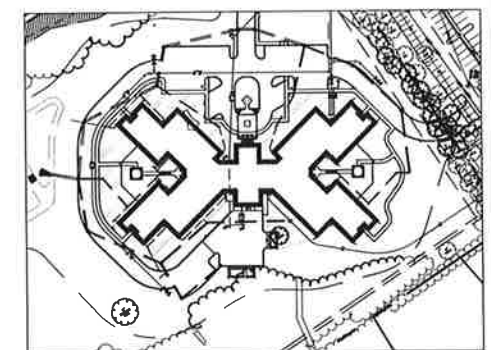
1 L1.0 TREE PRESERVATION / REMOVAL PLAN
SCALE: 1"=50'-0"

BENEFIELD
Planning
Design
Management
12321 Early Road
Knoxville, Tennessee 37922
865 310 8562

STAFF COMMENTS ON SITE PLAN	MAY 8, 2017
REVISIONS	DATE
CANNON & CANNON INC CONSULTING ENGINEERS - FIELD SURVEYORS TEL: 865.670.8555 8550 Kingston Pike WWW.CANNON-CANNON.COM Knoxville, TN 37919	
CLIENT: NATIONAL HEALTH CARE CORPORATION 100 VINE STREET MURFREESBORO, TN 37130	
PROJECT: MEMORY CARE FACILITY 121 Cavette Hill Lane Knoxville, Tennessee 37934	
TREE PRESERVATION AND REMOVAL PLAN	
CCJ PROJECT NO.	00615-0005
DRAWING DATE	MARCH 2, 2017
PM	PG
DRAWN JT	CHECKED TB
L1.0 SHEET 21 OF 21	

MAY 08 2017

LANDSCAPE REQUIREMENTS		
TOTAL PROPOSED IMPERVIOUS SURFACES = 103,583 SF		
CANOPY TREES REQUIRED FOR 96,180 SF OF IMPERVIOUS SURFACE @ 1 TREE PER 2,500 SF OF IMPERVIOUS SURFACE	REQUIRED	PROPOSED
	39	39
LANDSCAPING BETWEEN BUILDING AND PARKING	2,433 SF	25,500 SF
TREE PRESERVATION REPLACEMENT TREES	10	10
TOTAL CANOPY TREES	49	65
DETENTION AREA TREES AND SHRUBS: TOP OF BASIN 60' LINEAR FEET 1 SHRUB / 5' LINEAR AND 1 TREE / 10' LINEAR	15 TREES 116 SHRUBS	21 TREES 116 SHRUBS
35' WIDE LANDSCAPE BUFFER PER 100 LF - 3 CANOPY TREES, 6 UNDERSTORY, 6 LARGE SHRUBS	50, 70, 70, 5	60, 70, 70, 5
125' LINEAR X 35' WIDE LANDSCAPE BUFFER	100, 120, 12.5	100, 120, 12.5
700' LINEAR X 35' WIDE LANDSCAPE BUFFER	4	5
LANDSCAPE FOR ENTRY SIGN OF 20' SF 4 SHRUBS PER 20' SF		



LANDSCAPE AREA BETWEEN BUILDING AND PARKING

REQUIRED LANDSCAPE AREA = 2.5 X LENGTH OF BUILDING FACING ADJACENT PARKING LOT AND ACCESS WAYS

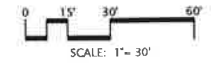
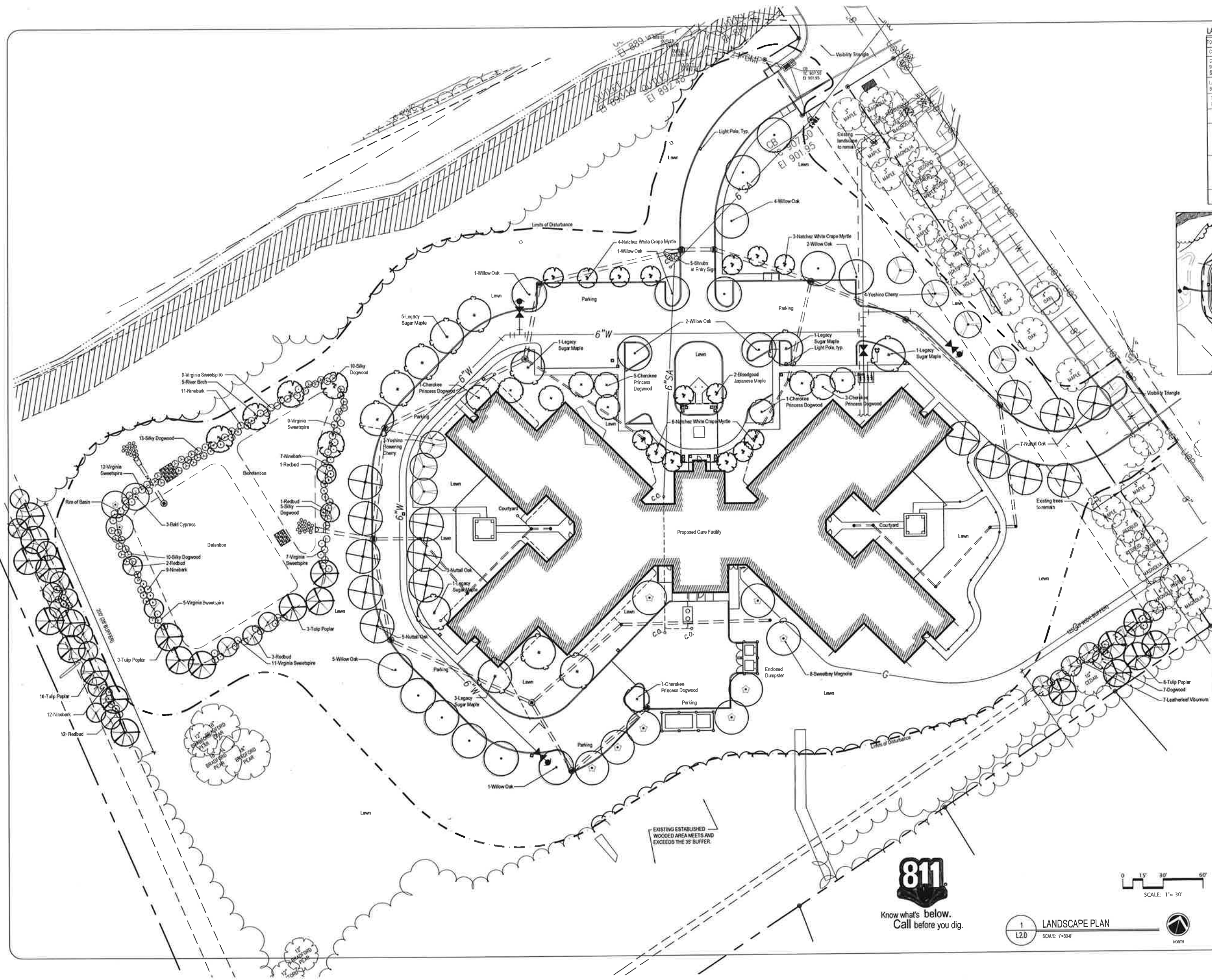
	NORTH	EAST	WEST	SOUTH	TOTAL
REQUIRED	840 SF	125 SF	670 SF	294 SF	2,433 SF
PROPOSED	10,680 SF	533 SF	5,386 SF	9,030 SF	25,030 SF

NOTES:
THIS CONCEPTUAL LANDSCAPE PLAN SHOWS DESIGN INTENT TO MEET THE LANDSCAPE AND TREE REQUIREMENTS OF THE CITY OF FARRAGUT. THE LANDSCAPE PLAN WILL BE FINALIZED AFTER SITE PLAN APPROVAL.

REFER TO COVER SHEET FOR VICINITY MAP.

BENEFIELD	
Planning Design Management	12321 Early Road Knoxville, Tennessee 37922 865 310 8562

STAFF COMMENTS ON SITE PLAN	MAY 9, 2017
REVISIONS	DATE
CANNON & CANNON INC CONSULTING ENGINEERS - FIELD SURVEYORS TEL 865.670.8555 8550 Kingston Pike www.cannon-cannon.com Knoxville, TN 37919	
CLIENT:	NATIONAL HEALTH CARE CORPORATION 100 VINE STREET MURFREESBORO, TN 37130
PROJECT:	MEMORY CARE FACILITY 121 Cavette Hill Lane Knoxville, Tennessee 37934
CONCEPTUAL LANDSCAPE PLAN	
CCI PROJECT NO.	00615-0005
DRAWING DATE	MARCH 2, 2017
PM	PC
DRAWN	JT
CHECKED	PC
L2.0 SHEET 22 OF 37	



LANDSCAPE PLAN
SCALE: 1"=30'

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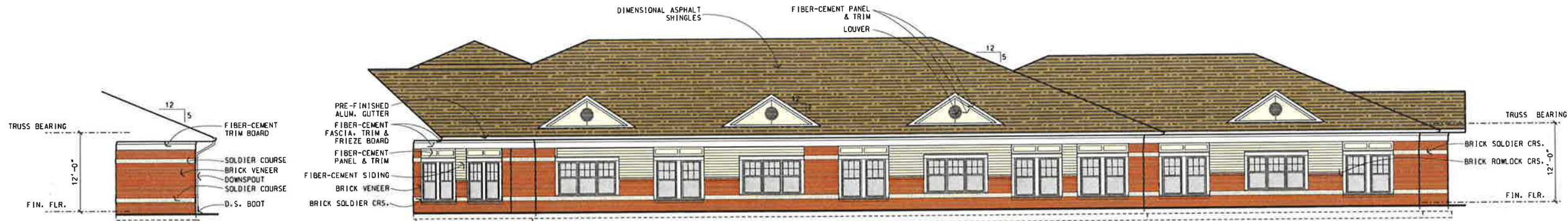
EXTERIOR ELEVATION 1

SCALE 1/8" = 1'-0"



EXTERIOR ELEVATION (BEHIND PORTE-COCHERE) 1A

SCALE 1/8" = 1'-0"



EXTERIOR ELEVATION 2

SCALE 1/8" = 1'-0"



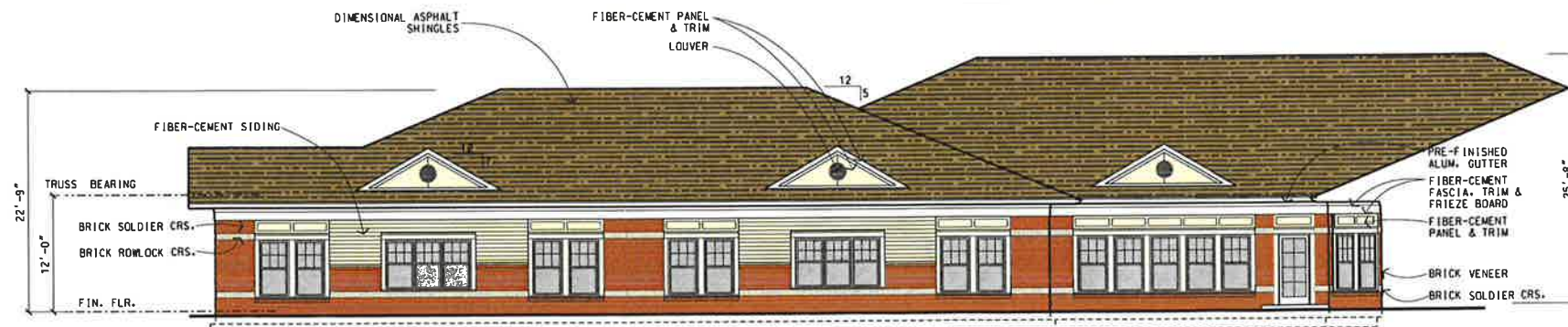
EXTERIOR ELEVATION 3

SCALE 1/8" = 1'-0"



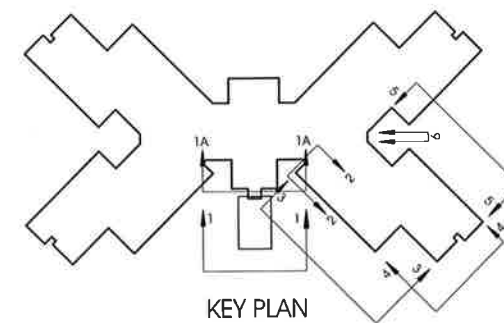
EXTERIOR ELEVATION 4

SCALE 1/8" = 1'-0"



EXTERIOR ELEVATION 5

SCALE 1/8" = 1'-0"



KEY PLAN



EXTERIOR ELEVATION 6

SCALE 1/8" = 1'-0"



City Center
100 East Vine St.
Memphis, Tennessee
37130
615-890-4560
Fax: 615-890-4564

Memory
Care
NHC Place
Farragut

121 Cavette Hill Lane
Knoxville, TN 37934

REVISION DATE

NOTES:

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PERMISSION OF THE ARCHITECT.



PROJECT NO. 1623
DATE 05/08/17
DRAWN BY J.R.P.
CHECKED BY J.H.B.

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FARRAGUT

JB

Johnson +
Bailey
Architects
P.C.

City Center
100 East Vine St.
Murfreesboro, Tennessee
37130
615-890-4560
Fax: 615-890-4564

Memory
Care
NHC Place
Farragut

121 Cavette Hill Lane
Knoxville, TN 37934

REVISION	DATE

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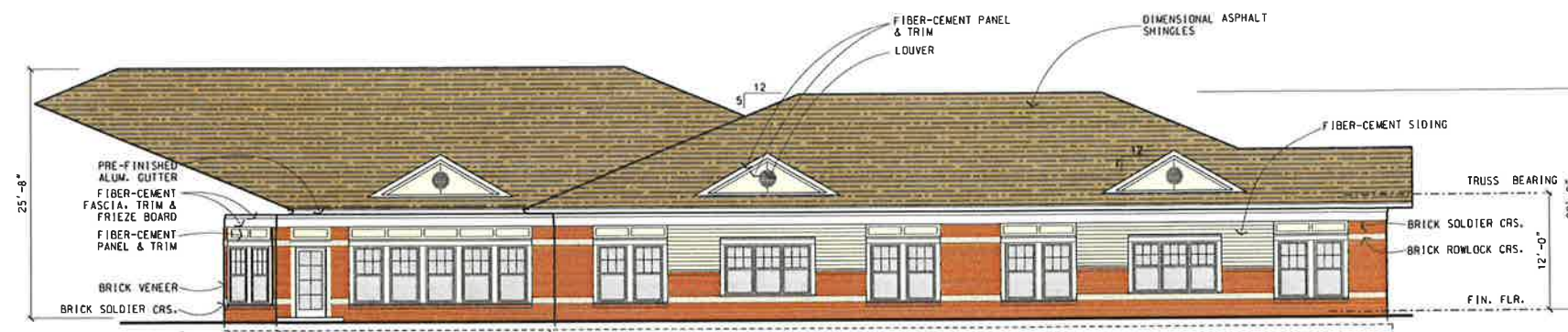


PROJECT NO.	1623
DATE	05/08/17
DRAWN BY	J.R.P.
CHECKED BY	J.H.B.

A6.2

SHEET 25 OF 27

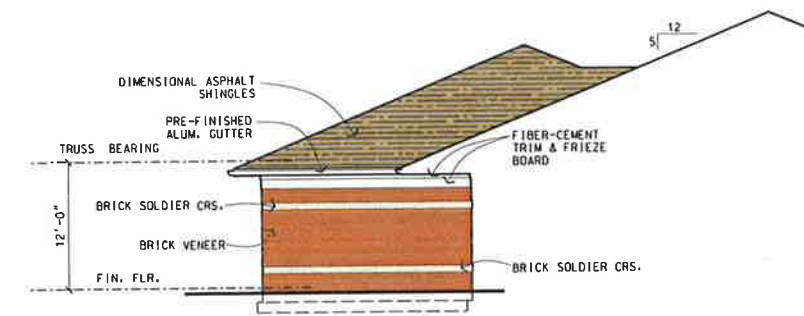
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TOWN OF FARRAGUT



EXTERIOR ELEVATION

7

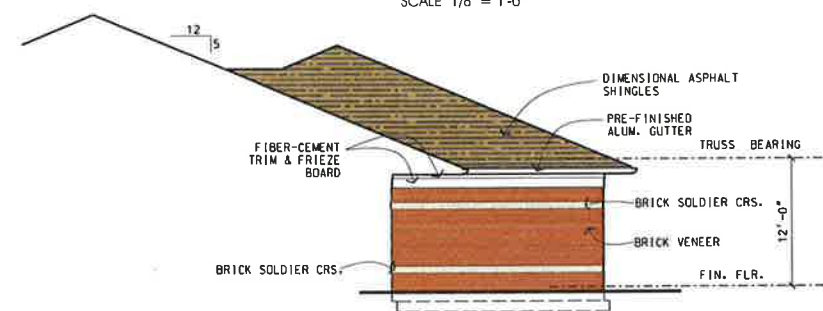
SCALE 1/8" = 1'-0"



EXTERIOR ELEVATION

8

SCALE 1/8" = 1'-0"



EXTERIOR ELEVATION

9

SCALE 1/8" = 1'-0"



EXTERIOR ELEVATION

10

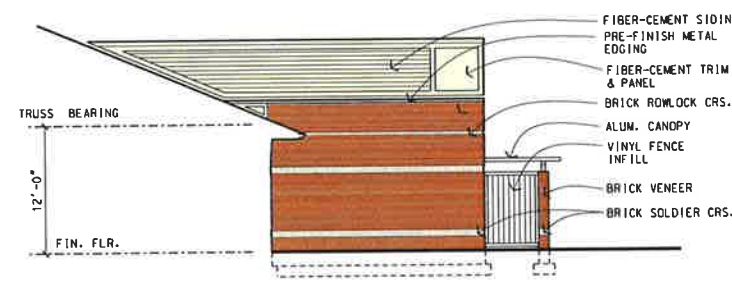
SCALE 1/8" = 1'-0"



EXTERIOR ELEVATION

11

SCALE 1/8" = 1'-0"



EXTERIOR ELEVATION

12

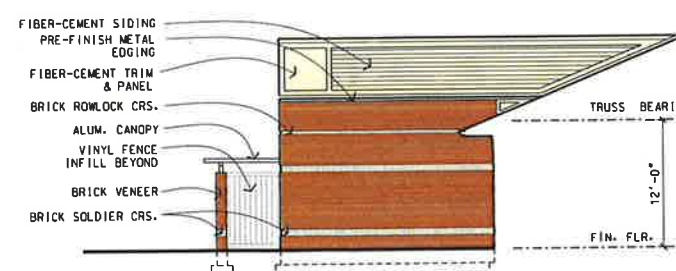
SCALE 1/8" = 1'-0"



EXTERIOR ELEVATION

13

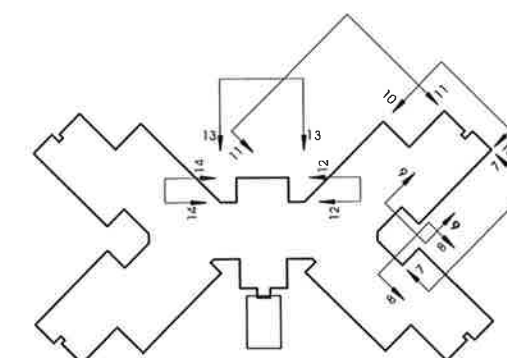
SCALE 1/8" = 1'-0"



EXTERIOR ELEVATION

14

SCALE 1/8" = 1'-0"



KEY PLAN

Memory
Care
NHC Place
Farragut

121 Cavette Hill Lane
Knoxville, TN 37934

REVISION DATE

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IN ANY WAY WITHOUT THE WRITTEN
PERMISSION OF THE ARCHITECT.

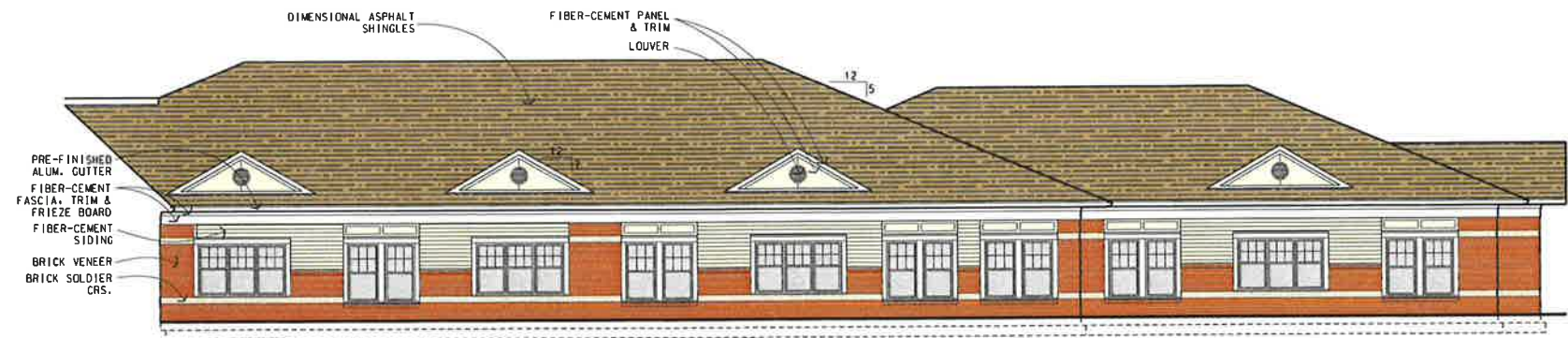


PROJECT NO. 1623
DATE 05/08/17
DRAWN BY J.R.P.
CHECKED BY J.H.B.

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TOWN OF FARRAGUT



EXTERIOR ELEVATION

15

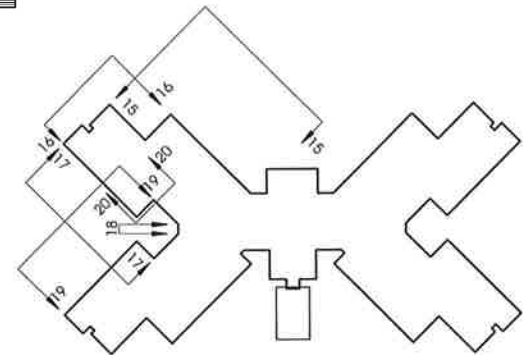
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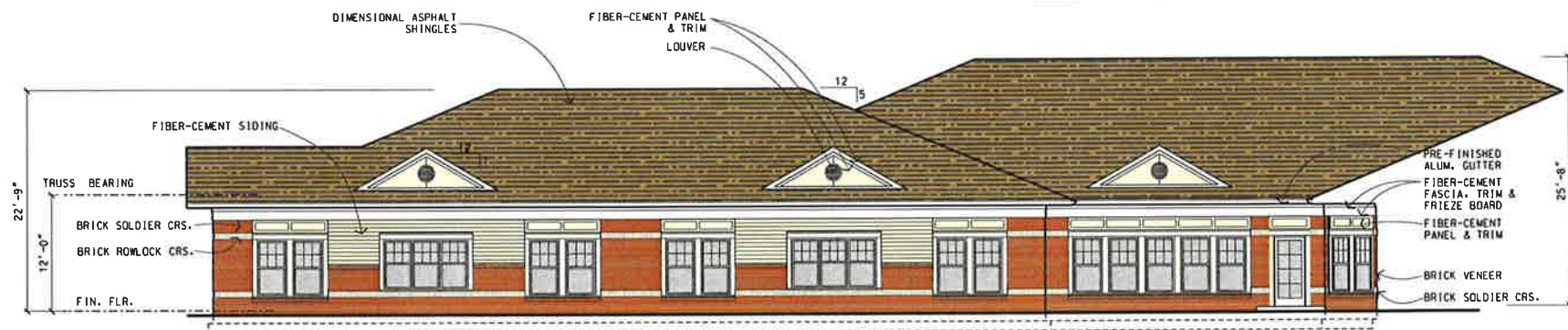
EXTERIOR ELEVATION

16

SCALE 1/8" = 1'-0"



KEY PLAN



EXTERIOR ELEVATION

17

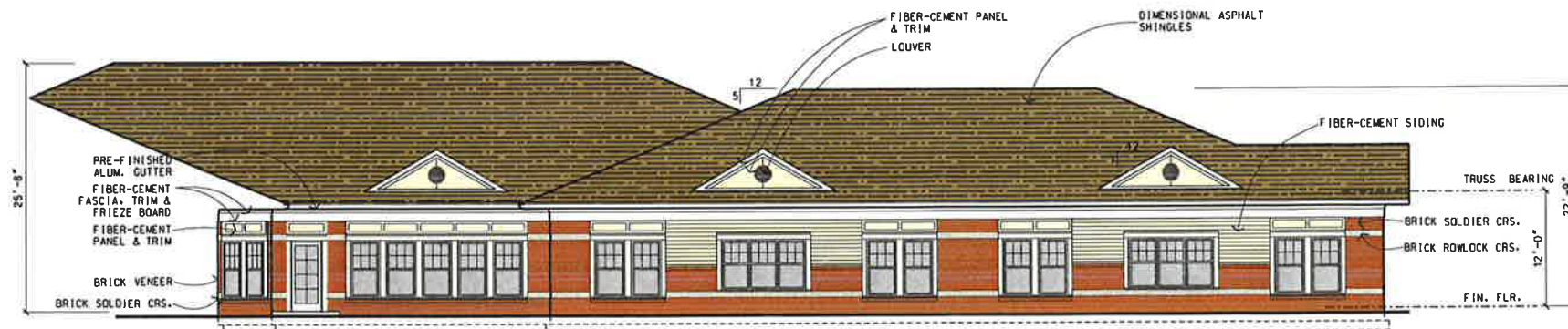
SCALE 1/8" = 1'-0"



EXTERIOR ELEVATION

18

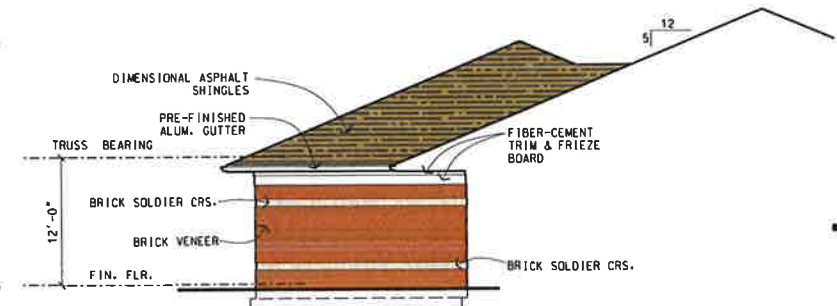
SCALE 1/8" = 1'-0"



EXTERIOR ELEVATION

19

SCALE 1/8" = 1'-0"

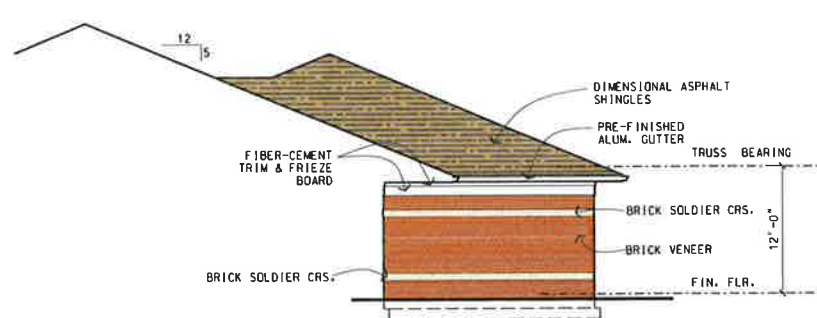


EXTERIOR ELEVATION

20

SCALE 1/8" = 1'-0"





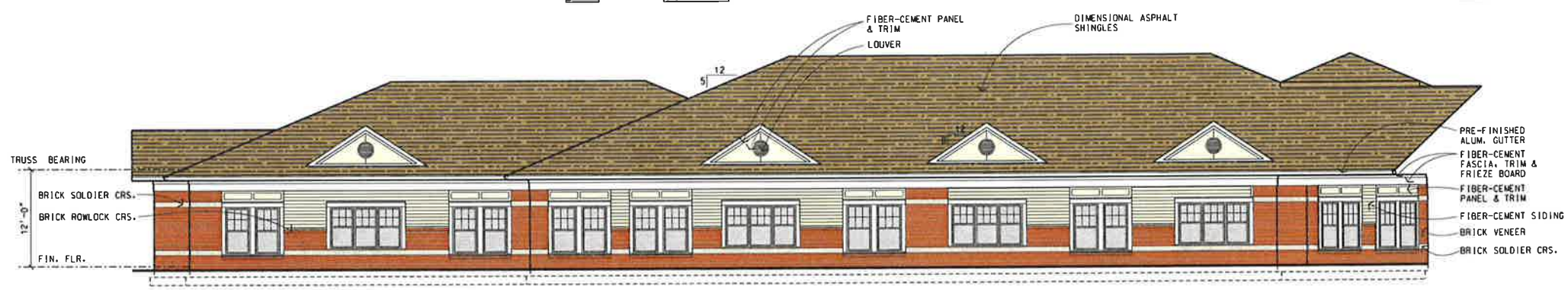
EXTERIOR ELEVATION 21

SCALE 1/8" = 1'-0"



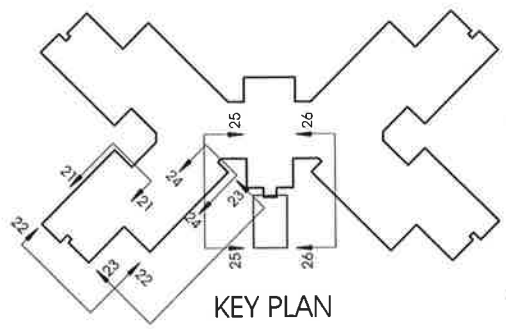
EXTERIOR ELEVATION 22

SCALE 1/8" = 1'-0"

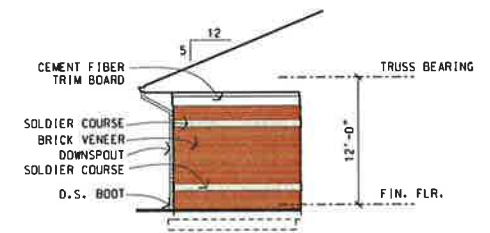


EXTERIOR ELEVATION 23

SCALE 1/8" = 1'-0"



KEY PLAN



EXTERIOR ELEVATION 24

SCALE 1/8" = 1'-0"



EXTERIOR ELEVATION 25

SCALE 1/8" = 1'-0"



EXTERIOR ELEVATION 26

SCALE 1/8" = 1'-0"

EXTERIOR MATERIAL CALCULATIONS		
	BRICK	FIBER-CEMENT SIDING & PANELS
	SQUARE FEET	SQUARE FEET
ELEVATION 1	307	199
ELEVATION 2	118	0
ELEVATION 3	556	270
ELEVATION 4	650	86
ELEVATION 5	442	200
ELEVATION 6	10	10
ELEVATION 7	442	200
ELEVATION 8	197	0
ELEVATION 9	197	0
ELEVATION 10	650	86
ELEVATION 11	559	270
ELEVATION 12	292	169
ELEVATION 13	698	270
ELEVATION 14	292	169
ELEVATION 15	559	270
ELEVATION 16	650	86
ELEVATION 17	442	200
ELEVATION 18	10	10
ELEVATION 19	442	200
ELEVATION 20	197	0
ELEVATION 21	197	0
ELEVATION 22	650	86
ELEVATION 23	556	270
ELEVATION 24	118	0
ELEVATION 25	206	64
ELEVATION 26	206	64
DOOR RECESSES	299	0
TOTALS	9942	3179
TOTAL AREA	13,121	
% BRICK	75.77%	



City Center
100 East Vine St.
Memphis, Tennessee
38103
615-890-4560
Fax: 615-890-4564

Memory Care
NHC Place
Farragut

121 Cavette Hill Lane
Knoxville, TN 37934

REVISION DATE

NOTES:

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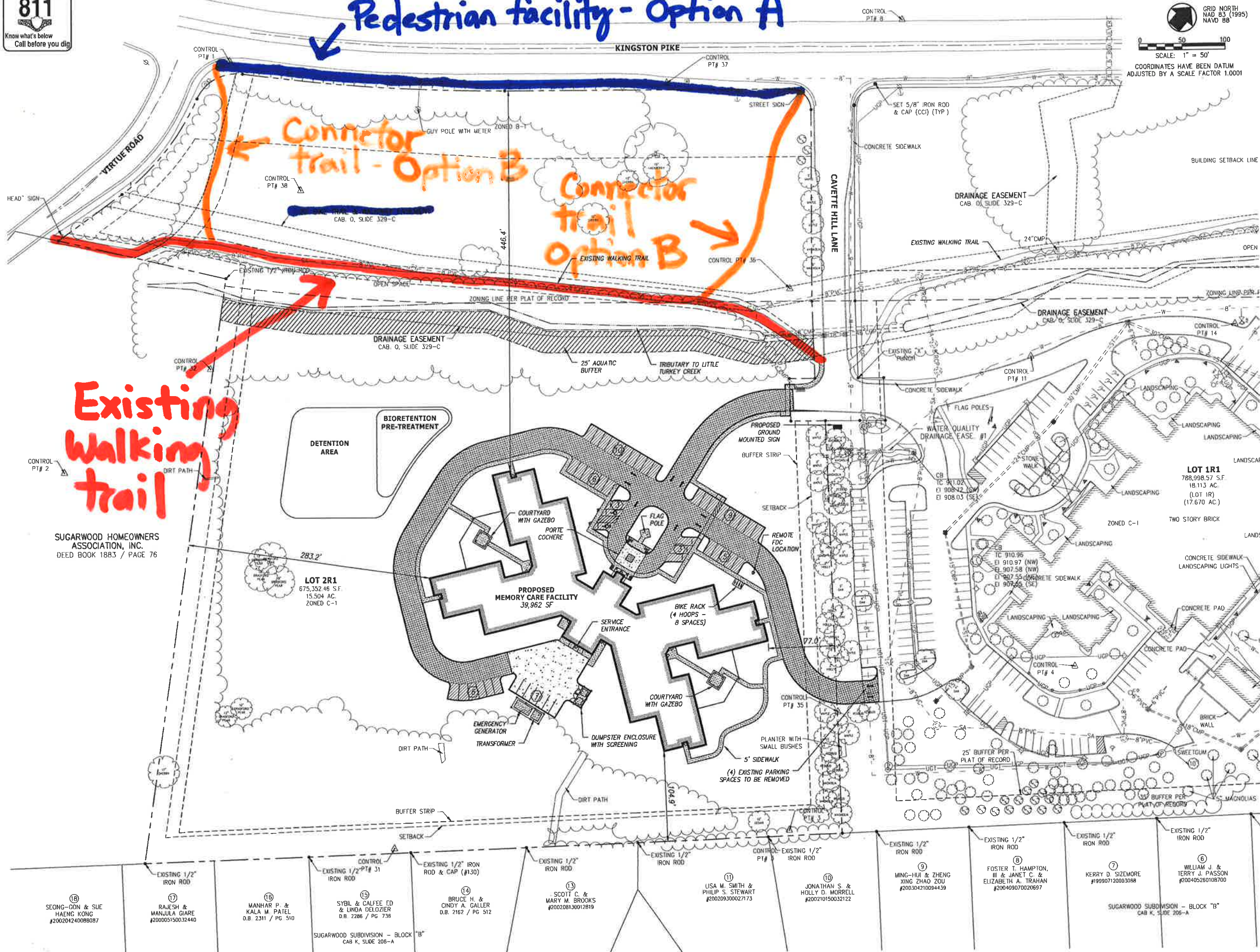
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DATE 05/08/17
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Pedestrian facility - Option A



NOTES:

- THE BOUNDARY AND TOPOGRAPHIC DATA SHOWN WAS PROVIDED BY CANNON & CANNON, INC. DATED DECEMBER 12, 2004 AND SUPPLEMENTED ON APRIL 11, 2016 AND FEBRUARY 16, 2017.
- UNLESS NOTED OTHERWISE, DIMENSIONS ARE TAKEN FROM OUTSIDE FACE OF BUILDING AND/OR FACE OF CURB.
- THE MINERAL AGGREGATE BASE AND ASPHALTIC SURFACE COURSES SHALL MEET THE MATERIALS, EQUIPMENT, CONSTRUCTION, AND TESTING REQUIREMENTS OF THESE DRAWINGS, AND THE TOWN OF FARRAGUT STANDARD SPECIFICATIONS.
- PROPERTY CONCERNED REFLECTS PARCEL 22 AS SHOWN ON KNOX COUNTY CLT TAX MAP NO. 152. TOTAL AREA IS 15.5± ACRES. THE TOTAL DISTURBED AREA IS APPROXIMATELY 6.0± ACRES.
- ZONING: B-1 AND C-1
- TRAFFIC CONTROL DEVICES AND PAVEMENT MARKING SHALL CONFORM TO THE FEDERAL HIGHWAY ADMINISTRATION "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
- ALL SETBACKS SHALL BE IN ACCORDANCE WITH THE TOWN OF FARRAGUT ZONING ORDINANCE.
- BUILDING INFORMATION:
 - OCCUPANCY TYPE: ASSISTED LIVING (I.B.C. TYPE I-1)
 - CONSTRUCTION TYPE: III-A
 - GROSS SQUARE FOOTAGE: 39,962 S.F.
 - ONE STORY FULLY PROTECTED BY NFPA 13
- HVAC UNITS WILL BE ROOF MOUNTED AND SCREENED BY THE BUILDING FROM ADJOINING PROPERTIES AND ROAD RIGHT-OF-WAYS.
- OWNER: NHR / FARRAGUT, L.P.
120 CAVETTE HILL LANE
KNOXVILLE, TN 37922

PARKING SUMMARY

PROPOSED STANDARD SPACES = 47
PROPOSED ACCESSIBLE SPACES = 2
TOTAL PROPOSED SPACES = 49

REQUIRED SPACES

3/4 SPACE PER 1 UNIT (ASSISTED-CARE LIVING)
60 UNITS x 3/4 = 45 SPACES
1 ACCESSIBLE SPACE PER 25 STANDARD SPACES
1 BICYCLE SPACE/5,000 SF
39,959 SF/5,000 SF = 8 BICYCLE SPACES
MAX. PARKING (10X) = 45 X 1.10 = 50 SPACES

LOT COVERAGE CALCULATIONS

TOTAL LOT AREA: 15.50 AC
PAVED SURFACES: 1.45 AC
DETENTION BASIN STRUCTURE: 0.01 AC
BUILDING AREAS: 1.08 AC (INCLUDING SIDEWALKS)
REMAINING "GREEN SPACE": 13.14 ACRES
% IMPERVIOUS LOT COVERAGE: 16.6%

LEGEND

	PROPOSED HEAVY DUTY ASPHALT PAVEMENT
	CONCRETE SIDEWALK
	CONCRETE PAVEMENT
	PROPOSED LIGHT DUTY ASPHALT PAVEMENT
	EXIST. R.O.W.
	BUILDING SETBACK LINE
	EXIST. EASEMENT LINE
	DETAIL REFERENCE (DETAIL NO./SHEET NO.)
	NUMBER OF PARKING SPACES
	COORDINATE POINT
	ACCESSIBLE PARKING
	ACCESSIBLE RAMP

REVISED PER TOWN OF FARRAGUT COMMENTS 05-08-2017

REVISIONS DATE

CANNON & CANNON INC.
CONSULTING ENGINEERS - FIELD SURVEYORS
TEL 865.670.8555 8550 Kingston Pike
WWW.CANNON-CANNON.COM Knoxville, TN 37919

CLIENT: **NATIONAL HEALTH CARE CORPORATION**
100 VINE STREET
MURFREESBORO, TN 37130

PROJECT: **MEMORY CARE FACILITY**
121 CAVETTE HILL LANE
KNOXVILLE, TN 37934

OVERALL SITE PLAN

CCI PROJECT NO. 00615-0005
DRAWING DATE APRIL 17, 2017
PM JRH PIC MAW
DRAWN CO CHECKED

C1.01
SHEET 4 OF 27

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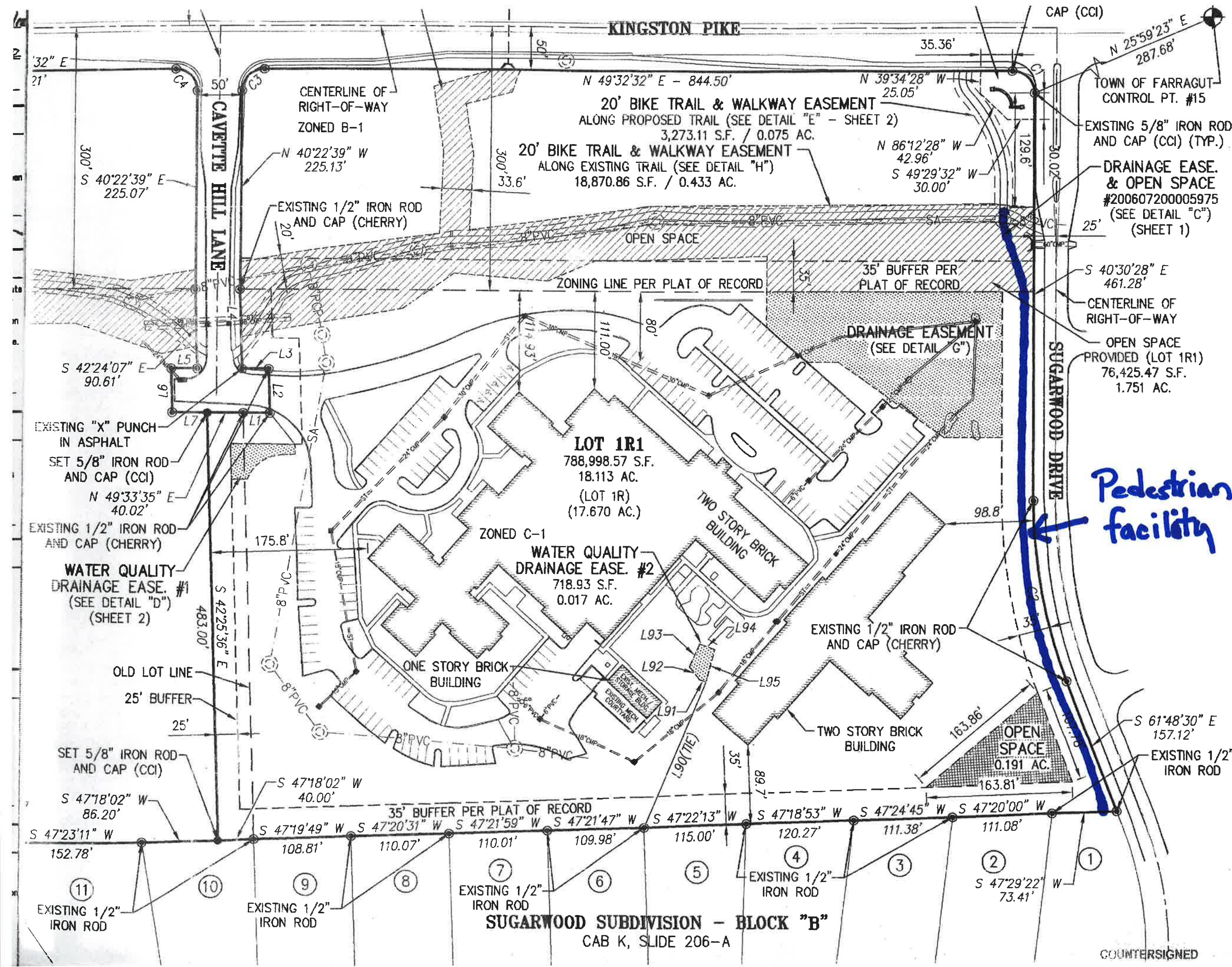
NOTES

1. OWNERSHIP AND REFERENCE
NHC HEALTHCARE/FARRAGUT, LLC.
120 CAVETTE HILL LANE
KNOXVILLE, TENNESSEE 37922
TEL. NO. (865) 777-4000
ATTN. TOM CAMPBELL
CLT MAP 152, PARCELS 22.00 & 22.05
INST. NO. 200003100016171, INST. NO. 200
PLAT REFERENCE: INST. NO. 200607200002
2. DATE OF SURVEY: JUNE 6, 2006
3. TOTAL AREA (2 LOTS): 1,464,403.55 S.F. / 33
4. A 5' UTILITY, DRAINAGE AND CONSTRUCTION E/ INTERIOR LOT LINES, A 10' UTILITY, DRAINAGE ON INSIDE OF ROAD RIGHTS-OF-WAY AND EXT
5. THIS PROPERTY DOES NOT LIE IN A SPECIAL FI ON "FIRM" MAPPING OF KNOX COUNTY. (REFER MAY 2, 2007)
6. TOTAL OPEN SPACE PROVIDED 150,717.6 S.F. /
7. THE BUFFER STRIP/OPEN SPACE CANNOT BE D CUTS OR GRADING OCCURRING OUTSIDE THE BU MAXIMUM FINISHED GRADE OF 3:1 (RUN/RISE). ENGINEERING APPROVALS AT THE TIME OF FUT
8. ZONING: B-1 (BUFFER DISTRICT) AND C-1 (GEI C-1 SETBACKS: FRONT 80', SIDE MINIMUM 20' SETBACKS VARY PER USAGE AND CONFIGURATI SHOULD BE VERIFIED WITH THE TOWN OF FARR BEING MADE RELATIVE TO LOT DEVELOPMENT.
9. 3.46 ACRES OF OPEN SPACE REQUIRED PER PF 1.942 ACRES PROVIDED ON LOT 1R AND 1.518 FOR A TOTAL OF 3.46 ACRES PROVIDED.
10. THE PURPOSE OF THIS PLAT IS TO REVISE THE 1R1 & 2R1.
11. 15' SANITARY SEWER EASEMENT ALONG CENTER LINES, 7.5' EACH SIDE OF LINE.
12. 20' BIKE TRAIL AND WALKWAY EASEMENT SHALL OF FARRAGUT AND RESERVED FOR PUBLIC USE. ACCEPTS THE MAINTENANCE AND LIABILITY OF I
13. SIGN EASEMENT ON LOT 1R1 IS IN FAVOR OF S ASSOCIATION INC.

Cannon & Cannon
Consulting Engineers
8550 Kingston Pike
Knoxville, Tennessee
Telephone: (865) 670-8555
www.cannon-cannon.com

CLIENT: **NATIONAL HEALTH**
120 CAVETTE HILL
KNOXVILLE, TENNESSEE
(865) 777-4000

PROJECT: **RESUBDIVISION OF LOT 1R1 OF SUGARWOOD COMM**
120 CAVETTE HILL
DISTRICT 6, KNOX COUN



SUGARWOOD SUBDIVISION - BLOCK "B"
CAB K, SLIDE 206-A

COUNTERSIGNED

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on an amendment to the concept plan associated with the Kingston Pike Town Center to provide for a new access to N. Campbell Station Road, Parcel 131, Tax Map 142, 16.23 Acres, Zoned TCD (Craig Allen, Applicant)

INTRODUCTION AND BACKGROUND: This item involves an amendment to the Kingston Pike Town Center concept plan that was required in association with the Town Center District (TCD) rezoning that was approved by the Planning Commission in August of 2015 for the property to the west of Farragut High School and to the east of the Outdoor Classroom.

DISCUSSION: The amendment requested at this time involves a vehicular and pedestrian connection from the property to N. Campbell Station Road that would line up with Jamestowne Boulevard. This would traverse property owned by TDOT and the Town and would need the applicable approvals from each entity. The goal of this access would be to provide more connections to and from the property. The access would also likely create a signalized condition (this would need to be addressed in the requested updated traffic impact study) that could relieve some congestion at the Kingston Pike/N. Campbell Station Road intersection.

RECOMMENDATION: In your packet is a copy of the revised concept plan and the staffs' comments on the initial concept plan. The staff is supportive of the additional connection. This could help promote better connectivity, relieve some congestion at the Kingston Pike/N. Campbell Station Road intersection, and enhance the marketability of the Town Center development on this property.

One of the staffs' comments on the concept plan was that the traffic impact study would need to be updated to address this proposed connection. The staff will provide the Commission with this update when it is received.

April 26, 2017

Mr. Craig Allen
P.O. Box 10286
Knoxville, TN 37939
Reinvest82@aol.com

**SUBJECT: STAFF COMMENTS ON THE REVISED CONCEPT PLAN FOR
THE KINGSTON PIKE TOWN CENTER ON PARCEL 131, TAX
MAP 142**

Dear Craig:

The Town staff has reviewed the revised concept plan for the Kingston Pike Town Center on Parcel 131, Tax Map 142 and would ask that you please address the following items and submit five (5) full size copies and one (1) 11" x 17" reduced set to the Farragut Town Hall by **Monday, May 8** (if you wish to be heard at the May 18 Planning Commission meeting). Also, upon resubmittal, please include a letter which addresses these comments and that indicates where the information can be found on the plans.

This item will be discussed at the Staff/Developer Meeting at the Farragut Town Hall on Tuesday, May 2, at 11:00 a.m. The purpose of this meeting is to discuss questions you may have on staff comments. Modifications to the plans are not due until Monday, May 8.

Fire Division: (Contact Dan Johnson at dan.johnson@townoffarragut.org)

- 1) Without a construction type provided it is difficult to answer some questions. Also no hydrant layout was provided that I was able to find;
- 2) The access, with the minimal information provide, appears to meet our minimums;

Planning Division: (Contact Mark Shipley at mark.shipley@townoffarragut.org)

- 3) Please ensure that the concept (and the subsequent project) will be able to meet all FEMA related requirements;
- 4) Please clearly delineate existing zoning districts. The general floodplain area, for example, is zoned Open Space/Park (OS-P). The OS-P should not be part of the area that is developable (other than the bridge crossing);
- 5) Please update the TIS;
- 6) Pedestrian facilities must be included and shown on the bridge so that there is a connection into the property from the sidewalk along N. Campbell Station Road. A connection should also be provided along the high school access into the property;
- 7) Though it is hard to assess (and very preliminary) at this stage, you will want to ensure that individual buildings address the different design requirements provided for in the Town Center District Design Requirements, including the building construction type. Smaller, more pedestrian scale, buildings will be

needed to provide for proper effect, height variations, and articulation. Rooflines will need to be varied but flat (please refer to the diagrams in the Town Center District Design Requirements);

- 8) The tree survey tables on sheet 6 seem to be missing some information. I do not see information for tree numbers 46-90 or 136-270;

Engineering Division: (Contact Darryl Smith at darryl.smith@townoffarragut.org)

- 9) The proposed Traffic Impact Study will need to consider a new traffic signal at the Campbell Station Road intersection. Will a portion of this roadway/entrance be public? and
- 10) For information: This plan shows connection of greenway to a planned greenway to be constructed by the Town under Kingston Pike at the existing arch culvert bridge over North Fork Turkey Creek. The Town intends to begin design of this greenway (which connects to existing greenway behind Kroger shopping center) in FY2018.

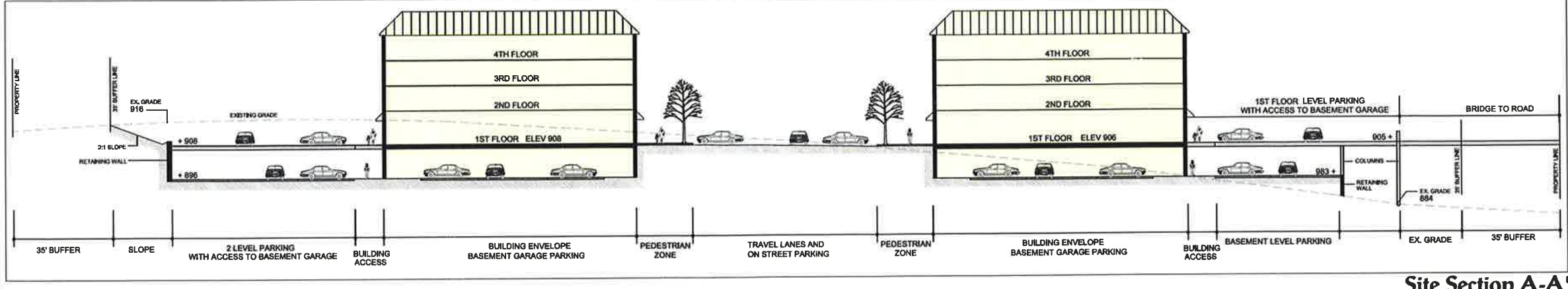
If you have any questions please contact us at the above e-mail addresses or by phone at 966-7057. Thank you very much.

Sincerely,

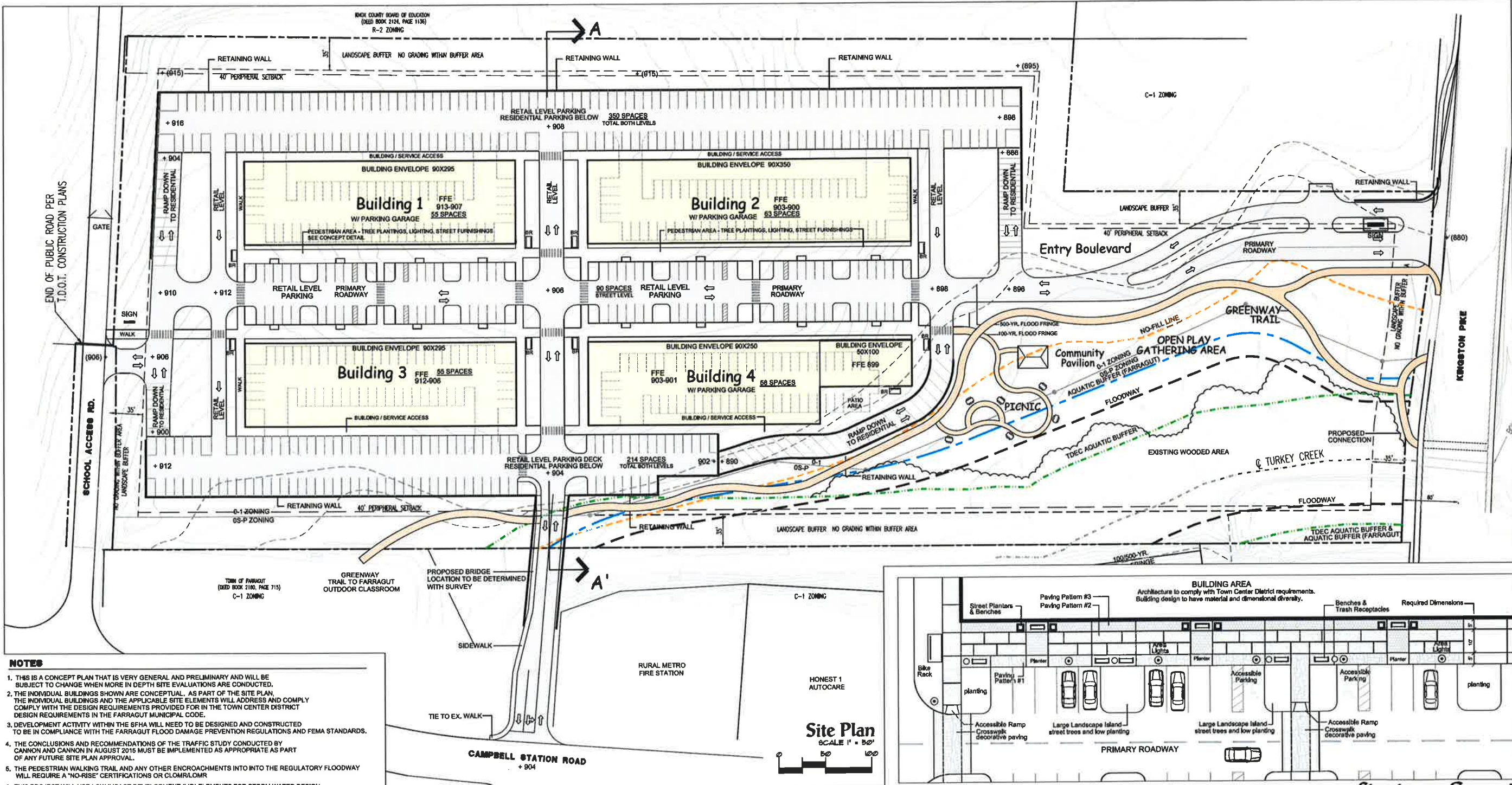
Mark Shipley, AICP
Community Development Director

Darryl Smith
Town Engineer

LOT COVERAGE			
SITE AREA: 16.26 AC		708,285 SQ.FT.	
IMPERVIOUS SURFACES: 376,948 SQ.FT.		53% LOT COVERAGE	
OPEN SPACE: 331,337 SQ.FT.			
GROSS FLOOR AREA & PARKING			
BUILDING FOOTPRINT	SIZE	GROSS FLOOR AREA (PER FLOOR)	
BUILDING #1	85' X 300'	25,500 SQ.FT.	
BUILDING #2	85' X 340'	28,900 SQ.FT.	
BUILDING #3	85' X 300'	25,500 SQ.FT.	
BUILDING #4	85' X 240'	20,400 SQ.FT.	
	50' X 100'	5,000 SQ.FT.	
		105,300 SQ.FT. X 4 FLOORS	
		TOTAL GROSS FLOOR AREA 421,200 SQ.FT.	
FLOOR	CARS REQUIRED	REQUIRED	PROPOSED
1ST FLOOR	1CAR / 250SQ.FT.	421	
1.5 CARS PER RESIDENTIAL UNIT			564
2ND FLOOR	100 RESIDENCES	150	(SURFACE & DECK)
3RD FLOOR	100 RESIDENCES	150	231
4TH FLOOR	100 RESIDENCES	150	(BASEMENT GARAGE)
84 BICYCLE PARKING PROVIDED		871	885



Site Section A-A'
SCALE 1" = 20'



- NOTES**
1. THIS IS A CONCEPT PLAN THAT IS VERY GENERAL AND PRELIMINARY AND WILL BE SUBJECT TO CHANGE WHEN MORE IN DEPTH SITE EVALUATIONS ARE CONDUCTED.
 2. THE INDIVIDUAL BUILDINGS SHOWN ARE CONCEPTUAL. AS PART OF THE SITE PLAN, THE INDIVIDUAL BUILDINGS AND THE APPLICABLE SITE ELEMENTS WILL ADDRESS AND COMPLY WITH THE DESIGN REQUIREMENTS PROVIDED FOR IN THE TOWN CENTER DISTRICT DESIGN REQUIREMENTS IN THE FARRAGUT MUNICIPAL CODE.
 3. DEVELOPMENT ACTIVITY WITHIN THE SFHA WILL NEED TO BE DESIGNED AND CONSTRUCTED TO BE IN COMPLIANCE WITH THE FARRAGUT FLOOD DAMAGE PREVENTION REGULATIONS AND FEMA STANDARDS.
 4. THE CONCLUSIONS AND RECOMMENDATIONS OF THE TRAFFIC STUDY CONDUCTED BY CANNON AND CANNON IN AUGUST 2015 MUST BE IMPLEMENTED AS APPROPRIATE AS PART OF ANY FUTURE SITE PLAN APPROVAL.
 5. THE PEDESTRIAN WALKING TRAIL AND ANY OTHER ENCROACHMENTS INTO THE REGULATORY FLOODWAY WILL REQUIRE A "NO-RISE" CERTIFICATIONS OR CLOMRA/OMR.
 6. THIS PROJECT WILL USE LOW IMPACT DEVELOPMENT (LID) ELEMENTS FOR STORM WATER DESIGN.

Concept Plan

Kingston Pike Town Center
Farragut, Tennessee

MICHAEL VERSEN & ASSOCIATES
LANDSCAPE ARCHITECTURE AND PLANNING
299 N. WEISSGARDNER RD. SUITE 201 KNOXVILLE, TN 37919
(865) 566-1331

JOB NO. 21052
DATE: MAY/PM1
DATE: MAY 8, 2017
REVISIONS:

SCALE AS SHOWN

2 of 6

RECEIVED
MAY 08 2017

TOWN OF FARRAGUT

Streetscape Concept
SCALE 1" = 20'

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion on a request to rezone Parcels 79, 80, 81, 97, 96, 96.01, Tax Map 151 and portions of Parcels 78, 95 and 95.01, Tax Map 151, located along Kingston Pike and S. Watt Road, 18.65 Acres, from R-1 and C-1 to PCD (GBS Engineering, Applicant)

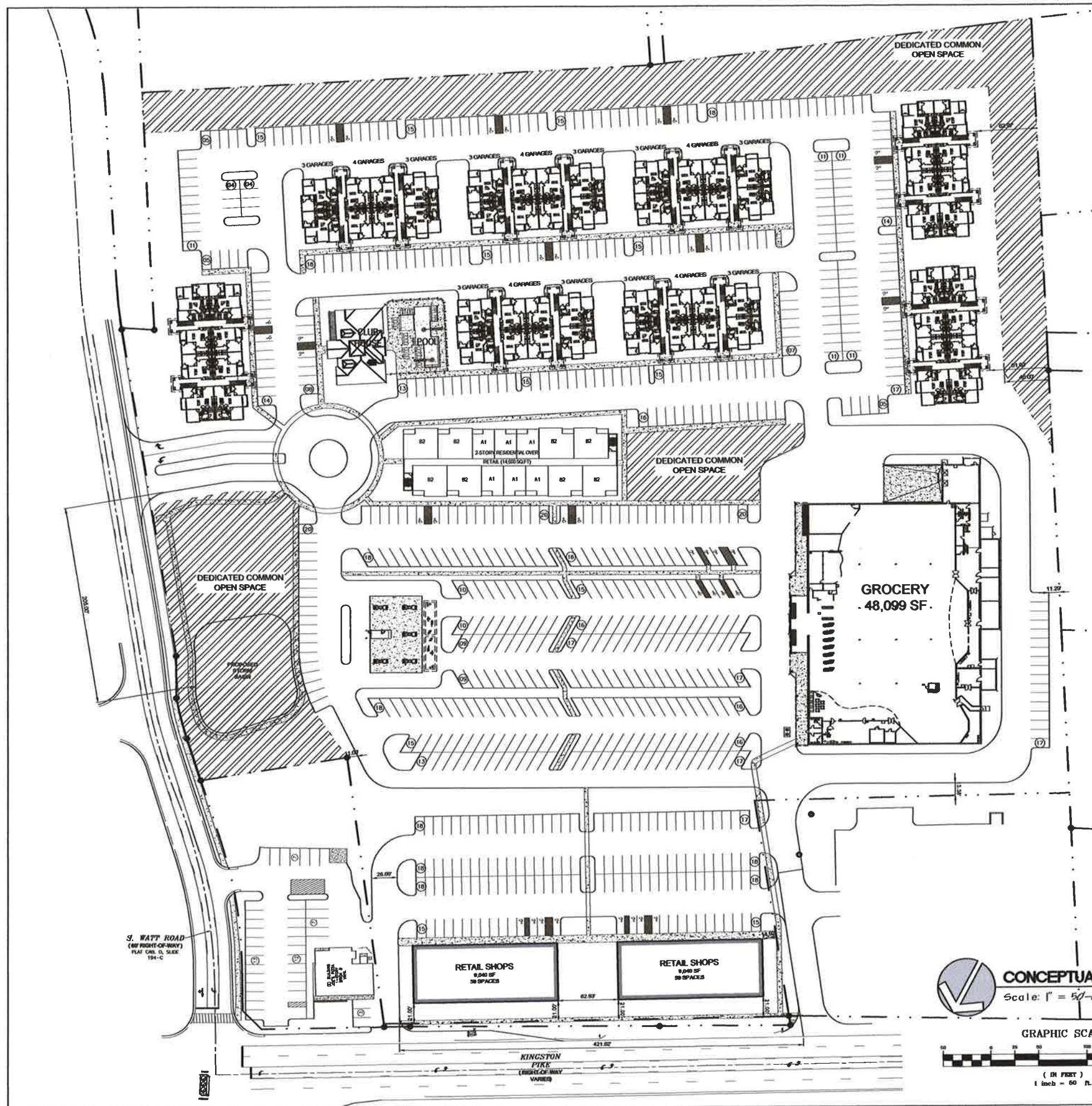
INTRODUCTION AND BACKGROUND: This item was discussed in some detail at last month's Planning Commission meeting. At the April 27, 2017 Board of Mayor and Aldermen meeting, the Board approved on second reading the amendments to the Planned Commercial Development District (PCD) that provided for residential as a permitted use and updated a number of other provisions. The Board also approved additional language in the PCD District that would require a team of professionals to be involved in the design and implementation of the master concept plan. The language that was added was taken from existing language in the subdivision regulations.

DISCUSSION: In terms of the master concept plan that was reviewed last month, the staff pointed out some discussion topics that reflected the need for a land planner to be actively involved in the design process. The issues that were raised last month included:

- 1) A lack of inventorying the physical opportunities that the property provides and working them into the design. As an example, retail/restaurants could have an active and scenic outdoor space that capitalizes on the properties physical characteristics (e.g. making the drainageway a heavily landscaped bioswale with outdoor seating facing this area and a walking trail running parallel with the bioswale as an amenity for the development);
- 2) Moving the outer buildings up to the street with landscaped outdoor space and shifting the parking to sides and the rear. This would provide for a better and more inviting entrance to the Town and the development from the west and would help address some of the language specified in the ADS and CLUP as it relates to this portion of the Town;
- 3) Providing for significantly more pedestrian and vehicular connections within the development and to abutting properties;
- 4) Removing drive-thru's from the periphery of the development and instead bringing the building to the street to establish a more inviting feel that signals a different type of development from traditional commercial;
- 5) Ensuring that the scale of buildings transition properly to the surrounding properties;
- 6) The fuel center is shown over a platted sanitary sewer easement and this would not be permitted;
- 7) The parking must be broken up into smaller pods. The central parking area is massive and detracts from the project as a whole, particularly given the project's residential component;
- 8) Though this would be more site plan level detail, locations for shopping carts have not been factored into the concept;
- 9) More pockets of functional and connected open space are needed, especially given the residential component of the development. The various components of the project must blend together and this can be assisted with connected and functional open space;

- 10) Please account for the LID requirements in the PCD District and blend them with other project objectives (e.g. walking trail along bioswale);
- 11) Please note that parking space allocations are more flexible with the PCD and the Town has also recently amended our parking requirements to further provide more flexibility. These should be included in the design.

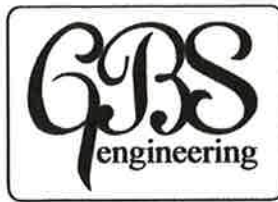
RECOMMENDATION: Included in your packet is a revised master concept plan that is intended to address the comments noted at last month's meeting. The staff has not yet reviewed the revised plan and will provide comments at the meeting.



- NOTES:
- PARKING SPACES:
- MULTI-FAMILY CONSISTS OF 220 UNITS: FARRAGUT REQUIRES 1.75 PARKING SPACES PER UNIT = 385 PARKING SPACES, WE ARE PROVIDING 385 PARKING SPACES
 - GROCERY IS 48,099 SF: FARRAGUT REQUIRES 5.00 PARKING SPACES PER 1000 SF = 240 PARKING SPACES REQUIRED, 167 PARKING SPACES PROVIDED.
 - RETAIL/SHOPS IS A TOTAL OF 32,080 SF: FARRAGUT REQUIRES 5.00 PARKING SPACES PER 1000 SF = 160 PARKING SPACES REQUIRED, 105 PARKING SPACES PROVIDED.
- AREA CALCULATIONS:
- TOTAL AREA = 812,305 SF OR 18.65 ACRES.
 - TOTAL IMPERVIOUS AREA = 538,827 SF OR 12.31 %
 - TOTAL PERVIOUS AREA = 273,478 SF OR 31.2 %
 - COMMON OPEN SPACE REQUIRED SHALL BE 10% OR MORE OF TOTAL AREA OR 1.87 ACRES. COMMON OPEN SPACE PROVIDED IS 2.50 ACRES.



NOTE:
THIS DRAWING IS A CONCEPTUAL SITE PLAN AND IS NOT FOR CONSTRUCTION.



1313 Kalmia Road
Knoxville, TN 37909
Phn: 865.566.0185
Fax: 888.485.7005



CONCEPTUAL SITE PLAN
Scale: 1" = 50'-0"

GRAPHIC SCALE
0 50 100 150 200
(IN FEET)
1 inch = 50 ft.

REV	DESCRIPTION	BY	DATE
-	-	-	-
-	-	-	-
-	-	-	-
-	-	-	-
-	-	-	-
TITLE: CONCEPTUAL SITE PLAN		DRAWN BY: -	SHEET NO:
LOCATION: KINGSTON PIKE FARRAGUT, TENNESSEE 37934 CLT Map XXX, Parcel No. XXX		CHECKED BY: -	CSP 1
Owner: OWNER		FILE NAME: Concept Plan	
		JOB NUMBER 2140	
		ISSUE DATE: 05/08/2017	

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion on a request to rezone Parcels 52, 54, 54.01, 55, and 57, Tax Map 151, located at 12723, 12733, 12737, 12743, and 12751 Union Road, 115 Acres, from A to R-1/OSR (Site Inc., Applicant)

INTRODUCTION AND BACKGROUND: This item involves a workshop discussion related to the rezoning of the Ivey property that is situated between Saddle Ridge and Fox Run and that fronts along Union Road. Given its location, this property has been the subject of much development interest over the years. The property includes five parcels and is mostly zoned Agricultural (A). The property has been actively used as a farm and has some agriculture structures and at least one farm pond. The property is mostly pastureland but does have some wooded areas. There are also some drainageways that bisect the property.

DISCUSSION: Given the property's physical characteristics, the applicant is requesting to rezone the property to the R-1/OSR Zoning District. This would provide the applicant with more flexibility in lot sizes and configurations. This would also provide more opportunity to protect environmentally sensitive portions of the site that could be incorporated into the required minimum 35% open space. On the future land use map in the CLUP, most of the property is shown as a low density residential. In order to be consistent with the rezoning request, the applicant will also need to request an amendment to the future land use map to change the designation to open space cluster residential.

The properties that are the subject of the rezoning have collectively over 1,100 feet of frontage along Union Road. Historically, the major issue with changing the zoning (and thus the density of development) on the property was the substandard condition of Union Road. Much of the western section of Union Road is very narrow and cannot accommodate additional traffic generated by the development of the property. The Agricultural Zoning District requires a minimum of 5 acres per lot. The R-1/OSR provides for a development density that is based on the total tract square footage divided by 20,000 square feet (the minimum lot size in the base zoning district – the R-1). So, for the area encompassed by this rezoning, a density of up to 250 lots would result. Under the properties current zoning, the density would be roughly 23 lots. With an estimated 10 average daily trips per lot, the requested rezoning could add around 2,500 additional trips per day on Union Road. Given the road's current condition, the Board of Mayor and Aldermen has prioritized the improvement of the western portion of Union Road from Everett Road to Kingston Pike via N. Hobbs Road. The Town's engineering staff has secured initial approval for federal funding for much of this improvement.

The question at this time is related to timing. Assuming everything goes as scheduled, it will likely be at least 2 years before the start of any construction on Union Road. Once construction is initiated, it will likely take 18-24 months to complete. The rezoning may be premature since changing the density of development would not be appropriate given that the road will be substandard for at least 4-5 years.

333 lots as R-2

RECEIVED

APPLICATION TO AMEND ZONING MAP

TOWN OF FARRAGUT, TENNESSEE

APR 17 2017

TOWN OF FARRAGUT

FOR OFFICE USE ONLY
Fee Paid: \$300

APPLICANT NAME: SITE INCORPORATED
Address: 10215 TECHNOLOGY DR SUITE 304 City/State/Zip: KNOXVILLE TN 37932
Phone Number: 865-777-4160 Fax Number: 865-777-4189
E-mail: DROBINETTE@SITE-INCORPORATED.COM

DESCRIPTION OF PROPERTY (Attach map of property):
Address: 12723, 12733, 12737, 12743, 12751 UNION Rd Size of Tract: 115 +/- ACRES
Lot(s)/Parcel(s) No.: MAP 151 PARCELS 52, 54, 55 Tax Map No. 15
59.01 ± 57

Previous Rezoning Applications: N/A

Change Requested:
From: AGRICULTURE To: R-1-OSR
Proposed Use of Property (Be specific): SINGLE FAMILY RESIDENTIAL
Existing Land Use: HOUSES AND AGRICULTURE

ALL OWNERS OF PROPERTY INVOLVED MUST SIGN OR NAMES MUST BE LISTED:

NAME	ADDRESS (Street/City/Zip)	PROPERTY OWNED
HERITAGE PROPERTIES LP	12743 UNION ROAD, 12737 UNION Rd	KNOXVILLE TN 37934
MARY ELLEN IVEY	12751 UNION ROAD, KNOXVILLE TN	37934
SUSAN IVEY JOHNSON, DIANE IVEY GREGG	12737 UNION ROAD, KNOXVILLE TN	37934
LISA IVEY GODWIN	12723 UNION ROAD, KNOXVILLE TN	37934

I HEREBY CERTIFY THAT THE OWNERS OF ALL PROPERTY INVOLVED IN THIS REQUEST HAVE SIGNED OR ARE LISTED ABOVE AND HAVE CONSENTED TO THIS APPLICATION.

APPLICANT SIGNATURE

DATE

OR

I HEREBY CERTIFY THAT I AM THE LEGAL REPRESENTATIVE FOR ALL OWNERS INVOLVED IN THIS REQUEST.

SITE INC by David O Rollett

4/17/17

NAME (SIGNATURE)

DATE

10215 TECHNOLOGY DR SUITE 304 KNOXVILLE TN 37932

865-777-4160

Street Address/City/State/Zip

Telephone Number

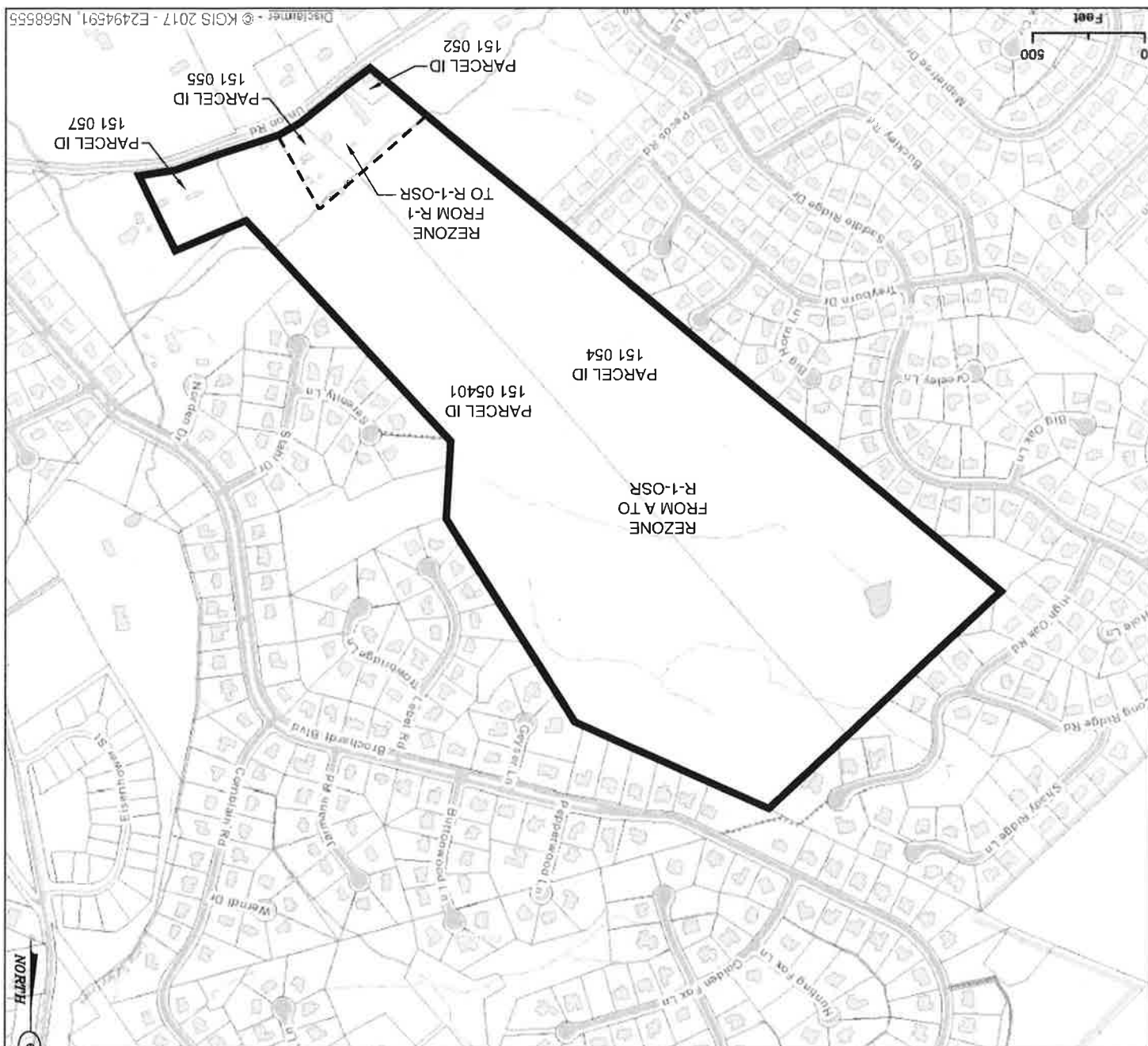


Rezoning Exhibit

Ivey Farm
Union Road
Farragut, Tennessee

[illegible]

RZ1



MEETING DATE: May 18, 2017

AGENDA ITEM #10

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on the proposed FY 2018 Capital Investment Plan

INTRODUCTION AND BACKGROUND: Please refer to the information that will be e-mailed to you from Gary Palmer, Assistant Town Administrator.

***Town of Farragut
Capital Investment Plan***

Fiscal Year 2018

General Town Projects

Parks

Engineering





General Govt. Land Acquisition

- **Purchase Property**
- **Acquire ROW/Easements**
- **Soft Costs Related to Acquisition**

FY 18-22 \$500,000 / year

Smith Road Greenway (or sidewalk?)

~2,594'

FY18 Design: \$150,000

FY19 ROW: \$225,000

FY20 Construction: \$270,000

Total: \$645,000

Andover

Everett Road

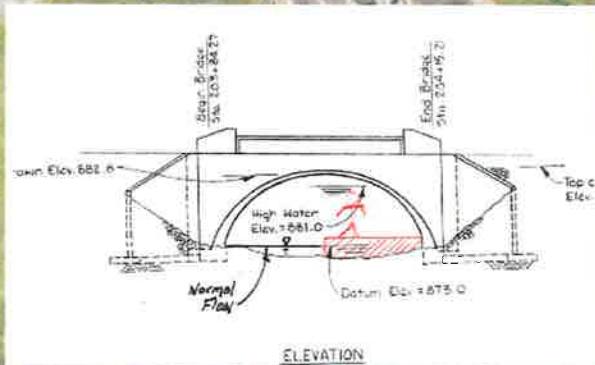
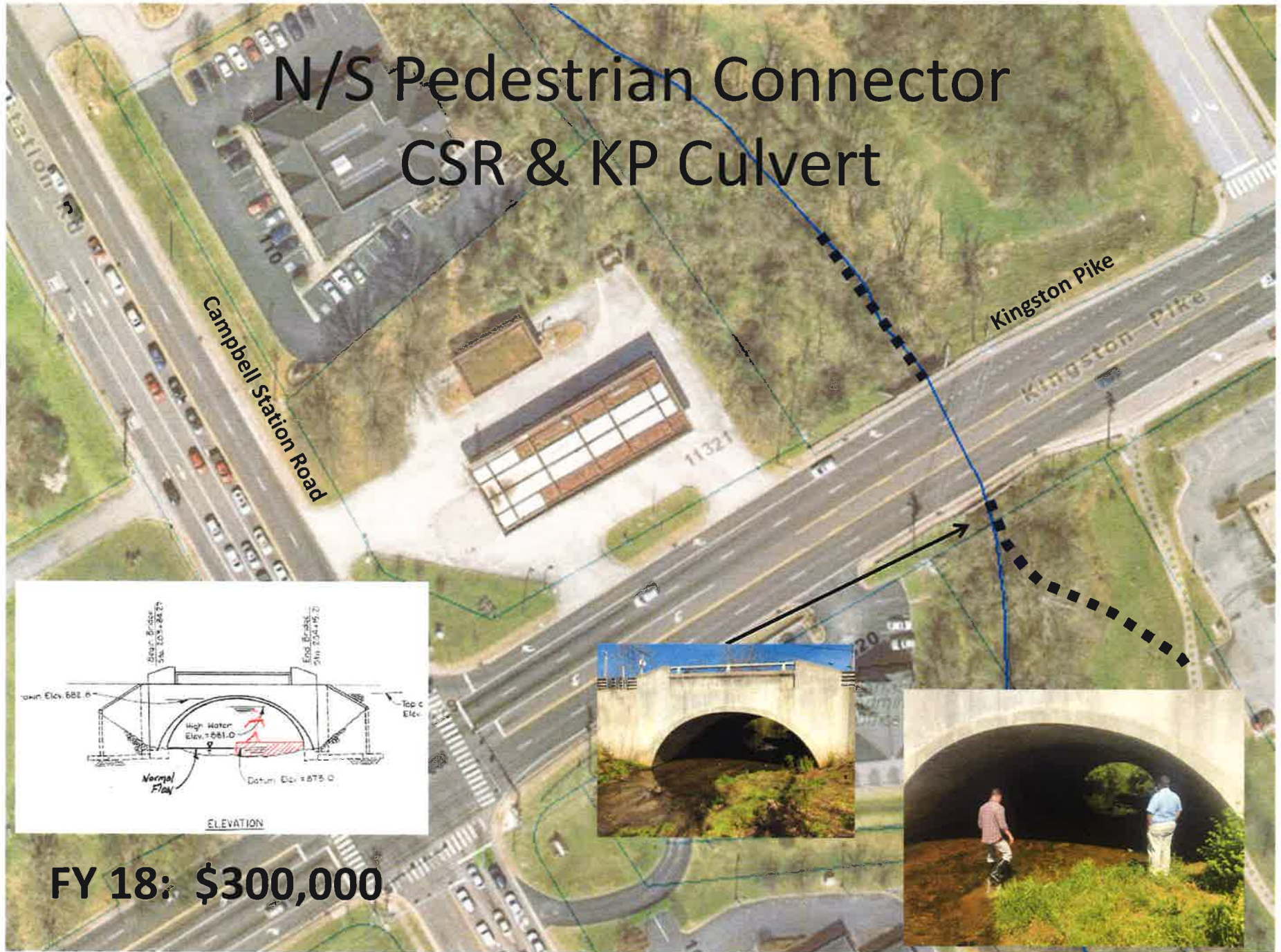
(old smith road)

Smith Road

Union Road



N/S Pedestrian Connector CSR & KP Culvert



FY 18: \$300,000





VG Shopping Center -Campbell Station Inn Parking Lot/Access Drive Improvements and Town Greenspace



FY 18: \$2,000,000 Design/Engineering/Construction

Mandated ADA Improvements

Town-wide



FY 18: \$50,000
FY 19: \$50,000
FY 20: \$0
FY 21: \$50,000
FY 22: \$50,000





McFee Park Expansion



FY 18: \$350,000 Design and Eng.

FY 19: \$3,000,000 Construction

FY 20: \$0

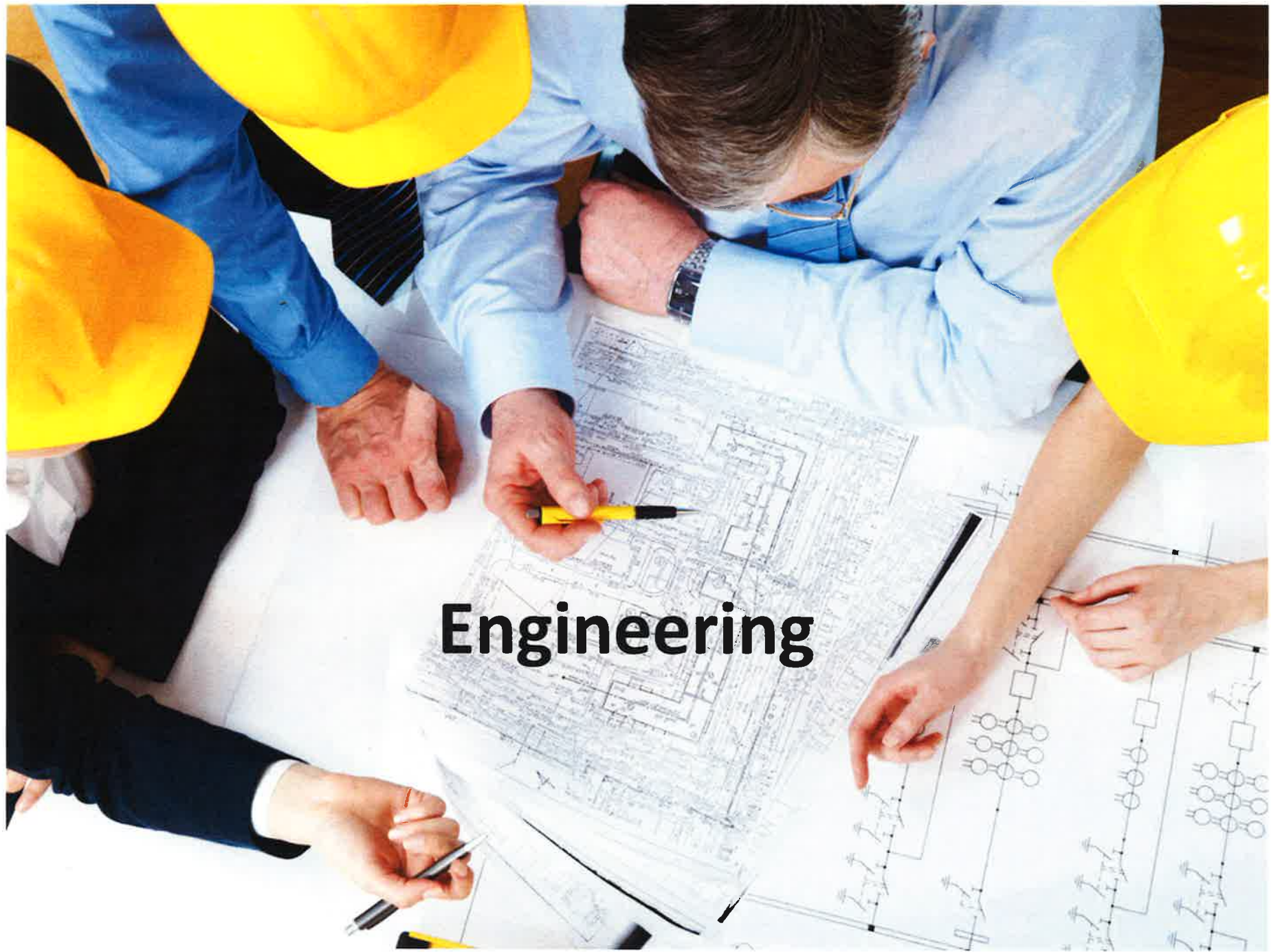
FY 21: \$350,000 Design and Eng.

FY 22: \$3,000,000 Construction

McFee Park Playground Surface Replacement

FY 18: \$75,000





Engineering

An aerial photograph showing the intersection of Watt Road and Kingston Pike. Watt Road runs diagonally from the top left towards the bottom right. Kingston Pike runs horizontally across the middle of the image. The intersection is a T-junction where Watt Road meets Kingston Pike. There are several buildings, parking lots, and green spaces around the intersection. The text "Watt Road" is written diagonally along the road, and "Kingston Pike" is written horizontally along the road.

Watt Road / Kingston Pike Intersection Improvements

This TDOT/TOF project was fully funded through FY 16 with construction complete sometime late 2017. We need to program funds for any possible additional ROW costs.

FY 18: \$50,000



Kingston Pike Sidewalk @ Willow Creek
1,820' Sidewalk Along Willow Creek Golf Course Frontage
Project: 80/20 Split with TDOT (Reimbursement)
FY18: \$220,000 (Town's 20%)

Virtue Road

Kingston Pike

**Union Road Improvements
MAJOR COLLECTOR
Everett Road to N. Hobbs Road to Kingston Pike
4,398'**



**FY 18: \$500,000 ROW Acquisition
FY 19: \$3,520,000 Construction**

80/20 STP Funding

**Concord Road Improvements
Corridor Lighting
From Turkey Creek Road to Northshore Road
FY 18: \$20,000**



160' apart on each side of the roadway, staggered

Signal System Upgrades

CMAQ 100% Fed Funding

FY 18: \$165,000 Prelim. Eng. (NEPA enviro impact analysis)
FY 19: \$75,000 Design
FY 20: \$2,685,000 Construction

FY 18: \$425,000 Phase 1 Design

Virtue Road
MAJOR COLLECTOR
Boyd Station Road to Kingston Pike
~8,000'

Virtue Road (looking north)



Virtue Road: Harville property to south of Kingston Pike
~2,500 linear feet

FY 18: Design: \$425,000

FY 19: ROW: \$450,000

FY 20: Construction: \$2,300,000

TOTAL: \$3,175,000

Phase 2

Virtue Road: Turkey Creek Road to Harville property
~3,000 linear feet

FY 21: Design: \$300,000

FY 22: ROW: \$1,100,000

Construction: \$10,000,000

TOTAL: \$11,400,000

Phase 3

Design: \$1,600,000

ROW: \$1,950,000

Construction: \$14,000,000

TOTAL: \$17,550,000

Virtue Road: Boyd Station to Turkey Creek Road
~2,500 linear feet

Design: \$275,000

ROW: \$400,000

Construction: \$1,700,000

TOTAL: \$2,375,000

5 year General Gov't Projects

General Government Projects	FY2018	FY2019	FY2020	FY2021	FY2022	Total
Land Acquisition	500,000	500,000	500,000	500,000	500,000	2,500,000
Pedestrian/Greenway Connectors	0	0	0	100,000	100,000	200,000
Smith Road Greenway	150,000	225,000	270,000	0	0	645,000
N/S Connector: CSR & KP Culvert	300,000	0	0	0	0	300,000
Campbell Station Inn Site Improvements	2,000,000	0	0	0	0	2,000,000
ADA Anchor Park Improvements	0	25,000	300,000	0	0	325,000
ADA Improvements	50,000	50,000	0	50,000	50,000	200,000
General Government Projects Total	3,000,000	800,000	1,070,000	650,000	650,000	6,170,000

5 Year Park Projects

Parks	FY2018	FY2019	FY2020	FY2021	FY2022	Total
McFee Park Expansion	350,000	3,000,000	0	350,000	3,000,000	6,700,000
McFee Park Playground Surface Replacement	75,000	0	0	0	0	75,000
Anchor Park Improvements	0	0	0	0	150,000	150,000
Parks Total	425,000	3,000,000	0	350,000	3,150,000	6,925,000

5 year Engineering Projects

Engineering Projects	FY2018	FY2019	FY2020	FY2021	FY2022	Total
Watt Road/KP Intersection Improvements	50,000	0	0	0	0	50,000
Kingston Pike Sidewalk	220,000	0	0	0	0	220,000
Union Road Improvements	500,000	3,520,000	0	0	0	4,020,000
Concord Road Lighting	20,000	0	0	0	0	20,000
Signal System Upgrade (CMAQ)	165,000	75,000	2,685,000	0	0	2,925,000
Virtue Road-Phase I (KP-Harville)	425,000	450,000	2,300,000	0	0	3,175,000
Virtue Road-Phase II (Harville-Turkey Creek)	0	0	0	0	900,000	900,000
Engineering Total	1,380,000	4,045,000	4,985,000	0	900,000	11,310,000

FY 2018 CIP Snapshot

Total General Gov't Projects : \$ 3,000,000

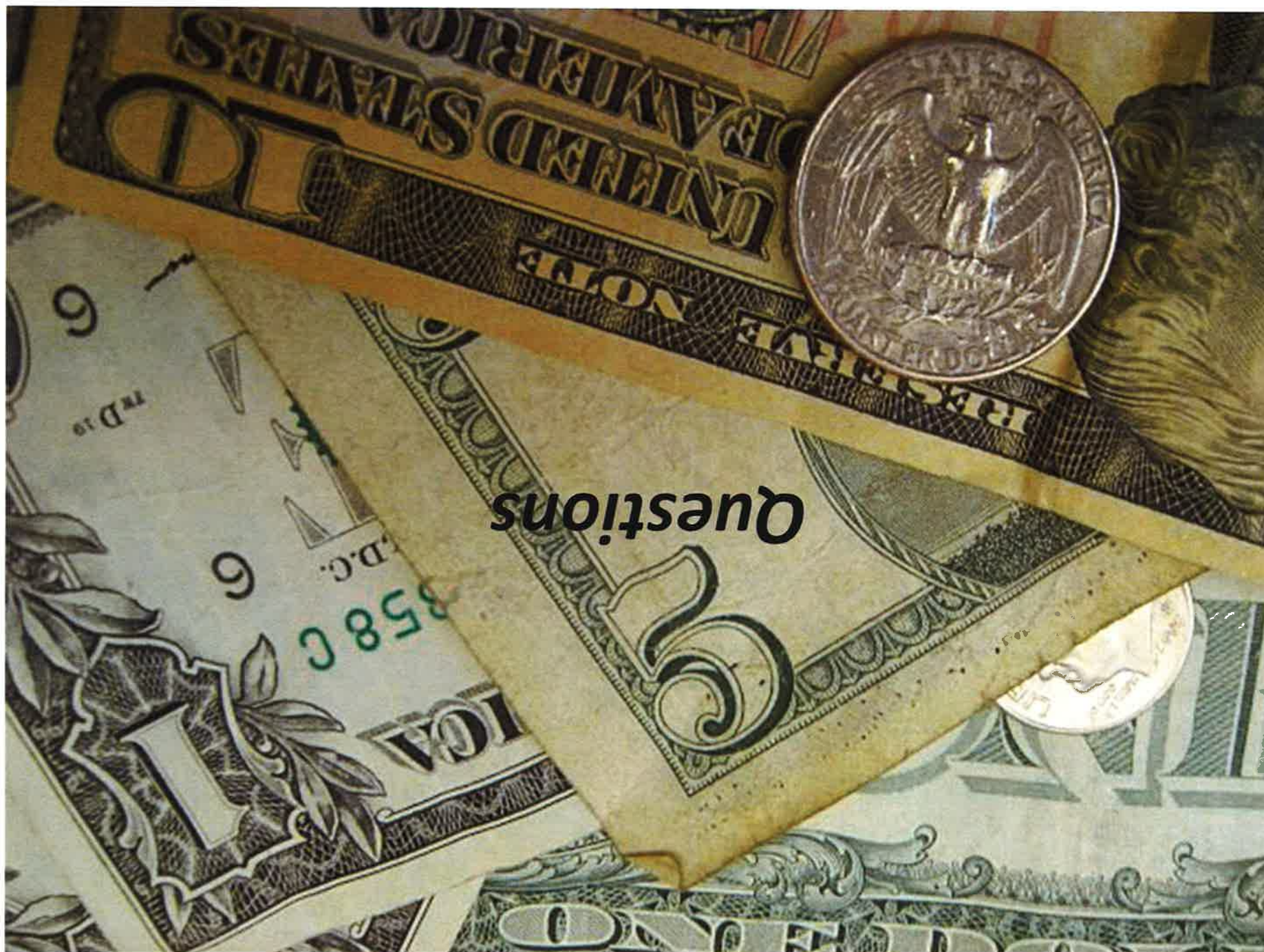
Total Park Projects : \$ 425,000

Total Engineering Projects : \$ 1,380,000

Total FY 18 Expenditures : 4,805,000

Reimbursable (Fed \$): 999,000

Total Responsibility*: 5,804,000



REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion on updates to the Major Road Plan

INTRODUCTION AND BACKGROUND: The Major Road Plan is a legal document that is required as an element of the general plan provided for in the Tennessee Code Annotated. Periodically, communities should re-visit their adopted Major Road Plan to include new or modified streets and ensure that existing streets are classified properly based on how they function or will (should) function in the future. Updating the Major Road Plan is on the Community Development's Work Program and is also tied to the discussion at last month's Planning Commission meeting involving desired cross sections for collector streets.

DISCUSSION: The main focus of this month's discussion will be regarding how some of our streets are classified so as to ensure that they reflect how they function both currently and how we envision (or desire) them to function in the future. Street classifications are described in the Subdivision Regulations. The staff has included the applicable sections from the Subdivision Regulations so that the classifications on the Major Road Plan may be more understandable. The Town's Major Road Plan was last updated in July of 2010. Since that time, conditions have changed, such as road improvements, road connectivity, and the installation of traffic signals. Consequently, at this time the staff is asking for input on the following potential amendments to the Major Road Plan that are included in your packet:

- 1) *Reclassify Boyd Station Road and Virtue Road from Major Collectors to Minor Arterials.* The reason for this potential change is that, with the installation of the traffic signal at Kingston Pike and Virtue Road, there has been an increase in the amount of traffic particularly south of the Town's boundary that uses this route to access Kingston Pike. McFee Road and the portion of Old Stage Road from McFee Road to Kingston Pike have been classified as Minor Arterials for a number of years for the same reason. The staff would note that a minor arterial has a required right of way of 80 feet vs. a required right of way of 60 feet for a major collector. Arterials also have an 8 foot vs. a 6 foot planting strip separation between a multi-use path and the back of curb. Each road classification currently requires curb and gutter and 12 foot travel lanes.
- 2) *Reclassify the connecting roads from Turkey Creek Road to Midhurst Drive from Local Streets to Local Collectors.* With the tie in to Audubon Hills from Briarstone, one can now access Kingsgate using a portion of Briarstone Lane, Dunlin Lane, Finch Road, and Harrow Road. Consequently, these Local Streets would now function as collectors since they will move people from local streets to other collector streets. Midhurst Drive is classified as a local collector street. This reclassification would have no impact on the existing affected streets and would simply classify the streets to a more appropriate designation. A map of these streets is included in the packet.
- 3) *Reclassify Concord Road from Kingston Pike to S. Campbell Station Road from Major Arterial to a Major Collector or a Minor Arterial.* With the construction of S. Campbell Station Road, the section of Concord Road north of S. Campbell Station Road may need to be downgraded from a major arterial.

- 4) *Add a missing section of Kingston Pike from the Town limit to Lovell Road as a Major Arterial.* This modification would correct an existing error on the Major Road Plan where this section of Kingston Pike is not currently classified. The proposed classification would be consistent with the remainder of Kingston Pike.
- 5) *Reclassify Jamestowne Boulevard from a Local Collector to a Minor Arterial.* This would reflect how the road will function in the future with a signalized intersection where a planned connecting road may be constructed into the Kingston Pike Town Center property.
- 6) *Reclassify Grigsby Chapel Road and Smith Road from Kingston Pike to Fretz Road from Major Collector to Minor Arterial.* This route currently functions more as a minor arterial than a major collector since it collects traffic from collector streets (Boring Road and Smith Road west) and transports traffic from one major arterial (Kingston Pike) to another major arterial (N. Campbell Station Road).
- 7) *Removing the west side of Campbell Lakes Drive as a future road.* Given the placement of dwelling units in Farragut Commons and Chapel Point and the presence of sizable jurisdictional wetlands and floodplain, this connection is very unlikely and should be removed.
- 8) *Removing the connector that is shown east of the N. Campbell Station Road interchange.* This connector is no longer necessary given the improvement of Snyder Road and Outlet Drive.

Based on last month's discussion of cross sections and this month's discussion of the street classifications on the Major Road Plan, the staff will work on the collector and possibly minor arterial streets to create proposed complete street cross sections that will become part of the ordinance that will update the Major Road Plan. An interactive map will be created so that when someone goes to the Major Road Plan on the Town's web site and clicks on a non-local street, it will identify the adopted complete street cross section for that road or section of road. This will also aid the Town and developers in the future so that it is clear as to what the expectations are when a road is improved.

At last month's Planning Commission meeting, 8 different hypothetical complete street cross sections for collector streets with 60 foot rights of ways were shown (please note that these did not include curb and gutter and will need to be adjusted to take this into consideration). Commissioners were given labels with the following streets: Allen Kirby Road, Dixon Road, Smith Road (west), Boring Road, Evans Road, Boyd Station Road, Herron Road, Union Road (west), and Sonja Drive. For each street, Commissioners placed the street label on the cross section that they felt should be promoted for that particular street.

Of the 8 cross sections, only 2 were identified as desirable for the streets in question. Those cross sections were "Collector B" and "Collector H" and these are included in your packet. Collector B includes a 12 foot multi-use path on one side with a 10 foot planting strip, two 12 (or possibly 11) foot travel lanes, a 6 foot planting strip on the other side of the street, and an 8 foot sidewalk or walking path. Collector B was selected as the unanimous choice for Allen Kirby Road, Dixon Road, Boring Road, and Union Road (west). Collector B also received the majority of votes for Boyd Station Road and Herron Road.

Collector H was the other cross section that received some votes. This cross section includes a 12 foot multi-use path on one side with a 10 foot planting strip, a 12 (or possibly 11) foot travel lane, a 6 foot landscaped median, a 12 (or possibly 11) foot travel lane, a 2 foot protected barrier, and a 6 foot bike lane. Collector H was selected as the most desirable cross section for Smith Road (west), Evans Road, and Sonja Drive.

Depending on how the Major Road Plan discussion evolves, additional cross sections will need to be considered for Virtue Road and Smith Road from Kingston Pike to Smith Road west. Boyd Station Road

may also change if its classification is changed. This section of road, however, is constrained to the south by the railroad right of way.

Also at last month's Planning Commission meeting, Commissioners were asked to rank in importance 7 different key elements of design (as these elements would relate to public rights of ways). Those elements included bike lanes, decorative street lighting, lane widths, medians, pedestrian facilities, planting strips, and street trees. A copy of this form is included in your packet. The top 3 elements that were identified were lane widths, pedestrian facilities, and street trees.

ARTICLE III. GENERAL REQUIREMENTS AND MINIMUM STANDARDS OF DESIGN

A. Streets

1. Conformity to the Major Thoroughfare Plan

The location and width of all streets and roads shall conform to the official Major Thoroughfare Plan which includes the Major Street Plan within the municipality and the Major Road Plan within the remainder of the jurisdiction.

2. Relation to Adjoining Street System

The proposed street system shall extend existing streets within proposed projects at the same or greater width, but in no case less than the required minimum width.

3. Access Streets to Subdivision Boundaries

Sufficient access streets to adjoining properties shall be provided in subdivisions to permit harmonious development of the area.

4. Right-of-Way and Pavement widths

The minimum width of any right-of-way is measured from lot line to lot line. The width of pavement is measured from pavement edge to pavement edge, thus excluding the gutter and curb section. Standards for both right-of-way and lane width for applications falling within the jurisdiction of these regulations shall not be less than as follows:

a. Major Arterial Streets

right-of-way	100 feet
curb & gutter (TDOT 6-30)	30 inches
lane width	12 feet*

*Reduction in lane width may be permitted due to existing conditions based on the recommendation of the Town Engineer.

Such streets are used primarily for fast or heavy traffic and are located on the Major Road Plan. Turn lanes may be required by the planning commission if warranted by the Traffic Impact Study.

b. Minor Arterial Streets

right-of-way	80 feet
curb & gutter (TDOT 6-30)	30 inches
lane width	12 feet*

*Reduction in lane width may be permitted due to existing conditions based on the recommendation of the Town Engineer.

Such streets are used primarily to handle moderate to high traffic speeds and volumes. These streets should be reflected on the Major Road Plan. Turn lanes may be required by the planning commission if warranted by the Traffic Impact Study.

The Planning Commission may, at the recommendation of the Town Engineer, elect to allow three (3) twelve (12) foot lanes distributed as follows:

right-of-way	70 feet
curb & gutter (TDOT 6-30)	30 inches
lane width	12 feet*

c. Major Collector Streets

right-of-way	60 feet
curb & gutter (TDOT 6-30)	30 inches
lane width	12 feet

Such streets are used primarily to carry slow to moderate traffic speeds and volumes. These streets act primarily as the transition between local traffic and through traffic. These streets should be reflected on the Major Road Plan. Turn lanes may be required by the planning commission if warranted by the Traffic Impact Study.

d. Local Collector Streets

right-of-way	50 feet
curb, extruded	8 inches
lane width	13 feet

Such streets are used primarily to carry slow traffic speeds and volumes. The streets primarily serve the internal movements of residential areas to Major Collector Status Streets. These streets should be reflected on the Major Road Plan. Turn lanes may be required by the planning commission if warranted by the Traffic Impact.

e. Local Streets

right-of-way	50 feet
curb, extruded	8 inches
curb, rolled	24 inches
(multi-family residential)	
lane width	13 feet

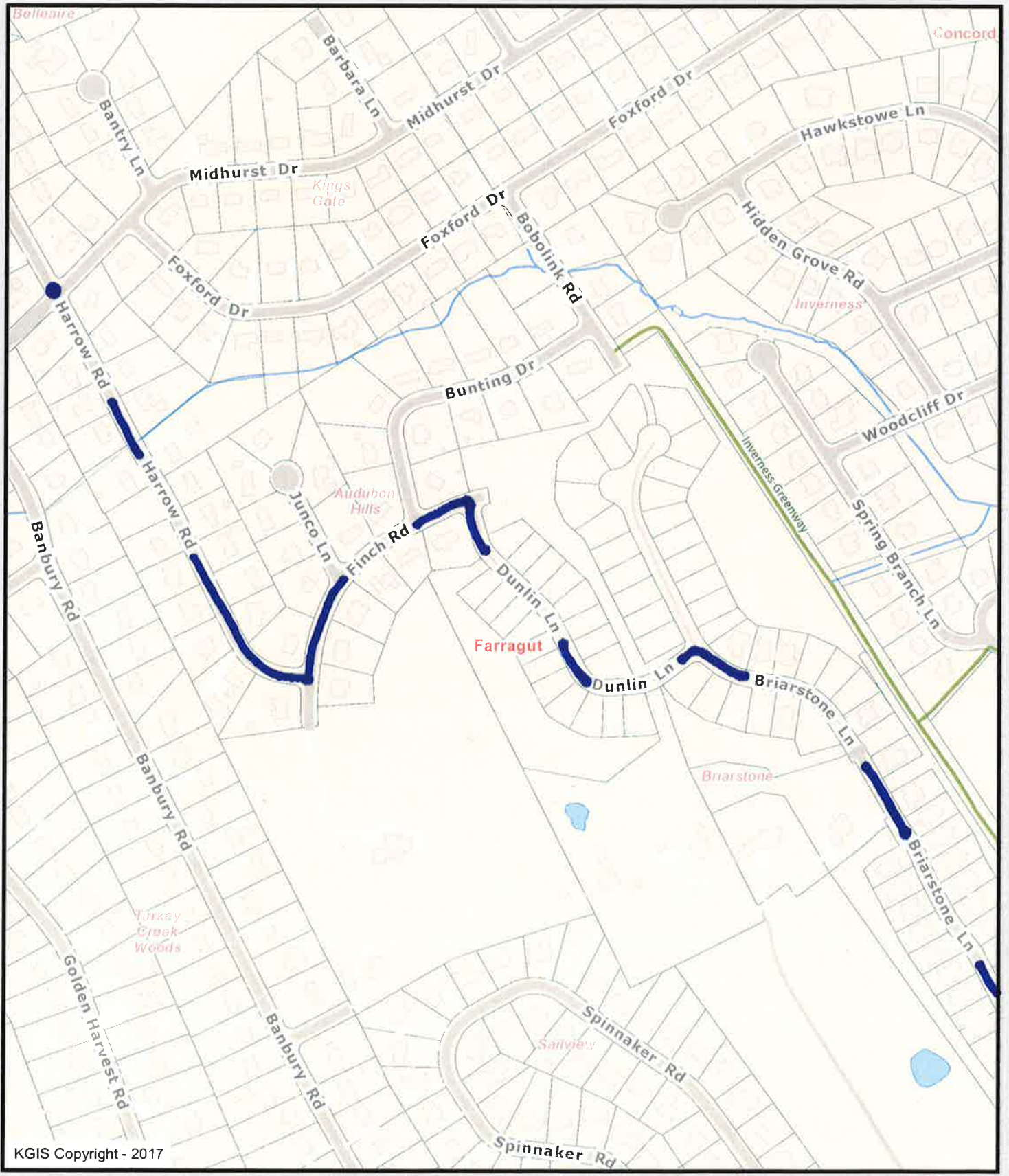
Such streets are used primarily to serve individual residential lots. Typically, both speeds and volumes are very slow. In such cases where local streets intersect with arterial or major collector streets, the planning commission may require a twelve (12) foot center lane if warranted by the Traffic Impact Study.

f. Frontage Roads

right-of-way	40 feet
pavement width	30 feet
curb, extruded	8 inches

Typically, access or frontage roads are used in commercial and/or multi-family developments to facilitate internal traffic movements or reduce the overall number of curb cuts to higher status streets. Such frontage roads shall conform to the radius requirements, at points of ingress and egress, on arterial streets.

NOTE: In extreme cases where topography or other physical conditions make a street of the required minimum width impractical, the planning commission may modify the above referenced requirements. However, through proposed neighborhood or local business areas, the street right-of-way width may be increased eleven (11) feet on each side to provide for movement of vehicles into and out of necessary

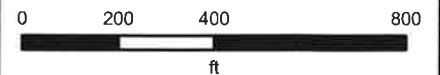


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Letter Portrait

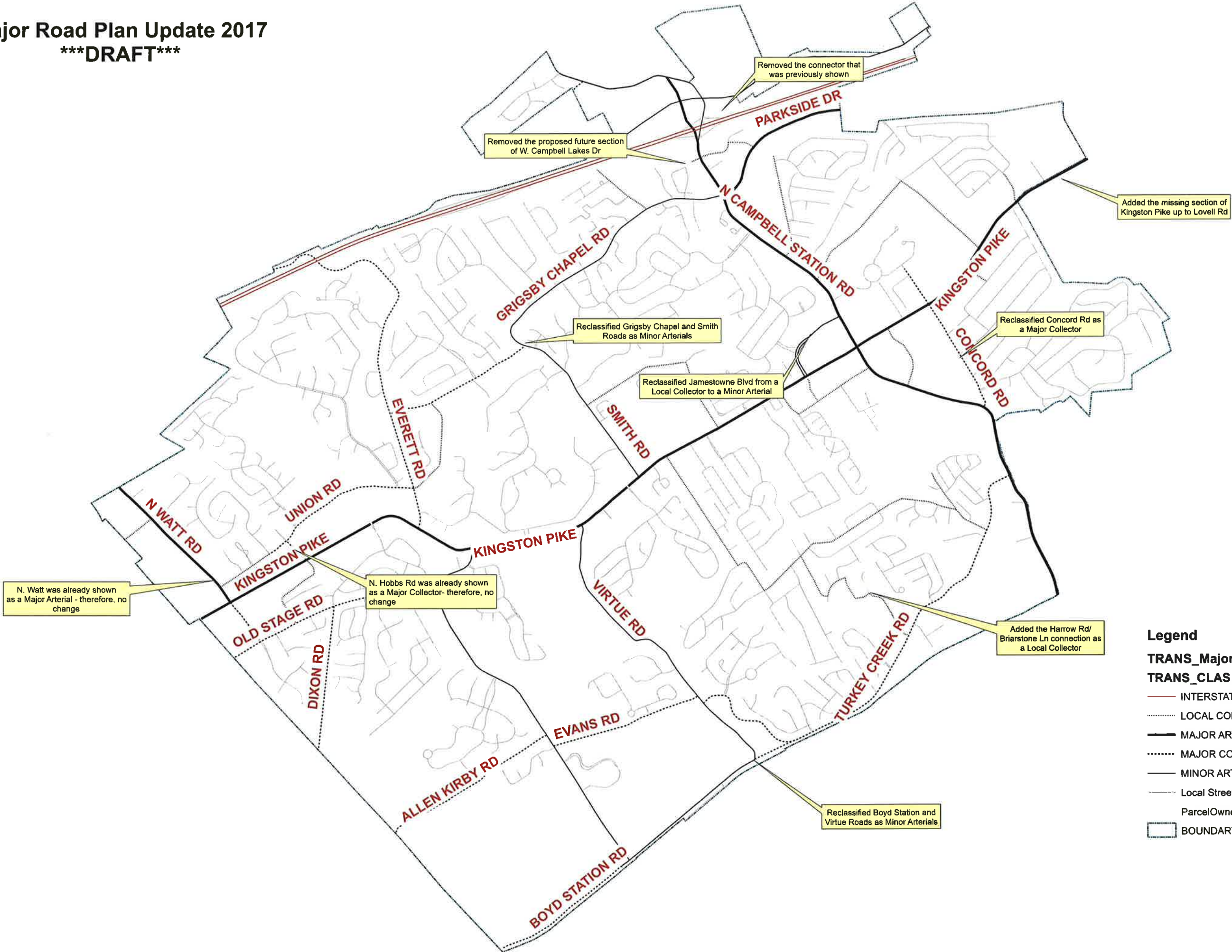
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Major Road Plan Update 2017
DRAFT



Legend

TRANS_MajorRoad_2017_TOF

TRANS_CLAS

- INTERSTATE
- LOCAL COLLECTOR
- MAJOR ARTERIAL
- MAJOR COLLECTOR
- MINOR ARTERIAL
- Local Street
- ParcelOwners_TOF
- BOUNDARY_TOF

MAJOR ROAD PLAN
FARRAGUT, TENNESSEE

FUNCTIONAL CLASSIFICATION

- INTERSTATE
- MAJOR ARTERIAL
- MINOR ARTERIAL
- MAJOR COLLECTOR
- LOCAL COLLECTOR
- LOCAL STREET

ADOPTED BY THE FARRAGUT MUNICIPAL PLANNING COMMISSION

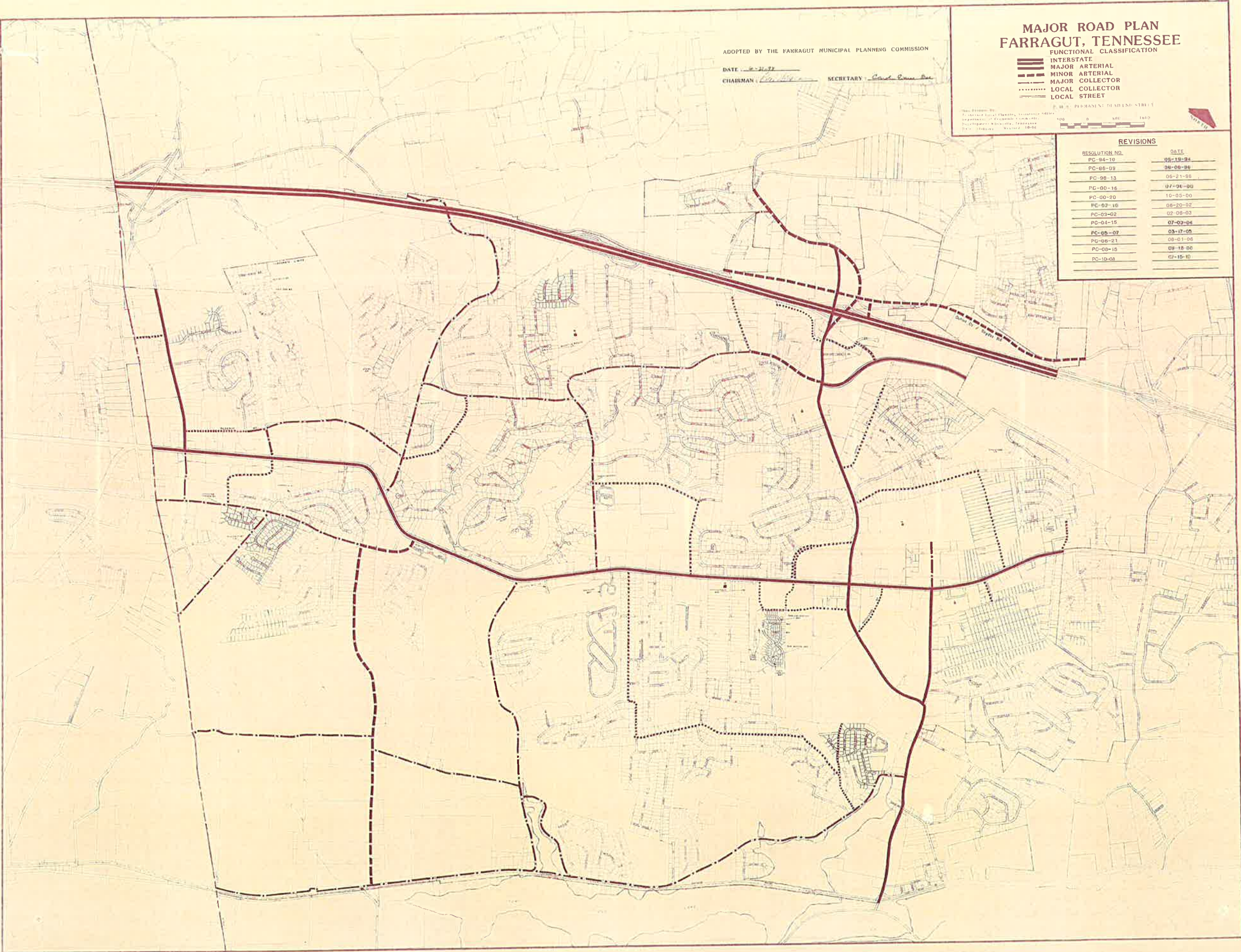
DATE 6-21-99
CHAIRMAN Chas. H. Hester SECRETARY Carol Ann Orr

Prepared by:
Farragut Local Planning Association
Department of Planning & Community
Development, Knoxville, Tennessee
Date: 6/21/99 Revised: 10/99

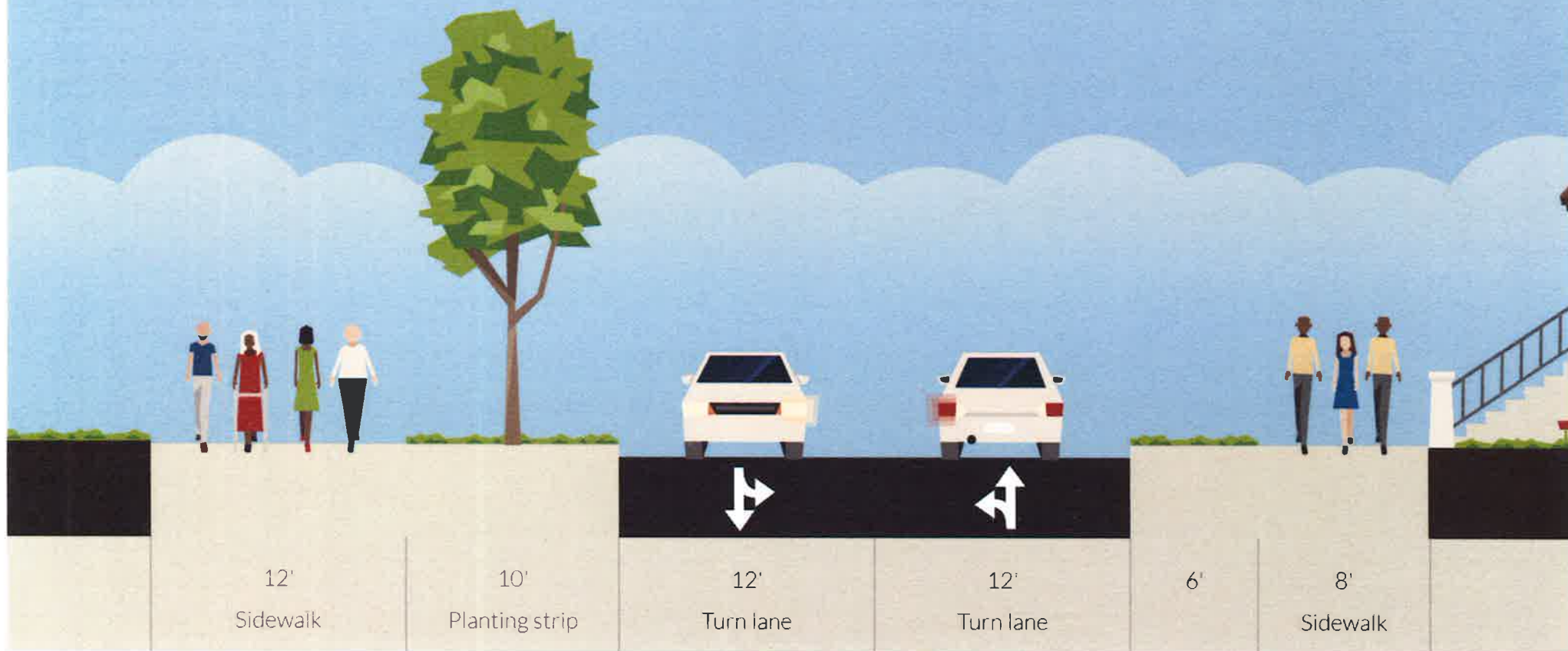


REVISIONS

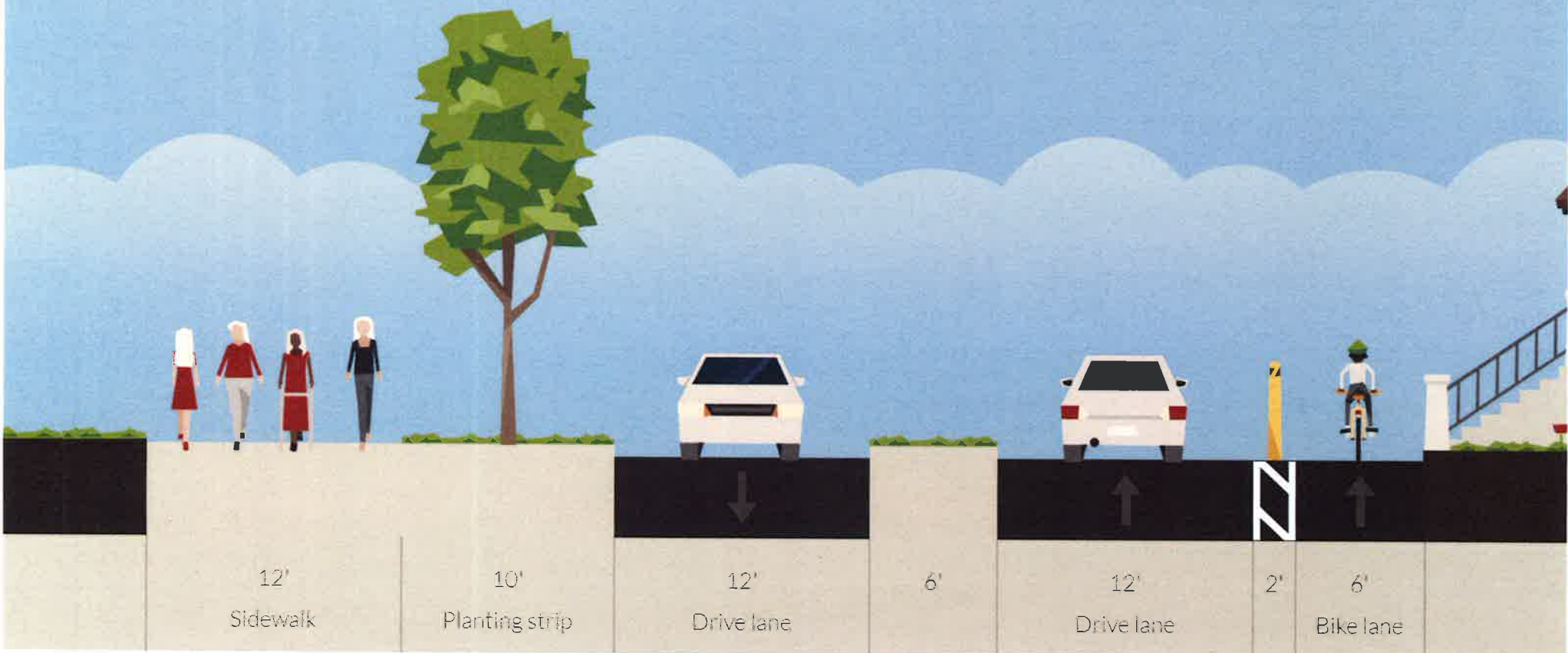
RESOLUTION NO.	DATE
PC-94-10	05-19-94
PC-96-09	06-06-96
PC-98-13	06-21-98
PC-00-16	07-26-00
PC-00-20	10-05-00
PC-02-10	06-20-02
PC-03-02	02-08-03
PC-04-15	07-02-04
PC-05-07	03-17-05
PG-06-21	06-01-06
PC-08-15	03-15-08
PC-10-08	07-15-10



Collector (b) No Median



Collector (h)



Pedestrian and Bicycle Plan Exercise

Definitions:

Major Collector

Such streets are used primarily to carry slow to moderate traffic speeds and volumes. These streets act primarily as the transition between local traffic and through traffic. These streets should be reflected on the major road plan. Turn lands may be required by the Planning Commission if warranted by the traffic impact study.

Local Collector

Streets are used primarily for slow traffic speeds and volumes. The streets primarily serve the internal movements of residential areas to major collector status streets. These streets should be reflected on the major road plan. Turn lanes may be required by the Planning Commission if warranted by the traffic impact study.

Assumption:

60-foot Right-of-Way

Key Elements of Design to Consider:

Bike lanes
Decorative Street Lighting
Lane width
Medians
Pedestrian facilities
Planting strips
Street Trees

Rank from 1-7 the Key Elements of Design:

(1 – Most Important, 7 – Least Important)

- _____ Bike lanes
- _____ Decorative Street Lighting
- _____ Lane width
- _____ Medians
- _____ Pedestrian facilities
- _____ Planting strips
- _____ Street Trees

Are there other elements to consider?
