



AGENDA
FARRAGUT MUNICIPAL PLANNING COMMISSION

February 15, 2018
7:00 p.m. Farragut Town Hall

For questions please e-mail Mark Shipley at mshipley@townoffarragut.org or Bart Hose at bhose@townoffarragut.org

- 1. Citizen Forum**
- 2. Approval of agenda**
- 3. Approval of minutes – January 18, 2018**
- 4. Discussion and public hearing on a request for approval of a preliminary plat for Sassafras Meadows, Parcel 001, Tax Map 161, 57.6 Acres, 5 lots, Zoned R-1 (Richard LeMay, Applicant)**
- 5. Discussion and public hearing on a request for approval of a site plan for the BKW Restaurant, 12802 Kingston Pike, 1.34 Acres, Zoned C-1 (GBS Engineering, Applicant)**
- 6. Discussion and public hearing on gas main upgrades and extensions in the Kingston Pike, N. Campbell Station Road, Jamestowne Boulevard area (KUB, Applicant)**
- 7. Discussion on a request to rezone the Swan Property, Parcel 58, Tax Map 151, 12639 Kingston Pike, 28.76 Acres, from R-2, R-1, and FPD to C-1, R-4 and FPD (SITE, Inc., Applicant)**
- 8. Discussion on a request to rezone Parcels 52, 54, 54.01, 55, and 57, Tax Map 151, located at 12723, 12733, 12737, 12743, and 12751 Union Road, 115 Acres, from A to R-1/OSR (Site Inc., Applicant)**
- 9. Discussion and public hearing on a request to amend Appendix A – Zoning, Chapter 2., Definitions, by providing new requirements governing the size of accessory buildings (Town of Farragut, Applicant)**

11408 MUNICIPAL CENTER DRIVE | FARRAGUT, TN 37934 | 865.966.7057

WWW.TOWNOFFARRAGUT.ORG

It is the policy of the Town of Farragut not to discriminate on the basis of race, color, national origin, age, sex, or disability pursuant to Title VI of the Civil Rights Act of 1964, Public Law 93-112 and 101-336 in its hiring, employment practices and programs. To request accommodations due to disabilities, please call 865-966-7057 in advance of the meeting.



**MINUTES
FARRAGUT MUNICIPAL PLANNING COMMISSION**

January 18, 2018

MEMBERS PRESENT

Rita Holladay, Chairman
Ed St. Clair, Vice-Chairman
Ed Whiting, Secretary
Ralph McGill, Mayor
Louise Povlin, Alderman
Noah Myers
Betty Dick
Drew Carson
Jack Coker, Youth Representative

MEMBERS ABSENT

Rose Ann Kile

Staff Representatives: Mark Shipley, Community Development Director
Bart Hose, Assistant Community Development Director

Chairman Holladay called the meeting to order at 7 p.m.

1. CITIZEN FORUM

2. APPROVAL OF AGENDA

A motion was made by Commissioner Povlin to approve the agenda as presented. The motion was seconded by Commissioner St. Clair and the motion passed unanimously.

3. APPROVAL OF MINUTES

A motion was made by Commissioner Povlin to approve the December 21, 2017 minutes. The motion was seconded by Commissioner St. Clair and the motion passed unanimously with Mayor McGill and Commissioners' Myers and Carson abstaining because they were absent.

4. DISCUSSION AND PUBLIC HEARING ON A REQUEST TO CURRENT PROVISIONS FOR APPROVAL OF A RESUBDIVISION PLAT TO ADJUST THE FINISHED FLOOR ELEVATION (FFE) AND RELOCATE THE 50 FOOT BUILDING SETBACK BUFFER, AS MEASURED FROM THE SINKHOLE LIP ELEVATION, FOR LOT 60 IN UNIT 3 OF THE SHEFFIELD SUBDIVISION, .267 ACRES, ZONED R-1/OSR (Ryan Lynch, Applicant)

The staff recommended approval subject to the following conditions and/or corrections:

1. The recommendations contained in the “Geotechnical Considerations for Construction” and “Sinkhole Risk Reduction and Corrective Actions” sections of the GEOServices report should be made conditions of the plat approval. The report and recommendations should be recorded with the plat and referenced accordingly on the plat as a guide to future construction on the lot;
2. Plat Note #15 should be amended to comply with the Minimum Finished Floor Elevation requirement of the recently amended Sinkhole Ordinance. In this case, it would be one (1) foot above the highest adjacent grade measured at the building. This standard applies within 50-feet of a sinkhole where the land in question is not located within a defined sinkhole drainage area. The requirement is not directly related to the building setback line and staff recommends that it be applied to the lot. In addition, any alteration to the F.F.E standard would first require a separate variance from the provisions of the Sinkhole Ordinance;
3. Plat Note #9 should be amended to clarify that Tax Map “Lot 78” is Lot 59 on both the original plat and this replat; and
4. All required certificates should be signed, and the surveyor should sign the face of his stamp.

A motion was made by Commissioner Myers to approve the resubdivision plat for the reasons noted by the staff. The motion was seconded by Commissioner Povlin and the motion passed unanimously.

5. DISCUSSION AND PUBLIC HEARING ON A REQUEST FOR APPROVAL TO AMEND THE CONCEPT PLAN FOR THE BRIDGEMORE SUBDIVISION AS IT RELATES TO LOTS THAT HAVE BEEN COMBINED AND HOW TO CALCULATE THE PERMISSIBLE LOT AND BUILDING COVERAGES (Placemakers No. 2 Partnership, Applicant)

The staff recommended approval.

A motion was made by Commissioner Dick to approve a request to amend the concept as presented by the applicant and recommended by staff. The motion was seconded by Commissioner Carson and the motion passed unanimously.

6. DISCUSSION ON AMENDING ACTION TAKEN BY THE PLANNING COMMISSION ON JUNE 21, 1990 IN RELATION TO APPROVAL SUBJECT TO ASSOCIATED WITH FINAL APPROVAL OF UNIT 4 OF THE SWEET BRIAR SUBDIVISION (Town of Farragut, Applicant)

For discussion purposes only.

7. DISCUSSION ON A SITE PLAN FOR KINGSTON PIKE VILLAGE, PARCELS 78.03, 79, 80, AND 81, TAX MAP 151, 13110 KINGSTON PIKE, WEST INTERSECTION OF S. WATT ROAD AND KINGSTON PIKE, 18.59 ACRES, ZONED PCD, PLANNED COMMERCIAL DEVELOPMENT (GBS Engineering, Applicant)

For discussion purposes only.

8. DISCUSSION AND PUBLIC HEARING ON AMENDMENTS TO THE FARRAGUT SUBDIVISION REGULATIONS AS THEY RELATE TO GRASS STRIP WIDTHS BETWEEN STREETS AND PEDESTRIAN FACILITIES, PLAN SUBMITTAL REQUIREMENTS, CONNECTIVITY, AND STREET STANDARDS (Town of Farragut, Applicant)

The staff reviewed this item and noted the Resolution PC-18-03 reflected amendments to Article II of the Subdivision Regulations concerning application submittal requirements. Commissioner Myers recommended that the requirement for more than one public street vehicular access into and out of the development may also be waived by the Planning Commission when a subdivision will have thirty (30) or less dwelling units. This language would parallel the Town's fire code related provisions.

A motion was made by Commissioner Povlin to approve Resolution PC-18-03 with the modification recommended by Commissioner Myers. The motion was seconded by Commissioner Myers and the motion passed unanimously.

The staff reviewed Resolution PC-18-04 and noted that it reflected amendments to Article III of the Subdivision Regulations concerning general requirements and minimum standards of design. The staff indicated that the same language recommended by Commissioner Myers in relation to Resolution PC-18-03 would also be reflected, where applicable, in Resolution PC-18-04.

A motion was made by Commissioner Myers to approve Resolution PC-18-04. The motion was seconded by Commissioner Povlin and the motion passed unanimously.

ADJOURNMENT

The meeting adjourned at 10 p.m.

Edwin K. Whiting, Secretary

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Bart Hose, Assistant Community Development Director

SUBJECT: Discussion and public hearing on a request for approval of a preliminary plat for Sassafras Meadows, Parcel 001, Tax Map 161, 57.6 Acres, 5 lots, Zoned R-1 (Richard LeMay, Applicant)

INTRODUCTION AND BACKGROUND: This item involves a large-lot subdivision located off Dixon Road in the southwest section of the Town. The property is zoned R-1. The subdivision includes five (5) lots and a single 819-foot long access road (which will become a public street). The proposed lots range in size from 5 acres to 21.5 acres. The property owner intends to create “rural estate” lots, with proposed restrictions regarding further subdivision. Given the rural nature of the proposed subdivision, the property owner, through their applicant, are also requesting variances from several sections of the Subdivision Regulations. These include: the standard street construction cross-section, the 500-foot length limitation for cul-de-sacs, sidewalk requirements, streetscaping plan requirements, connectivity requirements, and the minimum 10% open space dedication requirement.

DISCUSSION: As noted, the proposed subdivision involves a rural, large-lot, estate type of development that is not specifically provided for in the Town’s Subdivision Regulations. The proposed road will only access four of the five lots and will be subject to very low traffic volumes. In addition, the property owner has indicated that they intend to place restrictions on the lots limiting further subdivision. This will ensure that density and traffic volumes do not increase in the future. Because of this, the Town’s staff is not opposed to granting many of the requested variances. These include the following:

1. A variance from the standard local street construction cross-section, to utilize a low-volume rural cross-section. This would be based on the limited number of large (5+ acre) lots, the resulting low-density and traffic generation aspects of the proposed development, and the proposed restrictions on further subdivision.
2. A variance from the 500-foot length limitation for cul-de-sacs to 819-feet. This would primarily be based on the impact of the site’s topography and possible sinkholes on the location of the proposed road. Additional factors include the need for the road to extend into the property to provide for a fire hydrant close enough to service anticipated home sites, the limited length of the requested extension in relation to the topography and proposed lot configuration, the limited number of large lots, and the proposed restrictions on further subdivision.
3. A variance from the sidewalk construction requirements. Again, this would be based on the limited number of large (5+ acre) lots, the resulting low-density and traffic generation aspects of the proposed development (pedestrians could walk along the street), the proposed restrictions on further subdivision, and the use of a rural road construction cross-section, if approved.
4. A variance from the streetscaping plan requirements. This would be based on the low density rural open nature of the development and the use of a rural road construction cross-section, if approved.

5. A variance from the vehicular connectivity requirements. This would be based on lot sizes and the nature of existing development on adjoining properties, the limited number of lots and low-density aspects of the development, and the proposed restrictions on further subdivision. The staff would, however, recommend that the developers explore the possibility of providing an easement to facilitate the future construction of a bike/pedestrian link between the existing greenway (the Montgomery Trail) and Dixon Road. The owners would not be required to construct the link given the limited nature of the proposed subdivision.
6. A variance from the 10% open space dedication requirements. This would be based on the low density rural open nature of the development, previous dedications for the Montgomery Trail Greenway, and the proposed restrictions on further subdivision that will maintain the rural open nature of the area.

RECOMMENDATION: Included in your packet is a copy of the revised preliminary plat and the staffs' comments on the original plat. The staff will make a recommendation at the meeting based on whether the staffs' comments have been addressed. Please note that the topographic depressions identified on the plat will either need to be evaluated or labeled as sinkholes with 50-foot building setback areas in conformance with the Town's Sinkhole Ordinance. In addition, the Planning Commission should carefully craft any motions regarding the variances discussed above to limit their context and application to this development proposal.

**APPLICATION FOR CONSIDERATION OF SUBDIVISION
PRELIMINARY PLATS
TOWN OF FARRAGUT, TENNESSEE**

FOR OFFICE USE ONLY

Fee Paid: 225.00

1-16-18 PA

APPLICANT NAME: Tucker Montgomery
Address: 524 Dixon Rd City/State/Zip: Knoxville, TN 37934
Phone Number: 865-604-3476 Fax Number: _____
E-mail: _____

PROPOSED NAME OF SUBDIVISION: Sassafras Meadows Phase No.: _____
Lot(s)/Parcel(s) No.: 001 Tax Map No.: 161
Number Of Acres: 57.6 Number Of Lots: 5

NAME OF OWNER: Tucker Montgomery
Address: 524 Dixon Rd City/State/Zip: Knoxville, TN 37934
Phone Number: 865-604-3476 Fax Number: _____

NAME OF SURVEYOR: Lemay and Associates
Address: 10816 Kingston Pk City/State/Zip: Knoxville, TN 37934
Phone Number: 865-671-0183 Fax Number: 865-671-0213
E-Mail: rlemay@lemayassociates.com

VARIANCE(S) OF THE FARRAGUT SUBDIVISION REGULATIONS REQUESTED (continue on back):

1. Cal desec From 500 to 819'
2. Request no sidewalks or traffic calming.
3. Request no connectivity or streetscaping sheet.
4. Variance from Required Open Space to 0.89 ac (Existing Trail)
5. Variance from local street cross section

I execute the waiver of the requirement in Tennessee Code Annotated, 13-4-304, for approval of such plat(s) within thirty (30) days after submission.

This 16 day of JAN, 20 18

(SIGNATURE)

I HEREBY CERTIFY THAT THE ABOVE INFORMATION IS ACCURATE AND COMPLETE AND I AM THE APPLICANT OR THE LEGAL REPRESENTATIVE OF THE APPLICANT.

R E Lemay (agent)
NAME (SIGNATURE)

01-16-2018
DATE

RECEIVED

JAN 16 2018

TOWN OF FARRAGUT

January 25, 2018

Mr. Tucker Montgomery
524 Dixon Road
Farragut, TN 37934

**SUBJECT: STAFF COMMENTS ON THE PRELIMINARY PLAT FOR
SASSAFRAS MEADOWS, PARCEL 001, TAX MAP 161**

Dear Tucker:

The Town staff has reviewed the preliminary plat that was submitted for Sassafras Meadows for compliance with the Town requirements. If you could please address the following comments and submit four (4) full size copies and one (1) 11" x 17" reduced set to the Farragut Town Hall Monday, February 5, 2018 I would appreciate it. Also, upon resubmittal, please include a letter which addresses these comments and that indicates where the information can be found on the plans.

This item will be discussed at the Staff/Developer Meeting at the Farragut Town Hall on Tuesday, January 30, at 10:00 a.m. The purpose of this meeting is to discuss questions you may have on staff comments. Modifications to the plans are not due until Monday, February 5.

Fire Division: (Contact Dan Johnson at djohnson@townoffarragut.org)

- 1) Please confirm the cul-de-sac complies with the 53' vehicle turning radius;
- 2) Please provide calculations confirming the proposed fire hydrant will produce the required minimum flow of 1000 gpm at 20 psi;

Planning Division: (Contact Mark Shipley at mshipley@townoffarragut.org) or Bart Hose at bhose@townoffarragut.org

- 3) Please note that recent amendments to the subdivision regulations require a separate natural factors sheet. This should be provided and the depressions on the site should be evaluated for compliance with the sinkhole ordinance where applicable. In addition, the topographic contours on the plat are not labeled with respect to elevations or interval;
- 4) The "farm pond" may be a sinkhole area and will need to be looked at. It may also affect the location of the proposed roadway;
- 5) The proposed cul-de-sac exceeds the 500-foot length limitation. This may be reasonable given the site and nature of the development but will require a variance from the Planning Commission. Please also note that the cul-de-sac turn-around area ROW can be reduced to a 94-foot diameter;
- 6) The area between the proposed road and the Hanlon property is akin to a reserve strip which would not be permitted. Consideration should be given to moving the road alignment slightly so that the north edge of the right of way is the south edge of the adjoining property. This would also allow the road to be slightly further

- away from the farm pond area and would avoid the creation of a sliver of property that may create confusion as to who maintains this;
- 7) The plan does not include sidewalks and does not fully address traffic calming in accordance with the amended subdivision regulations. This is, however, planned to be a very low density rural estate lot development with minimal vehicular or pedestrian traffic. The Planning Commission could waive these requirements and the staff would support this;
 - 8) The plan does not comply with the new connectivity or streetscaping sheet requirements. Again, given the nature of the development, the Planning Commission can consider waiving these;
 - 9) The plat/plan does not include the required minimum open space dedication. The developer should look at the area already dedicated for the existing greenway trail along with the “greenbelt” provisions in the subdivision regulations;
 - 10) The existing ROW width from centerline should be shown for Dixon Road. Additional ROW dedication (to meet the minimum 30-foot from centerline requirement for a collector road) is required;
 - 11) The applicant’s check-list indicates a tree preservation plan, but none is evident (this may not be applicable depending on the tree cover on the property and whether any existing trees would be disturbed as part of this preliminary plat – it would appear that no tree preservation plan would be needed);
 - 12) The plat note regarding existing easements is very broad and will need more specificity;
 - 13) The 20-foot drainage easement extending eastward from the cul-de-sac should be labeled, as proposed, for clarity;
 - 14) Sassafras is spelled wrong on cover sheet, please correct;
 - 15) Surveyor’s seal needs to be signed;
 - 16) The plat legend is very minimal and may need more detail;
 - 17) A portion of the land being divided is located in Loudon Co. and will also need their Planning Commission’s approval;

Engineering Division: (Contact Darryl Smith at dsmith@townoffarragut.org)

- 18) Almost all of the property appears to drain to sinkholes, which is allowed provided the applicant shows that existing sinkholes can accept the runoff from 100-year event (see subdivision regulations). Staff observes that a portion of off-site area to the north, as well as a portion of Lot 2 drains to what is shown as a farm pond on Lot 1 (is this a sinkhole?). How large is this watershed? Please provide calculations and brief description. As shown, runoff from that area will be re-directed via the roadside ditch across the frontage of Lot 2, where it will then be released into a drainage easement across Lot 4 (and into a different sinkhole). This may create an issue with properties in Fort West that back up to this second sinkhole;
- 19) Will any detention be required?
- 20) Please show detail for concrete endwalls at entrance to Dixon Road;
- 21) Will all lots be on septic? Will gas be available? Please show all proposed utility locations;
- 22) Will a greenway be provided?

- 23) Please submit irrevocable letter of credit for erosion control of \$5000;
- 24) Please submit Drainage Fee of \$120; and
- 25) Please show detail for street signs.

In addition to the e-mail addresses provided above you may also call the designated staff person(s) at 865-966-7057 if you have any questions on the above items. Unless specified otherwise, please include all requested information on the plans. Thank you for your assistance.

Sincerely,

Mark Shipley, AICP
Community Development Director

Darryl Smith, PE
Town Engineer

LEMAY AND ASSOCIATES

10816 Kingston Pike, 2nd Floor
Knoxville, TN 37934
Phone: 865-671-0183 – Fax: 865-671-0213
E-mail: rlemay@lemayassociates.com

DATE: February 5, 2018

TO: Mr. Mark Shipley
Town of Farragut

FROM: Richard LeMay, P.E.

RE: Tucker Montgomery
Dixon Rd
(Response to comment sheet dated 01/25/2018)

RECEIVED

FEB 05 2018

TOWN OF FARRAGUT

Fire Division:

- 1) Cul desac changed to "Y" turn a round. All sheets
- 2) Morristown Sprinkler to test hydrants this week.

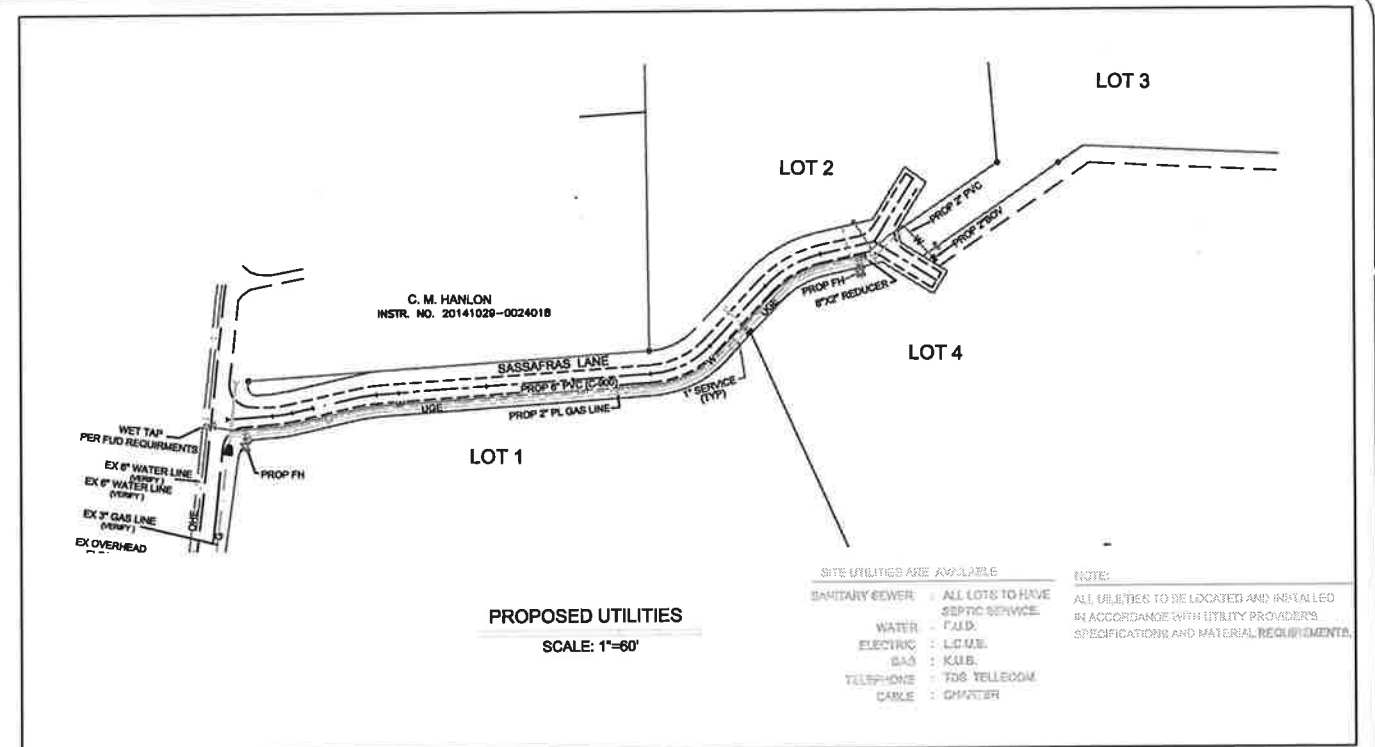
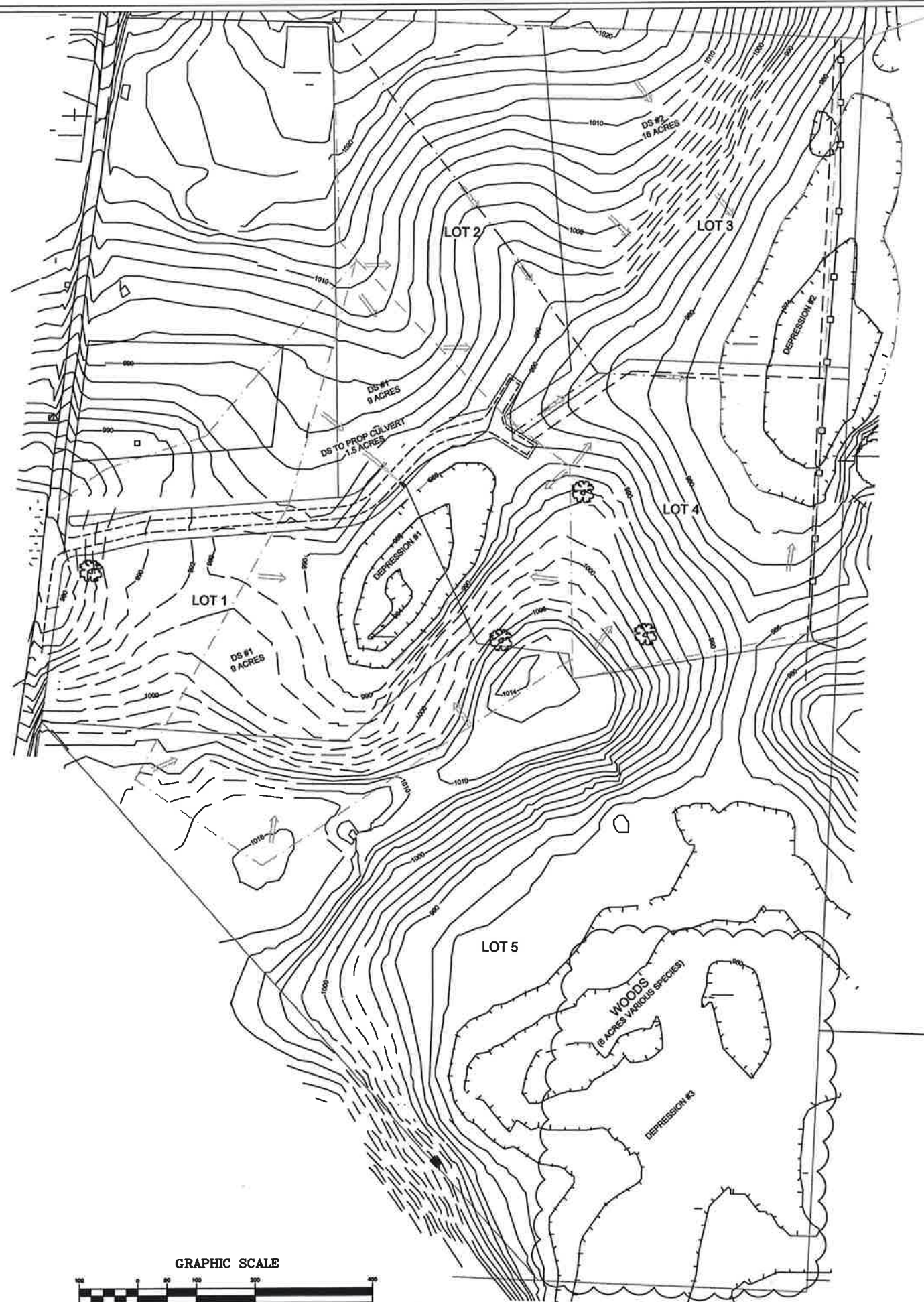
Planning Division:

- 3) Natural features sheet added.
- 4) Road moved away from depression. all sheets
- 5) Variance to cul de sac to be applied for.
- 6) Right of way moved to boundary—all sheets
- 7) Variance to sidewalk requirement to be applied for.
- 8) Variance to streetscaping and connectivity applied for.
- 9) Existing open space shown. Sheet 1
- 10) ROW moved to 30' from center line. All sheets
- 11) No trees will be impacted by development. Trees shown Sheet 3.
- 12) Note removed. Sheet 1
- 13) Proposed added to easement. Sheet 1.
- 14) Spelling corrected. Cover Sheet.
- 15) Seal signed. All Sheets.
- 16) Legend Added all Sheets.
- 17) Loudon County portion removed from submission.

Engineering Division:

- 18) Depression capacity calculations attached to submission.
- 19) Less than an acre is being disturbed. With 5 acre + tracts, no detention required for single family house. Will confirm with TDEC.
- 20) Detail added. Sheet 2.
- 21) Utilities shown. Sheet 2. Lots will be on septic.

- 22) Existing walking trail is all that is proposed due to lot size and density,
- 23) Noted
- 24) Noted
- 25) Detail added. Sheet 2.



NATURAL FEATURES INVENTORY

(3) DEPRESSIONS - TO REMAIN UNDISTURBED

- #1 LOT 1 - 1.3 ACRES (GRASS)
- #2 LOT 3 & 4 - 3.3 ACRES (GRASS)
- #3 LOT 5 - 8 ACRES (WOODS & GRASS)

TREES

- INDIVIDUAL TREES (APPROX 11 VARIOUS SPECIES)
- LOTS 1, 2, 3, & 4 - TO REMAIN
- (8) ACRES TREES (VARIOUS SPECIES)
- LOT 5 - TO REMAIN
- LANDSCAPING AND TREES ADJACENT TO EXISTING HOUSE AND DRIVE - TO REMAIN

RECEIVED
FEB 05 2018
TOWN OF FARRAGUT

**LeMAY AND ASSOCIATES
CONSULTING ENGINEERS**

PH: 865-671-0183 FAX: 865-671-0213

10816 KINGSTON PIKE

KNOXVILLE, TENNESSEE 37922

NATURAL FEATURES

MONTGOMERY PROPERTY

DISTRICT 5 • TOWN OF FARRAGUT
KNOX COUNTY • TENNESSEE

CLT MAP 161, PARCEL 001

DRAWN BY:	APPROVED BY:	DATE:	LATEST REVISION:	SCALE:	DRAWING NUMBER:
REL JR	REL	07-24-2017	02-02-2018	1" = 20'	5662

SHEET 3 OF 3

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on a request for approval of a site plan for the BKW Restaurant, 12802 Kingston Pike, 1.34 Acres, Zoned C-1 (GBS Engineering, Applicant)

INTRODUCTION AND BACKGROUND: As you may recall, at the November 16, 2017 Planning Commission meeting, a concept site plan for the BKW Restaurant was presented to the Commission for discussion purposes only. Some of the questions and responses associated with the concept plan involved:

- 1) Connectivity. Does vehicular connectivity make sense in the context? The property to the west is very topographically challenged and a connection does not make sense at this time but should not be precluded from occurring in the future;
- 2) Parking. The fact that the proposed use (restaurant) requires more parking than is shown on the property and shared parking would need to be used. The applicant would need to demonstrate compliance with the Town's shared parking provisions;
- 3) Drainageway along eastern portion of lot. Ensuring that this area is properly protected as part of the development of the site. The development would not appear to be impacting this area; and
- 4) Relationship of site area to the proposed development. Given the property's constraints and the parking space requirements for restaurants, is the property a good candidate for a heavy parking generation use? Related to this item, the developer mentioned that the remnants of a former TDOT weigh station creates excess right of way along the western frontage of the parcel which imposes a greater front yard setback requirement than would typically be required. It was noted that a setback variance may be pursued through the Board of Zoning Appeals to address this matter and, if approved, this would lessen some of the development constraints.

DISCUSSION: Based on the feedback provided, the applicant is now requesting approval for a site plan. A front yard setback variance was approved by the Board of Zoning Appeals on December 27, 2017 so that the front building setback line would be measured consistently across the property's frontage in relation to the centerline of Kingston Pike. This has helped address some of the previous concerns related to the parking lot and fitting everything within the setback requirements.

RECOMMENDATION: Included in your packet is a copy of the revised site plan along with the staffs' comments on the original site plan. The staff will make a recommendation at the meeting based on whether the staffs' comments have been addressed.

January 25, 2018

Mr. Mark Bialik
GBS Engineering
1313 Kalmia Road
Knoxville, TN 37909
mark@gbs-eng.net

**SUBJECT: STAFF COMMENTS ON THE SITE PLAN FOR THE BKW
RESTAURANT PROPOSED AT 12802 KINGSTON PIKE**

Dear Mark:

The Town staff has reviewed the initial site plan that was submitted for the BKW Restaurant at 12802 Kingston Pike for compliance with the Town requirements. If you could please address the following comments and submit five (5) full size copies and one (1) 11" x 17" reduced set to the Farragut Town Hall Monday, February 5, 2018 I would appreciate it. Also, upon resubmittal, please include a letter which addresses these comments and that indicates where the information can be found on the plans.

This item will be discussed at the Staff/Developer Meeting at the Farragut Town Hall on Tuesday, January 30, at 10:30 a.m. The purpose of this meeting is to discuss questions you may have on staff comments. Modifications to the plans are not due until Monday, February 5.

Fire Division: (Contact Dan Johnson at djohnson@townoffarragut.org)

- 1) Staff suggests the applicant discuss the scope of this project and re-evaluate the need to provide a fire sprinkler system. Based on the information provided, this occupancy may be required to have a fire sprinkler system;
- 2) The fire apparatus access within the parking lot appears to create a dead-end that exceed 150' without a compliant turn around provided. This would be negated by the installation of a fire sprinkler system throughout but would need to be addressed otherwise;
- 3) Please relocate fire lane markings that appear to end in travel path of driveway;
- 4) Please verify that adequate access for fire apparatus is provided into parking lot. It appears the radii will not support a southbound turn into the lot without running over the center island.
- 5) Is there any potential plans to provide enclosures around the covered patio? (canvas or other);

Planning Division: (Contact Mark Shipley at mshipley@townoffarragut.org) or Bart Hose at bhose@townoffarragut.org

- 6) The retaining wall along the western edge of the site and parking lot appears to violate the zoning ordinance's setback requirements for such structures. The minimum setback is ten (10) feet. Design details will also be required for any retaining walls proposed;

- 7) Please add a numbered note to the site layout sheet which addresses the front yard setback variance granted by the Board of Zoning Appeals on December 27, 2017;
- 8) The plan calls for the use of off-site parking and must clearly document compliance with those provisions. It must identify and locate the offsite parking dedicated to the site and meet the accessibility requirements. There is no apparent pedestrian connection between the site and the sidewalk shown extending southward from the second exit point. The plan appears to envision walking through the main access drive and secondary parking/dumpster area to access the sidewalk to the south. In addition, there is no way to evaluate the pedestrian connections to the undefined location of the offsite parking spaces;
- 9) The plan does not appear to identify loading areas and delivery truck movements on the site;
- 10) The submitted plan does not include a lighting plan sheet with all applicable information;
- 11) The building elevations do not include color information. The applicant also needs to submit a full ADS checklist;
- 12) Please detail an ADA compliant sidewalk/curb ramp at the Kingston Pike/entrance road corner;
- 13) The proposed HC parking spaces are not well located from a user convenience standpoint;
- 14) Please detail the width of landscape islands, etc. to assure code compliance;
- 15) The Site Info table on sheet C3.0 lists the site acreage as .64, which doesn't match the 1.34 shown elsewhere on the plan;
- 16) Note 3 on the site utility plan calls for a pole mounted transformer, is this correct?
- 17) Please terminate the roof drain discharge outside of the aquatic buffer;
- 18) For clarification purposes, please include a diagram which identifies areas being counted toward lot coverage. The term "lot coverage" should be used instead of impervious coverage;
- 19) The landscape plan will be reviewed by the VRRB and requires a separate application. A grading permit cannot be issued until the landscape plan is approved;
- 20) Prior to the issuance of a Certificate of Occupancy a digital as-built will be required in a JPEG format;

Engineering Division: (Contact Darryl Smith at dsmith@townoffarragut.org)

- 21) This property is a portion of the Renaissance Development, which incorporates shared detention already constructed. No detention will be required on this outparcel;
- 22) Will gas be provided to this location?
- 23) Please show detail for handrails at retaining walls;
- 24) Please provide irrevocable letter of credit for erosion control of \$6700;
- 25) Please submit Drainage fee of \$525;
- 26) Will NOC be required?

Stormwater Division: (Contact Lori Saal at lsaal@townoffarragut.org)

- 27) Cover sheet: the word "aquatic" is misspelled in the legend;

- 28) Sheet C1.0: Erosion control notes should reference TDEC manual, not KY manual;
- 29) EPSC, Grading, and/or Landscape Plan should include the statement "Water Quality Buffer. Do Not Disturb";
- 30) Please include a note on the site plan referencing long-term maintenance requirements of the permeable concrete pavers. A simple reference to the TN Perm SW Mgmt and Design Guidance Manual and the responsible party will suffice; and
- 31) Please provide construction details for the concrete washout area.

In addition to the e-mail addresses provided above you may also call the designated staff person(s) at 865-966-7057 if you have any questions on the above items. Unless specified otherwise, please include all requested information on the plans. Thank you for your assistance.

Sincerely,

Mark Shipley, AICP
Community Development Director

Darryl Smith, PE
Town Engineer

February 2, 2018

Mr. Mark Shipley,
Community Development Director,
Town of Farragut,
11408 Municipal Center Drive,
Farragut, Tennessee 37934

Re: Staff comments on Site Plan for 12802 Kingston Pike,
Parcels 63.08, Tax Map 151, Farragut.

Dear Mark,

Attached are the required 5 full sets revised drawings of the Site Development Plans for 12802 Kingston Pike. We have addressed the Staff comments as follows:

1. We are in the process of evaluating the code requirements to determine if a sprinkler system will be required for the proposed building.
2. We expressed to the Fire Marshall the use of the Right-of-way of Kingston Pike eliminates the need to enter the parking lot. However, we will work with the Fire Marshall.
3. We will work with the Fire Marshall to comply.
4. We are providing vehicle tracking information to prove fire vehicles can enter the parking lot.
5. We are not aware of any additional means to enclose the covered patio currently.
6. We have moved the retaining wall along the western property line to be 10' away, see drawing C4.0. We will include the retaining wall design plans and provide the design calculations to the Town Staff, once we get this information from the Retaining Wall designer.
7. We have added the requested note stating approved front yard variance, see drawing C3.0.
8. We have added the existing parking associated with future Building C of Renaissance Development. We have added a section of sidewalk and extended proposed sidewalk to provide a walking path to the proposed Shared Parking Spaces.
9. BKW will work with suppliers to require deliveries during off-hours.
10. We have included a Site Lighting and Photometric Plan to the Set, see drawing E1.0.
11. We plotted the elevations in color as part of this submittal. Also, attached is the completed ADS Checklist.
12. We have labeled the existing handicap ramp, see drawing C3.0.
13. We believe the location of the proposed Handicap Spaces meet ADA requirements.
14. We have added dimensions for all the islands, see drawing C3.1. We have check to make sure we meet the Town of Farragut requirements.
15. We have corrected the acreage statement in the Site Info Table.
16. We will be using a Pole Mounted Transformer at this location.
17. We have shortened the proposed downspout boot system, but we install this below ground and we have to daylight, see drawing C6.0.
18. We have revised the Coverage Calculations to reflect Lot Coverage as requested, see drawing C3.1.
19. We will be presenting to VRRB this month.
20. We state this requirement in the Notes on the Cover Sheet.
21. We agree with this statement.
22. We show gas on the Site Utility Plan, see drawing C6.0.

RECEIVED

FEB 05 2018

TOWN OF FARRAGUT

MARK A. BIALIK, PE
865.566.0185 (M)
888.485.7005 (F)

GBS ENGINEERING
1313 KALMIA ROAD
KNOXVILLE, TENNESSEE 37909

23. We will include the Handrail Details with the Design Plans and Calculations for the proposed retaining wall, once we get this information.
24. We will provide the required \$6700 for erosion control, prior to obtaining the Grading Permit.
25. We will provide the Drainage Fee of \$525 prior to obtaining the Grading Permit.
26. We are not required to have a NOC, as we are disturbing less than one acre.
27. We have corrected our spelling error on the Cover Sheet.
28. We are now referencing TDEC BMP Manual for the callouts on the EP & SC Plan Sheets, see drawings C1.0 and C1.1.
29. We have added a call out to state "Aquatic Buffer, Do Not Disturb", see drawings C1.0, C1.1, C4.0 and C7.0.
30. We have modified Note #17 on drawing C3.0 to address this comment.
31. We have added the requested Detail for Concrete Washout Area to drawing C8.0.

We look forward to obtaining approval of these plans.

Sincerely,



Mark A. Bialik, PE

RECEIVED

FEB 05 2018

TOWN OF FARRAGUT

Chapter 1: Site Design Guidelines

STREETSCAPE

Intent Statement: Streetscape features should be functional and durable while helping to affirm or establish the identity of a neighborhood, district, or development.

Note: Page numbers refer to the "Farragut Architectural Design Standards" document.

Page #	Guideline #	Guideline Description	Met	Not Met	NA	Brief description of how the guideline is achieved:
pg. 14	1.1	Integrate functional pedestrian improvements into the streetscape.	☒	☐	☐	Comment: We have provided connections to the existing sidewalk along Kingston Pike and along Existing entrance to Renaissance.
pg. 14	1.2	Coordinate streetscape elements along public frontages surrounding a development.	☒	☐	☐	Comment: We have incorporated the existing landscaping into the proposed landscaping.
pg. 14	1.3	Coordinate streetscape elements on internal streets and lanes within a development.	☒	☐	☐	Comment: We are utilizing the existing lighting along the entrance drive.
pg. 14	1.4	Use streetscape elements that invite a high level of activity along a commercial street frontage.	☐	☒	☐	Comment:
pg. 14	1.5	Use streetscape elements that invite passive pedestrian and recreational activity along a residential street frontage.	☒	☐	☐	Comment: We are utilizing the area between the Aquatic Buffer and proposed sidewalk to create a safe area.

BUILDING SETBACKS & FRONTAGE:

Intent Statement: Whenever possible, buildings should be aligned along the street to hide parking and promote active sidewalks. A uniform alignment of buildings helps to define a "street wall," which provides a sense of enclosure and a comfortable scale for pedestrians.

Page #	Guideline #	Guideline Description	Met	Not Met	NA	Brief description of how the guideline is achieved:
pg. 16	1.6	Design the street frontage to promote pedestrian activity.	☒	☐	☐	Comment: We have designed the site with the parking area behind the proposed building.

RECEIVED

FEB 05 2018

TOWN OF FARRAGUT

pg. 16	1.7	Design the street frontage to be compatible with the surrounding context.	☒	☐	☐	Comment: We have oriented the proposed building to be 21' from the Right-of-way.
--------	-----	---	-------------------------------------	--------------------------	--------------------------	--

CONNECTIVITY:

Intent Statement: Future development should help create a more active, and inter-connected environment throughout Farragut.

Page #	Guideline #	Guideline Description	Met	Not Met	NA	Brief description of how the guideline is achieved:
pg. 18	1.8	Provide pedestrian and bicycle connections into and between properties.	☒	☐	☐	Comment: We have added sidewalks to provide pedestrian and bicycle access.
pg. 18	1.9	Provide vehicular connections into and between adjoining properties.	☐	☒	☐	Comment:

OUTDOOR OPEN SPACE:

Intent Statement: New development should incorporate outdoor open space that projects a vibrant image and invites pedestrian activity with durable furnishings and visual elements such as public art to add interest.

Page #	Guideline #	Guideline Description	Met	Not Met	NA	Brief description of how the guideline is achieved:
pg. 20	1.10	Locate outdoor open space to provide a focal point.	☒	☐	☐	Comment: We are orienting the patio to face the existing stream running thru the property.
pg. 20	1.11	Locate and orient outdoor open space to be actively used.	☒	☐	☐	Comment: See comment above.
pg. 21	1.12	Furnish outdoor open spaces to encourage active use.	☒	☐	☐	Comment: We are providing a covered patio.
pg. 21	1.13	Design outdoor open space to incorporate Low Impact Development (LID) principles for stormwater management.	☒	☐	☐	Comment: We are draining all of the parking thru Percoa porous concrete pavers. RECEIVED FEB 05 2018

PUBLIC ART:

Intent Statement: Public art is encouraged as a way of bringing visual interest and special identity to individual sites and neighborhoods. The guideline provided below is voluntary and is not meant to imply a requirement for inclusion of public art.

Page #	Guideline #	Guideline Description	Met	Not Met	NA	Brief description of how the guideline is achieved:
pg. 22	1.14	Use public art to add interest to an outdoor open space.	☐	☒	☐	Comment:

LANDSCAPING:

Intent Statement: Sites should be landscaped to enhance community image, invite pedestrian activity, preserve mature trees and highlight distinctive topographic or other site features. In general, indigenous or well-acclimated and noninvasive species should be used. Landscape design within a site should also help to establish a sense of visual continuity. The guidelines below are intended to complement landscaping requirements in the Farragut Zoning Ordinance.

Page #	Guideline #	Guideline Description	Met	Not Met	NA	Brief description of how the guideline is achieved:
pg. 23	1.15	Design sites to highlight landscape areas.	☒	☐	☐	Comment: We have laid out the site to utilize existing green areas.
pg. 23	1.16	Use a coordinated landscape palette to establish a sense of visual continuity.	☒	☐	☐	Comment: We have utilized native species and spaced them to be pleasing.
pg. 23	1.17	Preserve and maintain mature trees and significant vegetation.	☒	☐	☐	Comment: All of the existing trees and landscaping are not be disturbed, if possible.
pg. 23	1.18	Use hardy plant and tree species.	☒	☐	☐	Comment: See the response to 1.16.
pg. 23	1.19	Use landscaping to enhance pedestrian improvements.	☒	☐	☐	Comment: We have created a landscape plan which encourages walking.
pg. 23	1.20	Integrate landscaping and stormwater management systems.	☒	☐	☐	Comment:

RECEIVED

FEB 05 2018

TOWN OF FARRAGUT

SURFACE PARKING:

Intent Statement: Surface parking lots should not be a visually prominent feature of sites in Farragut, especially those along high-traffic corridors, such as Kingston Pike, or in locations intended for strong pedestrian orientation such as the Town Center District.

Page #	Guideline #	Guideline Description	Met	Not Met	NA	Brief description of how the guideline is achieved:
pg. 24	1.21	Minimize the visual impact of surface parking.	☒	☐	☐	Comment: The parking is behind the proposed Building.
pg. 24	1.22	Locate and design parking lots to allow for pedestrian access.	☐	☐	☒	Comment:
pg. 24	1.23	Design parking access to minimize potential negative impacts on pedestrians.	☒	☐	☐	Comment: We are a part of a larger development.

SITE LIGHTING:

Intent Statement: The character and level of site lighting should help establish a sense of identity and cohesion. Site lighting should help create a sense of place, highlight distinctive architectural details, and reinforce the overall form, massing, and spatial characteristics of the building or site. Note that streetlights are an important feature of the overall streetscape as addressed on page 14 of the design guidelines.

Page #	Guideline #	Guideline Description	Met	Not Met	NA	Brief description of how the guideline is achieved:
pg. 25	1.24	Scale site lighting to its purpose.	☒	☐	☐	Comment: We are meeting the Town of Farragut requirements.
pg. 25	1.25	Shield site lighting to minimize off-site glare.	☒	☐	☐	Comment: See response above.

WORKING WITH TOPOGRAPHY:

Intent Statement: Where possible, site design should preserve and work within existing topography. Any re-grading should maintain pedestrian and vehicular connectivity while minimizing potential negative visual impacts of large retaining walls.

RECEIVED

FEB 05 2013

TOWN OF FARRAGUT

Page #	Guideline #	Guideline Description	Met	Not Met	NA	Brief description of how the guideline is achieved:
pg. 26	1.26	Design a site to take advantage of existing topography.	☒	☐	☐	Comment: We have designed this site to fit the existing topography.
pg. 26	1.27	Design a retaining wall to minimize impacts on the natural character of the site.	☒	☐	☐	Comment: We have designed the site to minimize the height and length of retaining walls.
pg. 26	1.28	Design a building foundation to conform to the existing topography.	☐	☐	☒	Comment: Site allows for a slab-on-grade construction.
pg. 26	1.29	Design a site to minimize vulnerability to sinkholes.	☒	☐	☐	Comment: We have designed the site to route all storm water away from the proposed building.

SERVICE AREAS & UTILITIES:

Intent Statement: Service areas and utilities should be located and designed to be visually unobtrusive and integrated with the design of the site and the building. Service areas are typically most appropriate when located to the rear of a building and not visible from the public right-of-way.

Page #	Guideline #	Guideline Description	Met	Not Met	NA	Brief description of how the guideline is achieved:
pg. 27	1.30	Locate a utility or service area to minimize visual impacts from the street and sidewalk.	☒	☐	☐	Comment: We have designed routing of utilities to minimize visual impacts.
pg. 27	1.31	Locate and design a utility building or shed to minimize the visual impacts from the street and sidewalk.	☐	☐	☒	Comment:
pg. 27	1.32	Locate buildings and other site improvements to allow for potential future undergrounding of utility lines.	☒	☐	☐	Comment: We have routed all utilities underground.
pg. 27	1.33	Enclose a free-standing utility or service area.	☒	☐	☐	Comment: Dumpster Enclosure will match exterior of proposed building.

FEB 05 2013

STORMWATER MANAGEMENT & LOW-IMPACT DEVELOPMENT:

Intent Statement: The guidelines for stormwater management and low-impact development are intended to complement landscaping requirements in the Farragut Zoning Ordinance by promoting the use of low-impact development principles to meet those requirements while also providing site amenities that help enhance community image.

Page #	Guideline #	Guideline Description	Met	Not Met	NA	Brief description of how the guideline is achieved:
pg. 28	1.34	Maintain pre-development hydrologic features to minimize stormwater impacts.	☒	☐	☐	Comment: We are protecting Aquatic Buffers.
pg. 28	1.35	Incorporate Low Impact Development (LID) principles to address stormwater as close to the source as possible.	☒	☐	☐	Comment: We have designed the storm water runoff to percolate thru Percoa Pavers.
pg. 28	1.36	Incorporate stormwater management systems to maximize water quality.	☒	☐	☐	Comment: See previous response.
pg. 28	1.37	Use stormwater management systems as site amenities.	☒	☐	☐	Comment: With use of LID.

INCREMENTAL SITE DESIGN IMPROVEMENTS:

Intent Statement: While improvements should consider long term objectives for the area and site, flexibility in the application of the design guidelines is appropriate for such projects to ensure that development is able to respond to current market conditions.

Page #	Guideline #	Guideline Description	Met	Not Met	NA	Brief description of how the guideline is achieved:
pg. 29	1.38	Locate incremental improvements to anticipate future development.	☐	☐	☒	Comment:
pg. 29	1.39	Locate and design incremental improvements to enhance the pedestrian environment of an existing development.	☒	☐	☐	Comment: We have placed the proposed building in front of the proposed parking.

NEIGHBORHOOD SITE DESIGN TRANSITIONS:

Intent Statement: Site design adjacent to an existing or future residential neighborhood should provide a compatible transition that minimizes potential negative impacts while promoting positive connections. Designs that incorporate compatible uses and designs, and which link commercial and mixed-use areas with the adjacent residential neighborhoods are generally preferred as illustrated in "Strategies to Promote a Compatible Transition to Adjacent Neighborhood/Agricultural Land" on page 32 of the design guidelines.

RECEIVED
FEB 05 2013

TOWN OF FARRAGUT

Page #	Guideline #	Guideline Description	Met	Not Met	NA	Brief description of how the guideline is achieved:
pg. 31	1.40	Design a commercial or mixed-use site to be compatible with adjacent neighborhoods.	☐	☐	☒	Comment: This is part of a commercial development.
pg. 31	1.41	Design landscape buffer areas to provide shared amenities.	☐	☐	☒	Comment: See response above.
pg. 31	1.42	Provide pedestrian, bike and vehicular connections to adjacent neighborhoods.	☐	☐	☒	Comment: See response above.

RECEIVED

FEB 05 2018

TOWN OF FARRACUT

Chapter 2: Building Design Guidelines

BUILDING HEIGHT:

Intent Statement: New development and redevelopment should meet zoning requirements while recognizing traditional height variations in Farragut and stepping down towards adjacent lower-scale buildings.

Page #	Guideline #	Guideline Description	Met	Not Met	NA	Brief description of how the guideline is achieved:
pg. 37	2.1	Provide variation in building heights.	☒	☐	☐	Comment: Height variations of the walls are 20'-0" and 18'-4" .
pg. 37	2.2	Position taller building elements to minimize visual impacts.	☐	☐	☒	Comment: The project is a small single story building with area 3,520 sq.f.
pg. 37	2.3	Design floor-to-floor heights to establish a sense of scale and reflect Farragut traditions.	☐	☐	☒	Comment: The project is a single-story building.

BUILDING ARTICULATION:

Intent Statement: New development and redevelopment in Farragut should incorporate articulation techniques that promote a sense of human scale and divide the mass and scale of a larger building into smaller parts that relate to traditionally-scaled buildings.

Page #	Guideline #	Guideline Description	Met	Not Met	NA	Brief description of how the guideline is achieved:
pg. 38	2.4	Use vertical articulation techniques to add visual interest and express traditional façade widths.	☒	☐	☐	Comment: Front wall, rear wall, and corner pilasters offset and setback. Brick color change below windows
pg. 38	2.5	Use horizontal articulation techniques to establish a sense of human scale in the design of a larger building.	☒	☐	☐	Comment: Continuous horizontal accent bands divide building into base, middle and cap.

ICONIC DESIGN FEATURES:

Intent Statement: New development and redevelopment in a highly-visible location, such as the intersection of arterial roads, should incorporate iconic design features to foster a unique sense of place, add visual interest and help differentiate Farragut from surrounding areas. In most cases, large-scale new development projects in any location should also incorporate iconic design features.

RECEIVED

FEB 05 2018

TOWN OF FARRAGUT

Page #	Guideline #	Guideline Description	Met	Not Met	NA	Brief description of how the guideline is achieved:
pg. 40	2.6	Use iconic design features to foster a unique sense of place.	☒	☐	☐	Comment: Horizontal brick bands, low brick walls, and shape of canopy as on the adjacent Renaissance center
pg. 40	2.7	Locate iconic design features to maximize their visibility and impact.	☒	☐	☐	Comment: Use of a variety of brick bond patterns and colors

ROOF FORM:

Intent Statement: New development and redevelopment should incorporate roof forms that convey compatible mass and scale, add visual interest and are appropriate to a building's use.

Page #	Guideline #	Guideline Description	Met	Not Met	NA	Brief description of how the guideline is achieved:
pg. 40	2.8	Create a sense of visual interest by using a variety of roof forms along the street.	☐	☐	☒	Comment: The project is a small single story building with area 3,520 sq.f.
pg. 40	2.9	Consider incorporating a roof form that provides a "cap."	☒	☐	☐	Comment: Use of a higher cornice on the middle part of the front wall

OVERALL FAÇADE CHARACTER:

Intent Statement: Visible building façades that incorporate high-quality design features enhance Farragut's community image and convey an active and vibrant appearance to passing vehicles and pedestrians. The design guidelines for overall façade character below apply to visible façade areas that face public streets, sidewalks, pedestrian areas or parking lots.

Page #	Guideline #	Guideline Description	Met	Not Met	NA	Brief description of how the guideline is achieved:
pg. 42	2.10	Design a building façade to enhance community image.	☒	☐	☐	Comment: Materials: brick Architectural elements: changes in the façade plane
pg. 42	2.11	Design a building façade to be compatible with its context.	☒	☐	☐	Comment: Horizontal brick bands, low brick walls, and shape of canopy as on the adjacent Renaissance center

RECEIVED

FEB 05 2018

TOWN OF FARRAGUT

pg. 42	2.12	Design a building façade to convey visual interest.	☒	☐	☐	Comment: Rhythm of window design using accent bands and two colors of brick
pg. 42	2.13	Design a building façade to promote an active appearance.	☒	☐	☐	Comment: Use of windows and open porch

GROUND FLOOR DESIGN:

Intent Statement: Ground floor building design should incorporate features that help create a pedestrian-friendly street level. In a commercial area, it is especially important to incorporate active features such as ground floor storefront windows. In a multi-family residential area, the ground floor may incorporate other design features, such as porches and stoops, to engage the sidewalk and street.

Page #	Guideline #	Guideline Description	Met	Not Met	NA	Brief description of how the guideline is achieved:
pg. 44	2.14	Design the ground floor of a building façade to engage the public realm and promote pedestrian activity.	☒	☐	☐	Comment: Windows on four sides and open porch are highly visible from the adjacent streets.
pg. 44	2.15	Use high quality, durable materials to define the ground floor and add visual interest.	☒	☐	☐	Comment: The project is a single-story brick building

BUILDING MATERIALS & COLORS:

Intent Statement: Exterior building materials and colors provide a sense of scale and texture and are used to convey design quality and visual interest. Building façades should use high-quality, durable, materials that contribute to the visual continuity of the context and convey high quality in design and detail. Masonry should be used as a significant façade element on new construction.

Page #	Guideline #	Guideline Description	Met	Not Met	NA	Brief description of how the guideline is achieved:
pg. 46	2.16	Use compatible materials to enhance community image.	☒	☐	☐	Comment: Materials: four-sided brick building
pg. 47	2.17	Use masonry materials to promote a cohesive community image.	☒	☐	☐	Comment: Brick is the primary material for the project.

RECEIVED
FEB 05 2018

pg. 48	2.18	Use accent materials to enhance visual interest.	☒	☐	☐	Comment: Achieved by use of different brick bond patterns and colors
pg. 48	2.19	Use materials to convey a sense of human scale and visual interest to pedestrians.	☒	☐	☐	Comment: Achieved by use of building modules, window design, and accent bands
pg. 48	2.20	Use exterior material, paint and roof colors that are compatible with the surrounding context.	☒	☐	☐	Comment: Use of two earth tones of brick, accent colors meet the Appendix B standards.

FAÇADE RENOVATION:

Intent Statement: Façade renovations are encouraged to enhance community image and help attract tenants to aging commercial or office buildings. Renovations may include ground floor improvements to attract pedestrian activity, the addition of iconic design features or complete replacement of an existing façade. When possible, such incremental improvements should anticipate future phases of development that may include new buildings, parking areas and pedestrian paths.

Page #	Guideline #	Guideline Description	Met	Not Met	NA	Brief description of how the guideline is achieved:
pg. 50	2.21	When possible, renovate an aging commercial or office façade to enhance community image.	☐	☐	☒	Comment: The project is a new building.
pg. 50	2.22	Anticipate future phases of development when renovating a façade.	☐	☐	☒	Comment: The project is a new building.

ADAPTIVE REUSE:

Intent Statement: Preserving and adapting a structure to a new use has environmental benefits and may help preserve the existing character of an area. Re-using a building preserves the energy and resources invested in its construction, and removes the need for producing new construction materials. Adaptive reuse projects are encouraged.

Page #	Guideline #	Guideline Description	Met	Not Met	NA	Brief description of how the guideline is achieved:
pg. 51	2.23	Adapt an existing structure to a new use as an alternative to demolition whenever possible.	☐	☐	☒	Comment: The project is a new building.

RECEIVED

FEB 05 2018

TOWN OF FARRACUT

pg. 51	2.24	Consider future objectives for the site when adapting an existing structure to a new use.	☐	☐	☒	Comment: The project is a new building.
--------	------	---	--------------------------	--------------------------	-------------------------------------	---

NEIGHBORHOOD BUILDING DESIGN TRANSITIONS:

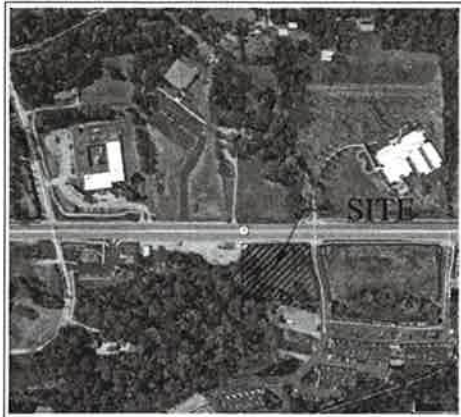
Intent Statement: The design of buildings adjacent to an existing or future residential neighborhood should provide a compatible transition that minimizes potential negative impacts while promoting visual connections. Where possible, buildings located near an adjacent neighborhood should have a lower-scale residential character to provide a compatible transition.

Page #	Guideline #	Guideline Description	Met	Not Met	NA	Brief description of how the guideline is achieved:
pg. 52	2.25	Provide a compatible scale transition adjacent to a residential neighborhood.	☒	☐	☐	Comment: The project is a small scale building related to scale of the adjacent Renaissance center
pg. 52	2.26	Incorporate residential design features adjacent to a residential neighborhood.	☒	☐	☐	Comment: Horizontal brick bands, low brick walls, and shape of canopy as on the adjacent Renaissance center

RECEIVED

FEB 05 2018

TOWN OF FARRAGUT



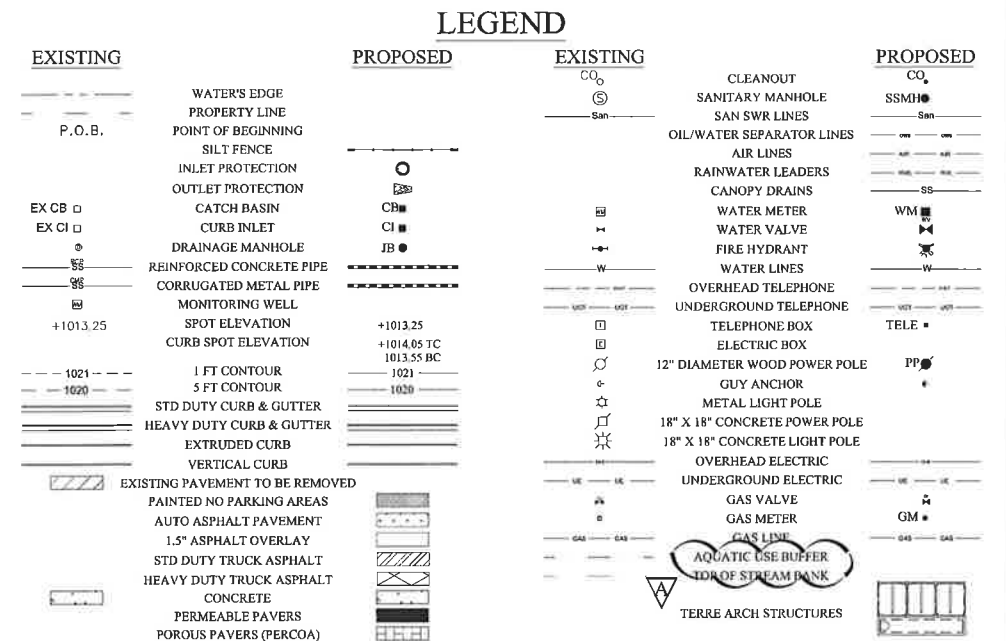
Vicinity Map

NTS

Site Development Plans for *New Restaurant*

Owned by:
MYERS BROS. HOLDINGS

12748 Kingston Pike
Knoxville, Tennessee 37934
(865) 675-3823
Attn: Mr. Noah Myers
Email: Noah@myers-bros.com



12802 Kingston Pike, CLT Map 151, Parcel 63.08
Farragut, Tennessee, 37934

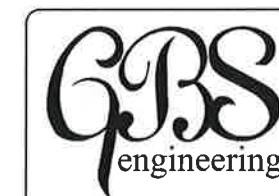
DRAWING INDEX

01	C0.0	Cover Sheet
02		Survey
03	A1.0	Floor Plan
04	A2.0	Architectural Elevations
05	C1.0	EP & SC Plan - Initial Phase
06	C1.1	EP & SC Plan - Final Phase
07	C2.0	Site Demolition Plan
08	C3.0	Overall Site Plan
09	C3.1	Site Layout Plan
10	C4.0	Site Grading Plan
11	C5.0	Site Paving Plan
12	C6.0	Site Utility Plan
13	C7.0	Site Landscaping Plan
14	C8.0	Site Details
15	C9.0	Site Details
16	C10.0	Site Details
17	E1.0	Site Lighting Plan

01/31/2108	▽
08/24/2017	
01/31/2018	▽
01/31/2018	▽
01/31/2018	▽
01/31/2018	▽
01/31/2018	▽
01/31/2018	▽
01/31/2018	▽
01/31/2018	▽
01/31/2018	▽
01/31/2018	▽
01/31/2018	▽
01/31/2018	▽
01/31/2018	▽
01/31/2018	▽
02/05/2018	▽

REVISIONS

1. PROPOSED BUILDING IS A ONE STORY STRUCTURE WITH A HEIGHT OF 20'-0". THE PROPOSED BUILDING CONSTRUCTION TYPE IS V-B (UN-SPRINKLED).
2. NO ANTENNAS SHALL BE ADDED TO THIS PROJECT.
3. HVAC SYSTEMS SHALL BE ROOF MOUNTED AND SCREENED THE BUILDINGS PARAPET SO THAT THEY ARE NOT VISIBLE FROM ADJOINING PROPERTIES OR RIGHTS OF WAYS.
4. THERE SHALL BE NO CLEARING, GRADING CONSTRUCTION OR DISTURBANCE OF SOIL AND/OR NATIVE VEGETATION WITHIN THE AQUATIC BUFFER EXCEPT AS PERMITTED BY THE TOWN OF FARRAGUT.
5. PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY A DIGITAL AS-BUILT WILL BE REQUIRED IN A JPEG FORMAT.
6. THE RESULT OF THE PROPOSED SITEWORK RESULTS WITH NO REMOVAL OF ANY OF THE TREES PROTECTED BY THE TOWN OF FARRAGUT TREE PROTECTION ORDINANCE, THUS THERE IS NO NEED FOR A TREE PRESERVATION PLAN.



1313 Kalmia Road
Knoxville, TN 37909
Phn: 865.566.0185
Fax: 888.485.7005



REV.	DESCRIPTION	BY	DATE
A	Revised per Town of Farragut Comments	THF	01/31/2018
-	--	-	-
-	--	-	-
-	--	-	-
-	--	-	-
-	--	-	-
TITLE: COVER SHEET		DRAWN BY: -	SHEET NO:
LOCATION: 12802 KINGSTON PIKE FARRAGUT, TENNESSEE 37934 CLT Map 151, Parcel No. 63.08		CHECKED BY: -	C0.0
Owner: MYERS BROS HOLDINGS		FILE NAME: 2155 - C0.0	
		JOB NUMBER 2155	
		ISSUE DATE: 01/12/2018	



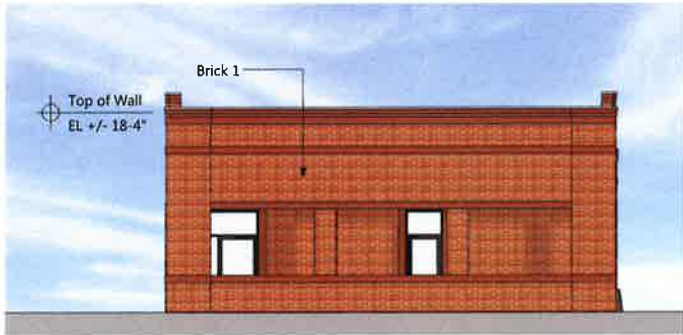
PERSPECTIVE VIEW



WEST ELEVATION
SCALE 1/8"=1'-0"



SOUTH ELEVATION
SCALE 1/8"=1'-0"



EAST ELEVATION
SCALE 1/8"=1'-0"



NORTH ELEVATION
SCALE 1/8"=1'-0"

REVISIONS	
DATE	DESCRIPTION
01-31-18	ISSUED PER TOWN OF FARRAGUT COMMENTS



**BLUE RIDGE
ARCHITECTURE**
1313 KALMIA ROAD
KNOXVILLE, TENNESSEE
865.670.9298 (V)
37909
888.485.7005 (F)

EXTERIOR ELEVATIONS
SPEC BUILDING
12802 KINGSTON PIKE
FARRAGUT, TENNESSEE 37934
PROJECT No. [] DRAWN BY: STAFF CHECKED BY: []

PERMIT SET	ISSUE DATE
CONSTRUCTION SET	ISSUE DATE
DRAWING NUMBER	

RECEIVED
FEB 05 2018

KINGSTON PIKE

SITE INFORMATION		
PARKING	REQUIRED	PROVIDED
AUTO PARKING	39	29
HANDICAP PARKING	02	02
Bike Spaces	01	02
SITE AND BUILDING ACCESSIBILITY PER ADA		
SITE ACREAGE IS 1.34 ACRES ±		
ZONING		
EXISTING ZONING IS C		
BUILDING SQUARE FOOTAGE		
3,520 S.F.		
NUMBER OF STORIES		
1		
BUILDING HEIGHT (TO TOP OF PARAPET)		
20'-0"		

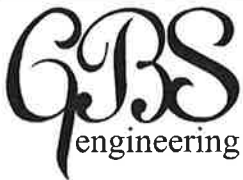
CONSTRUCTION NOTES

- 01 NEW RESTAURANT (SEE ARCHITECTURAL DRAWINGS), INSTALLED BY CONTRACTOR.
- 02 LANDSCAPE AREA INSTALLED BY CONTRACTOR.
- 03 "HANDICAP PARKING" SIGNS, MOUNTED ON A POLE, FURNISHED AND INSTALLED BY CONTRACTOR.
- 04 TRAFFIC STRIPING 4" WIDE PAINTED (WHITE) PARALLEL STRIPES AT 16" O.C. FURNISHED AND INSTALLED BY CONTRACTOR.
- 05 PAVEMENT SYMBOL AND LETTERING PER D.O.T. SPECIFICATIONS (TYP), FURNISHED AND INSTALLED BY CONTRACTOR.
- 06 TRAFFIC STRIPING 4" WIDE PAINTED (WHITE) PER PARKING SPACE, FURNISHED AND INSTALLED BY CONTRACTOR.
- 07 NOT USED
- 08 4" REINFORCED CONCRETE SIDEWALK, SEE SECTIONS AND DETAILS FOR SPECIFICATIONS. INSTALLED BY CONTRACTOR.
- 09 CONCRETE CURB AND GUTTER, SEE SECTIONS AND DETAILS FOR SPECIFICATIONS. INSTALLED BY CONTRACTOR.
- 10 HANDICAP RAMP, PER DETAILS, FURNISHED AND INSTALLED BY CONTRACTOR.
- 11 NEW STOP SIGN (24" X 24"), PER TOWN OF FARRAGUT REQUIREMENTS, FURNISHED AND INSTALLED BY CONTRACTOR.
- 12 CONTRACTOR TO PROVIDE AND INSTALL LIGHT POLE BASE, LIGHT POLE AND ASSOCIATED CONDUIT AND CONDUCTORS, SEE DETAILS FOR DETAIL.
- 13 NEW BICYCLE RACK, SEE DETAILS FOR MORE DETAIL. CONTRACTOR TO PROVIDE AND INSTALL.
- 14 4" STEEL PIPE BOLLARDS FURNISHED, INSTALLED AND PAINTED BY CONTRACTOR. SEE DETAILS FOR SPECIFICATIONS.
- 15 DUMPSTER ENCLOSURE, INSTALLED BY CONTRACTOR. SEE ARCHITECTURAL DRAWINGS FOR MORE DETAILS.
- 16 RETAINING WALL, DESIGNED BY OTHER. PROVIDED AND INSTALLED BY CONTRACTOR.
- 17 PERCOA POROUS CONCRETE PAVERS. CONTRACTOR TO PROVIDE AND INSTALL. FOR INFORMATION ON THE REQUIREMENTS OF LONG TERM MAINTENANCE REFER TO THE TN PERMEABLE STORMWATER MANAGEMENT AND DESIGN GUIDANCE MANUAL.
- 18 FARRAGUT BOARD OF ZONING APPEALS ON 12/27/2017 GRANTED A FRONT YARD SETBACK VARIANCE TO ALLOW FRONT YARD SETBACK PARALLEL TO CENTERLINE OF KINGSTON PIKE.

OWNER: GJWHF
TAX ID: 151 064
DEED: 200803310027775
PLAT: 200409210024675
LOT 1R2
WHISPERING PINES RESUB. S/D

OWNER: KNICK & NOAH MYERS
TAX ID: 151 06307
DEED: 200204240088025
PLAT: 200805090084256
LOT 4R
MYERS BROS HOLDING S/D

PARKING CALCULATIONS:
TOWN OF FARRAGUT REQUIRES 1 SPACE PER 100 SF GROSS
3,520 SF/300 SF = 39 SPACES REQUIRED FOR RESTAURANTS. 29 SPACES PROVIDED
HANDICAP SPACES REQUIRED FOR 29 SPACES = 2 REQUIRED
HANDICAP SPACES PROVIDED = 2 SPACE
TOWN OF FARRAGUT REQUIRES 1 BIKE SPACE PER 5000 GROSS SF
3,520 SF/5000 SF = 1 BIKE SPACES REQUIRED
2 BIKE SPACES PROVIDED



1313 Kalmia Road
Knoxville, TN 37909
Phn: 865.566.0185
Fax: 888.485.7005

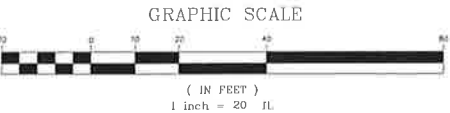


REV.	DESCRIPTION	BY	DATE
A	Revised per Town of Farragut Comments	THF	01/11/2018
-	-	-	-
-	-	-	-
-	-	-	-
-	-	-	-

TITLE: OVERALL SITE PLAN		DRAWN BY: -	SHEET NO: C3.0
LOCATION: 12802 KINGSTON PIKE FARRAGUT, TENNESSEE 37934 CLT Map 151, Parcel No. 63.08		CHECKED BY: -	
Owner: MYERS BROS HOLDINGS		FILE NAME: 2155 - C3.0	
		JOB NUMBER 2155	
		ISSUE DATE: 01/12/2018	



OVERALL SITE PLAN
Scale: 1" = 20'-0"



RECEIVED

KINGSTON PIKE

LEGEND			
	CURB AND GUTTER		CONCRETE
	PROPERTY LINE		STANDARD DUTY ASPHALT PAVING
	PROPOSED PARKING STALLS		HEAVY DUTY ASPHALT PAVING

CONSTRUCTION NOTES

- 01 NEW RESTAURANT (SEE ARCHITECTURAL DRAWINGS), INSTALLED BY CONTRACTOR.
- 02 STANDARD-DUTY ASPHALT PAVEMENT, SEE DRAWING C9.0 FOR MORE DETAILS.
- 03 HEAVY-DUTY ASPHALT PAVEMENT, SEE DRAWING C9.0 FOR MORE DETAILS.
- 04 CONCRETE PAVEMENT, SEE DRAWING C9.0 FOR MORE DETAILS.
- 05 STANDARD CONCRETE CURB AND GUTTER SEE DETAILS FOR SPECIFICATIONS, INSTALLED BY CONTRACTOR.
- 06 4" REINFORCED CONCRETE SIDEWALK, SEE DRAWING C9.0 FOR MORE DETAILS.
- 07 NEW BICYCLE RACK, SEE DETAILS FOR MORE DETAIL. CONTRACTOR TO PROVIDE AND INSTALL.
- 08 PERCOA POROUS CONCRETE PAVERS, CONTRACTOR TO PROVIDE AND INSTALL. SEE DRAWING C4.0 FOR MORE DETAIL.
- 09 12" WIDE CONCRETE HEADER, CONTRACTOR TO PROVIDE AND INSTALL. SEE DRAWING C4.0 FOR MORE DETAIL.

OWNER: GJWHF
TAX ID: 151 064
DEED: 200803310027775
PLAT: 200409210024675
LOT 1R2
WHISPERING PINES RESUB, S/D

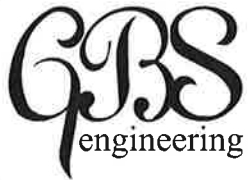
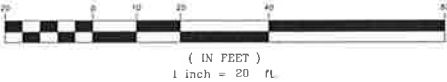
OWNER: KNICK & NOAH MYERS
TAX ID: 151 06307
DEED: 200204240088025
PLAT: 200805090084256
LOT 4R
MYERS BROS HOLDING S/D

OWNER: KNICK & NOAH MYERS
TAX ID: 151 06307
DEED: 200204240088025
PLAT: 200805090084256
LOT 4R
MYERS BROS HOLDING S/D

SITE PAVING PLAN

Scale: 1" = 10'-0"

GRAPHIC SCALE



1313 Kalmia Road
Knoxville, TN 37909
Phn: 865.566.0185
Fax: 888.485.7005



REV.	DESCRIPTION	BY	DATE
A	Revised per Town of Farragut Comments	THF	01/31/2018
-	--	-	-
-	--	-	-
-	--	-	-
-	--	-	-
-	--	-	-
TITLE: SITE PAVING PLAN		DRAWN BY: -	SHEET NO:
LOCATION: 12802 KINGSTON PIKE FARRAGUT, TENNESSEE 37934 CLT Map 151, Parcel No. 63.08		CHECKED BY: -	C5.0
Owner: MYERS BROS HOLDINGS		FILE NAME: 2155 - C5.0	
		JOB NUMBER 2155	
		ISSUE DATE: 01/12/2018	

KINGSTON PIKE

PLANT SCHEDULE (S) = SHADE TREE (U) = UNDERSTORY TREE (F) = FOUNDATION PLANTING (H) = HEDGE						
SYMBOL	COMMON NAME	BOTANICAL NAME	MINIMUM SIZE	QUANTITY	AREA REQUIRED	TYPE
	ACER RUBRA	RED MAPLE	2.5" CAL PER	4	S	SHADE TREE
	QUERCUS PRINOS	WHITE OAK	2.5" CAL PER	4	S	SHADE TREE
	HAMAMELIS VIRGINIANA	WITCH HAZEL	2.5" CAL PER	3	U	UNDERSTORY TREE
	PICEA CANADICA 'CONICA'	DAW. ALBERTA SPRUCE	5' HEIGHT	2	F	EVERGREEN ORNAMENTAL TREE
	RAPHAELIS INDIANA	INDIAN WYTHORNE	3 GALLON	24	F	EVERGREEN FLOWERING SHRUB
	HYDRANGEA PINK EXETER	MANHATTAN HYDRANGEA	3 GALLON	16	H	EVERGREEN HEDGE
	BERBERIS CANADENSIS	AMERICAN BARBERY	3 GALLON	36	F	EVERGREEN FLOWERING SHRUB
	TRICHOCLERUS	'BIG BLUE' LILY	4" POT	72	F	FLOWERING GROUNDCOVER

ZONED C-1

ZONED C-1

OWNER: GJWHF
TAX ID: 151 064
DEED: 200803310027775
PLAT: 200409210024675
LOT 1R2
WHISPERING PINES RESUB. S/D

OWNER: KNICK & NOAH MYERS
TAX ID: 151 06307
DEED: 200204240088025
PLAT: 200805090084256
LOT 4R
MYERS BROS HOLDING S/D

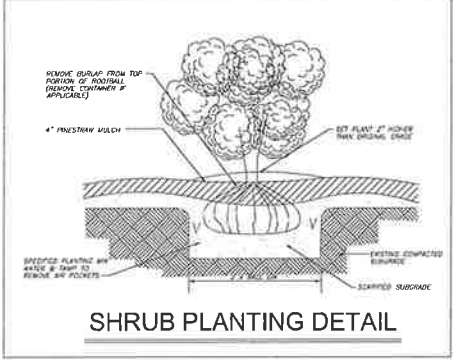
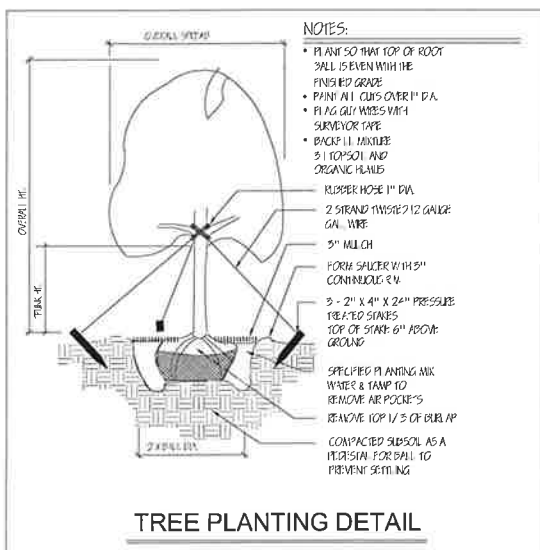
LOT COVERAGE CALCULATIONS:
NON LANDSCAPE AREA/TOTAL LOT AREA =
26,404.61 SF/58,393 SF = 0.4522 OR 45.22%

SITE LANDSCAPE PLAN

Scale: 1" = 20'-0"

GRAPHIC SCALE

(IN FEET)
1 inch = 20 ft



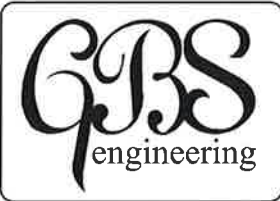
- LANDSCAPE NOTES:
- 1.) THERE ARE NO OVERHEAD UTILITIES WITHIN THE BOUNDARIES OF THE PROPERTY LINE. ALL UNDERGROUND UTILITIES SHALL BE VERIFIED BEFORE ANY DIGGING OR EXCAVATION.
 - 2.) THIS PROPERTY IS ZONED C-1, PROPERTIES TO NORTH, EAST, AND WEST ARE C1, PROPERTY SOUTH IS ZONED O-1 AND C-1
 - 3.) THIS PLAN REFLECTS AND IS CONSISTENT WITH THE REMAINING PLAN SHEETS ASSOCIATED WITH THIS PROJECT.
 - 4.) ALL FINISHED LAWN AREAS SHALL AVE A MINIMUM OF 4" TOPSOIL SMOOTHLY AND EVENLY DISTRIBUTED. TOPSOIL SHALL BE FREE OF DEBRIS AND NOXIOUS MATERIALS, AND SHALL HAVE POSITIVE DRAINAGE IN ALL LOCATIONS.
 - 5.) NO SLOPE AT FINISHED GRADE SHALL BE STEEPER THAN 3:1.
 - 6.) ALL DISTURBED AREAS REMAINING THAT ARE NOT LANDSCAPED WITH PLANT MATERIAL ARE TO BE GRASSED.
 - 7.) ALL PLANTS SHALL BE FREE OF DISEASE, AND SHALL HAVE A HEALTHY APPEARANCE AT PLANTING.
 - 8.) ALL PLANT BEDS ARE TO RECEIVE A 3" LAYER OF HARDWOOD MULCH.
 - 9.) ALL PLANT GROWTH IN LANDSCAPED AREAS SHALL BE CONTROLLED BY PRUNING, TRIMMING, OR OTHER SUITABLE METHODS SO THAT PLANT MATERIALS DO NOT INTERFERE WITH UTILITIES, RESTRICT PEDESTRIAN OR VEHICULAR ACCESS, OR OTHERWISE CONSTITUTE A TRAFFIC HAZARD.
 - 10.) ALL LANDSCAPED AREAS SHALL BE MAINTAINED IN RELATIVELY WEED-FREE CONDITION AND CLEAR OF UNDERGROWTH.
 - 11.) ALL PLANTINGS SHALL BE FERTILIZED AND IRRIGATED AT INTERVALS AS ARE NECESSARY TO PROMOTE OPTIMUM GROWTH.
 - 12.) ALL TREES, SHRUBS, GROUND COVER, AND OTHER PLANT MATERIALS SHALL BE REPLACED IF THEY DIE OR BECOME UNHEALTHY DUE TO ACCIDENTS, DRAINAGE PROBLEMS, DISEASE, OR OTHER CAUSES.



Vicinity Map NTS

1 SHADE TREE/2500 S.F. IMP. AREA
(26,404.61 / 2500) = 11

SITE LANDSCAPE PLAN PREPARED BY DESIGNER WITH BACHELOR'S DEGREE IN LANDSCAPE DESIGN.



1313 Kalmia Road
Knoxville, TN 37909
Phn: 865.566.0185
Fax: 888.485.7005



REV.	DESCRIPTION	BY	DATE
A	Revised per Town of Farragut Comments	THF	01/31/2018
-	-	-	-
-	-	-	-
-	-	-	-
-	-	-	-
-	-	-	-
TITLE: SITE LANDSCAPE PLAN		DRAWN BY: -	SHEET NO:
LOCATION: 12802 KINGSTON PIKE FARRAGUT, TENNESSEE 37934 CLT Map 151, Parcel No. 63.08		CHECKED BY: -	C7.0
OWNER: MYERS BROS HOLDINGS		FILE NAME: 2155 - C7.0	
		JOB NUMBER 2155	
		ISSUE DATE: 01/12/2018	

KINGSTON PIKE

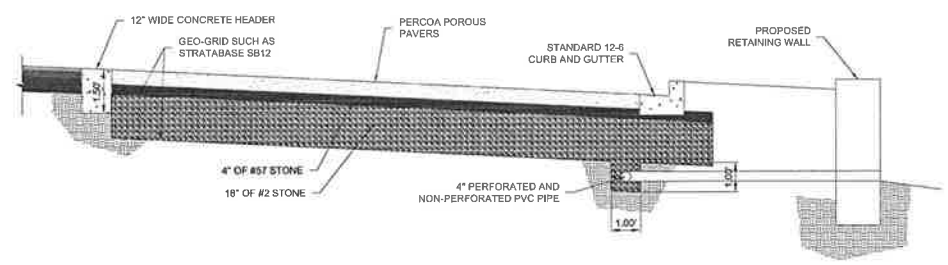
OWNER: GJWHF
TAX ID: 151 064
DEED: 200803310027775
PLAT: 200409210024675
LOT 1R2
WHISPERING PINES RESUB, S/O

OWNER: KNICK & NOAH MYERS
TAX ID: 151 06307
DEED: 200204240088025
PLAT: 200805090084256
LOT 4R
MYERS BROS HOLDING S/O

RESTAURANT
3,520 SF
40' (D) x 88' (W)
FFE = 937.00

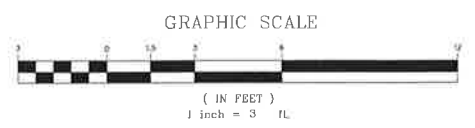
INTEGRATED COVERED PATIO
800 SF
40' (D) x 20' (W)

58,393 S.F. Acres



PERCOA SECTION

Scale: 1" = 3'-0"



- NOTE:**
- ALL SLOPES SHALL BE 3:1 OR FLATTER!
 - THERE SHALL BE NO CLEARING, GRADING, CONSTRUCTION OR DISTURBANCE OF SOIL AND/OR NATIVE VEGETATION WITHIN THE AQUATIC BUFFER EXCEPT AS PERMITTED BY THE TOWN OF FARRAGUT.

SITE GRADING, DRAINAGE & EROSION CONTROL DETAIL

REFERENCE LEGEND

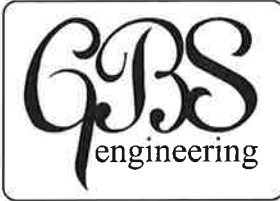
MARK	REFERENCED ITEM
HW	HEADWALL
BO	BASIN OUTLET STRUCTURE
CI	CURB INLET
CB	CATCH BASIN
RCP	REINFORCED CONCRETE PIPE, CLASS III
SRMP	SPIRAL RIBBED METAL PIPE, ALUMINIZED
BC	BOTTOM OF CURB
TC	TOP OF CURB
BW	BOTTOM OF WALL
TW	TOP OF WALL
EP	ELEVATION OF PAVEMENT

STRIPPING AND COMPACTION SCHEDULE
Topsoil stripping depth 2"-3" average. Deeper if required locally.

Required compaction percentages (% max dry density)
Standard Proctor Method ASTM Test # D-698
Building Area: 98 % Parking Area: 98 %

TESTING:
Allow 1 compaction test per ea. 2500 S.F. (Max 50' x 50' area) per lift at building areas.
Allow 1 compaction test per each 10,000 S.F. of cut or natural grade at building area.
Allow 1 compaction test per ea. 5500 S.F. (Max 75' x 75' area) per lift at parking area.
Allow 1 compaction test per each 40,000 S.F. of cut or natural grade at parking area.

Maximum loose lift thickness shall be 8", unless noted otherwise.



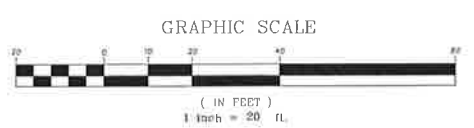
1313 Kalmia Road
Knoxville, TN 37909
Phn: 865.566.0185
Fax: 888.485.7005



REV.	DESCRIPTION	BY	DATE
A	Revised per Town of Farragut Comments	THF	01/31/2018
-	--	-	-
-	--	-	-
-	--	-	-
-	--	-	-
-	--	-	-
TITLE: SITE GRADING PLAN		DRAWN BY: -	SHEET NO:
LOCATION: 12802 KINGSTON PIKE FARRAGUT, TENNESSEE 37934 CLT Map 151, Parcel No. 63.08		CHECKED BY: -	C4.0
Owner: MYERS BROS HOLDINGS		FILE NAME: 2155 - C4.0	
		JOB NUMBER 2155	
		ISSUE DATE: 01/12/2018	



SITE GRADING PLAN
Scale: 1" = 2'-0"



FEB 05 2018

RECEIVED

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on gas main upgrades and extensions in the Kingston Pike, N. Campbell Station Road, Jamestowne Boulevard area (KUB, Applicant)

INTRODUCTION AND BACKGROUND: This agenda item involves a request by KUB to retire, upgrade, and slightly extend some of its gas main lines in the Kingston Pike, N. Campbell Station Road, and Jamestowne Boulevard area. A summary of project scope, time line, and administration is included in your packet. Also included are detailed maps of the project area and an overview map which identifies which lines are being retired, which are being upgraded within an existing easement, and which are proposed in an area where new easements will be required. All requested easements will be 15 feet in width.

DISCUSSION: Though over 90% of the new gas facilities will be installed within the existing utility footprint, there is roughly 700 linear feet of new line that would be installed in a new location and that would need new easements. In accordance with the *Tennessee Code Annotated*, the Planning Commission is required to review extensions of utilities in order to help promote coordination of development related considerations in the affected areas.

Since part of the area affected by this project involves the Campbell Station Inn property that is owned by the Town, any additional easements that may be necessary on this property will have to be authorized through a plat that would be signed by the mayor. This would be comparable to the TDS fiber line easement that was platted on the Town's Public Works property several months ago.

The Town staff has met with representatives of KUB to discuss this project and to ensure that it is properly coordinated with what the Town is planning on the Campbell Station Inn site. A representative from KUB as well as their engineering consultant will be attending the meeting to answer any questions.

JAMESTOWNE BLVD AREA STEEL GAS MAIN REPLACEMENT

GENERAL

This project will be completed by KUB Underground Construction (UGC). Area Wide Protective (AWP) will be utilized for Traffic Control. J.G. Mullins Construction Co. Inc for paving/sidewalk repairs. Jerry Price Landscaping for vegetation/landscape restoration.

UGC intends to install the majority of the new gas mains by bore (HDD), including all major road crossing. The Jamestowne Blvd crossing @ Kingston Pike will likely require some open cut due to the existing storm drainage culvert, existing utilities, and trees.

Most of the construction activity will occur on Jamestowne Blvd, and the west side of N. Campbell Station Road between Jamestowne Blvd and Kingston Pike. 90% of the new gas facilities will be installed within the existing utility footprint adjacent to the facilities to be retired.

PROJECT SCOPE

Retirements (Facilities will be retired in-place)

2200 LF 6" Steel gas /6" PL gas on Jamestowne Blvd
1100 LF 6" PL gas on N. Campbell Station Road
2300 LF 8" Steel gas on Kingston Pike
650 LF 2" Steel gas @ Farragut Cleaners
1600 LF 1" PL gas @ Ed Ford Parcel (gas service)

Install

3900 LF 8" PL (All within existing footprint)
1500 LF 2" PL (700 LF within new footprint, 800 LF within existing footprint)
50 LF 1" PL (gas service)

Easements to be acquired

1. Town Of Farragut (Easement will avoid closing 1 lane of N. Campbell Station Rd)
2. Mr Zip (Easement will avoid closing 1 lane of N. Campbell Station Rd)
3. Farragut Center (Easement will eliminate 2" ST gas main under Kingston Pike)
4. White Realty (Easement will avoid closing lane of N. Campbell Station Rd)

PROJECT SUMMARY

Purpose

The purpose of this project is to replace KUB aging infrastructure in the Jamestowne Blvd. area.

Communication

KUB Communication will mail notification letters to property owners within vicinity of the construction limits. Customer letters will be mailed 3 weeks prior to anticipated construction start. KUB Customer Support to directly contact property owners/gas customers directly impacted by the project.

Construction Dates

Construction is slated to begin March 2018. Project is anticipated to last approximately 4 months. Approximately 3-4 weeks prior to construction start, KUB will hold a preconstruction meeting on site to discuss the scope of work. The Town of Farragut Engineering is welcome to attend.

Traffic Impact

Construction activity will have a minor impact on commuter routes with successful easement acquisitions. 1 lane of Kingston Pike (Westbound) will be closed while working between Jamestowne Blvd & western tie-in point. The western tie-in is approximately 300 feet west of this intersection.

Another traffic impact shown on the existing construction plans will be the intersection of Jamestowne Blvd & Kingston Pike.

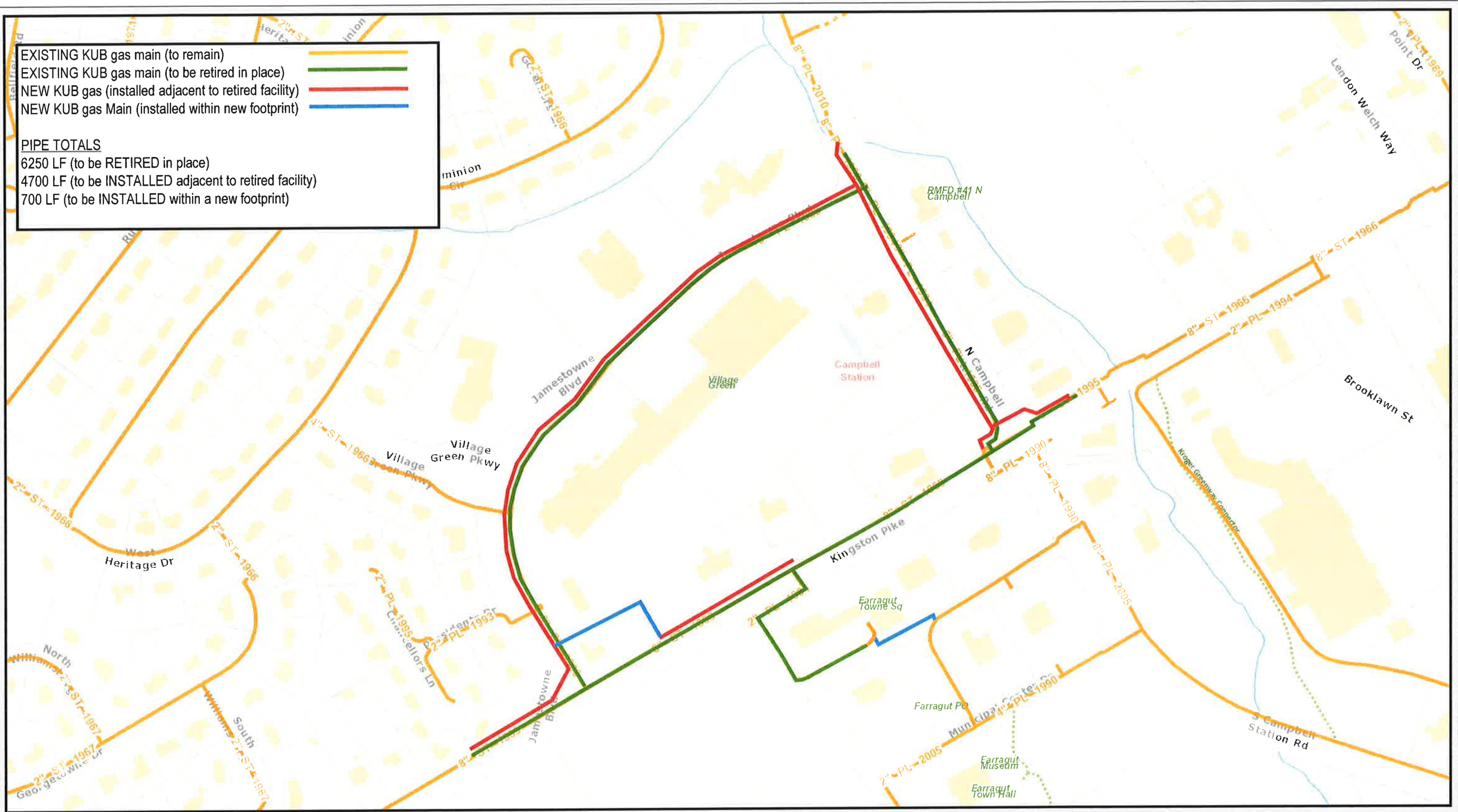
KUB Project Manager

Tim Kelly

865-558-2450 (office)

865-320-2681 (mobile)

Timothy.kelly@kub.org



KUB Jamestowne Blvd Steel Gas Main Replacement Project

Knoxville Utilities Board



Printed: 2/1/2018 at 6:59:15 AM



KUB makes no representation or warranty as to the accuracy of his map and its information nor to its fitness for use. Any user of this map product accepts the same AS IS, WITH ALL FAULTS, and assumes all responsibility for the use thereof, and further covenants and agrees to hold KUB harmless from any and all damage, loss, or liability arising from any use of this map product. All rights reserved.

KNOXVILLE UTILITIES BOARD
JAMES TOWNE BLVD AREA
STEEL GAS MAIN
REPLACEMENT PROJECT

DRAWING INDEX

SHEET NO. TITLE

1 COVER SHEET
2 DRAWING SHEET
3 PLAN VIEW
4
5
6
7
8
9
10 EROSION CONTROL DETAILS
11 PAVEMENT REPAIR DETAILS

GENERAL NOTES

- [illegible]

PROJECT MANAGER:

CONTACT: JIM KELLY
GENERAL PURPOSE NO.: (867) 558-7450
MAGILL PRIME NO.: (867) 329-2654
KNOWLEDGE 9111215 BOARD
450, BURNHAMPTON PIKE
KNOXVILLE, TENN 37921
E-MAIL ADDRESS: JAKELLY@ELLIPSIS.AT

UTILITY OWNERS:

WATER & SEWER
PUBLIC UTILITY DISTRICT
1700 DUNDEE ROAD

ELECTRIC

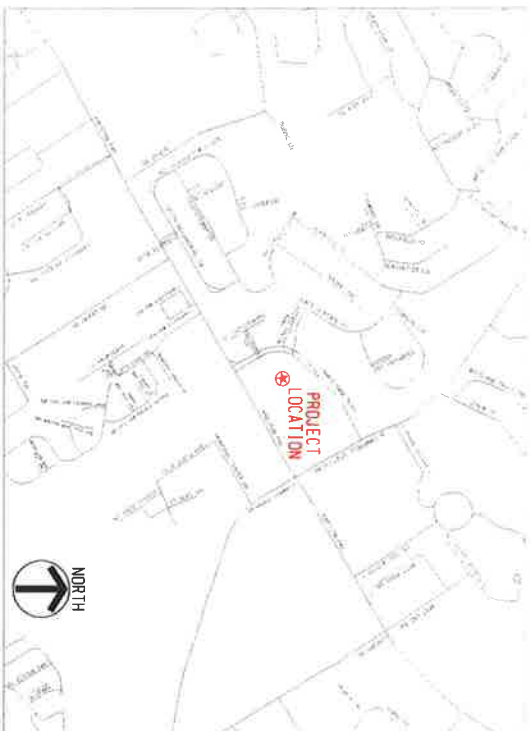
LEONAR CITY JULIETTE
200 D'POT STREET
LEONAR CITY, N
13141; 667-4122

ABBREVIATIONS:

D1	DUCTILE IRON
F1	CAST IRON
A4	ASBESTOS CEMENT
H10PL	HIGH DENSITY POLYETHYLENE
M0P5	MEDIUM DENSITY POLYETHYLENE
P1	PLASTIC
S1	STEEL
P0P0	EDGE OF PAVEMENT
P5	POLYETHYLENE

LEGEND:

Figure 1 is a schematic diagram of a bridge structure, specifically a Gresham Road bridge. The diagram shows a cross-section of the bridge with various components labeled. At the top, "GRESHAM RD" is written. Below it, a red circle with a cross symbol is shown. The bridge structure includes a central span with a "SPAN" label, and two side spans with "SPAN" labels. The bridge is supported by "PIERS" and "PIERS". The bridge deck is labeled "BRIDGE DECK". The bridge is shown in a perspective view, with a "VIEW" label at the bottom. The diagram is a technical drawing of a bridge structure.



WEST HERITAGE DR
EAST HERITAGE DR

SHEET 4

SHEET 3

VILLAGE
GREEN PKWY

JAMESTOWNE BLVD

LINE A
2500 LF +/-
8" MDPE

N CAMPBELL STATION RD

LINE B
1075 LF +/-
8" MDPE

SHEET 7

LINE E
75 LF +/-
2" MDPE

LINE D
970 LF +/-
2" MDPE

LINE C
315 LF +/-
8" MDPE

KINGSTON PIKE

KINGSTON PIKE

KINGSTON PIKE

SHEET 5

SHEET 6

LINE F
410 LF +/-
2" MDPE

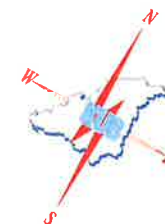
MUNICIPAL CENTER DR

S CAMPBELL STATION RD

MUNICIPAL CENTER DR

MATCH-LINE

SHEET 8

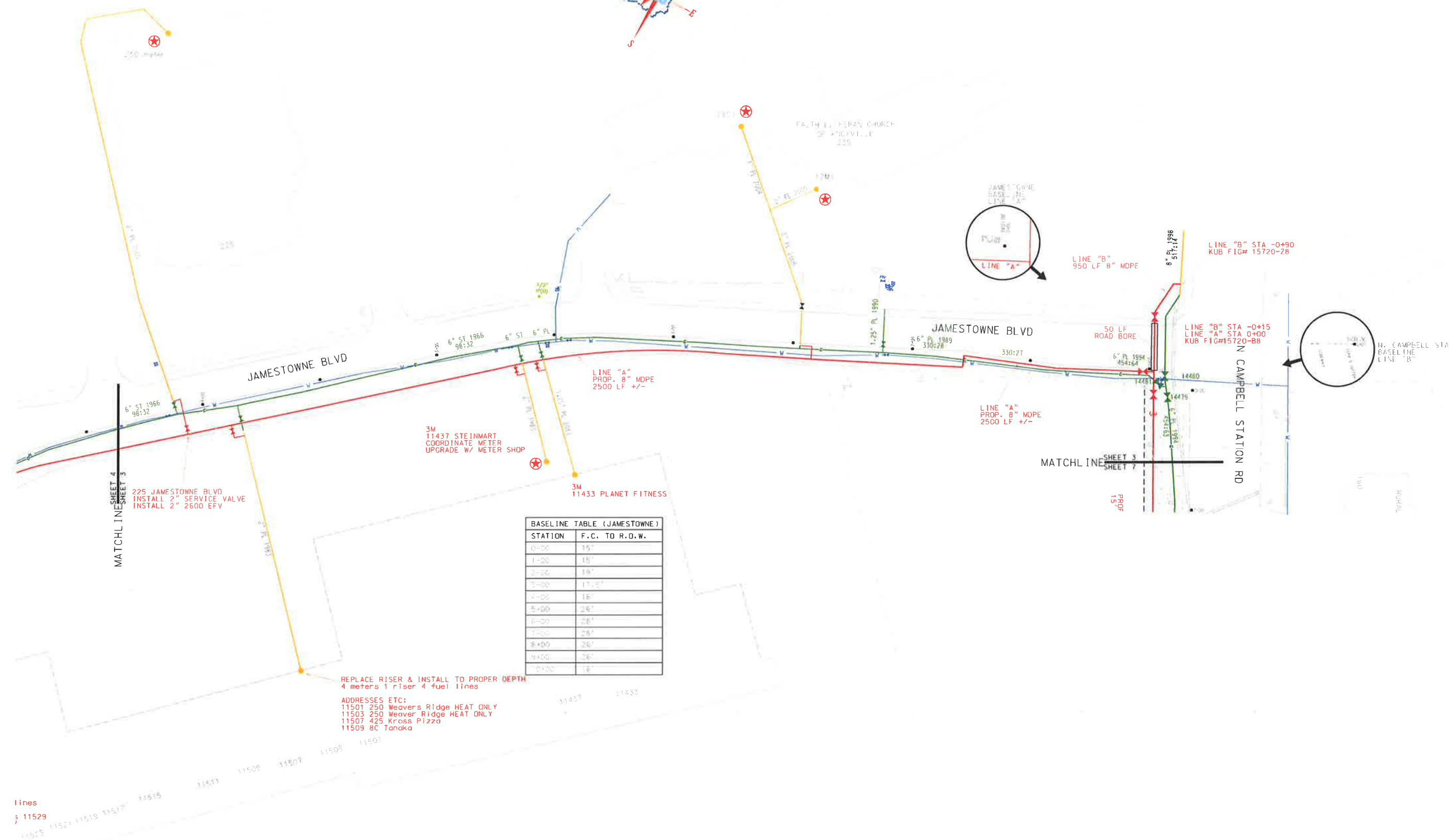


MATCH-LINE

REV	DESCRIPTION	DRAWN BY	CHK	APPV	EST	DATE	JOBS	MAX	W.P.	DATE
1		TJK					JD010572	JD011118		1/10/18
2										
3										
4										
5										

Knoxville Utilities Board
KNOXVILLE UTILITIES BOARD
JAMESTOWNE BLVD AREA
STEEL GAS MAIN REPLACEMENT PROJECT

DRAWING
SHEET KEY
KUB
SHEET 2 OF 10
D-



BASELINE TABLE (JAMESTOWNE)	
STATION	F.C. TO R.O.W.
0+00	15'
1+00	15'
2+00	15'
3+00	17.5'
4+00	16'
5+00	26'
6+00	26'
7+00	26'
8+00	26'
9+00	26'
10+00	16'

REPLACE RISER & INSTALL TO PROPER DEPTH
4 meters 1 riser 4 fuel lines

ADDRESSES ETC:
11501 250 Weavers Ridge HEAT ONLY
11503 250 Weaver Ridge HEAT ONLY
11507 425 Kross Pizza
11509 6C Tanaka

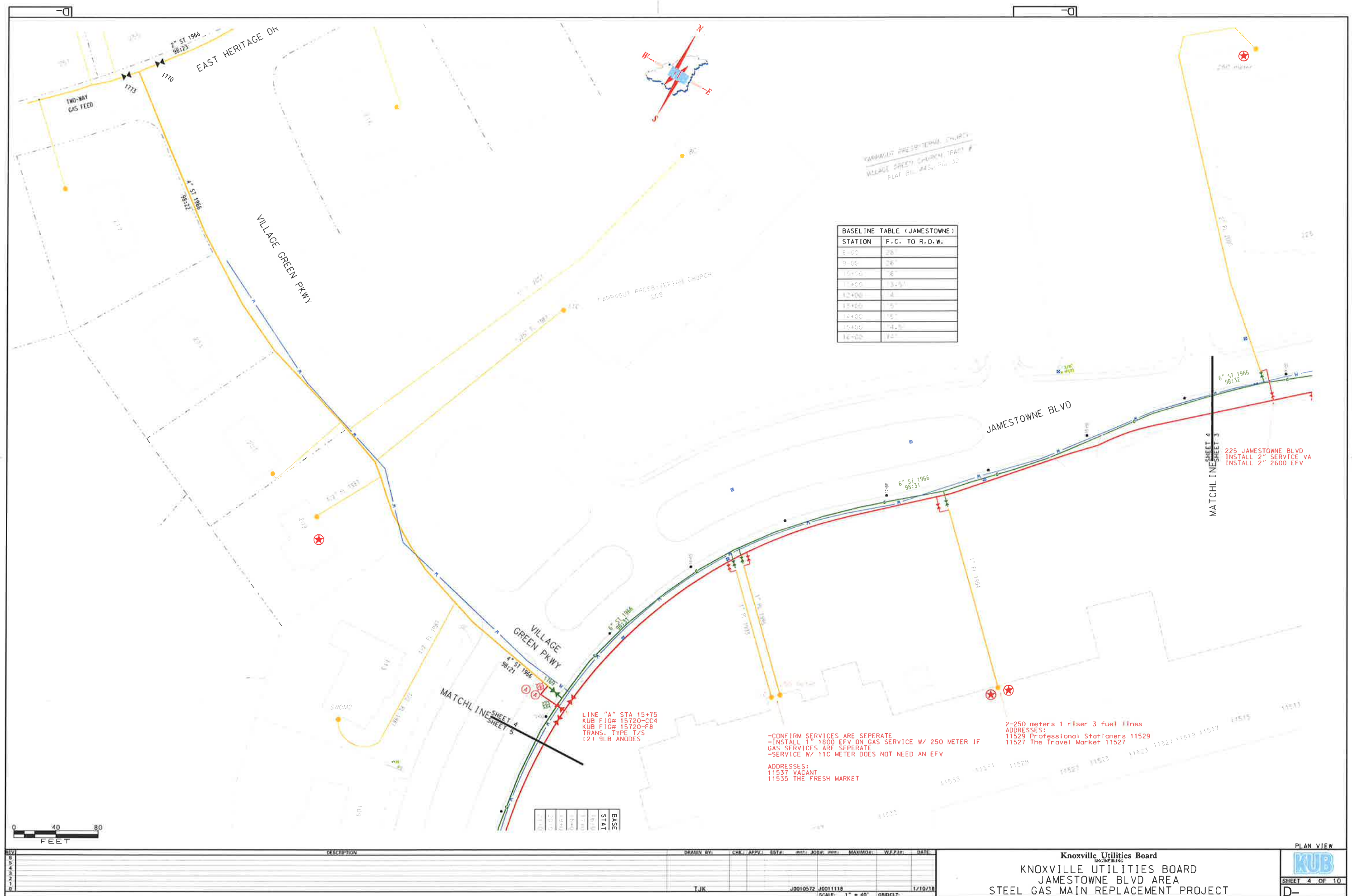
lines
; 11529

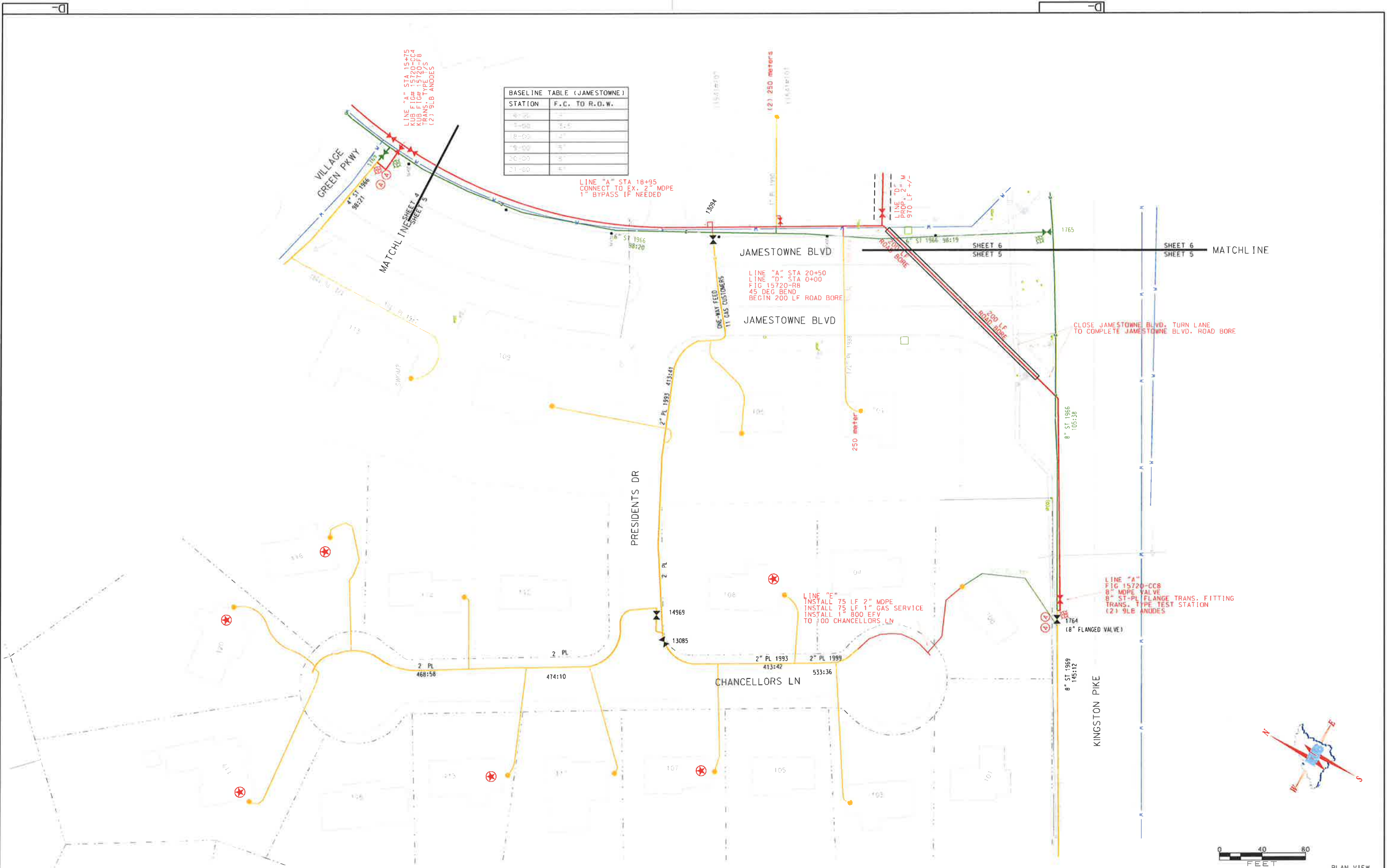
0 40 80
FEET

REV	DESCRIPTION	DRAWN BY	CHK	APPV	EST	DATE	JOB#	REV	MAXIMUM	WFLP	DATE
1		TJK				12/10/18	00010572	00011118			

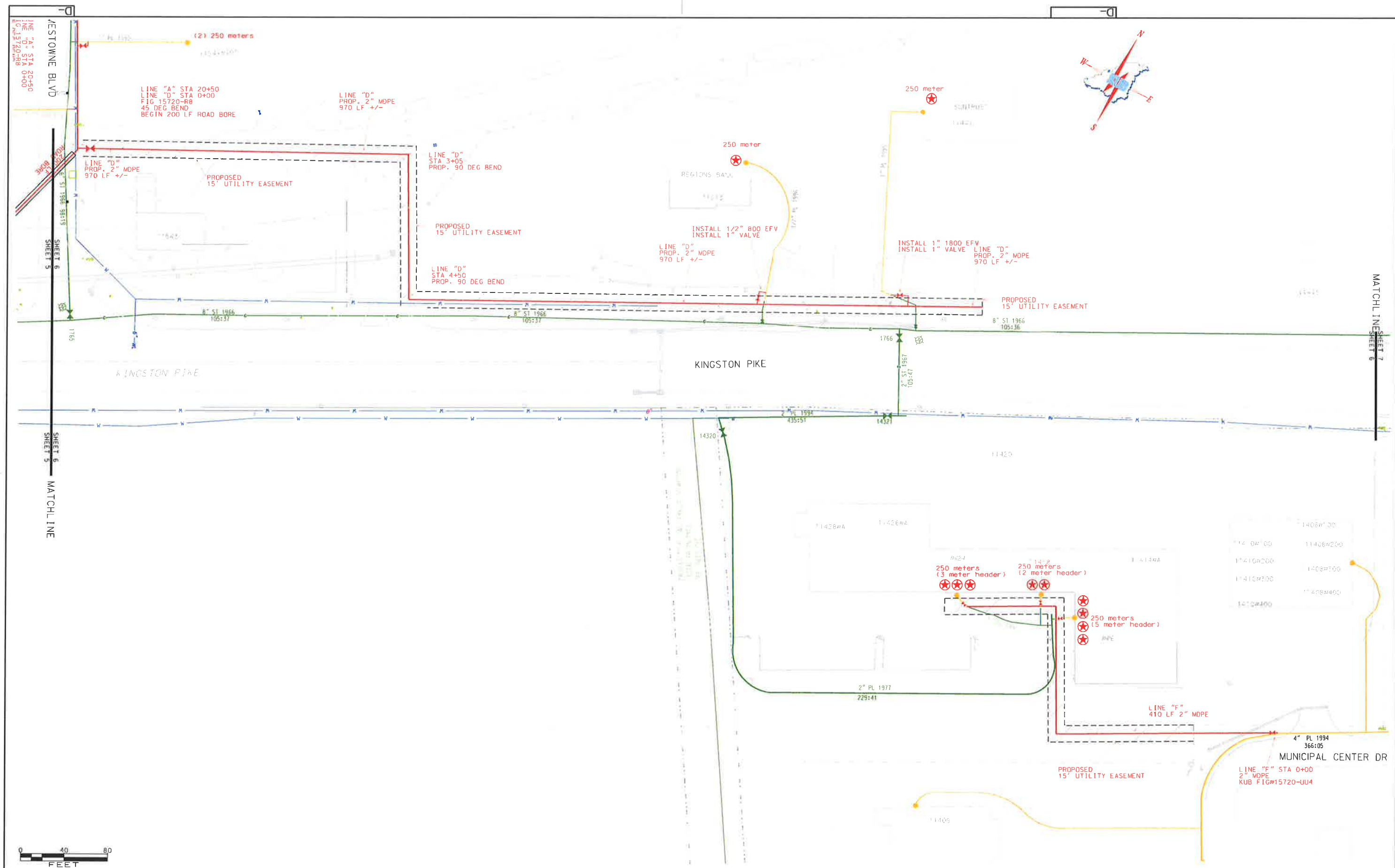
Knoxville Utilities Board
KNOXVILLE UTILITIES BOARD
JAMESTOWNE BLVD AREA
STEEL GAS MAIN REPLACEMENT PROJECT

PLAN VIEW
KUB
SHEET 3 OF 10
D-





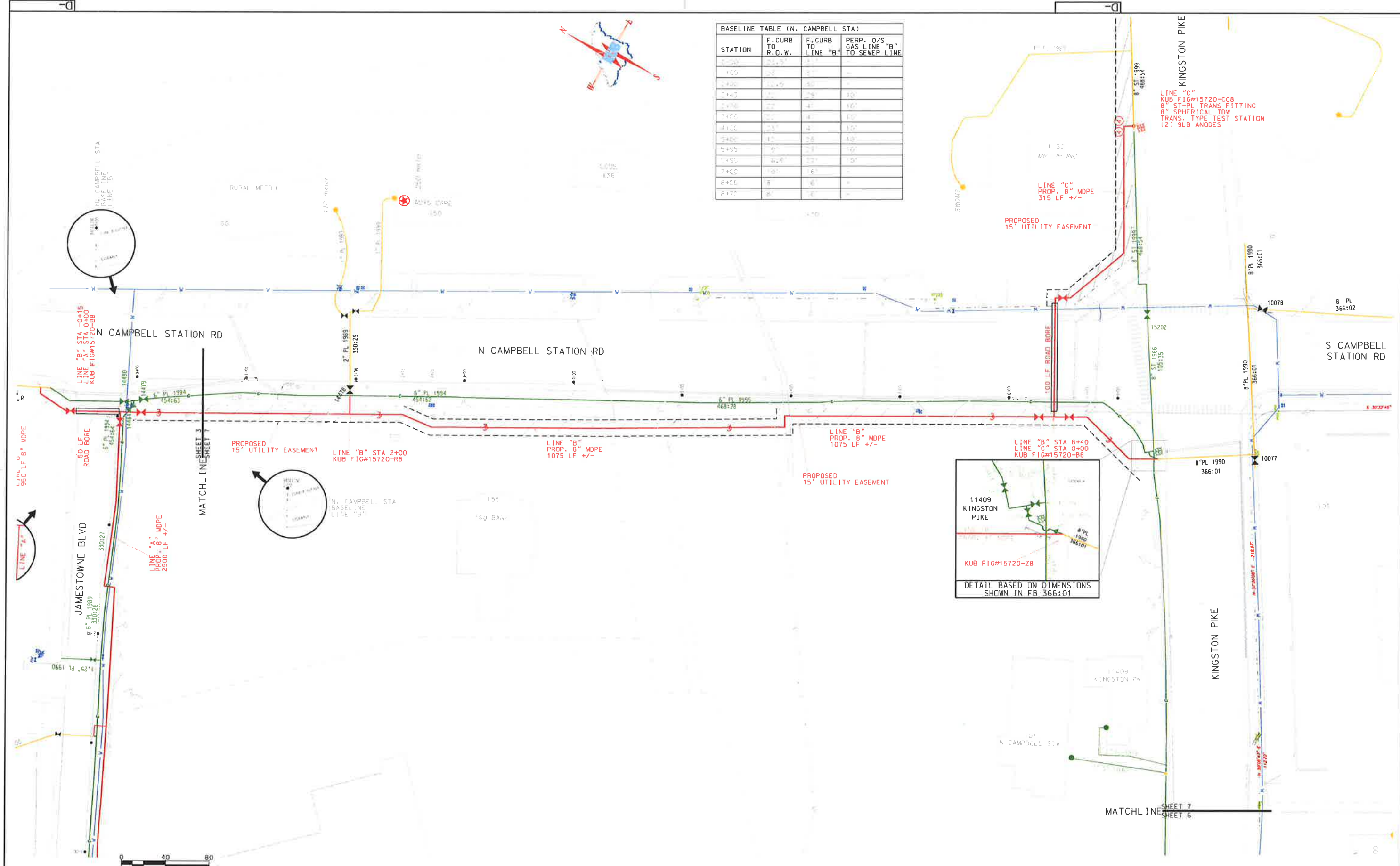
BASELINE TABLE (JAMESTOWNE)	
STATION	F.C. TO R.O.W.
4+00	1.5
5+00	3.5
6+00	2.5
7+00	3.5
8+00	3.5
9+00	3.5
10+00	3.5
11+00	3.5

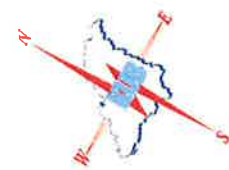


REV	DESCRIPTION	DRAWN BY	CHK	APPV	EST	DATE	SCALE	GRID	DATE
1		TJK					1" = 40'		1/10/18

Knoxville Utilities Board
ENGINEERING
KNOXVILLE UTILITIES BOARD
JAMESTOWNE BLVD AREA
STEEL GAS MAIN REPLACEMENT PROJECT

BASELINE TABLE (N. CAMPBELL STA)			
STATION	F. CURB TO R.O.W.	F. CURB TO LINE "B"	PERP. O/S GAS LINE "B" TO SEWER LINE
0+00	25.5'	31'	-
1+00	25	31	-
2+00	22.5	30	-
3+00	22	29	10'
4+00	22	28	10'
5+00	22	27	10'
6+00	22	26	10'
7+00	22	25	10'
8+00	22	24	10'
9+00	22	23	10'
10+00	22	22	10'
11+00	22	21	10'
12+00	22	20	10'
13+00	22	19	10'
14+00	22	18	10'
15+00	22	17	10'
16+00	22	16	10'
17+00	22	15	10'
18+00	22	14	10'
19+00	22	13	10'
20+00	22	12	10'
21+00	22	11	10'
22+00	22	10	10'
23+00	22	9	10'
24+00	22	8	10'
25+00	22	7	10'
26+00	22	6	10'
27+00	22	5	10'
28+00	22	4	10'
29+00	22	3	10'
30+00	22	2	10'
31+00	22	1	10'
32+00	22	0	10'
33+00	22	0	10'
34+00	22	0	10'
35+00	22	0	10'
36+00	22	0	10'
37+00	22	0	10'
38+00	22	0	10'
39+00	22	0	10'
40+00	22	0	10'
41+00	22	0	10'
42+00	22	0	10'
43+00	22	0	10'
44+00	22	0	10'
45+00	22	0	10'
46+00	22	0	10'
47+00	22	0	10'
48+00	22	0	10'
49+00	22	0	10'
50+00	22	0	10'
51+00	22	0	10'
52+00	22	0	10'
53+00	22	0	10'
54+00	22	0	10'
55+00	22	0	10'
56+00	22	0	10'
57+00	22	0	10'
58+00	22	0	10'
59+00	22	0	10'
60+00	22	0	10'
61+00	22	0	10'
62+00	22	0	10'
63+00	22	0	10'
64+00	22	0	10'
65+00	22	0	10'
66+00	22	0	10'
67+00	22	0	10'
68+00	22	0	10'
69+00	22	0	10'
70+00	22	0	10'
71+00	22	0	10'
72+00	22	0	10'
73+00	22	0	10'
74+00	22	0	10'
75+00	22	0	10'
76+00	22	0	10'
77+00	22	0	10'
78+00	22	0	10'
79+00	22	0	10'
80+00	22	0	10'
81+00	22	0	10'
82+00	22	0	10'
83+00	22	0	10'
84+00	22	0	10'
85+00	22	0	10'
86+00	22	0	10'
87+00	22	0	10'
88+00	22	0	10'
89+00	22	0	10'
90+00	22	0	10'
91+00	22	0	10'
92+00	22	0	10'
93+00	22	0	10'
94+00	22	0	10'
95+00	22	0	10'
96+00	22	0	10'
97+00	22	0	10'
98+00	22	0	10'
99+00	22	0	10'
100+00	22	0	10'





REV	DESCRIPTION	DRAWN BY	CHK	APPV	EST	REV	JOB#	REV	MAXIMUM	W/P	DATE
1		TJK					J0010572	J0011118			1/10/18

SCALE: 1" = 40' GRIDCLT:

Knoxville Utilities Board
ENGINEERING
KNOXVILLE UTILITIES BOARD
JAMESTOWNE BLVD AREA
STEEL GAS MAIN REPLACEMENT PROJECT

PLAN VIEW
KUB
SHEET 8 OF 10
D-

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion on a request to rezone the Swan Property, Parcel 58, Tax Map 151, 12639 Kingston Pike, 28.76 Acres, from R-2, R-1, and FPD to C-1, R-4 and FPD (SITE, Inc., Applicant)

INTRODUCTION AND BACKGROUND: This property is located on the north side of Kingston Pike just west of Everett Road. Though the property is currently zoned General Single-Family Residential (R-2), Rural Single-Family Residential (R-1), and Floodplain District (FPD), when the Comprehensive Land Use Plan was updated in 2012, the southern portion of the property was designated on the future land use map for Medium Density Residential (6-12 units per acre). The northern portion was designated as Low Density Residential (3-6 units per acre). The floodplain portion of the property was designated on the future land use map as Open Space.

DISCUSSION: In April 2015, the Planning Commission considered a request to amend the future land use map as it relates to the property. The applicant requested that the area designated for Medium Density Residential and Low Density Residential be changed to Commercial. The Open Space portion of the property was not requested for modification.

The Planning Commission voted to amend the future land use map and change the Medium Density Residential portion of the property to Commercial and the Low Density Residential to Civic/Institutional. The Commission desired to have a transitional land use between the Commercial land use and the existing residential developments on the north side of Union Road. No action was taken on the zoning map amendment request since it was only a workshop discussion agenda item. The applicant did not pursue the rezoning after the April meeting.

In January of 2016 the Planning Commission considered a request from a different applicant to amend the future land use map for the portion that was designated as Civic/Institutional to Commercial. The same applicant also requested that the zoning map be amended to change the portion of the property zoned R-2 and FPD to C-1 and FPD, and that the area east of the western limit of the floodway be changed to Open Space/Park (OS-P).

The Commission discussed these requests in some depth and, consistent with the desire to provide for a transitional land use between the Commercial land use area and Union Road, voted to change the Civic/Institutional to Open Space. The Commission recommended that the zoning map be amended to C-1 for the portion of the property that is designated as Commercial on the future land use map. Also related to the zoning map, the Commission voted to extend the area proposed for the OS-P Zoning District to include the entire Union Road frontage from the south edge of the right of way of Union Road to a depth of 150 feet into the property.

The zoning map amendment recommendation was taken to the Board of Mayor and Aldermen and passed on first reading but did not proceed to second reading consistent with the desires of the applicant. Consequently, the property is still zoned R-2, R-1, and FPD.

At this time, a different applicant has submitted a request to rezone the property with, as shown, approximately 17 acres to be rezoned from R-2 to C-1. Approximately 8 acres, mostly along Union Road, would be requested to be rezoned from R-2 and FPD to R-4 (Attached Single-Family Residential) and FPD. The existing 3.84 acres that are zoned R-1 and FPD would remain unchanged. The staff would recommend that, consistent with the future land use map, all of the floodplain be rezoned to OS-P and FPD.

Some questions for the Commission are whether the R-4 is an appropriate transitional zoning district and that enough area is devoted to this zoning designation to ensure a desirable transition. Another question for the Commission is whether the C-1 District and all of the uses permitted in the C-1 District is desirable in this location or if a more neighborhood scale commercial district (which would need to be created) should be considered for much of this property given its proximity to a number of large residential developments that could be integrated with what may occur on this property and upcoming improvements to Union Road.

The applicant is proposing a public street along the western portion of the Swan property that will connect Union Road to Kingston Pike. Consistent with previous discussions regarding a public street connecting to Union Road, the staff would recommend that this occur in coordination with the Union Road improvement project. There should be no connection to Union Road until it is improved to the Town's standards.

APPLICATION TO AMEND ZONING MAP

TOWN OF FARRAGUT, TENNESSEE

FOR OFFICE USE ONLY

Fee Paid: 300.00

1-16-18

APPLICANT NAME: SITE INC

Address: 10215 TECHNOLOGY DR STE 304 City/State/Zip: KNOXVILLE TN 37932

Phone Number: 865-777-4170 Fax Number: 865-777-4189

E-mail: JROBINETTE@SITE-INCORPORATED.COM

DESCRIPTION OF PROPERTY (Attach map of property):

Address: 12639 KINGSTON PIKE

Size of Tract: 28.76 ACRES

Lot(s)/Parcel(s) No.: 58

Tax Map No. 151

Previous Rezoning Applications: _____

Change Requested:

From: R2

To: C1 & R4

Proposed Use of Property (Be specific): _____

Existing Land Use: FARM

ALL OWNERS OF PROPERTY INVOLVED MUST SIGN OR NAMES MUST BE LISTED:

NAME

ADDRESS (Street/City/Zip)

PROPERTY OWNED

PAUL BUSSET SWAN 12639 KINGSTON PIKE CONCORD TN 37922

I HEREBY CERTIFY THAT THE OWNERS OF ALL PROPERTY INVOLVED IN THIS REQUEST HAVE SIGNED OR ARE LISTED ABOVE AND HAVE CONSENTED TO THIS APPLICATION.

David O Rutt

1-15-18

APPLICANT SIGNATURE

DATE

OR

I HEREBY CERTIFY THAT I AM THE LEGAL REPRESENTATIVE FOR ALL OWNERS INVOLVED IN THIS REQUEST.

David O Rutt

1-15-18

NAME (SIGNATURE)

DATE

10215 TECHNOLOGY DR STE 304 KNOXVILLE TN 37932

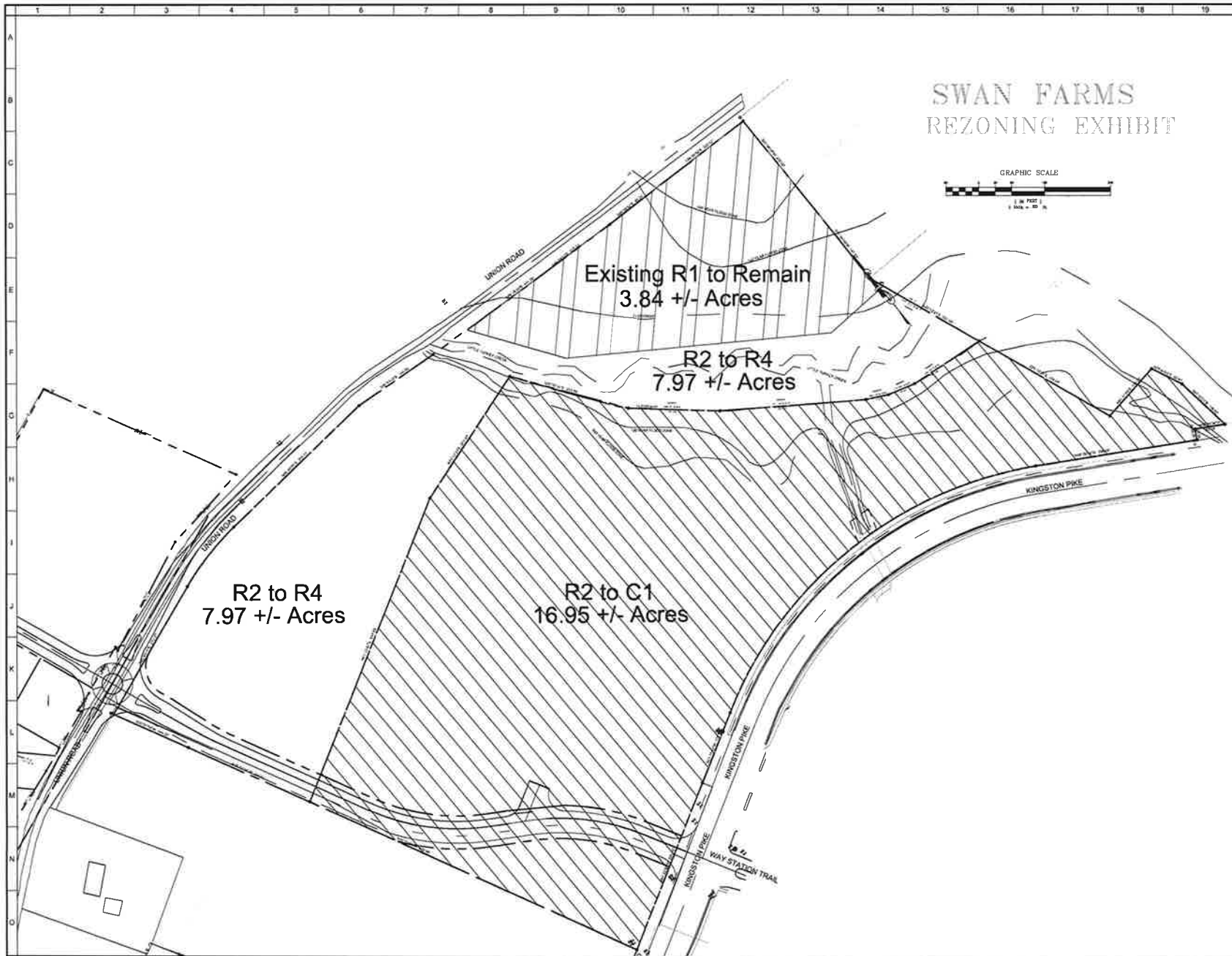
865-777-4170

Street Address/City/State/Zip

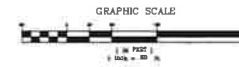
Telephone Number
RECEIVED

JAN 16 2018

TOWN OF FARRAGUT



SWAN FARMS REZONING EXHIBIT



REZONING EXHIBIT
Swan Farms
12639 Kingston Pike
Farragut, Tennessee 37922

PROJECT NO.	2006-0001	DATE	8/10/06
APPLICANT	2006-0001	DATE	8/10/06
REVISIONS			
REV	DATE	DESCRIPTION	

ZE1

MEETING DATE: February 15, 2018

AGENDA ITEM #8

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion on a request to rezone Parcels 52, 54, 54.01, 55, and 57, Tax Map 151, located at 12723, 12733, 12737, 12743, and 12751 Union Road, 115 Acres, from A to R-1/OSR (Site Inc., Applicant)

INTRODUCTION AND BACKGROUND: This request was originally discussed as a workshop item at the May 18, 2017 Planning Commission meeting. A copy of the staff report for that agenda item in May is included in your packet. At that meeting, the Commission agreed with the staff that the rezoning was premature since changing the density of development would not be appropriate given that Union Road will be very substandard for at least 4-5 years.

DISCUSSION: At this point, the consulting firm that is working on the Union Road improvement project is finalizing the NEPA approval process so that they can proceed with some design modifications requested by the Town. Actual construction on the road, however, is unlikely to be initiated within the next couple of years. Consequently, the staff would still consider a rezoning of the properties included in this request as premature. Given the very substandard nature of Union Road, the staff could only support a development density on this property that reflects the property's current predominant zoning designation of A, Agricultural. This has a density of one dwelling unit per 5 acres and is consistent with the rural character of the road in its current configuration.

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion on a request to rezone Parcels 52, 54, 54.01, 55, and 57, Tax Map 151, located at 12723, 12733, 12737, 12743, and 12751 Union Road, 115 Acres, from A to R-1/OSR (Site Inc., Applicant)

INTRODUCTION AND BACKGROUND: This item involves a workshop discussion related to the rezoning of the Ivey property that is situated between Saddle Ridge and Fox Run and that fronts along Union Road. Given its location, this property has been the subject of much development interest over the years. The property includes five parcels and is mostly zoned Agricultural (A). The property has been actively used as a farm and has some agriculture structures and at least one farm pond. The property is mostly pastureland but does have some wooded areas. There are also some drainageways that bisect the property.

DISCUSSION: Given the property's physical characteristics, the applicant is requesting to rezone the property to the R-1/OSR Zoning District. This would provide the applicant with more flexibility in lot sizes and configurations. This would also provide more opportunity to protect environmentally sensitive portions of the site that could be incorporated into the required minimum 35% open space. On the future land use map in the CLUP, most of the property is shown as a low density residential. In order to be consistent with the rezoning request, the applicant will also need to request an amendment to the future land use map to change the designation to open space cluster residential.

The properties that are the subject of the rezoning have collectively over 1,100 feet of frontage along Union Road. Historically, the major issue with changing the zoning (and thus the density of development) on the property was the substandard condition of Union Road. Much of the western section of Union Road is very narrow and cannot accommodate additional traffic generated by the development of the property. The Agricultural Zoning District requires a minimum of 5 acres per lot. The R-1/OSR provides for a development density that is based on the total tract square footage divided by 20,000 square feet (the minimum lot size in the base zoning district – the R-1). So, for the area encompassed by this rezoning, a density of up to 250 lots would result. Under the properties current zoning, the density would be roughly 23 lots. With an estimated 10 average daily trips per lot, the requested rezoning could add around 2,500 additional trips per day on Union Road. Given the road's current condition, the Board of Mayor and Aldermen has prioritized the improvement of the western portion of Union Road from Everett Road to Kingston Pike via N. Hobbs Road. The Town's engineering staff has secured initial approval for federal funding for much of this improvement.

The question at this time is related to timing. Assuming everything goes as scheduled, it will likely be at least 2 years before the start of any construction on Union Road. Once construction is initiated, it will likely take 18-24 months to complete. The rezoning may be premature since changing the density of development would not be appropriate given that the road will be substandard for at least 4-5 years.

RECEIVED

APPLICATION TO AMEND ZONING MAP

APR 17 2017

TOWN OF FARRAGUT, TENNESSEE

TOWN OF FARRAGUT

FOR OFFICE USE ONLY

Fee Paid: \$300

APPLICANT NAME: SITE INCORPORATED
Address: 10215 TECHNOLOGY DR SUITE 304 City/State/Zip: KNOXVILLE TN 37932
Phone Number: 865-777-4160 Fax Number: 865-777-4189
E-mail: DROBINETTE@SITE-INCORPORATED.COM

DESCRIPTION OF PROPERTY (Attach map of property):
Address: 12723, 12733, 12737, 12743, 12751 UNION Rd Size of Tract: 115 +/- ACRES
Lot(s)/Parcel(s) No.: map 151 PARCELS 52, 54, 55 Tax Map No. 151
59.01 ± 57

Previous Rezoning Applications: N/A

Change Requested:

From: AGRICULTURE To: R-1-OSR

Proposed Use of Property (Be specific): SINGLE FAMILY RESIDENTIAL

Existing Land Use: HOUSES AND AGRICULTURE

ALL OWNERS OF PROPERTY INVOLVED MUST SIGN OR NAMES MUST BE LISTED:

NAME	ADDRESS (Street/City/Zip)	PROPERTY OWNED
HERITAGE Properties LP	12743 UNION ROAD, 12737 UNION Rd	KNOXVILLE TN 37934
MARY ELLEN IVEY	12751 UNION ROAD	KNOXVILLE TN 37934
SUSAN IVEY JOHNSON, DIANE IVEY GROSS, LISA IVEY GODWIN	12737 UNION ROAD	KNOXVILLE TN 37934
MARY ELLEN IVEY	12723 UNION ROAD	KNOXVILLE TN 37934

I HEREBY CERTIFY THAT THE OWNERS OF ALL PROPERTY INVOLVED IN THIS REQUEST HAVE SIGNED OR ARE LISTED ABOVE AND HAVE CONSENTED TO THIS APPLICATION.

APPLICANT SIGNATURE

DATE

OR

I HEREBY CERTIFY THAT I AM THE LEGAL REPRESENTATIVE FOR ALL OWNERS INVOLVED IN THIS REQUEST.

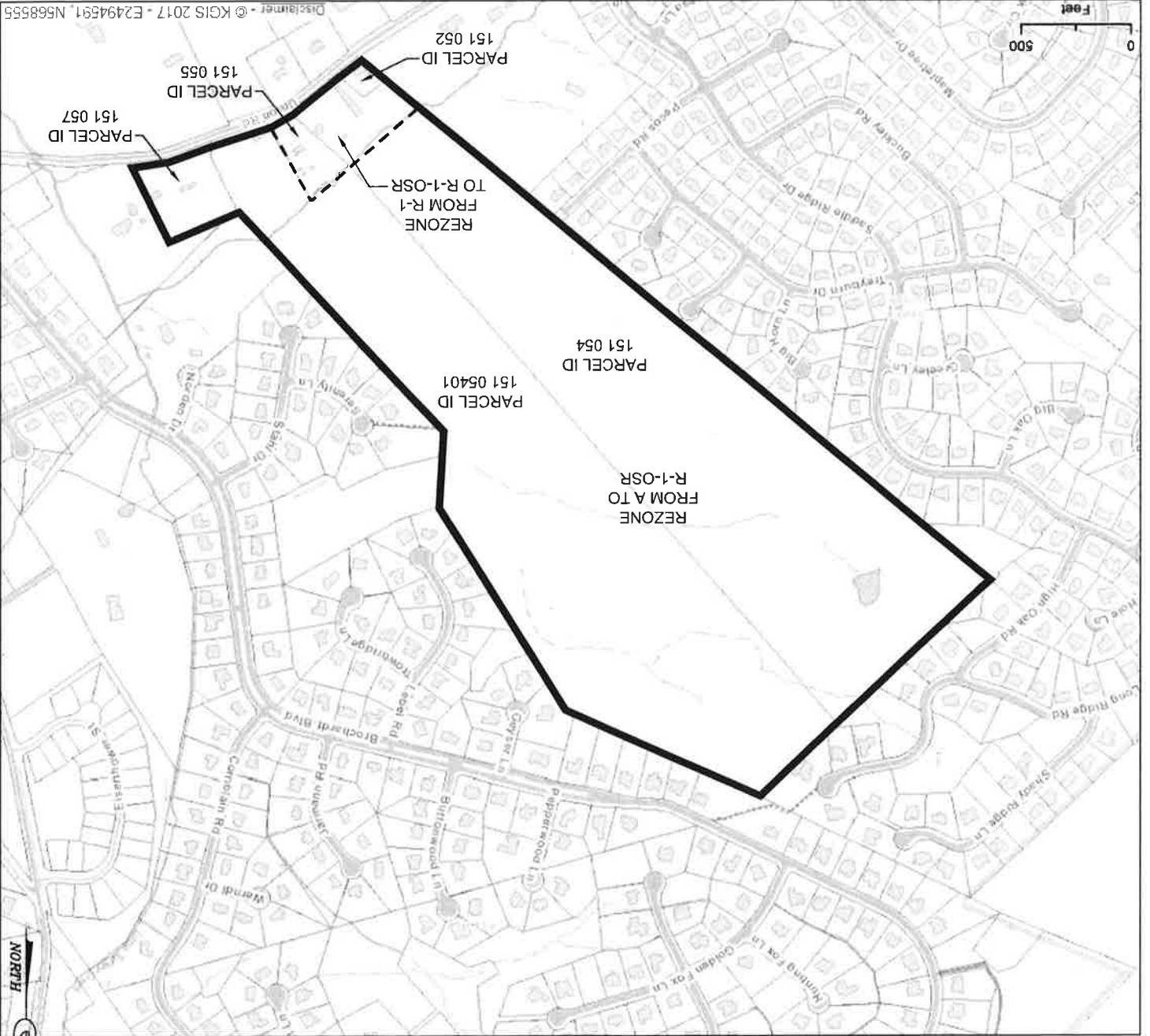
SITE INC by David O Roltt 4/17/17
NAME (SIGNATURE) DATE

10215 TECHNOLOGY DR SUITE 304 KNOXVILLE TN 37932 865-777-4160
Street Address/City/State/Zip Telephone Number

Rezoning Exhibit
 Ivey Farm
 Union Road
 Farragut, Tennessee

NO.	DATE	COMMENTS

RZ1



REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on a request to amend Appendix A – Zoning, Chapter 2., Definitions, of the Farragut Municipal Code, by providing new requirements governing the size of accessory buildings (Town of Farragut, Applicant)

INTRODUCTION AND BACKGROUND: In the Town's Zoning Ordinance, residential additions that are attached to the dwelling unit are treated as part of the principal building and subject to all zoning related provisions that would apply to a principal building. Buildings that are completely detached from a dwelling unit are considered accessory buildings and governed by the applicable requirements for such structures.

Though setbacks are greater for principal buildings than accessory buildings, there are height and size limitations on accessory buildings to ensure that they are "accessory" in appearance and customarily incidental and subordinate to a principal building. Generally, non-agricultural accessory buildings are restricted to a height of 15 feet, as measured from the average grade along the building plane to the mid-point of the roofline (on a gabled roof). Accessory and non-agricultural buildings (in residential zoning districts) are also restricted to a maximum size of 600 square feet or 30% of the footprint of the principal building, whichever is greater.

DISCUSSION: Recently, an applicant used the Town's practice of treating a building connected to the dwelling unit with a covered breezeway as a way to get around the size limitation that would have otherwise applied. The applicant used a very long covered breezeway to construct a large structure further back on the lot. The staff is proposing language included in Ordinance PC-18-01 that would address this loophole and prevent such an application from occurring in the future.

RECOMMENDATION: The staff recommends approval of Resolution PC-18-05 which recommends approval of Ordinance PC-18-01.

RESOLUTION PC-18-05

FARRAGUT MUNICIPAL PLANNING COMMISSION

A RESOLUTION TO APPROVE AN AMENDMENT TO THE TEXT OF THE FARRAGUT ZONING ORDINANCE, ORDINANCE 86-16, AS AMENDED, PURSUANT TO AUTHORITY GRANTED BY SECTION 13-4-201, TENNESSEE CODE ANNOTATED, BY AMENDING CHAPTER 2., DEFINITIONS, BY PROVIDING FOR A NEW DEFINITION OF AN ACCESSORY BUILDING

WHEREAS, the Tennessee Code Annotated, Section 13-4-201et seq, provides that the Municipal Planning Commission shall make and adopt a general plan for the physical development of the municipality; and

WHEREAS, the Farragut Municipal Planning Commission has adopted various elements of a zoning plan as an element of the general plan for physical development; and

WHEREAS, a public hearing was held on this request on February 15, 2018;

NOW, THEREFORE, BE IT RESOLVED that the Farragut Municipal Planning Commission hereby recommends approval to the Farragut Board of Mayor and Aldermen of an ordinance, amending Ordinance 86-16, of the Farragut Zoning Ordinance, by adding Ordinance 18-05.

ADOPTED this 15th day of February, 2018.

Rita Holladay, Chairman

Edwin K. Whiting, Secretary

ORDINANCE:	18-01
PREPARED BY:	Shipley
REQUESTED BY:	Staff
CERTIFIED BY FMPC:	February 15, 2018
PUBLIC HEARING:	
PUBLISHED IN:	
DATE:	
1ST READING:	
2ND READING:	
PUBLISHED IN:	
DATE:	

AN ORDINANCE TO AMEND THE TEXT OF THE FARRAGUT ZONING ORDINANCE, ORDINANCE 86-16, AS AMENDED, PURSUANT TO AUTHORITY GRANTED BY SECTION 13-4-201, TENNESSEE CODE ANNOTATED, BY AMENDING CHAPTER 2., DEFINITIONS, TO PROVIDE FOR A NEW DEFINITION FOR AN ACCESSORY BUILDING

WHEREAS, the Board of Mayor and Aldermen of the Town of Farragut, Tennessee, wishes to amend Chapter 2, Definitions, of the Farragut Zoning Ordinance, Ordinance 86-16,

NOW, THEREFORE, BE IT ORDAINED by the Board of Mayor and Aldermen of the Town of Farragut, Tennessee, that the Farragut Zoning Ordinance is hereby amended as follows:

SECTION 1.

The Farragut Zoning Ordinance, Chapter 2, Definitions, is amended by replacing the existing definition for an *Accessory building* and define it as follows:

Accessory building: A building customarily incidental and subordinate to the principal building and located on the same lot with such building. A building that is connected to a principal building by a breezeway that is greater than twelve (12) feet in length shall be considered accessory for purposes of size limitations.

SECTION 2.

This ordinance shall take effect from and after its final passage and publication, the public welfare requiring it.

Dr. Ralph McGill, Mayor

Allison Myers, Town Recorder

Certified to the Farragut Board of Mayor and Aldermen this _____ day of _____, 2018,
with approval recommended.

Rita Holladay, Chairman

Edwin K. Whiting, Secretary

FARRAGUT MUNICIPAL PLANNING COMMISSION