



**AGENDA
FARRAGUT MUNICIPAL PLANNING COMMISSION**

**November 16, 2017
7:00 p.m. Farragut Town Hall**

For questions please e-mail Mark Shipley at mshipley@townoffarragut.org

- 1. Citizen Forum**
- 2. Approval of agenda**
- 3. Approval of minutes – October 19, 2017**
- 4. Discussion and public hearing on a resubdivision plat involving Parcels 78.03, 79, 80, 81, and a part of Parcels 95, 95.01, 96, 96.01, and 97 as shown on Tax Map 151, Zoned PCD and R-1, 26.4 Acres (Beginning Point Land Surveying, LLC, Applicant)**
- 5. Discussion and public hearing on a preliminary plat for the Old Stage Farms Subdivision, Parcel 105.02, Tax Map 151, Zoned R-2, 5.64 Acres, 9 Lots (Urban Engineering, Applicant)**
- 6. Discussion and public hearing on a request for a right in and right out access onto Kingston Pike associated with a new office building at 12640 Kingston Pike, Zoned C-1, .68 Acres (GBS Engineering, Mark Bialik, Applicant)**
- 7. Discussion and public hearing on a site plan for a new office building at 12640 Kingston Pike, Zoned C-1, .68 Acres (GBS Engineering, Mark Bialik, Applicant)**
- 8. Discussion and public hearing on a request to correct an error in the zoning designation for the property at 12603 Evans Road to change the designation from R-1, Rural Residential, to A, Agricultural (Town of Farragut, Applicant)**
- 9. Discussion on a concept site plan for a restaurant proposed on Parcel 63.08, Tax Map 151 (western outparcel in front of Renaissance Farragut), Zoned C-1, 1.34 Acres (GBS Engineering, Mark Bialik, Applicant)**
- 10. Discussion on amendments to the Farragut Subdivision Regulations concerning standards for certain public improvements**

11408 MUNICIPAL CENTER DRIVE | FARRAGUT, TN 37934 | 865.966.7057

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It is the policy of the Town of Farragut not to discriminate on the basis of race, color, national origin, age, sex, or disability pursuant to Title VI of the Civil Rights Act of 1964, Public Law 93-112 and 101-336 in its hiring, employment practices and programs. To request accommodations due to disabilities, please call 865-966-7057 in advance of the meeting.



**MINUTES
FARRAGUT MUNICIPAL PLANNING COMMISSION**

October 19, 2017

MEMBERS PRESENT

Rita Holladay, Chairman
Ed St. Clair, Vice-Chairman
Ed Whiting, Secretary
Ralph McGill, Mayor
Louise Povlin, Alderman
Noah Myers
Betty Dick
Rose Ann Kile
Drew Carson
Jack Coker, Youth Representative

MEMBERS ABSENT

Staff Representatives: Mark Shipley, Community Development Director
Bart Hose, Assistant Community Development Director

Chairman Holladay called the meeting to order at 7 p.m.

1. CITIZEN FORUM

Chairman Holladay announced that Gary Palmer was leaving his position at the Town to take a new position for the City of Roswell, Georgia as Town Administrator.

2. APPROVAL OF AGENDA

A motion was made by Commissioner St. Clair to approve the agenda with the recommendation that Items 5 and 6 be postponed due to a lack of information. The motion was seconded by Commissioner Kile and the motion passed unanimously.

3. APPROVAL OF MINUTES

A motion was made by Commissioner Povlin to approve the September 21, 2017 minutes. The motion was seconded by Commissioner Dick and the motion passed unanimously with Commissioners Myers and Carson abstaining due to being absent.

4. DISCUSSION AND PUBLIC HEARING ON A SITE PLAN FOR A PROPOSED STORAGE BUILDING TO BE LOCATED ON THE TOWN OF FARRAGUT OUTDOOR CLASSROOM PROPERTY AT 220 N. CAMPBELL STATION ROAD AS PART OF AN EAGLE SCOUT PROJECT (Will Harry, Applicant)

Staff recommended approval subject to the following:

- 1) Ensuring that the project is consistent with the objectives of the Outdoor Classroom project area. For example, provide for the use of rainwater harvesting from the roof and the use of materials (e.g. repurposed planks from barns that have been taken down) that have a sustainability component;
- 2) Obtaining a building permit; and
- 3) Please ensure that all required supplies are included in the budget.

A motion was made by Commissioner Myers to approve the site plan subject to the staffs' recommendation. The motion was seconded by Commissioner St. Clair and the motion passed unanimously.

5. DISCUSSION AND PUBLIC HEARING ON THE EXTENSION OF FIBER LINE AND RELATED STRUCTURES FOR COMCAST ALONG PARKSIDE DRIVE AND WITHIN THE UTILITY EASEMENT ABUTTING I40/75 NORTH OF PARKSIDE DRIVE (Comcast Cable, Applicant)

This item was removed from the agenda under Agenda Item #2.

6. DISCUSSION AND PUBLIC HEARING ON A SITE PLAN FOR A NEW OFFICE BUILDING AT 12640 KINGSTON PIKE, ZONED C-1, .68 ACRES (GBS Engineering, Mark Bialik, Applicant)

This item was removed from the agenda under Agenda Item #2.

7. DISCUSSION ON A REQUEST TO RE-ADOPT THE FARRAGUT ZONING MAP TO CORRECT AN ERROR IN THE ZONING DESIGNATION FOR THE PROPERTY AT 12603 EVANS ROAD TO CHANGE THE DESIGNATION FROM R-1, RURAL RESIDENTIAL, TO A, AGRICULTURAL (Town of Farragut, Applicant)

For discussion purposes.

8. DISCUSSION ON A REQUEST FOR A ZONING MAP AMENDMENT FOR THE PROPERTY LOCATED AT 13033 FLEENOR ROAD TO CHANGE THE ZONING DISTRICT FROM R-1, RURAL RESIDENTIAL TO C-1, GENERAL COMMERCIAL, 1.1 ACRES (Robert G. Byrd, Applicant)

For discussion purposes.

9. DISCUSSION ON PERMITTED USES IN COMMERCIAL ZONING DISTRICTS AND WHETHER ANY SHOULD BE REMOVED OR SUBJECT TO NEW PARAMETERS (Town of Farragut, Applicant)

For discussion purposes.

ADJOURNMENT

The meeting adjourned at 8:32 p.m.

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on a resubdivision plat involving Parcels 78.03, 79, 80, 81, and a part of Parcels 95, 95.01, 96, 96.01, and 97 as shown on Tax Map 151, Zoned PCD and R-1, 26.4 Acres (Beginning Point Land Surveying, LLC, Applicant)

INTRODUCTION AND BACKGROUND: The purpose of this resubdivision plat is to combine parcels and portions of parcels that will become the planned commercial development that was recently approved for rezoning at the west intersection of S. Watt Road and Kingston Pike. The resubdivision also affects property within Loudon County, and will have to be approved by the Loudon County Planning Commission.

RECOMMENDATION: Included in your packet is a copy of the staffs' comments on the initial plat that was submitted. Also included is a copy of a revised plat and a comment response letter from the surveyor intended to address the staffs' initial comments. The staff will make a recommendation at the meeting based on whether the initial comments have been addressed on the revised plat.

October 25, 2017

Mr. Daniel Humphreys
Beginning Point Land Surveying, LLC
234 Ladd Ridge Road
Kingston, TN 37763
Rls2060@comcast.net

**SUBJECT: STAFF COMMENTS ON THE RESUBDIVISION PLAT TO
CREATE THE PARCEL THAT WILL BECOME THE PLANNED
COMMERCIAL DEVELOPMENT AT S. WATT ROAD AND
KINGSTON PIKE**

Dear Daniel:

The Town staff has reviewed the above referenced plat for compliance with the Town's regulations. Please address these comments and resubmit three (3) 18x24 plat sheets to the Town Hall for re-review by no later than Monday, November 6 in order to be included on the Planning Commission agenda for their next meeting on November 16. When the plat is resubmitted, please include a letter which addresses these comments and that indicates where the information can be found on the plat sheets.

Planning Division: (Contact Mark Shipley at mshipley@townoffarragut.org or Bart Hose at bhose@townoffarragut.org)

1. Please include all tax map and parcel information;
2. Does this subdivision have a name at this point?
3. Please include the name of the person that represents Watt Road Investments, LLC and their e-mail address;
4. Please include as a numbered note the purpose of this plat;
5. A pedestrian facility is required (where it is not already provided) to be constructed along the public street frontages. If the plat is desired to be recorded prior to the completion of these pedestrian facilities, a completion letter of credit shall be provided to ensure such completion within the next 12 months;
6. Please include the correct zoning classifications and setbacks for all affected properties. Lot 1, for example, is now zoned PCD, Planned Commercial Development. Also, what are the zoning designations for Lots 2-5?
7. Please use the standard easement note that is provided for in the Farragut Subdivision Regulations;
8. Please show old acreages and lot #'s in parentheses;
9. Please show the correct dedication of right of way along all abutting public streets;
10. You may need more signature lines for the owners involved in this resubdivision;
11. Please show any existing buildings and structures and note any demolitions or removals;
12. On the Flood Certification please note whether the subject properties are within a special flood hazard area;

13. Please clarify how the covenants and restrictions and common areas are being addressed;
14. This plat involves lands in Loudon County. The county line should be shown on the plat, and the plat will also need to be approved by the Loudon County Planning Commission.
15. The title block lists only one owner but the subdivision involves two (see lot 2).
16. There is no address listed for the second affected land owner (see lot 2).
17. The acreages of the original (old) lots is not included.
18. The plat does not address required open-space dedication (10% open space).
19. There is a natural drainage way extending across the property, from Loudon Co. eastward to and under Watt Road. A drainage easement should be platted.
20. What is the purpose of the strip of land fronting on Old Stage Road owned by Ronald Woody, does it affect this resubdivision/replat?
21. The legend is incomplete but there is enough information on the plat to discern needed information.

In addition to the e-mail address provided above you may also call me or Bart Hose at 865-966-7057 if you have any questions on the above items. Unless specified otherwise, please include all requested information on the plans. Thank you for your assistance.

Sincerely,

Mark Shipley, AICP
Community Development Director



RECEIVED

NOV 6 2017

TOWN OF FARRAGUT

November 5, 2017

Mr. Mark Shipley, Community Development Director
Town of Farragut
11408 Municipal Center Drive
Knoxville, Tennessee 37934

Mark,

Please find attached BPLS responses to the comments on the Final Plat of Watt Road Investments, LLC by the Town of Farragut.

1. The tax map and parcels were already listed on each parcel, I added it a plat note #4.
2. The name of the subdivision is "Watt Road Investments, LLC
3. Tyler Lindsey and his email is tylera.lindsey@gmail.com
4. Added plat note #5.
5. Noted
6. The correct zoning as added to plat note #3.
7. Revised the standard easement note.
8. Added old acreages and Lot numbers to the plat
9. Corrected right of way widths.
10. Added a third ownership certification
11. Added all buildings
12. The flood map for this area is not printed, assumed it is Zone "X", added to the certification.
13. Noted
14. Scaled the county line and added it the plat.
15. Added second owners information
16. See 15
17. See 8
18. Added a note to the plat.
19. Added drainage easement
20. This surveyor has no idea what the purpose of strip of land fronting on Old Stage Road. It was not part of this project
21. Noted

Sincerely,

Daniel P. Humphreys, RLS

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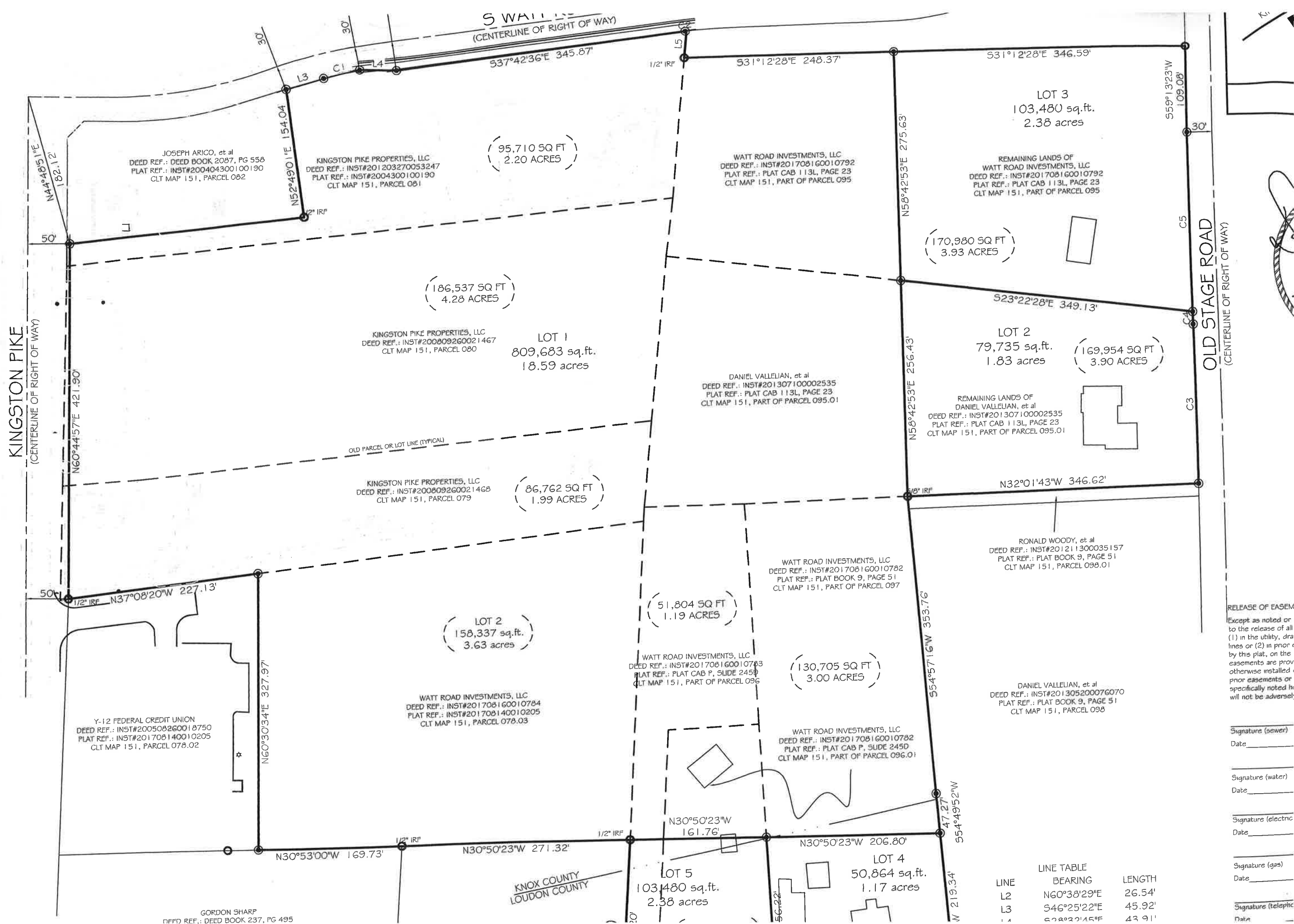
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or recording in the



CERTIFICATE OF OWNERSHIP AND DEDICATION

I (we) hereby certify that I am (we are) the owner(s) of the property shown and described hereon as evidenced in Book Number _____, page _____, County Registers Office, and that I (we) hereby adopt this plan of subdivision with my (our) free consent, establish the minimum building restriction lines, and dedicate all streets, alleys, walks, parks, and other open space to public or private use as noted.

Date _____

Owner _____

CERTIFICATE OF OWNERSHIP AND DEDICATION

I (we) hereby certify that I am (we are) the owner(s) of the property shown and described hereon as evidenced in Book Number _____, page _____, County Registers Office, and that I (we) hereby adopt this plan of subdivision with my (our) free consent, establish the minimum building restriction lines, and dedicate all streets, alleys, walks, parks, and other open space to public or private use as noted.

Date _____

Owner _____

CERTIFICATE OF APPROVAL OF WATER SYSTEM

I hereby certify that it has been certified to us that the water system(s) outlined or indicated on the final subdivision plat entitled _____ have been installed in accordance with current local and state government requirements.

Date _____

Name, Title, and Agency of Authorized Approving Agent _____

CERTIFICATE OF GAS, ELECTRIC AND TELEPHONE AVAILABILITY

This is to certify that every lot within this subdivision has available to it a source for the service identified by signature(s) below which service source is adequate to accommodate the reasonable needs of such lot as to such service within such subdivision.

Date _____

GAS - Name, Title, and Agency of Authorized Approving Agent _____

Date _____

ELECTRIC - Name, Title, and Agency of Authorized Approving Agent _____

Date _____

TELEPHONE - Name, Title, and Agency of Authorized Approving Agent _____

CERTIFICATE FOR STREET APPROVAL

I certify that streets, sidewalks, and other required improvements have been installed in an acceptable manner and according to Town specifications, or that a security bond in the amount of \$ _____ has been posted with the Planning Commission to assure completion of all required improvements in case of default. Streets are public streets maintained at public expense.

Date _____

Town Engineer License No.: _____

CERTIFICATE OF APPROVAL OF STREET NAMES

This is to certify that the subdivision shown hereon has been reviewed for compliance with the Knox County Uniform Street Naming & Addressing System Ordinance, and the road names are hereby approved for recording.

Knox County Addressing Division _____

Date _____

CERTIFICATE OF WATER AND SEWER AVAILABILITY

I hereby certify that every lot within this resubdivision has available to it water and sewer service that is adequate to accommodate the reasonable needs of such lots.

Date _____

Name, Title, and Agency of Authorized Approving Agent _____

CERTIFICATE OF APPROVAL FOR RECORDING

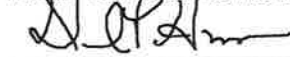
I hereby certify that the subdivision plat shown here has been found to comply with the Subdivision Regulations for Farragut, Tennessee, with the exception of such variances, if any, as are noted in the minutes of the Planning Commission and that it has been approved for recording in the Office of the County Register of Deeds.

Date _____

Secretary, Planning Commission _____

FLOOD CERTIFICATION

I have consulted the Federal Insurance Administration Flood Hazard Boundary Map# 47093C035 IF, Dated May 2, 2007--MAP NOT PRINTED - ALL PARCELS ARE IN ZONE "X"


DANIEL P. HUMPHREYS P.L.S.
Tennessee Reg. No. 2060

10/16/17
DATE

CERTIFICATE OF SURVEY ACCURACY

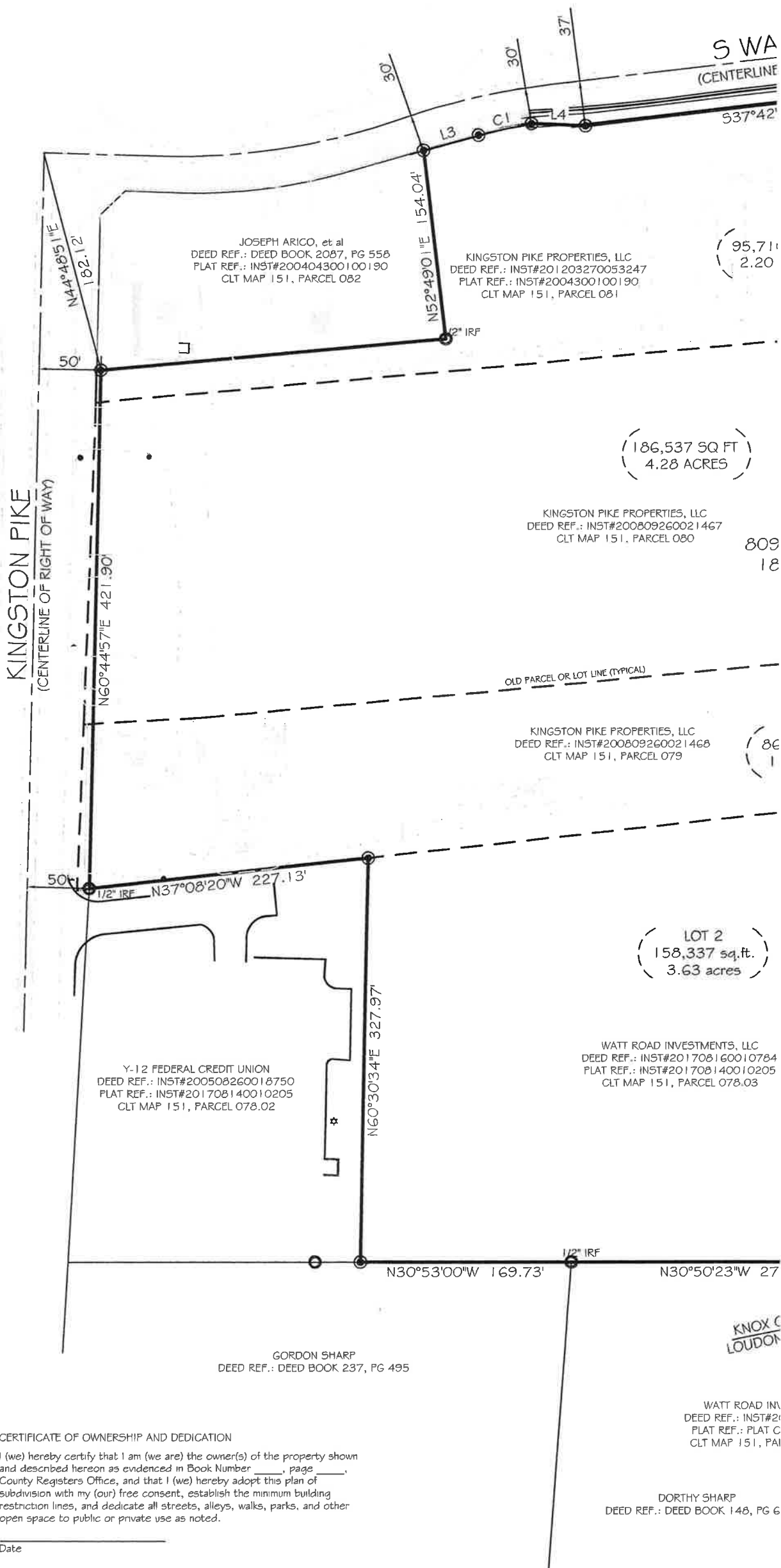
I hereby certify that the plan shown and described hereon is a true and correct survey to the accuracy required by the Farragut Municipal Planning Commission and that the monuments have been placed as shown hereon, to the specification of the Subdivision Regulations. This is a Category I Land Survey and the ratio of precision of the unadjusted survey is equal to or greater than 1:10,000.

10/16/17
Date


Registered Surveyor # 2060

NOTES:

1. A FIVE (5) FOOT UTILITY, DRAINAGE AND CONSTRUCTION EASEMENT ON EACH SIDE OF INTERIOR LOT LINES, A TEN (10) FOOT UTILITY, DRAINAGE AND CONSTRUCTION EASEMENT ON INSIDE OF ROPAD RIGHT OF WAYS AND EXTERIOR LOT LINES.
2. FIVE LOTS - 1,149,918 SQ FT OR 26.40 ACRES - TOTAL
3. ZONING - LOT 1 - PCD. LOTS 2-5, R-1. SETBACKS ARE PER THE TOWN OF FARRAGUT ZONING ORDINANCE.
4. CLT MAP 151, PARCELS 78.03, 81, 82, 95, 95.01, 96 & 97
5. THE PURPOSE OF THIS PLAT IS TO CREATE LOTS 1-5 OF THE WATT ROAD INVESTMENTS, LLC SUBDIVISION
6. THE LOUDON COUNTY/KNOX COUNTY LINE WAS SCALED FROM THE KGIS.



CERTIFICATE OF OWNERSHIP AND DEDICATION

I (we) hereby certify that I am (we are) the owner(s) of the property shown and described hereon as evidenced in Book Number _____, page _____, County Registers Office, and that I (we) hereby adopt this plan of subdivision with my (our) free consent, establish the minimum building restriction lines, and dedicate all streets, alleys, walks, parks, and other open space to public or private use as noted.

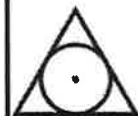
Date _____

Owner _____

LEGEND

- PROPERTY CORNERS AS NOTED
- 5/8" IRON ROD SET

GRAPHIC SCALE



BEGINNING POINT
LAND SURVEYING

Watt
Road Investments, LLC

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on a preliminary plat for the Old Stage Farms Subdivision, Parcel 105.02, Tax Map 151, Zoned R-2, 5.64 Acres, 9 Lots (Urban Engineering, Applicant))

INTRODUCTION AND BACKGROUND: This item involves a preliminary plat for a small subdivision off Old Stage Road between Phases I and IV of the Fort West Subdivision. The existing house on this lot will be removed. This is the same property that a different developer had submitted for a concept plan review at the March 2017 Planning Commission meeting. That developer decided not to proceed, and a different developer is now requesting approval for the preliminary plat that is included in your packet.

DISCUSSION: This plat includes 7 house lots and 2 open space lots. A sidewalk is proposed along the east side of the subdivision street that will connect to an existing sidewalk along Old Stage Road. The sidewalk will transition into a walking trail that would be constructed on an open space lot and that would stub into a corner of the Fort West Subdivision that is owned by the Fort West Homeowners Association. Though the walking trail that is proposed may never be extended into Fort West, having a trail stub to the property would provide for an opportunity for Fort West residents to access the pedestrian facilities along Old Stage Road without having to walk along the busy streets of Lawton Boulevard or Long Bow Road.

Also, in relation to the pedestrian facilities, as requested by the staff, the applicant has increased the grass strip width from 3 feet to 6 feet in order to provide for a more viable opportunity to add street trees between the curb and the edge of the sidewalk. Given the short length of the street and the fact that, due to an existing built out condition around the property, the street will not be extended into other properties, the applicant is also proposing a 22 foot wide street instead of the required 26 foot wide street. This width would still provide for on street parking if desired and would generally be more appropriate for this small street section. This reduced street width will require a separate vote on a variance from the lane width requirements from 13 feet to 11 feet per lane.

RECOMMENDATION: Included in your packet is a copy of the staffs' comments on the original preliminary plat. Also included is a copy of the revised preliminary plat and comment response letter. After visiting the property, one significant comment the staff would have is regarding what measures could be taken to save a specimen 46 inch oak tree that is situated on what would be Lot 2. This property has a number of very nice trees and a large sinkhole. Though it would require a rezoning, the property would be, in the staffs' view, a good candidate for an OSR overlay which, in turn, could provide the flexibility necessary to save the 46 inch oak and possibly other high quality trees on the property. This overlay could also potentially provide the developer with an additional house lot.

October 25, 2017

Mr. Chris Sharp
Urban Engineering
11852 Kingston Pike
Farragut, TN 37934
uei@tds.net

**SUBJECT: STAFF COMMENTS ON THE PRELIMINARY PLAT FOR THE OLD
STAGE FARMS SUBDIVISION OFF OLD STAGE ROAD**

Dear Chris:

The staff has reviewed the preliminary plat for the Old Stage Farms Subdivision off Old Stage Road and compiled the comments below. If you could please address these comments and submit four (4) full size copies and one (1) 11" x 17" reduced set to the Farragut Town Hall **Monday, November 6, 2017** I would appreciate it. Also, upon resubmittal, please include a letter which addresses these comments and that indicates where the information can be found on the plans.

This item will be discussed at the Staff/Developer Meeting at the Farragut Town Hall on Tuesday, October 31, at 10:30 a.m. The purpose of this meeting is to discuss questions you may have on staff comments. Modifications to the plans are not due until Monday, November 6.

Fire Division: (Contact Dan Johnson at djohnson@townoffarragut.org)

- 1) Please provide a fire hydrant at the entrance to the development;
- 2) Please provide fire hydrant flow data for the existing fire hydrant closest to the proposed new tap for service;
- 3) Roadway widths are not adequate. One option is providing a mountable curb/gutter combination to extend drivable width surface;

Planning Division: (Contact Mark Shipley at mshipley@townoffarragut.org) or Bart Hose at bhose@townoffarragut.org)

- 4) A separate request will be needed for a variance from the street width requirements in the Subdivision Regulations for local streets. The requirement is 26 feet and the plat shows a street that is 22 feet in width;
- 5) The FFE of any habitable structure located within a sinkhole drainage area or a sinkhole area shall be at least one (1) foot above the sinkhole lip elevation. Note 22 on Sheet 3 may need to be re-visited;
- 6) Please label the sinkhole lip elevation and include elevations for the contour lines;
- 7) Please clarify that the street lights will have break away posts;
- 8) FUD must sign off on Sheets 8-10;
- 9) Please consider providing for the ability to add street trees by increasing the grass strip width from 3 to 6 feet and modify the plans accordingly, including detail 4 on Sheet 10. This is a standard that the Town is moving toward and will possibly be requiring in the

future. This would help avoid some problems that property owners are having with street trees damaging adjacent sidewalks;

- 10) Please consider having a landscape center for the cul-de-sac bulb. This would add some visual interest to this short street section;
- 11) Please show the walking trail terminating at the Fort West HOA property in the southeast corner of the development;
- 12) Please show all trees based on their existing drip lines. This is particularly important for those trees proposed to be saved. All activity (including any grading or filling) must be outside the drip line of trees to be saved;
- 13) Any vegetation removal within the sinkhole lip elevation must be by hand and coordinated with the Town staff. This would only be permitted for the removal of exotic invasive material and may require replanting native material;
- 14) Note #7 on Sheet 17 must be clear that any removal of vegetation on open space lots must be coordinated with the Town staff. Some of this may only be permitted with hand tools;
- 15) The plat references the R-2 setbacks, including the side yard minimum of 10 feet, total 30 feet standard. The proposed building envelopes, however, depict a typical 15-foot either side setback for the lots. The developers should decide how they want to deal with the side setbacks before the final plat to avoid confusion;
- 16) The plat sheet set does not include gas, phone, cable, or electric distribution plans. Can these systems be located to facilitate future street tree plantings in a 6-foot green space between the proposed sidewalk and the road?

Engineering Division: (Contact Darryl Smith at dsmith@townoffarragut.org)

- 17) The plans show the street to have total width of 22 feet. Our standard is 26 feet from face of curb to face of curb. The required 26' width is required to allow on-street parking on each side of the roadway, while still providing width for emergency vehicles to pass. Staff will defer to the Town's Fire Marshall if he believes variance request is reasonable on such a short street;
- 18) Radius returns at Old Stage Road should be completed with 6-30 curb & gutter. Please provide detail, and use minimum 6" gutter depth;
- 19) Minimum pipe size is 18" diameter. The 15" HDPE pipe under trail on Lot 4 should be 18" RCP;
- 20) Please provide sheets showing gas, electric, telephone and cable;
- 21) Please provide copy of NOC;
- 22) Please submit irrevocable letter of credit for erosion control for \$14,000; and
- 23) Please submit Drainage Fee of \$210.

In addition to the e-mail addresses provided above you may also call the designated staff person(s) at 865-966-7057 if you have any questions on the above items. Unless specified otherwise, please include all requested information on the plans. Thank you for your assistance.

Sincerely,

Mark Shipley, AICP
Community Development Director

Darryl Smith, PE
Town Engineer



URBAN ENGINEERING, INC.

CIVIL ENGINEERS • LAND PLANNERS • LAND SURVEYORS

November 5, 2017

Mr. Mark Shipley
Town of Farragut
11408 Municipal Center Drive
Farragut, TN 37934

Re: Old Stage Farms Preliminary Plat

Dear Mr. Shipley:

This letter is to address comments dated October 25, 2017.

Fire Division:

1. I would like to discuss this requirement at your earliest convenience.
2. We have requested fire flow data from FUD but have not received it to date. I will update Sheet C-1 after receipt of the flow information and resubmit.
3. The revised drawings propose a 6" mountable curb in lieu of the 6" non-mountable per comment. Please see Sheet C-1 and Details 4 and 5 on Sheet C-10.

Planning Division:

4. Comment noted.
5. Revised per comment. Please see the revised Note 22 on Sheet C-2.
6. Additional contour labels have been added to all plan sheets. The lip elevation is also noted on Sheet C-2 per comment.
7. Revised per comment. Please see Detail 11, Sheet C-11.
8. The water and sewer drawings have been submitted to FUD for their review. We are awaiting their comments or approval. We will submit FUD-signed drawings with our next submittal.
9. We have incorporated a 6' grass strip into the layout per comment. Please see Sheet C-1 and Detail 4, Sheet C-10.
10. At this time, the Developer is opting not to construct a central island within the cul-de-sac.
11. The walking trail alignment has been revised per comment. Please see Sheet C-1.
12. The driplines of the trees that are to be protected have been added to all plan sheets per comment.
13. Comment noted. Please see Note 8 on Sheet TP-1.
14. Revised per comment.
15. Comment noted.
16. We are awaiting plans from all utility providers. We will include their layouts in the next submittal.



URBAN ENGINEERING, INC.

CIVIL ENGINEERS • LAND PLANNERS • LAND SURVEYORS

Engineering Division:

17. The revised road section shows a mountable curb in an effort to satisfy the pavement width concern. Please see Details 4 and 5 on Sheet C-10.
18. Revised per comment. Please see Sheet C-1.
19. Revised per comment. Please see Sheet C-3.
20. We are awaiting plans from all utility providers. We will include their layouts in the next submittal.
21. We have received comments from TDOT. They are requiring an averaged 60' buffer, which has been shown on the resubmittal. We have resubmitted the corrected drawings to TDEC and will provide their NOC upon receipt.
22. LOC to be provided under separate cover.
23. Drainage Fee to be provided under separate cover.

Please do not hesitate to call if you have questions, or if I have not adequately addressed the comments.

Sincerely,

Urban Engineering, Inc.



Chris Sharp, P.E.



- PRELIMINARY PLAT NOTES:**
- UTILITY EASEMENTS WILL BE RESERVED ALONG THE AS-BUILT CENTERLINE OF DISTRIBUTION LINES LOCATED OUTSIDE THE RIGHTS-OF-WAYS AND ALONG SERVICE LINES THAT TRAVEL THROUGH MORE THAN ONE LOT. EASEMENTS TO BE RECORDED AT FINAL PLAT. EASEMENT WIDTHS ARE AS FOLLOWS:
WATER AND SEWER: 15 FEET (TOTAL)
GAS, TELEPHONE, CABLE AND ELECTRIC: 10 FEET (TOTAL)
 - THE LOCATIONS OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED ON FIELD LOCATION OF VISIBLE STRUCTURES SUCH AS CATCH BASINS, MANHOLES, WATER VALVES, ETC., AND COMPILING INFORMATION FROM PLANS SUPPLIED BY VARIOUS UTILITY COMPANIES AND GOVERNMENT AGENCIES. THE CONTRACTORS SHALL NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES AND ALSO CALL TENN ONE-CALL PRIOR TO ANY EXCAVATION WORK, TO VERIFY INFORMATION SHOWN AND DETERMINE THE LAYOUT OF THE IRRIGATION SYSTEM AND IF ADDITIONAL IMPROVEMENTS MAY EXIST.
 - WALKING TRAILS SHALL BE LOCATED WITHIN TWENTY (20) FOOT GREENWAY/WALKING TRAIL EASEMENTS UNLESS TRAIL EASEMENTS INDICATE DIFFERENT WIDTHS (AS NOTED). THE TWENTY (20) FOOT EASEMENTS SHALL BE IN FAVOR OF THE TOWN OF FARRAGUT AND RESERVED FOR PUBLIC USE. THE TOWN OF FARRAGUT SHALL ACCEPT MAINTENANCE AND LIABILITY OF USE OF SAID EASEMENTS.
 - THE BOUNDARY AND TOPOGRAPHIC SURVEY WAS PROVIDED TO URBAN ENGINEERING, INC. THE SURVEY WAS COMPLETED BY LYNCH SURVEYS LLC AND HAS NOT BEEN VERIFIED BY UET.
 - THE PROPERTY IS ZONED R-2. SETBACKS ARE AS FOLLOWS:
FRONT YARD = 30';
SIDE YARD = MIN. 10', TOTAL 30';
REAR YARD = 25';
 - 10' UTILITY, DRAINAGE AND CONSTRUCTION EASEMENT INSIDE ALL EXTERIOR BOUNDARY LINES AND ALONG ROAD RIGHTS-OF-WAY. 5' EACH SIDE ALL INTERIOR LOT LINES EXCEPT UNDER BUILDINGS.
 - PROPERTY SUBJECT TO ALL APPLICABLE EASEMENTS, SETBACKS AND RESTRICTIONS OF RECORD.
 - THE DEVELOPER'S HOMEOWNERS ASSOCIATION WILL OWN AND MAINTAIN THE OPEN SPACE AND DETENTION BASIN.
 - THE TOTAL AREA OF THE DEVELOPMENT IS 5.64 ACRES.
 - PROPOSED ASPHALT TRAILS ARE 8' IN WIDTH UNLESS OTHERWISE NOTED.
 - ALL UNITS TO HAVE 2-CAR GARAGES.
 - LOTS 4 AND 6 ARE OPEN SPACE LOTS AND ARE NON-BUILDABLE (ASIDE FROM SUBDIVISION MONUMENT SIGNS).
 - PROPOSED OPEN SPACE (EXCLUDING DETENTION AND SINKHOLE EASEMENTS) = 0.73 ACRES (12,097 S.F.).
 - LOTS BORDERING DETENTION PONDS WILL REQUIRE MINIMUM FLOOR ELEVATIONS TO BE NOTED ON THE FINAL PLAT.
 - DETENTION POND EASEMENTS WILL BE PROVIDED ON THE FINAL PLAT.
 - THE DEVELOPER WILL PROVIDE TRAFFIC CONTROL DEVICES AND STREET SIGNS AS DIRECTED BY THE TOWN OF FARRAGUT. ALL TRAFFIC CONTROL DEVICES SHALL BE IN COMPLIANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
 - MAXIMUM LOT COVERAGE: TOTAL LOT COVERAGE - SIXTY PERCENT (60%), EXCEPT AS PROVIDED FOR ELSEWHERE IN THE TOWN OF FARRAGUT ZONING ORDINANCE.
 - OPEN SPACE: A MINIMUM OF TEN PERCENT (10%) OF THE GROSS LAND AREA OF THE DEVELOPMENT SHALL BE RESERVED AS OPEN SPACE AS REGULATED IN THE FARRAGUT SUBDIVISION REGULATIONS.
 - FOR STORM SEWERS OUTSIDE ROAD RIGHTS OF WAYS, EASEMENTS SHALL BE CENTERED ABOUT THE SEWERS AND SHALL BE THE FOLLOWING WIDTHS:
0' DEEP - 8' DEEP: 20' TOTAL
8' DEEP - 12' DEEP: 30' TOTAL
> 12' DEEP: MINIMUM OF 40' TOTAL
 - APPROVAL OF THE PRELIMINARY PLAT DOES NOT CONSTITUTE APPROVAL OF THE FINAL PLAT.
 - INSTALL 4" SCH. 40 (SPARE) CONDUIT AT LCUB CROSSINGS.
 - THERE ARE NO PROPOSED ANTENNAS AS PART OF THIS DEVELOPMENT.

SITE DATA:

A. TOTAL AREA	5.64 ACRES
B. ZONING	R-2
C. DETENTION POND EASEMENT	0.39 ACRES (17,208 S.F.)
SINKHOLE EASEMENT	0.12 ACRES (5,204 S.F.)
D. STREET RIGHT-OF-WAY	0.51 ACRES (22,097 S.F.)
E. NET OPEN SPACE (LOTS 4 & 6)	0.75 ACRES (31,898 S.F.)
F. RATIO E TO A	13.3% > 10% (O.K.)
G. STREET & SIDEWALK UNIT INDIVIDUAL DRIVE ROOFS	15,830 S.F. 6,356 S.F. 33,600 S.F.
TOTAL IMPERVIOUS AREA	55,786 S.F. = 1.28 ACRES
H. G / A	22.7% < 60% O.K.
I. TOTAL NUMBER OF LOTS = 7 BUILDABLE (9 TOTAL)	

REFERENCE:
DEED INST. 201709070015704

SHEET C-1 (SHEET 2 OF 17)

**PRELIMINARY PLAT
OLD STAGE FARMS**

SITE ADDRESS: 12630 OLD STAGE ROAD, FARRAGUT, TENNESSEE 37934
DIST. FW
TOWN OF FARRAGUT
CLT MAP 151
SCALE: 1"=30'
KNOX COUNTY
TENNESSEE
PARCEL 105.02
OCTOBER 16, 2017

OWNER/DEVELOPER:
RAY KEENEY AND ASSOCIATES, LLC.
12630 OLD STAGE ROAD
KNOXVILLE, TN 37934
(865) 389-4318

URBAN ENGINEERING, INC.
11852 KINGSTON PIKE
FARRAGUT, TENNESSEE 37934
(865) 966-1924

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- GRADING NOTES:**
- THE LOCATIONS OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED ON FIELD LOCATION OF VISIBLE STRUCTURES SUCH AS CATCH BASINS, MANHOLES, WATER VALVES, ETC., AND COMPILING INFORMATION FROM PLANS SUPPLIED BY VARIOUS UTILITY COMPANIES AND GOVERNMENT AGENCIES. THE CONTRACTORS SHALL NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES AND ALSO CALL TENN ONE-CALL PRIOR TO ANY EXCAVATION WORK. TO VERIFY INFORMATION SHOWN AND DETERMINE THE LAYOUT OF THE IRRIGATION SYSTEM AND IF ADDITIONAL IMPROVEMENTS MAY EXIST.
 - CLEAR AND GRUB PER SPECS. REMOVE TREES, BRUSH, DEBRIS, AND STUMPS FROM THE PROJECT AREA. REMOVE ALL BUILDINGS, DRIVES, CROSS FENCES, AND MISCELLANEOUS EQUIPMENT.
 - STRIP AND STOCKPILE TOPSOIL NEEDED FOR RESPREADING AND SEEDING. SURROUND TOPSOIL PILES WITH SILT FENCE, STRAW BALES TEMPORARY SEEDING OR ADDITIONAL MEASURES AS NEEDED TO PREVENT EROSION/SEDIMENTATION.
 - AFTER STRIPPING AND REMOVAL, PROOF ROLL ENTIRE DISTURBED AREA WITH TANDEM TRUCK FULLY LOADED WITH EARTH. REMOVE ANY AREAS WHICH ARE SOFT OR YIELDING UNDER LOAD AND REPLACE WITH NEW MATERIAL MEETING PROJECT SPECIFICATIONS.
 - IF UNSUITABLE SUBGRADE MATERIALS ARE ENCOUNTERED, THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND REPLACEMENT WITH APPROVED MATERIAL FROM ONSITE. UNSUITABLE MATERIALS ARE THOSE CLASSIFIED AS MH, CH, OH, OL, AND PEAT IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM.
 - THE CONTRACTOR IS RESPONSIBLE FOR ALL EXCAVATIONS AND GRADING TO BRING THE PROJECT TO FINISHED PLAN GRADE. THIS INCLUDES (IF NEEDED) UNDERCUT AND DEWATERING. ANY GRADE ADJUSTMENTS TO ACHIEVE BALANCE MUST BE APPROVED IN WRITING BY THE ENGINEER. IT IS INTENDED THAT THE EARTH WORK WILL BALANCE ONSITE. HOWEVER, IF OFFSITE BORROW IS REQUIRED, SELECT EARTH BORROW MATERIAL SHALL HAVE A PLASTICITY INDEX OF LESS THAN 30 AND A MAXIMUM DRY DENSITY OF NO LESS THAN 90 LBS PER CUBIC FOOT AND SHALL BE PROVIDED BY THE CONTRACTOR FROM AN APPROVED BORROW SOURCE.
 - COMPACTION REQUIREMENTS ARE AS FOLLOWS: (PLAN IN 8" LIFTS)
 - *TOP 24" OF SUBGRADE UNDER PAVED AREAS - 100 PERCENT STANDARD PROCTOR
 - *LOWER THAN 24" BELOW PAVED AREA - 95 PERCENT STANDARD PROCTOR
 - AREAS WITHIN THE BUILDING ENVELOPE TO BE PREPARED IN ACCORDANCE WITH RECOMMENDATIONS IN REPORT OF GEOTECHNICAL INVESTIGATION AND/OR AS DIRECTED BY THE SOILS ENGINEER, BUT IN NO CASE LESS THAN 90% STANDARD PROCTOR.
 - CORRUGATED POLYETHYLENE PIPE (HDPE) SHALL BE ASHTO M-252/M-294 TYPE S WITH SO4-TIGHT JOINTS WITH RUBBER GASKET CONFORMING TO ASTM F477 (HANCOR HI-0 OR ADS N-12 ARE ACCEPTABLE PRODUCTS). CONCRETE PIPE SHALL BE CLASS III PER ASHTO M 170 WITH BALL AND SPIGOT JOINTS AND O-RING RUBBER GASKETS PER ASHTO 198. BACKFILL ALL PIPE TRENCHES WITH TDOT NO. 57 STONE.
 - ALL FINISHED YARD AREAS SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL. YARD FINISHED GRADES SHOWN ARE AFTER PLACEMENT OF 4" TOPSOIL. ALL FINISHED YARD SURFACES SHALL BE SMOOTHLY AND UNIFORMLY GRADED, FREE FROM IRREGULARITIES, AND SHALL BE FULLY FUNCTIONAL TO PROVIDE POSITIVE DRAINAGE AT ALL LOCATIONS.
 - ALL WORK SHALL BE SEQUENCED AND COMPLETED IN ACCORDANCE WITH THE SWPPP AND RELATED PERMITS ISSUED BY THE TDEC. (COPIES FURNISHED TO CONTRACTOR.)
 - FOR HDPE INSTALLATION DETAILS, REFER TO TDOT STANDARD DRAWING D-PB-2.
 - THE SUBJECT PROJECT IS NOT LOCATED WITHIN A FLOOD HAZARD AREA BASED ON CURRENT FEMA STUDIES.
 - WHERE INLET AND OUTLET PIPES CHANGE SIZE AT A CATCH BASIN, PRECAST STRUCTURES SHALL BE CAST TO ALLOW INVERTS NOTED THIS SHEET.
 - AVOID DAMAGE TO ALL EXISTING TREES WHICH ARE OUTSIDE OF GRADING LIMITS WHETHER OR NOT THEY ARE SPECIFICALLY MARKED.
 - THE CONTRACTOR SHALL AVOID TRACKING MUD AND SILT ONTO EXISTING ROADS AND SHALL BE RESPONSIBLE FOR CLEANUP OF ANY VIOLATION.
 - THE FINAL PLAT SHALL PROVIDE DRAINAGE EASEMENTS ALONG ALL LOT LINES PLUS OFF-STREET DRAINAGE WAYS AND STRUCTURES.
 - THE FINAL PLAT SHALL SPECIFY MINIMUM FLOOR ELEVATIONS FOR ALL LOTS SUBJECT TO POTENTIAL HIGH WATER FROM AS-BUILT DETENTION PONDS.
 - NO DEBRIS SHALL BE BURIED ONSITE.
 - INSTALL SILT AND TREE PRESERVATION FENCES AND MARK PROJECT EXTERIOR PROPERTY LINES BEFORE ISSUING GRADING PERMIT.
 - THE TOTAL AREA DISTURBED IS APPROXIMATELY 3.3 ACRES.
 - THERE SHALL BE NO CLEARING, GRADING, CONSTRUCTION, OR DISTURBANCE OF SOIL AND/OR NATIVE VEGETATION WITHIN THE AQUATIC BUFFER EXCEPT AS PERMITTED BY THE TOWN OF FARRAGUT.
 - THE MINIMUM FLOOR ELEVATION FOR LOTS 5 & 7 IS 923.0.
 - TURF REINFORCEMENT MAT SHALL BE INSTALLED ON ALL SLOPES 3:1 OR STEEPER.

COMPLIANCE SUMMARY			
EVENT (YR)	EVENT (IN)	PRE-DEVELOPED RUNOFF (CFS)	POST-DEVELOPED ROUTED DISCHARGE (CFS)
1	2.5	1.7	0.5
2	3.3	3.8	2.9
5	4.1	6.4	6.1
10	4.8	8.9	8.1
25	5.5	11.5	9.8
50	6.1	13.9	11.0
100	6.5	15.9	14.5

100-YEAR WSE = 913.3

REFERENCE:
DEED INST. 201708070015704

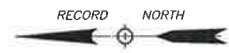


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REVISION	DATE	DESCRIPTION	BY
1	11/22/17	REVISED PER TOP COMMENTS	BS

SHEET C-2 (SHEET 3 OF 17)		
GRADING PLAN OLD STAGE FARMS		
SITE ADDRESS: 12630 OLD STAGE ROAD, FARRAGUT, TENNESSEE 37934		
DIST. FW TOWN OF FARRAGUT CLT MAP 151 SCALE: 1"=30'	KNOX COUNTY TENNESSEE PARCEL 105.02 OCTOBER 16, 2017	
OWNER/DEVELOPER: RAY KEENEY AND ASSOCIATES, LLC. 12630 OLD STAGE ROAD KNOXVILLE, TN 37934 (865) 389-4318		
URBAN ENGINEERING, INC. 11852 KINGSTON PIKE FARRAGUT, TENNESSEE 37934 (865) 966-1924		
DWN: BDS	CHK: CAS	DWG. NO. 1710018



- DRAINAGE NOTES:**
1. CORRUGATED POLYETHYLENE PIPE (HDPE) SHALL BE AASHTO M-252/M-294 TYPE S WITH SOIL-TIGHT JOINTS WITH RUBBER GASKET CONFORMING TO ASTM F477 (HANCOR H-0 OR ADS H-12 ARE ACCEPTABLE PRODUCTS). CONCRETE PIPE SHALL BE CLASS III PER AASHTO M 170 WITH BALL AND SPIGOT JOINTS AND O-RING RUBBER GASKETS PER AASHTO 19B. BACKFILL ALL PIPE TRENCHES WITH TDOT NO. 57 STONE.
 2. FOR HDPE INSTALLATION DETAILS, REFER TO TDOT STANDARD DRAWING D-PB-2.
 3. THE SUBJECT PROJECT IS NOT LOCATED WITHIN A FLOOD HAZARD AREA BASED ON CURRENT FEMA STUDIES.
 4. WHERE INLET AND OUTLET PIPES CHANGE SIZE AT A CATCH BASIN, PRECAST STRUCTURES SHALL BE CAST TO ALLOW INVERTS NOTED THIS SHEET.
 5. AVOID DAMAGE TO ALL EXISTING TREES WHICH ARE OUTSIDE OF GRADING LIMITS WHETHER OR NOT THEY ARE SPECIFICALLY MARKED.
 6. THE FINAL PLAT SHALL PROVIDE DRAINAGE EASEMENTS ALONG ALL LOT LINES PLUS OFFSTREET DRAINAGE WAYS AND STRUCTURES.
 7. INSTALL SILT AND TREE PRESERVATION FENCES AND MARK PROJECT EXTERIOR PROPERTY LINES BEFORE ISSUING GRADING PERMIT.
 8. PROPOSED CATCH BASINS SHALL BE INSTALLED WITH EJIW 4074-2 CASTINGS (HOODED), OR EQUIVALENT. CASTINGS SHALL DISPLAY ENVIRONMENTAL MESSAGE.
 9. PRECAST ENDWALLS SHALL BE PER VANHOUSECO STANDARD DRAWING H2, OR EQUIVALENT.
 10. PRECAST DOUBLE ENDWALLS SHALL BE PER VANHOUSECO STANDARD DRAWING H2-2, OR EQUIVALENT.

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TOWN OF FARRAGUT



SHEET C-3 (SHEET 4 OF 17)

DRAINAGE PLAN			
OLD STAGE FARMS			
SITE ADDRESS: 12630 OLD STAGE ROAD, FARRAGUT, TENNESSEE 37934			
DIST. FW	KNOX COUNTY		
TOWN OF FARRAGUT	TENNESSEE		
CLT MAP 151	PARCEL 105.02		
SCALE: 1"=30'	OCTOBER 16, 2017		
OWNER/DEVELOPER:			
RAY KEENEY AND ASSOCIATES, LLC.			
12630 OLD STAGE ROAD			
KNOXVILLE, TN 37934			
(865) 389-4318			
URBAN ENGINEERING, INC.			
11852 KINGSTON PIKE			
FARRAGUT, TENNESSEE 37934			
(865) 966-1924			
DWN: BDS	CHK: CAS	DWG. NO. 1710018	

REFERENCE:
DEED INST. 201708070015704



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1	11/2/17	REVISED PER TOP COMMENTS	BS



- EROSION & SEDIMENT CONTROL NOTES:**
1. THE CONTRACTOR SHALL MEET ON SITE WITH THE ENGINEER TO APPROVE THE LOCATION OF SILT FENCES, TREE PROTECTIVE FENCES, AND OTHER EROSION CONTROL FEATURES PRIOR TO BREAKING GROUND. ADDITIONAL SILT FENCING IF DIRECTED.
 2. LOCATIONS OF DIVERSION DITCHES TO BE DICTATED BY THE SEQUENCE OF CONSTRUCTION. ROCK CHECK DAMS TO BE INSTALLED EVERY 100 FT. OF DITCH WHERE DITCH LONGITUDINAL SLOPES EXCEED 2% (SEE DETAIL, THIS SHEET). USE TEMPORARY SEDIMENT TRAPS AS NEEDED FOR TEMPORARY STORAGE.
 3. THE CONTRACTOR SHALL AVOID TRACKING MUD AND SILT ONTO EXISTING ROADS AND SHALL BE RESPONSIBLE FOR CLEANUP OF ANY VIOLATION.
 4. ALL CONSTRUCTION SHALL COMPLY WITH THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SUBMITTED TO TDEC PLUS ALL CONDITIONS OF THE NPDES PERMIT FOR THIS PROJECT.
 5. PLACE SILT FENCING AND HAVE PRE-CONSTRUCTION MEETING PRIOR TO ACQUIRING A GRADING PERMIT.
 6. SEED AND MULCH ALL UNIMPROVED DISTURBED EARTH AREAS ON STREET RIGHT-OF-WAYS, DRAINAGE EASEMENTS AND POND EASEMENTS USING STANDARD SPECIFICATIONS (OUTLINED THIS SHEET). ON ALL POND DAM SLOPES AND ALL FILL SLOPES SUBSTITUTE EXCELSDOR EROSION CONTROL BLANKET IN LIEU OF DRY STRAW MULCH.
 7. PONDS SHALL BE PREPARED AND SEEDED IMMEDIATELY AFTER BEING BROUGHT TO FINISHED GRADE.
 8. DETENTION POND TO ACT AS TEMPORARY SEDIMENT BASIN UNTIL ROADS PAVED AND SEEDED AREAS FULLY ESTABLISHED, AT WHICH TIME REMOVE ACCUMULATED SEDIMENT TO BRING TO DESIGNED DETENTION VOLUME. REMOVE SPECIFIED TEMPORARY PLUGS FROM OUTLET STRUCTURE AND RESEED THE DISTURBED AREA.
 9. THE LOCATIONS OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED ON FIELD LOCATION OF VISIBLE STRUCTURES SUCH AS CATCH BASINS, MANHOLES, WATER VALVES, ETC., AND COMPLYING INFORMATION FROM PLANS SUPPLIED BY VARIOUS UTILITY COMPANIES AND GOVERNMENT AGENCIES. THE CONTRACTOR SHALL NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES AND ALSO CALL TENN ONE-CALL PRIOR TO ANY EXCAVATION WORK. TO VERIFY INFORMATION SHOWN AND DETERMINE THE LAYOUT OF THE IRRIGATION SYSTEM AND IF ADDITIONAL IMPROVEMENTS MAY EXIST.

- SEEDING SPECIFICATIONS:**
1. EVENLY APPLY 150 POUNDS OF AGRICULTURAL LIMESTONE PER 1000 SQ. FT. (APPROXIMATELY 3 TONS PER ACRE). APPLY 12 POUNDS OF 12-24-24 ANALYSIS FERTILIZER OR EQUIVALENT PER 1000 SQ. FT. (APPROXIMATELY 500 LBS. PER ACRE).
 2. EVENLY SEED 1 POUND OF KY 31 FESCUE PER 1000 SQ. FT. (APPROXIMATELY 40 LBS. PER ACRE) AND 1/2 POUND CROWNWETCH PER 1000 SQ. FT. (APPROXIMATELY 20 LBS. PER ACRE). INOCULATE CROWNWETCH WITH SPECIAL CROWNWETCH INOCULANT. USE 10 TIMES THE RECOMMENDED AMOUNT OF INOCULANT IF SEEDED WITH HYDRAULIC SEEDER. OMIT CROWNWETCH AND INCREASE KY 31 FESCUE TO 1 1/2 LBS. PER 1000 SQ. FT. (APPROXIMATELY 60 LBS. PER ACRE) WHERE SLOPES ARE FLATTER THAN 3:1.
 3. THE LIME, FERTILIZER, AND SEED MAY BE APPLIED SEPARATELY BY HAND, OR WITH MECHANICAL EQUIPMENT, OR THEY MAY BE APPLIED SIMULTANEOUSLY BY USING A HYDRAULIC SEEDER.
 4. UNIFORMLY SPREAD 100 LBS. OF DRY STRAW PER 1000 SQ. FT. (APPROXIMATELY 2 TONS PER ACRE) IMMEDIATELY AFTER SEEDING.

- SEQUENCE OF WORK ACTIVITIES:**
1. INSTALL SILT FENCES, TREE PROTECTION FENCES AND TEMPORARY CONSTRUCTION ENTRANCE.
 2. STRIP AND STOCKPILE TOPSOIL.
 3. CLEAR/GRUB AND DISPOSE OF TIMBER AND TRASH.
 4. STABILIZE TOPSOIL BY SILT FENCES AND/OR TEMPORARY SEEDING.
 5. INSTALL DETENTION POND/TEMPORARY SEDIMENT BASIN. LEAVE ORIFICES PLUGGED, AS SHOWN ON DETAIL 2, SHEET C-10.
 6. CUT/FILL FOR THE OVERALL SITE.
 7. INSTALL DRAINAGE AND UTILITIES. INSTALL EROSION EELS PER ATTACHED DETAIL.
 8. FINALIZE SUB-GRADE, STONE AND RESPREAD TOPSOIL.
 9. ESTABLISH VEGETATION ON ALL DISTURBED AREAS PER SEEDING SPECS.
 10. UNPLUG ORIFICES AS SHOWN ON DETAIL 2, SHEET C-10. REMOVE ACCUMULATED SEDIMENT FROM SEDIMENT BASIN TO BRING DETENTION POND TO ITS DESIGN VOLUME.
 11. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE TDEC EROSION CONTROL HANDBOOK.
- *ADDITIONAL SEDIMENT CONTROL BMP'S MAY BE REQUIRED AS DICTATED BY SEQUENCE OF CONSTRUCTION.



REFERENCE:
DEED INSTR. 201709070015704

SHEET C-6 (SHEET 7 OF 17)

**EROSION & SEDIMENT CONTROL (PHASE 2)
OLD STAGE FARMS**

SITE ADDRESS: 12630 OLD STAGE ROAD, FARRAGUT, TENNESSEE 37934
DIST. FW KNOX COUNTY
TOWN OF FARRAGUT TENNESSEE
CLT MAP 151 PARCEL 105.02
SCALE: 1"=30' OCTOBER 16, 2017

OWNER/DEVELOPER:
RAY KEENEY AND ASSOCIATES, LLC.
12630 OLD STAGE ROAD
KNOXVILLE, TN 37934
(865) 389-4318

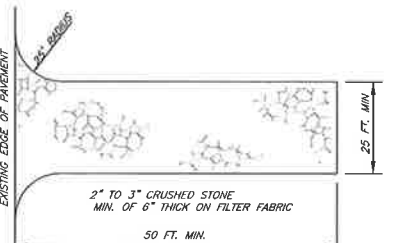
URBAN ENGINEERING, INC.
11852 KINGSTON PIKE
FARRAGUT, TENNESSEE 37934
(865) 966-1924

DWN: BGS CHR: CAS DWG. NO. 1710018

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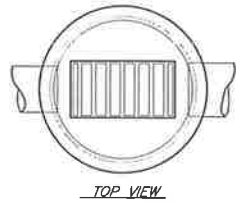
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AVERAGE BUFFER CALCULATION:
 $((88 \times 90) + (60 \times 210) + (50 \times 240)) / (90 + 210 + 240) = 60.2'$

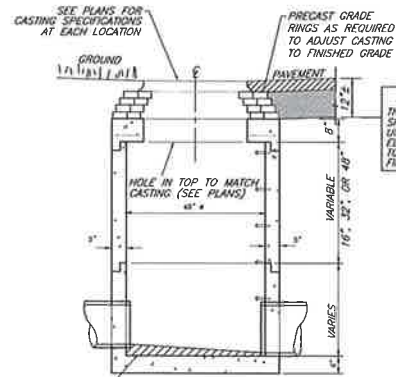
SEDIMENT BASIN SUMMARY:
CONTRIBUTING AREA: 4.6 ACRES±
REQUIRED STORAGE - 16,650 C.F.± (134-CY PER ACRE)
STORAGE PROVIDED = 36,320 C.F.±

*SEE DETAIL 2A, SHEET C-10 FOR SEDIMENT BASIN OUTLET STRUCTURE DETAIL.



TOP VIEW

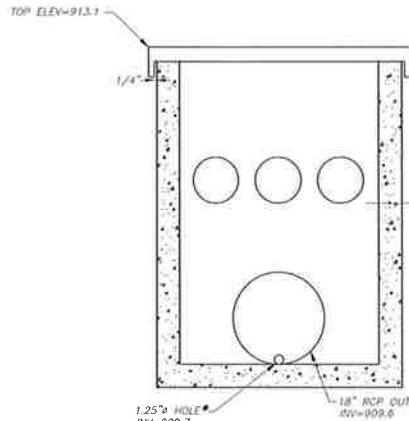
- NOTES:**
1. ALL ELEMENTS PRECAST TO MEET ASTM SPECIFICATION C-478.
 2. CONFINED "O"-RING JOINT IN ACCORDANCE WITH ASTM C-443, IF REQUIRED.
 3. OPENINGS FOR PIPES ARE CAST OR CUT TO PROVIDE REQUIRED SIZES AND LOCATIONS.
 4. PROVIDE STEPS 16" SPACING IF DEPTH EXCEEDS 5'-0" (CLOW 3650 OR EQUAL).
 5. CAST-IN-PLACE UNITS MEETING SPECIFICATIONS ARE ACCEPTABLE AS ALTERNATE.



SECTION

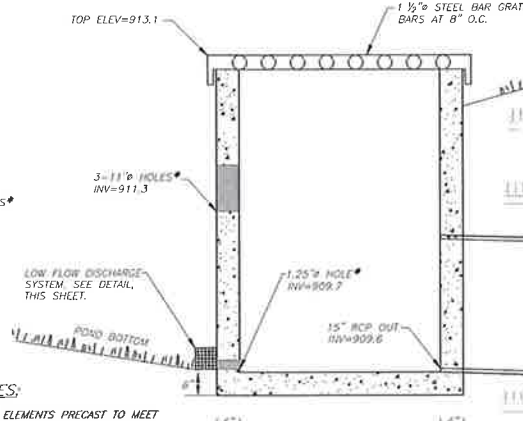
1 TYPE 'A' CATCH BASIN OR MANHOLE
C-10

SPECIAL NOTE
THE PRECAST SUPPLIER SHALL FURNISH CONCRETE UNITS SO THAT THE TOP ELEV. OF THE PRECAST TOP IS 1.0 FT. BELOW FINISHED GRADE.



FRONT VIEW

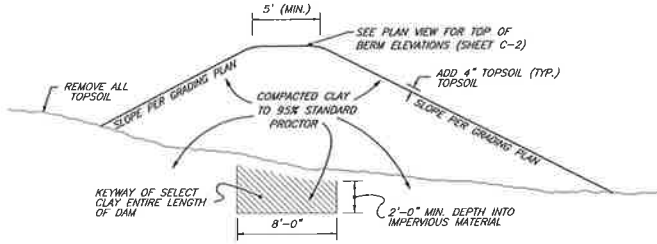
*NOTE:
11" HOLES TO REMAIN PLUGGED UNTIL SITE IS STABILIZED.



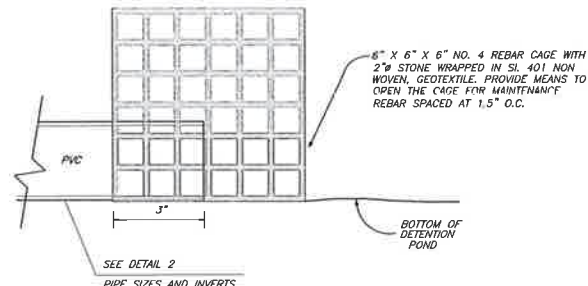
SIDE VIEW

- NOTES:**
1. ALL ELEMENTS PRECAST TO MEET ASTM SPECIFICATION C-478.
 2. CONFINED "O"-RING JOINT IN ACCORDANCE WITH ASTM C-443, IF REQUIRED.
 3. OPENINGS FOR PIPES ARE CAST OR CUT TO PROVIDE REQUIRED SIZES AND LOCATIONS.
 4. PROVIDE STEPS 16" SPACING IF DEPTH EXCEEDS 5'-0" (CLOW 3650 OR EQUAL).
 5. CAST-IN-PLACE UNITS MEETING SPECIFICATIONS ARE ACCEPTABLE AS ALTERNATE.

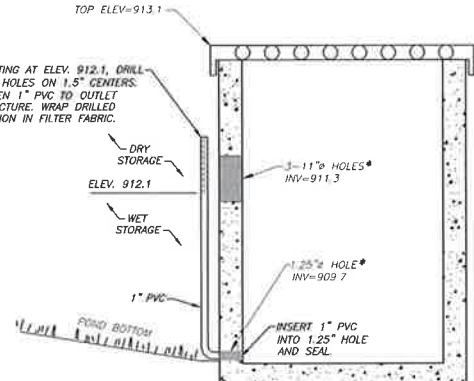
2 POND OUTLET STRUCTURE & DAM DETAIL
C-10



DAM DETAIL
TYPICAL SECTION

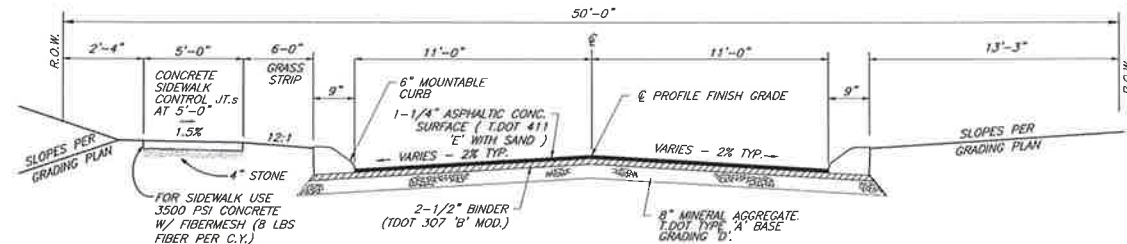


3 LOW FLOW DISCHARGE DETAIL
C-10

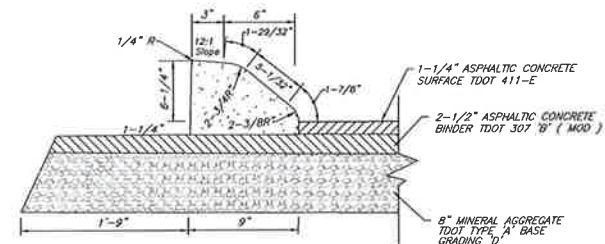


4A SEDIMENT BASIN OUTLET DETAIL
C-10

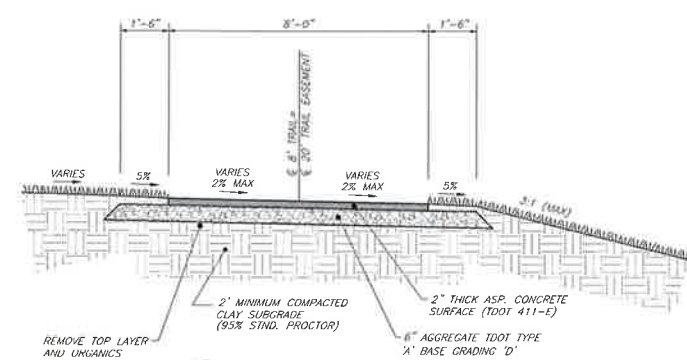
*NOTE:
11" HOLES TO REMAIN PLUGGED UNTIL SITE IS STABILIZED.



4 TYPICAL SECTION - ROAD 'A'
C-10

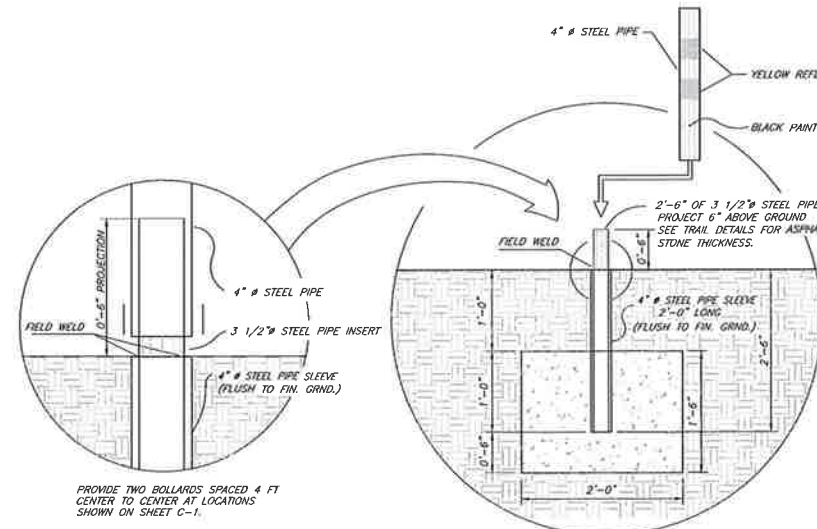


5 TYPE 'B' (MOUNTABLE) CURB AND PAVEMENT DETAIL
C-10

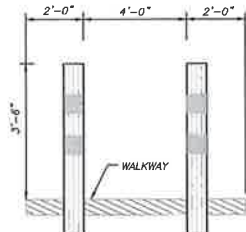


7 ASPHALT TRAIL DETAIL
C-10

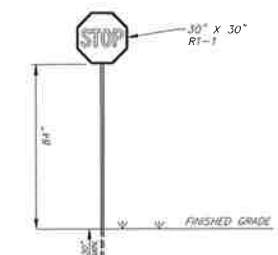
*NOTE:
THIS TRAIL WIDTH AND PAVEMENT SECTION APPLIES TO ALL PROPOSED ASPHALT TRAILS WITHIN THE PROJECT.



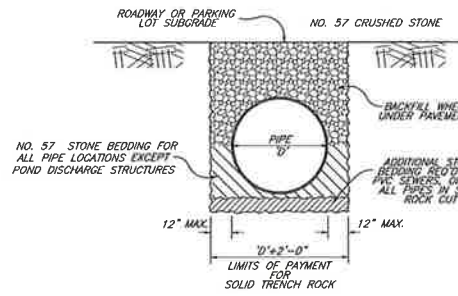
8 TRAIL BOLLARD
C-10



9 WALKWAY DETAIL
C-10



10 STOP SIGN DETAIL
C-10



11 PIPE BEDDING & BACKFILL DETAIL
C-10

FOR ALL WATER, SEWER, ELECTRICAL OR DRAINAGE PIPING
* FOR HOPE INSTALLATION, REFER TO TDOT STANDARD DRAWING D-PB-2.

SHEET C-10 (SHEET 11 OF 17)

CONSTRUCTION DETAILS
OLD STAGE FARMS

SITE ADDRESS: 12630 OLD STAGE ROAD, FARRAGUT, TENNESSEE 37934
DIST. FW TOWN OF FARRAGUT
CLT MAP 151
SCALE: AS NOTED
KNOX COUNTY TENNESSEE
PARCEL 105.02
OCTOBER 16, 2017

OWNER/DEVELOPER:
RAY KEENEY AND ASSOCIATES, LLC.
12630 OLD STAGE ROAD
KNOXVILLE, TN 37934
(865) 389-4318

URBAN ENGINEERING, INC.
11852 KINGSTON PIKE
FARRAGUT, TENNESSEE 37934
(865) 966-1924

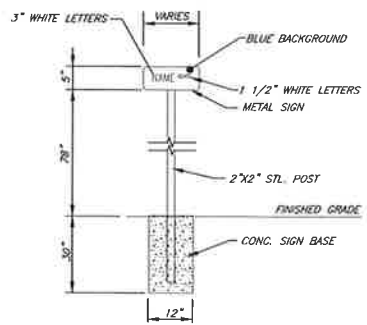
OWN: BOS CHK: CAS DWG. NO. 1710018

REVISION	DATE	DESCRIPTION	BY
1	11/2/17	REVISED PER TOF COMMENTS	BS

NOV 6 2017
TOWN OF FARRAGUT

STREET NAME SIGN NOTES:

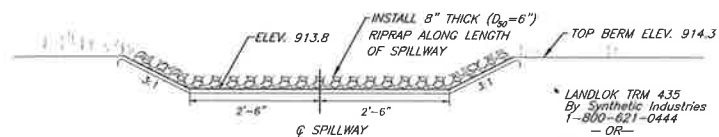
1. STREET NAME SIGNS TO BE IN ACCORDANCE WITH THE MUTCD (LATEST EDITION).
2. STREET NAME SIGNS SHALL BE RETROREFLECTIVE OR ILLUMINATED TO SHOW THE SAME SHAPE AND SIMILAR COLOR BOTH DAY AND NIGHT.



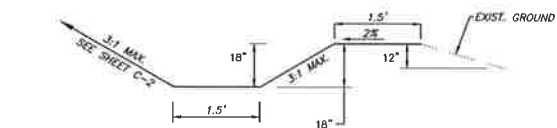
10 STREET NAME SIGN DETAIL
N.T.S. SEE STREET NAME SIGN NOTES



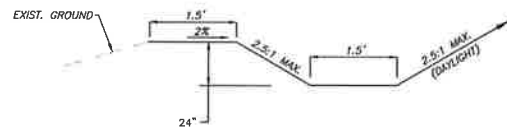
12 ACCESS DIAGRAM
SCALE: 1"=80'



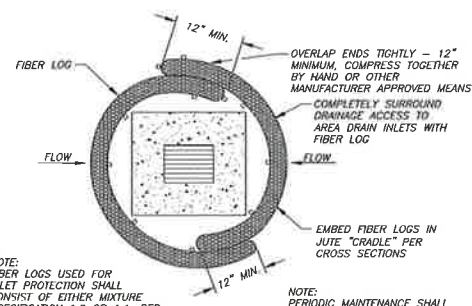
15 EMERGENCY SPILLWAY DETAIL
N.T.S.



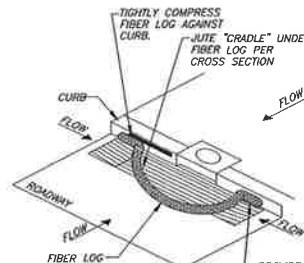
16 PERMANENT DIVERSION DITCH (EAST)
N.T.S. - FACING UPSTREAM



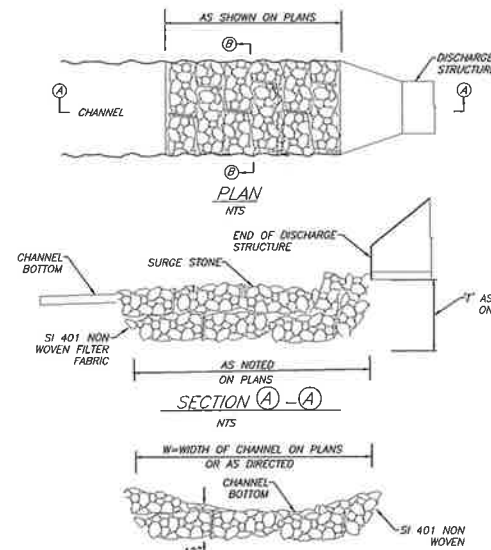
17 PERMANENT DIVERSION DITCH (SOUTH)
N.T.S. - FACING UPSTREAM



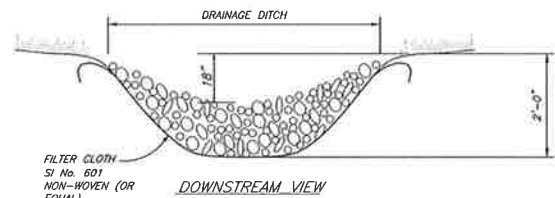
18 FIBER LOG INLET SEDIMENT TRAP
N.T.S.



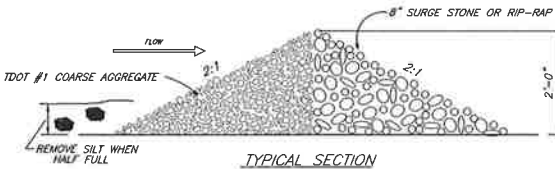
ISOMETRIC DETAIL



13 RIP RAP DETAIL
N.T.S.

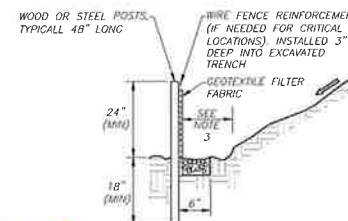
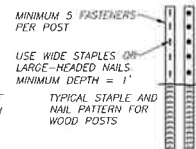


14 TYPICAL ROCK CHECK DAM
SILT TRAP



NOTES:

1. POST SPACING SHALL BE 8' MAXIMUM FOR TYPICAL APPLICATIONS AT THE BOTTOM OF SLOPES OR ALONG SITE PERIMETER.
2. POST SPACING SHALL BE 6' MAXIMUM AT THE BOTTOM OF STEEP SLOPES. POST SPACING SHALL BE 4' MAXIMUM WITHIN A DRAINAGE CHANNEL.
3. PLACE SILT FENCE AT LEAST 5 TO 7 FEET AWAY FROM STEEP OR LONG SLOPES TO IMPOUND STORMWATER RUNOFF.



TYPE 'A' SILT FENCE
N.T.S.



SHEET C-11 (SHEET 12 OF 17)

CONSTRUCTION DETAILS OLD STAGE FARMS

SITE ADDRESS: 12630 OLD STAGE ROAD, FARRAGUT, TENNESSEE 37934

DIST. FW KNOX COUNTY
TOWN OF FARRAGUT TENNESSEE
CLT MAP 151 PARCEL 105.02
SCALE: AS NOTED OCTOBER 16, 2017

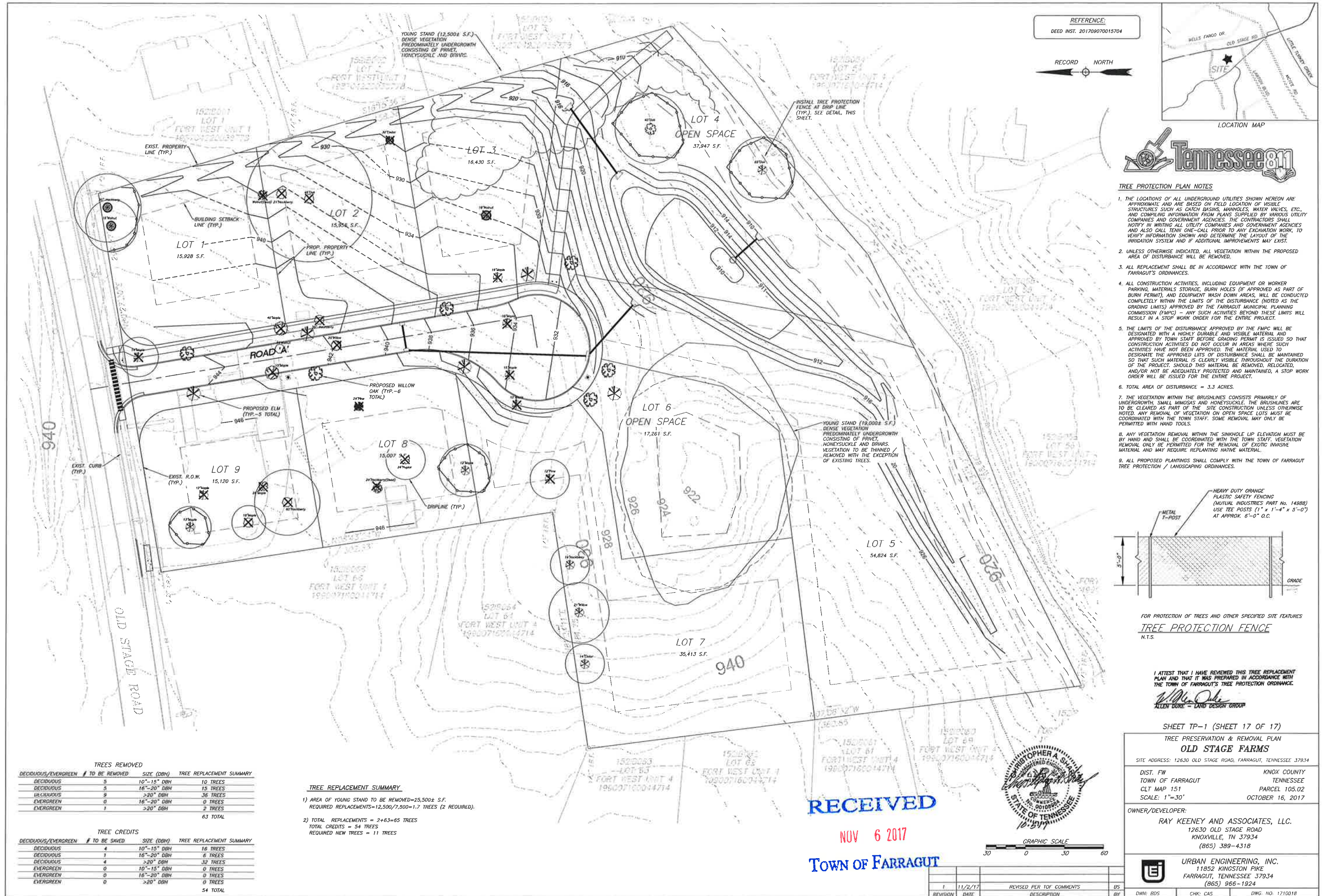
OWNER/DEVELOPER:
RAY KEENEY AND ASSOCIATES, LLC.
12630 OLD STAGE ROAD
KNOXVILLE, TN 37934
(865) 389-4318

URBAN ENGINEERING, INC.
11852 KINGSTON PIKE
FARRAGUT, TENNESSEE 37934
(865) 966-1924

REVISION	DATE	DESCRIPTION	BY

TOWN OF FARRAGUT

NOV 6 2017



REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on a right in and right out access onto Kingston Pike associated with a site plan for a new office building at 12640 Kingston Pike, Zoned C-1, .68 Acres (GBS Engineering, Mark Bialik, Applicant)

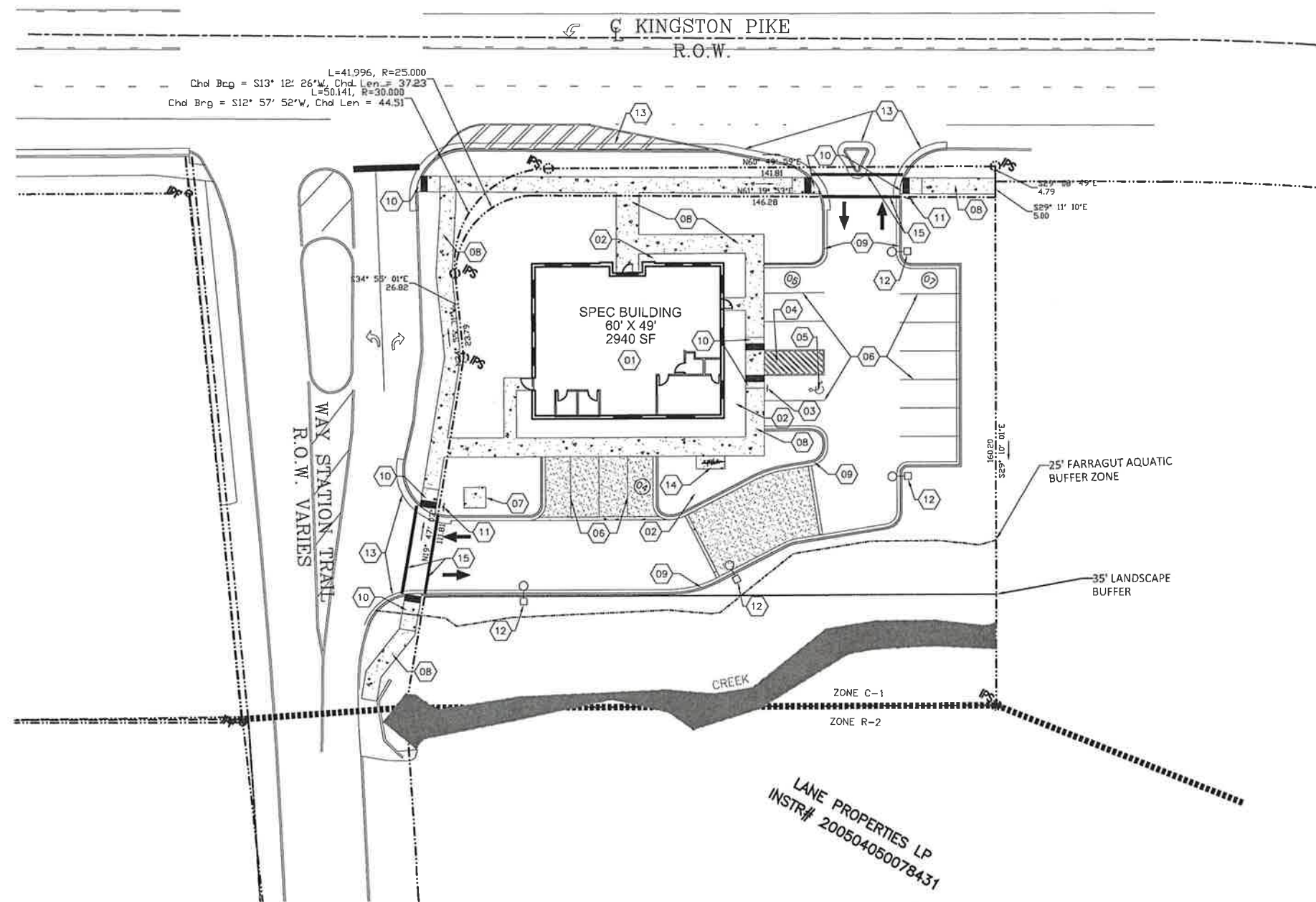
INTRODUCTION AND BACKGROUND: As provided for in the Town's Driveways and Other Accessways Ordinance, access onto non-local streets requires approval from the Planning Commission and Board of Mayor and Aldermen. A key objective of the Driveways and Other Accessways Ordinance is to provide for logical and safe access onto heavily traveled streets. The Ordinance requires that access onto streets classified as "arterial" shall be at least 400 feet from an intersection and at least 400 feet apart.

The property in question is the site of a former Weigel's Convenience Store and is situated at the east intersection of Kingston Pike and Way Station Trail. The tract is less than one acre and has approximately 160 feet of frontage onto Kingston Pike and 170 feet of frontage onto Way Station Trail. The applicant is completely re-developing the property for a proposed office building and is requesting as part of the site plan approval a right in and right out access onto Kingston Pike.

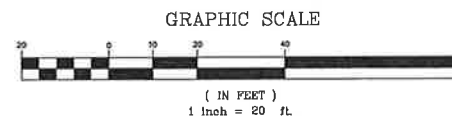
In addition to the requested access onto Kingston Pike, the applicant would have a full access onto Way Station Trail. As shown on the Town's Major Road Plan, Kingston Pike is classified as an arterial street. The applicant's proposed access onto Kingston Pike would be roughly 125 feet from the Way Station Trail intersection and access point onto Kingston Pike. Consequently, the applicant is requesting a variance of 275 feet from the 400 foot spacing requirement provided for in the Driveways and Other Accessways Ordinance.

The staff does not support this variance request for the following reasons:

- 1) The right in and right out access is substantially (275 feet) less than the required 400 feet and, as a result, would create frequent confusion in terms of turning movements. Someone exiting Way Station Trail may not know whether an east bound traveler is turning onto Way Station Trail or into the subject property 125 feet to the east. This could create safety issues;
- 2) A full access is provided for off of Way Station Trail. This is similar to the 4 story office building on the west side of Way Station Trail. An access to Kingston Pike, especially for an office development, is not necessary especially in such close proximity to the full access at Way Station Trail; and
- 3) The substantial amount of variance needed in this case would, if approved, create a bad precedent for future access requests. Approving an access onto Kingston Pike would also create the possibility of an access variance being needed on the north side of Kingston Pike for the Swan property when it develops. It could also create conflicts in the turn lanes when the Swan property develops which would again create safety issues.



OVERALL SITE PLAN
Scale: 1" = 10'-0"



SITE INFORMATION		
PARKING	REQUIRED	PROVIDED
AUTO PARKING	12	18
HANDICAP PARKING	01	01
BIKE PARKING	01	01
SITE AND BUILDING ACCESSIBILITY PER ANSI A117.1		
SITE ACREAGE IS .84 ACRES ±		
ZONING		
EXISTING ZONING IS C-1		
FACILITY SIZE		
BUILDING SQUARE FOOTAGE		2,940 S.F.
NUMBER OF STORIES		1
BUILDING HEIGHT (TO TOP OF PARAPET)		17'-4"

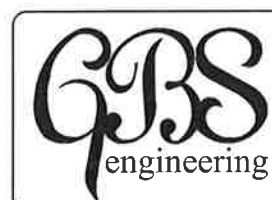
- CONSTRUCTION NOTES**
- NEW BUILDING (SEE ARCHITECTURAL DRAWINGS), INSTALLED BY CONTRACTOR.
 - LANDSCAPE AREA INSTALLED BY CONTRACTOR.
 - "HANDICAP PARKING" SIGNS, MOUNTED ON A POLE, FURNISHED AND INSTALLED BY CONTRACTOR.
 - TRAFFIC STRIPING 4" WIDE PAINTED (WHITE) PARALLEL STRIPES AT 16" O.C. FURNISHED AND INSTALLED BY CONTRACTOR.
 - PAVEMENT SYMBOL AND LETTERING PER D.O.T. SPECIFICATIONS (TYP). FURNISHED AND INSTALLED BY CONTRACTOR.
 - TRAFFIC STRIPING 4" WIDE PAINTED (WHITE) PER PARKING SPACE, FURNISHED AND INSTALLED BY CONTRACTOR.
 - 7'-0" X 7'-0" X 6" REINFORCED CONCRETE PAD FOR ELECTRICAL TRANSFORMER INSTALLED BY CONTRACTOR.
 - 4" REINFORCED CONCRETE SIDEWALK. SEE SECTIONS AND DETAILS FOR SPECIFICATIONS. INSTALLED BY CONTRACTOR.
 - CONCRETE CURB AND GUTTER. SEE SECTIONS AND DETAILS FOR SPECIFICATIONS. INSTALLED BY CONTRACTOR.
 - HANDICAP RAMP, PER DETAILS, FURNISHED AND INSTALLED BY CONTRACTOR.
 - NEW STOP SIGN (24" X 24"), PER TOWN OF FARRAGUT REQUIREMENTS, FURNISHED AND INSTALLED BY CONTRACTOR.
 - CONTRACTOR TO PROVIDE AND INSTALL LIGHT POLE BASE, LIGHT POLE, AND ASSOCIATED CONDUIT AND CONDUCTORS, SEE DRAWINGS C10 AND C11 FOR DETAILS.
 - TDOT CONCRETE 6-30 CURB & GUTTER. SEE SECTIONS AND DETAILS FOR SPECIFICATIONS. INSTALLED BY CONTRACTOR.
 - NEW BICYCLE RACK. SEE DETAILS FOR MORE DETAIL. CONTRACTOR TO PROVIDE AND INSTALL.
 - CONTRACTOR SHALL PROVIDE AND INSTALL 12" WIDE WHITE PAINTED CROSSWALK STRIPING.

RECEIVED

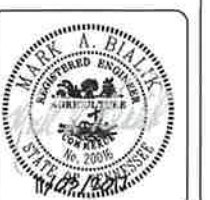
NOV 6 2017

TOWN OF FARRAGUT

PARKING CALCULATIONS:
TOWN OF FARRAGUT REQUIRES 1 SPACE PER 300 SF GROSS
2,940 SF/300 SF = 10 SPACES REQUIRED FOR
BANKS/PROFESSIONAL OFFICE. 19 SPACES PROVIDED
HANDICAP SPACES REQUIRED FOR 20 SPACES = 1 REQUIRED
HANDICAP SPACES PROVIDED = 1 SPACE
TOWN OF FARRAGUT REQUIRES 1 BIKE SPACE PER 5000 GROSS SF
2,940 SF/5000 SF = 1 BIKE SPACES REQUIRED
1 BIKE SPACES PROVIDED



1313 Kalmia Road
Knoxville, TN 37909
Phn: 865.566.0185
Fax: 888.485.7005



SHEET 8 OF 15

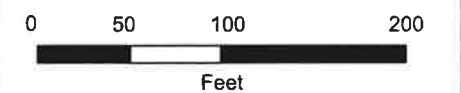
REV.	DESCRIPTION	BY	DATE
-	--	-	-
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-	--	-	-
-	--	-	-
-	--	-	-
TITLE: OVERALL SITE PLAN		DRAWN BY: -	SHEET NO:
LOCATION: 12640 KINGSTON PIKE FARRAGUT, TENNESSEE 37934 CLT Map 151, Parcel No. 59.02		CHECKED BY: -	C3.0
Owner: Southeast Bancorp, Inc.		FILE NAME: 2153 - C3.0	
		JOB NUMBER 2153	
		ISSUE DATE: 09/15/2017	



Aerial of General Location and Access Points

Subtitle

Notes



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Printed: 11/8/2017 12:32:36 PM

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on a site plan for a new office building at 12640 Kingston Pike, Zoned C-1, .68 Acres (GBS Engineering, Mark Bialik, Applicant)

INTRODUCTION AND BACKGROUND: Related to Agenda Item #6, this site plan involves the property at the corner east of the intersection of Way Station Trail and Kingston Pike and that was formerly a Weigel's Convenience Store. A number of years ago the property was purchased from Weigel's and the convenience store use was discontinued.

The current owner also owns the SouthEast Bank property to the west and is proposing to completely re-develop the site and construct a new, roughly 3,000 square foot office building on the property. Given the lot's substandard size, this re-development would not have been possible without the recent amendments to the front yard setback provisions in the C-1 Zoning District that would allow the building to be 20 feet from the required rights of ways along Way Station Trail and Kingston Pike, provided the parking was no closer to the street than the building.

DISCUSSION: Though this item was on last month's Planning Commission agenda, there were some significant comments that had not been addressed and the Planning Commission recommended postponement until a revised site plan could be submitted that would address the staffs' initial comments.

RECOMMENDATION: Included in your packet is a copy of the staffs' comments on the revised site plan that was incomplete last month. Also included in your packet is a second revision of the site plan that is intended to address all of the staffs' comments. The staff will make a recommendation at the meeting based on whether the staffs' comments have been satisfactorily addressed.

Initial staff comments

September 28, 2017

Mr. Mark Bialik
GBS Engineering
1313 Kalmia Road
Knoxville, TN 37909
mark@gsb-eng.net

**SUBJECT: STAFF COMMENTS ON THE SITE PLAN FOR THE OFFICE
BUILDING PROPOSED AT 12640 KINGSTON PIKE**

Dear Mark:

The Town staff has reviewed the site plan that was submitted for the Office Building at 12640 Kingston Pike for compliance with the Town requirements. If you could please address the following comments and submit five (5) full size copies and one (1) 11" x 17" reduced set to the Farragut Town Hall Monday, October 9, 2017 I would appreciate it. Also, upon resubmittal, please include a letter which addresses these comments and that indicates where the information can be found on the plans.

This item will be discussed at the Staff/Developer Meeting at the Farragut Town Hall on Tuesday, October 3, at 10:30 a.m. The purpose of this meeting is to discuss questions you may have on staff comments. Modifications to the plans are not due until Monday, October 9.

Fire Division: (Contact Dan Johnson at djohnson@townoffarragut.org)

- 1) Please provide utility line size on utility sheet;
- 2) Please provide distance from building to fire hydrants utilized to meet fire flow requirements. Distance in feet shall be provided;
- 3) Fire hydrant flow data provide is in excess of 3 years old. Please provide current data;
- 4) Cover sheet stipulates that building will be type II-A with fire sprinkler protection which is in conflict with the utility sheet. Please provide accurate information;
- 5) The required fire flow shall be calculated utilizing the 2012 International Fire Code, not the 2006 as noted on the drawings.

Planning Division: (Contact Mark Shipley at mshipley@townoffarragut.org) or Bart Hose at bhose@townoffarragut.org

- 6) Please provide a certified address;
- 7) Do you have a name for the office building?
- 8) Please list the property owners name, address, phone number, and e-mail on the cover sheet;
- 9) Please include calculations and diagrams verifying maximum lot coverage and compliance with landscaping requirements between buildings and parking lots;
- 10) The landscape plan is a separate submittal and must be prepared by a landscape professional as provided for in the landscaping requirements;

- 11) The project is required to provide for Low Impact Development stormwater measures per the current C-1 Zoning District;
- 12) The project is required to provide for outdoor open space (e.g. courtyards, seating areas, etc.) per the current C-1 Zoning District;
- 13) The project is required to provide for pedestrian and vehicular connectivity to abutting properties. The staff would recommend an 8 foot walking trail along Kingston Pike with a pedestrian connection into the parking lot and a 5 foot sidewalk along Way Station Trail. A vehicular connection is also required to the property to the east;
- 14) Please complete the applicable portions of the Architectural Design Standards Checklist that is provided on the Town's web site;
- 15) Please indicate where the building address will be located;
- 16) Per the current parking and loading requirements, where the parking provided exceeds the required parking by more than 10%, the excess parking and accessways for the excess parking shall be in permeable pavers and an additional interior landscape island shall be provided for every 5 parking spaces in excess of the amount required. The permeable pavers may also help satisfy the LID and stormwater detention requirements;
- 17) Please label the buffer strip and ensure that it is addressed as part of the landscape plan. You may just use existing plant material as it appears to be heavily tree covered;
- 18) Please note that a variance must be requested for the proposed access to Kingston Pike as it does not meet the required 400 foot distance from the intersection with Way Station Trail. Please provide your justification(s) for the requested variance;
- 19) Please include a note on the plans that garbage will be contained within the building and no exterior garbage collection will be used (you may want to plan for an area where this could be added in the future if uses in the building change);
- 20) Please include a lighting plan and address all of the requirements of the Outdoor Site Lighting provisions in the zoning ordinance;
- 21) Please note on the plans that no antennas will be used. Please specifically address how the HVAC units will be screened with the building they are serving so they are not visible from adjacent properties or rights of ways;
- 22) Please number any notes on the plans so they can be referenced if needed;
- 23) Please verify that no existing trees will be removed as part of the project. If so, you likely will not need a tree preservation/removal plan;
- 24) Please ensure that your FFE and MFE are consistent on the plan notes;
- 25) Please remove the outer parking space closest to Way Station Trail because the parking must be behind the front plane of the building in order to allow the 20 foot building setback;
- 26) The landscape plan will be reviewed by the VRRB and requires a separate application. A grading permit cannot be issued until the landscape plan is approved;
- 27) Prior to the issuance of a Certificate of Occupancy a digital as-built will be required in a JPEG format;

Engineering Division: (Contact Darryl Smith at dsmith@townoffarragut.org)

- 28) The Driveway to Kingston Pike cannot meet requirement of 400 feet of separation from Way Station Trail. Staff does not support a request for variance. Please note that property address remains the same, whether or not the entrance to Kingston Pike remains. If a variance is granted, the driveway should remain right-in/right-out, and include taper. Additionally, a TDOT permit must be submitted.
- 29) All frontage along Kingston Pike should include 6-30 curb & gutter and sidewalk, and should be extended from beginning of radius return at interior of Way Station Trail. Please provide detail of 6-30 curb & gutter, in addition to existing detail of 6-18 curb & gutter used in parking lot.
- 30) Currently, the site does not include detention. However, complete redevelopment of the site must include detention or utilize low impact development practices such that the peak flow rate of stormwater discharge post development does not exceed that of pre-construction levels.
- 31) Will gas be included for this site? Please show on utility plan if so.
- 32) Please submit irrevocable letter of credit for erosion control for \$5000.
- 33) Drainage Fee is based upon \$0.02 per square foot of impervious surface. Please calculate area.

In addition to the e-mail addresses provided above you may also call the designated staff person(s) at 865-966-7057 if you have any questions on the above items. Unless specified otherwise, please include all requested information on the plans. Thank you for your assistance.

Sincerely,

Mark Shipley, AICP
Community Development Director

Darryl Smith, PE
Town Engineer

**Farragut Municipal Planning Commission
October 19, 2017
Staff Recommendations**

1. Citizen Forum

2. Approval of agenda

Staff recommends removing Agenda Item #5 from the meeting agenda.

3. Approval of minutes – September 21, 2017

4. Discussion and public hearing on a site plan for a proposed storage building to be located on the Town of Farragut outdoor classroom property at 220 N. Campbell Station Road as part of an Eagle Scout project (Will Harry, Applicant)

Staff recommends approval subject to the following:

- 1) Ensuring that the project is consistent with the objectives of the Outdoor Classroom project area. For example, provide for the use of rainwater harvesting from the roof and the use of materials (e.g. repurposed planks from barns that have been taken down) that have a sustainability component;
- 2) Obtaining a building permit; and
- 3) Please ensure that all required supplies are included in the budget.

5. Discussion and public hearing on the extension of fiber line and related structures for Comcast along Parkside Drive and within the utility easement abutting I40/75 north of Parkside Drive (Comcast Cable, Applicant)

Staff recommended removing this item from the agenda due to a lack of information at this point.

6. Discussion and public hearing on a site plan for a new office building at 12640 Kingston Pike, Zoned C-1, .68 Acres (GBS Engineering, Mark Bialik, Applicant)

The following staff comments have not yet been addressed and since many of these could affect the site plan the staff would recommend postponement until a complete submittal is provided:

- 1) The applicant has acknowledged the need for Low Impact Development provisions, but has not yet determined which methods to utilize on the site;
- 2) The applicant has acknowledged that the site is over-parked, but has not yet determined how they intend to address the issue. They are looking at the possibility of using a hybrid detention system to address the requirement;
- 3) The applicant is still working with the Town Engineer regarding detention requirements. This item will likely need to be coordinated with their eventual proposals for meeting the Town's Low Impact Development provisions and the over-parked condition on the site;
- 4) The applicant has acknowledged the requirement for outdoor open space on the site, but has not yet determined exactly what elements to incorporate into their design;

most recent staff comments

- 5) The applicant has not addressed the requirement (both in zoning and in the ADS) for vehicular connectivity to the adjoining property located to the east (at a minimum, the staff would recommend that the applicant follow what was completed at the O'Reilly Auto Parts and provide an area for extension along with a platted access easement);
- 6) The applicant has not yet submitted a required lighting plan. There is also a note (note 12) on the overall site plan sheet (sheet C3.0) that references a light pole and two drawings that are not included in the submitted materials and that we assume are related to the pending lighting plan;
- 7) The western-most parking space located parallel to Way Station Trail partially extends beyond the front-plane of the building. In order to qualify for the 20 foot setback no parking can be between the building and the public street so it must be behind the plane of the building;
- 8) The building's Finished Floor Elevation (FFE) is shown as being below the noted Minimum Floor Elevation (MFE) on sheet C4.0. [Note: the creek is an "unmapped stream" with respect to the Town's Floodplain Management Regulations and therefore is not subject to a MFE];
- 9) Note 7 on the overall site plan sheet (sheet C3.0) references an electrical transformer pad that does not appear to be shown on the plan;
- 10) The surveyor's stamped seal is not signed across its face on the property survey sheet;
- 11) The applicant is still in the process of obtaining fire flow data for the existing fire hydrant;
- 12) The building does not appear to have an iconic element; and
- 13) The building may need a more defined cap.

7. Discussion on a request to re-adopt the Farragut Zoning Map to correct an error in the zoning designation for the property at 12603 Evans Road to change the designation from R-1, Rural Residential, to A, Agricultural (Town of Farragut, Applicant)

For discussion purposes.

8. Discussion on a request for a zoning map amendment for the property located at 13033 Fleenor Road to change the zoning district from R-1, Rural Residential to C-1, General Commercial, 1.1 Acres, (Robert G. Byrd, Applicant)

For discussion purposes.

9. Discussion on permitted uses in commercial zoning districts and whether any should be removed or subject to new parameters (Town of Farragut, Applicant)

For discussion purposes.

November 7, 2017

Mr. Mark Shipley,
Community Development Director,
Town of Farragut,
11408 Municipal Center Drive,
Farragut, Tennessee 37934

Re: Staff comments on Site Plan for 12640 Kingston Pike,
Parcels 59.02, Tax Map 151, Farragut.

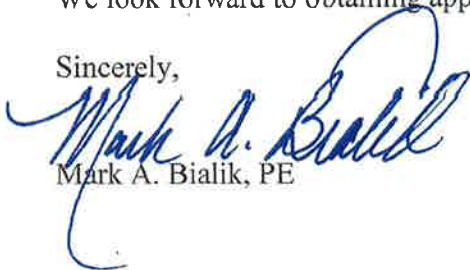
Dear Mark,

Attached are the required 5 full sets revised drawings of the Site Development Plans for 12640 Kingston Pike. We have addressed the Staff comments as follows:

1. The Proposed Hybrid Detention facility and the porous pavers in the four parking spaces meet the requirement of Low-Impact Development.
2. We have provided porous pavers for the 4 parking spaces over parked and the area of the hybrid detention facility meet the requirements for overparking.
3. We have submitted Drainage Calculations for the proposed hybrid detention facility with this submittal.
4. We have added a bench to the Landscape Plan (near the existing creek), see drawing C7.0.
5. We would like to discuss the cross-access requirement with the Planning Commission.
6. We have included the Site Lighting Plan with this submittal.
7. We have revised the layout to eliminate the parking extending pass the face of building along Way Station Trail.
8. We will eliminate the MFE note on drawing C4.0. This was missed.
9. We have shown the transformer pad on all plan sheets.
10. We have included a signed Survey with this submittal.
11. We are still trying to get updated fire flows.
12. We have included an isometric view of the proposed building to show how the front entrance will be the iconic element.
13. We believe the cap is defined.
14. We will provide the required \$5000 for erosion control, prior to obtaining the Grading Permit.
15. We will provide the Drainage Fee of \$286.04 (14,302 square feet of impervious area times \$0.02 per square foot) prior to obtaining the Grading Permit.

We look forward to obtaining approval of these plans.

Sincerely,



Mark A. Bialik, PE

MARK A. BIALIK, PE
865.566.0185 (V)
888.485.7005 (F)

GBS ENGINEERING
1313 KALMIA ROAD
KNOXVILLE, TENNESSEE 37909



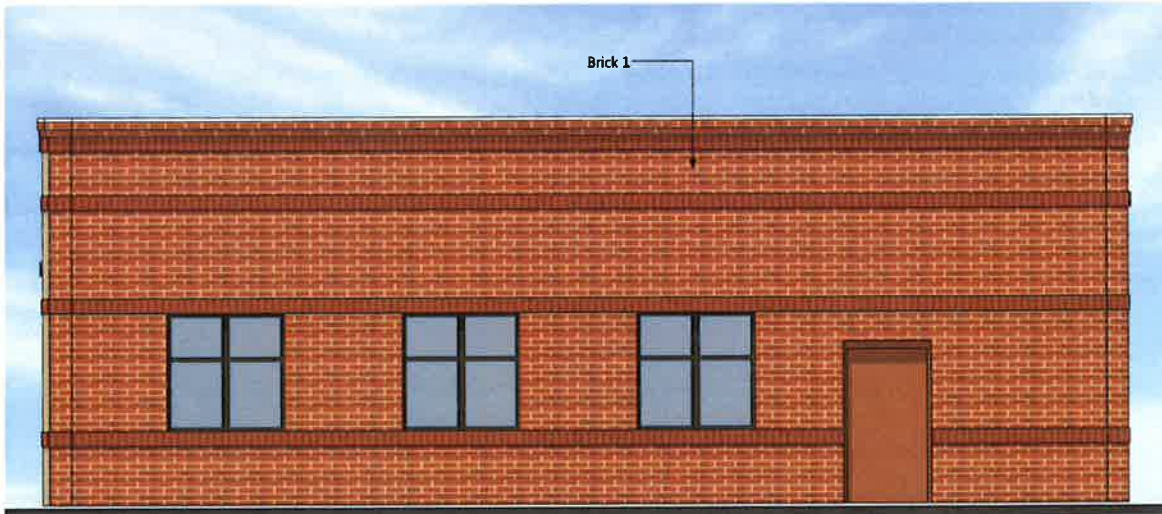
PERSPECTIVE VIEW



EAST ELEVATION
SCALE 1/4"=1'-0"



NORTH ELEVATION
SCALE 1/4"=1'-0"



WEST ELEVATION
SCALE 1/4"=1'-0"



SOUTH ELEVATION
SCALE 1/4"=1'-0"

REVISIONS			
DATE	ISSUE DATE	DESCRIPTION	BY



BLUE RIDGE ARCHITECTURE
1313 KALMIA ROAD
KNOXVILLE, TENNESSEE
865.670.9298 (V)
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888.485.7005 (F)

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ELEVATIONS

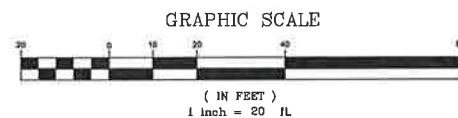
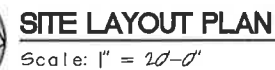
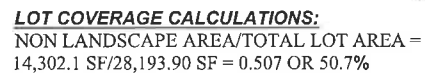
OFFICE BUILDING
12640 KINGSTON PIKE
FARRAGUT, TENNESSEE 37934

PROJECT NO: 1705 DRAWN BY: STAFF CHECKED BY:

PERMIT SET
ISSUE DATE:
CONSTRUCTION SET
ISSUE DATE:
DRAWING NUMBER:

A-2

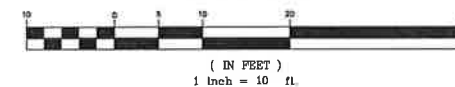
ORIGINAL
SECOND
FINAL



BUILDING PERIMETER LANDSCAPING

Scale: 1" = 10'-0"

GRAPHIC SCALE

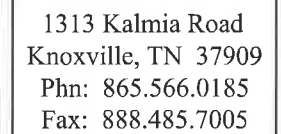


LANDSCAPE CALCULATIONS:
 REQUIRED LANDSCAPE AREA
 LINEAR FOOTAGE OF BUILDING x 2.5' =
 218 LF x 2.5 = 545 SF REQUIRED
 PROVIDE LANDSCAPE AREA =
 181 + 718 = 899 SF

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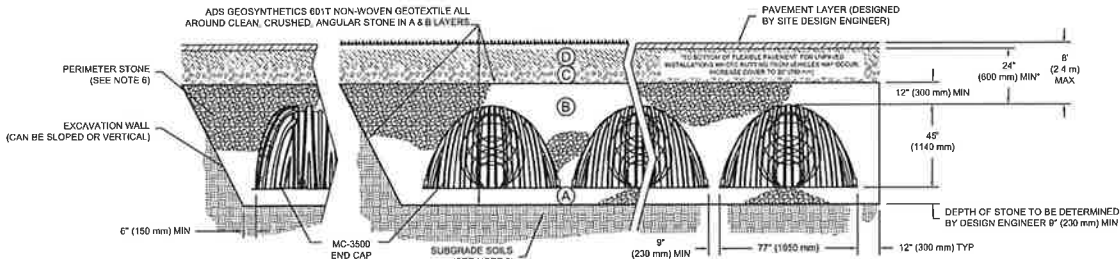
TITLE: SITE LAYOUT PLAN LOCATION: 12640 KINGSTON PIKE FARRAGUT, TENNESSEE 37934 CLT Map 151, Parcel No. 59.02		DRAWN BY: - CHECKED BY: - FILE NAME: 2153 - C3.0 JOB NUMBER 2153	SHEET NO: C3.1
Owner: Southest Bancorp, Inc.		ISSUE DATE: 09/15/2017	



ACCEPTABLE FILL MATERIALS: STORMTECH MC-3500 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER D STARTS FROM THE TOP OF THE C LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE D LAYER.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER C STARTS FROM THE TOP OF THE EMBEDMENT STONE (B LAYER) TO 24" (600 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE C LAYER.	AASHTO M143 ¹ A-1, A-2, A-3 OR AASHTO M43 ¹ 3, 3S7, 4, 4S7, 5, 5S, 57, 6, 67, 6S, 7, 7S, 8, 8S, 9, 9S	BEGIN COMPACTIONS AFTER 24" (600 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 12" (300 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS.
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE (A LAYER) TO THE C LAYER ABOVE.	AASHTO M43 ¹ 3, 4	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	AASHTO M43 ¹ 3, 4	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. **

PLEASE NOTE:
1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
2. STORMTECH COMPACTION REQUIREMENTS ARE MET FOR "A" LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 9" (230 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
3. WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTOR EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.

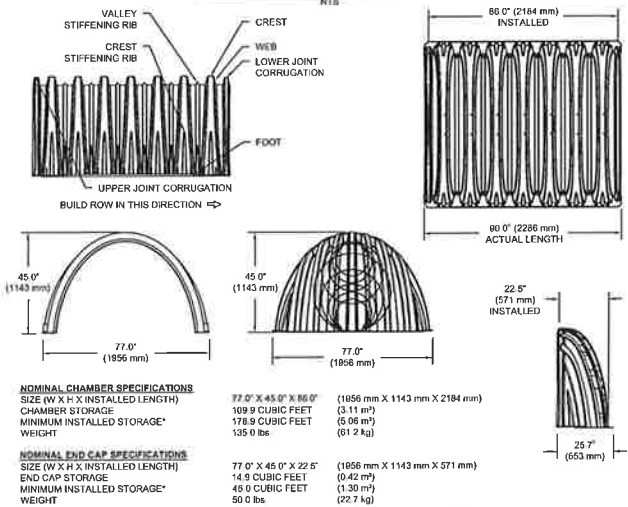


NOTES:

- MC-3500 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- MC-3500 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.
- THE "SITE DESIGN ENGINEER" REFERS TO THE ENGINEER RESPONSIBLE FOR THE DESIGN AND LAYOUT OF THE STORMTECH CHAMBERS FOR THIS PROJECT.
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- ONCE LAYER C IS PLACED, ANY SOIL MATERIAL CAN BE PLACED IN LAYER D UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER C OR D AT THE SITE DESIGN ENGINEER'S DISCRETION.

Distributed By:
Superior Drainage Products, Inc.
865-637-0069

MC-3500 TECHNICAL SPECIFICATION



NOMINAL CHAMBER SPECIFICATIONS	
SIZE (W X H X INSTALLED LENGTH)	77.0" X 45.0" X 86.0" (1956 mm X 1143 mm X 2184 mm)
CHAMBER STORAGE	109.9 CUBIC FEET (3.11 m³)
MINIMUM INSTALLED STORAGE*	178.9 CUBIC FEET (5.06 m³)
WEIGHT	135.0 lbs (61.2 kg)

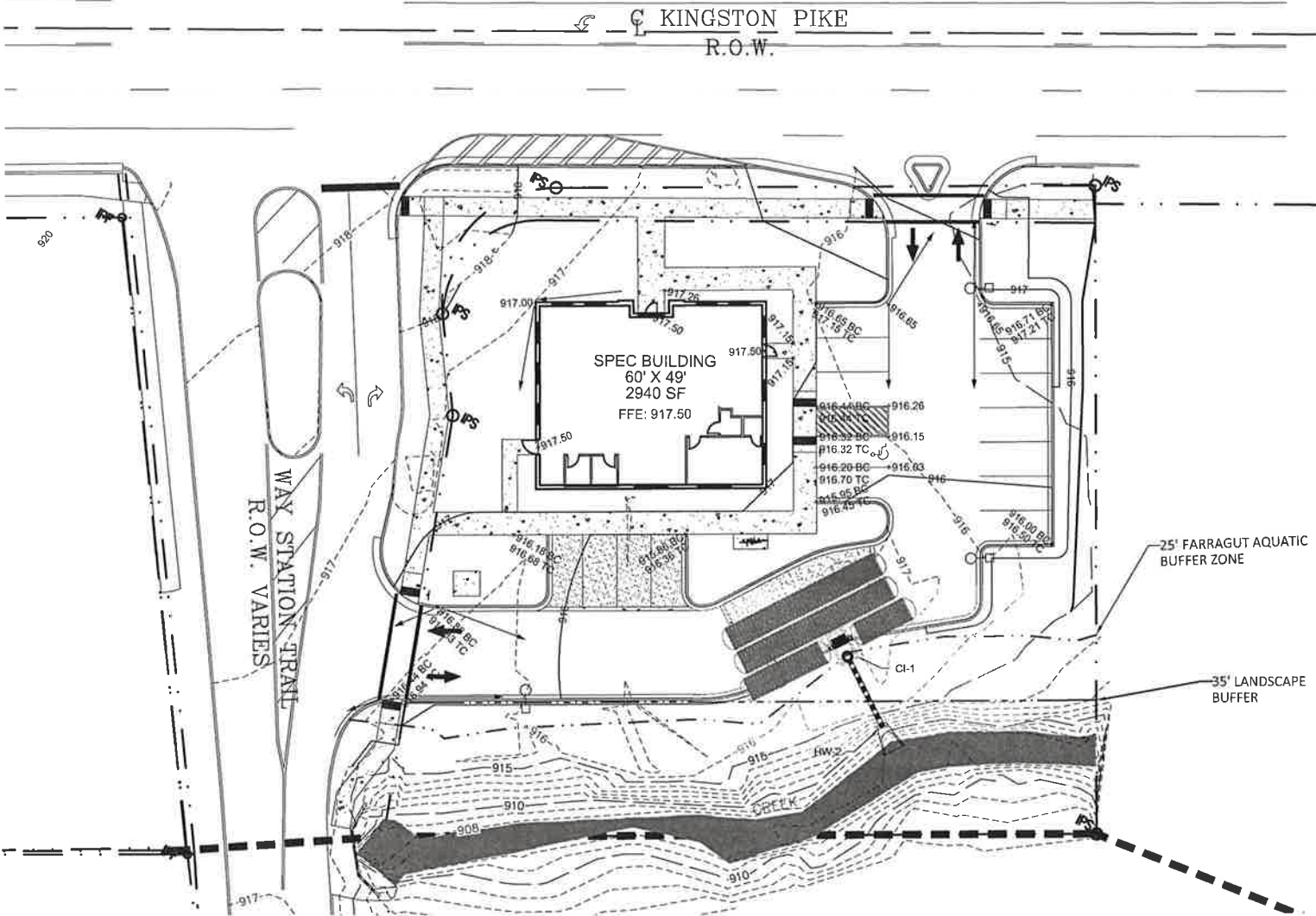
NOMINAL END CAP SPECIFICATIONS	
SIZE (W X H X INSTALLED LENGTH)	77.0" X 45.0" X 22.5" (1956 mm X 1143 mm X 571 mm)
END CAP STORAGE	14.9 CUBIC FEET (0.42 m³)
MINIMUM INSTALLED STORAGE*	48.0 CUBIC FEET (1.30 m³)
WEIGHT	50.0 lbs (22.7 kg)

*ASSUMES 12" (305 mm) STONE ABOVE, 6" (152 mm) STONE FOUNDATION AND BETWEEN CHAMBERS.
12" (305 mm) STONE PERIMETER IN FRONT OF END CAPS AND 40% STONE POROSITY.

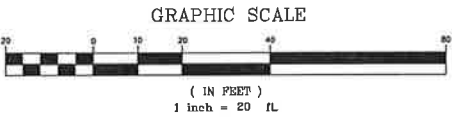
STUBS AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "B"
STUBS AT TOP OF END CAP FOR PART NUMBERS ENDING WITH "T"

PART #	STUB	B	C
MC3500EPF00T	6" (150 mm)	33.21" (844 mm)	0.66" (17 mm)
MC3500EPF06B	6" (150 mm)	31.16" (791 mm)	0.61" (15 mm)
MC3500EPF08T	8" (200 mm)	29.04" (738 mm)	0.93" (24 mm)
MC3500EPF10B	10" (250 mm)	26.36" (670 mm)	1.35" (34 mm)
MC3500EPF12T	12" (300 mm)	23.30" (594 mm)	1.50" (38 mm)
MC3500EPF15B	15" (375 mm)	20.03" (509 mm)	1.77" (45 mm)
MC3500EPF18T	18" (450 mm)	14.48" (368 mm)	2.00" (51 mm)
MC3500EPF24B	24" (600 mm)	10.00" (254 mm)	2.00" (51 mm)
MC3500EPF30B	30" (750 mm)	6.00" (152 mm)	2.00" (51 mm)

NOTE: ALL DIMENSIONS ARE NOMINAL.
CUSTOM PRECUT END CAPS ARE AVAILABLE UPON REQUEST. INVENTORIED MANIFOLDS INCLUDE 12" (300-400 mm) SIZE ON SIZE AND 15-48" (375-1200 mm) ECCENTRIC MANIFOLDS.
CUSTOM INVERT LOCATIONS ON THE MC-3500 END CAP CUT IN THE FIELD ARE NOT RECOMMENDED FOR PIPE SIZES GREATER THAN 10" (250 mm).
THE INVERT LOCATION IN COLUMN "B" ARE THE HIGHEST POSSIBLE FOR THE PIPE SIZE.



SITE GRADING PLAN
Scale: 1" = 20'-0"



SITE GRADING, DRAINAGE & EROSION CONTROL DETAIL REFERENCE LEGEND	
MARK	REFERENCED ITEM
HW	HEADWALL
BO	BASIN OUTLET STRUCTURE
CI	CURB INLET
CB	CATCH BASIN
RCP	REINFORCED CONCRETE PIPE, CLASS III
SRMP	SPIRAL RIBBED METAL PIPE, ALUMINIZED
BC	BOTTOM OF CURB
TC	TOP OF CURB
BW	BOTTOM OF WALL
TW	TOP OF WALL
EP	ELEVATION OF PAVEMENT

STORM SEWER STRUCTURE SCHEDULE					
STRUCTURE	RIM ELEV	PIPE INVERTS		BOTTOM ELEV	REMARKS
		OUT	IN		
CI-1	915.25	908.75	N/A	908.55	SEE DETAIL 1/CB.0
HW-2	-	-	908.55	908.75	HEADWALL

STORM SEWER PIPE SCHEDULE					
PIPE	SIZE (IN)	LENGTH (FT)	SLOPE	UPPER INVERT	REMARKS
CI-1 to HW-2	15	20	1.00 %	908.75	RCP

STRIPPING AND COMPACTION SCHEDULE
Topsoil stripping depth 2"-3" average. Deeper if required locally.
Required compaction percentages (% max dry density)
Standard Proctor Method ASTM Test # D-698
Building Area: 98 % Parking Area: 98 %

TESTING:
Allow 1 compaction test per ea. 2500 S.F. (Max 50' x 50' area) per lift at building areas.
Allow 1 compaction test per ea. 10,000 S.F. of cut or natural grade at building area.
Allow 1 compaction test per ea. 5500 S.F. (Max 75' x 75' area) per lift at parking area.
Allow 1 compaction test per ea. 40,000 S.F. of cut or natural grade at parking area.

Maximum loose lift thickness shall be 8", unless noted otherwise.

NOTE:

- ALL SLOPES SHALL BE 3:1 OR FLATTER!
- FINISH FLOOR ELEVATION SHALL BE A MINIMUM OF 3' ABOVE THE TOP OF BANK ELEVATION. A CERTIFICATE OF ELEVATION SHALL BE REQUIRED DURING CONSTRUCTION AND PRIOR TO CERTIFICATE OF OCCUPANCY. MFE SHALL BE 918.34.
- THERE SHALL BE NO CLEARING, GRADING, CONSTRUCTION OR DISTURBANCE OF SOIL AND/OR NATIVE VEGETATION WITHIN THE AQUATIC BUFFER EXCEPT AS PERMITTED BY THE TOWN OF FARRAGUT.
- NO DETENTION REQUIRED FOR THIS PROPERTY AS THE NEW DEVELOPMENT HAS LESS IMPERVIOUS AREA.

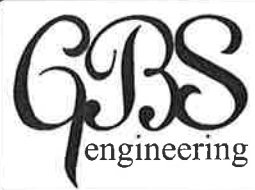
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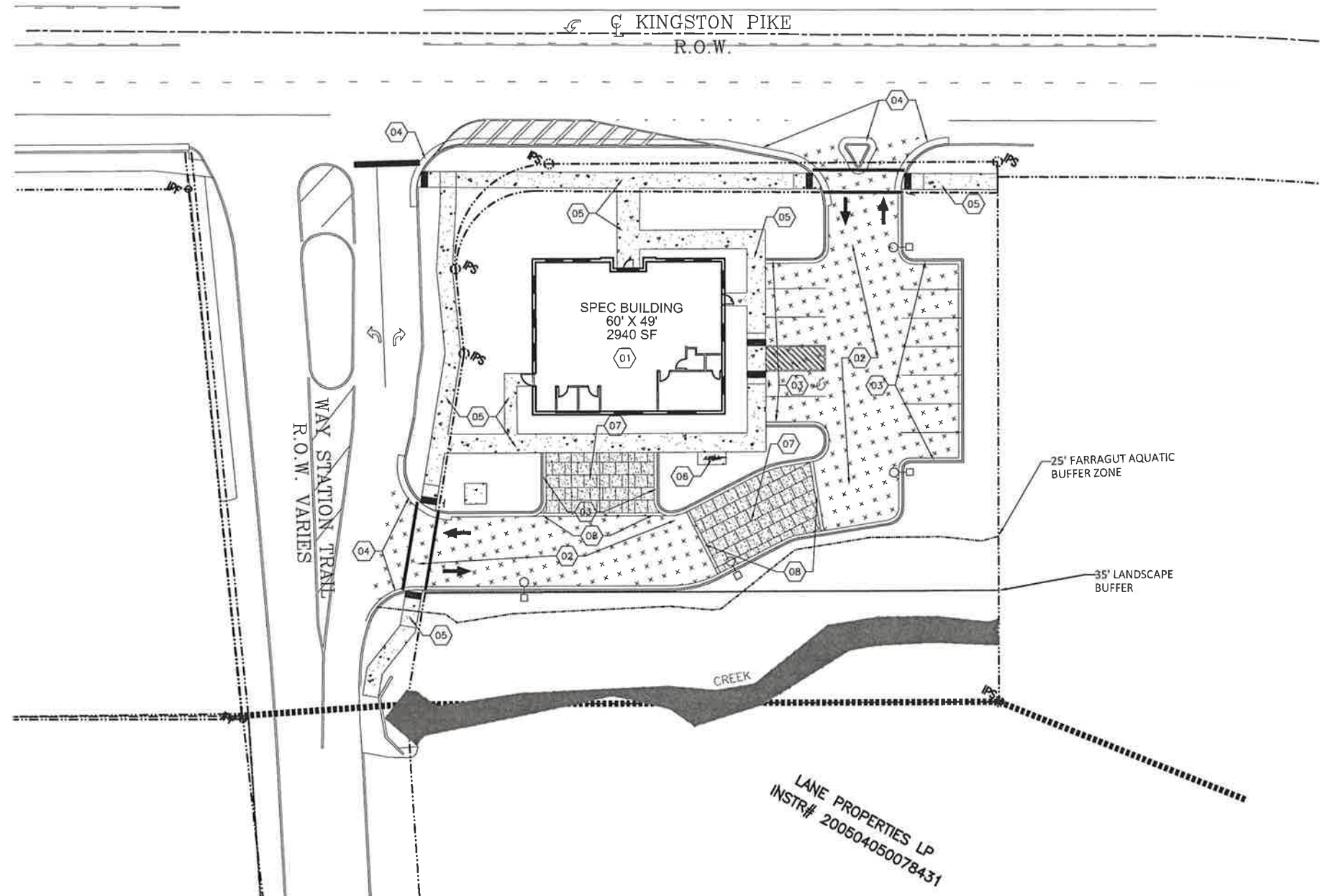
SHEET 10 OF 15



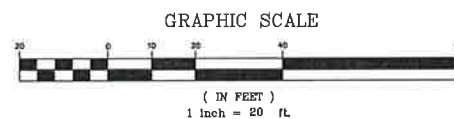
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Knoxville, TN 37909
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Fax: 888.485.7005



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TITLE: SITE GRADING PLAN		DRAWN BY: -	SHEET NO:
LOCATION: 12640 KINGSTON PIKE FARRAGUT, TENNESSEE 37934 CLT Map 151, Parcel No. 59.02		CHECKED BY: -	C4.0
Owner: Southeast Bancorp, Inc.		FILE NAME: 2153 - C4.0	
		JOB NUMBER 2153	
		ISSUE DATE: 09/15/2017	



SITE PAVING PLAN
Scale: 1" = 20'-0"

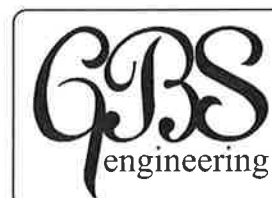


- CONSTRUCTION NOTES**
- 01 NEW OFFICE BUILDING (SEE ARCHITECTURAL DRAWINGS), INSTALLED BY CONTRACTOR.
 - 02 STANDARD-DUTY ASPHALT PAVEMENT, SEE DRAWING C9.0 FOR MORE DETAILS.
 - 03 STANDARD CONCRETE CURB AND GUTTER SEE DETAILS FOR SPECIFICATIONS, INSTALLED BY CONTRACTOR.
 - 04 TDOT CONCRETE 6-30 CURB AND GUTTER, SEE SECTIONS AND DETAILS FOR SPECIFICATIONS, INSTALLED BY CONTRACTOR.
 - 05 4" REINFORCED CONCRETE SIDEWALK, SEE DRAWING C9.0 FOR MORE DETAILS.
 - 06 NEW BICYCLE RACK, SEE DETAILS FOR MORE DETAIL. CONTRACTOR TO PROVIDE AND INSTALL.
 - 07 PERCOA POROUS CONCRETE PAVERS, CONTRACTOR TO PROVIDE AND INSTALL.
 - 08 12" WIDE CONCRETE HEADER, CONTRACTOR TO PROVIDE AND INSTALL. SEE DRAWING CX.0 FOR DETAIL.

LEGEND	
	CURB AND GUTTER
	TDOT 6-30 CURB AND GUTTER
	PROPERTY LINE
	PROPOSED PARKING STALLS
	CONCRETE
	STANDARD-DUTY ASPHALT PAVING

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- GENERAL PAVING NOTES**
- 01. ALL MANHOLES LIDS MUST BE SET FLUSH WITH ADJACENT PAVERS.
 - 02. SUB GRADE MUST BE COMPACTED TO 95% STANDARD PROCTOR WITH A WATER CONTENT WITHIN 1.5% OF OPTIMUM.
 - 03. STONE BASE MUST BE COMPACTED TO 95% STANDARD PROCTOR WITH A WATER CONTENT WITHIN 1.5% OF OPTIMUM.



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Fax: 888.485.7005



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LOCATION: 12640 KINGSTON PIKE FARRAGUT, TENNESSEE 37934 CLT Map 151, Parcel No. 59.02		CHECKED BY: -	C5.0
Owner: Southeast Bancorp, Inc.		FILE NAME: 2153 - C5.0	
		JOB NUMBER 2153	
		ISSUE DATE: 09/15/2017	

PLANT SCHEDULE (S) = SHADE TREE (U) = UNDERSTORY TREE (F) = FOUNDATION PLANTING (H) = HEDGE						
SYMBOL	COMMON NAME	BOTANICAL NAME	MINIMUM SIZE	QUANTITY	AREA REQUIRED	TYPE
	ACRISAPIN	RED MAPLE	2.5" CAL. PER	5	5	SHADE TREE
	QUERCUS PHELLOS	WILLOW OAK	2.5" CAL. PER	2	5	SHADE TREE
	POLEYCLADIA 'CONICA'	DOVE N. BERRY SPICE	3' HEIGHT	2	F	EVERGREEN ORNAMENTAL TREE
	PLATANUS 'GREENLUMINA'	WESTERN WHITE BIRCH	3' GALLON	12	H	EVERGREEN SHrub
	LOBLOMBIA 'GREENLUMINA'	REDBUD	3' GALLON	21	H	DECIDUOUS FLOWERING SHrub
	PAUS SAGUA	DEER BERRY	24" HEIGHT	58	F	EVERGREEN FLOWERING SHrub
	RAPICOLA P. BODICA	INDIAN HAZEL	3' GALLON	17	F	EVERGREEN FLOWERING SHrub
	PLANT. LUMINA 'SAPPHIRE'	DOVE BERRY	2" HEIGHT	11	F	EVERGREEN SHrub
	PLANT. LUMINA 'SAPPHIRE'	DOVE BERRY	3' GALLON	12	H	EVERGREEN SHrub
	PLANT. LUMINA 'SAPPHIRE'	DOVE BERRY	3' GALLON	12	H	EVERGREEN SHrub

- LANDSCAPE NOTES:
- 1.) THERE ARE NO OVERHEAD UTILITIES WITHIN THE BOUNDARIES OF THE PROPERTY LINE. ALL UNDERGROUND UTILITIES SHALL BE VERIFIED BEFORE ANY DIGGING OR EXCAVATION.
 - 2.) THIS PROPERTY IS ZONED C-1, ADJACENT ARE ZONED BD-4 AND R-2. 25' AQUATIC USE BUFFER SHALL NOT BE DISTURBED, AND SHALL FULFILL THE BUFFER PLANTING REQUIRED BETWEEN BD-4 AND C-2.
 - 3.) THIS PLAN REFLECTS AND IS CONSISTENT WITH THE REMAINING PLAN SHEETS ASSOCIATED WITH THIS PROJECT.
 - 4.) ALL FINISHED LAWN AREAS SHALL AVE A MINIMUM OF 4" TOPSOIL SMOOTHLY AND EVENLY DISTRIBUTED. TOPSOIL SHALL BE FREE OF DEBRIS AND NOXIOUS MATERIALS, AND SHALL HAVE POSITIVE DRAINAGE IN ALL LOCATIONS.
 - 5.) ANY LAWN SLOPE 3:1 OR STEEPER SHALL HAVE EROSION CONTROL BLANKET UNTIL GRASS HAS PROPAGATED AND COVERED 95% OF ALL BARE AREAS.
 - 6.) ALL AREAS SHOW AS LAWN SHALL BE SODDED WITH HYBRID FESCUE, OR SEEDDED WITH HYBRID FESCUE.
 - 7.) ALL PLANTS SHALL BE FREE OF DISEASE, AND SHALL HAVE A HEALTHY APPEARANCE AT PLANTING.
 - 8.) ALL PLANT BEDS ARE TO RECEIVE A 3" LAYER OF HARDWOOD MULCH.
 - 9.) ALL PLANT GROWTH IN LANDSCAPED AREAS SHALL BE CONTROLLED BY PRUNING, TRIMMING, OR OTHER SUITABLE METHODS SO THAT PLANT MATERIALS DO NOT INTERFERE WITH UTILITIES, RESTRICT PEDESTRIAN OR VEHICULAR ACCESS, OR OTHERWISE CONSTITUTE A TRAFFIC HAZARD.
 - 10.) ALL LANDSCAPED AREAS SHALL BE MAINTAINED IN RELATIVELY WEED-FREE CONDITION AND CLEAR OF UNDERGROWTH.
 - 11.) ALL PLANTINGS SHALL BE FERTILIZED AND IRRIGATED AT INTERVALS AS ARE NECESSARY TO PROMOTE OPTIMUM GROWTH.
 - 12.) ALL TREES, SHRUBS, GROUND COVER, AND OTHER PLANT MATERIALS SHALL BE REPLACED IF THEY DIE OR BECOME UNHEALTHY DUE TO ACCIDENTS, DRAINAGE PROBLEMS, DISEASE, OR OTHER CAUSES.
 - 13.) NO DETENTION OR RETENTION WATER BASINS ARE REQUIRED.

SITE:	0.64 ACRES	28,163.6 SF
TOTAL NON-LANDSCAPED AREA =	14,302.1 SF	
ZONING C-1	50.7 PERCENT IMPERVIOUS	

1 SHADE TREE/2500 S.F. IMP. AREA
(13,571.49 / 2500) = 5

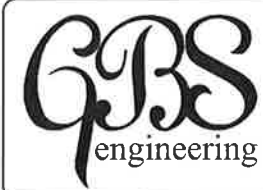
TREES REQUIRED 5 - TREES PROVIDED 5 (5 NEW)
100 % MUST REACH 30' HEIGHT AND WIDTH 5 SHADE (100%)

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SITE LANDSCAPE PLAN PREPARED BY DESIGNER WITH BACHELORS DEGREE IN LANDSCAPE DESIGN.



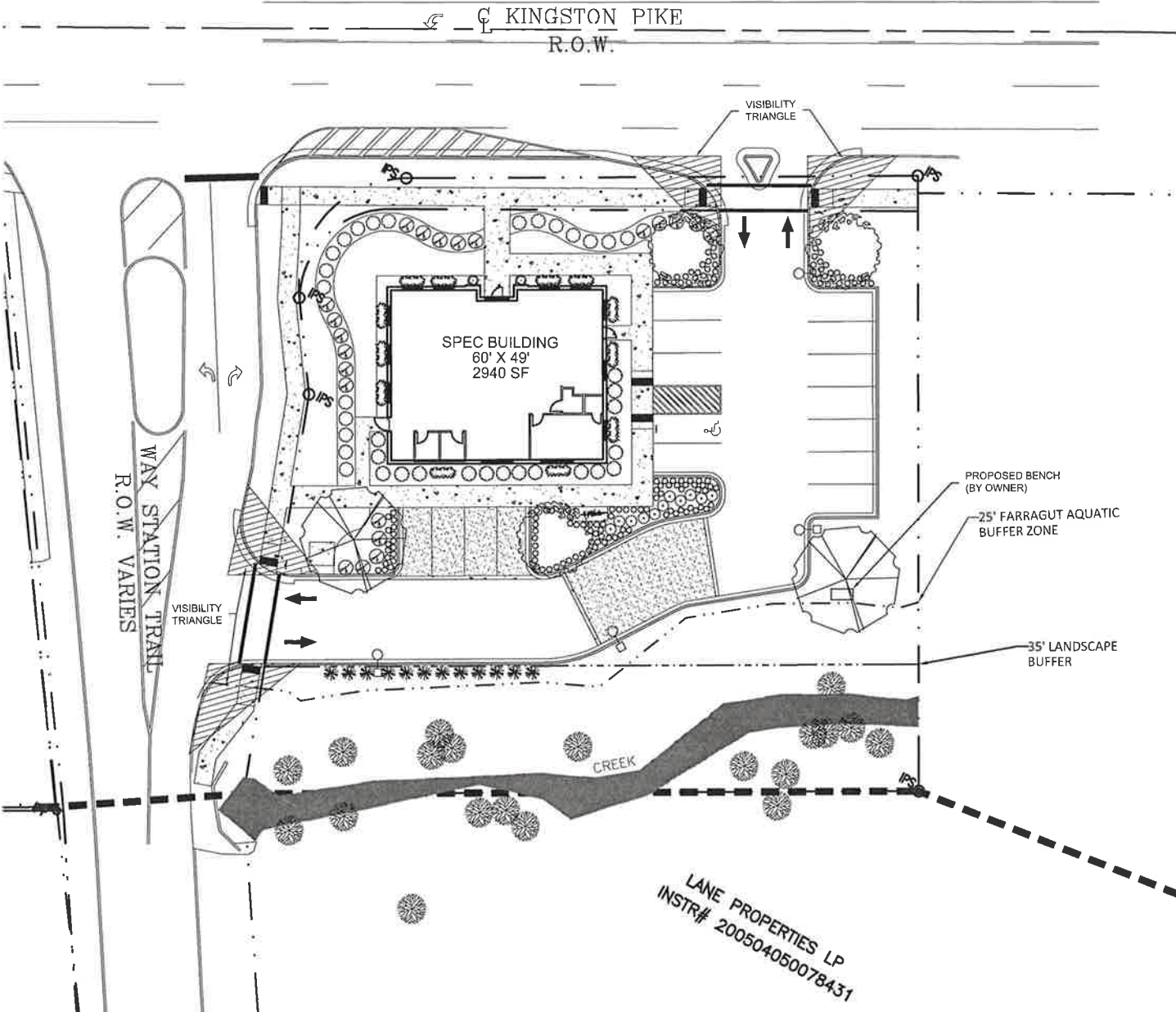
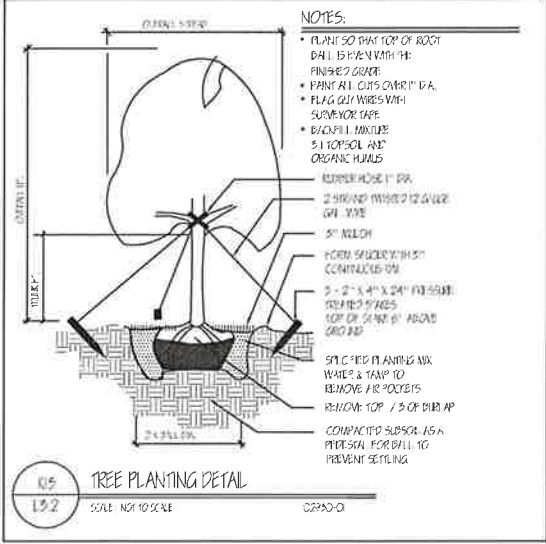
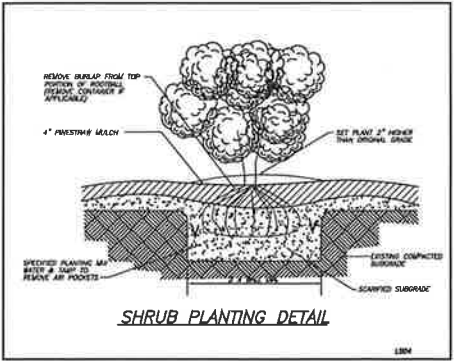
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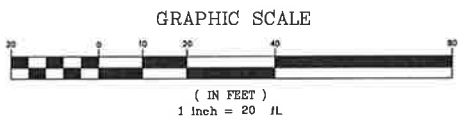
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LOCATION: 12640 KINGSTON PIKE FARRAGUT, TENNESSEE 37934 CLT Map 151, Parcel No. 59.02		CHECKED BY: -	C7.0
Owner: Southwest Bancorp, Inc.		FILE NAME: 2153 - C7.0	
		JOB NUMBER 2153	
		ISSUE DATE: 09/05/2017	

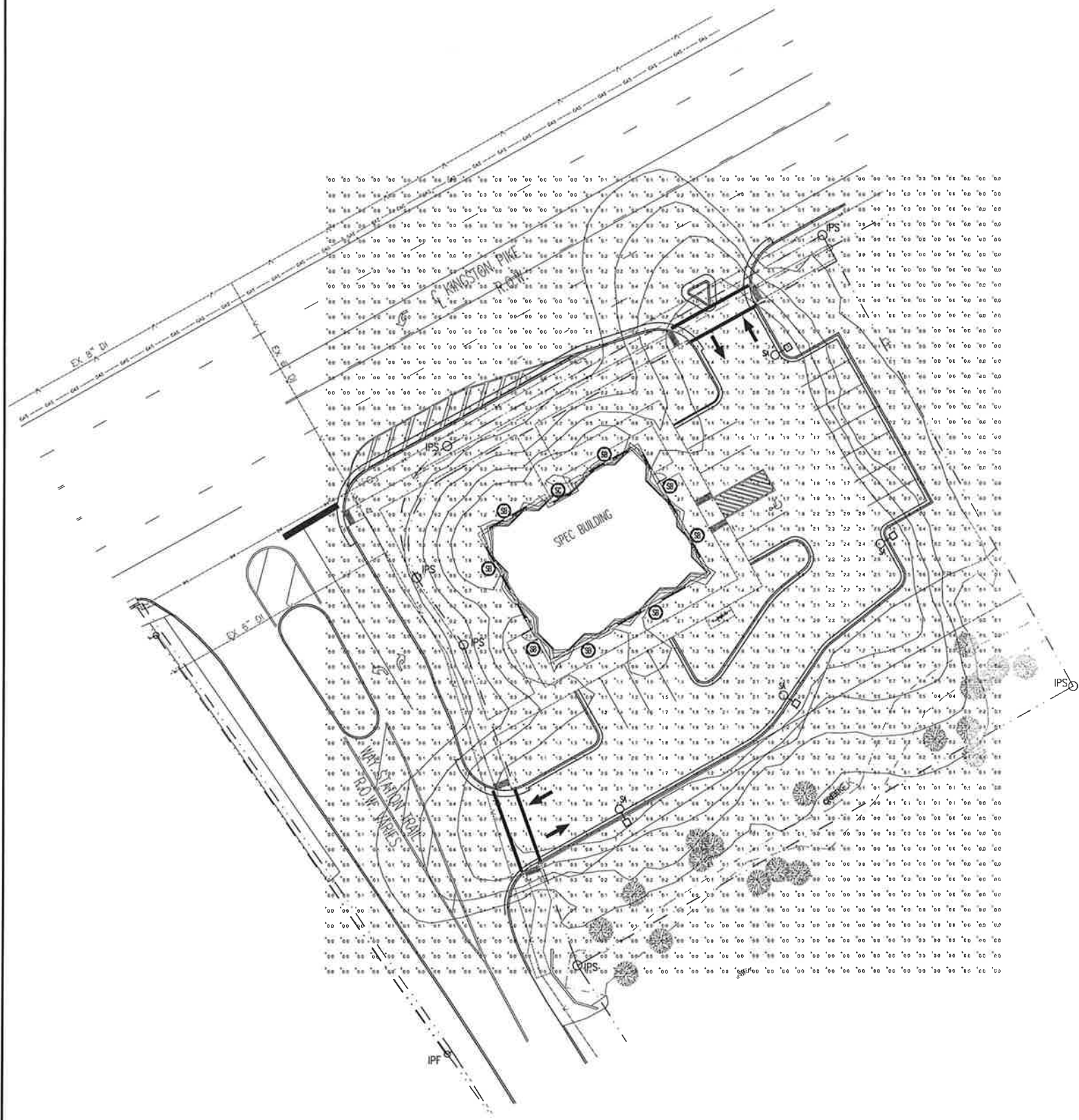


SHEET 13 OF 15



SITE LANDSCAPE PLAN
Scale: 1" = 20'-0"





SITE PHOTOMETRIC PLAN
SCALE: 1"=20'-0"

D-Series Size 1 LED Area Luminaire

Specifications:
Type: D-Series
Length: 2' 11 1/2"
Height: 12"
Weight: 15.5 lbs
Power: 150W

Capable Luminaire
This luminaire is a 1' x 2' x 11 1/2" LED area luminaire, which has been designed and tested to provide consistent light distribution and uniformity. It is suitable for use in a variety of applications, including parking lots, walkways, and general area lighting.

Ordering Information

Ordering Information	Example: DSK1 LED 600 1000 400 2M VOLT SPOT DOWN
DSK1 LED 600 1000 400 2M VOLT SPOT DOWN	DSK1 LED 600 1000 400 2M VOLT SPOT DOWN

Ordering Information

Ordering Information	Example: DSK1 LED 600 1000 400 2M VOLT SPOT DOWN
DSK1 LED 600 1000 400 2M VOLT SPOT DOWN	DSK1 LED 600 1000 400 2M VOLT SPOT DOWN

OLWX1 LED Wall Luminaire

Specifications:
Width: 7-1/2"
Height: 8"
Depth: 3"
Weight: 5 lbs

Ordering Information

Ordering Information	Example: OLWX1 LED 20W 50K
OLWX1 LED 20W 50K	OLWX1 LED 20W 50K

FEATURES & SPECIFICATIONS

INTRODUCTION: This luminaire is a 1' x 2' x 11 1/2" LED area luminaire, which has been designed and tested to provide consistent light distribution and uniformity. It is suitable for use in a variety of applications, including parking lots, walkways, and general area lighting.

FEATURES: This luminaire is a 1' x 2' x 11 1/2" LED area luminaire, which has been designed and tested to provide consistent light distribution and uniformity. It is suitable for use in a variety of applications, including parking lots, walkways, and general area lighting.

LITHONIA LIGHTING

LDN6

FEATURES & SPECIFICATIONS

INTRODUCTION: This luminaire is a 1' x 2' x 11 1/2" LED area luminaire, which has been designed and tested to provide consistent light distribution and uniformity. It is suitable for use in a variety of applications, including parking lots, walkways, and general area lighting.

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REVISIONS	
DATE	DESCRIPTION



BLUE RIDGE ARCHITECTURE
1313 KALMIA ROAD
KNOXVILLE, TENNESSEE 37909
865.670.9298 (V)

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SITE PHOTOMETRIC PLAN
OFFICE BUILDING
12640 KINGSTON PIKE
FARRAGUT, TENNESSEE 37934
PROJECT No: 1606
DRAWN BY: STAFF
CHECKED BY: STAFF

PERMIT SET
ISSUE DATE: 11/03/2017
CONSTRUCTION SET
ISSUE DATE:
DRAWING NUMBER:

EP-1.0

RECEIVED
NOV 6 2017
TOWN OF FARRAGUT



REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on a request to correct an error in the zoning designation for the property at 12603 Evans Road to change the designation from R-1, Rural Residential, to A, Agricultural (Town of Farragut, Applicant)

INTRODUCTION AND BACKGROUND: This is an agenda item that was introduced last month as a workshop item and that is related to the process of correcting an error in the Town's adopted zoning map. Specifically, it was recently brought to the staffs' attention that the property located at 12603 Evans Road and that is just to the west of the Farm at Willow Creek Subdivision was colored as being zoned R-1, Rural Residential, though the property was never part of any rezoning request and was originally zoned A, Agricultural. This error appeared to occur in an adopted zoning map that reflected a rezoning of the property that would become the Farm at Willow Creek Subdivision. This inadvertent rezoning occurred in June of 2003.

DISCUSSION: Since zoning maps have been periodically re-adopted since 2003 and included the zoning error on the property at 12603 Evans Road, the staff, as noted last month, has discussed this with the Town Attorney and such error would have to be corrected with a zoning map amendment.

RECOMMENDATION: Included in your packet is a copy of Resolution PC-17-10 which recommends approval of Ordinance 17-18. The staff recommends approval of Resolution PC-17-10.

RESOLUTION PC-17-10

FARRAGUT MUNICIPAL PLANNING COMMISSION

A RESOLUTION TO APPROVE AN AMENDMENT TO THE FARRAGUT ZONING MAP, ORDINANCE 86-16, TO RECOMMEND THE APPROVAL OF THE REZONING OF PARCEL 30, TAX MAP 152, LOCATED AT 12603 EVANS ROAD, 4.36 ACRES, FROM R-1 (RURAL RESIDENTIAL) TO A (AGRICULTURAL)

WHEREAS, the Tennessee Code Annotated, Section 13-4-201et seq, provides that the Municipal Planning Commission shall make and adopt a general plan for the physical development of the municipality; and

WHEREAS, the Farragut Municipal Planning Commission has adopted various elements of a zoning plan as an element of the general plan for physical development; and

WHEREAS, a public hearing was held on this request on November 16, 2017;

NOW, THEREFORE, BE IT RESOLVED that the Farragut Municipal Planning Commission hereby recommends approval to the Farragut Board of Mayor and Aldermen of an ordinance, amending Ordinance 86-16, of the Farragut Zoning Ordinance, by adding Ordinance 17-18.

ADOPTED this 16th day of November, 2017.

Rita Holladay, Chairman

Edwin K. Whiting, Secretary

ORDINANCE: 17-18
PREPARED BY: Shipley
REQUESTED BY: Town of Farragut
CERTIFIED BY FMPC: November 16, 2017
PUBLIC HEARING:
PUBLISHED IN: _____
DATE: _____
1ST READING: _____
2ND READING: _____
PUBLISHED IN: _____
DATE: _____

AN ORDINANCE AMENDING THE ZONING ORDINANCE OF THE TOWN OF FARRAGUT, TENNESSEE, ORDINANCE 86-16, AS AMENDED, PURSUANT TO SECTION 13-4-201, TENNESSEE CODE ANNOTATED.

BE IT ORDAINED by the Board of Mayor and Aldermen of the Town of Farragut, Tennessee, that the Farragut Zoning Ordinance, Ordinance 86-16, as amended, is hereby amended as follows:

SECTION 1.

The Farragut Zoning Ordinance, Ordinance 86-16, as amended, is hereby amended by rezoning Parcel 30, Tax Map 152, located at 12603 Evans Road, 4.36 Acres, from R-1 to A (Exhibit A).

SECTION 2.

This ordinance shall take effect from and after its final passage and publication, the public welfare requiring it.

Dr. Ralph McGill, Mayor

Allison Myers, Town Recorder

Certified to the Farragut Board of Mayor and Aldermen this ____ day of _____, 2017, with approval recommended.

Rita Holladay, Chairman

Edwin K. Whiting, Secretary

FARRAGUT MUNICIPAL PLANNING COMMISSION



**Ordinance 17-18
Exhibit A**

Rezone
12603 Evans Road

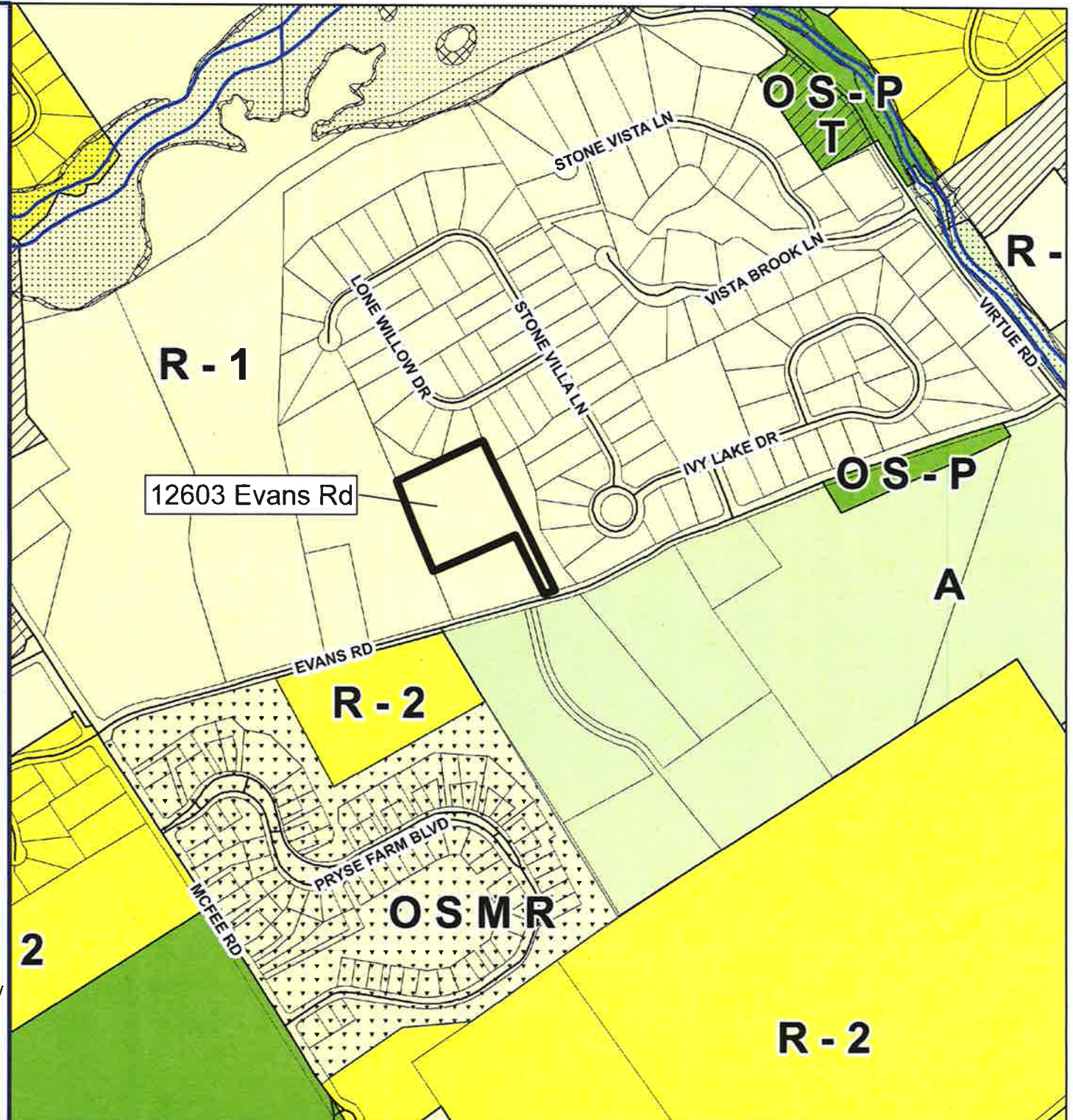
From
R-1 (Rural Single-Family Residential)
to
A (Agricultural)

Legend

-  Subject Property
-  FEMA Floodway
-  FPD-100 Year
-  FPD-500 Year
-  Streets
-  Parcels
-  A, Agricultural
-  OS-P, Open Space/Park
-  R-1, Rural Single-Family Residential
-  R-2, General Single-Family Residential
-  OSR, Open Space Residential Overlay
-  OSMR, Open Space Mixed Residential Overlay
-  Telecommunication Tower Overlay Zone



1 in = 600 ft



REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Bart Hose, Assistant Community Development Director

SUBJECT: Discussion of a concept site plan for a restaurant proposed on Parcel 63.08, Tax Map 151 (westernmost outparcel in front of Renaissance Farragut), Zoned C-1, 1.36 Acres (GBS Engineering, Mark Bialik, Applicant)

INTRODUCTION AND BACKGROUND:

This conceptual site plan involves a proposed restaurant, located on the westernmost outparcel of the Renaissance Farragut development site. The site was partially filled and graded as part of the Renaissance development. It fronts on Kingston Pike, with a preplanned and graded access to Renaissance Farragut's western access drive. This access drive is partially located on the outparcel in question. The parcel is approximately 1.36 acres in size, but this includes the noted Renaissance access drive along with portions of the property that are likely undevelopable. The site is physically constrained by a stream and low-lying land to the rear of the property, along with a drainageway that runs through the eastern third of the property. This drainageway extends from across Kingston Pike, to the stream located at the rear of the property. It has been partially filled, graded, and improved with drainage tiles and headwalls. A visual inspection of this drainageway found what appeared to be a regular flow of water, and any additional work in or around it will require evaluation to determine its regulatory status. There is also a sanitary sewer line and easement running along the southern edge of the property that could further impact development (**Exhibit 1**).

As noted, the proposed restaurant is located on an outparcel in the Renaissance Farragut development. The Renaissance project included an overall stormwater management plan, and the construction of a large detention area located at the eastern end of the development. This drainage plan should, pending verification, cover the outparcel's detention requirements. The developers are utilizing the C-1 zone's flexible front setback requirements, and plan to locate the proposed 3,520 square foot building in the northwestern front corner of the lot. This location enables them to avoid the properties physical constraints, and align their parking plan with the sites predesigned access point along the existing access drive. This building location does, however, impact the potential for cross-lot connectivity given the existing topography on the site and the property located to the west.

DISCUSSION:

This is a conceptual site plan and the developers are simply looking for guidance and input from the Planning Commission. The proposed project was discussed at a regular staff/developer conference meeting (see attached email regarding staff comments). The following issues have been identified for further discussion with the Planning Commission.

1) Connectivity Requirements

The C-1 zoning district requires context appropriate pedestrian and vehicular connectivity between abutting properties, and to and along public streets. The developers are asking the planning commission to consider waiving or modifying this requirement.

The use of the term “context appropriate” is related to the proposed development and its physical surroundings. The site’s physical constraints and preplanned access point, combined with physical conditions on the abutting property, complicates any plans for vehicular connectivity. The development of a connection point towards the rear of the property would be impacted by topography, the existing stream, and possibly the sewer line located on the site and the property to the west. Moving the vehicular connection point to the front of the parcel would impact building locations on the site and the adjoining property. Given the physical constraints on these properties, a building location closer to Kingston Pike would seem to be desirable. Unfortunately, the loss of vehicular connectivity to the west could also impact the redevelopment of the abutting property and may require a future variance regarding driveway spacing (**Exhibits 1 & 2**).

Options include:

- Requiring both vehicular and pedestrian connectivity facilities to be developed now;
- Requiring pedestrian connectivity to be developed now, with the platting of a vehicular connectivity easement for possible development in the future; or
- Requiring only pedestrian connectivity facilities to be planned and developed.

2) Parking Requirements

The concept plan does not include enough on-site parking to meet the Town’s minimum requirements. The developer can utilize the Town’s provisions for shared off-site parking to make up the difference and is exploring this option. Under these provisions, the shared parking must be located within 500 feet of developed property. The developer must also provide for safe and convenient walking between the development and the shared parking area. This will require the extension of sidewalks and related facilities between the proposed site and the main part of the Renaissance development (**Exhibit 2**).

The developers may also require a variance to the parking lot design standards to accommodate a shorter than permitted turn-around area at the southern terminal ends of the parking lot. The issue revolves around the Town’s aquatic buffer setback requirements and grading concerns on the site.

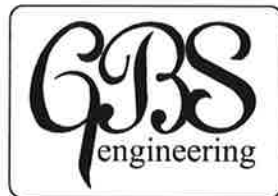
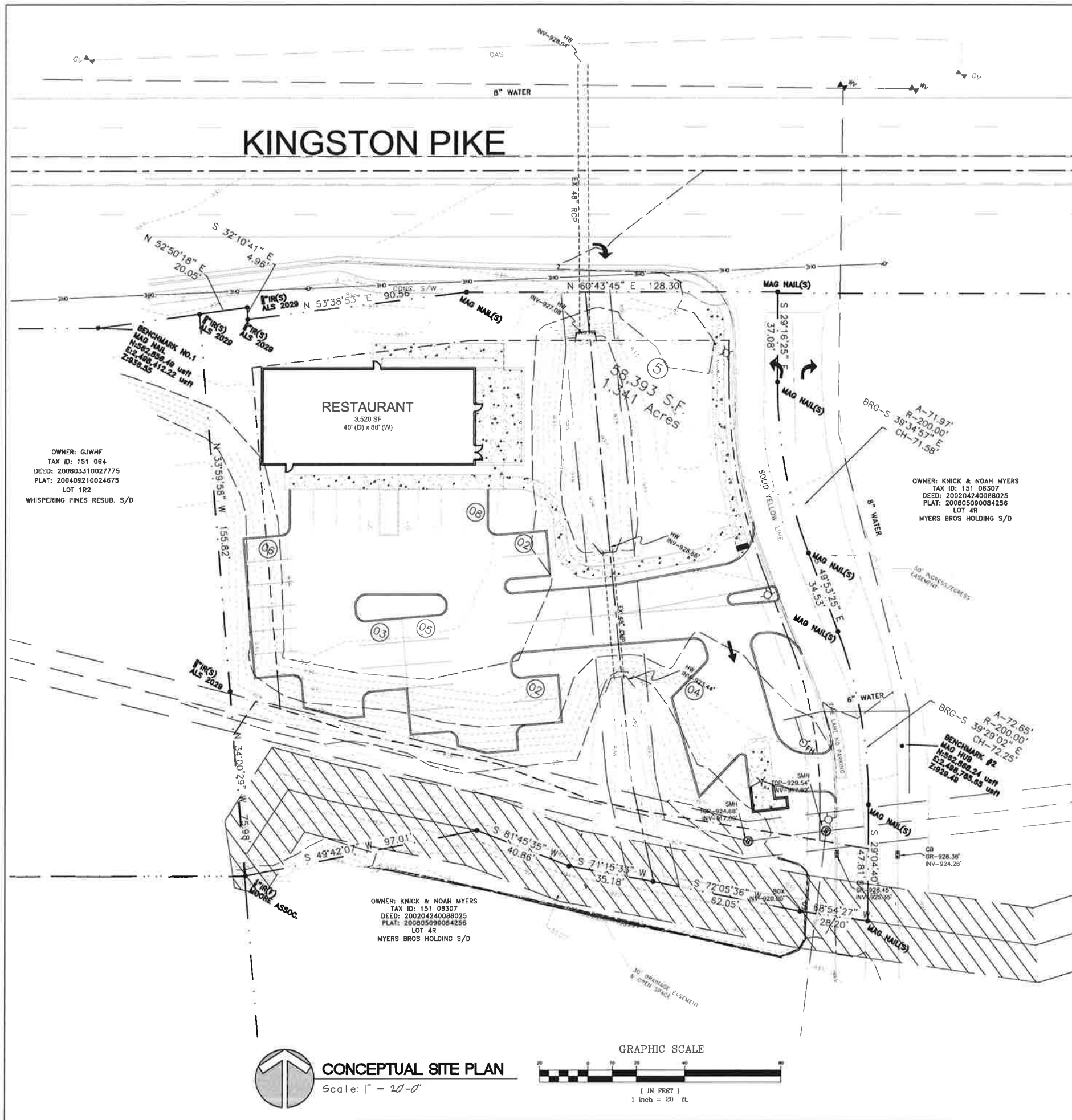
3) Undefined Drainageway

As noted above, there is a drainageway running through the eastern third of the property. This drainageway was observed carrying what appeared to be a regular flow of water in a defined channel, and will need to be evaluated by a Qualified Hydrologic Professional (QHP) before site construction activities are permitted. Its location on the site could further impact overall site design and construction activities.

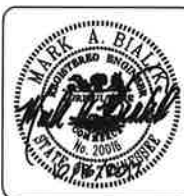
4) Relationship of Site Area to the Proposed Development

Given the site’s physical constraints, and the connectivity and parking issues, is it adequately sized for a development of this type, or would it be better suited for another use? The developers are looking for input and guidance on a proposed restaurant plan, and may be requesting relief from some development requirements. Part of this discussion should include whether the site is reasonably able to accommodate a restaurant.

RECOMMENDATION: This is a conceptual site plan and no action should be taken. The developers are simply requesting a discussion with the Planning Commission.



1313 Kalmia Road
Knoxville, TN 37909
Phn: 865.566.0185
Fax: 888.485.7005



REV.	DESCRIPTION	BY	DATE
TITLE: CONCEPTUAL SITE PLAN		DRAWN BY:	SHEET NO:
LOCATION: XXXXX KINGSTON PIKE		CHECKED BY:	CSP 1
FARRAGUT, TENNESSEE 37934		FILE NAME: Civil Base	
CLT Map 151, Parcel No. 63.08		JOB NUMBER 2155	
Owner: MYERS BROS. HOLDINGS		ISSUE DATE: 09/11/2017	

Bart Hose

From: Mark Shipley
Sent: Wednesday, October 25, 2017 4:29 PM
To: Mark Bialik
Cc: Bart Hose; Zachary Bonham; Darryl Smith
Subject: renaissance outparcel

Mark,

I know this plan is very conceptual. Below are just some initial observations. We have this on the staff/developer agenda for next Tuesday at 9:00. Please let us know if you have any questions before next Tuesday. Thanks.

Conceptual Site Plan – Myers Bros. Holdings

Reviewed as a concept focusing on major issues or questions only.

1. The location of the creek centerline, property line, and noted 30-foot drainage easement and open space area is difficult to follow at the rear of the property. The location of the top of the creek bank and required aquatic buffer area should be more clearly identified.
2. What is the character of the drainageway that crosses under Kingston Pike and through the eastern side of the property? Is it any sort of regulated stream, will it require an aquatic buffer, etc.
3. Will any fill work associated with the proposed southern portions of the parking areas affect either the sewer line easement or any required aquatic buffer in the area?
4. There is no indication of how the developers plan to address stormwater management on the site.
5. The site does not show enough parking for the proposed restaurant (including apparent outdoor seating area). Will the site utilize a shared parking agreement with the larger Renaissance Development? If so, the pedestrian circulation system will need to be extended to accommodate it.
6. There is no provision made for connectivity to the property located to the west of the site.

mark shipley, AICP

COMMUNITY DEVELOPMENT DIRECTOR

EMAIL • MSHIPLEY@TOWNOFFARRAGUT.ORG

PHONE • 865.966.7057

ADDRESS • 11408 MUNICIPAL CENTER DRIVE
FARRAGUT, TN 37934



  townoffarragut.org

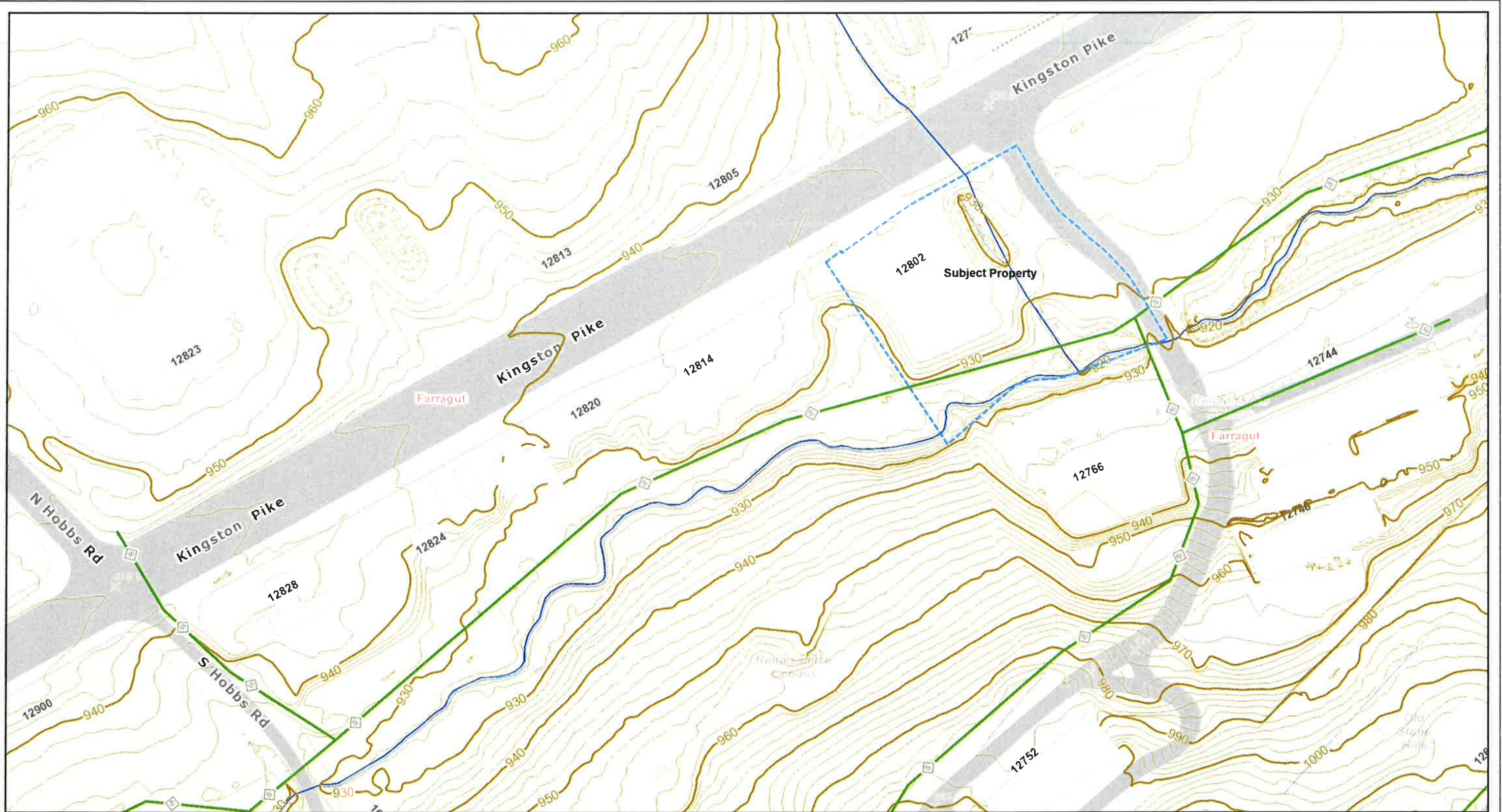
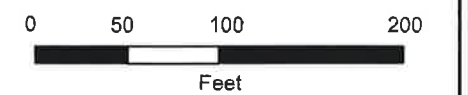


Exhibit 1, FMPC Agenda Item #9

Proposed Restaurant Site

Topography, Drainage, and Sewer Line



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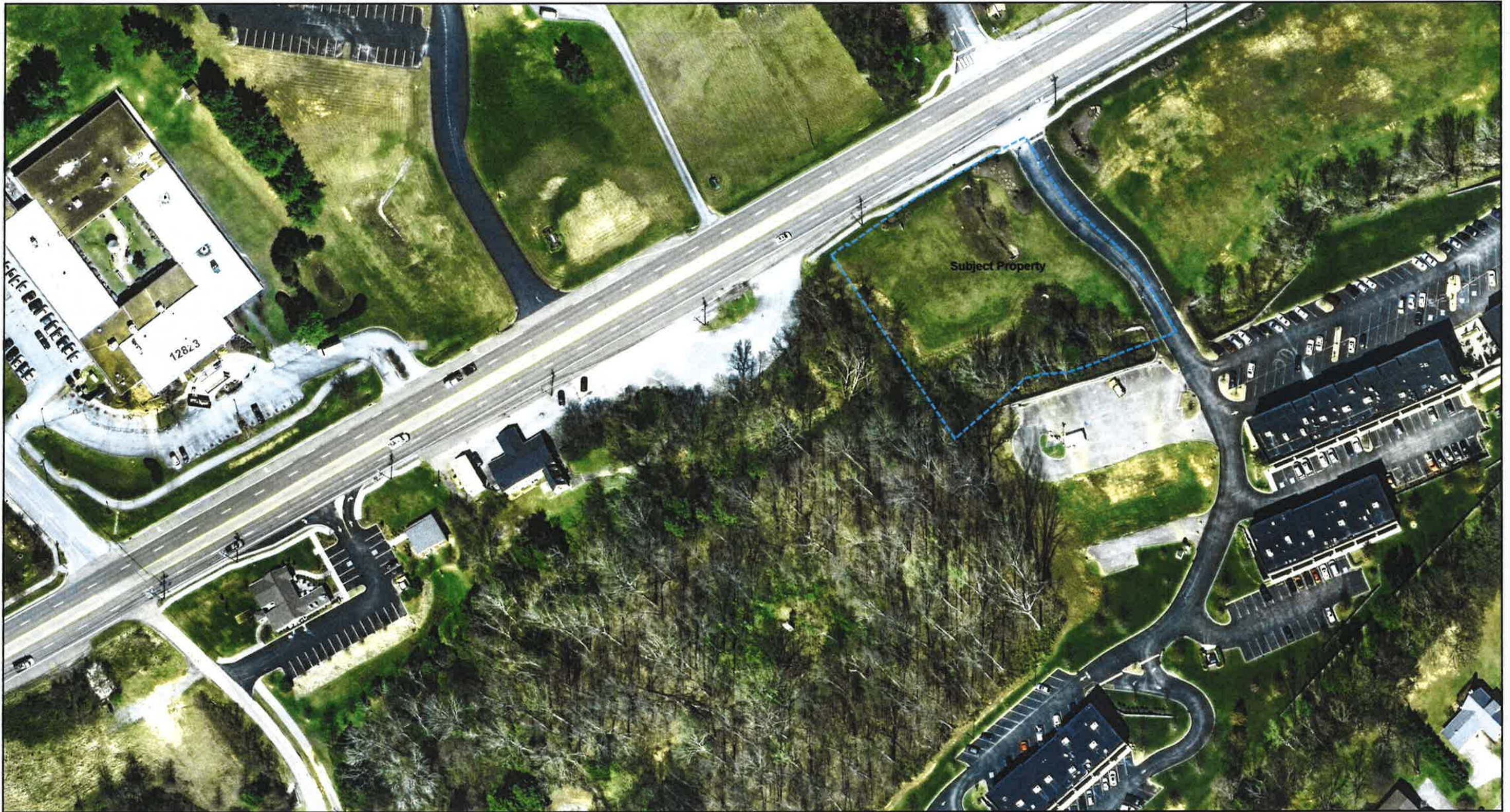
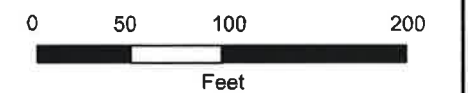


Exhibit 2, FMPC Agenda Item #9
Proposed Restaurant Site
Surrounding Development and Context



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REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion on amendments to the Farragut Subdivision Regulations concerning standards for certain public improvements

INTRODUCTION AND BACKGROUND: This workshop discussion item involves some elements of the Subdivision Regulations that the staff would like to review with the Planning Commission in terms of whether any amendments should be considered at this time. Some objectives that have been discussed with the Planning Commission in the past are how to make our streets more-safe, more attractive, and how to use the space within the right of way as a linear form of community space for people movement in all forms. Specifically, some aspects of the Subdivision Regulations (that may also involve certain provisions in the Zoning Ordinance) that the staff would like to consider include the following:

- 1) Should the minimum grass strip width of 3 feet on local streets be increased to at least 6 feet so as to provide a better opportunity for planting street trees? Such trees would not only enhance the appearance of the street and aid in stormwater runoff but could also create a sense of enclosure that would serve as a form of traffic calming;
- 2) Similar to site plans, should some form of low impact development (LID) stormwater applications be required in association with subdivisions? A recent amendment to the PCD Zoning District stipulated that at least 25% of the development's total area shall be designed so that its runoff will be accommodated through LID measures which would rely on infiltration, evapotranspiration, or capture/reuse of stormwater runoff. Another approach may be to incentivize rather than require LID applications by granting some increased flexibility in other aspects of the development (e.g. in frontage widths or setbacks for new lots) when a developer has provided for some measureable and significant LID systems;
- 3) Require new subdivisions to provide both pedestrian and vehicular connections to abutting properties. The only exceptions for vehicular connections would be in cases where all of the surrounding properties were existing house lots of less than one acre or where very significant topographic issues would effectively prohibit connections;
- 4) Should we revisit lane widths and provide more flexibility to make context based decisions. Should a lesser lane width (e.g. a 12 foot rather than a 13 foot on local collector streets) be the default and a greater lane width be an option depending on the context and based on the recommendation of the Town Engineer;
- 5) Should we specifically require as part of a preliminary plat a comprehensive plan for how the streets will be calmed and how they will incorporate design features that will soften their appearance and make the right of way more inviting to pedestrians and bicyclists? This would be a plan sheet similar to a grading plan, a utility plan, an erosion control plan, etc;
- 6) Should we consider providing incentives for streets with an improved curb appeal, such as rear loaded access streets, streets with bioswales/rain gardens within boulevards (e.g. the Cottages at Pryse Farms Boulevard), etc;

- 7) Should we consider providing some incentives for a developer to create a wider multi-use path than is currently required? The Town requires a minimum of 8 feet but many areas are now going with 10-12 feet. Since this would add cost to a development perhaps some incentives could be available when a developer chooses to exceed the minimum;
- 8) An important value that many respondents mentioned in the strategic planning survey was to provide ample and connected open space. This is something that may need to be more scrutinized as part of plat reviews in the future so that a larger system of connected open spaces and habitat corridors are retained as properties are developed in the remainder of the Town.

The above are simply for discussion purposes and there may be some other questions that should be considered as we formulate responses to these questions. Included in your packets are some images of streets that incorporate some of the elements noted above.





















