



**AGENDA
FARRAGUT MUNICIPAL PLANNING COMMISSION**

**June 21, 2018
7:00 p.m. Farragut Town Hall**

For questions please e-mail Mark Shipley at mshipley@townoffarragut.org or Bart Hose at bhose@townoffarragut.org

- 1. Citizen Forum**
- 2. Approval of agenda**
- 3. Approval of minutes – May 17, 2018**
- 4. Discussion and public hearing on a request for approval of a resubdivision plat for the Knox Valley Dental, 11852 Kingston Pike, 1.37 Acres, Zoned O-1 (Dhiren A. Zaveri, Applicant)**
- 5. Discussion and public hearing on a request for approval of a resubdivision plat for Watt Road Investments, LLC, Parcels 78.03, 81, 82, 95, 95.01, 96, and 97, Tax Map 151, 18.59 Acres, Zoned PCD (Beginning Point Land Surveying, LLC, Applicant)**
- 6. Discussion on a request to rezone Parcels 84, 84.01, and 87, Tax Map 130 at the eastern intersection of N. Campbell Station Road and Fretz Road, 10.23 Acres, from R-1 to R-1/OSR (Fred Long Construction Concepts, Applicant)**
- 7. Discussion on a request to rezone Parcel 93.01, Tax Map 130 off N. Campbell Station Road, 7.6 Acres, from R-2 to R-4 (Site Incorporated, Applicant)**
- 8. Discussion and public hearing on a preliminary plat for the Brass Lantern Subdivision, Parcel 012, Tax Map 162, 801 McFee Road, 22 Acres, 30 Lots, Zoned R-1/OSR (pending) (Homestead Land Holdings, LLC, Applicant)**
- 9. Discussion and public hearing on a preliminary plat for Phase I of the Brookmere Subdivision off Virtue Road, Parcels 22 and 44, Tax Maps 152 and 152F, 87.70 Acres, 90 Lots, Zoned R-1/OSR (pending) (Lose and Associates, Inc.)**
- 10. Discussion and public hearing on a site plan for Grigsby Chapel Offices, 11416 Grigsby Chapel Road, 8.68 Acres, Zoned O-1-3, OS-P, and FPD (G&G Grigsby Chapel Partnership, Applicant)**

11. Discussion and public hearing on a request for approval of a site plan for Phase II of the Little Turkey Creek Commons retail shops, 12500-12584 Kingston Pike, 11.84 Acres, Zoned C-1 and FPD (Robert Shagan, Applicant)

12. Approval of utilities



**MINUTES
FARRAGUT MUNICIPAL PLANNING COMMISSION**

May 17, 2018

MEMBERS PRESENT

Rita Holladay, Chairman
Ed St. Clair, Vice-Chairman
Ralph McGill, Mayor
Louise Povlin, Alderman
Noah Myers
Betty Dick
Rose Ann Kile

MEMBERS ABSENT

Ed Whiting, Secretary
Jack Coker

Staff Representatives: Mark Shipley, Community Development Director
Bart Hose, Assistant Community Development Director
David Smoak, Town Administrator

Chairman Holladay called the meeting to order at 7 p.m.

1. CITIZEN FORUM

2. APPROVAL OF AGENDA

A motion was made by Commissioner Povlin to approve the agenda as presented. The motion was seconded by Commissioner St. Clair and the motion passed unanimously.

3. APPROVAL OF MINUTES

A motion was made by Commissioner Dick to approve the April 19, 2018 minutes. The motion was seconded by Commissioner Povlin and the motion passed unanimously.

4. DISCUSSION AND PUBLIC HEARING ON AN ORDINANCE TO ESTABLISH THE NEIGHBORHOOD/CONVENIENCE COMMERCIAL DISTRICT (NCC) (Town of Farragut, Applicant)

Staff recommended approval of Resolution PC-18-06 which recommends approval of Ordinance 18-03.

A motion was made by Commissioner St. Clair to approve Resolution PC-18-06 which recommends approval of Ordinance PC-18-03. The motion was seconded by Commissioner Povlin and the motion passed unanimously.

5. DISCUSSION AND PUBLIC HEARING ON A REQUEST TO AMEND THE FUTURE LAND USE MAP FOR A PORTION OF THE SWAN PROPERTY, PARCEL 58, TAX MAP 151, 12639 KINGSTON PIKE FROM OPEN SPACE TO LOW DENSITY RESIDENTIAL.

Staff recommended approval of the amendment to the future land use map.

A motion was made by Commissioner Povlin to approve an amendment to the future land use map. The motion was seconded by Commissioner St. Clair and the motion passed unanimously.

6. DISCUSSION AND PUBLIC HEARING ON A REQUEST TO REZONE THE SWAN PROPERTY, PARCEL 58, TAX MAP 151, 12639 KINGSTON PIKE, 28.76 ACRES, FROM R-2, R-1, AND FPD TO C-1, R-4, OS-P, AND FPD (SITE, Inc., Applicant)

Staff recommended approval of the rezoning shown on Exhibit A as part of Ordinance 18-09 with the areas requested for C-1 and R-4 being modified and shown as being rezoned to the Neighborhood/Convenience Commercial District (NCC). Staff also recommended that the rezoning be conditioned on the completion of Union Road or the construction of an extension of Way Station Trail from Kingston Pike to Union Road so that all portions of any development on the Swan property would directly access a collector and/or arterial street that meets the minimum standards for such street(s) as provided for in the Farragut Subdivision Regulations.

A motion was made by Commissioner Povlin to approve a request to rezone the Swan Property subject to the staffs' recommendation. The motion was seconded by Commissioner St. Clair and the motion passed unanimously.

7. DISCUSSION AND PUBLIC HEARING ON A REQUEST TO REZONE PARCELS 52, 54, 54.01, 55, AND 57, TAX MAP 151, LOCATED AT 12723, 12733, 12737, 12743, AND 12751 UNION ROAD, 115 ACRES, FROM A AND R-1 TO R-1/OSR (Site Inc., Applicant)

Staff recommended approval of Resolution PC-18-11 which recommends approval of Ordinance 18-10 subject to the condition that the property directly access a collector and/or arterial street which meets the minimum standards for such street(s) as provided for in the Farragut Subdivision Regulations. This could include the completion of Union Road improvements (which are currently being designed) or the construction of an extension of Way Station Trail and a roundabout at Union Road that would provide for a direct connection of the Ivey property to Kingston Pike via a collector street that meets the minimum standards provided for in the Farragut Subdivision Regulations.

A motion was made by Commissioner St. Clair to approve Resolution PC-18-11 which recommends approval of Ordinance PC-18-10. The motion was seconded by Commissioner Dick and the motion passed unanimously.

8. DISCUSSION AND PUBLIC HEARING ON A REQUEST TO REZONE PARCEL 12, TAX MAP 162, 801 MCFEE ROAD, 20.267 ACRES, FROM R-2 TO R-1/OSR (Homestead Land Holdings, LLC, Applicant)

Staff recommended approval of Resolution PC-18-07 which recommends approval of Ordinance 18-06.

A motion was made by Commissioner Povlin to approve Resolution PC-18-07 which recommends approval of Ordinance PC-18-06. The motion was seconded by Commissioner Dick and the motion passed unanimously.

9. APPROVAL OF PRELIMINARY PLANS FOR VIRTUE ROAD, FROM 2200 FEET SOUTH OF BROADWOOD DRIVE TO 700 FEET SOUTH OF KINGSTON PIKE (Town of Farragut, Applicant)

Staff recommended approval of the preliminary plans.

A motion was made by Commissioner Myers to approve preliminary plans for Virtue Road with a suggestion that traffic calming measures be considered and measures be employed to protect pedestrians at the bridge crossing. The placement of utility poles should also be reviewed in relation to landscaping and encroachment into abutting properties. The motion was seconded by Commissioner Kile and the motion passed unanimously.

10. DISCUSSION AND PUBLIC HEARING ON A REQUEST FOR APPROVAL OF A CONCEPT PLAN FOR BRASS LANTERN SUBDIVISION, PARCEL 012, TAX MAP 162, 801 MCFEE ROAD, 20.267 ACRES (Homestead Land Holdings, LLC, Applicant)

Staff reviewed this item and noted that separate action would need to be taken on two variances from the Subdivision Regulations prior to action being taken on the concept plan.

The *first variance* would be from the requirement in the Subdivision Regulations for the subdivision to have *more than one public street vehicular access into and out of the development*. The applicant is requesting a variance based on the following reasons:

- 1) The property to the north is already developed with no opportunity for a connection;
- 2) The portion of the applicant's property to the west is relatively steep, wooded, and includes a creek all of which are shown as open space consistent with the OSR Zoning District; and
- 3) Access to the south is restricted due to a pre-approved planned concept for development of the next phase of McFee Park.

Staff supported the variance request given these conditions and the fact that the subdivision will have 30 or less dwelling units.

A motion was made by Commissioner Povlin to approve the variance for the reasons noted by the applicant and staff. The motion was seconded by Commissioner Dick and the motion passed unanimously.

The *second variance* would be from the *requirement for a cul-de-sac to be no more than 500 feet in length*. The proposed cul-de-sac in this development is approximately 1,280 feet in length. The applicant is requesting a variance due to this being a deep but narrow piece of property with no opportunity for internal loop streets.

Staff supported the variance request given this physical condition inherent in the configuration of the tract and the fact that the development will have 30 or less dwelling units.

A motion was made by Commissioner St. Clair to approve the variance for the reasons noted by the applicant and staff. The motion was seconded by Commissioner Povlin and the motion passed unanimously.

Staff noted that the Commission would need to take action on the concept plan. Staff recommended approval of the concept plan subject to the following comments being addressed as verified in writing by the Town staff:

- 1) The plat materials should clearly list the specific names of the professionals that helped to prepare the plan. Company names and professional stamps are not always adequate to fully identify all the contributing professionals. Also, the arborist needs to be listed on the cover page with the other professionals;
- 2) The pattern identifying the slopes in excess of 15% is still printing very light and should be further darkened;
- 3) Please include on the physical inventory sheet the aquatic buffer note per the language provided for in the Subdivision Regulations;
- 4) The streetscape plan needs to be revised to provide more specifics about the landscaping at the entrance and within the island proposed for the walking trail crossing. The streetscape plan must include at least one visual enhancement element that is prominent and that creates an identifiable character for the subdivision. This needs to be more clearly identified on the concept plan. Also, the staff would recommend that one additional island, perhaps in the area near lots 3, 4, 26, and 27, be included and that the island where the pedestrian crossing is proposed be enlarged to accommodate more landscaping and aid in traffic calming; and
- 5) Please include a detail of and label the walking trail.

A motion was made by Commissioner Kile to approve the concept plan subject to the staffs' recommendation. The motion was seconded by Commissioner Povlin and the motion passed unanimously.

11. DISCUSSION AND PUBLIC HEARING ON A REQUEST FOR APPROVAL OF A SITE PLAN FOR KNOX VALLEY DENTAL, 11852 KINGSTON PIKE, 1.37 ACRES, ZONED O-1 (CMA Design/Blankenship & Partners, PLLC, Applicant)

Staff recommended approval subject to the following comments being satisfactorily addressed as verified in writing by the Town staff:

- 1) Please provide flow data and distance measurement to 2nd fire hydrant being utilized to satisfy 2nd required hydrant;
- 2) Please provide a note confirming that the design loading for the pavers at the fire apparatus access area will withstand a minimum 30,000 lb per axle loading requirement;
- 3) Please provide a certified property address;
- 4) The 3 to 6-foot high, partially covered, decorative landscape wall at the front of the courtyard area does not meet setback standards as designed. It will need to be modified to "provide for pedestrian engagement with the public street." It is too tall and cannot be covered per the language provided for in the zoning ordinance as it relates to structures in a front yard;
- 5) Electrical transformer locations will need to be added to the plan;
- 6) All proposed external lighting fixtures will need to be verified for compliance;
- 7) A final plat will be required to combine the existing lots and dissolve the existing drainage easement that bisects the property. It will need to include all existing and proposed easements. It should also clearly restrict, in a note and on the plan, the existing driveway cut onto Kingston Pike for emergency vehicular access only;

- 8) Please ensure that the parking lot is set back at least 20 feet from the front property lines. There appears to be a slight encroachment along Kingston Pike;
- 9) Please list the masonry percentages of the net façade area of the building on the plans to verify compliance with the 75% masonry requirement;
- 10) A landscape plan must be approved by the VRRB. An application and filing fee will be needed;
- 11) Outlet pipe from detention should be RCP (not HDPE);
- 12) How are 36" RCP (carrying pass-thru runoff) and 18" RCP (from detention basin) to be connected to existing manhole at northwest corner of property? Not certain this angle (and pipe sizes) will work. One option to shorten length of pipes: Consider installation of manhole at northeastern corner of parking lot. Route 36" RCP to this manhole, as well as detention outlet. Only one pipe (probably 36") would then be needed from this manhole to northwest (existing) manhole;
- 13) Please submit irrevocable letter of credit for erosion control for \$8500;
- 14) Please submit Drainage Fee of \$560;
- 15) Please submit NOC;
- 16) Please submit copy of TDOT permit for working on state ROW; and
- 17) Please bring a color and materials board to the Planning Commission meeting.

A motion was made by Commissioner Kile to approve a request for a site plan subject to the staffs' recommendation with Comment #4 being updated to indicate that the courtyard wall will not exceed 3 feet and that a sidewalk should be connected from the sidewalk along Kingston Pike to the courtyard. The motion was seconded by Commissioner Povlin and the motion passed unanimously.

12. DISCUSSION AND PUBLIC HEARING ON A REQUEST FOR A VARIANCE FROM THE DISTANCE FROM INTERSECTIONS AND DISTANCE BETWEEN DRIVEWAYS REQUIREMENTS IN THE DRIVEWAYS AND OTHER ACCESSWAYS ORDINANCE IN ASSOCIATION WITH A REQUESTED RIGHT IN RIGHT OUT ACCESS ONTO CONCORD ROAD FOR THE PROPERTY REFERENCED AS 816 CONCORD ROAD, PARCEL 001, TAX MAP 153B, GROUP B, .5 ACRES, ZONED RA (Knox County) (John and Sarah Mailen, Applicant)

Staff recommended approval of the requested variances to allow the access requested for 816 Concord Road due to the property having no other access. Staff recommended to condition any approval on this access being a right in right out residential driveway only and that no openings to the raised median proposed with the Concord Road improvements would be permitted in association with the proposed access.

A motion was made by Commissioner St. Clair to approve the requested variances subject to the staffs' recommendation. The motion was seconded by Commissioner Povlin and the motion passed unanimously.

13. DISCUSSION AND PUBLIC HEARING ON AN ORDINANCE TO AMEND THE HEIGHT REGULATIONS FOR ACCESSORY BUILDINGS IN THE R-1, RURAL SINGLE-FAMILY RESIDENTIAL ZONING DISTRICT (Town of Farragut, Applicant)

Staff recommended approval of Resolution PC-18-12 which recommends approval of Ordinance 18-05.

A motion was made by Commissioner Povlin to approve Resolution PC-18-12 which recommends approval of Ordinance PC-18-05. The motion was seconded by Commissioner Myers and the motion passed unanimously.

14. DISCUSSION AND PUBLIC HEARING ON REMOVING MINI-WAREHOUSE FACILITIES FROM THE LIST OF PERMITTED USES IN THE REGIONAL COMMERCIAL DISTRICT (C-2) AND RETAINING MINI-WAREHOUSE FACILITIES AS A PERMITTED USE IN THE REGIONAL COMMERCIAL, RETAIL/WAREHOUSING DISTRICT (C-2-R/W) (Town of Farragut, Applicant)

Staff recommended approval of Resolution PC-18-09 which recommends approval of Ordinance 18-08.

The Planning Commission discussed how to address a mini-warehouse development proposed at 11775 Snyder Road (which is zoned C-2) that was presented as a concept site plan in March of 2018. The Commission recommended that an exclusion from the provisions of Ordinance 18-08 be applied to the property at 11775 Snyder Road for up to 6 months from the date of this meeting during which a complete site plan would have to be submitted for Planning Commission approval. This exclusion was recommended since a plan was presented to the Planning Commission prior to the development of Ordinance 18-08. There was a clear intent to build a mini-warehouse on this property and the property was purchased in good faith to pursue such a development. With this exclusion recognized by the Planning Commission, a motion was made by Commissioner Myers to approve Resolution PC-18-09 which recommends approval of Ordinance PC-18-08. The motion was seconded by Commissioner Povlin and the motion passed unanimously.

15. DISCUSSION AND PUBLIC HEARING ON REMOVING THE GENERAL COMMERCIAL STORAGE DISTRICT (CS-1) FROM CHAPTER 3 OF THE FARRAGUT ZONING ORDINANCE (Town of Farragut, Applicant)

Staff recommended approval of Resolution PC-18-08 which recommends approval of Ordinance 18-07.

A motion was made by Commissioner Povlin to approve Resolution PC-18-08 which recommends approval of Ordinance PC-18-07. The motion was seconded by Commissioner St. Clair and the motion passed unanimously.

16. APPROVAL OF UTILITIES

None

ADJOURNMENT

The meeting adjourned at 10:52 p.m.

MEETING DATE: June 21, 2018

AGENDA ITEM (add under Approval of Agenda)

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Appointment of Youth Representative

INTRODUCTION AND BACKGROUND: At the April 19, 2018 Planning Commission meeting an amendment was approved to the by-laws which changed the term for the youth representative from a calendar year to a fiscal year. Since the Town's fiscal year begins July 1, the youth representative would start their term at the July 19 meeting.

Since the inception of the youth representative program, Jack Coker has served as the Planning Commission representative and has been a tremendous asset to the Commission and the Town. Much of the Planning Commission's work involves the future of the Town and having input from the youth of the community is critical in the formulation of good policy.

Jack will be leaving for college in the fall. Consequently, a new representative will need to be selected. We have received four applications which are included in your packet. Each applicant is given three choices for committees. Please note that some of the applicants have listed other committees before the Planning Commission. Two of the other committees listed were the Parks and Athletics Council and the Stormwater Advisory Committee. These committees have recently appointed youth representatives.

Since the youth representative term would start next month, staff is requesting the Commission to make a formal selection at the June meeting.

Print**Youth Representative Committee Application - Submission #4033****Date Submitted: 3/29/2018****Town of Farragut Youth Representative Committee Application****First Name**

Jakob

Last Name

Allison

Address1

XXXXX

Address2**City**

knoxville

State

TN

Zip

37934

Home Phone**Email**

xXXXXXXXX

Briefly describe your life goals/aspirations:

One of my biggest goals is to get my bachelors degree. Although my athletics career is a big part of my life; I strive more to achieve in the classroom. I also have a goal in track to have our 4x800 team to make it to state once again.

Which committees are you interested in serving:**First Committee Choice:**

Parks and Athletics Council (4 times a year at 6pm on a Tuesday - Dates TBD) ▼

Second Committee Choice:

Planning Commission (3rd Thursday of each month at 7pm at Town Hall) ▼

Third Committee Choice:

Visual Resources Review Board (4th Tuesday of each month at 7pm at Town Hall) ▼

School Official or Sponsor Name

Ben Collins

Phone Number

(865) 966-9775

**Please upload a letter of
recommendation**

Jake Allison Letter of
Recommendation.docx

Farragut High School

*Principal
Ryan J. Siebe*

*Curriculum Principal
Candace Greer*

*Established 1904
11237 Kingston Pike, Knoxville, TN 37934
Phone 865.966.9775
Fax 865.671.7120*

Grade Level Principals

*Kim Gray
Beth Howard
Anthony Norris
Dwayne Simmons*

Ben Collins
11237 Kingston Pike
Knoxville, TN 37934
(865) 966-9775
ben.collins@knoxschools.org

To whom it may concern,

It is with great pleasure that I provide my highest recommendation for Jake Allison, a truly exceptional student I have had the pleasure of having in class. In my career, I have taught many students but none more pleasant to teach than Jake. I first met Jake during the spring of his freshman year when he was in my World History class and have watched him continue to grow and develop into the student, athlete, and leader he is today.

Of the many positive attributes Jake possesses, his strongest suit is his leadership ability. I have watched Jake transform from a very quiet and introverted freshman to one of the strongest leaders on our school's cross country and track and field teams. Jake certainly does not have a flashy or arrogant personality; rather, he leads by doing what he is supposed to do, setting high goals for himself and his teammates, and then working to exceed those expectations. There are numerous underclassmen throughout our school who look up to Jake as a leader. He is certainly someone I would encourage any young person to strive to emulate.

In addition to being a strong leader, Jake is also a very compassionate and thoughtful young man. Jake has a strong moral compass and consistently does the right thing. He is a young man of high character who I would describe as respectful, humble, compassionate, and kind. As a teacher, it is rewarding to have students in class like Jake. I know I can always partner him with any student in the class and depend on him to bring out the best in others.

Finally, Jake is a very driven young man. He has maintained a strong GPA throughout high school and frequently pursues challenging coursework for himself. Having had Jake in both World History and United States History during his freshman and junior years respectively, I would describe him as a strong writer and someone who thrives with both independent and group work. He regularly produces high quality work and is consistently well prepared for class assessments. He truly is an ideal student to have in class.

All in all, it has been a great pleasure having Jake in class and watching him succeed academically and athletically these last three years. He is truly one of the best all-around young men I have come in contact with, and I have all certainty that he will be successful in the years to come. He is the kind of young man any organization should take great pride in investing and for that reason, I am honored to recommend him.

Yours truly,

Ben Collins
Social Studies Teacher
Farragut High School

Print**Youth Representative Committee Application - Submission #4055****Date Submitted: 5/4/2018****Town of Farragut Youth Representative Committee Application****First Name**

Hannah

Last Name

Lee

Address1

XXXXX

Address2**City**

Knoxville

State

Tennessee

Zip

37934

Home Phone

865-XXXX

Email

XXXXX

Briefly describe your life goals/aspirations:

I am applying for the position of Youth Representative because as a rising senior, I have become interested in how a volunteer committee is run. I also really wish to help with improving the environmental health of the Farragut community. In addition, due to my interest and background knowledge in the environmental sciences, I believe that I would be the most helpful in the Stormwater Advisory Committee. I would love to use my skills to help with committee responsibilities and educate the public on the current state of the community environment. Furthermore, I could possibly carry out a research project demonstrating the significant effects of stormwater on the environment.

Even if I do not get chosen for the Stormwater Advisory Committee, I would still love to contribute in any way possible to the other committees like the Education Relations Committee or the Planning Commission.

Which committees are you interested in serving:

Please select your first, second and third choice committees from the list below. Only the committees that currently have a vacancy are listed.

First Committee Choice:

Stormwater Advisory Committee (2nd Thursday of each month at 3:30pm at Town Hall) ▼

Second Committee Choice:

Farragut/Knox County Schools Education Relations Committee (1st Tuesday of Feb, March, April, May, June at 4pm : ▼

Third Committee Choice:

Planning Commission (3rd Thursday of each month at 7pm at Town Hall) ▼

School Official or Sponsor Name

Mrs. Deborah Fraser

Phone Number

865-966-9775

Please upload a letter of recommendationHannah Lee -
Recommendation.pdf

Farragut High School

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Ryan J. Siebe*

*Curriculum Principal
Candace Greer*

*Established 1904
11237 Kingston Pike, Knoxville, TN 37934
Phone 865.966.9775
Fax 865.671.7120*

Grade Level Principals

*Kim Gray
Beth Howard
Anthony Norris
Dwayne Simmons*

May 2018

Dear Sir or Madam:

I have been asked to write a letter of recommendation for one of my former Advanced Placement Chemistry students, Hannah Lee, for serving as the student representative on the Town of Farragut Stormwater Advisory Committee. Hannah was one of my top students and has demonstrated an outstanding academic aptitude and work ethic across all realms of her education. She has challenged herself with numerous Honors and Advanced Placement Courses and has had her academic achievements recognized through her attainment of top scores in her AP exams, SAT scores, membership in the National Honor Society and selection for Governor's School for Science and Engineering (2018). Hannah has maintained her outstanding grades while being an active member in several school and community organizations which attests to her excellent time management skills. She has been involved with the Biology Olympiad (Semifinalist), HOSA (has achieved Regional and National Placements in competition), the Knoxville Symphony Youth Orchestra, Regional TMTA Competition (TN Mathematics Teachers Association), and Science Club, to name a few. Hannah has volunteered in numerous community service projects such as helping the elderly, tutoring students, preparing Thanksgiving food baskets, school fundraising activities and in maintaining our campus property. Hannah works well with people of all ages and backgrounds and is an extremely positive and comfortable young lady that was a delight to work with in and out of class. She is a well-balanced individual with a varied background that enables her to analyze situations thoroughly.

Hannah has excellent problem solving skills and communicates well through both written and oral expression and has always conveyed her understanding in an extremely thoughtful and logical manner. These skills have allowed her to be selected for a Science Research Internship at the University of TN, Knoxville as a member of the Farragut High School Science Academy and was thus nominated to the Tennessee Junior Science and Humanities Symposium this past year. Her work revolved around Biochemistry and Cellular/Molecular Biology. Similar involvements include NASA SSEP (Student Spaceflight Experiments Program – team project 3rd place Regional) and SASEF (Southern Appalachian Science and Engineering Fair – Honorable Mention/Special Award). As a former member of the Stormwater Advisory Committee, I am confident that Hannah would be a tremendous asset as a student member. She is responsible, mature, thoughtful and aware of the biochemical/environmental issues regarding our water quality and would have much to offer when considering ways to expand water quality education in our community and in using our resources well in improving the environment in our community. I highly recommend Hannah for your most serious consideration and ask that you feel free to contact me if you should have any further questions or concerns regarding her.

Sincerely,

Deborah L. Fraser

Mrs. Debbie Fraser
AP Chemistry Teacher, Farragut High School
debbie.fraser@knoxschools.org

Print**Youth Representative Committee Application - Submission #4059****Date Submitted: 5/9/2018****Town of Farragut Youth Representative Committee Application****First Name**

Nick

Last Name

LiMandri

Address1

XXXXX

Address2**City**

Knoxville

State

TN

Zip

37922

Home Phone

(865) XXXX

Email

XXXX

Briefly describe your life goals/aspirations:

My life goal is to be able to work at Google after college where I would like to obtain a degree within the field of business. I want to be able to help people by working for a company that enhances the lives of others. I want to be able to ensure rules are followed and that everything can run smoothly.

Which committees are you interested in serving:

Please select your first, second and third choice committees from the list below. Only the committees that currently have a vacancy are listed.

First Committee Choice:

Planning Commission (3rd Thursday of each month at 7pm at Town Hall) ▼

Second Committee Choice:

-- Select One -- ▼

Third Committee Choice:

-- Select One --

School Official or Sponsor Name

Brad Smith

Phone Number

(865) 558-7770

Please upload a letter of recommendation

Recommendation Letter - N
LiMandri.pdf

Brad S. Smith
119 King Circle
Kingston, TN 37763
865.558.7770

April 25, 2018

Dear Sir or Madam,

I am writing to provide my fullest recommendation for Nick LiMandri that he be considered for student representative on the Planning Commission. As a teacher, and former corporate leader, I have seen many individuals of varying abilities and potential. I have known him for about two years as a student in my business classes. Mr. LiMandri quickly proved to me that he is one of those exceptional individuals that a talent scout such as myself recognizes as a driven and coachable student-leader.

Nick has displayed drive on multiple occasions in my class. No matter how intense or unique the challenges that I would put forth to the class, I could always count on Nick to deliver fantastic results on time. The products of his work would set the bar for excellence in the class. He is truly one of the best academic students I've had & I see this work ethic translating very well into his career.

From a business perspective, my favorite aspect about Nick's skill set is his "coachability". Even though he is an incredibly competent student, Nick still seeks out and accepts constructive criticism on his work. He blends the abilities of thinking independently and adapting to the advice of mentors wonderfully.

Beyond the qualities described above, Nick has *always* approached school and faculty with respect and a fantastic attitude. I have never heard him complain and he has always treated his fellow students with respect. I foresee Nick LiMandri being a positive example for his peers and an individual who will add incredible value to any organization.

Sincerely,

A handwritten signature in black ink, appearing to read 'B. S. Smith', with a stylized, cursive-like flourish at the end.

Brad S. Smith
Business Teacher
Farragut High School

Print**Youth Representative Committee Application - Submission #4051****Date Submitted: 4/30/2018****Town of Farragut Youth Representative Committee Application****First Name**

Hayden

Last Name

Ott

Address1

XXXX

Address2**City**

Farragut

State

TN

Zip

37934

Home Phone

865XXXX

Email

XXXXXX

Briefly describe your life goals/aspirations:

In my life, I hope to complete a four year university, find a job that I enjoy and am very successful at, and make meaningful contributions to society. I feel that joining one of these councils will help set me on the path to accomplishing my goals. Volunteering my time for a meaningful cause, like one of these committees, is something that I enjoy doing, and find rewarding.

Which committees are you interested in serving:**First Committee Choice:**

Parks and Athletics Council (4 times a year at 6pm on a Tuesday - Dates TBD)

Second Committee Choice:

Planning Commission (3rd Thursday of each month at 7pm at Town Hall)

Third Committee Choice:

Visual Resources Review Board (4th Tuesday of each month at 7pm at Town Hall)



School Official or Sponsor Name

Laura Austin

Phone Number

laura.austin@knoxschools.org

Please upload a letter of recommendation

Hayden Ott.docx

Farragut High School

*Principal
Ryan J. Siebe*

*Curriculum Principal
Candace Greer*

*Established 1904
11237 Kingston Pike, Knoxville, TN 37934
Phone 865.966.9775
Fax 865.671.7120*

Grade Level Principals

*Kim Gray
Kellie Ivens
Anthony Norris
Dwayne Simmons*

April 30, 2018

To Whom It May Concern:

I have had the pleasure of having Hayden Ott as a student in my Honors Algebra 2 class this semester at Farragut High School.

As a student, Hayden is able to quickly and accurately grasp the concepts taught in class. He works well with his classmates, helping others if they needed assistance and seeking help when he has questions. He is a motivated student and he takes his academic success very seriously.

Hayden has a positive attitude each day and comes to class prepared to work. He is punctual, attentive during class, and completes his daily homework assignments.

Hayden's impeccable character and strong commitment to academics and athletics will make him an asset as the Youth Representative on the Parks and Athletics Council for the Town of Farragut.

Sincerely,

Laura Austin

Laura Austin
laura.austin@knoxschools.org
Math Teacher
Farragut High School

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

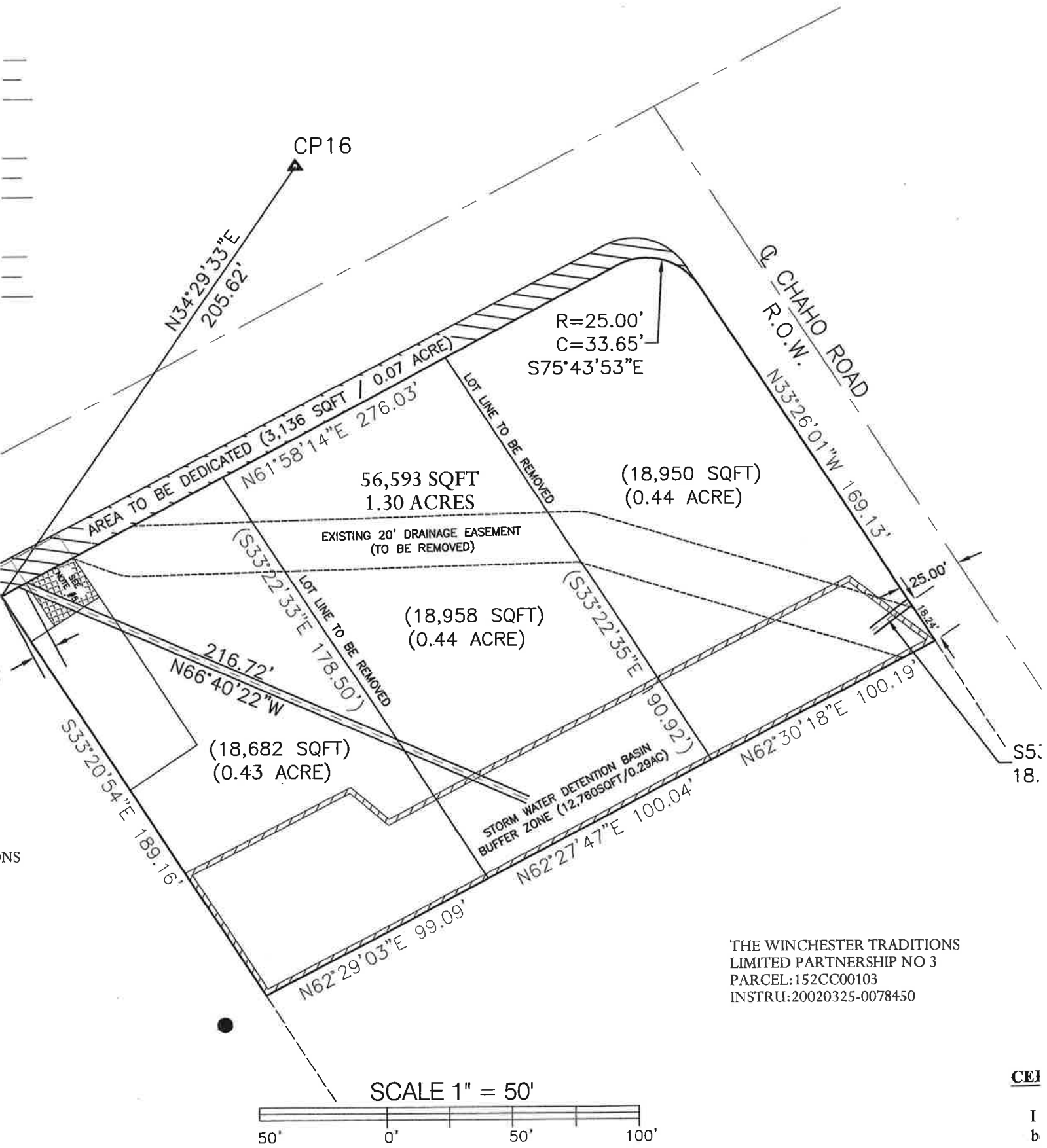
PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on a request for approval of a resubdivision plat for the Knox Valley Dental, 11852 Kingston Pike, 1.37 Acres, Zoned O-1 (Dhiren A. Zaveri, Applicant)

INTRODUCTION AND BACKGROUND: At the last Planning Commission meeting on May 17 a site plan was conditionally approved for Knox Valley Dental at 11852 Kingston Pike. One of the conditions was that a final plat would be needed to combine the three lots on which this development would occur and dissolve the existing drainage easement that bisects the property. The plat would also need to include language that would restrict any direct access to Kingston Pike to emergency vehicles only with such access being discontinued should a cross access to the west be worked out between the property owners.

RECOMMENDATION: Included in your packet is the revised resubdivision plat for the Knox Valley Dental. Also included are the staff comments on the original plat that was submitted. Staff will make a recommendation at the meeting based on whether the initial comments have been satisfactorily addressed.

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THE WINCHESTER TRADITIONS
LIMITED PARTNERSHIP NO 3
PARCEL: 152CC00103
INSTRU: 20020325-0078450

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ted with the

May 25, 2018

Mr. Dhiren A. Zaveri
P.O. Box 30158
Knoxville, TN 37930
Daz232@gmail.com

**SUBJECT: STAFF COMMENTS ON THE FINAL PLAT FOR KNOX VALLEY
DENTAL, 11852 KINGSTON PIKE**

Dear Mr. Zaveri,

The Town staff has reviewed the final plat that was submitted for the Knox Valley Dental office property at 11852 Kingston Pike. Please have your surveyor address the following comments and submit four (4) full size copies and one (1) 11" x 17" reduced copy to the Farragut Town Hall by no later than Monday, June 11. **Also, upon resubmittal, please include a letter which addresses these comments and that indicates where the information can be found on the plat.**

Planning Division: (Contact Mark Shipley at mshipley@townoffarragut.org) or Bart Hose at bhose@townoffarragut.org)

- 1) Please show the temporary emergency fire apparatus access and include as a numbered note that this shall not be a public access and is limited to emergency vehicles only. Such access shall be restricted by means of raised curbing and bollards that would only be removable by an emergency provider through a key or code system;
- 2) Please fill out the application with all information requested (the surveyor should do this and the original application will be left at the front desk for this to be completed);
- 3) The surveyor that prepared this plat must sign the certification sheet that is part of the final plat application (the application will be at the front desk for this to be completed);
- 4) The surveyor must provide his signature over his seal;
- 5) Please correct the numerous typos that are on the plat;
- 6) Please include in a numbered note the purpose of the plat;
- 7) Please correct the North Arrow. The plat says North Arrow is based on ?????
- 8) Please spell out "Chaho Road" on the plat;
- 9) Please include the flood certification note from the Farragut Subdivision Regulations;
- 10) Please check with the project engineer to see if you will need to plat a new drainage easement or any other easements associated with the development of this property. These may also be picked up on the plat that will be needed post construction;
- 11) Please include the correct zoning for the property and that the setbacks are based on this zoning designation. The property is zoned Office (O-1);
- 12) A variance from the 10% open space requirement will have to be requested if this is something you are not providing. No open space was shown on the plat;
- 13) Please show the new acreage of the lot on the drawing;
- 14) Please add as a numbered note the language included as final plat checklist #22. Note #5 on the plat does not reflect this language and will need to be replaced;

- 15) Please look through the certifications that are associated with final plats in the *Farragut Subdivision Regulations*. Some certifications on the plat are duplicated (some appear to be City of Knoxville), some are needed (e.g. Release of Easements), and some can be removed and are not applicable (e.g. Subsurface Sewage, Taxes and Assessments, Zoning, Sewer System);
- 16) Please remove MPC #. This is not applicable;
- 17) Please title your legend and make sure anything included in the legend is on the drawing;
- 18) Please check your metes and bounds. They do not appear to be accurate;
- 19) Please provide closure computations;
- 20) At the close of construction and prior to the issuance of a Certificate of Occupancy, an updated final plat will be required to account for any modified easements that may result from the development of the property;

Engineering Division: (Contact Darryl Smith at dsmith@townoffarragut.org)

- 21) Please provide closure computations.

In addition to the e-mail addresses provided above you may also call the designated staff person(s) at 865-966-7057 if you have any questions on the above items. Unless specified otherwise, please include all requested information on the plans. Thank you for your assistance.

Sincerely,

Mark Shipley, AICP
Community Development Director

Darryl Smith, PE
Town Engineer

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on a request for approval of a resubdivision plat for Watt Road Investments, LLC, Parcels 78.03, 81, 82, 95, 95.01, 96, and 97, Tax Map 151, 18.59 Acres, Zoned PCD (Beginning Point Land Surveying, LLC, Applicant)

INTRODUCTION AND BACKGROUND: This item involves the property south and west of Little Joes Pizza at S. Watt Road and Kingston Pike that was rezoned to Planned Commercial Development (PCD) so that the developer could construct a multi-family development along with a grocery store and two retail buildings.

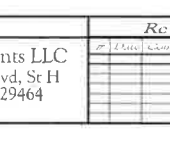
DISCUSSION: Related to this project, at the November 16, 2017 Planning Commission meeting, a plat was approved which combined parcels for a PCD development that will collectively be known as the Kingston Pike Villages. For financing purposes, the developer is now requesting approval to divide the parent tract that was created from the November 16, 2017 plat into two parcels. One parcel would include the multi-family portion of the development and the other would include the non-residential development.

RECOMMENDATION: The plat that has been submitted has a number of issues that will need to be addressed. One of the major issues is that the Easement and Maintenance Agreement that ties the two proposed parcels to the unified PCD development will have to be approved by the Town Attorney. Staff wants to ensure that the plat will be consistent with the requirements of the PCD and will not create any conflicts as the development moves forward.

Staff will provide recommendations at the meeting. One certainty is that an “as constructed” final plat will also be required once improvements are in place so that any easements reflect “as constructed” conditions.

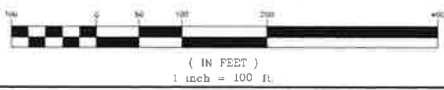
GRAPHIC SCALE  0 250 500 FEET) 100 ft.	 BEGINNING POINT LAND SURVEYING 234 Ladd Ridge Road Kingsport, TN 37663 PH. (865) 696-4613	6th
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<i>Resubdivision of Lot 1</i>	<i>Owner</i>
Watt Road Investments, LLC Kingston Pike, S Warr Road District, Knox County, Farragut, Tennessee and Civil District, Loudon, Tennessee	Watt Road Investments, LLC 1051 Johnnie Dodds Mount Pleasant, SC 843-817-2222



WAIT ROAD INVESTMENTS
ATTN: TYLER HINDSAY
1051 JOHNNIE DODDS BLVD
MOUNT PLEASANT, SC 295

Sheet Information			
Project No.	Date		
Sheet Name	Scale		
Author	Reviewer		
Checked by	OK	OK	OK
Appr.	OK	OK	OK



Resubdivision of Lot 1

Watt Road Investments, LLC
Kingston Pike, S Watt Road
6th Civil District, Knox County, ~~Farragut~~, Tennessee
2nd Civil District, ~~Loudon~~, Tennessee

Owner

Watt Road Investments LLC
1051 Johnnie Dodds Blvd, St H
Mount Pleasant, SC 29464
843-817-2220

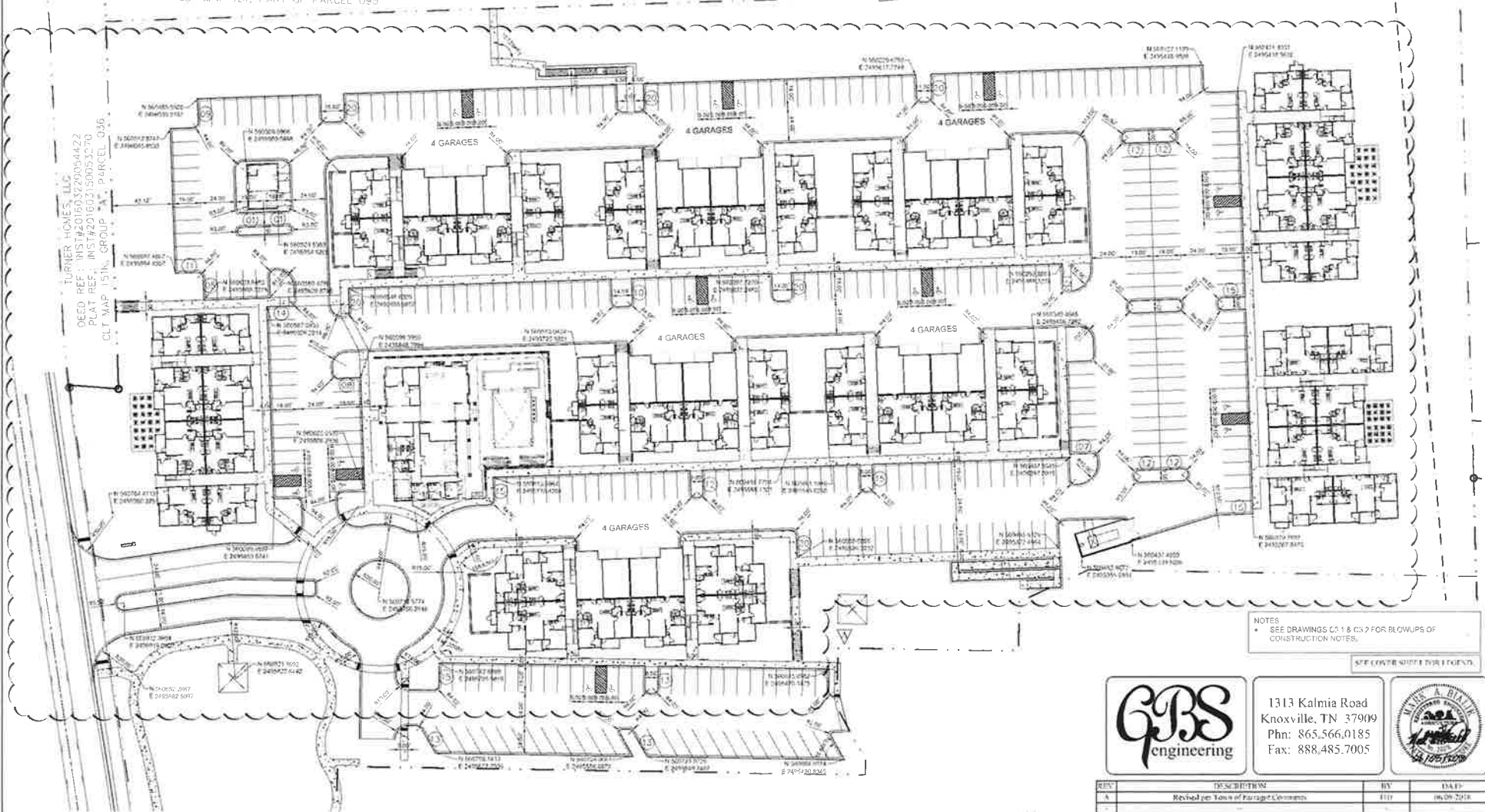
Revisions			Sheet Information	
#	Date	Description	Prepared by	Rev.
			Prepared by	Rev.
			Checked by	Rev.
			Drawn by	Rev.
			Checked by	Rev.
			Appr. by	Rev.

REMAINING LANDS OF
EAST TENNESSEE FAMILY HOMES, LLC
DEED REF.: INST#201309090017139
PLAT REF.: PLAT C&B 113L, PAGE 23
CLT MAP 151, PART OF PARCEL 095

DANIEL VALLELIAN, et al
DEED REF.: INST#201307100002535
PLAT REF.: PLAT C&B 113L, PAGE 23
CLT MAP 151, PART OF PARCEL 095, 01

MUNALI WUDU, et al
DEED REF.: INST#201211300035157
PLAT REF.: PLAT BOOK 9, PAGE 51
CLT MAP 151, PARCEL 098, 01

TURNER HOMES, LLC
DEED REF.: INST#201603220054422
PLAT REF.: INST#201603150053270
CLT MAP 151K, GROUP 1, PARCEL 036



NOTES
SEE DRAWINGS C3.1 & C3.2 FOR BLOWUPS OF
CONSTRUCTION NOTES.

SEE CENTER SHEET FOR FOUNT.



1313 Kalmia Road
Knoxville, TN 37909
Phn: 865.566.0185
Fax: 888.485.7005



SITE LAYOUT PLAN

Scale: 1" = 30'-0"

GRAPHIC SCALE



SHEET 29 OF 40

REV	DESCRIPTION	BY	DATE
1	Revised per Town of Farragut Comments	ETJ	06/09/2018
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TITLE: SITE LAYOUT PLAN
LOCATION: 113 S WALL RD
FARRAGUT, TENNESSEE 37914
CLT Map 151, Parcel Nos. 07801, 079, 090, 091
Owner: WALL ROAD INVESTMENTS LLC

DRAWN BY: TJB
CHECKED BY: MAM
DATE: 7/26/18
PROJECT NUMBER: 2149
ISSUE DATE: 06/18/2018

C3.1

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Bart Hose, Assistant Community Development Director

SUBJECT: Discussion on a request to rezone Parcels 84, 84.01, and 87, Tax Map 130, located near the eastern intersection of N. Campbell Station Road and Fretz Road, 10.23 Acres, from R-1 to R-1/OSR (Fred Long Construction Concepts, Applicant)

INTRODUCTION AND BACKGROUND: The request is to rezone three parcels totaling 10.23 acres from Rural Single Family Residential (R-1) to Rural Single Family/Open Space Residential Overlay (R-1/OSR). Two of the parcels front on the southwest side of N. Campbell Station Road and contain existing single family residential structures. The third parcel is located on the southeast side of Fretz Road and lies behind (south) of the other two lots. It totals approximately 8.23 acres, is heavily wooded to the southeast and along its southwestern boundary line, and is impacted by areas of steep slopes and possibly a small sinkhole depression (Attachments 1, 2 & 3).

DISCUSSION: The requested R-1/OSR zoning for the property would be consistent with the Future Land Use Plan (FLUP) and the surrounding existing land use, zoning, and development pattern (Attachments 1 & 3). The FLUP designates the property as Very Low Density Residential. The surrounding area is a mix of residential developments at various densities and lot sizes, and the R-1/OSR zoning will allow the owner/developer to better design around the sites physical/environmental constraints and preserve some of its wooded character. According to KGIS information, there are existing public water lines along both N Campbell Station Road and Fretz Road. It also appears that a sanitary sewer line will need to be extended to the property to support the types of clustered/smaller-lot developments typically seen in the OSR district. There are sewer lines present in the immediate surrounding area but the Town has not been presented with information regarding connection feasibility.

RECOMMENDATION: The requested rezoning appears to be reasonable given the surrounding area and physical character of the subject property. The three lots will, however, need to be combined into a single tract to comply with the intent and requirements of the OSR overlay district. Utility availability and adequacy should also be verified by the applicant, particularly with respect to public sewer.

RECEIVED APPLICATION TO AMEND ZONING MAP

MAY 14 2018

TOWN OF FARRAGUT, TENNESSEE

TOWN OF FARRAGUT

FOR OFFICE USE ONLY

Fee Paid: \$300

APPLICANT NAME: Fred Long Construction Concepts
Address: 1811 Sunstone Way City/State/Zip: Knoxville, TN 37922
Phone Number: 389-0795 Fax Number: _____
E-mail: builder@usit.net

DESCRIPTION OF PROPERTY (Attach map of property):
Address: N-Campbell Station Rd Size of Tract: 10.23 Acres
Lot(s)/Parcel(s) No.: 084, 84.01, 87 Tax Map No. 130

Previous Rezoning Applications: _____

Change Requested:
From: R-1 To: R-1-OSR

Proposed Use of Property (Be specific): Detached residential subdivision

Existing Land Use: 2 houses - vacant land

ALL OWNERS OF PROPERTY INVOLVED MUST SIGN OR NAMES MUST BE LISTED:

NAME	ADDRESS (Street/City/Zip)	PROPERTY OWNED
<u>Fred Long Construction Concepts</u>	<u>1811 Sunstone Way</u>	<u>084, 84.01, 87</u>
_____	_____	_____
_____	_____	_____

I HEREBY CERTIFY THAT THE OWNERS OF ALL PROPERTY INVOLVED IN THIS REQUEST HAVE SIGNED OR ARE LISTED ABOVE AND HAVE CONSENTED TO THIS APPLICATION.

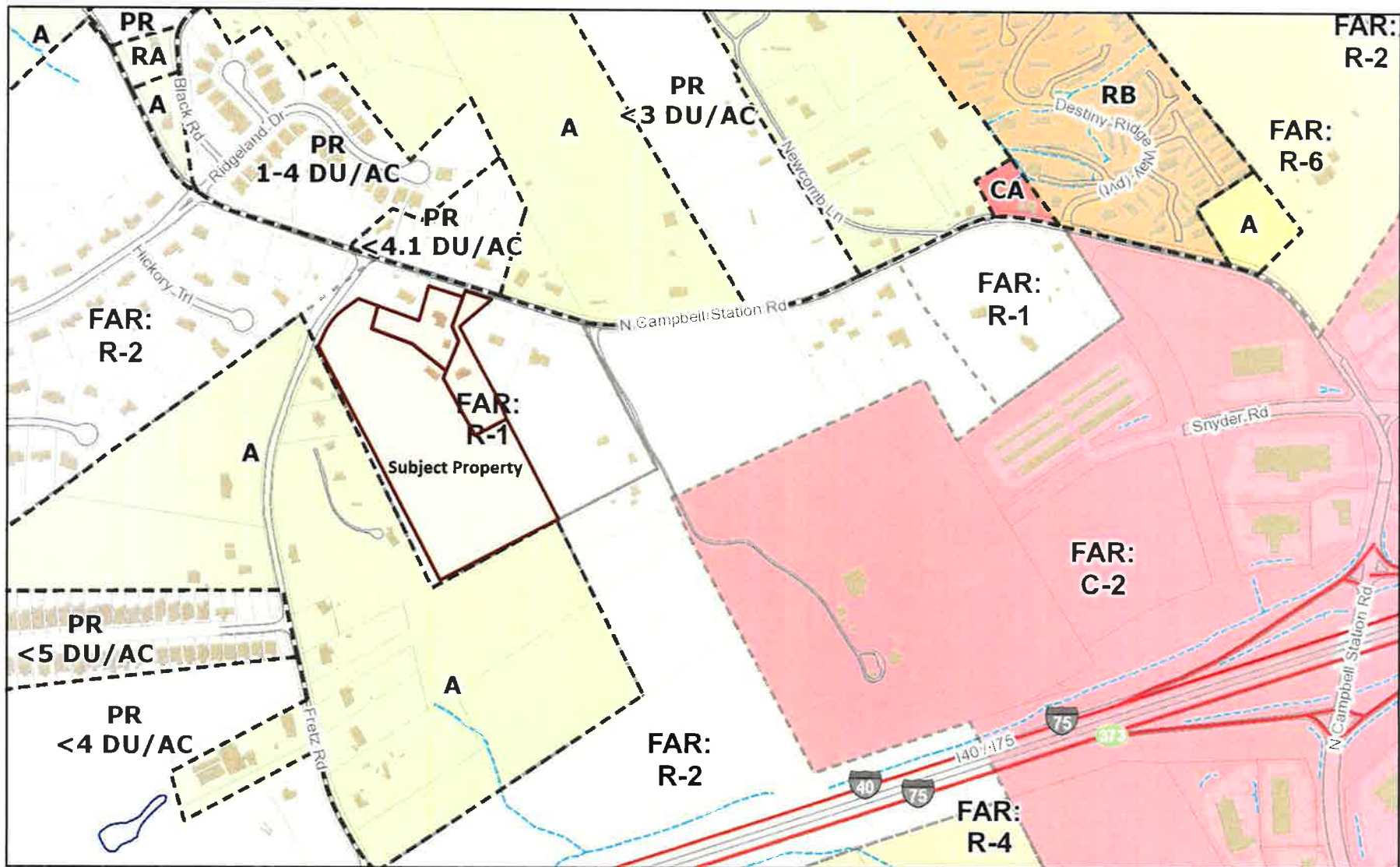
CE Long (agent)
APPLICANT SIGNATURE DATE

OR

I HEREBY CERTIFY THAT I AM THE LEGAL REPRESENTATIVE FOR ALL OWNERS INVOLVED IN THIS REQUEST.

CE Long (agent)
NAME (SIGNATURE) DATE 5-14-18

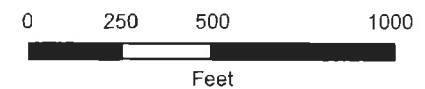
10816 Kingston Pike Knoxville, TN 37934
Street Address/City/State/Zip Telephone Number 671-0183



Attachment 1

Rezoning Request, R-1 to R-1/OSR

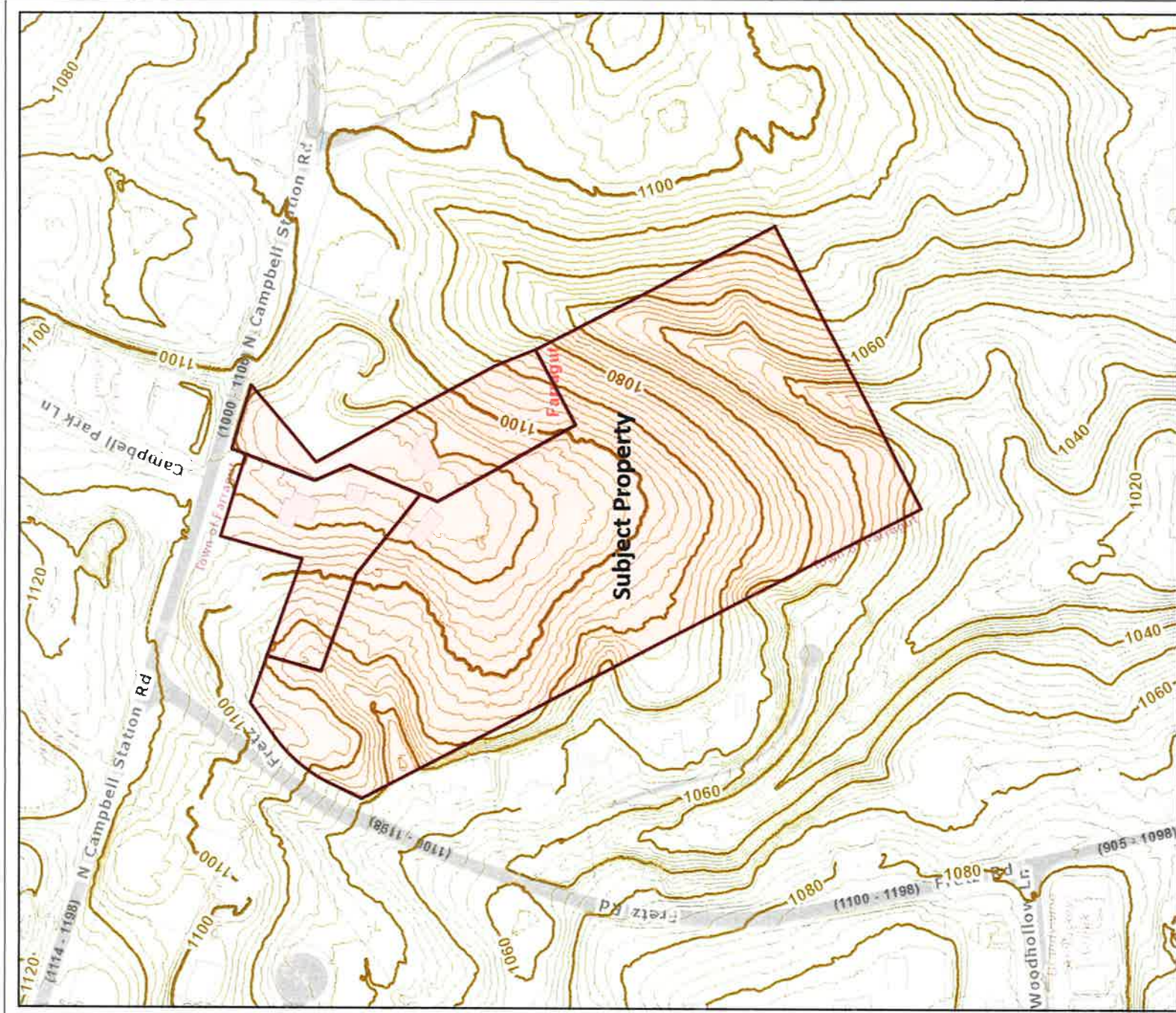
Parcels 84, 84.01 & 87; Tax Map 130



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Attachment 2

Rezoning Request, R-1 to R-1/OSR

Parcels 84, 84.01 & 87; Tax Map 130



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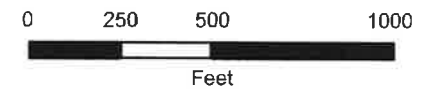
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Attachment 3

Rezoning Request, R-1 to R-1/OSR

Parcels 84, 84.01 & 87; Tax Map 130



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Printed: 6/12/2018 1:35:58 PM

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Bart Hose, Assistant Community Development Director

SUBJECT: Discussion on a request to rezone Parcel 93.01, Tax Map 130, located off N. Campbell Station Road, 7.6 Acres, from R-2 to R-4 (Site Incorporated, Applicant)

INTRODUCTION AND BACKGROUND: The request involves rezoning an approximately 7.6-acre parcel from General Single Family Residential (R-2) to Attached Single Family Residential (R-4). The property fronts for approximately 675 feet on N. Campbell Station Road and currently exists as a vacant field. The topography is generally gently rolling in nature, with a small area of steeper topography located along the parcel's southern property line (Attachments 1 & 2).

DISCUSSION: The requested R-4 zoning is not consistent with the Town's adopted Future Land Use Plan (FLUP) for the area. The area in question is designated as Very Low Density Residential. The plan would therefore need to be formally amended in conjunction with any rezoning action. The requested zoning could, however, provide a transition area between the existing commercially zoned property located to the south and existing residential development in the area. The R-4 zone would also seem to be largely compatible with the surrounding existing land use, zoning, and development pattern. This includes a mix of residential development types and densities, including higher density planned residential and manufactured home developments located in the County; along with apartments, single family developments, and commercial areas in the Town (Attachments 1 & 2).

N. Campbell Station Road does not meet the Town's adopted minimum design standards for a Minor Arterial in the evaluated area. The R-4 zone requires access from a street that meets minimum design standards. The requested rezoning, if eventually supported, would have to be conditioned on improvements to N. Campbell Station Road. These improvements would include widening the lanes where necessary, the addition of curbs and gutters, and the addition of required pedestrian facilities.

According to KGIS information, there is an existing public water line located along N Campbell Station Road but sanitary sewer does not currently extend to the property. There are sewer lines present in the surrounding area but the Town has not been presented with information regarding connection feasibility. A sewer line will need to be extended to the property to support the increased development density of the proposed R-4 zone.

RECOMMENDATION: The requested rezoning does not appear to be unreasonable with respect to the surrounding area's land use, zoning, and development pattern. It would, however, require an amendment to the Town's Future Land Use Plan to establish it as a higher density residential transition area. The substandard nature of N. Campbell Station Road presents a larger issue, and the rezoning should not occur until the necessary improvements are satisfactorily addressed. These improvements should also be coordinated with any necessary utility improvements, including sewer line extensions.

APPLICATION TO AMEND ZONING MAP
RECEIVED
TOWN OF FARRAGUT, TENNESSEE

MAY 21 2018

TOWN OF FARRAGUT

FOR OFFICE USE ONLY

Fee Paid: \$ 300

APPLICANT NAME: SITE INCORPORATED
Address: 10215 TECHNOLOGY DRIVE STE 304 City/State/Zip: KNOXVILLE TN 37932
Phone Number: 865-777-4160 Fax Number: 865-777-4189
E-mail: JROBINETTE@SITE-INCORPORATED.COM

DESCRIPTION OF PROPERTY (Attach map of property):
Address: NORTH CAMPBELL STATION Rd Size of Tract: 7.60 ACRES
Lot(s)/Parcel(s) No.: 93.01 Tax Map No. 130

Previous Rezoning Applications: _____
Change Requested:
From: R-2 To: R-4
Proposed Use of Property (Be specific): SINGLE FAMILY ATTACHED HOUSING
Existing Land Use: VACANT FARMLAND

ALL OWNERS OF PROPERTY INVOLVED MUST SIGN OR NAMES MUST BE LISTED:

NAME	ADDRESS (Street/City/Zip)	PROPERTY OWNED
<u>DONALD WAYNE CAMPBELL ETAL</u>	<u>1028 CAMPBELL STATION Rd</u>	_____
_____	_____	_____
_____	_____	_____

I HEREBY CERTIFY THAT THE OWNERS OF ALL PROPERTY INVOLVED IN THIS REQUEST HAVE SIGNED OR ARE LISTED ABOVE AND HAVE CONSENTED TO THIS APPLICATION.

APPLICANT SIGNATURE

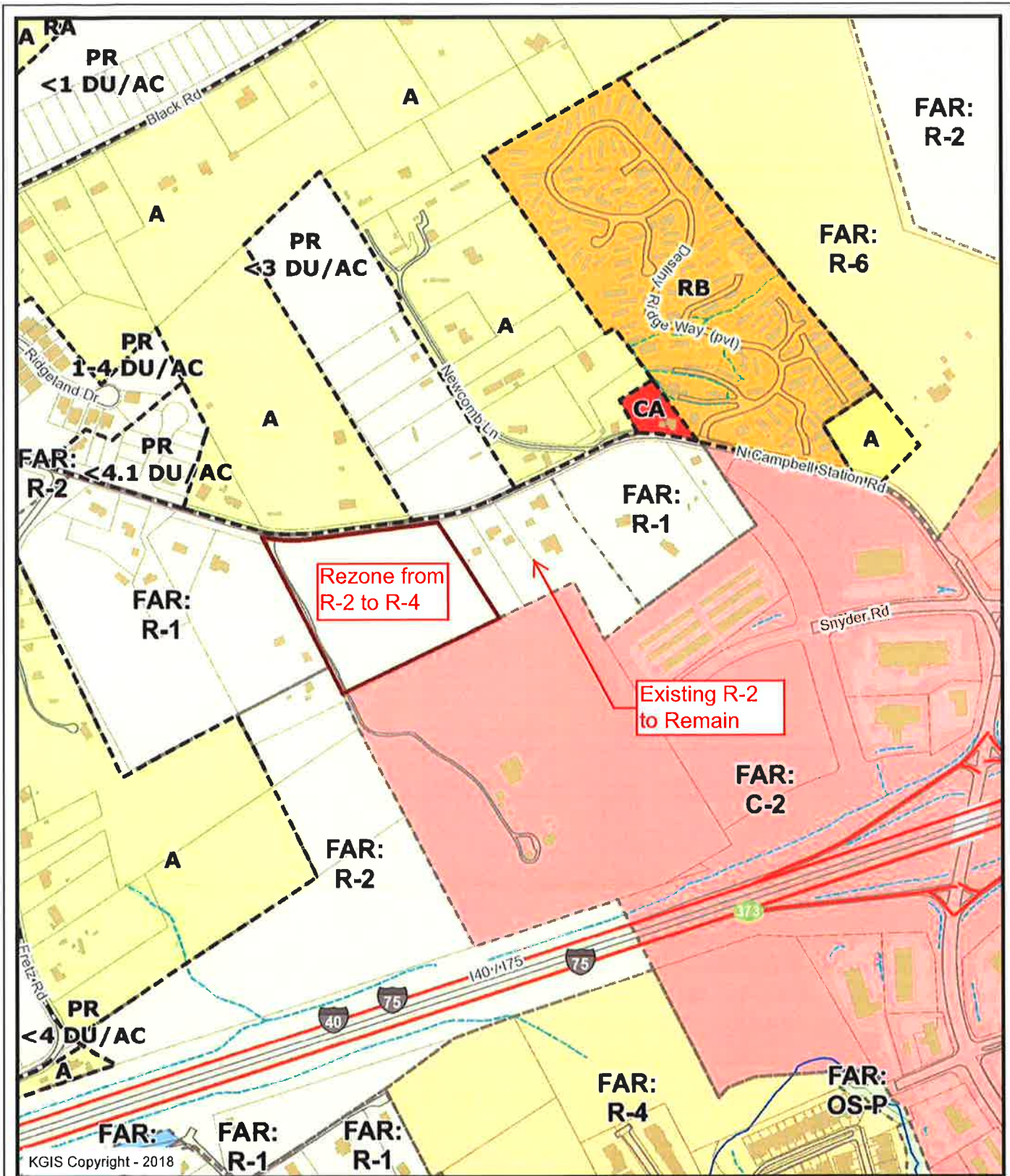
DATE

OR

I HEREBY CERTIFY THAT I AM THE LEGAL REPRESENTATIVE FOR ALL OWNERS INVOLVED IN THIS REQUEST.

Donald W Robitt 5-21-18
NAME (SIGNATURE) DATE

10215 TECHNOLOGY DRIVE SUITE 304 KNOXVILLE TN 37932 865-777-4170
Street Address/City/State/Zip Telephone Number

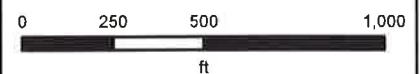


Campbell Station Rezoning

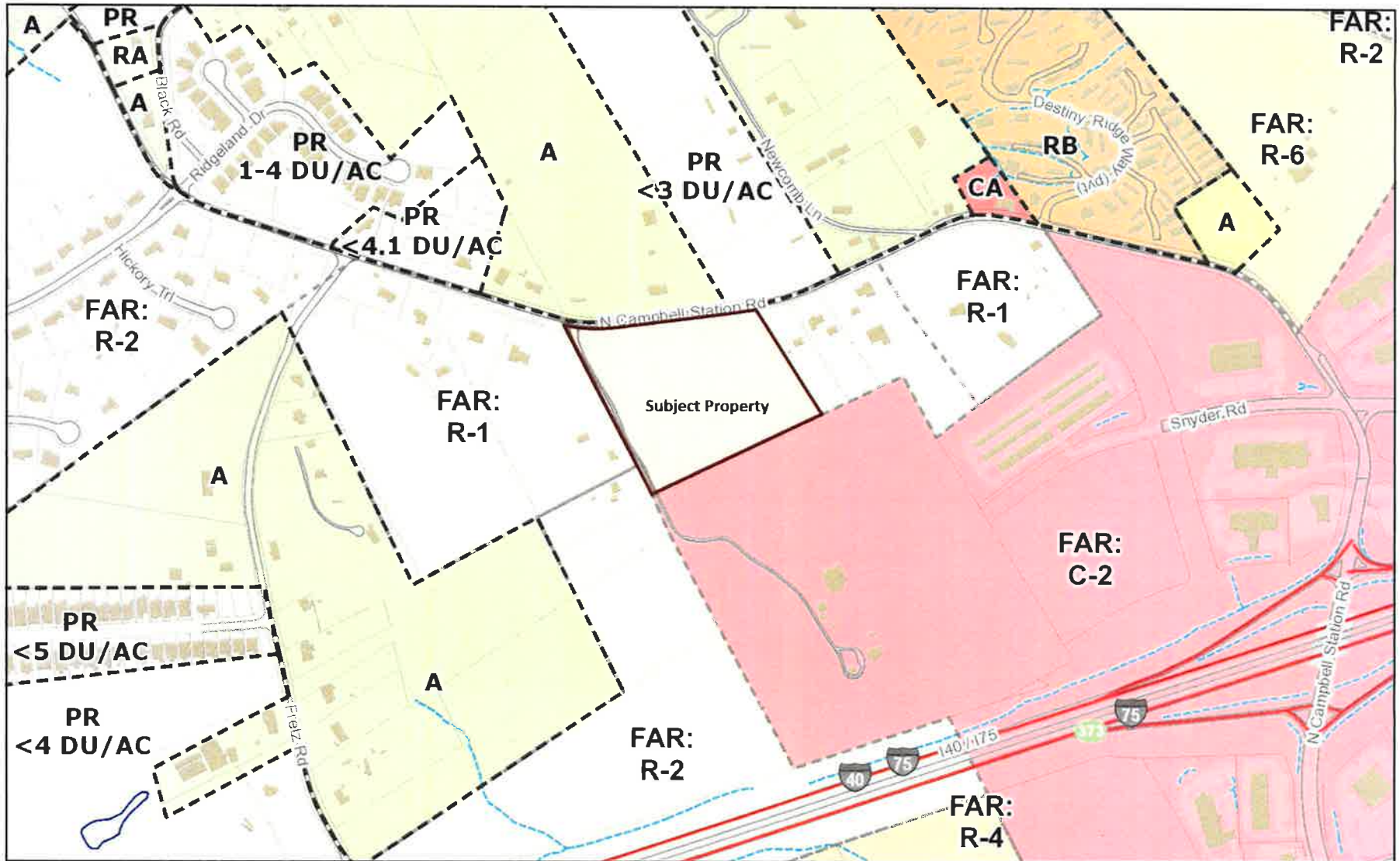
R-2 to R-4

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Knoxville - Knox County - KUB Geographic Information System



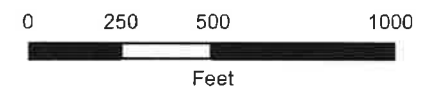
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Attachment 1

Rezoning Request, R-2 to R-4

Parcel 93.01, Tax Map 130



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Attachment 2
Rezoning Request, R-2 to R-4
Parcel 93.01, Tax Map 130

0 250 500 1000
Feet

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REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Bart Hose, Assistant Community Development Director

SUBJECT: Discussion and public hearing on a preliminary subdivision plat for Brass Lantern Subdivision, Parcel 012, Tax Map 162, 801 McFee Road, 20.267 Acres (Homestead Land Holdings, LLC, Applicant)

INTRODUCTION AND BACKGROUND: This item involves a preliminary plat for a proposed subdivision located at 801 McFee Road. The proposed subdivision includes a cul-de-sac, 30 residential lots, and platted open space. It received concept plan approval at the May 17th Planning Commission meeting. This approval included variances to the subdivision regulation requirements regarding more than one vehicular access road and the length of cul-de-sacs. The variances were approved based on the physical characteristics of the property and the nature of the surrounding development, which limited the need for and practicality of additional connections. In addition, the property is currently in the process of being rezoned to a R-1/OSR designation to support the proposed development.

DISCUSSION: The applicants have addressed or are working to address the approval conditions placed on the concept plan. The development includes a walking trail connection to the McFee Manor development to the north. The walking trail will extend through the applicant's development and terminate into the Town's McFee Park property. The applicants have been coordinating the connection point to the park with Town staff to ensure that the trail can be extended as part of a park improvement project.

RECOMMENDATION: Included in your packet is a copy of the revised preliminary plat and the applicant's responses to the staff's comments on the initial plat. The staff will make a recommendation at the meeting based on whether the initial comments have been satisfactorily addressed. In addition, any action will have to be conditioned on the final rezoning of the property to R-1/OSR.

May 31, 2018

Mr. Bob Mohney
Homestead Land Holdings, LLC
122 Perimeter Park Road
Knoxville, TN 37922
bmohney@saddlebrookproperties.com

SUBJECT: STAFF COMMENTS ON THE PRELIMINARY PLAT FOR THE BRASS LANTERN SUBDIVISION, PARCEL 012, TAX MAP 162, 801 MCFEE ROAD

Dear Bob:

The staff has reviewed the preliminary plat for the Brass Lantern Subdivision off McFee Road and has compiled the comments below. If you could please address these comments and submit four (4) full size copies and one (1) 11" x 17" reduced set to the Farragut Town Hall **Monday, June 11, 2018** I would appreciate it. Also, upon resubmittal, please include a letter which addresses these comments and that indicates where the information can be found on the plans.

This item will be discussed at the Staff/Developer Meeting at the Farragut Town Hall on Tuesday, June 5, at 1:30 p.m. The purpose of this meeting is to discuss questions you may have on staff comments. Modifications to the plans are not due until Monday, June 11.

Fire Division: (Contact Dan Johnson at djohnson@townoffarragut.org)

- 1) Please provide a note on water sheet reflecting that all fire hydrants shall provide a minimum of 1000gpm at 20 psi;

Planning Division: (Contact Mark Shipley at mshipley@townoffarragut.org) or Bart Hose at bhose@townoffarragut.org)

- 2) The existing buildings and structures are only shown on the erosion control sheets (see proceeding comment);
- 3) Please clearly show the stream located at the rear of the property with required top of back elevations;
- 4) Please clearly identify the existing sidewalk along McFee Rd;
- 5) Please reflect, in a plat note, the action taken by the Planning Commission on May 17, 2018 regarding the two variances that were requested as part of the concept plan for this subdivision;
- 6) Please clarify and label the various lines in the open space calculation tables;
- 7) The street lighting and tree preservation plan are missing and listed as "by others." They are required for a complete submittal;
- 8) Please include a striped crosswalk where the pedestrian facility crosses the street at the landscaped island. Signage may also be needed;
- 9) Has the walking trail tie in to the McFee Park property been coordinated with the applicable Town staff and Ross Fowler?

- 10) A specific streetscaping sheet is now also required as part of a preliminary plat submittal. Please provide;
- 11) Please include these in the revised sets and number them consistent with the numbering used on the full set;
- 12) The names of all professionals who worked on the project/plat should be listed by name. Simply listing the name of a firm does not (in the case of larger firms) allow us to know who to contact if we have specific questions. Please also include on the cover sheet the LA and arborist and contact information;
- 13) Please complete the subject to's related to the concept plan and ensure that the preliminary plat is consistent with the concept plan;
- 14) The rezoning will need to be finalized as a condition of approval of the preliminary plat;
- 15) Please provide a JPEG of this plan and the as-built of the development;
- 16) On Sheet 2, Note #1 would not appear to be accurate since no site work has been initiated. Please remove this note;
- 17) Please ensure that the plans reflect that the required right of way is 40 feet from centerline since McFee Road is a minor arterial. The existing right of way appears to be 35 feet from centerline. An additional 5 feet of dedication is required;

Stormwater Division: (Contact Lori Saal at lsaal@townoffarragut.org)

- 18) Please identify stream on site and EPSC plans;
- 19) Please identify construction and permanent buffers on stream;
- 20) Per CGP, please note description of measures to limit area of disturbance;
- 21) Per the CGP, please include a note describing the required lot-level EPSC measures when a lot is sold to a new owner prior to the completion of construction;
- 22) Per the CGP, please note that a quality assurance site assessment, conducted by PE, LA, CPESC or Level II EPSC, shall be conducted within 30 days of the start of construction at each portion of the site that drains the qualifying acreage and continue until the BMPs are constructed per the SWPPP;
- 23) Per CGP, please describe stabilization practices;
- 24) Per CGP, please note that EPSC measures are to be repaired, replaced or modified within 7 days of identifying any deficiency;
- 25) Please include a note regarding long-term maintenance of stormwater control measures. Note who is responsible and reference the TN Permanent Stormwater Management and Design Guidance Manual;
- 26) Per CGP, please include a note regarding on site record keeping of inspections, rain gauge and daily rainfall records to be kept on site;
- 27) Sheet C301: please check silt fence lines and LOD line;
- 28) Sheet C304: Final inlet protection details – filter should remain until project closeout;
- 29) Per CGP, sediment basin is NOT to be converted to a detention basin until soil disturbing activities are complete (and notice of termination is to be submitted). This includes conversion/grading of the forebay. Stabilization of the sediment basin/detention area is excluded from the requirements to obtain a final plat;

Engineering Division: (Contact Darryl Smith at dsmith@townoffarragut.org)

- 30) Details for street name sign should show current MUTCD standards with regards to size, upper & lower case letters, reflectivity, etc.;

- 31) Water and sanitary plans are included. Please include gas, electric, telephone and cable;
- 32) Please submit NOC;
- 33) Please submit irrevocable letter of credit for erosion control for \$72,000; and
- 34) Please submit Drainage Fee of \$900.

In addition to the e-mail addresses provided above you may also call the designated staff person(s) at 865-966-7057 if you have any questions on the above items. Unless specified otherwise, please include all requested information on the plans. Thank you for your assistance.

Sincerely,

Mark Shipley, AICP
Community Development Director

Darryl Smith, PE
Town Engineer



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JUN 11 2018
TOWN OF FARRAGUT
TOWN OF FARRAGUT
June 11, 2018

Town of Farragut
Attn: Mark Shipley

Subject: Brass Lantern Preliminary Plat Comment Response

1. Will provided once hydrant flow data is provided by FUD
2. Added to preliminary plat
3. Added centerline and aquatic buffer. No elevations where obtained since it is so far removed from any disturbance area in the back of the open space.
4. Sidewalk is shown and has been made darker
5. Variances added to preliminary plat
6. Open space calculation added.
7. Street lighting added to C101
8. Crosswalk striping added to C101
9. Coordinated with Sue with Town of Farragut. Multiple attempts to contact Ross Fowler have been made with no response.
10. Provided
11. Done
12. Names added
13. Revised concept package submitted
14. Understood
15. OK
16. Note revised
17. Right of Way updated.
18. Stream added sheet
19. Buffers added
20. See notes 15,16 C304 and SWPPP
21. Lot EPSC detail added to C304
22. See note 11 C304 and SWPPP
23. See TDEC Handbook for description of practices shown on plans. See SWPPP for seeding specifications
24. Note 20 added C304
25. Note regarding maintenance added C201
26. Note 18 modified
27. They are correct
28. Understood
29. Understood
30. Revised signage detail to reference FHIA Standard Highway Signs manual.
31. Gas and Communication will be delivered when provided by utility.
32. Will be provided
33. Understood
34. Understood

PRELIMINARY PLAT
BRASS LANTERN
FARRAGUT, TN

NOTE:

1. THERE SHALL BE NO CLEARING, GRADING, CONSTRUCTION, OR DISTURBANCE OF SOIL AND/OR NATIVE VEGETATION WITHIN THE AQUATIC BUFFER EXCEPT AS PERMITTED BY THE TOWN OF FARRAGUT

LANDSCAPE ARCHITECTURE:
MICHAEL VERSEN & ASSOCIATES
MICHAEL VERSEN
299 N WEISGARBER RD. SUITE 201
KNOXVILLE, TN 37919
865-588-1331
michael@versenassociates.com

ARBORIST:
CONSULTREE, LLC
CURTIS CASCIANO
8817 CAVINDISH COURT
KNOXVILLE, TN 37923
865-789-7643
curtis_tree@yahoo.com

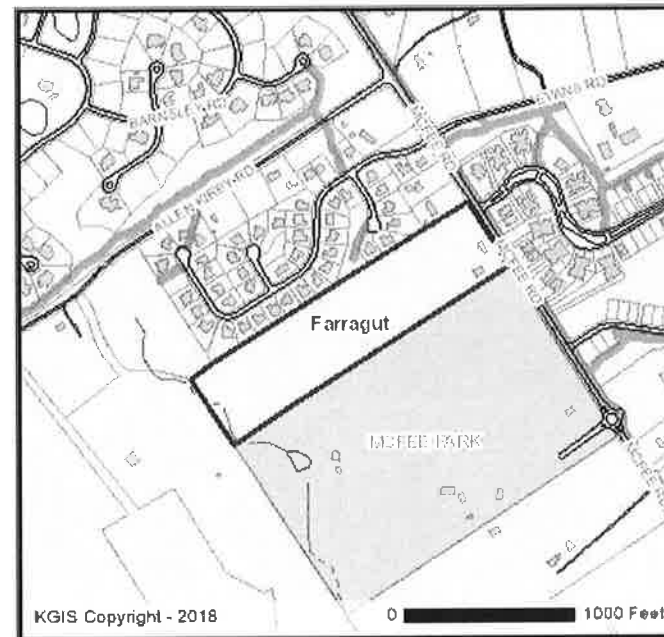
SURVEYING BY:

LYNCH SURVEYS LLC
SUBDIVISIONS | AS-BUILTS | SITE DESIGN
4405 COSTER RD. KNOXVILLE, TENN. 37912
865-584-2630 FAX: 865-584-2801 WWW.LYNCHSURVEY.COM
rlynch@lynchsurvey.com

ENGINEERING BY:



P.O. BOX 30456, KNOXVILLE, TN, 37930
WWW.RACKLEYENGINEERING.COM 865-622-6560
rnrackley@rackleyengineering.com



801 McFee Rd, FARRAGUT, TN 37934
DEED: 20118030 - 0052812
CLT MAP 162 PARCEL 012
20.267 ACRES

May 21, 2018
Revised June 11, 2018

TABLE OF CONTENTS

1	TITLE PAGE
2	PRELIMINARY PLAT
3	C101 ROAD PLAN AND PROFILE
4	C102 ROAD DETAILS
5	C201 GRADING AND DRAINAGE
6	C202 GRADING AND DRAINAGE
7	C203 GRADING AND DRAINAGE
8	C301 INITIAL EROSION CONTROL
9	C302 INTERMEDIATE CONTROLS
10	C303 FINAL EROSION CONTROL
11	C304 EROSION DETAILS
12	C401 SANITARY SEWER PLAN
13	C501 WATER PLAN
14	T1 TREE PRESERVATION PLAN
15	L1 STREETSCAPE PLAN
16	L2 POND LANDSCAPE PLAN
17	LCUB ELECTRIC LAYOUT

OWNER/DEVELOPER:
HOMESTEAD LAND HOLDINGS, LLC
BOB MOHNEY
122 PERIMETER PARK DR
KNOXVILLE, TN 37922
865-392-5630
bmohney@saddlebrookproperties.com

TOTAL BUILDING AREA
0.75 X 20.267 = 15.20 AC
15.20 AC X 0.25 = 3.8 AC
3.8 AC / 30 = 0.1267 AC
=5517.7 SF

TOTAL LOT COVERAGE
0.75 X 20.267= 15.20 AC
15.20 AC X 0.35 = 5.32 AC
5.32 AC / 30 = 0.1773AC
=7724.6 SF

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TOWN OF FARRAGUT
SHEET 1 OF 17

TOTAL AREA = 20.22 ACRES
880,580 SQ.FT.

30 LOTS AND 1 OPEN LOT

OPEN SPACE:

TOTAL AREA 20.22 ACRES
OPEN SPACE LOT: 7.25 ACRES

% OF OPEN SPACE: 35.8%

TAX ID: 162 012
20.22 ACRES

CURRENT ZONING: R-2
PROPOSED ZONING: OSR-R1

NOTE REGARDING VARIANCES:

1. Variance from the Subdivision Regulation requiring more than one public street vehicular access into and out of the development.

PLANNING COMMISSION MEETING OF MAY 17, 2018: APPROVED

2. Variance from the Subdivision Regulation requiring a dead end street to be no more than 500 ft in length.

PLANNING COMMISSION MEETING OF MAY 17, 2018: APPROVED

LINE	BEARING	DISTANCE
1.1	S31°08'49"E	20.16
1.2	N01°03'59"W	46.59
1.3	S04°53'42"W	22.51
1.4	N16°53'39"E	20.72
1.5	S04°53'42"W	21.88

CURVE	BEARING	CHORD	RADIUS	LENGTH
C1	S30°56'24"E	87.82	100.00	90.91
C2	N25°13'16"E	69.47	100.00	70.95
C3	N54°58'23"E	49.13	150.00	49.35
C4	S62°00'22"W	16.70	200.00	16.71
C5	S27°43'48"W	53.66	112.91	54.18
C6	S11°44'18"W	8.82	112.91	8.82
C7	N25°13'16"E	52.10	75.00	53.21
C8	N54°58'23"E	40.94	125.00	41.13
C9	S62°00'22"W	18.79	225.00	18.79
C10	N22°19'52"E	74.91	125.00	76.08
C11	N42°39'28"E	12.60	125.00	12.81
C12	N54°58'23"E	57.32	175.00	57.58
C13	S62°00'22"W	14.61	175.00	14.62
C14	N76°48'31"E	44.34	75.00	45.02
C15	S84°45'23"E	3.24	75.00	3.24
C16	S63°09'07"W	68.62	50.00	75.63
C17	S19°50'27"E	49.49	50.00	51.72
C18	S23°10'45"E	40.15	50.00	41.31
C19	N52°56'57"E	50.31	50.00	52.72
C20	S35°58'04"W	34.31	75.00	34.62
C21	S54°24'10"W	13.62	75.00	13.64
C22	S19°17'41"W	2.09	25.00	2.09
C23	S84°28'47"W	44.46	25.00	54.79
C24	N04°09'55"E	30.31	25.00	32.56

ZONING: A

ZONING: A

ZONING: R-2

ZONING: R-2

ZONING: R-2

ZONING: R-2

LOCATION MAP NO SCALE

NOTES:

1. WHERE MONUMENTATION WAS FOUND IT HAS BEEN IDENTIFIED. IRON PINS ARE TO BE SET AT ALL CORNERS AT TIME OF COMPLETION OF CONSTRUCTION, UNLESS OTHERWISE NOTED. ALL NEW PROPERTY MONUMENTS ARE 1/2" x 18" REBAR IRON PINS WITH PLASTIC CAP STAMPED "LYNCH 2447".

2. CLT TAX MAP 162 012

3. DEED REFERENCES - INST: 20118030-0052812

4. THIS PROPERTY IS ZONED AS FOLLOWS: OSR-R1 (FARRAGUT)

5. THIS PROPERTY DOES NOT LIE WITHIN A 100/500 YEAR FLOOD ZONE PER FIRM FLOOD INSURANCE RATE MAP NUMBER: 47093C0352F EFFECTIVE DATE: MAY 2, 2007.

6. ALL UNDERGROUND UTILITIES ARE REFERENCED TO UTILITY COMPANIES MAPS AND ARE TO BE CONSIDERED APPROXIMATE.

7. NORTH ROTATION: NADB3(NSRS2007)

8. ALL WALKING TRAILS SHALL HAVE A 20' EASEMENT IN FAVOR OF THE TOWN OF FARRAGUT AND ARE RESERVED FOR PUBLIC USE. UPON COMPLETION OF CONSTRUCTION OF WALKING TRAILS, THE TOWN OF FARRAGUT SHALL ACCEPT MAINTENANCE AND LIABILITY OF USE OF SAID EASEMENTS.

9. A 15' UTILITY EASEMENT EXISTS, 7.5 EITHER SIDE OF WATER AND SEWER LINES AS INSTALLED.

10. BUILDING SETBACKS FOR (R1, OSR) ZONING ARE AS FOLLOWS:
FRONT YARD: 20 FEET
FRONT FACING GARAGE: 30 FEET
SIDE YARD: (MINIMUM OF 20 FEET BETWEEN BUILDINGS) 10 FEET UNLESS SHOWN OTHERWISE.
REAR: 25 FEET
PERIPHERY PROPERTY LINE: 50 FEET

11. REFERENCE TO TDD R.O.W. MAP FOR MCREE ROAD LAST REVISED 03-18-2005 KNOX COUNTY PROJ 47956-3519-54 TDD PROJ STP-M-4700(39)

SYMBOL LEGEND	
IRON ROD (SIZE&TYPE)	CONC. MONUMENT
IRON ROD SET	WATER VALVE
SANITARY MANHOLE	POWER/TELE. POLE
GAS VALVE	DRAIN INLET
SERVICE POLE	TELEPHONE MANHOLE
CATCH BASIN	GUY WIRE
WATER METER	LIGHT POLE
SANITARY SEWER	GAS METER
SIGN (TYP.)	

LINE LEGEND	
CHAIN LINK FENCE	
GAS LINE	
WATER LINE	
SEWER LINE	
STORM SEWER LINE	
POWER/TELE. LINE	
POWER LINE	

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JUN 11 2018

TOWN OF FARRAGUT

CERTIFICATE OF SURVEY ACCURACY

I hereby certify that the plan shown and described herein is a true and correct survey in the accuracy required by the Tennessee Municipal Planning Commission and that the monuments have been placed as shown herein, to the satisfaction of the Tennessee Regulations. This is a Category 1 Survey as defined in the Tennessee Regulations of the underground utility lines.

Date: 6/11/18

No. 2447



SURVEY FOR:

Preliminary Plot of:

LYNCH SURVEYS LLC
SUBDIVISIONS | AS-BUILTS | SITE DESIGN
4405 COSTER RD. KNOXVILLE, TENN. 37912
865-584-2630 FAX: 865-584-2801 WWW.LYNCHSURVEY.COM

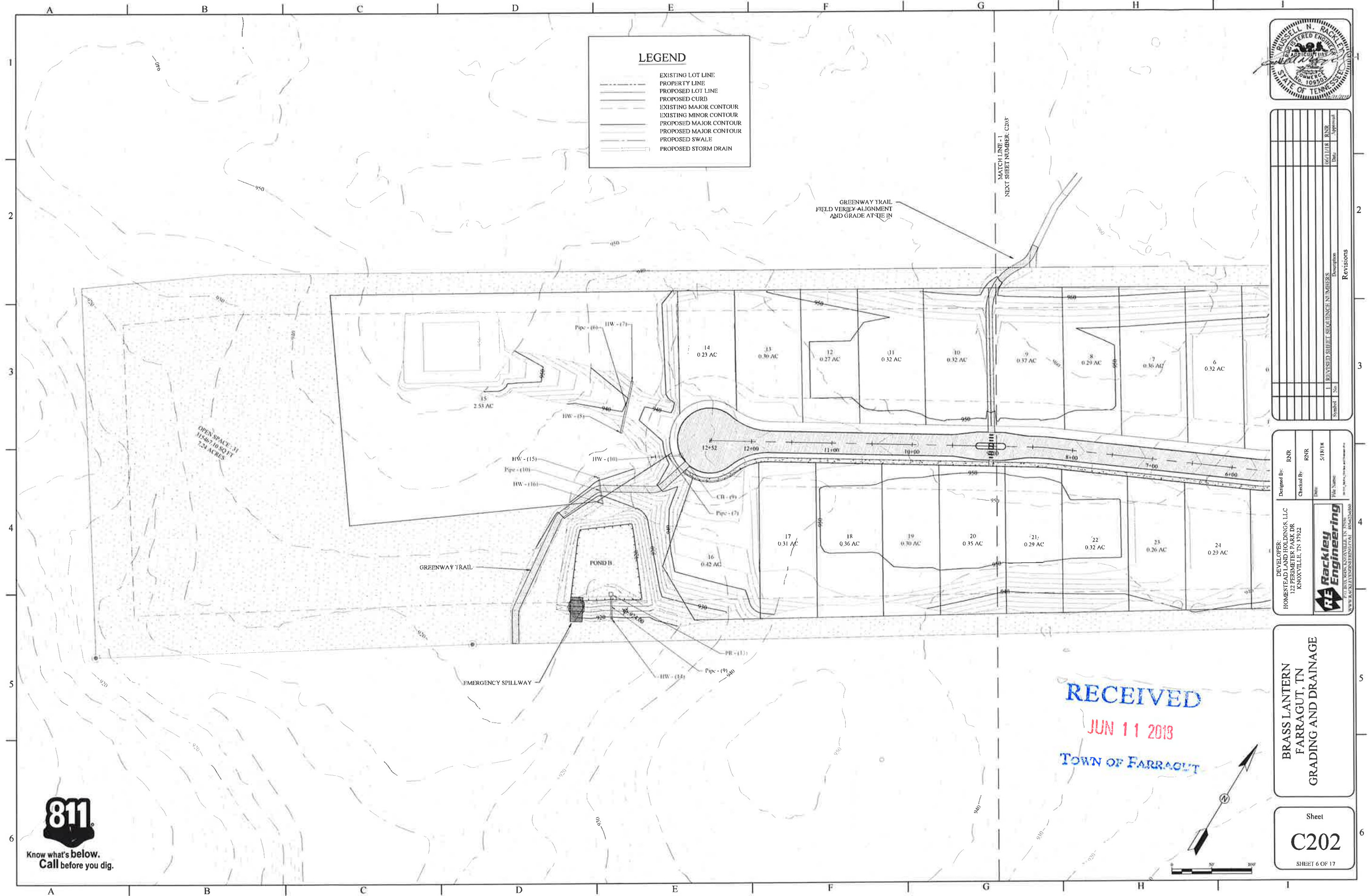


REVISIONS	
DRAWN BY: R. LYNCH / M.STRANGE	1 TOF COMMENTS 06/11/2018
CHECKED BY: R. LYNCH	2
APPROVED BY: R.S.L.	3
SCALE: 1"=100'	4
DATE: 05/18/2018	5
	6

Homestead Land Holdings
122 Permitter Park Road
Knoxville, Tennessee 37922
Phone: (865) 690-3200

BRASS LANTERN
Knoxville, Tennessee 37921
Town of Farragut, Tennessee

SHEET NO:
2 of 17
PROJECT NO.
4063-1CP



LEGEND

- EXISTING LOT LINE
- PROPOSED LOT LINE
- PROPOSED CURB
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED SWALE
- PROPOSED STORM DRAIN



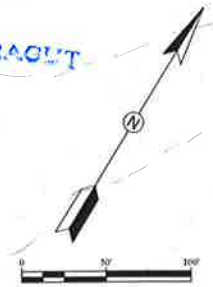
REVISIONS		
Symbol	No.	Description
	1	REVISED SHEET SEQUENCE NUMBERS

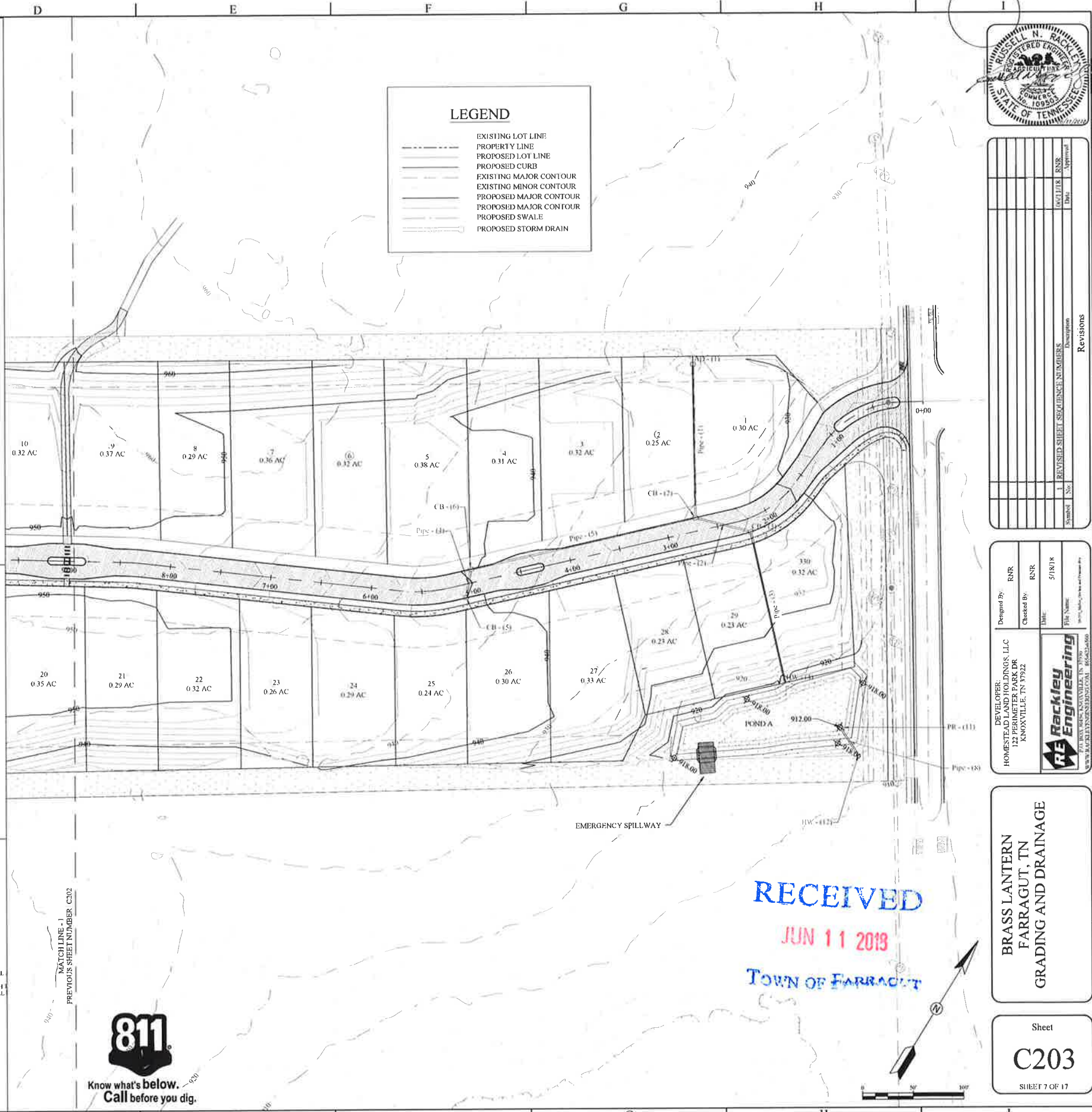
DESIGNED BY: RNR
CHECKED BY: RNR
DATE: 5/18/14
FILE NAME: 100%_Grading_and_Drainage
DEVELOPER: HOMESTEAD LAND HOLDINGS, LLC
122 PERIMETER PARK DR
KNOXVILLE, TN 37922
RE Rackley Engineering
www.rackleyengineering.com

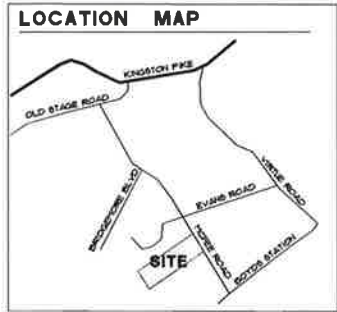
BRASS LANTERN
FARRAGUT, TN
GRADING AND DRAINAGE



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TOWN OF FARRAGUT







SITE DATA

OWNER / DEVELOPER:
HOMESTEAD LAND HOLDINGS, LLC
122 PERIMETER PARK DRIVE
KNOXVILLE, TN 37922
CONTACT: BOB MOHNEY 865-392-5630
ZONE: OSR-RI (FARRAGUT)
CLT MAP NO. 162 PARCEL 12
TOTAL AREA: 202.61 ACRES

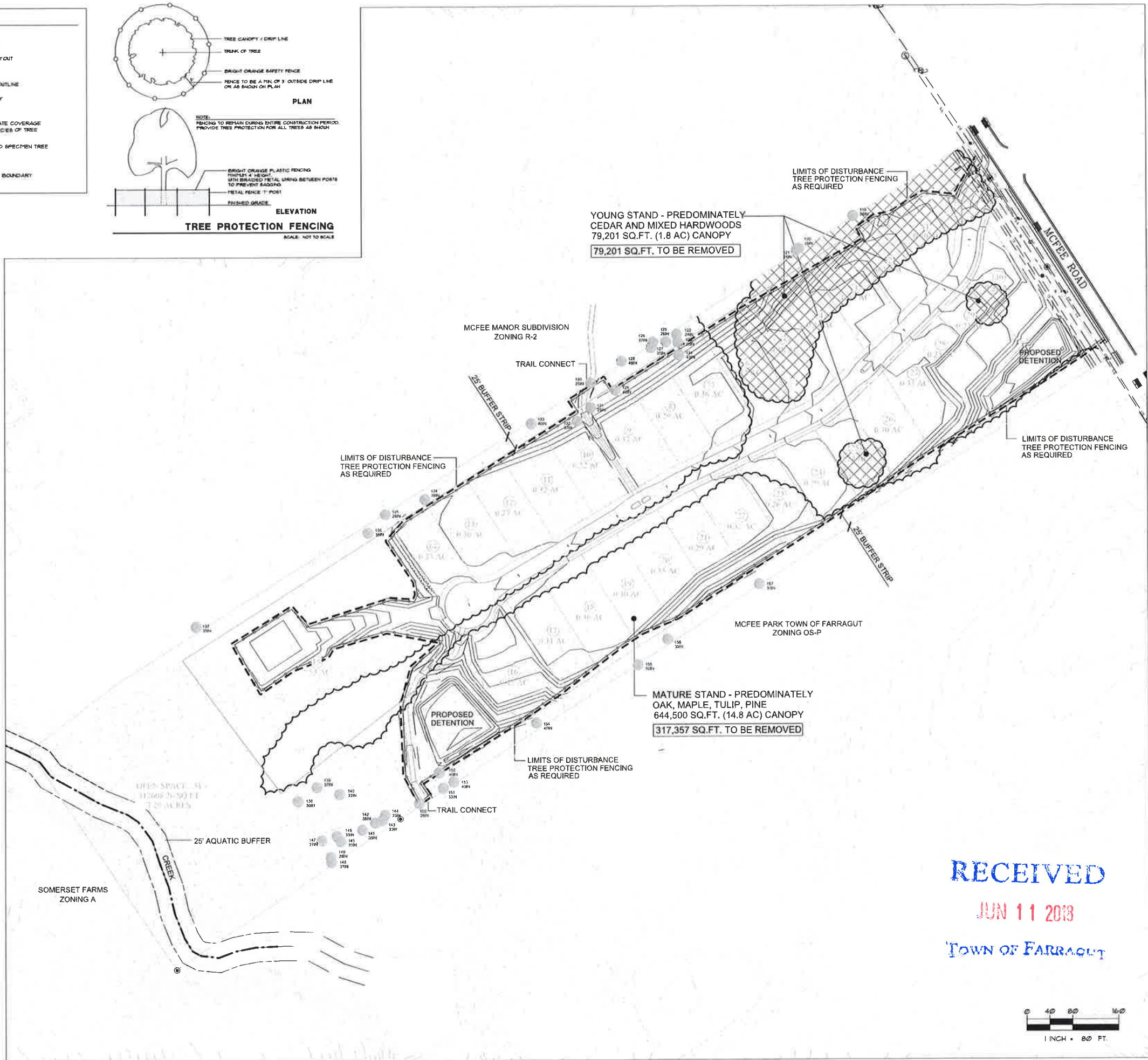
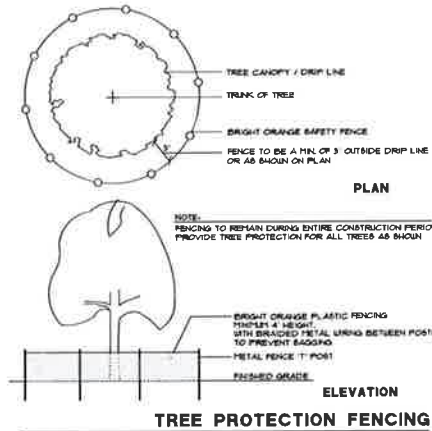
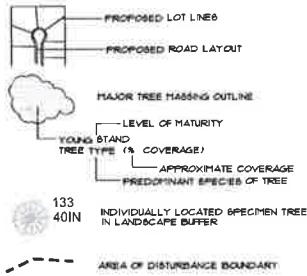
NOTES

1. OVERALL SITE ACREAGE: 202.61 ACRES.
APPROXIMATE TREE CANOPY COVERAGE 18,651,101 SQ.FT. (14.36 AC)
2. TREE MASSING INFORMATION IS FROM AERIAL PHOTOGRAPHY COMBINED WITH FIELD ANALYSIS BY A CERTIFIED ARBORIST.
3. THE APPROXIMATE CANOPY OF TREE COVERED AREAS ARE SHOWN ON THE PLAN AS DEFINED IN THE FARRAGUT TREE PROTECTION ORDINANCE.
4. THERE IS AN ENVIRONMENTALLY SENSITIVE AREA ALONG THE SOUTHWEST PROPERTY LINE, HOWEVER THE AREA IS WELL BEYOND THE LIMITS OF DISTURBANCE.
5. TEMPORARY CONSTRUCTION ACTIVITIES, SUCH AS EQUIPMENT STORAGE, WORKER PARKING SHALL BE CONFINED COMPLETELY WITHIN THE AREA OF DISTURBANCE.
6. 25' BUFFER STRIPS ARE SHOWN. EXISTING VEGETATION TO BE PRESERVED.
7. THE PROPOSED LIMITS OF DISTURBANCE WHICH ADJACENT ANY WOODED AREAS, ENVIRONMENTALLY SENSITIVE AND ADDITIONAL AREAS IDENTIFIED BY TOWN STAFF, SHALL BE STAKED AND BARRICADED WITH TREE PROTECTION FENCING, UNLESS AN EQUIVALENT MATERIAL IS APPROVED BY THE TOWN STAFF. THESE MEASURES SHALL BE COMPLETED PRIOR TO ISSUANCE OF A GRADING PERMIT. TREE FENCING SHALL BE INSTALLED BEHIND 61T FENCING.
8. PRIOR TO THE ISSUANCE OF A GRADING PERMIT, THE TOWN STAFF AND THE PROFESSIONAL RESPONSIBLE FOR PREPARING THE TREE PRESERVATION/REMOVAL PLAN ASSOCIATED WITH THIS PROJECT SHALL FIELD CHECK AND APPROVE THE PLACEMENT OF TREE PROTECTION FENCING, AS PROVIDED FOR ON THE APPROVED PLANS.
9. DETENTION BASINS ARE REQUIRED FOR THIS DEVELOPMENT AS SHOWN.

TREE REPLACEMENT SCHEDULE

AREA OF PREDOMINATELY YOUNG STAND OF TREES	RATE	NUMBER OF NEW REPLACEMENT TREES REQUIRED
79,201 SQ. FT.	1 TREE / 7500 SQ. FT.	11
AREA OF PREDOMINATELY MATURE STAND OF TREES	RATE	NUMBER OF NEW REPLACEMENT TREES REQUIRED
317,357 SQ. FT.	1 TREE / 2500 SQ. FT.	126
		TOTAL 137

LEGEND



Tree Preservation / Removal Plan

BRASS LANTERN SUBDIVISION
Farragut, Tennessee



MICHAEL VERSEN & ASSOCIATES
LANDSCAPE ARCHITECTURE, LAND PLANNING
299 N. LEEGARDNER RD. SUITE 201 KNOXVILLE, TN 37919
(865) 588-1331

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JUN 11 2018

TOWN OF FARRAGUT

JOB NO. 218022
DRAWN: MAY/RJM
DATE: JUNE 8, 2018
REVISIONS: NONE



SCALE 1" = 80'

T-1
SHEET 14 OF 17

PLANTING SPECIFICATIONS

SCOPE OF WORK
PROVIDE ALL LABOR AND EQUIPMENT NECESSARY FOR A COMPLETE AND QUALITY LANDSCAPE AS PER PLANS AND SPECIFICATIONS.

REFERENCES AND STANDARDS
PERFORM ALL WORK IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES AND ORDINANCES.

PROVIDE LICENSES AND NECESSARY PERMITS PRIOR TO BEGINNING WORK.
CARRY GENERAL LIABILITY AND WORKMAN'S COMPENSATIONS INSURANCE IN AMOUNTS REQUIRED BY THE STATE.

QUALITY OF ALL MATERIALS SHALL MEET OR EXCEED THE STANDARDS OF THE "AMERICAN STANDARD FOR NURSERY STOCK" LATEST EDITION, AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERMEN.

PROJECT CONDITIONS
REVIEW AND BECOME FAMILIAR WITH SITE CONDITIONS AND CONSTRUCTION DOCUMENTS. PROTECT ALL UTILITIES AND EXISTING FACILITIES. FIELD VERIFY ROW / PROPERTY LINE WITH OWNER.
IF CONDITIONS DETRIMENTAL TO PLANT GROWTH AND INSTALLATION ARE ENCOUNTERED, (I.E. ADVERSE DRAINAGE CONDITIONS AND OBSTRUCTIONS) CONTACT THE LANDSCAPE ARCHITECT FOR INSTRUCTIONS.

LAYOUT
LAYOUT AND STAKE ALL SITE WORK AND PLANTINGS.
CONTACT LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO START OF WORK.
ALLOW THREE DAYS AFTER NOTIFICATION OF STAKING FOR APPROVAL.

THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO ADJUST PLANTINGS, LOCATIONS, ETC. TO ACCOMMODATE LOCAL CONDITIONS. SUCH ADJUSTMENTS, IF MADE, WILL BE DEEMED CLARIFICATIONS AND NOT CHANGE ORDERS.

EROSION CONTROL AND SITE CLEANUP
PROVIDE EROSION CONTROL AS NECESSARY. MAINTAIN SITE CLEANUP THROUGHOUT WORK AND PROVIDE A FINAL JOB CLEANUP.

TREES, SHRUBS AND GROUNDCOVERS
PLANT MATERIAL
NURSERY GROWN, SOUND, HEALTHY AND VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF AND HAVE HEALTHY, WELL DEVELOPED ROOT SYSTEM.
GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN LOCALITY OF PROJECT (PREFERABLY WITHIN A 300-MILE RADIUS OF THE PROJECT SITE).
PLANTS MUST BE EQUAL OR EXCEED THE MEASUREMENTS DENOTED IN THE PLANT LIST, WHICH ARE MINIMUM ACCEPTABLE SIZES.
PLANTS ONLY AS DIRECTED BY LANDSCAPE ARCHITECT. IN NO CASE SHOULD THE PLANTS BE PRUNED BACK TO AN EXTENT THAT THEY NO LONGER MEET THE SPECIFICATIONS.

SUBMITTALS
PROVIDE VERIFICATION OF PLANT INSPECTION CERTIFICATES, GENUS, SPECIES AND VARIETY, PROPOSED SCHEDULE OF WORK, SOIL TEST RESULTS, PROPOSED RATES OF APPLICATION OF FERTILIZERS AND SOIL CONDITIONS PRIOR TO INSTALLATION.

PLANT INSPECTION
THE LANDSCAPE ARCHITECT MAY INSPECT PLANT MATERIALS EITHER AT THE PLACE OF GROWTH OR AT THE SITE BEFORE PLANTING. DEFECTIVE OR UNSATISFACTORY MATERIAL MAY BE REJECTED AT ANY TIME DURING PROGRESS OF WORK.

SOIL AMENDMENTS
FERTILIZER, COMMERCIAL GRADE, 10-6-4 FORMULA CONFORMING TO U.S. DEPARTMENT OF AGRICULTURAL STANDARDS DELIVERED IN ORIGINAL UNOPENED CONTAINERS BEARING MANUFACTURER'S GUARANTEED ANALYSIS AND MIXTURE.

TOPSOIL
1. FERTILE, FRIABLE, NATURAL LOAM, TYPICAL FOR LOCALITY.
2. AGRICULTURAL SOIL, CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH.
3. TAKEN FROM WELL-DRAINED SITE.
4. FREE OF SUBSOIL, CLAY LUMPS OR STONES LARGER THAN ONE INCH IN DIAMETER, PLANTS, WEEDS, AND ROOTS.
5. HAVING PH VALUE OF 5.4 MINIMUM AND 7.0 MAXIMUM.
6. CONTAINING 3 PERCENT MINIMUM ORGANIC MATTER.
7. TEST TOPSOIL TO INSURE PROPER PERCENTAGE OF NITROGEN, PHOSPHORUS, AND POTASH, ORGANIC MATTER AND PH VALUE.

MULCHES
MULCHES SHALL BE FREE FROM MATURED WEEDS, NOXIOUS WEEDS, EGG CASES, HARMFUL INSECTS, OR ANY SPECIES OR CHEMICAL DETRIMENTAL TO THE DEVELOPMENT OF PLANTS AND HERBARS. CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR CONTROL OF NOXIOUS WEEDS INTRODUCED ON THE SITE IN THE FALCH FOR PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION OF THE WORK. MULCHES SHALL EXHIBIT UNIFORM TEXTURE COLOR AND PARTICLE SIZE. SECURE LANDSCAPE ARCHITECT'S APPROVAL FOR SPECIFIC MULCH TYPE.

PROTECTION
PROTECT WORK FROM EROSION, FLOODING, WINDS AND RAIN. REPAIR OR REPLACE ANY DAMAGED AREAS.

PLANTING SOIL MIX
5 PARTS TOPSOIL (LOAM) AND 2 PARTS SAND (USE WITH CLAY LOAMS OR SILTY LOAMS).
NOTE: PLANTING SOIL MIX MAY BE SUBSTITUTED WITH APPROVED TOPSOIL.
FERTILIZE AS PER MANUFACTURER'S SPECIFICATIONS.

PREPARED PLANTING BED AREAS (ANNUALS & GROUNDCOVERS)
1. TILL SOIL TO A DEPTH OF 12 INCHES.
2. ADD MINIMUM OF 4 INCHES TOPSOIL AND 1 INCHES PEAT.
3. EVENLY TILL TO DEPTH OF 6 INCHES.
4. RAKE TO LEVEL, GRADE THEN ADD 2 INCHES FINE BARK MULCH PRIOR TO PLANTING.

PLANTING
REMOVE BURLAP AND TIES FROM TOP AND PARTIAL SIDES OF ALL PLANT BALLS.
PLANT ALL TREES, SHRUBS AND GROUND COVERS AS PER PLANTING DETAILS.
ROOTS OF GROUNDCOVERS TO BE PLANTED IN SOIL NOT MULCH TOP DRESSING.

MAINTENANCE
MAINTAIN PLANTINGS (WATERING, WEEDING, FERTILIZING, CULTIVATION, DISEASE AND INSECT CONTROL, STAKING, ETC.) UNTIL FINAL INSPECTION AND ACCEPTANCE.

SUBMIT WRITTEN MAINTENANCE INSTRUCTIONS TO LANDSCAPE ARCHITECT.

INSPECTION AND ACCEPTANCE
UPON COMPLETION OF PLANTING, REQUEST AN INSPECTION FOR PROJECT ACCEPTANCE. ONLY PLANTINGS SHOWING SIGNS OF HEALTHY GROWTH AND SATISFACTORY CONDITION OF FOLIAGE WILL BE ACCEPTED. MAINTAIN THE PROJECT UNTIL ALL INSPECTION FINDINGS BY ITEMS (EXCLUSIVE OF SEASON REPLACEMENT PLANTINGS) HAVE BEEN CORRECTED TO THE SATISFACTORY OF THE LANDSCAPE ARCHITECT.

GUARANTEE AND REPLACEMENT
GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR AFTER DATE OF PROJECT ACCEPTANCE. GUARANTEE AGAINST DEFECTS, INCLUDING DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM NEGLECT BY OWNER, ABUSE OR DAMAGE BY OTHERS, OR UNUSUAL PHENOMENA OR INCIDENTS WHICH ARE BEYOND CONTRACTOR'S CONTROL. IMMEDIATELY REMOVE AND REPLACE TREES, SHRUBS, OR OTHER PLANTS FOUND TO BE UNSATISFACTORY DURING GUARANTEE PERIOD.

SOIL
CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY EXISTING SOIL CONDITION FOR DRAINAGE AND NUTRIENT CONTENT. REPORT ANY PROBLEMS TO LANDSCAPE ARCHITECT PRIOR TO BEGINNING PLANT INSTALLATION.
UNLESS SPECIFIED IN PLANTING SCHEDULE ALL PLANTING AREAS TO HAVE 12 INCHES OF TOPSOIL AND ALL LAWN AREAS TO HAVE 4 INCHES OF TOP SOIL, SUPPLIED AND INSTALLED BY GENERAL CONTRACTOR.

LAWNS AND GRASSES
QUALITY ASSURANCE
PROVIDE FRESH, CLEAN, NEW-CROP SEED COMPLYING WITH TOLERANCE FOR PURITY AND GERMINATION ESTABLISHED BY ORIGINAL REED ANALYSIS OF NORTH AMERICA. SUBMIT SEED VENDOR'S CERTIFIED STATEMENT FOR EACH GRASS SEED MIXTURE.

PROJECT CONDITIONS
PROCEED WITH AND COMPLETE LAWNS AND GRASSES AS RAPIDLY AS PORTIONS OF SITE BECOME AVAILABLE, WORKING WITHIN SEASONAL LIMITATIONS.

FERTILIZER AND LIME
FERTILIZER WITH COMMERCIAL FERTILIZER. PERCENTAGE TO BE DETERMINED WITH ANALYSIS AND SEASON OF INSTALLATION.
LIME TO BE NATURAL DOLICHITE LIMESTONE CONTAINING NOT LESS THAN 88% CARBONATES. MINIMUM OF 30 % MAGNESIUM CARBONATES.

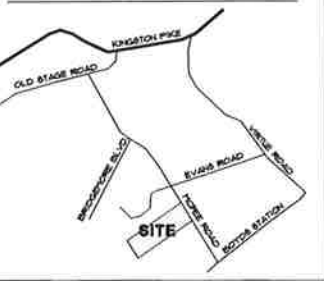
SEED
SEED MIXTURE AND RATE OF APPLICATION SHALL BE AS SPECIFIED IN MATERIAL LIST.

SEED SOIL PREPARATION
1. TILL TO A DEPTH OF NOT LESS THAN 6 INCHES.
2. ELIMINATE UNEVEN AREAS AND LOW SPOTS. MAKE CHANGES IN GRADE GRADUAL.
3. TILL SOIL TO A HOMOGENEOUS MIXTURE OF FINE TEXTURE, FREE OF CLODS.
4. REMOVE STONES LARGER THAN ONE INCH AND OTHER EXTRANEEOUS MATERIAL.
5. APPLY TOPSOIL LAYER IF SPECIFIED.
6. APPLY LIME AT RATE REQUIRED TO ACHIEVE PH RANGE BETWEEN 6.0 AND 6.5.
7. APPLY FERTILIZER AT RATE REQUIRED BY ANALYSIS.
8. MIX THOROUGHLY IN UPPER TWO INCHES OF TOPSOIL.

SEEDING AND MULCHING
APPLY SEED AT RATE SPECIFIED OR AS NECESSARY TO INSURE A UNIFORM AND FULL STAND OF GRASS, EVENLY, BY ROWING EQUAL QUANTITY IN 2 DIRECTIONS AT RIGHT ANGLES TO EACH OTHER.
SEEDS NEED LIGHT OR SOIL TO BE SEEDING AREAS WITH ROLLER NOT EXCEEDING 10 LBS.
IMMEDIATELY FOLLOWING ROLLING, APPLY MULCH SPREAD UNIFORMLY TO FORM A CONTINUOUS BLANKET NOT LESS THAN 1-1/2 INCH LOOSE MEASURE. MAINTAIN CLEAR OF TREES AND SHRUBS.
ON SEEDED SLOPES WHERE GRADE IS 5:1 OR GREATER, COVER WITH EROSION FABRIC.

LAWN MAINTENANCE
MAINTAIN LAWNS UNTIL GRASS IS WELL ESTABLISHED AND EXHIBITS A VIGOROUS GROWING CONDITION.
IF SEEDING IN FALL AND IF NOT CONSIDERED ACCEPTABLE AT THAT TIME, CONTINUE MAINTENANCE THE FOLLOWING SPRING UNTIL ACCEPTABLE LAWN IS ESTABLISHED.
MAINTAIN LAWNS BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING, AND OTHER OPERATIONS SUCH AS ROLLING, RE-GRAVING, AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE, LAWN, FREE OF ERODED OR BARE AREAS.

LOCATION MAP



SITE DATA

OWNER / DEVELOPER: HOMETEAD LAND HOLDINGS, LLC
122 PERIMETER PARK DRIVE
KNOXVILLE, TN 37922
CONTACT: BOB MOHNEY 865-392-5630

ZONE: OBR-RI (FARRAGUT)
CLT MAP NO: 162 PARCEL 12
TOTAL AREA: 20261 ACRES
CONTACT: BOB MOHNEY 865-392-5630

STREETSCAPE REQUIREMENT

VISUAL ENHANCEMENT TO INCLUDE BOULEVARD ENTRY, TRAFFIC CALMING NODES AND EXTENSIVE LANDSCAPING ALONG THE ENTIRE FRONTAGE OF MCFEE ROAD PROPOSED TO FULFILL THE TOWN OF FARRAGUT ORDINANCE.

LANDSCAPE REQUIREMENTS

ITEM	REQUIRED	PROPOSED
DETENTION POND A - 482 L.F. RIM	24 TREES	24 TREES
DETENTION POND B - 426 L.F. RIM	21 TREES	21 TREES
TREE REPLACEMENT	131 TREES	46 TREES SEE NOTE #

LANDSCAPE NOTES

- SEED AS SHOWN ALL AREAS DISTURBED BY GRADING (TYP.) W/ TALL FESCUE BLEND 80% GRASS SEED UNIFORMLY IN TWO DIRECTIONS & PROTECT W/ STRAW TO A LOOSE DEPTH OF 1-1/2 MINIMUM. SLOPES GREATER THAN 3:1 TO HAVE BIO-DEGRADABLE MATTING.
- PROPOSED PLANT MATERIALS WILL NOT INTERFERE WITH ANY EXISTING AND/OR PLANNED UNDERGROUND OR OVERHEAD UTILITIES. PRIOR TO LANDSCAPE INSTALLATION, CONTRACTOR FIELD VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES.
- SELECTION AND PLACEMENT OF PLANT MATERIALS WILL NOT CREATE VISIBILITY PROBLEMS FOR INGRESS / EGRESS OF SITE. COORDINATE PLACEMENT W/ TOWN STAFF.
- PLAN REFLECTS AND IS CONSISTENT WITH THE REMAINING PLAN SHEETS ASSOCIATED WITH THIS PROJECT.
- PLANT MATERIAL, MULCH AND OTHER RELATED PRODUCTS MUST BE PRE-TREATED FOR FIRE ANTS.
- EXCESS REQUIRED REPLACEMENT TREES WILL BE PLANTED IN OPEN SPACE AREAS OF THE DEVELOPMENT. AREAS SHOWN ON OVERALL PLAN ARE DIAGRAMMATIC. ACTUAL PLACEMENT WILL BE LOCATED IN FIELD BY OWNER/LANDSCAPE ARCHITECT. TYPES OF TREES TO INCLUDE OAK, MAPLE, HOLLY, RED BUD AND SERVICEBERRY.

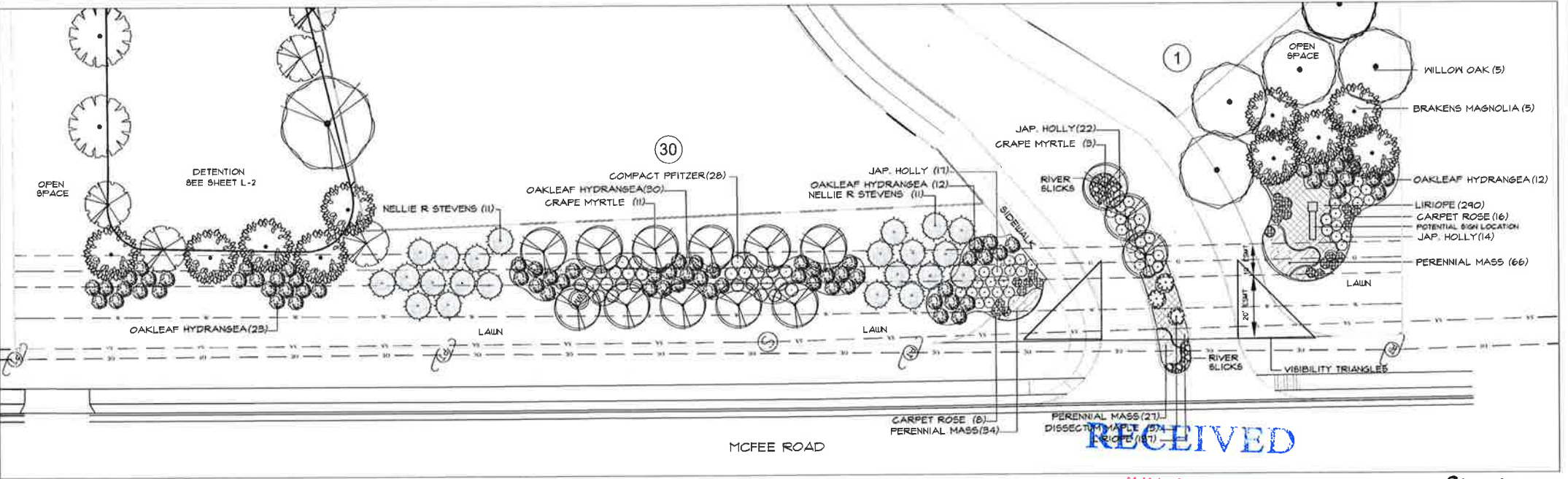
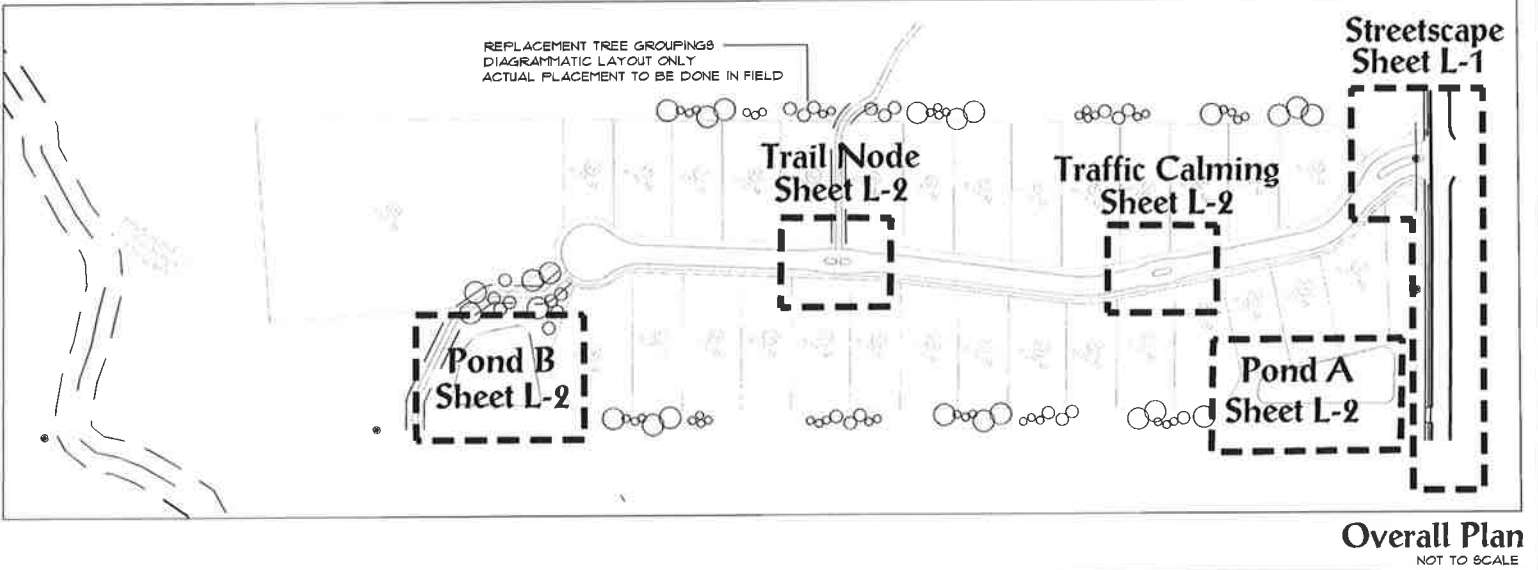
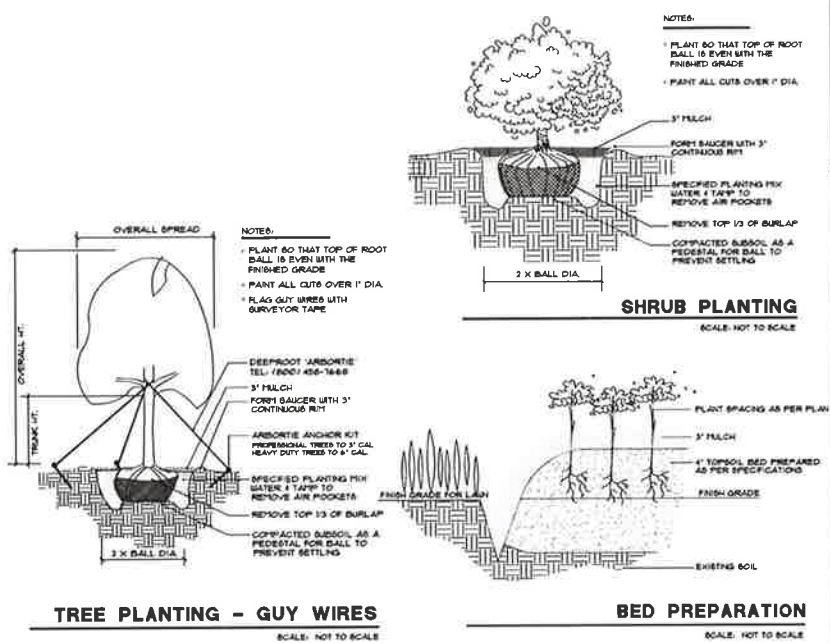
PLANT SCHEDULE - DETENTION BASIN

DECIDUOUS TREES	COMMON NAME / BOTANICAL NAME	SIZE	GAL
14	BALD CYPRRESS / Taxodium distichum	8-10'H	2' Gal
5	SYCAMORE / Platanus occidentalis	10-12'H	2' Gal
EVERGREEN TREES	COMMON NAME / BOTANICAL NAME	SIZE	GAL
5	BRACKENS MAGNOLIA / Magnolia grandiflora 'Brackens'	8'H	2' Gal
FLOWERING TREES	COMMON NAME / BOTANICAL NAME	SIZE	GAL
15	RED BUD / Cercis canadensis	8'H	2' Gal
ADDITIONAL ITEMS	MATERIAL		DESCRIPTION
10	HARDWOOD MULCH trees	cu. yd.	(allowance)
5	TOP SOIL (plant pH backfill)	cu. yd.	(allowance)

QUANTITIES ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY. CONTRACTORS SHALL BE RESPONSIBLE FOR ALL PLANTINGS ILLUSTRATED ON PLAN.

PLANT SCHEDULE - STREETSCAPE AND STREET NODES

DECIDUOUS TREES	COMMON NAME / BOTANICAL NAME	SIZE	GAL
5	WILLOW OAK / Quercus phellos	10-12'H	2' Gal
EVERGREEN TREES	COMMON NAME / BOTANICAL NAME	SIZE	GAL
5	BRACKENS MAGNOLIA / Magnolia grandiflora 'Brackens'	8'H	2' Gal
22	NELLIE R STEVENS / Ilex var. 'Nellie R Stevens'	6-7'	
FLOWERING TREES	COMMON NAME / BOTANICAL NAME	SIZE	GAL
14	GRAPE MYRTLE / Lagerstroemia indica 'Muskogee'	8-10'H	2' Gal. Min.
DECIDUOUS SHRUBS	COMMON NAME / BOTANICAL NAME	SIZE	CONT.
24	CARPET ROSE / Rosa x 'Flower Carpet Pink'	10-12"H	3 gal
3	DISSECTUM MAPLE / Acer palmatum 'Dissectum' Red	36"HX36"W	B4B
71	OAKLEAF HYDRANGEA / Hydrangea quercifolia	24-30"H	B4B
EVERGREEN SHRUBS	COMMON NAME / BOTANICAL NAME	SIZE	CONT.
34	COMPACT PFITZER / Juniperus chinensis 'Pfitzerlana Compacta'	18-24"H	3 gal
53	JAP. HOLLY / Ilex crenata 'Hoogendoorn'	15-18" H	3 gal
GROUND COVERS	COMMON NAME / BOTANICAL NAME	CONT.	SPACING
484	LIRIOPE / Liriope muscari 'Big Blue'	4' pot	12" O.C.
127	PERENNIAL MASS / FLORAL Daylily, Moonbeam Coreopsis, Autumn Joy Sedum (MIX)	1 gal	18" O.C.
ADDITIONAL ITEMS	MATERIAL		DESCRIPTION
40	HARDWOOD MULCH trees, shrubs and groundcover	cu. yd.	(allowance)
by general contractor	TOP SOIL (12 inches in planting beds, 4 inches in lawn area)	cu. yd.	(allowance)
as per plan	SEED tall fescue blend	sq. ft.	
200	ROCK MULCH 4-6 inch river slick stones with pea gravel infill	sq. ft.	(allowance)



RECEIVED

JUN 11 2018



Streetscape SCALE 1" = 20'



MICHAEL VERSEN & ASSOCIATES
LANDSCAPE ARCHITECTURE, LAND PLANNING
295 N. WILKESBARR RD., SUITE 201 KNOXVILLE, TN 37915
(865) 599-1331

Overall Plan, Streetscape, Notes & Details

BRASS LANTERN SUBDIVISION
Farragut, Tennessee

JOB NO: 218022
DRAWN: MAV/RLM
DATE: JUNE 8, 2018
REVISIONS: NONE



SCALE AS SHOWN
L-1
SHEET 15 OF 17



MICHAEL VERSEN & ASSOCIATES
LANDSCAPE ARCHITECTURE LAND PLANNING
299 N. WEISGARBER RD., SUITE 201 KNOXVILLE, TN 37919
(865) 588-1331

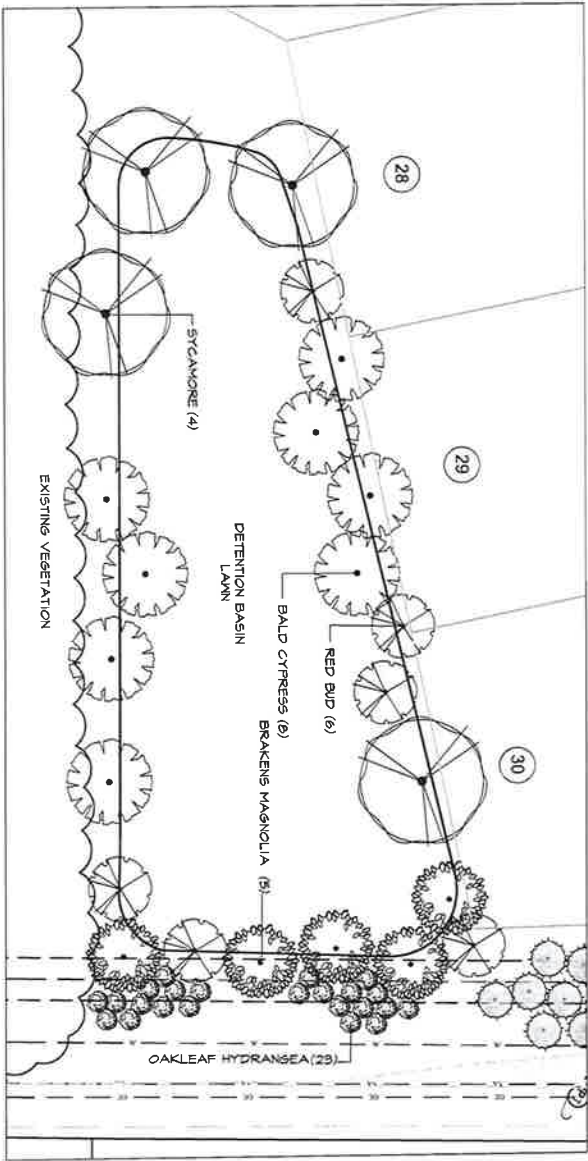
Detention Basin & Traffic Node Planting Plan

BRASS LANTERN SUBDIVISION
Farragut, Tennessee

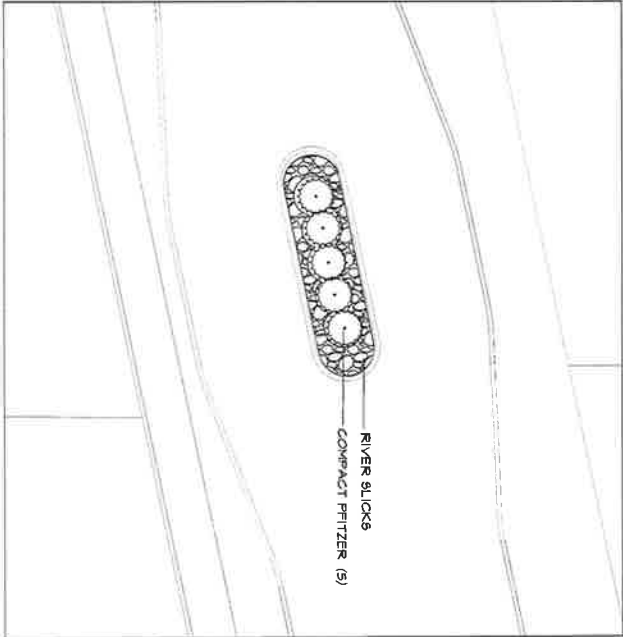
DWG NO.	218022
DATE	MAY/2017
DATE	JUNE 8, 2018
REVISIONS	NONE

SCALE AS SHOWN

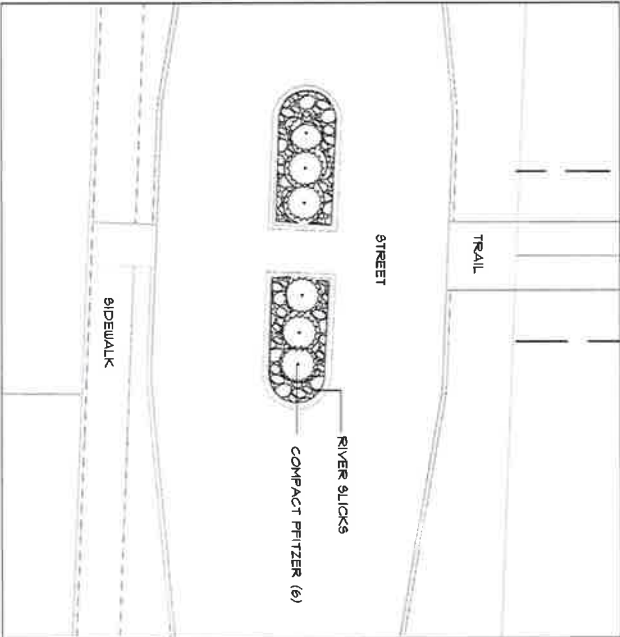
L-2
SHEET 16 OF 17



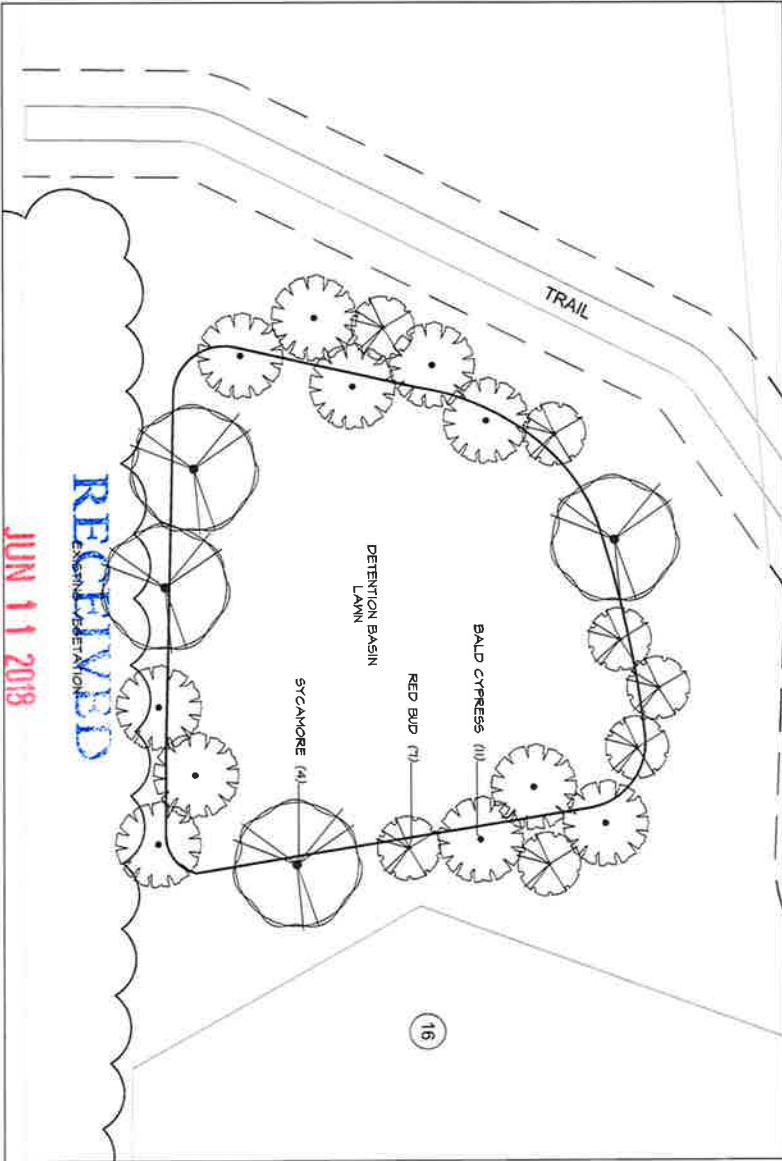
Pond A
SCALE 1" = 20'



Traffic Calming
SCALE 1" = 10'



Trail Node
SCALE 1" = 10'



Pond B
SCALE 1" = 20'

RECEIVED
JUN 11 2018
TOWN OF FARRAGUT

1" = 20' FT.

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on a preliminary plat for Phase I of the Brookmere Subdivision off Virtue Road, Parcels 22 and 44, Tax Maps 152 and 152F, 63.15 Acres, 90 Lots, Zoned R-1/OSR (pending) (Lose and Associates, Inc.)

INTRODUCTION AND BACKGROUND: This item involves the development of the Harville property off Virtue Road. The property was conditionally rezoned to R-1/OSR and a concept plan was conditionally approved at the March 15, 2018 Planning Commission meeting.

DISCUSSION: The applicant has submitted revisions to the concept plan to address the comments related to the Planning Commission's approval. The applicant is now requesting approval for Phase I of the preliminary plat. This phase will include 90 house lots and many of the streetscaping elements proposed for the development. This phase will involve 63 of the 87 acres contained in the parent tract.

The applicant is requesting a variance from the Subdivision Regulations that would allow them to lower the street design speeds in selected portions of the development. This would aid in traffic calming and lessen grading in certain locations. This variance will need to be acted on separately prior to voting on the preliminary plat.

RECOMMENDATION: Included in your packet is a copy of the revised preliminary plat along with a letter where the applicant addresses the initial staff comments. Staff will make a recommendation at the meeting based on whether the initial comments have been satisfactorily addressed.

June 11, 2018



Member

American Society of
Landscape Architects

American Institute of
Architects

American Society of
Civil Engineers

American Planning
Association

Mark Shipley
Community Development Director
11408 Municipal Center Dr.
Farragut, TN 37934

Re: Staff Comments on the Preliminary Plat for the Brookmere Subdivision Phase 1, Parcel
044, Tax Map 152, 430 Virtue Road

Dear Mr. Shipley,

Thank you for your comments regarding the Brookmere Subdivision Preliminary Plat
submittal. Enclosed are four (4) full size (24x36) and one (1) 11"x17" of the revised
Preliminary Plat addressing the agreed upon comments of the Planning and Engineering
Departments. Additionally, each comment agreed upon is addressed below in **bold**.

Fire Division Comments:

- 1) Please provide a note on water sheet reflecting that all fire hydrants shall
provide a minimum of 1000gpm at 20 psi;
This note has been added on sheet 47 of 61 as directed.
- 2) Please provide theoretical flow data calculations to prove the minimum
required hydrant flow of 1000 gpm at 20 psi is achievable;
**Flow data and calculations proving a hydrant flow of 1000 gpm at 20 psi
have been included in this submittal.**

Planning Division Comments:

- 3) The bridge crossing and related work must comply with all Town and FEMA
flood damage prevention regulations, including any CLOMR/LOMR
applications. The proposed CLOMR/LOMR will affect flood elevations and
regulatory floodplain boundaries. Please include both existing and proposed
boundaries and cross section elevations (Floodway, 100 yr., & 500 yr.) to
assure NFIP compliance now and in the future. Please also note that a
CLOMR application, if approved, could take some time and impact the
development plan or schedule;
Acknowledged.
- 4) The rezoning was conditioned on the execution of a cost share agreement for
improvements to Virtue Road. This must be completed as a condition of
approval of the preliminary plat;
Acknowledged.
- 5) Any pending issues from, or conditions applied to, the concept plan will need
to be resolved or satisfied;
**All pending issues from the concept plan have been addressed and
resolved in this submittal.**



- 6) Please include a scale (written and graphic) on Sheet 3;
A scale (written and graphic) has been included on Sheet 3.
- 7) Note 1 on the preliminary plat indicates iron pins set at all corners. Please clarify for preliminary plat;
Sheet 4 of 61 has been updated.
- 8) Please include as a numbered note on the plans the action taken by the Planning Commission on the variances that were requested as part of the concept plan approval;
The numbered note is shown on sheet 1 of 61.
- 9) Please clarify note 4 on preliminary plat. Identify the R-2 zoned area/parcel;
Note 4 on preliminary plat (sheet 3 of 61) has been updated to reflect the correct zoning.
- 10) Please title Sheet 3 as Brookmere Phase I and break down the acreage for Phase I on this and all applicable sheets;
Sheet title has been updated and the Phase I acreage has been broken down on sheet 3 of 61.
- 11) Please include the required walking trail along the west side of Little Turkey Creek and the bridge crossing and termination to the south at the Town of Farragut property. Please ensure that the tie in location can logically be extended by the Town in the future;
Walking trail is shown on sheet 7 of 61. The walking trail bridge is shown on sheet 11 of 61.
- 12) Please ensure that the trail and bridge complies with all applicable Town and FEMA flood damage prevention regulations;
Acknowledged. The item will be addressed in the Flood Study.
- 13) The required OSR open-space areas for the entire development extend beyond Phase I. All open-space areas required for Phase I compliance should be platted with the phase. Please include as a numbered lot(s) the open space proposed for Phase I and include the open space calculations for Phase I (if you are not platting all of the open space at this time);
It was stated in the Staff/Developer meeting that we would plat the open space for the entire site, it became problematic with the plan set. We are platting 35% of the phase 1 development area. The plat has been revised.
- 14) Please spell out proposed street names;
LOSE – SPELL OUT ROAD NAMES ON C1.00
Comment addressed at Staff/Developer meeting on 06/05/2018. No changes made.
- 15) A specific streetscaping sheet is now also required as part of a preliminary plat submittal. Please provide;
A specific streetscaping sheet is provided on sheet 48 of 61.
- 16) Please show how the walking trail will be tied into the trail that the Town will be constructing to the north as part of the Phase I Virtue Road improvement project;
The walking trail is shown on sheet 7 of 61 and sheet 11 of 61.
- 17) The LOD cannot encroach into tree covered open space and/or within the 25 foot buffer strip. Please amend the plan accordingly;



See response to comment 16.

- 18) Please show the limit of disturbance as being outside the drip line of trees with the 25 foot buffer that is part of the required open space. There is no reason to encroach into these drip lines;

This item was discussed at the Staff/Developer meeting and a note has been added instructing the contractor to schedule a meeting on site with the Town of Farragut to determine tree save areas. See sheet Tree Preservation Plan.

- 19) If silt fencing is proposed to identify tree protection areas such fencing, at a minimum, must be wire backed with metal t-posts, orange to enhanced visibility, and one foot taller than conventional silt fencing. Please label where this is proposed on the plans and include a detail;

LOSE

Detail has been updated on sheet 28 of 61 and plan callouts reference the new detail.

- 20) Tree protection fencing must be installed along the drip line of any tree covered areas that are within open space that are part of Phase I;

Tree protection fencing has been shown on sheets 55-57 of 61. A note that the site will be walked to field verify has been added to sheet 52 of 61.

- 21) On the boundary survey, please clarify which property is owned by the Rosine's. Is this the owner of Lot 23 in Kingsgate? If so, the tax map information appears to be incorrect;

Sheet 4 of 61 has been updated.

- 22) The landscape plan will need to be reviewed by the VRRB under separate application;

Comment has been acknowledged.

- 23) Phase I does not include the proposed second point of access (whether it be full or emergency only pending P.C. determination). The emergency vehicle access detail would not appear to be needed for this phase. When it becomes applicable it will need to be re-described so that it will become a public street in the future;

Comment has been acknowledged.

- 24) Though it could have been missed during review, staff could not find where the required replacement vs. credit trees was summarized;

This is summarized on sheets 58-61 of 61.

- 25) If street lighting is proposed please provide a lighting plan sheet with details, locations, lumens, etc;

Street lighting has been added to sheets 6-9 of 61. Lighting details are shown on sheet 37 of 61.

- 26) The turning radii should not exceed 25 feet;

Turning radii have been modified to not exceed 25 feet.

- 27) Please modify the "Future Development" notations on the preliminary plat to clearly note "Phase II Future Development";

This has been clearly noted on sheet 3 of 61.



- 28) You may wish to address how 5G service or small cell support structures may be provided in the subdivision in the near future. The infrastructure should be considered early in the development process;
Comment has been acknowledged.
- 29) Please provide a JPEG of this plan and of the as built once construction is complete;
Comment has been acknowledged.

Stormwater Division:

- 30) Please note the number of acres to be disturbed;
LOSE
Disturbed acres are shown in the site data on sheet 1 of 61.
- 31) Please adjust the construction buffer zones so that buffer averaging is calculated for each side of the stream. Per the TN Construction General Permit (CGP), "if the construction site encompasses both sides of a stream, buffer averaging can be applied to both sides, but must be applied independently.";
LOSE
The stream buffer has been modified to an average of 60' on each side individually and note has been added to sheet 14 of 61.
- 32) Per the CGP, please include a note describing the required lot-level EPSC measures when a lot is sold to a new owner prior to the completion of construction;
LOSE – LOOK UP SWPPP REQUIREMENTS FOR LOTS
The form has been referenced on sheet 14 of 61.
- 33) Per the CGP, please note that a quality assurance site assessment, conducted by a PE, LA, CPESC or Level II EPSC, shall be conducted within 30 days of the start of construction at each portion of the site that drains the qualifying acreage and continue until the BMPs are constructed per the SWPPP;
LOSE
Note has been added to sheet 14 of 61.
- 34) Please include a note regarding long-term maintenance of stormwater control measures. Note who is responsible and reference the TN Permanent Stormwater Management and Design Guidance Manual;
Note has been added to EPSC and Grading sheets.
- 35) Per CGP, please include a note regarding rain gauge and daily rainfall records to be kept on site;
LOSE
Note has been added to sheet 14 of 61.
- 36) Please check all sheets for references to the City of Lebanon and correct;
LOSE
All references to the City of Lebanon have been corrected.
- 37) Check LOD line around basin on Sheet 17 (C2.13);
LOD has been updated to include the basin.
- 38) Per CGP, sediment basin is NOT to be converted to a detention basin until soil disturbing activities are complete (and notice of termination is to be



submitted). This includes conversion/grading of the forebay. Stabilization of the sediment basin/detention area is excluded from the requirements to obtain a final plat;

Item has been discussed with Stormwater.

- 39) Per the Town of Farragut Aquatic Buffer Ordinance, please show the location of the permanent aquatic buffer;

Permanent Aquatic buffer shown on grading and EPSC sheets.

Engineering Division:

- 40) Drainage calculations should include detention of 1, 2, 5, 10, 25 and 100 year storms. Outfall pipes from detention basins are not fully described in plans (inverts, grades, type material). Calculations indicate concrete pipes, but why are two separate n-values used (.013 and .011)? All pipes should be Type III RCP;

LOSE

Drainage calculations have been updated to have accurate matching n-values and now include 1, 2, 5, 10, 25, and 100 year storms.

Plans have been updated to sufficiently describe the outfall pipes and design for the detention ponds.

- 41) Please check seep collar detail on sheet 28 vs. detail on sheet 26. Is the projection above the pipe sufficient to prevent seepage when pond is near full?

Design has been checked and the seep collar is sufficiently sized for when the pond is near full.

- 42) Please show Virtue Road and how entrance will tie;

Approximate Virtue Road edge of pavement at tie in is shown on sheet 7 of 61.

- 43) Please show greenway and bridge across frontage, tying to anticipated greenway on Virtue Road;

Walking trail is shown on sheet 7 of 61.

- 44) Farragut Subdivision Regulations require profiles to meet 35 mph design speed (AASHTO requires "k" values for crest and sag vertical curves to be minimum 29 and 49, respectively). However, many of the vertical curves shown do not meet these minimums. Typically, shorter sags are easier to justify than shorter crests, as sags minimums are for comfort while crests allow sight distance. Additionally, shorter curves approaching a stop condition at an intersection might be easier to justify. Regardless, all vertical curves not meeting these minimum "k" values will require variance, with justification;

See Variance Request Letter

- 45) Submitted checklist notes that "Roadway layout and design will not allow all sidewalks to meet all ADA accessibility standards...". Where does this apply?

This applies to all sidewalks running along roads that are steeper than 5%.

- 46) Where are gas, electric, telephone and cable?



We're waiting on utility layouts for each of these. They will be provided at a later date.

- 47) Please note depth of MH 1-10 (19 feet). This appears necessary in order to pick up Sewer Line 2 (sheet 42), but can Sewer Line 2 be revised so that those lots can be serviced in a more shallow manner?

Sewer line 2 has been removed and the future cul-de-sac lots will be served on a grinder pump.

- 48) Several locations show 2:1 grades slopes. Our maximum slope is 2.5:1, but only with special consideration to stabilization;

The majority of the slopes have been adjusted and a note has been added to the grading sheets.

- 49) Details for street name sign should show current MUTCD standards with regards to size, upper & lower case letters, reflectivity, etc. Please check minimum height of signs with regards to pedestrians;

Sign details on sheet 37 of 61 have been updated to accurately reference MUTCD standards.

- 50) Please consider channelization striping for westbound approach on Needlegrass Lane approaching the median islands. Are these islands to be landscaped?

Comment has been acknowledged. Island will be landscaped.

- 51) Note to FMPC: Traffic Impact Study indicated a need for northbound left turn lane on Virtue Road, which will be constructed as part of the Virtue Road Improvements project;

LOSE

Comment has been acknowledged.

- 52) Please submit NOC;

NOC will be provided after this resubmittal.

- 53) Please submit irrevocable letter of credit for erosion control for \$300,000; and

Fees will be submitted before final approval.

- 54) Please submit Drainage Fee of \$2700.

Fees will be submitted before final approval.

Thank you again for your assistance. Please call me if you have any questions.

Sincerely,

Matt Shearon, P.E.
Civil Engineer / Project Manager

June 11, 2018



Member

American Society of
Landscape Architects

American Institute of
Architects

American Society of
Civil Engineers

American Planning
Association

Farragut Municipal Planning Commission
C/O Mark Shipley, Community Development Director
11408 Municipal Center Drive
Farragut, TN 37934

Brookmere Phase I – Preliminary Plat

The Brookmere Concept Plan was approved on March 15, 2018. The Lose & Associates design team tried to provide an initial concept design which preserved sensitive environmental elements, provides ample open space and a grid street system to avoid traffic concentrations by spreading out vehicular movements. Serious consideration was provided to Pedestrian circulation to insure a complete streets concept through dedication of a wide Boulevard with a centered Greenway. Aesthetic components include preservation of the historic maple tree and dogwood allee which further defines the greenway system. Pedestrian connectivity is also highlighted between the Boulevard and the future community recreation site as well as the proposed Farragut public Greenway.

A significant design aspect incorporated in residential developments with a focus on pedestrian activity, especially when children are present, is to encourage low vehicular speeds. This goal is achieved through street design, horizontal and vertical curve dimensions and radii, crosswalks and traffic calming improvements, typically used collectively. These design components are limited due to non-acceptance of traffic calming within ROW to be accepted by the Town of Farragut. In an effort to promote limited design speeds, preserve existing grades and protect pedestrian pathways the following design variances are requested:

1. Lower the design speed at the intersections to 25mph. Sag K=26, Crest K=12.
2. Lower the design speed in the following locations to 25 mph.
 - a. From station 4+50 to 6+00 on Neddlegrass
 - b. The entirety of Kendall Hunt to 25mph with station 3+00 to 5+50 to 20mph.
 - c. The entirety of Justice Valley to 25.

Sincerely,

Kathryn G. Baldwin, AICP
Senior Planner & Office Manager
Lose & Associates

Matt Shearon, P.E.
Project Manager
Lose & Associates

CONSTRUCTION DOCUMENTS

BROOKMERE

PHASE 1

PREPARED FOR:
HOMESTEAD LAND HOLDINGS, LLC

CONCEPT SUBMITTAL VARIANCES

1. APPROVED VARIANCE TO ALLOW USE OF 10' GREENWAY WITHIN BOULEVARD. NO ACTION REQUIRED.

2. APPROVED VARIANCE TO ALLOW USE OF 10' GREENWAY ADJACENT TO TURKEY CREEK. NO ACTION REQUIRED.

3. APPROVED VARIANCE TO ALLOW BOULEVARD WITH 18' PAVEMENTIZED ROW. NO ACTION REQUIRED.

4. APPROVED VARIANCE TO ALLOW CUL-DE-SACS AT 22' PAVEMENTIZED ROW. NO ACTION REQUIRED.

5. APPROVED VARIANCE TO ALLOW ROAD OFFSETS DUE TO BOULEVARD LOCATION. NO ACTION REQUIRED.



9724 Kingston Pike, Suite 1404
Knoxville, Tennessee 37922
(865) 409-1424

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TENNESSEE

BROOKMERE
PHASE 1

HOMESTEAD LAND HOLDINGS, LLC

TOWN OF FARRAGUT

SUBMITTALS / REVISIONS		
NO.	DATE	DESCRIPTION
1	6/11/18	PRELIM PLAT RE-SUBMITTAL

SHEET TITLE	
C0.00 - COVER SHEET	
PROJECT NO.	DATE
17282-1	6/11/2018
DRAWN BY	SCALE
BB	NTS
CHECKED BY	
MS	
SHEET NO.	
	1 OF 61

SHEET INDEX

Sheet Number	Sheet Title
1 OF 61	C0.00 - COVER SHEET
2 OF 61	C0.01 - GENERAL NOTES
3 OF 61	PRELIMINARY PLAT
4 OF 61	SITE SURVEY
5 OF 61	C0.10 - SITE DEMO SHEET
6 OF 61	C1.00 - SITE PLAN KEY
7 OF 61	C1.01 - SITE LAYOUT
8 OF 61	C1.02 - SITE LAYOUT
9 OF 61	C1.03 - SITE LAYOUT
10 OF 61	C2.00 - GRADING & DRAINAGE PLAN KEY
11 OF 61	C2.01 - GRADING & DRAINAGE PLAN
12 OF 61	C2.02 - GRADING & DRAINAGE PLAN
13 OF 61	C2.03 - GRADING & DRAINAGE PLAN
14 OF 61	C2.10 - EPSC PLAN KEY
15 OF 61	C2.11 - EPSC PHASE 1
16 OF 61	C2.12 - EPSC PHASE 1
17 OF 61	C2.13 - EPSC PHASE 1
18 OF 61	C2.21 - EPSC PHASE 2
19 OF 61	C2.22 - EPSC PHASE 2
20 OF 61	C2.23 - EPSC PHASE 2
21 OF 61	C2.31 - EPSC PHASE 3
22 OF 61	C2.32 - EPSC PHASE 3
23 OF 61	C2.33 - EPSC PHASE 3
24 OF 61	C2.50 - PIPE CHART
25 OF 61	C2.90 - EPSC AND DRAINAGE DETAILS
26 OF 61	C2.91 - EPSC AND DRAINAGE DETAILS
27 OF 61	C2.92 - EPSC AND DRAINAGE DETAILS
28 OF 61	C2.93 - EPSC AND DRAINAGE DETAILS
29 OF 61	C2.94 - EPSC AND DRAINAGE DETAILS
30 OF 61	C3.00 - ROADWAY PROFILE INDEX SHEET
31 OF 61	C3.01 - ROADWAY PLAN AND PROFILE SHEET
32 OF 61	C3.02 - ROADWAY PLAN AND PROFILE SHEET
33 OF 61	C3.03 - ROADWAY PLAN AND PROFILE SHEET
34 OF 61	C3.04 - ROADWAY PLAN AND PROFILE SHEET
35 OF 61	C3.05 - ROADWAY PLAN AND PROFILE SHEET
36 OF 61	C3.06 - ROADWAY PLAN AND PROFILE SHEET
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38 OF 61	C4.01 - SITE DETAILS
39 OF 61	C6.00 - OVERALL SEWER LAYOUT
40 OF 61	C6.01 - SEWER LINE 1
41 OF 61	C6.02 - SEWER LINE 1
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43 OF 61	C6.05 - SEWER LINE 4
44 OF 61	C6.06 - SEWER LINE 5
45 OF 61	C6.07 - SEWER LINE 5
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47 OF 61	C5.10 - WATER LAYOUT
48 OF 61	L1.00 - STREETSCAPE PLAN
49 OF 61	L1.01 - LANDSCAPE PLAN
50 OF 61	L1.02 - LANDSCAPE PLAN
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55 OF 61	L2.01 - TREE PRESERVATION PLAN
56 OF 61	L2.02 - TREE PRESERVATION PLAN
57 OF 61	L2.03 - TREE PRESERVATION PLAN
58 OF 61	L2.04 - TREE TABLE
59 OF 61	L2.05 - TREE TABLE
60 OF 61	L2.06 - TREE TABLE
61 OF 61	L2.07 - TREE TABLE

OWNER/DEVELOPER

HOMESTEAD LAND HOLDINGS, LLC
122 PERIMETER PARK ROAD
KNOXVILLE, TN 37922
(865) 966-8700
CONTACT: BOB MOHNEY, PRESIDENT

DESIGNER

LOSE & ASSOCIATES, INC
LANDSCAPE ARCHITECTURE/ARCHITECTURE/CIVIL
ENGINEERING/PLANNING

9724 KINGSTON PIKE, SUITE 1404
KNOXVILLE, TENNESSEE 37922
PHONE: 865-409-1424
CONTACT: MATT SHEARON, P.E.

CONSULTANTS

SURVEYOR:
LYNCH SURVEYS, LLC
4405 COSTER ROAD
KNOXVILLE, TN 37912
(865) 584-2630

LOCATION MAP



SITE DATA

SITE ADDRESS: 430 VIRTUE RD,
KNOXVILLE, TN 37934

COUNTY: KNOX COUNTY

CITY / TOWNSHIP: TOWN OF FARRAGUT

TAX MAP / PARCEL ID: 152 044

ZONING: R-1, OSR

SITE ACREAGE: 87.34 AC

DISTURBED ACREAGE: 63.15 AC

OPEN SPACE REQUIRED: 30.57 AC (35.00%)

OPEN SPACE PROVIDED: 33.01 AC (37.79%)

LOT COUNT (PHASE 1): 90

ENVIRONMENTAL

1. THERE SHALL BE NO CLEARING, GRADING, CONSTRUCTION, OR DISTURBANCE OF SOIL AND/OR NATIVE VEGETATION WITHIN THE AQUATIC BUFFER EXCEPT AS PERMITTED BY THE TOWN OF FARRAGUT.
2. CONTRACTOR SHALL NOT BEGIN WORK WITHIN BUFFERS OF JURISDICTIONAL WATERS WITHOUT ALL APPLICABLE TDEC, ACOE, AND LOCAL GOVERNMENT PERMITS.

TOTAL AREA = 87.32 ACRES
OR 3,863,252 SQ. FT.
90 HOME LOTS

PHASE 1 ACREAGES:

TOTAL AREA PHASE 1 = 2,296,307 SQ.FT. = 52.72 ACRES
ROADS FOR PHASE 1 = 273,316 SQ.FT. = 6.27 ACRES
HOUSING LOTS PHASE 1 = 1,205,172 SQ.FT. = 27.67 ACRES
OPEN SPACE PHASE 1 = 817,819 SQ.FT. = 18.77 ACRES
% OPEN SPACE FOR PHASE 1 = 35.6%

LINE	BEARING	DISTANCE
L1	S84°10'29"W	30.99
L2	N81°09'08"E	19.39
L3	S88°40'50"W	15.22
L4	S88°40'50"W	10.54
L5	S88°40'50"W	46.86
L6	S01°19'10"E	22.00
L7	N81°09'08"E	20.41
L8	N81°09'08"E	19.39
L9	N37°16'41"W	9.91

CURVE	BEARING	CHORD	RADIUS	LENGTH
C1	S86°09'16"W	151.14	226.74	154.26
C2	N82°48'01"E	89.45	150.00	90.84
C3	S88°02'11"W	194.81	150.00	212.02
C4	N41°54'49"W	34.66	150.00	34.74
C5	S64°17'56"E	136.29	150.00	141.48
C6	S78°49'58"E	135.23	100.00	148.51
C7	S00°11'06"E	123.41	110.00	131.01
C8	S44°36'11"W	75.67	200.00	76.34
C9	S12°27'54"E	132.19	150.00	136.89
C10	S21°02'27"W	181.28	500.00	182.29
C11	S44°30'09"W	75.87	200.00	76.33
C12	N70°10'19"E	15.51	18.00	16.04
C13	S64°04'24"W	125.59	192.00	127.94
C14	S84°52'49"W	13.48	225.00	13.48
C15	N65°46'05"E	74.55	125.00	75.70
C16	S48°29'17"W	5.84	125.00	5.84
C17	S81°02'02"W	65.23	125.00	65.61
C18	S81°45'46"W	72.20	175.00	72.72
C19	N71°50'19"W	77.70	175.00	78.36
C20	S79°58'02"W	129.39	125.00	136.00
C21	N53°41'18"W	68.74	125.00	69.64
C22	S61°20'16"W	127.36	175.00	130.35
C23	N81°01'36"E	12.69	225.00	12.69
C24	N65°46'05"E	104.34	125.00	105.98
C25	S16°52'48"W	14.09	18.00	14.42
C26	N18°10'58"W	5.52	175.00	5.52
C27	S03°31'51"W	27.31	20.00	30.06
C28	N84°00'08"E	24.16	20.00	25.94
C29	S42°04'38"E	28.44	170.00	28.48
C30	S44°10'52"E	31.29	130.00	31.33
C31	S48°18'06"E	67.35	120.00	67.80
C32	S61°30'16"E	48.50	130.00	48.79
C33	N67°46'03"E	51.04	40.00	55.35
C34	S80°31'26"E	63.69	170.00	64.06
C35	N72°35'06"E	63.82	47.00	70.16
C36	N00°50'08"W	47.93	47.00	50.30
C37	S88°16'58"W	81.56	47.00	96.75
C38	S08°31'36"W	27.37	20.00	30.14
C39	S84°06'22"E	29.17	20.00	32.69
C40	N04°43'41"E	27.96	20.00	30.95
C41	S85°16'19"E	26.61	20.00	31.88
C42	N82°47'45"W	28.79	20.00	33.61
C43	N02°12'16"E	26.69	20.00	29.23
C44	S43°16'52"E	37.20	125.00	37.34
C45	S85°42'00"E	61.04	125.00	61.67
C46	N82°41'00"E	53.02	125.00	53.43
C47	N86°13'00"E	38.77	125.00	38.93
C48	S79°49'38"E	101.42	75.00	111.38
C49	S09°42'20"W	34.96	25.00	38.71
C50	S80°17'40"E	35.75	25.00	39.83
C51	N83°05'14"W	29.93	26.00	33.81
C52	N06°54'47"W	26.54	20.00	29.02
C53	N85°31'48"W	28.75	20.00	32.08
C54	N04°26'12"E	27.81	20.00	30.75
C55	S85°13'48"E	26.75	20.00	32.08
C56	S04°26'12"W	27.81	20.00	30.75
C57	S17°41'41"E	11.49	125.00	11.50
C58	S27°02'12"E	53.60	125.00	53.81
C59	S08°27'56"E	59.34	125.00	59.63
C60	S08°58'14"E	54.72	125.00	54.77
C61	S36°07'24"E	15.20	125.00	15.21
C62	S09°38'43"E	96.31	125.00	98.87
C63	S14°28'55"W	33.02	525.00	33.03
C64	S20°25'53"W	75.93	525.00	76.00
C65	S28°41'31"W	75.93	525.00	76.00
C66	S33°17'15"W	6.38	525.00	6.38
C67	S16°40'49"W	66.28	475.00	66.33
C68	S14°28'56"W	18.11	475.00	18.11
C69	S38°17'14"W	37.02	225.00	37.06
C70	S49°13'18"W	48.72	225.00	48.82
C71	S19°02'09"W	33.35	125.00	33.40
C72	S49°38'12"W	33.35	125.00	33.40
C73	S21°05'15"E	58.53	125.00	60.02
C74	S08°27'56"W	68.24	125.00	68.99
C75	S26°48'54"W	31.67	135.00	31.75
C76	S00°32'41"E	85.34	85.00	101.22
C77	S35°52'22"W	18.10	225.00	18.11
C78	S46°48'30"W	67.51	225.00	67.77
C79	S41°09'57"W	58.35	175.00	58.62
C80	S54°06'00"W	8.17	175.00	8.17
C81	N84°52'35"E	29.37	488.00	29.37
C82	S81°17'54"W	31.58	488.00	31.58
C83	S47°28'08"W	9.70	613.00	9.70
C84	S48°12'16"W	6.00	613.00	6.00
C85	S47°44'58"W	15.37	600.00	15.37
C86	S47°44'58"W	15.04	587.00	15.04

T: 96.20
CH: 192.18
CB: N42°13'16"W
L: 192.25
R: 1970.00
Δ: 5°35'29"

T: 44.99
CH: 89.95
CB: N43°44'51"W
L: 59.96
R: 2030.00
Δ: 2°32'29"

T: 78.24
CH: 137.71
CB: N70°49'43"W
L: 143.50
R: 145.00
Δ: 56°42'05"

FOX DEN COUNTRY CLUB
CAB I SLIDE 184C
INST: 138907310044398

TOWN OF FARRAGUT
152 040
DB 1973 PG 387

CWNR 152 044
JUDITH O & L E HARVILLE
P.O. BOX 22265
KNOXVILLE, TENNESSEE 37933

LOCATION MAP - NTS

- WHERE MONUMENTATION HAS BEEN IDENTIFIED, IRON PINS ARE 16 IN SET AT ALL CORNERS AT TIME OF COMPLETION OF CONSTRUCTION, UNLESS OTHERWISE NOTED. ALL NEW PROPERTY MONUMENTS ARE 1/2" X 18" REBAR IRON PINS WITH PLASTIC CAP STAMPED "1" INCH 2447".
- CLT TAX MAP 152 PARCEL 044.
- DEED REFERENCES - PARCELS: 044; 1304-899.
- THIS PROPERTY IS ZONED AS FOLLOWS: (PARCEL 044) R-1(OSR).
- A PORTION OF THIS PROPERTY DOES LIE WITHIN A 100/500 YEAR FLOOD ZONE PER 1981 FLOOD INSURANCE RATE MAP NUMBER: 47083C0368 EFFECTIVE DATE: MAY 2, 2007.
- ALL UNDERGROUND UTILITIES ARE REFERENCED TO UTILITY COMPANIES MAPS AND ARE TO BE DETERMINED APPROXIMATE.
- NORTH ROTATION: NAD83(NRS2007).
- ALL WALKING TRAILS SHALL HAVE A 20' EASEMENT IN FAVOR OF THE TOWN OF FARRAGUT AND ARE RESERVED FOR PUBLIC USE UPON COMPLETION OF CONSTRUCTION OF WALKING TRAILS. THE TOWN OF FARRAGUT SHALL ACCEPT MAINTENANCE AND LIABILITY OF USE OF SAID EASEMENTS.
- A 15' UTILITY EASEMENT EXISTS, 7.5 EITHER SID. OF WATER AND SEWER LINES AS INSTALLED.
- BUILDING SETBACKS FOR (R1, OSR) ZONING ARE AS FOLLOWS:
FRONT YARD: 20 FEET
FRONT FACING GARAGE: 30 FEET
SIDE YARD: (MINIMUM OF 20 FEET BETWEEN BUILDINGS) 10 FEET UNLESS SHOWN OTHERWISE
REAR: 25 FEET
PERIPHERY PROPERTY LINE: 50 FEET

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TOWN OF FARRAGUT

SYMBOL LEGEND	
IRON PIN (S & L TYPE)	CONC. MONUMENT
SANITARY MANHOLE	WATER VALVE
TELEPHONE POLE	POWER/TELE. POLE
CATCH BASIN	DRAIN INLET
LIGHT POLE	TELEPHONE RISER
SIGN (TYPE)	GUY WIRE
FIRE HYDRANT	SERVICE POLE
CONCRETE AREA	
LINE LEGEND	
— G —	GAS LINE
— W —	WATER LINE
— SA —	SEWER LINE
— SS —	STORM SEWER LINE
— DE —	POWER/TELE. LINE

CERTIFICATE OF SURVEY ACCURACY

I hereby certify that the plan shown and described herein is a true and correct survey to the accuracy required by the Farago Municipal Planning Commission and that the monuments have been placed as shown herein, to the satisfaction of the subdivision regulations. This is a preliminary survey and does not constitute a final survey of the subdivision.

6/11/2018



SURVEY FOR:

PRELIMINARY PLAT OF:

LYNCH SURVEYS LLC
SUBDIVISIONS | AS-BUILT | SITE DESIGN
4405 CORDER RD. KNOXVILLE, TENN. 37912
865-584-2630 FAX: 865-584-2801 WWW.LYNCHSURVEY.COM



REVISIONS	
DRAWN BY: M.STRANGE	06/07/2018 OF Comments
CHECKED BY: R. LYNCH	2
APPROVED BY: R.S.L.	3
SCALE: 1" = 100'	4
DATE: 05/17/2018	5
	6

HomeStead Land Holdings
122 Perimeter Park Rd
Knoxville, Tennessee 37922
Phone 865-690-3200

BROOKMERE PHASE I
CLT: 152 - 044
Knoxville, Tennessee 37934
District FW, Knox County, Tennessee

SHEET NO:
3 of 61
PROJECT NO:
4040-3CP

LAYOUT NOTES:

1. SEE SHEET C0.01 FOR GENERAL NOTES.
2. INSTALL JOINTS WHERE SHOWN TO ALIGN TO WALLS, BUILDINGS, RADII, ETC. EVENLY SPACE BETWEEN ELEMENTS AS SHOWN. PROVIDE EXPANSION JOINTS BETWEEN CONCRETE PAVEMENT AND VERTICAL ELEMENTS (WALL, CURBS, ETC.) ALL JOINTS TO BE STRAIGHT AND TRUE. LAYOUT ALL CURVES SMOOTHLY WITH NO ABRUPT CHANGES AT TANGENT POINTS.
3. ALL CURBS ARE DIMENSIONED TO THE FACE OF CURB.
4. CONTRACTOR TO TAKE ALL PRECAUTIONS TO FIND AND AVOID SITE UTILITIES. ALL UTILITIES ARE NOT SHOWN ON DRAWING. VERIFY LOCATIONS AND CONSIDER SUCH WHEN ESTIMATING.
5. ALL PAVEMENT MARKING AND TRAFFIC CONTROL DEVICES SHALL BE INSTALLED PER THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION.
6. ALL PAVEMENT MARKINGS TO BE THERMOPLASTIC, UNLESS OTHERWISE NOTED.
7. ALL CONSTRUCTION AND MATERIALS SHALL COMPLY WITH TDOT'S STANDARDS FOR ROADWAY AND BRIDGE CONSTRUCTION, LATEST EDITION.



LOBE & ASSOCIATES, INC.

9724 Kingston Pike, Suite 1404
Knoxville, Tennessee 37922
(865) 409-1424

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JUN 11 2018

Town of Faragut

TENNESSEE

BROOKMERE
PHASE 1
HOMESTEAD LAND HOLDINGS, LLC

TOWN OF FARAGUT

SUBMITTALS / REVISIONS

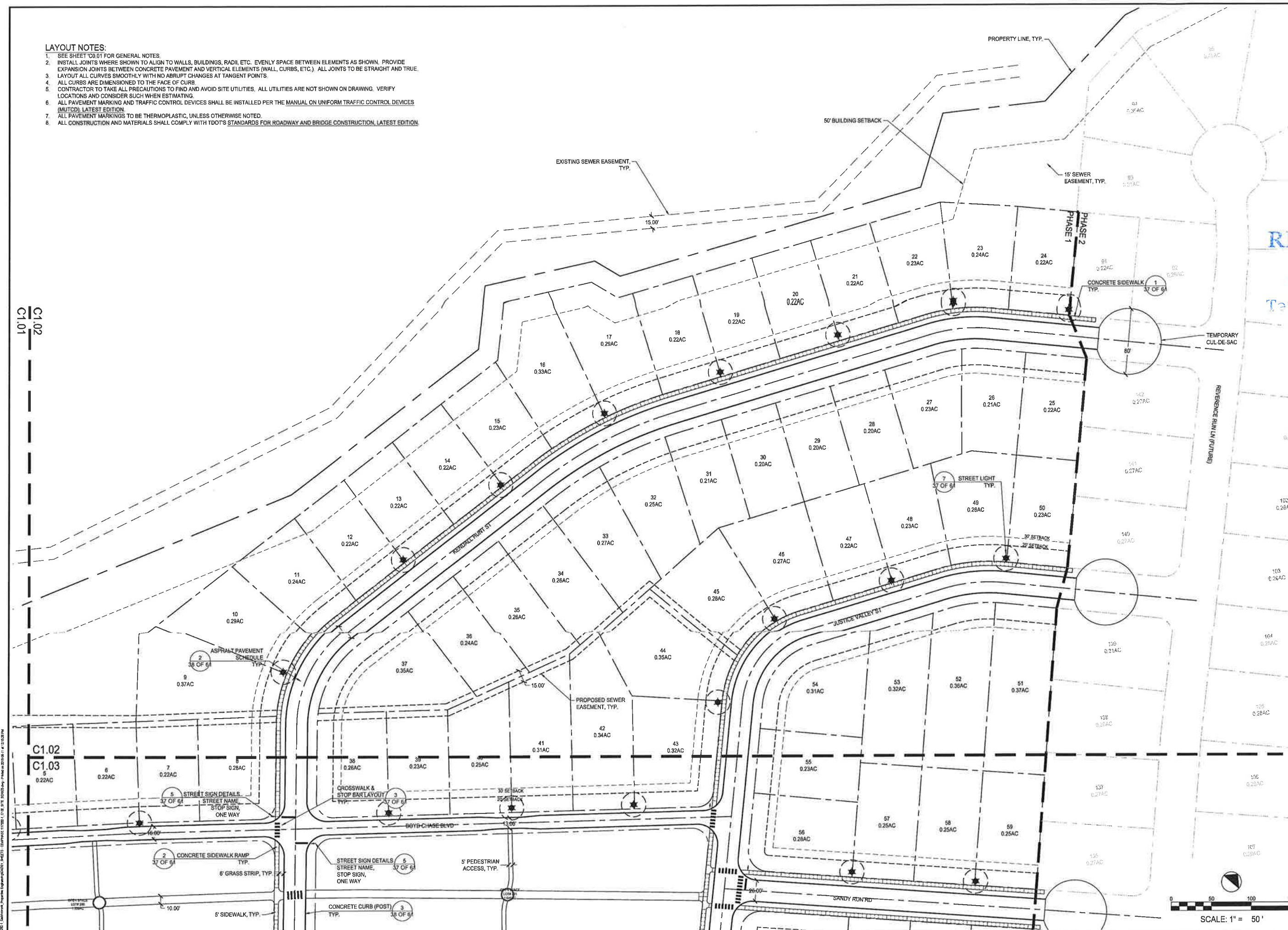
NO.	DATE	DESCRIPTION
1	6/11/18	PRELIMINARY SUBMITTAL

SHEET TITLE

C1.02 - SITE LAYOUT

PROJECT NO. 17282-1	DATE 6/11/2018
DRAWN BY BB	SCALE 1" = 50'
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SHEET NO.	

8 OF 61





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JUN 11 2018
TOWN OF FARRAGUT

TENNESSEE

BROOKMERE
PHASE 1

HOMESTEAD LAND HOLDINGS, LLC

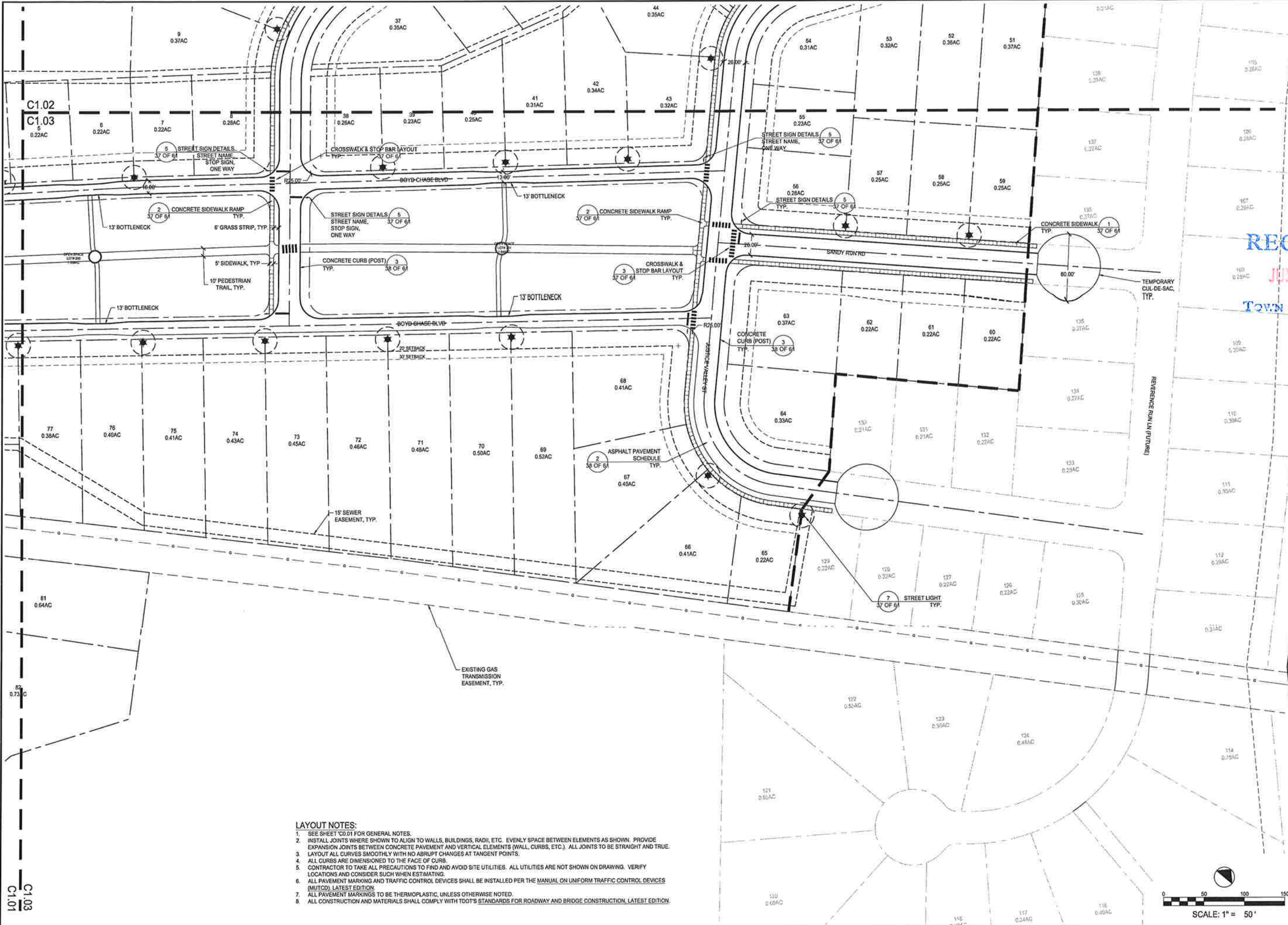
TOWN OF FARRAGUT

SUBMITTALS / REVISIONS		
NO.	DATE	DESCRIPTION
1	6/11/18	PRELIM PLAT RE-SUBMITTAL

SHEET TITLE

C1.03 - SITE LAYOUT

PROJECT NO. 17262-1	DATE 6/11/2018
DRAWN BY BB	SCALE 1" = 50'
CHECKED BY MS	
SHEET NO.	



- LAYOUT NOTES:**
- SEE SHEET C1.01 FOR GENERAL NOTES.
 - INSTALL JOINTS WHERE SHOWN TO ALIGN TO WALLS, BUILDINGS, RADI, ETC. EVENLY SPACE BETWEEN ELEMENTS AS SHOWN. PROVIDE EXPANSION JOINTS BETWEEN CONCRETE PAVEMENT AND VERTICAL ELEMENTS (WALL, CURBS, ETC.). ALL JOINTS TO BE STRAIGHT AND TRUE.
 - LAYOUT ALL CURVES SMOOTHLY WITH NO ABRUPT CHANGES AT TANGENT POINTS.
 - ALL CURBS ARE DIMENSIONED TO THE FACE OF CURB.
 - CONTRACTOR TO TAKE ALL PRECAUTIONS TO FIND AND AVOID SITE UTILITIES. ALL UTILITIES ARE NOT SHOWN ON DRAWING. VERIFY LOCATIONS AND CONSIDER SUCH WHEN ESTIMATING.
 - ALL PAVEMENT MARKING AND TRAFFIC CONTROL DEVICES SHALL BE INSTALLED PER THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION.
 - ALL PAVEMENT MARKINGS TO BE THERMOPLASTIC, UNLESS OTHERWISE NOTED.
 - ALL CONSTRUCTION AND MATERIALS SHALL COMPLY WITH TDD'S STANDARDS FOR ROADWAY AND BRIDGE CONSTRUCTION, LATEST EDITION.

C1.03
C1.01

LEGEND

PROPOSED INTERIM CONTOUR LINE

PROPOSED INDEX CONTOUR LINE

EXISTING INTERIM CONTOUR LINE

EXISTING INDEX CONTOUR LINE

PROPOSED SPOT ELEVATION

PROPOSED SLOPE GRADIENT

DRAINAGE FLOW ARROW

ALL SLOPES TO BE
2.5:1 OR FLATTER

- GRADING NOTES:
1. CONTRACTOR RESPONSIBLE FOR VERIFYING EXISTING ELEVATIONS COMPARED TO THOSE SHOWN ON PLAN PRIOR TO GRADING. NOTIFY OWNER'S REPRESENTATIVE IF DISCREPANCIES ARE FOUND.
 2. AREAS FOR CONSTRUCTION THAT REQUIRE DE-WATERING FOR EXCAVATION WILL BE DONE AT NO ADDITIONAL COST TO THE OWNER.
 3. DISTURBED AREAS LEFT IDLE FOR FIVE DAYS, AND NOT TO FINAL GRADE, WILL BE ESTABLISHED TO TEMPORARY VEGETATION. MULCH, TEMPORARY VEGETATION OR PERMANENT VEGETATION SHALL BE COMPLETED ON ALL EXPOSED AREAS WITHIN 14 DAYS AFTER DISTURBANCE. ALL AREAS TO FINAL GRADE WILL BE ESTABLISHED TO PERMANENT VEGETATION UPON COMPLETION.
 4. A TOWN OF FARRAGUT LAND DISTURBANCE PERMIT MUST BE DISPLAYED ON SITE AT ALL TIMES DURING CONSTRUCTION AND IN PLAIN VIEW FROM A PUBLIC ROAD OR STREET.
 5. EROSION AND SEDIMENT CONTROL DEVICES MUST BE INSTALLED AND INSPECTED PRIOR TO ANY GRADING ON SITE.
 6. SEDIMENT/EROSION CONTROL DEVICES MUST BE INSPECTED ACCORDING TO LOCAL AND STATE REQUIREMENTS AND AS STIPULATED IN THE STORMWATER POLLUTION PREVENTION PLAN. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED ONE HALF THE CAPACITY OF THE DEVICE. ADDITIONAL DEVICES MAY BE NECESSARY AS THE PROJECT PROGRESSES AND NEW CHANNELS HAVE DEVELOPED.
 7. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES.
 8. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION CONTROL AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
 9. HOMESTEAD LAND HOLDINGS SHALL BE RESPONSIBLE FOR LONG TERM MAINTENANCE OF STORMWATER CONTROL MEASURES.

SEE SHEET C2.50 FOR
STORM PIPE CHART

CONTRACTOR SHALL PROVIDE SWALES
AS NECESSARY TO DIRECT RUNOFF
AROUND STRUCTURES



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TOWN OF FARRAGUT

SUBMITTALS / REVISIONS		
NO.	DATE	DESCRIPTION
1	6/11/18	PRELIM PLAN RE-SUBMITTAL

SHEET TITLE

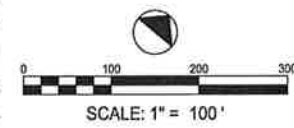
C2.00 - GRADING &
DRAINAGE PLAN KEY

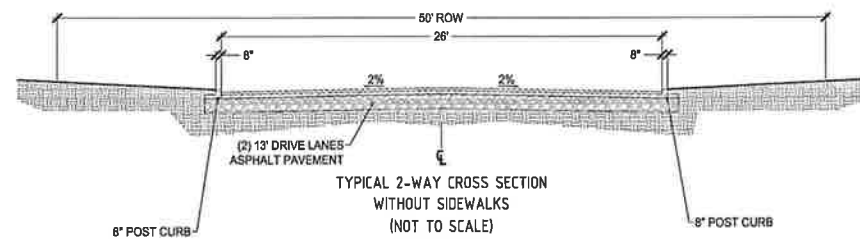
PROJECT NO. 17282-1	DATE 6/11/2018
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SHEET C2.02

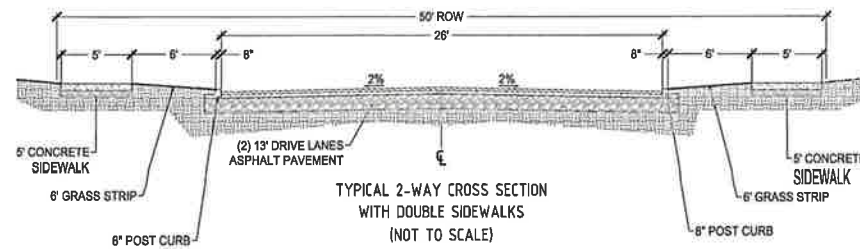
SHEET C2.03

SHEET C2.01

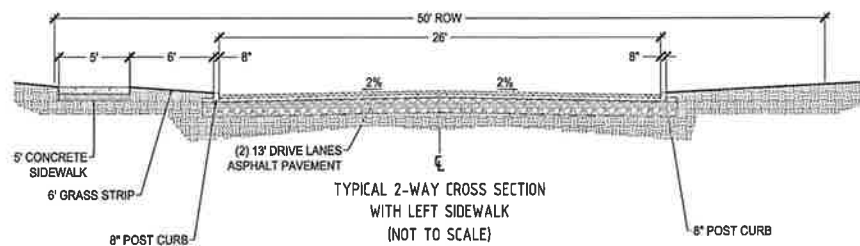




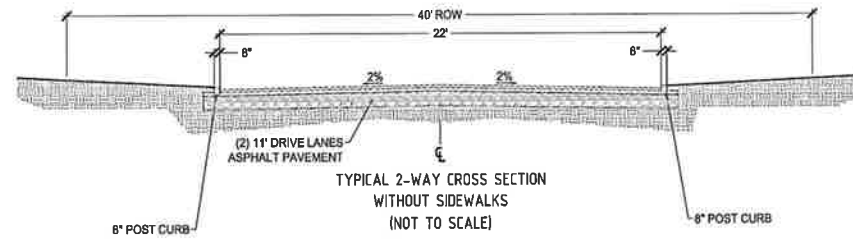
STANDARD ROADWAY WITHOUT SIDEWALKS CROSS SECTION



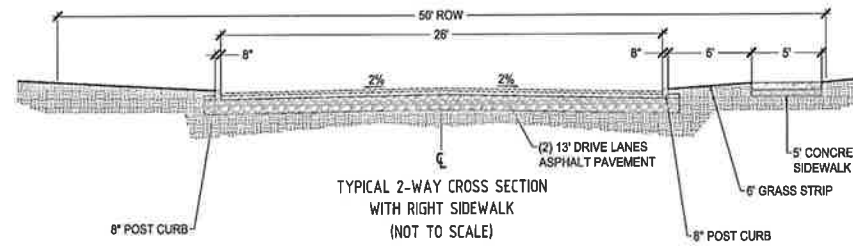
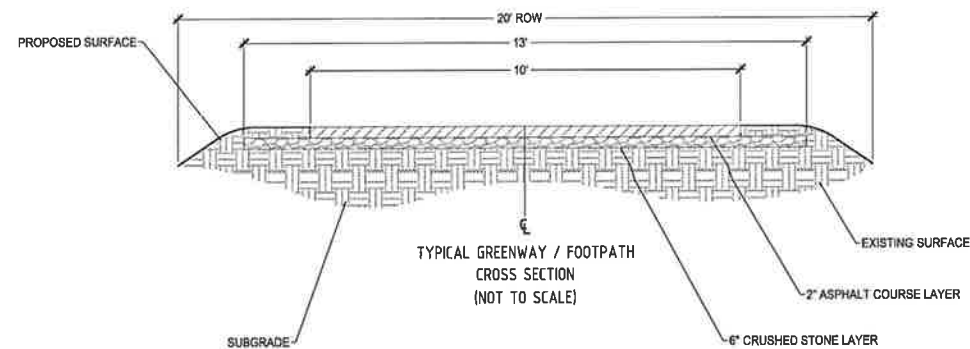
SANDY RUN RD



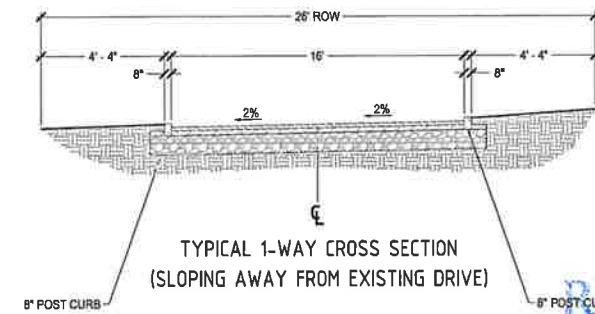
NEEDLEGRASS LN
KENDALL HUNT ST
JUSTICE VALLEY ST



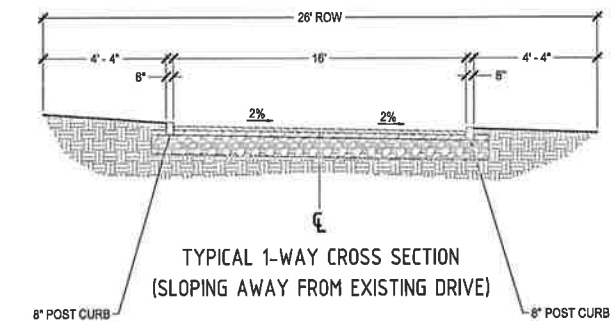
CUL-DE-SAC'S - 40' ROW VARIANCE



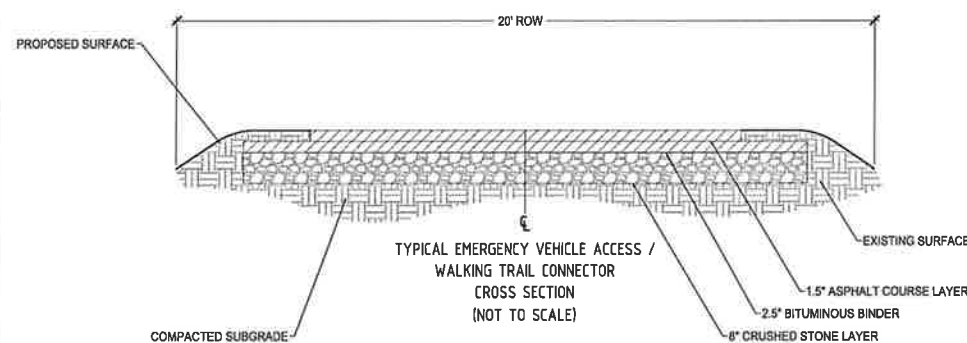
REVERENCE RUN LN



BOYD CHASE BLVD LEFT

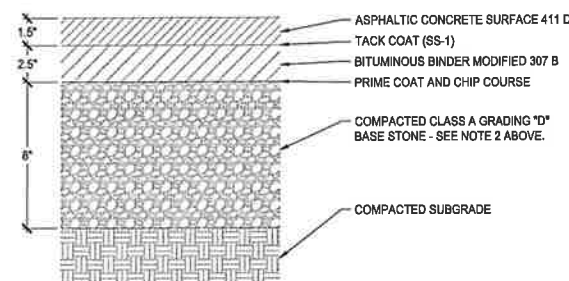


BOYD CHASE BLVD RIGHT



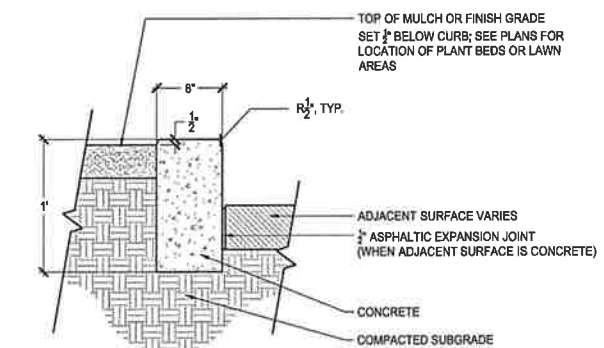
1 TYPICAL ROAD SECTIONS
SCALE: NTS

- NOTES:
1. SUB GRADE TO BE COMPACTED TO 95% STANDARD PROCTOR.
 2. AGGREGATE BASE COARSE TO BE COMPACTED TO 80% OF SOLID ROCK DENSITY AS DETERMINED BY AASHTO-65.
 3. ALL ROADWAY CONSTRUCTION TO COMPLY WITH THE TENNESSEE DEPARTMENT OF TRANSPORTATION STANDARDS FOR ROADWAY AND BRIDGE CONSTRUCTION, LATEST EDITION AND THE TOWN OF FARRAGUT'S SUBDIVISION REGULATIONS.



TYPICAL ROAD PAVEMENT SCHEDULE

2 ASPHALT PAVEMENT SCHEDULE
SCALE: NTS



- NOTES:
1. PROVIDE EXPANSION JOINTS 30' O.C. (MAX.), AT ENDS AND MIDPOINTS OF RADIUS RETURNS, AND AT ANY POINT THAT NEW CURB ABUTS EXISTING OR PROPOSED CONCRETE.
 2. PROVIDE CONTRACTION JOINTS 10' O.C.
 3. NO STRAIGHT SEGMENTS SHALL BE CONSTRUCTED IN RADII.
 4. WHERE POST CURB EXISTS AS A PLANTER CURB, REFER TO SPECS FOR BED SOIL AMENDMENTS ADJACENT TO BACK OF CURB.

3 CONCRETE CURB (POST)
SCALE: NTS

SUBMITTALS / REVISIONS		
NO.	DATE	DESCRIPTION
1	6/11/18	PRELIM PLAN RE-SUBMITTAL

SHEET TITLE
C4.01 - SITE DETAILS

LEGEND:

- ORNAMENTAL STREETLIGHT - (SEE DETAIL 7, C4.00)
- STREET SIGNAGE - (SEE CIVIL LAYOUT SERIES FOR ADDITIONAL INFORMATION)

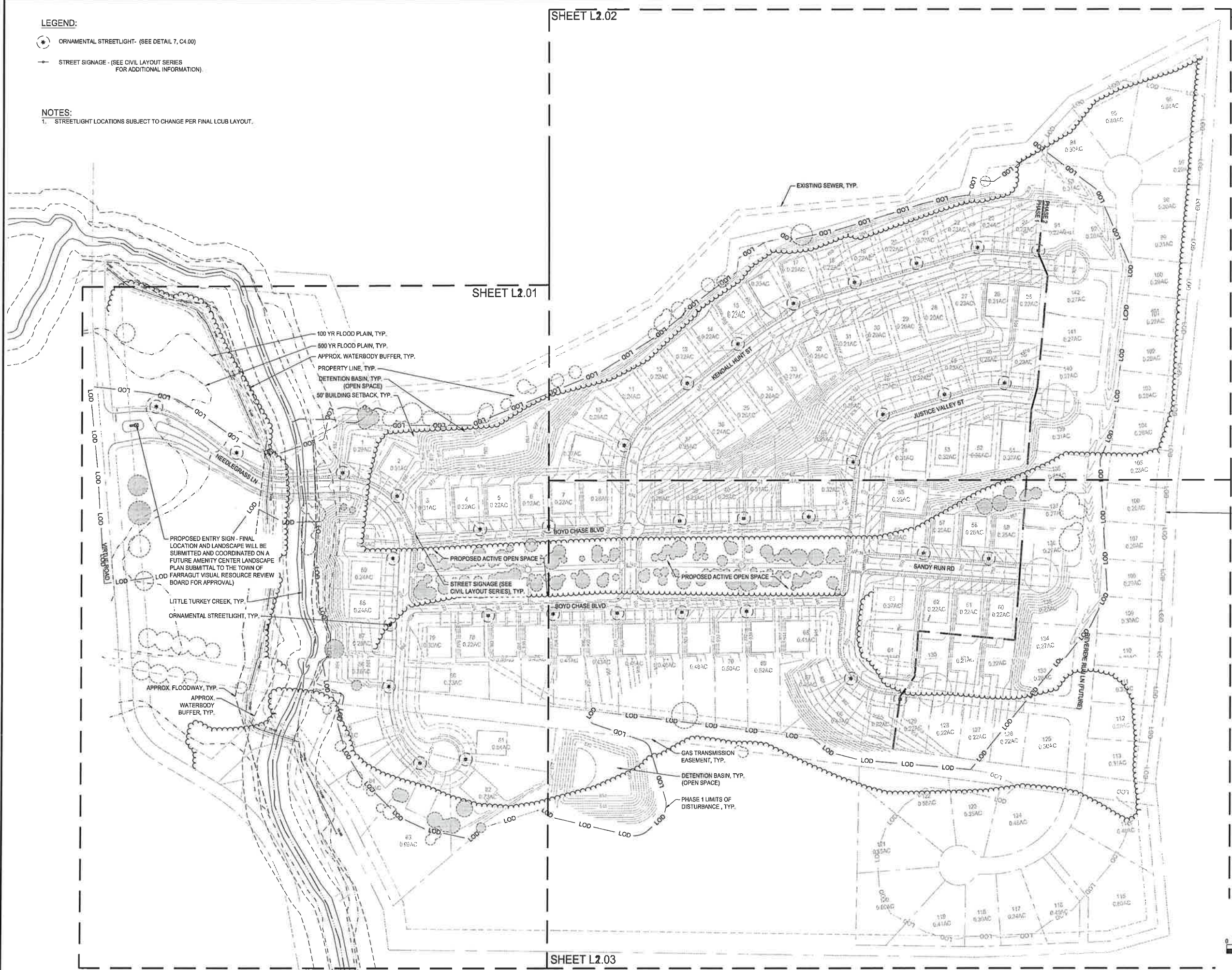
NOTES:

- STREETLIGHT LOCATIONS SUBJECT TO CHANGE PER FINAL LCUB LAYOUT.

SHEET L2.02

SHEET L2.01

SHEET L2.03



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TOWN OF FARRAGUT

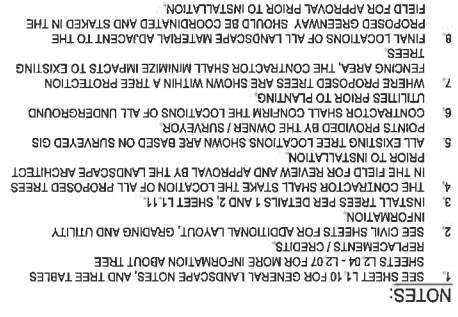
SUBMITTALS / REVISIONS		
NO.	DATE	DESCRIPTION
1	6/11/18	PRELIM PLAN RE-SUBMITTAL

SHEET TITLE

L1.00 - STREETSCAPE PLAN

PROJECT NO. 17282-1	DATE 6/11/2018
DRAWN BY BB	SCALE 1" = 100'
CHECKED BY DB	
SHEET NO.	

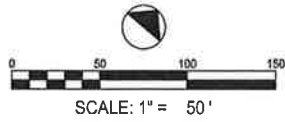
48 OF 61



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NOTES:

- SEE SHEET L1.10 FOR GENERAL LANDSCAPE NOTES, AND TREE TABLES SHEETS L2.04 - L2.07 FOR MORE INFORMATION ABOUT TREE REPLACEMENTS / CREDITS.
- SEE CIVIL SHEETS FOR ADDITIONAL LAYOUT, GRADING AND UTILITY INFORMATION.
- INSTALL TREES PER DETAILS 1 AND 2, SHEET L1.11.
- THE CONTRACTOR SHALL STAKE THE LOCATION OF ALL PROPOSED TREES IN THE FIELD FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL EXISTING TREE LOCATIONS SHOWN ARE BASED ON SURVEYED GIS POINTS PROVIDED BY THE OWNER / SURVEYOR.
- CONTRACTOR SHALL CONFIRM THE LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO PLANTING.
- WHERE PROPOSED TREES ARE SHOWN WITHIN A TREE PROTECTION FENCING AREA, THE CONTRACTOR SHALL MINIMIZE IMPACTS TO EXISTING TREES.
- FINAL LOCATIONS OF ALL LANDSCAPE MATERIAL ADJACENT TO THE PROPOSED GREENWAY SHOULD BE COORDINATED AND STAKED IN THE FIELD FOR APPROVAL PRIOR TO INSTALLATION.



PLANT SCHEDULE PHASE 1

TREES	BOTANICAL NAME	COMMON NAME
●	ACER RUBRUM 'RED SUNSET'	'RED SUNSET' MAPLE
●	AMELANCHIER ALBOPIEA 'AUTUMN BRILLIANCE'	DOHNEY SERVICEBERRY
●	BETULA NIGRA 'DURHEAT'	DURHEAT RIVER BIRCH
●	CERCIS CANADENSIS 'FOREST PANSY' TM	FOREST PANSY REDBUD
●	CORNUS FLORIDA 'CLOUD NINE'	CLOUD NINE EASTERN DOGWOOD
●	LACERSTROEMIA INDICA 'PINK'	PINK CHAPE WATTLE STANDARD
●	LACERSTROEMIA INDICA 'MUSKOGEE'	MUSKOGEE CHAPE WATTLE
●	LIRODIODENDRON TULIPARIA 'ARNDT'	ARNDT TULIP POPULAR
●	MAGNOLIA VIRGINIANA	SWEET BAY
●	PLATANUS OCCIDENTALIS	AMERICAN SYCAMORE
●	PRUNUS X YEDODENSIS	YOSHINO CHERRY
●	QUERCUS ALBA	WHITE OAK
●	QUERCUS FALCATA	SOUTHERN RED OAK
●	QUERCUS MUhlenbergii	MUTTAL OAK
●	TAXODIUM DISTICHUM 'AUTUMN GOLD'	AUTUMN GOLD BALD CYPRESS



LANDSCAPE PLANS FOR THE CENTRAL OPEN SPACE WILL BE SUBMITTED WITH THE AMENITY CENTER LANDSCAPE PLAN SUBMITTAL TO ENSURE COORDINATION WITH FINAL UTILITY LAYOUT.



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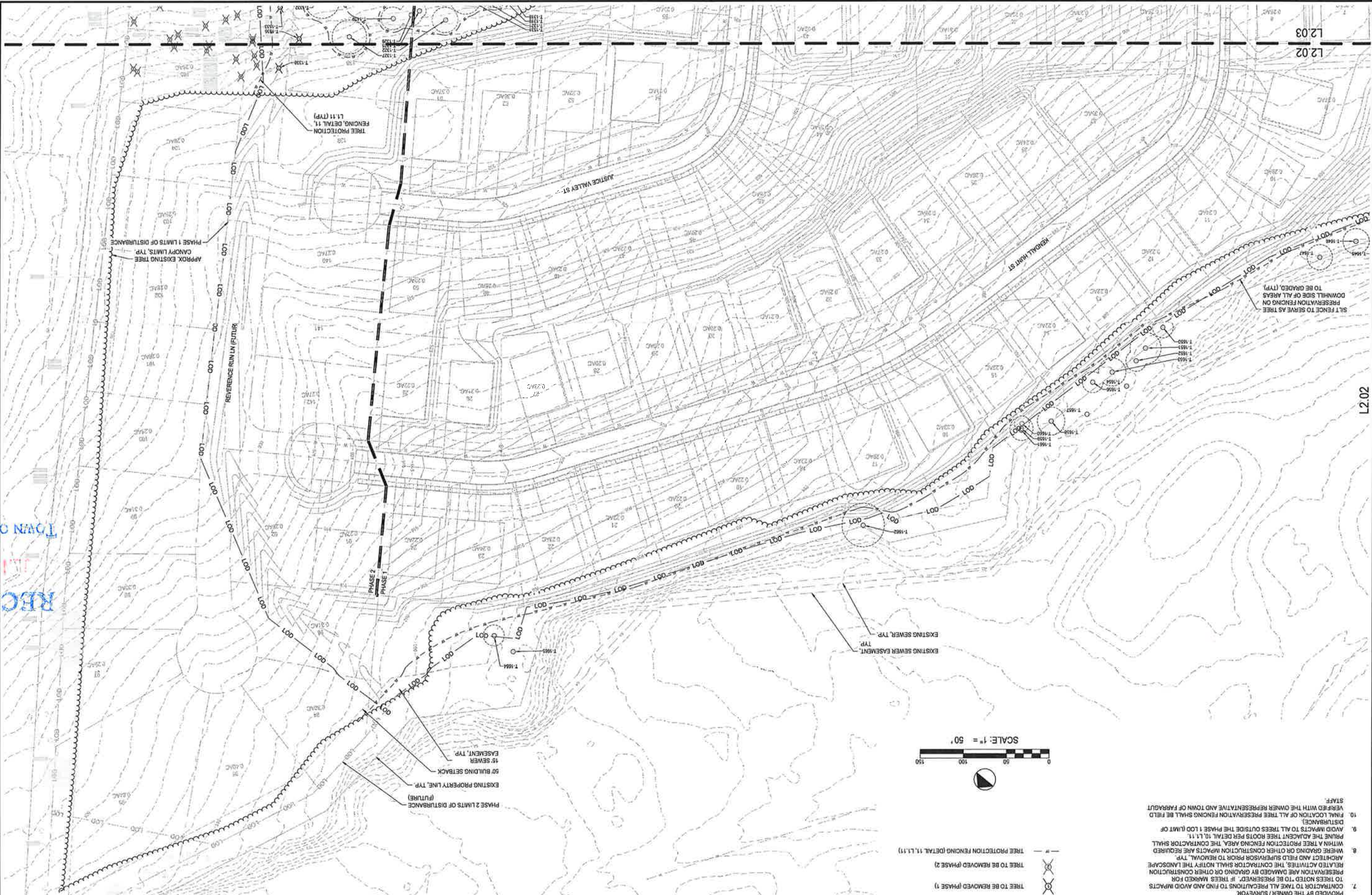
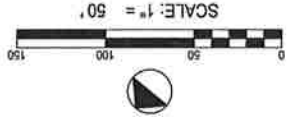
SUBMITTALS / REVISIONS		
NO.	DATE	DESCRIPTION
1	6/11/18	PRELIM PLAT RE-SUBMITTAL

SHEET TITLE

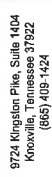
L1.02 - LANDSCAPE PLAN

PROJECT NO.	DATE
17282	6/11/2018
DRAWN BY	SCALE
BB	1" = 50'
CHECKED BY	
DB	
SHEET NO.	

-
- LEGEND:**
- AL —
 - TREE TO BE REMOVED (PHASE 2)
 - TREE TO BE REMOVED (PHASE 1)
 - TREE TO REMAIN (OUTSIDE LOG)
 - APPROX. TREE CANOPY
 - TREE TO BE PRESERVED (PHASE 1)



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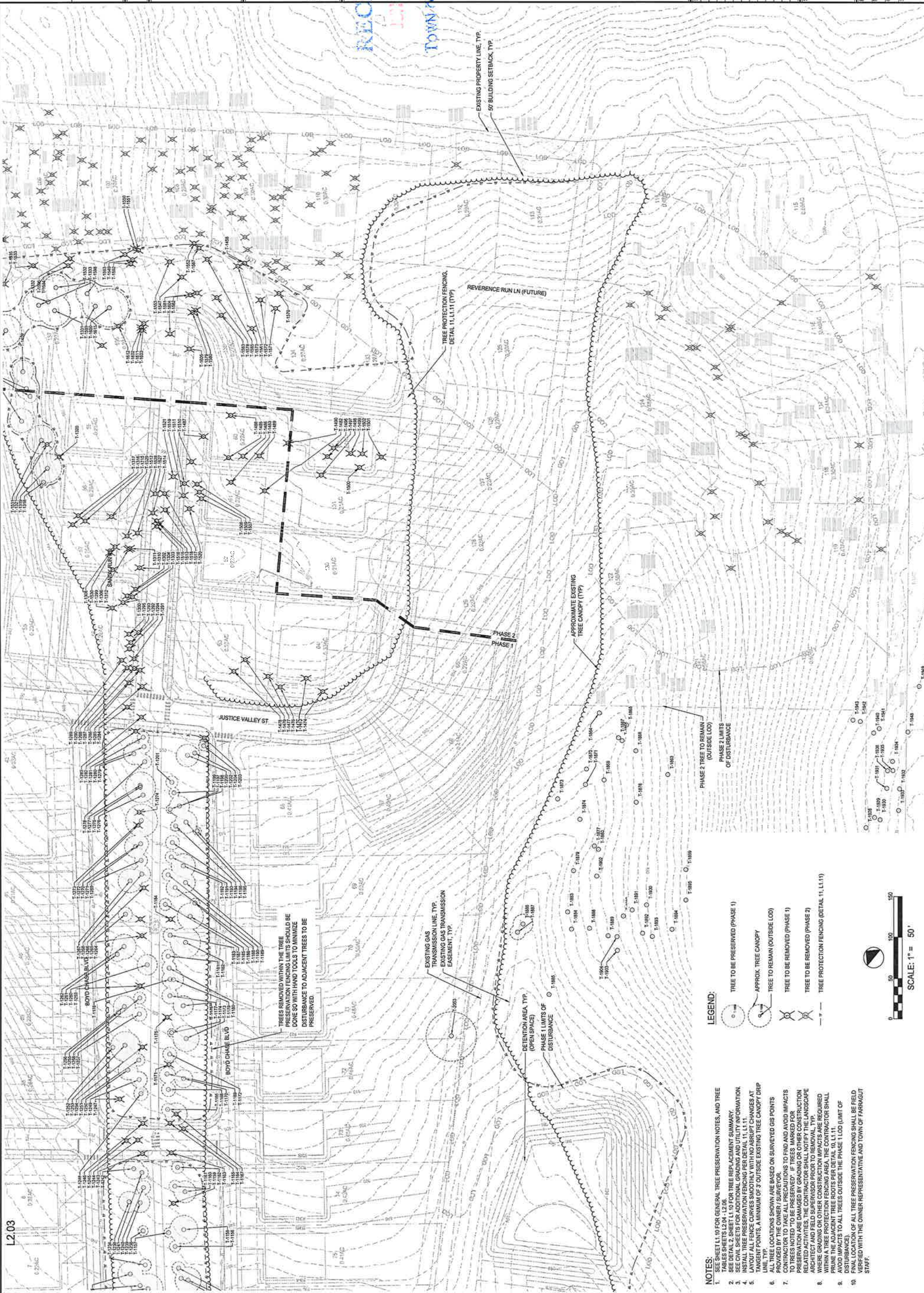
TOWN OF FARGUT

[illegible]

L2.03 - TREE PRESERVATION PLAN

PROJECT NO. 1722-1	DATE 6/11/2018
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CHECKED BY DB	
SHEET NO.	

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1. **NOTES:**
2. SEE SHEET L1.10 FOR GENERAL TREE PRESERVATION NOTES, AND TREE TABLES SHEETS L2.04 - L2.06.
3. SEE DETAIL 2, SHEET L1.10 FOR TREE REPLACEMENT SUMMARY.
4. SEE CIVIL SHEETS FOR ADDITIONAL GRADING AND UTILITY INFORMATION.
5. LAYOUT ALL FENCE CURVES SMOOTHLY WITH NO ABRUPT CHANGES AT TANGENT POINTS, A MINIMUM OF 3' OUTSIDE EXISTING TREE CANOPY DRIE LINE, TYP.
6. ALL TREE LOCATIONS SHOWN ARE BASED ON SURVEYED GIS POINTS PROVIDED BY THE OWNER / SURVEYOR. ATTEMPT TO FIND AND AVOID IMPACTS TO TREES NOTED TO BE "PRESERVED". IF TREES MARKED FOR PRESERVATION ARE DAMAGED BY GRADING OR OTHER CONSTRUCTION RELATED ACTIVITIES, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AND FIELD SUPERVISOR PRIOR TO REMOVAL, TYP.
7. WHEN GRADING OR OTHER CONSTRUCTION IMPACTS ARE REQUIRED TO PRUNE THE ADJACENT TREE ROOTS PER DETAIL 9.01.11.
8. AVOID IMPACTS TO ALL TREES OUTSIDE THE PHASE 1 LOD (LIMIT OF DISTURBANCE).
9. FINAL LOCATION OF ALL TREE PRESERVATION FENCING SHALL BE FIELD DETERMINED WITH THE OWNER REPRESENTATIVE AND TOWN OF FARGOUST.
- 10.

LEGEND:

-  TREE TO BE PRESERVED (PHASE 1)
-  APPROX. TREE CANOPY
-  TREE TO REMAIN (OUTSIDE LOD)
-  TREE TO BE REMOVED (PHASE 1)
-  TREE TO BE REMOVED (PHASE 2)
-  TREE PROTECTION FENCING DETAIL 1, 1.1.1)



REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Bart Hose, Assistant Community Development Director

SUBJECT: Discussion and public hearing on a request for approval of a site plan for Grigsby Chapel Offices, 11416 Grigsby Chapel Road, 8.68 Acres, Zoned O-1-3, OS-P, and FPD (G&G Grigsby Chapel Partnership, Applicant)

INTRODUCTION AND BACKGROUND: This item involves a request for approval of a site plan for a proposed office building located at the corner of Grigsby Chapel Road and N Campbell Station Road. The building and additional parking is being added to an existing site that already contains a medical office building. The original development of the site occurred in the late 1990's. The site is impacted by the North Fork of Turkey Creek and a regulatory floodplain that runs through and along its western boundary. The site also contains a section of the Grigsby Chapel Greenway, which also runs through the western most portion of the property.

DISCUSSION: As noted, the site plan involves adding a new office building and associated parking to an existing development. A land lease line separating the existing building from the rest of the property, along with both parking and access easements were added to the overall site sometime after its initial development. The new development is being integrated into the site utilizing the noted access and parking easements. Internal traffic circulation and any additional shared parking arrangements need to be coordinated and clearly identified. The plan also includes relocating a small portion of the Grigsby Chapel Greenway. This will require replatting the associated easement. The replat will also need to include additional ROW dedication along a section of Grigsby Chapel Road.

RECOMMENDATION: Included in your packet is a copy of the revised site plan along with the staffs' comments on the original site plan and the applicant's response letter submitted with the revised site plan. The staff will make a recommendation at the meeting based on whether the staffs' comments have been addressed.



Civil Engineers

June 11, 2018

Mark Shipley
Town of Farragut
11408 Municipal Center Dr.
Farragut, TN 37934

Re: Staff comments on site plan for Grigsby Chapel Offices, 11416 Grigsby Chapel Road (New Address from MPC Addressing 11422 Grigsby Chapel)

Dear Mark,

Please find attached our revised plans per Staff recommendations dated May 30, 2018. We have provided responses to comments below.

Fire Division: (Contact Dan Johnson at djohnson@townoffarragut.org)

- 1) Please provide location of fire department connection on front side of building;
Response: FDC Added to front left of building on civil and building elevation
- 2) Please provide location of fire hydrant referenced for flow testing purposes. This may be accomplished by providing the required flow test data in vicinity of fire hydrant;
Response: Two existing hydrants on Grigsby Chapel will be flowed. Per FUD, they have not been able to have the test run, we will supplement as soon as we get the data from them.
- 3) Please show the occupancy as "B" rather than "M";
Response: Building Occupancy note modified on C0 sheet.
- 4) Please delete the 3-story building from all sheets. This is not part of this phase;
Response: Future building and parking has been removed from this set of plans.

Planning Division: (Contact Mark Shipley at mshipley@townoffarragut.org) or Bart Hose at bhose@townoffarragut.org)

- 5) Please include Owner & Developer addresses and phone numbers;
Response: Owner and Developer contact information updated on sheet C0.0
- 6) The notes on several plan sheets are printed very light, please darken;
Response: Modified the line-weights and/or sizes on notes notably light.
- 7) The engineer that prepared the plan did not list his name on the plans (just shown on stamp);
Response: Engineer of Record name added to Contact List on C0.0

- 8) The site area plan should clearly define the new vs existing site improvements and show the new/proposed easements (like the layout plan). The sheets legend should also reflect these items;

Response: Modified hatching boundary, and lines so all existing will show as screened.

- 9) Please clarify the easements shown on the survey and site layout sheet. How do the parking and access easement, access easement, and ground lease affect this site? In particular, how do they affect parking and traffic circulation between the existing and proposed development?

Response: The existing parking and access easements as defined in the Title Report, allow the remainder of the property to use and circulate through the ground lease as it exists on the developed portion of the site

- 10) Please correct the 2:1 slope note on the grading plan and add language noting stabilization for slopes greater than 3:1. No finished slopes can exceed 2.5:1;

Response: Note on C3.0 was modified as 3:1.

- 11) Please include dimensions for all code critical items on the layout plan sheet (e.g. landscape island widths);

Response: Additional dimensions, and all islands added to plan.

- 12) Please include screening information and details for the dumpster;

Response: Dumpster Screening Detail added to sheet C8.2

- 13) The electrical utility and lighting plans do not include any proposed transformer locations. Please identify where these are proposed and include a detail;

Response: Transformer location is shown on sheet C5.0, pad and transformer will be per LCUB (noted on C6.0 but after the fact see that the location did not plot)

- 14) Please identify where the HVAC units are proposed and include a detail as to how they will be screened by the building they are serving so that they are not visible from adjacent properties or rights of ways;

Response: See note on Barry Byrd's letter. Noted on Sheet C8.4

- 15) Please include detail cut-sheets for all proposed fixtures on the lighting plan. Please include iso footcandle numbers along all property lines. Please verify that the total pole height for proposed pole lights is compliant with the Town's requirements;

Response: Detail Cut-Sheet of all fixtures shown on C6.0, dimension of full height added to detail. Foot Candle at perimeter noted.

- 16) The parking plan creates a significantly overparked condition and, in accordance with the Parking and Loading Section of the Zoning Ordinance, will have to be offset with low-impact measures and additional landscaped islands. Please refer to the requirements in the Zoning Ordinance and ensure that the plan addresses these requirements. This will greatly affect a number of the site elements and plan sheets and may lead to postponement until the July Planning Commission meeting;

Response: Parking has been reduced, and additional landscaped islands added. The perimeter spaces on the west side include pervious paving strip to drain the runoff. Since the site includes two separate tax parcels. The parking was evaluated for the parcel being currently developed.

- 17) The site grading extends eastward to a possible future building. Please limit all unnecessary grading and tree removal on the site. Tree removal should be limited to this phase only since future phases may never occur or may occur many years in the future;

Response: There is no grading in the area of the future building. Some grading is shown in the future parking lot, in that some cut is needed for fill material to construct this phase.

- 18) Please clearly show how the existing walking trail is being modified as part of this project. A 2-year maintenance letter of credit will be required to ensure that the trail is properly constructed and maintained;

Response: Additional notes regarding the beginning and end of relocation have been added to the plans.

- 19) Please clearly identify the required aquatic buffer on all applicable plan sheets;

Response: The 100year flood plain limit is beyond 25ft from the top of bank, so it is the overriding aquatic buffer per town ordinance. It is shown and marked as such on grading and erosion control plans.

- 20) The Town requires a 4-foot (freeboard) elevation above the base flood elevation. Please update all applicable plan sheets;

Response: A note regarding the base flood and the minimum finished floors has been added to sheet C3.0

- 21) It appears that the developers will be replatting the walking trail easement. Additional ROW along substandard width sections of Grigsby Chapel Road will need to be dedicated as part of the replatting process;

Response: Noted

- 22) Note 1 on the tree preservation plan sheet indicates no environmentally sensitive area, however, there is a stream and floodplains on the site. Please revise note;

Response: Note has been revised to include the stream and floodplains.

- 23) The Architectural elevations are not sealed and the architect's name is not listed;

Response: See letter from Barry Byrd Architecture.

- 24) The required address posting location on the building elevations is not shown;
Response: See letter from Barry Byrd Architecture.
- 25) The Town's building height requirements are measured to the midpoint of the roof in pitched roofs. Please update the building elevations accordingly;
Response: See letter from Barry Byrd Architecture.
- 26) No grading or disturbance is permitted within tree covered portions of the required 25 foot buffer strip;
Response: Portion of the 25ft buffer strip where grading is shown has no existing trees of significance.
- 27) Though it may be helpful for your planning purposes, please remove the future phase information from all sheets. Requirements may change over time and approval at this time is only for this phase;
Response: Future building and parking have been removed from this set.
- 28) Please ensure that all requirements associated with compact car spaces, as provided for in the Parking and Loading Section of the Zoning Ordinance, are met;
Response: I believe all requirements for compact spaces are met.
- 29) Please number the architectural sheets sequentially with the remaining sheets;
Response: See letter from Barry Byrd Architecture.
- 30) Please note that when this goes to the Planning Commission you will need to bring a color and materials board;
Response: Noted
- 31) Why does the elevation sheet show a 2-story building? The plans only indicate a 1-story building is proposed;
Response: Proposed building is a 1 story building with façade elements that give the appearance of a second story.

Stormwater Division: (Contact Lori Saal at lsaal@townoffarragut.org)

- 32) Per the TN Construction General Permit (CGP), identify and outline the construction buffer zones within the project boundary. Please include even if the buffer area is to remain undisturbed.
Response: Buffer zones per the CGP have been added to the SWPPP plan sheets.
- 33) Per the Town of Farragut Aquatic Buffer Ordinance, please identify the permanent riparian buffer on stream sections within the property.
Response: The 100year flood plain limit is beyond 25ft from the top of bank, so it is the overriding aquatic buffer per town ordinance. It is shown and marked as such on grading and erosion control plans.
- 34) Per the CGP, please clearly identify the locations of areas planned for stabilization

Response: Areas for stabilization are noted on C2.4. All areas within the LOD are to be stabilized, by pavement, or vegetation. Areas receiving matting are depicted with hatching.

- 35) Please reference the TDEC EPSC manual for installation and maintenance of EPSC measures

Response: • “Inspections and System Maintenance” on sheet C2.2 – Bi-Weekly inspections by individual with Level 1 certification. Repairing of any BMPs identified as inadequate prior to next rain event or within 7 days after being identified as such. Guidelines as to how an inspection report is to be written to fully describe a situation of deficiency and measures that should be taken to enhance plan effectiveness. Lists specific items that are to be evaluated during an inspection, such as, locations of construction vehicle entry/exit, sediment barriers, traps, and basins, all disturbed areas, grassed areas, and discharge points..

- 36) Please include a note regarding long-term maintenance of stormwater control measures

Response: Note on sheets C2.2-C2.4 that states “The owner is responsible for the installation and maintenance of construction site pollution prevention controls throughout the life of the project.”

- 37) Per CGP, please include a note regarding rain gauge and daily rainfall records to be kept on site

Response: Note for installation of Rain Gauge and record of rainfall added to C2.2

- 38) North Fork Turkey Creek is considered an environmentally-sensitive area. Please alter Note 1 on sheet C2.1

Response: Note has been modified.

- 39) Please show inlet protection on Sheet C2.5

Response: Details for all proposed inlet protections are shown on C2.5

Engineering Division: (Contact Darryl Smith at dsmith@townoffarragut.org)

- 40) The stormwater system must reflect the changes resulting from Comment #16 above.

Please specifically address the LID's that will be used to fulfill this requirement. Any drainage calculations will have to describe outfall structures shown in the plans. If still applicable after Comment #16 is addressed, please revise the last line in “Storm Basin System” (Site Information and Assumptions): “The underground system discharges to an existing storm system along Kingston Pike and to the ditch on the north side of the site.”;

Response: Grading and Drainage plan has been modified as a result of note 16. The pervious pavement strip has been added along the western curb, and additional landscape islands included. The erroneous discharge note has been modified.

- 41) All storm pipes must be concrete and a minimum of 18 inches in diameter;

Response: 15” pipes have been eliminated and all pipes noted as RCP.

42) Will gas be available on this site? Please show on Utility Plan;

Response: TBD did not get location of existing gas prior to re-submittal date.

43) Please submit an irrevocable letter of credit for erosion control for \$15,000;

44) Drainage Fee will be based upon additional (new) area of impervious surfaces. Please indicate on plans; and

Response: Area plan shows breakdown of existing and proposed impervious surfaces.

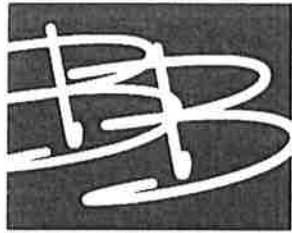
45) Please submit NOC.

Response: We will submit an NOC to TDEC and provide a copy to you.

Sincerely,



Grant C. Berry, P.E.



**BARRY BYRD
ARCHITECTURE**

RECEIVED

JUN 11 2018

Town of Farragut

June 11, 2018

Mark Shipley AICP
Community Development Director
Town of Farragut, TN
11408 Municipal Center Dr
Farragut, TN 37922

RE: Grigsby Chapel Offices
11416 Grigsby Chapel Road

Thank you for your review of the Grigsby Chapel Offices project as listed above. Per your request, I am enclosing a response to the Architectural Items Only as listed in your review of the above referenced project. I have addressed each item corresponding to the order of your review. Other items are being addressed by SITE Inc. The Architectural items are as follows:

FIRE DIVISION :

1. *The fire department connection is shown on the left front of the building.*
3. *The building should be classified as Business classification.*

PLANNING DIVISION :

14. *HVAC equipment will be located on the flat roof portion of the building which will be screened from view by the Shingle roof portions of the building.*
23. *The building elevations are now signed and sealed .*

Grigsby Chapel Rd
June 11, 2018
Page 2

29. *The architectural sheets have been re-numbered to be sequential in the set.*

I hope this information satisfies your requirements for the Architectural portion of this project. I appreciate your review on this project and look forward to working with you as this building moves forward. If you have any additional questions or need further information, please don't hesitate to call.

Sincerely,

BARRY BYRD ARCHITECTURE



Barry Alan Byrd



VICINITY MAP

N.T.S.

Site Development Plans for Grigsby Chapel Offices

11416 Grigsby Chapel Road

Farragut, Tennessee

Drawing List

C0.0	Cover Sheet	06/11/18
C1.0	Boundary and Topographical Survey	03/19/18
TREE	Tree Inventory	03/19/18
C2.0	Site Area Plan	06/11/18
C2.1	Tree Preservation and Removal Plan	06/11/18
C2.2	Storm Water Pollution Prevention Plan - Notes	06/11/18
C2.3	Storm Water Pollution Prevention Plan - Stage I	06/11/18
C2.4	Storm Water Pollution Prevention Plan - Stage II	06/11/18
C2.5	Storm Water Pollution Prevention Plan - Details	05/21/18
C2.6	Storm Water Pollution Prevention Plan - Details	05/21/18
C3.0	Site Grading and Drainage Plan	06/11/18
C4.0	Site Layout Plan	06/11/18
C5.0	Site Utility Plan	06/11/18
C6.0	Site Photometric Plan	06/08/18
C7.0	Site Landscaping Plan	06/11/18
C8.0	Site Grading Details	06/11/18
C8.1	Site Grading Details	05/21/18
C8.2	Site Layout Details	06/11/18
C8.3	Site Utility Details	05/21/18
C8.4	Line of Sight Plan	06/11/18
A5.1	Exterior Elevations	04/16/18
--	Color Exterior Elevations	04/15/18



CONTRACTOR SHALL HAVE AN APPROVED STAMPED AND SIGNED COPY OF THE SITE PLANS ON SITE TO WORK FROM.

DISTRICT: PW
CLT MAP: 142
PARCELS: 104, 104.01
ZONE: O-1-3, O-SP

DEVELOPER:
G&G GRIGSBY CHAPEL
PARTNERSHIP, LLC
11800 KINGSTON PIKE
KNOXVILLE, TN 37934
865-675-0022

PROPERTY OWNER:
G&G GRIGSBY CHAPEL
PARTNERSHIP, LLC
11800 KINGSTON PIKE
KNOXVILLE, TN 37934
865-675-0022

ENGINEERS:
SITE, INCORPORATED
10215 TECHNOLOGY DRIVE, SUITE 304
KNOXVILLE, TN 37832
PHONE: 865-777-4160
EOR: GRANT C. BERRY

SURVEYORS:
SITE, INCORPORATED
10215 TECHNOLOGY DRIVE, SUITE 304
KNOXVILLE, TN 37832
PHONE: 865-777-4160

ARCHITECTS:
BARRY BYRD ARCHITECTURE
P.O. BOX 5482
KNOXVILLE, TN 37928
(865) 597-6500

BUILDING CONSTRUCTION TYPE: II-B
1 HR PROTECTED: TENANT SEPARATION WALLS
ONLY
SPRINKLERED: YES
OCCUPANCY TYPE: GROUP "B"

RECEIVED
JUN 11 2018
TOWN OF FARRAGUT



Site Cover Sheet

Grigsby Chapel Offices
11416 Grigsby Chapel Road
Farragut, Tennessee 37934
G&G Grigsby Chapel Partnership, LLC.

CONTACTS

WATER & SANITARY SEWER

FIRST UTILITY DISTRICT OF KNOX COUNTY
122 DUNWOOD ROAD
KNOXVILLE, TENNESSEE 37922
CONTACT: TROY WEDEKIND
PHONE: (865) 958-9741
FAX: (865) 675-4955

GAS

KNOXVILLE UTILITIES BOARD
4505 MIDDLEBROOK PIKE
KNOXVILLE, TENNESSEE 37919
CONTACT: NEW SERVICE DEPARTMENT
PHONE: (865) 958-2555

TELEPHONE

TDS TELECOM
701 CONCORD ROAD
KNOXVILLE, TENNESSEE 37833
CONTACT: TOM HATZ
PHONE: (865) 671-4596
FAX: (865) 671-4595

ELECTRIC

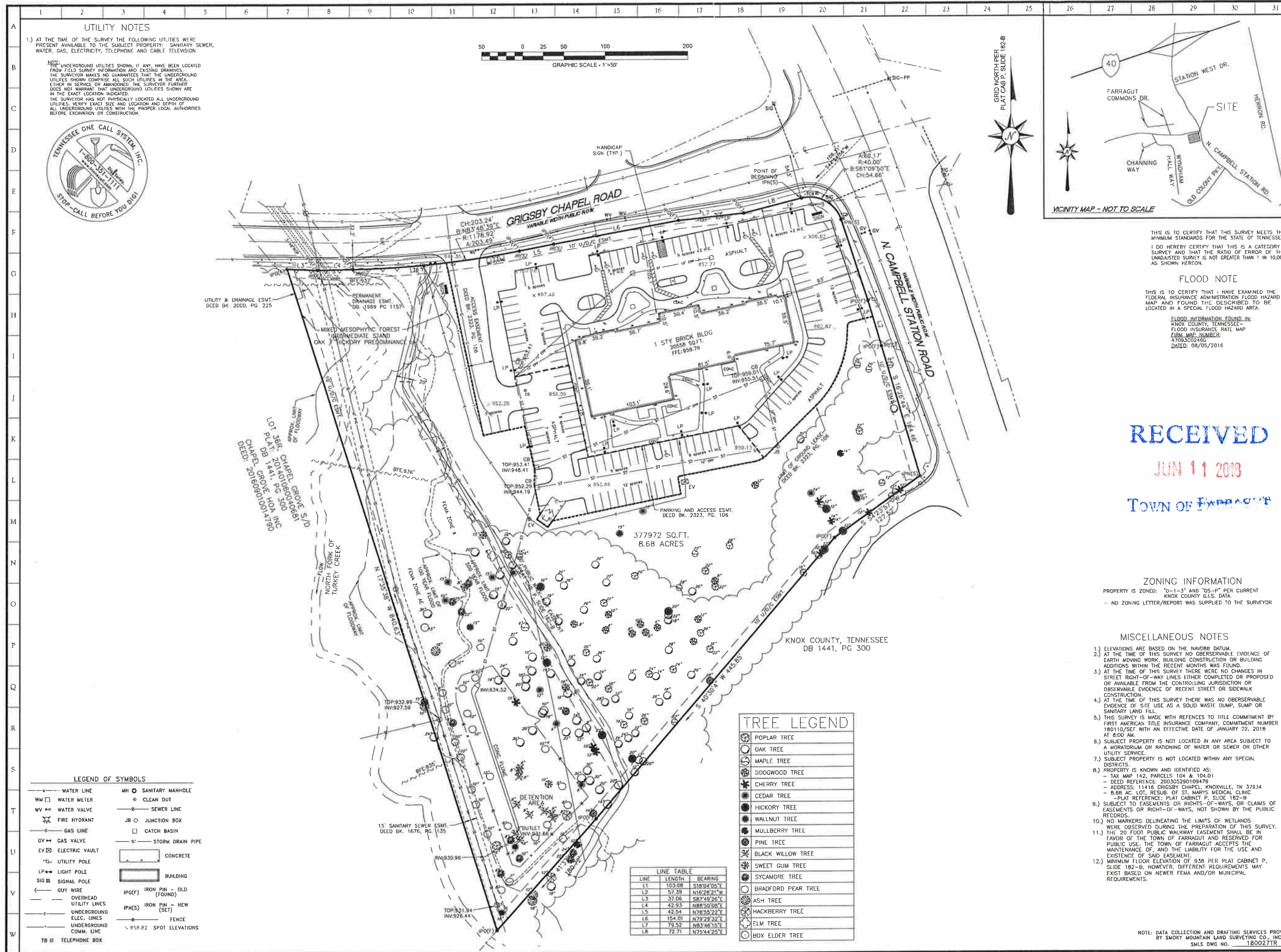
LENOIR CITY UTILITIES BOARD
200 EAST DEPOT
LENOIR CITY, TENNESSEE 37771
CONTACT: JAY HINES
PHONE: (865) 966-8591
FAX: (865) 966-0005

STORM WATER

TOWN OF FARRAGUT
11408 MUNICIPAL CENTER DRIVE
FARRAGUT, TENNESSEE 37934
CONTACT: DARRYL SMITH
PHONE: (865) 966-7057
FAX: (865) 966-2096

DATE: 04/16/18	DESIGN: 1971-Cover
CHECKED BY: JRA	FILED: 1971-Cover
NO. DATE COMMENTS	
1 06/11/18 Revised Per Town Comments	

C0.0
SHEET 1 OF 22

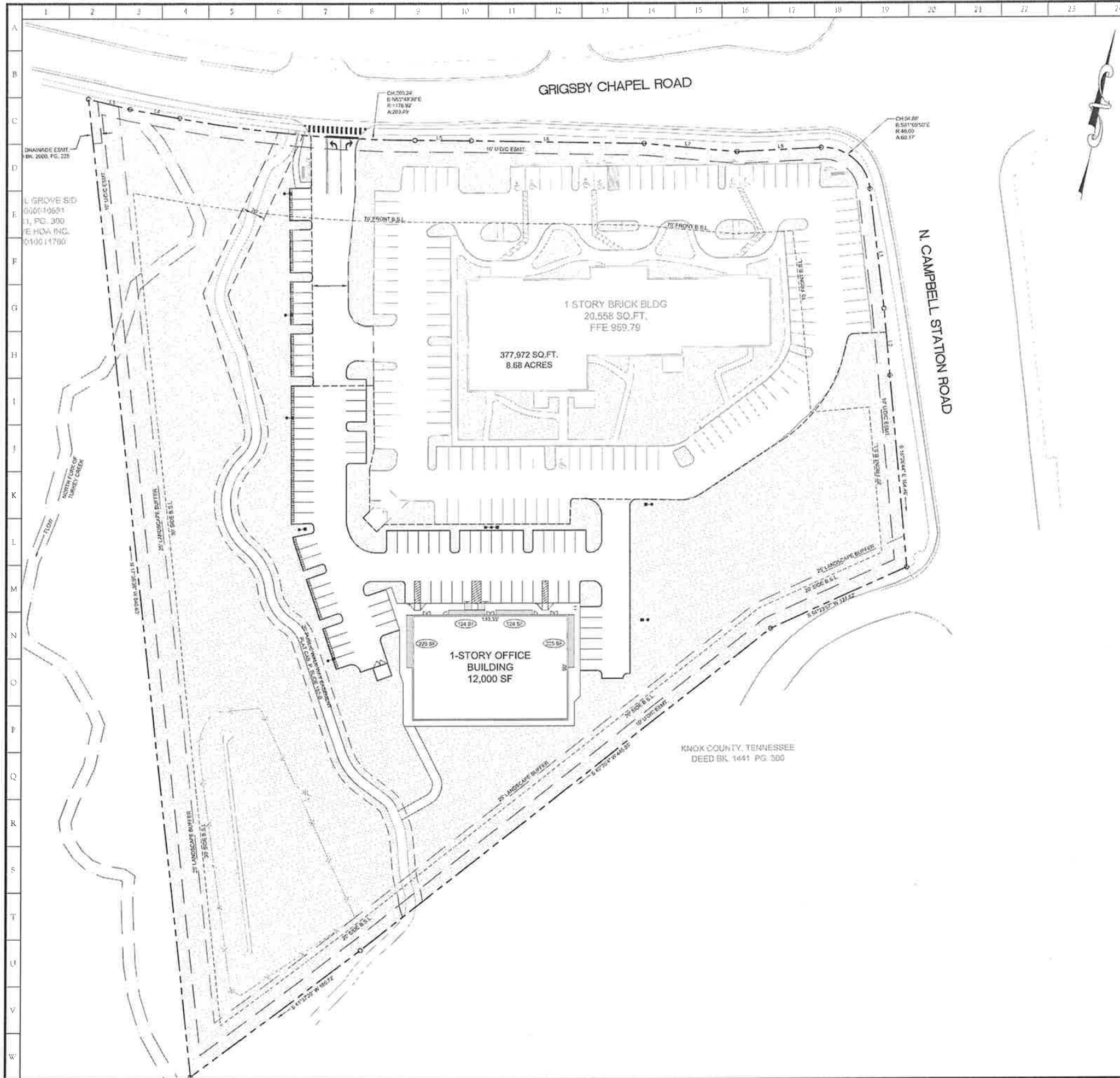


SMITH INCORPORATED
Civil Engineers & Surveyors
10215 Technology Drive, Suite 304
Knoxville, TN 37932
Phone: (865) 777-4160
www.smithincorporated.com



Tree Inventory for
M & M Development Co., Inc.
Grigsby Chapel Rd. & N. Campbell Station Rd.
Civil District No. 6 of Knox County, Tennessee
Town of Farragut

DATE: 03/19/2018
FILE: 1006
REVISIONS
NO. DATE COMMENTS
TREE
SHEET 3 OF 22



SITE AREA DATA	
TOTAL SITE AREA	377,972 SF (8.68 ACRES)
PERVIOUS AREA	222,842 SF
EXISTING IMPERVIOUS AREA	107,340 SF
NEW PROPOSED IMPERVIOUS AREA	47,990 SF
TOTAL IMPERVIOUS AREA	155,330 SF
LOT COVERAGE	41.10%
TOTAL LENGTH OF BUILDING FACING PARKING OR VEHICULAR DRIVE	282 LF
BUILDING LANDSCAPE AREA REQUIRED (2.5 x 252)	630 SF
BUILDING LANDSCAPE AREA PROVIDED	688 SF

LEGEND	
PROPERTY LINE	---
BUILDING SETBACK LINE	---
EASEMENT LINE	---
PROPOSED CURB	---
EXISTING FEATURES ARE SCREENED	



Site Area Plan

Grigsby Chapel Offices
11422 Grigsby Chapel Road
Farragut, Tennessee 37934
G&G Grigsby Chapel Partnership, LLC.

Drawn By: DOB

Date: 05/21/16

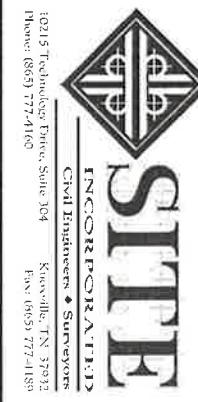
Checked By: JEA

File: 1971-Layout

REVISIONS

NO.	DATE	COMMENTS
1	06/01/16	Revised per Town Comments

GRAPHIC SCALE
(IN FEET)
1 inch = 40 ft

[illegible]

THE PRESERVATION NOTES.

1. NORTH FORK RIVER CREEK IS DESIGNATED AS AN ENVIRONMENTALLY-SENSITIVE AREA.

2. THE PROTECTION FENCING WILL BE RELOCATED AS SHOWN ON THE PLAN PRIOR TO THE ISSUANCE OF A CHANGING PERMIT. THE PROPOSED LIMIT OF DISTURBANCE MAY BE DETERMINED BY THE FIELD EXPLORATION PERSONNEL. THE TOWN STAFF AND THE PLANNING COMMISSIONER TO ASSURE THE EXISTING CONTRACTORS, THE TOWN STAFF AND THE PLANNING COMMISSIONER TO ASSURE THE EXISTING CONTRACTORS.

3. THE LOCATION OF THE PROTECTIVE FENCING THAT MAY BE RELOCATED BY THE TOWN OF FARMINGTON WILL RESULT IN A STOP WORK ORDER FOR THE ENTIRE PROJECT.

4. ALL TEMPORARY CONSTRUCTION ACTIVITIES INCLUDING, BUT NOT LIMITED TO, STORAGE OF EQUIPMENT, WORKER PARKING, AND BURN HOPES, SHALL BE CONTAINED WITHIN THE PROPOSED LIMIT OF DISTURBANCE.

5. NO ACTIVITY OR STORAGE OF ANY MATERIALS OR VEHICLES SHALL BE PERMITTED WITHIN THE AREA BOUNDED BY THE PROTECTION FENCING.

6. ANY SPECIAL MEASURES, INCLUDING BUT NOT LIMITED TO, ROOT PRUNING OR MULCHED ASIDE WAYS, WILL BE REQUIRED TO SAVE ANY OF THE TREES THAT ARE THE PROPOSED AREA OF DISTURBANCE. MEASURES TO BE TAKEN BY THE TOWN OF FARMINGTON PRIOR TO ANY SPECIAL MEASURES REQUIRED MUST BE APPROVED BY THE TOWN OF FARMINGTON.

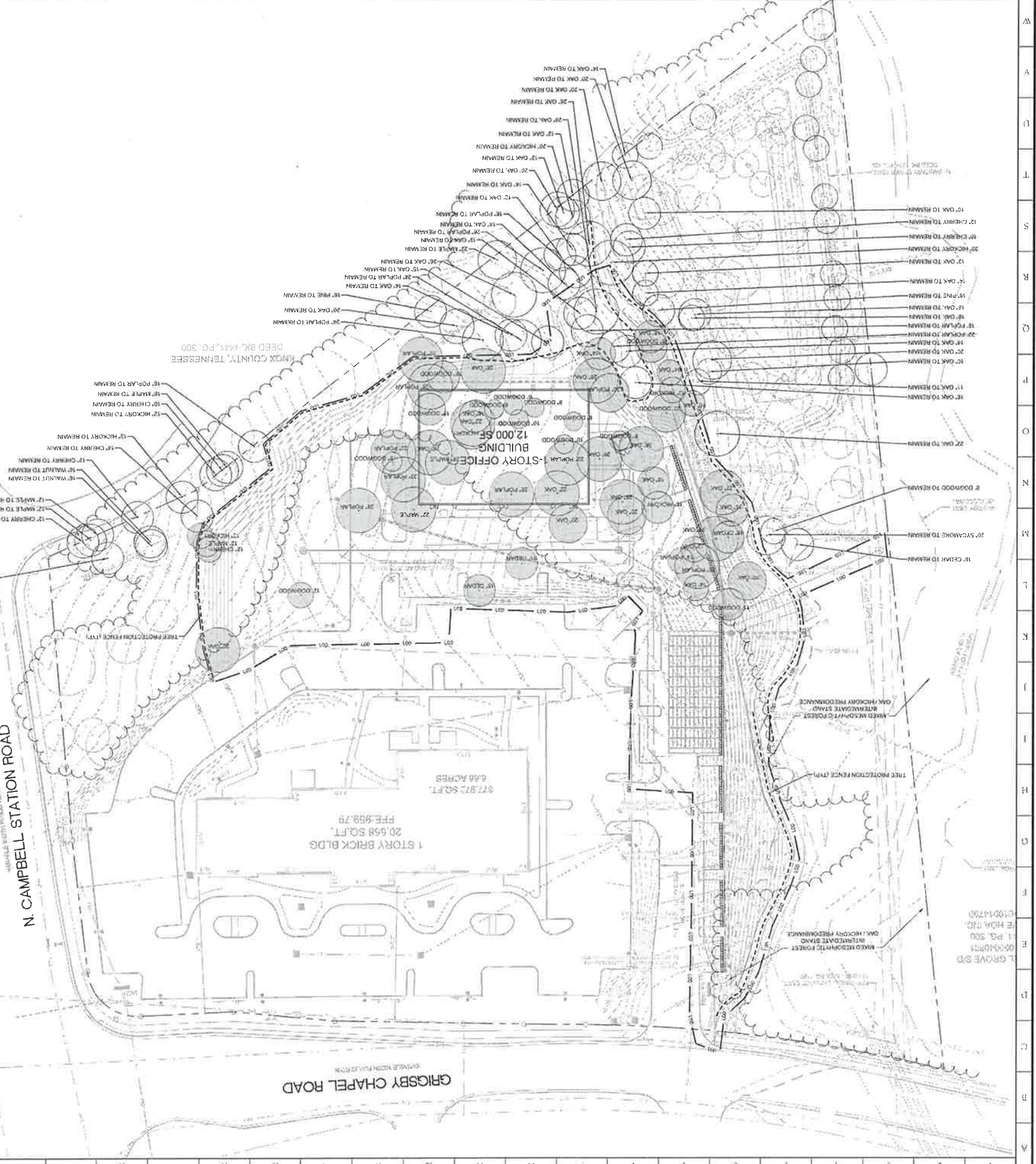
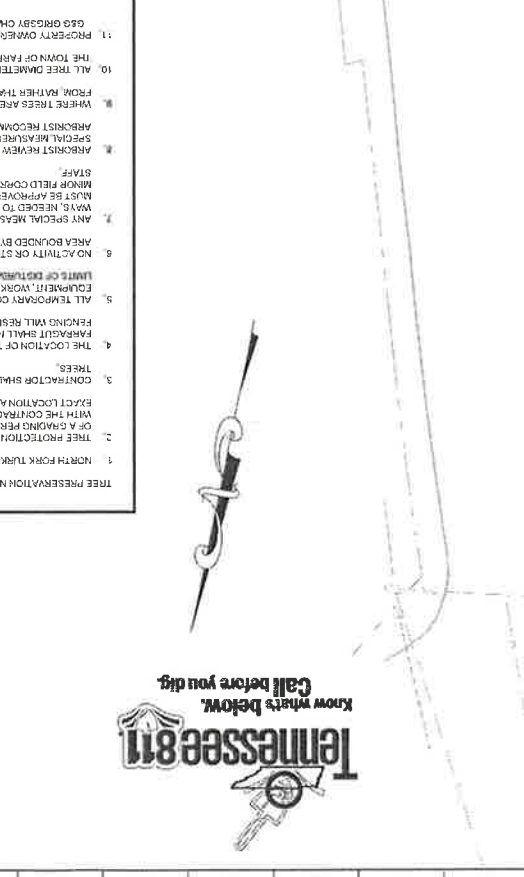
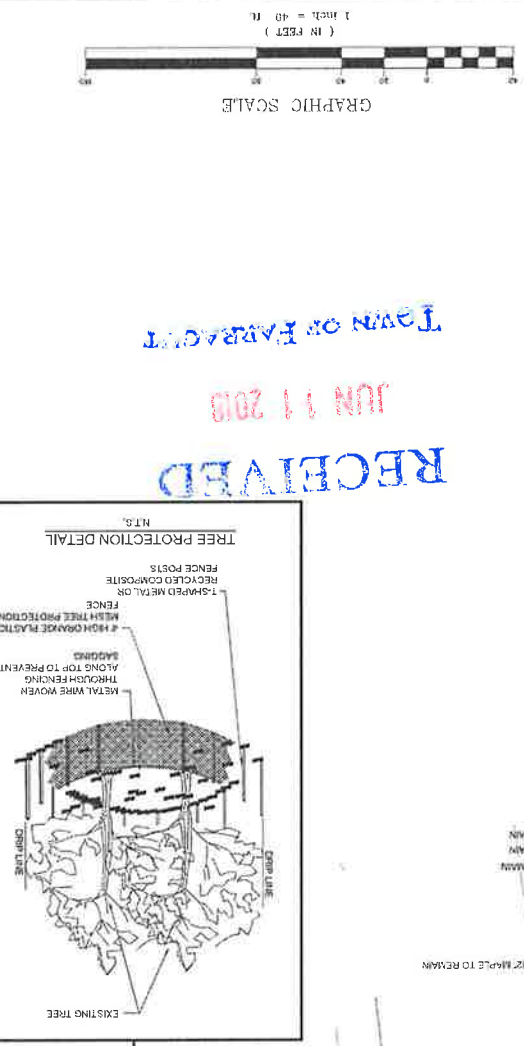
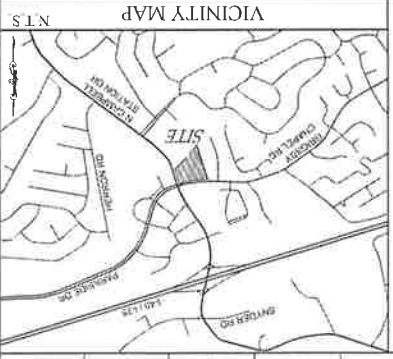
7. STAFF

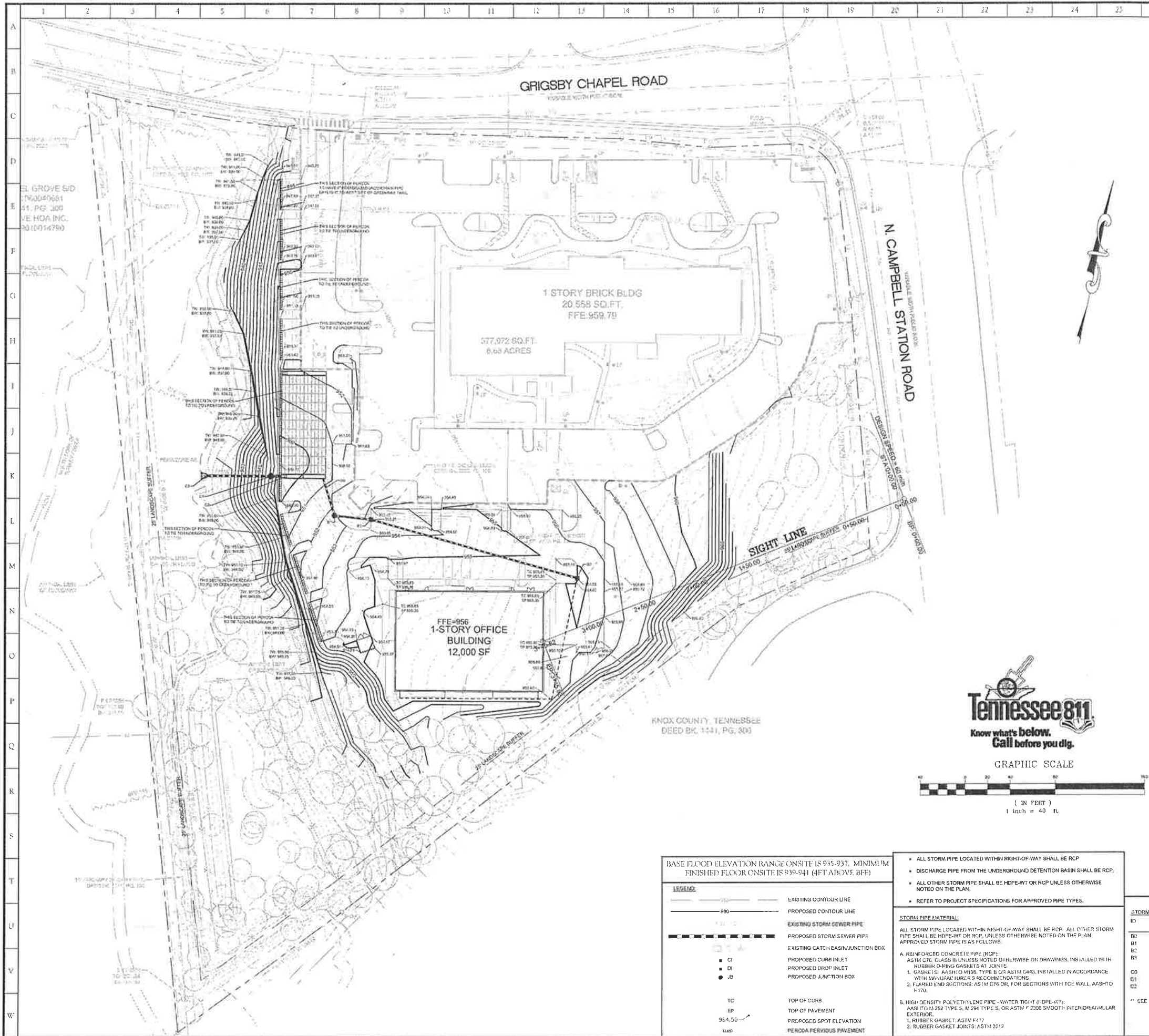
8. AN ARBOSTORUS MEMBER MAY BE RELOCATED BY THE TOWN OF FARMINGTON IF IT IS DETERMINED THAT SPECIAL MEASURES CAN BE REQUIRED TO SAVE A TREES, A DURING A PERIOD TO BE DETERMINED. ARBOSTORUS RECOMMENDATIONS, IF REQUIRED, WILL BE ADDED AS ADDENDUM TO THIS PLAN.

9. WHERE TREES ARE TO BE REMOVED, SUCH TREES SHALL BE PLACED ON A SHALL BE FENCED AWAY FROM ALL OTHER TREES AND PLANTS. TREES AND PLANTS ARE TO BE PRESERVED.

10. ALL TREE DIMENSIONS SHOWN ON THIS PLAN ASSUMED AT 4'-6" ABOVE GROUND AS REQUIRED BY THE TOWN OF FARMINGTON TREE PROTECTION ORDINANCE.

11. PROPERTY OWNER
GAS GRASSY CHAPPEL PARTNERSHIP, LLC.





STRIPPING AND COMPACTION SCHEDULE
TOPSOIL STRIPPING DEPTH 2'-4" AVERAGE, DEEPER IF REQUIRED LOCALLY.
REQUIRED COMPACTION PERCENTAGES (% MAX DRY DENSITY)
STANDARD PROCTOR TEST METHOD ASTM TEST # D-698
PAVED AREA 95%
TESTING:
ALLOW 1 COMPACTION TEST PER EA, 2500 S.F. (MAX 5' X 50' AREA) PER LIFT AT BUILDING AREAS.
ALLOW 1 COMPACTION TEST PER EA, 2500 S.F. (MAX 75' X 75' AREA) PER LIFT AT PARKING AREA.
ALLOW 1 COMPACTION TEST PER EACH 40,000 S.F. OF CUT OR NATURAL GRADE AT BUILDING AREA.
ALLOW 1 COMPACTION TEST PER EACH 40,000 S.F. OF CUT OR NATURAL GRADE AT PARKING AREA.
MAXIMUM LOOSE LIFT THICKNESS SHALL BE 8" UNLESS NOTED OTHERWISE.

- SITE GRADING NOTES**
1. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY. CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITY COMPANIES AND PAY ALL FEES.
 2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. THE CONTRACTOR SHALL RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANIES AND PAY ALL FEES.
 3. THE CONTRACTOR SHALL REPAIR AND/OR REPLACE ANY EXISTING STRUCTURES THAT ARE DAMAGED DURING, AND AS A RESULT OF, CONSTRUCTION. REPAIRS AND/OR REPLACEMENTS SHALL BE MADE AS NECESSARY TO RETURN THE DAMAGED STRUCTURE(S) TO ORIGINAL OR BETTER CONDITION. REPAIRS AND/OR REPLACEMENTS SHALL BE AT THE CONTRACTOR'S EXPENSE.
 4. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.D.E.S. PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
 5. EXISTING AND PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT.
 6. ALL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
 7. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATIONS SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL GRASS DISTURBED AREAS PER GRASSING SCHEDULE UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
 8. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
 9. CONTRACTOR SHALL ADJUST AND/OR SAW CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
 10. TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY BY SITE, INCORPORATED, DATED 3/19/18. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
 11. CONTRACTOR SHALL INSPECT, REPAIR, AND CLEAN ALL EXISTING DRAINAGE STRUCTURES AND PIPING. ALL SEDIMENT AND DEBRIS SHALL BE REMOVED.
 12. ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED.
 13. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT AND SHALL HAVE TRAFFIC BEARING RINGS & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6 INCHES ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER".
 14. ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT.
 15. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
 16. MINIMUM COVER FROM TOP OF PIPE TO FINISH GRADE SHALL BE 2 FEET.
 17. HEADWALLS SHALL BE CONSTRUCTED AND/OR INSTALLED IMMEDIATELY FOLLOWING INSTALLATION OF PIPE TO MINIMIZE POSSIBLE PIPE DAMAGE AND FACILITATE FINAL GRADING.
 18. RIP-RAP STONE FOR EROSION PROTECTION SHALL BE PROVIDED AT ALL STORMWATER DISCHARGE LOCATIONS.
 19. WATER, SEWER, AND STORM LINES SHALL BE KEPT 10 FEET APART HORIZONTALLY AND 18 INCHES APART VERTICALLY WHEN CROSSING (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE), UNLESS NOTED OTHERWISE.
 20. WHEN CROSSING, WATER LINES SHALL BE CONSTRUCTED ABOVE SEWER LINES AND STORM LINES, UNLESS A LACK OF DEPTH ABOVE THE SEWER OR STORM LINE NECESSITATES CONSTRUCTION OF WATER LINES BENEATH SEWER LINES OR STORM LINES. IN THE EVENT OF A VERTICAL CONFLICT, THE FOLLOWING MODIFICATIONS MUST OCCUR:
-SEWER LINES SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF THE CROSSING.
-STORM LINES SHALL HAVE "ORING" GASKETS WITH HUGGER BAND COUPLING AT LEAST 10 FEET ON BOTH SIDES OF THE CROSSING.
-WATER LINES SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AND APPROPRIATE THRUST BLOCKING MEETING THE REQUIREMENTS OF ANSI 21.10 OR 21.11 (AWWA C-15) CLASS 50.
- ALL ELEVATIONS (RIM, THROAT, GRATE, TOP) AT STORM STRUCTURES ARE INTENDED TO INDICATE FLOW LINE ELEVATIONS
- REFER TO SHEETS C3.0 AND C8.1 FOR GRADING AND DRAINAGE DETAILS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EARTHWORK REQUIRED TO PREPARE THE UNCLASSIFIED SITE, TO THE LINES AND GRADINGS AS SHOWN ON THESE PLANS. THIS INCLUDES, BUT IS NOT LIMITED TO, ANY QUANTITY OF IMPORT OR EXPORT OF STRUCTURAL FILL AND/OR DISPOSAL OF UNSUITABLE MATERIAL, AS REQUIRED. ALL COSTS SHALL BE INCLUDED IN OVERALL BASE BID. ALL EXCAVATION SHALL BE CONSIDERED UNCLASSIFIED.

STORM STRUCTURE SCHEDULE	
TYPE	USE
WQ	NEENH R-100
WQ	AT 4" DIAMETER DOWNSTREAM DEFENDER
WQ	11" 6" DIAMETER DOWNSTREAM DEFENDER
DI	24" NYLOPLAST DRAIN BASIN WITH 24" GRATE
CI	24" NYLOPLAST CURB INLET WITH GRATE
WQ	TELE-MARCH DETENTION SEE DETAILS
WQ	ENERGY DISSIPATING HEADWALL
OS	OUTLET STRUCTURE - SEE DETAILS
WQ	JUNCTION BOX
WQ	WATER QUALITY DEVICE
WQ	DROP INLET
WQ	CURB INLET
WQ	UNDERGROUND DETENTION
WQ	HEADWALL
WQ	HEADWALL

STORM WATER PIPES AND STRUCTURES	
STORM PIPE TABLE	
ID	Type
B2	UCD
B3	WQ
B4	CI
B5	CI
B6	CI
B7	WQ
B8	WQ
B9	WQ
B10	WQ
B11	WQ
B12	WQ
B13	WQ
B14	WQ
B15	WQ
B16	WQ
B17	WQ
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B97	WQ
B98	WQ
B99	WQ
B100	WQ

BASE FLOOD ELEVATION RANGE ONSITE IS 935-937. MINIMUM FINISHED FLOOR ONSITE IS 939-941 (4FT ABOVE BFE)

LEGEND:

- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- EXISTING STORM SEWER PIPE
- PROPOSED STORM SEWER PIPE
- EXISTING CATCH BASIN/JUNCTION BOX
- PROPOSED CATCH BASIN/JUNCTION BOX
- PROPOSED CURB INLET
- PROPOSED DROP INLET
- PROPOSED JUNCTION BOX
- TOP OF CURB
- TOP OF PAVEMENT
- PROPOSED SPOT ELEVATION
- PERIODIC PAVEMENT

ALL STORM PIPE LOCATED WITHIN RIGHT-OF-WAY SHALL BE RCP.

DISCHARGE PIPE FROM THE UNDERGROUND DETENTION BASIN SHALL BE RCP.

ALL OTHER STORM PIPE SHALL BE HDPE-WT OR RCP UNLESS OTHERWISE NOTED ON THE PLAN.

REFER TO PROJECT SPECIFICATIONS FOR APPROVED PIPE TYPES.

STORM PIPE MATERIAL:

ALL STORM PIPE LOCATED WITHIN RIGHT-OF-WAY SHALL BE RCP. ALL OTHER STORM PIPE SHALL BE HDPE-WT OR RCP UNLESS OTHERWISE NOTED ON THE PLAN.

APPROVED STORM PIPE IS AS FOLLOWS:

A. REINFORCED CONCRETE PIPE (RCP):
ASTM C76 CLASS II UNLESS NOTED OTHERWISE ON DRAWINGS. INSTALLED WITH RUBBER O-RING GASKETS AT JOINTS.
1. GASKETS: ASHITO M108 TYPE B OR ASTM G433, INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
2. FLARED END SECTIONS: ASTM C76 OR, FOR SECTIONS WITH TCE WALL, ASHITO H170.

B. HIGH-DENSITY POLYETHYLENE PIPE - WATER TIGHT (HDPE-WT):
ASHITO M 252 TYPE S, M 294 TYPE S, OR ASTM F 2306 SMOOTH INTERIOR/ANULAR EXTERIOR.
1. RUBBER GASKET: ASTM F477
2. RUBBER GASKET JOINTS: ASTM D2142



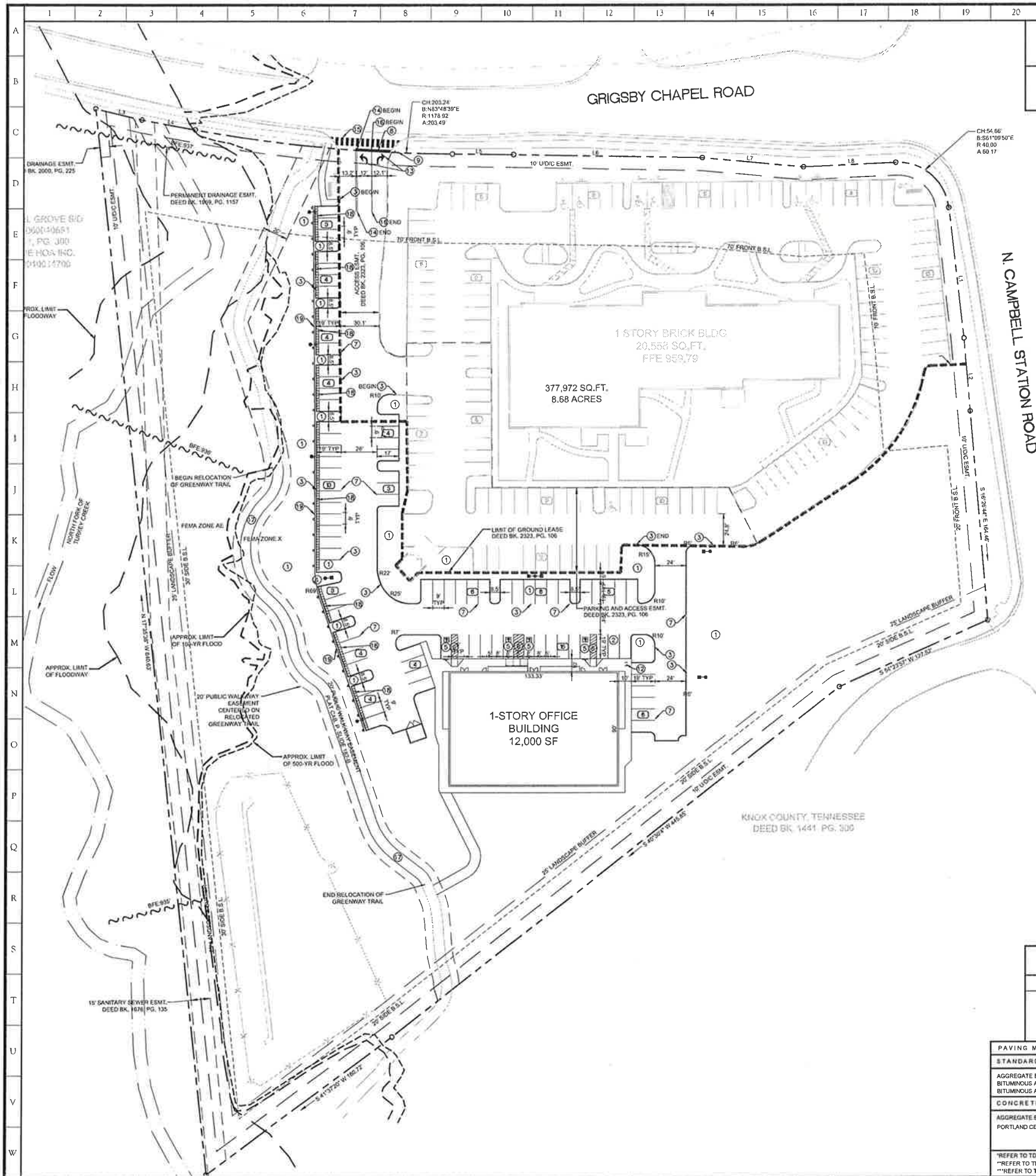
RECEIVED JUN 11 2018

TOWN OF FARRAGUT

Site Grading and Drainage Plan
Grigsby Chapel Offices
11422 Grigsby Chapel Road
Farragut, Tennessee 37934
G&G Grigsby Chapel Partnership, LLC.

REVISIONS	
NO.	DATE
1	06/11/18
2	06/11/18
3	06/11/18
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C3.0
SHEET 11 OF 22



HVAC SYSTEMS, ANTENNAS, AND SATELLITE DISHES SHALL BE LOCATED ON THE ROOF AND WILL BE SCREENED SO THAT THEY ARE NOT VISIBLE FROM ADJACENT PROPERTIES AND RIGHT-OF-WAYS PER TOWN OF FARRAGUT REQUIREMENTS

ALL DIMENSIONS ARE TO FACE OF CURB OR FACE OF BUILDING UNLESS NOTED WITH AN *. ALL DIMENSIONS NOTES WITH AN * ARE MEASURED BACK OF CURB TO BACK OF CURB

- SITE PLAN NOTES:**
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
 - ALL DISTURBED AREAS NOT BUILT NOR PAVED UPON ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH, AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
 - ALL DIMENSIONS AND RADII ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - EXISTING STRUCTURES WITHIN THE CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED, OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO ALL UTILITIES, STORM DRAINAGE, SIGNS, FENCING, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
 - SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION WAS TAKEN FROM A SURVEY BY SITE, INCORPORATED DATED 3/18/18.
 - THE SITEWORK FOR THIS PROJECT SHALL MEET OR EXCEED THE SITE WORK SPECIFICATIONS. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.

- SITE PAVING NOTES:**
- PAVING ELEVATION TOLERANCE**
FINAL SUBGRADE SHALL BE INSPECTED BY PAVING CONTRACTOR FOR REQUIRED ELEVATION AND ADEQUATE COMPACTION BEFORE COMMENCING ANY PAVING ACTIVITY. PAVING ELEVATION SHALL NOT HAVE MORE THAN 10 INCHES OF VARIATION IN ANY 10 INCHES.
- PAVING THICKNESS TOLERANCE**
PAVING THICKNESS AT ANY ONE CORE SHALL NOT BE LESS THAN 90% OF SPECIFIED THICKNESS. THE AVERAGE OF ALL APPROVED TESTS MUST BE AT LEAST EQUAL TO THE SPECIFIED THICKNESS FOR EACH MATERIAL. NOT MORE THAN 20% OF ALL APPROVED TEST MAY FALL BELOW SPECIFIED MINIMUM. ANY AREA FOUND TO BE LESS THAN 90% SPECIFIED THICKNESS SHALL BE OVERLAIN WITH ASPHALT AS DIRECTED BY SITE, INC.
- TESTING DURING PLACEMENT**
GENERAL CONTRACTOR SHALL PERFORM SEVERAL SPOT CHECKS OF PAVING BASE THICKNESS PRIOR TO INSTALLATION OF ANY ASPHALTIC OR CONCRETE PAVING. DENSITY TESTS SHALL BE PERFORMED ON EACH LIFT AT THE RATE OF ONE TEST PER 10,000 SQUARE FEET.
- CONTRACTOR SHALL PROVIDE FOR TESTING OF COMPLETED PAVING INSTALLATION FOR COMPLIANCE WITH DESIGN CRITERIA AND REQUIRED THICKNESS. CONTRACTOR SHALL REPLACE ALL NON-CONFORMING MATERIAL AT HIS OWN EXPENSE.
- TESTING SHALL BE PERFORMED ONLY BY AN INDEPENDENT TESTING AGENT APPROVED BY SITE, INC. TEST HOLES NOT SPOTTED BY SITE, INC. MAY NOT BE CONSIDERED ACCEPTABLE.
- ALLOW A MINIMUM OF SIXTEEN CORE TESTS TO BE LOCATED ONLY BY WRITTEN INSTRUCTIONS BY SITE, INC.
- THE PAVING CONTRACTOR SHALL REPAIR ALL CORING HOLES BY FILLING HOLES WITH CONCRETE FLUSH TO TOP OF PAVEMENT.

ASPHALTIC PAVING MATERIALS
MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE SPECIFICATION OF THE HIGHWAY DEPARTMENT OF THE STATE IN WHICH THE PROJECT IS LOCATED. REFER TO PAVING MATERIALS LEGEND.

CONCRETE
CONCRETE CURBING SHALL BE 4000 PSI 28 DAY STRENGTH 2'-3" SLUMP, (NO CURB DEFORMATION) 3% - 5% AIR ENTRAINED. INSTALL WITH RC-70 TACK COAT EMULSION OVER ASPHALT.

PROVIDE CYLINDER BREAK TEST - 3500 L.F. OF CURBING OR 1-DAY POUR WITH BREAKS - 1 @ 2 DAYS, 2 @ 28 DAYS. COMPLY WITH ASTM C-31 AND ASTM C-39. ALSO PROVIDE ONE SLUMP TEST PER 500 L.F. OF CURBING OR 1-DAY POUR.

PROVIDE EXPANSION JOINT @ 50' O.C. (MAX) AND CONTROL JOINTS @ 20' O.C. (MAX) AT ALL CONCRETE PAVING AREAS. REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.

PAVEMENT MARKING
PROVIDE PAVEMENT MARKING AS SHOWN ON THE DRAWINGS. STRIPING SHALL BE 4" WIDE OR AS NOTED OTHERWISE ON THE PLANS. ALL MARKINGS SHALL BE THERMOPLASTIC AND SHALL MEET THE TENNESSEE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, MARCH 1, 2008 (SECTION B16.23).

CONTRACTOR SHALL REMOVE ALL EXISTING PAVEMENT MARKINGS THAT DO NOT CONFORM TO DOT STANDARDS FOR MODIFIED INTERSECTION.

TEMPORARY PAVEMENT LINE MARKINGS ON INTERMEDIATE LAYERS OF PAVEMENT SHALL BE REFLECTIVE TAPE OR REFLECTORIZED PAINT INSTALLED TO PERMANENT STANDARDS BEFORE DARK HOURS. SHORT, UNMARKED SECTIONS SHALL NOT BE ALLOWED.

ALL MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE MUTCD AND DOT STANDARD DRAWINGS T-4-1 THROUGH T-4-4.

LINE TABLE		
LINE	LENGTH	BEARING
L1	103.06	S18°04'02"E
L2	57.39	N16°28'21"W
L3	37.06	S81°49'26"E
L4	42.50	N85°50'08"E
L5	42.54	N10°18'22"E
L6	154.01	N79°22'27"E
L7	78.52	N85°40'15"E
L8	72.71	N75°44'25"E

PROPERTY DATA:

LOT AREA: 8.68 ACRES

ZONING: O-1-Q, O-3P (TOWN OF FARRAGUT)

BUILDING SETBACKS:
FRONT BUILDING ONLY: 20'
FRONT (W/ PARKING): 10'
SIDE: 50' TOTAL
REAR: NA

VEHICULAR PARKING ANALYSIS (NEW BUILDINGS AND PARKING ON THE PARCELS)

GROSS FLOOR AREA: 12,000 S.F.

REQUIRED PARKING: 4.0 PER 1,000 SF GROSS FLOOR AREA = 48

REQUIRED ACCESSIBLE PARKING: 2

STANDARD SPACES PROVIDED: 77

COMPACT SPACES PROVIDED: 7

ACCESSIBLE (8' X 12') SPACES PROVIDED: 4

TOTAL SPACES PROVIDED: 88

REQUIRED SPACES +10%: 53

SPACES PROVIDED OVER MIN +10%: 35

ADDITIONAL LANDSCAPE ISLANDS REQUIRED: 7

LANDSCAPE ISLANDS REQUIRED (PER STANDARD SPACING): 3

LANDSCAPE ISLANDS PROVIDED: 10

BICYCLE PARKING ANALYSIS (NEW BUILDINGS ONLY)

GROSS FLOOR AREA: 12,000 S.F.

REQUIRED PARKING: 1 PER 5,000 SF GROSS FLOOR AREA = 2

PROVIDED PARKING: 2

ALL WALKING FACILITIES (WALKING TRAILS/SIDEWALKS) MUST BE COORDINATED WITH TOWN STAFF PRIOR TO CONSTRUCTION.

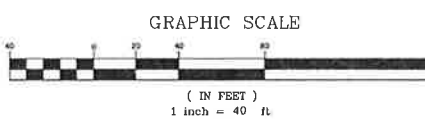
LEGEND

PROPERTY LINE
BUILDING SETBACK LINE
EASEMENT LINE
PROPOSED CURB

EXISTING FEATURES ARE SCREENED

PAVING MATERIALS SCHEDULE		
STANDARD DUTY ASPHALT PAVING		
AGGREGATE BASE COURSE*	6"	DDOT TYPE A, CLASS A & GRADING D
BITUMINOUS ASPHALT BASE MIX**	2"	DDOT GRADING BM
BITUMINOUS ASPHALT SURFACE MIX***	1 1/2"	DDOT GRADING E
CONCRETE PAVING		
AGGREGATE BASE COURSE	4"	DDOT TYPE A, CLASS A & GRADING D
PORTLAND CEMENT CONCRETE	6"	PCC 4000 PSI TYPE I WITH 2 LAYERS 8x8 W/ 6 @ 16.0 W/W/ CONTINUOUS SAVED OR FORMED CONTROL JOINTS AT 15 FOOT BY 15 FOOT SPACING MAX.

*REFER TO DOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", SECTION 903.05
**REFER TO DOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", SECTION 507
***REFER TO DOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", SECTION 411



SITE INCORPORATED
Civil Engineers & Surveyors
10215 Technology Drive, Suite 104
Knoxville, TN 37932
Phone: (605) 777-4160
www.site-incorporated.com



RECEIVED

JUN 11 2018

TOWN OF FARRAGUT

Site Layout Plan
Grigsby Chapel Offices
11416 Grigsby Chapel Road
Farragut, Tennessee 37934
G&G Grigsby Chapel Partnership, LLC.

DR-1 W/01: DOB DATE: 05/21/18
CHECKED BY: JRA FILE: 1971-19904

REVISIONS	
NO.	DATE COMMENTS
1	05/11/18 Revised per Town Comments

C4.0
SHEET 2 OF 22

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on a request for approval of a site plan for Phase II of the Little Turkey Creek Commons retail shops, 12500-12584 Kingston Pike, 11.84 Acres, Zoned C-1 and FPD (Robert Shagan, Applicant)

INTRODUCTION: As. The site plan for what is constructed of the Little Turkey Creek Commons retail shops was approved on June 2, 2005. The plan included footprint locations for three building though only one building was constructed. The parking lot and stormwater detention system were largely constructed as part of the plan approved in 2005.

DISCUSSION: The applicant is now requesting approval to construct the middle building just to the east of the existing building. This proposed building would be 10,367 square feet. Upon submittal of the site plan application, staff indicated to the applicant that the new building would have to meet current Town requirements both in terms of building and fire codes and zoning and architectural design standards.

The existing building shell was completed in 2008 and is 14,415 square feet. The exterior of the building is stucco, concrete block, and synthetic stone - none of which would qualify as masonry in the Town's Architectural Design Standards. As a result, staff noted to the applicant that the new building(s) would have to meet the adopted design standards and satisfy the masonry requirements. The challenge with this is how to blend the existing building with the new building(s) so that they do not look completely incompatible. Staff suggested the applicant consider modifying the façade on the existing building to try to bring it more into compliance with current design standards. In exchange, the applicant could present a plan with the new building(s) having a slightly lower masonry percentage so that the existing building and the new building(s) would have better overall compatibility.

RECOMMENDATION: Included in your packet is a copy of the revised site plan which primarily addresses building elevations and lighting since most of the civil site work has already been completed. Also included is a letter where the applicant addresses the initial staff comments. Staffs' understanding is that the applicant is not interested in making any modifications to the façade of the existing building. Staff recommends that the new building(s) comply with all requirements in the Architectural Design Standards. The middle building that is proposed is oriented in a different direction from the existing building. This, along with landscaping that will be added around the new building, could help lessen incompatibility.

May 30, 2018

UPDATED ON JUNE 11, 2018

Mr. Joseph Goldman
402 S. Gay Street
Knoxville, TN 37902

**SUBJECT: STAFF COMMENTS ON THE SITE PLAN FOR PHASE II OF
THE LITTLE TURKEY CREEK COMMONS, 12500-12582
KINGSTON PIKE**

(DIA COMMENTS IN RED)

Dear Joseph:

The Town staff has reviewed the revised site plan that was submitted for Phase II of the Little Turkey Creek Commons for compliance with the Town requirements. If you could please address the following comments and submit four (4) full size copies and one (1) 11" x 17" reduced set to the Farragut Town Hall Monday, June 11, 2018 I would appreciate it. Also, upon resubmittal, please include a letter which addresses these comments and that indicates where the information can be found on the plans.

This item will be discussed at the Staff/Developer Meeting at the Farragut Town Hall on Tuesday, June 5, at 11:00 p.m. The purpose of this meeting is to discuss questions you may have on staff comments. Modifications to the plans are not due until Monday, June 11.

Fire Division: (Contact Dan Johnson at djohnson@townoffarragut.org)

- 1) Please include all information on the drawings, not as a separate document. Please provide current, less than 1 year old, fire hydrant flow data for closest fire hydrants. This data will need to be included on the site plan and consist of static and residual pressures along with flow in GPM;

This information has been added to the site plan. Existing hydrants are identified on both the site plan and on the hydrant flow data report.

- 2) Please provide (on the site plan) the calculated fire flow, per appendix B & C of the 2012 International Fire Code. Applicant shall provide data to verify that the needed fire flow can be satisfied with the provided fire hydrants;

This information has been added to the site plan general notes.

- 3) Please provide construction type compliant with 2012 International Building Code. Refer to the Town of Farragut's modifications to the 2012 IBC for specific requirements;

This information is called out on the site plan.

Planning Division: (Contact Mark Shipley at mshipley@townoffarragut.org) or Bart Hose at bhose@townoffarragut.org

Please bring a materials and color board to the Planning Commission meeting on June 21; **Will do.**

- 4) Please include a concrete pad for the bicycle parking and a detail of the type of bicycle rack proposed;
This information has been provided as a note and detail 3 on the site plan.
- 5) Please show the equipment in the back of the building as being on concrete and not gravel;
This information is called out on the site plan.
- 6) All new HVAC units must be screened by the building they are serving so that they are not visible from adjacent properties or rights of ways. The detail appears to show a brick wall but it is not connected to the building. It must be an extension of the building;
This information has been amended on both site plan and elevations.
- 7) In a previous discussion staff suggested that some building materials applications should be proposed to the existing building to add more masonry and to help the building blend better with the remaining buildings. Please address on the revisions; **The client has decided not to pursue any changes to the existing building.**
- 8) Please clarify on the lighting plan that no additional pole lights are being added. Are the existing fixtures being modified?
This information has been added to the illumination plan.
- 9) Any landscaping shown on the previously approved landscape plan that has died and not been replaced with comparable material will need to be provided as a condition of this site plan approval. This can be reviewed in the field with Town staff. Related to landscaping, while reviewed the site it was observed that many of the trees have been topped. All Town requirements associated with trees that have been topped will have to be addressed;
This is to be coordinated with town staff visit at later date.
- 10) Please provide a landscape completion letter of credit for \$17,000 for new material and the replacement of material that died and was not replaced;
Current letter of credit will be provided prior to submission for Permit.
- 11) Please ensure that the brick proposed is not panelized brick as this would not be considered masonry. It appears the existing building used some stone (though apparently synthetic) as an accent material; and
All brick noted on the elevations associated with the new buildings are called out as full size and are NOT to be panelized.

12) If possible, it would be helpful to show the building(s) proposed for Phase II side by side with the existing building and the existing building with some masonry enhancements as noted in a previous comment. **The client has decided not to pursue any changes to the existing building. Current elevations show existing building to remain, with updates to the Phase I and Phase II building.**

In addition to the e-mail addresses provided above you may also call the designated staff person(s) at 865-966-7057 if you have any questions on the above items. Unless specified otherwise, please include all requested information on the plans. Thank you for your assistance.

Sincerely,

Mark Shipley, AICP
Community Development Director

Dan Johnson
Fire Marshal

1. SEE SITE CIVIL DRAWINGS PREVIOUSLY SUBMITTED TO AND APPROVED BY CITY OF FARRAGUT DATED 05/01/05 AND CREATED BY ETC ENGINEERS.
2. SEE LANDSCAPE DRAWINGS PREVIOUSLY SUBMITTED TO AND APPROVED BY CITY OF FARRAGUT. LANDSCAPE DRAWINGS DATED 5/2/05 AND CREATED BY ELIZABETH GASSEL, A.S.L.A.
3. THE FOLLOWING FIRE FLOW DATA PERTAINS TO THE 2012 INTERNATIONAL FIRE CODE APPENDIX B & C AS REQUIRED BY THE TOWN FIRE MARSHAL. COORDINATE WITH ADJACENT FIRE REPORT FOR EXISTING SITE HYDRANT FLOW DATA.

A. PER APPENDIX B TABLE B105.1 MINIMUM REQUIRED FIRE-FLOW AND FLOW DURATION FOR TYPE IIB @ 10,367 SF BUILDING AREA:
-FIRE-FLOW (GALLON PER MINUTE) = 2,250
-FLOW DURATION (HOURS) = 2

B. PER APPENDIX C TABLE C105.1 NUMBER AND DISTRIBUTION OF FIRE HYDRANTS FOR FIRE-FLOW @ 2,250 GPM:
-MINIMUM NUMBER OF HYDRANTS = 2
-AVERAGE SPACING BETWEEN HYDRANTS = 450 FEET
-MAXIMUM DISTANCE FROM ANY POINT ON STREET OR ROAD FRONTAGE TO A HYDRANT = 225 FEET

Flow Results							Score
System #	Flow #	Revised Flow	Flow (GPM)	Flow (GPM) at 150' Radius	Level of System Top	Height (meters) during Flow	Location of System
1st level	100	110	100	110	Low	1m	Working
2nd level	100	110	100	110	Low	1m	Working

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Journal of Family Psychology (0893-3200)

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ARCHITECTS + INTERIORS

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www.dia-arch.com

RETAIL SHOPS - PHASE II

LITTLE TURKEY CREEK COMMONS

KINGSTON PIKE, FARRAGUT, TN

RETAIL SHOPS - PHASE II

KINGSTON PIKE, FARRAGUT, TN

[illegible]

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Sheet Title

| SITE PLAN

Project Number	17101
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Sheet Number

AS100

1 ARCH
1/2" = 1'-0"

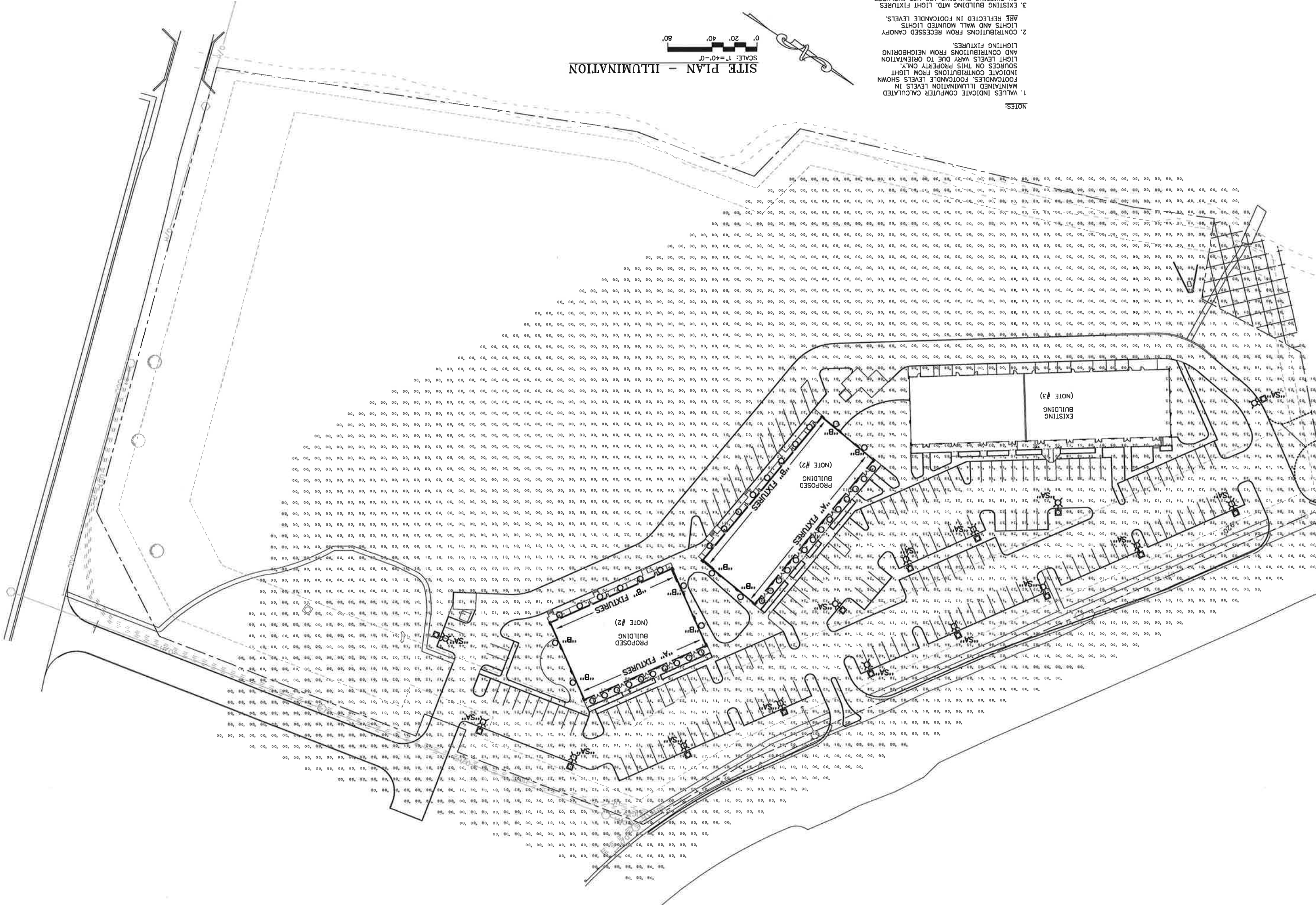
ARCHITECTURAL SITE PLAN

AS100

- NOTES:
1. VALUES INDICATE COMPUTER CALCULATED MAINTAINED ILLUMINATION LEVELS IN FOOTCANDLES. FOOTCANDLE LEVELS SHOWN INDICATE CONTRIBUTIONS FROM LIGHT SOURCES ON THIS PROPERTY ONLY. LIGHT LEVELS VARY DUE TO ORIENTATION AND CONTRIBUTIONS FROM NEIGHBORING LIGHTING FIXTURES.
 2. CONTRIBUTIONS FROM RECESSED CANOPY LIGHTS AND WALL MOUNTED LIGHTS ARE REFLECTED IN FOOTCANDLE LEVELS.
 3. EXISTING BUILDING AND LIGHT FIXTURES ON EXISTING BUILDING ARE NOT INCLUDED IN FOOTCANDLE LEVELS.
 4. LIGHT FIXTURES TYPE "SA" ARE EXISTING BEING ADDED TO THE PROJECT.



SITE PLAN - ILLUMINATION



Vreeland Engineers Inc.
3107 Sutherland Ave.
Knoxville, TN, 37639
P.O. Box 10648

Project Number

17101

Sheet Number

SITE PLAN -
ILLUMINATION

Sheet Title

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DATE

ISSUE FOR

RETAIL SHOPS - PHASE II

LITTLE TURKEY CREEK COMMONS

KINGSTON PIKE, FARRAGUT, TN



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