



**AGENDA
FARRAGUT MUNICIPAL PLANNING COMMISSION**

July 19, 2018

**WORKSHOP SESSION
6:30 p.m. Farragut Town Hall**

- 1. Meet Youth Representative Candidates for the Planning Commission**

**REGULAR SESSION
7:00 p.m. Farragut Town Hall**

For questions please e-mail Mark Shipley at mshipley@townoffarragut.org or Bart Hose at bhose@townoffarragut.org

- 1. Citizen Forum**
- 2. Approval of agenda**
- 3. Approval of minutes – June 21, 2018**
- 4. Approval of a youth representative for the Planning Commission**
- 5. Discussion and public hearing on a request to rezone Parcels 84, 84.01, and 87, Tax Map 130 at the eastern intersection of N. Campbell Station Road and Fretz Road, 10.23 Acres, from R-1 to R-1/OSR (Fred Long Construction Concepts, Applicant)**
- 6. Discussion and public hearing on a final plat for Easton Park Subdivision, Unit I, a portion of Parcels 59.10 and 59.11, Tax Map 152, 4.78 Acres, 14 Lots (HFTC GP, Applicant)**
- 7. Discussion and public hearing on a concept plan for the Ivey Farms, Parcels 52, 54.01, and 57, Tax Map 151, 114.32 Acres, 213 Lots, Zoned R-1/OSR (Site Incorporated, Applicant)**
- 8. Discussion and public hearing on approval of a request from Comcast to install underground conduit along portions of Parkside Drive, N. Campbell Station Road, Campbell Lakes Drive, and Lakesedge Drive (Comcast, Applicant)**

- 9. Discussion and public hearing on a site plan for Knoxville-Farragut Storage, LLC, 11775 Snyder Road, 6 Acres, Zoned C-2 (Knoxville-Farragut Storage, LLC, Applicant)**
- 10. Discussion and public hearing on a site plan for Kingston Pike Village – Phase I – Apartments, 115 S. Watt Road, 18.65 Acres, Zoned PCD (Watt Road Investments, LLC, Applicant)**
- 11. Discussion and public hearing on the adoption of the Knox County, City of Knoxville, and Town of Farragut Multi-Jurisdictional Local Hazard Mitigation Plan**



MINUTES
FARRAGUT MUNICIPAL PLANNING COMMISSION

June 21, 2018

MEMBERS PRESENT

Rita Holladay, Chairman
Ed St. Clair, Vice-Chairman
Ed Whiting, Secretary
Louise Povlin, Alderman
Betty Dick
Rose Ann Kile
Jack Coker, Youth Representative

MEMBERS ABSENT

Noah Myers

Staff Representatives: Bart Hose, Assistant Community Development Director

Chairman Holladay called the meeting to order at 7 p.m.

1. CITIZEN FORUM

Chairman Holladay noted that it was Jack Coker's last meeting on the commission's youth representative. She complemented him on his service and noted he would be a hard act to follow. The commission was unanimous in their praise of Jack.

2. APPROVAL OF AGENDA

A motion was made by Commissioner Povlin to approve the agenda but to add as Agenda Item 3(b), Appointment of Youth Representative. The motion was seconded by Commissioner St. Clair and the motion passed unanimously.

3. APPROVAL OF MINUTES

A motion was made by Commissioner Povlin to approve the May 17, 2018 minutes with the correction noting that she had recused herself from Item #7. The motion was seconded by Commissioner Kile and the motion passed unanimously with the exception of Commissioner Whiting who abstained because he was absent.

3(b). APPOINTMENT OF YOUTH REPRESENTATIVE

Commissioners discussed this item but wanted to hear from the applicants at the next meeting before taking any action. A motion was made by Povlin to defer action until the Commission could hear from the applicant's. The motion was seconded by St. Clair and the motion passed unanimously.

4. DISCUSSION AND PUBLIC HEARING ON A REQUEST FOR APPROVAL OF A RESUBDIVISION PLAT FOR THE KNOX VALLEY DENTAL, 11852 KINGSTON PIKE, 1.37 ACRES, ZONED O-1 (Dhiren A. Zaveri, Applicant)

Staff recommended approval subject to the following comments being satisfactorily addressed as verified in writing by the Town staff:

- 1) Please either remove or identify the rectangle area on the northwest portion of the property;
- 2) Please show where the open space is proposed to satisfy the 10% requirement. If not proposed, a variance will need to be requested from this requirement in the Subdivision Regulations. Staff would support such a variance due to the minor nature of the subdivision and the limited land area involved; and
- 3) Please add as an additional purpose of this plat that the drainage easement is being removed as well.

Staff noted applicants were requesting a variance from the 10% open space requirement.

A motion was made by Commissioner Povlin to approve the variance. The motion was seconded by Commissioner St. Clair and the motion passed unanimously.

A motion was made by Commissioner St. Clair to approve the plat subject to the staffs' recommendation. The motion was seconded by Commissioner Povlin and the motion passed unanimously.

5. DISCUSSION AND PUBLIC HEARING ON A REQUEST FOR APPROVAL OF A RESUBDIVISION PLAT FOR WATT ROAD INVESTMENTS, LLC, PARCELS 78.03, 81, 82, 95, 95.01, 96, AND 97, TAX MAP 151, 18.59 ACRES, ZONED PCD (Beginning Point Land Surveying, LLC, Applicant)

The staffs' comments on this plat were as follows:

- 1) This plat is an initial plat to separate the parent tract for the proposed PCD development at S. Watt Road and Kingston Pike into two parcels for financing purposes. No requirements of the PCD Zoning District shall be compromised as a result of this plat. The Easement and Maintenance Agreement between the owners of each proposed parcel must be reviewed and approved by the Town Attorney and then referenced on the plat in terms of where the agreement is recorded; and
- 2) A plat will be required prior to the issuance of any Certificates of Occupancy to ensure that the "as-constructed" conditions are compliant with the Easement and Maintenance Agreement and all aspects of the PCD Zoning District.

A motion was made by Commissioner St. Clair to approve the plat subject to the staffs' recommendation. The motion was seconded by Commissioner Povlin and the motion passed unanimously.

6. DISCUSSION ON A REQUEST TO REZONE PARCELS 84, 84.01, AND 87, TAX MAP 130 AT THE EASTERN INTERSECTION OF N. CAMPBELL STATION ROAD AND FRETZ ROAD, 10.23 ACRES, FROM R-1 TO R-1/OSR (Fred Long Construction Concepts, Applicant)

For discussion purposes only.

7. DISCUSSION ON A REQUEST TO REZONE PARCEL 93.01, TAX MAP 130 OFF N. CAMPBELL STATION ROAD, 7.6 ACRES, FROM R-2 TO R-4 (Site Incorporated, Applicant)

For discussion purposes only.

8. DISCUSSION AND PUBLIC HEARING ON A PRELIMINARY PLAT FOR THE BRASS LANTERN SUBDIVISION, PARCEL 012, TAX MAP 162, 801 MCFEE ROAD, 22 ACRES, 30 LOTS, ZONED R-1/OSR (pending) (Homestead Land Holdings, LLC, Applicant)

Staff recommended approval subject to the following comments being satisfactorily addressed as verified in writing by the Town staff:

- 1) The rezoning must be finalized;
- 2) Please finalize the concept plan (see comments 4 and 5 below);
- 3) Please include the crosswalk for the pedestrian refuge island on the streetscape plan and provide a detail on the plans;
- 4) Please widen the pedestrian refuge/traffic calming island per the concept plan approval;
- 5) The 15% slopes are not shaded or patterned on the plan or in the legend;
- 6) Please clarify which specimen trees are to be saved vs. removed;
- 7) Please show the approximate drip line of trees to be saved;
- 8) Please show specimen trees as required in the Tree Protection Ordinance; and
- 9) Certain trees along the buffer strip and open space that interface with the limits of disturbance will need to be evaluated with Town staff and potentially a certified arborist. No disturbance (other than the walking trail connections) is permitted within wooded portions of the 25-foot buffer area. Grading within non-wooded buffer strip areas shall not exceed 4:1.

A motion was made by Commissioner St. Clair to approve the plat subject to the staffs' recommendation. The motion was seconded by Commissioner Dick and the motion passed unanimously.

9. DISCUSSION AND PUBLIC HEARING ON A PRELIMINARY PLAT FOR PHASE I OF THE BROOKMERE SUBDIVISION OFF VIRTUE ROAD, PARCELS 22 AND 44, TAX MAPS 152 AND 152F, 87.70 ACRES, 90 LOTS, ZONED R-1/OSR (pending) (Lose and Associates, Inc.)

Staff noted that a variance will be needed for a request to lower the design speed on selected portions of roadways. This is a variance from the design speed for vertical curves provided for in Article III. A.9. of the Subdivision Regulations. The applicant is requesting the lower design speed mainly for traffic calming purposes. Specifically, the variances included the following:

- 1) Lower the design speed at the intersection to 25 mph. Sag K=26, Crest K=12; and
- 2) Lower the design speed in the following locations to 25 mph.
 - a) From station 4+50 to 6+00 on Needlegrass.
 - b) The entirety of Kendall Hunt to 25 mph with station 3+00 to 5+50 to 20 mph.
 - c) The entirety of Justice Valley to 25.

A motion was made by Commissioner Povlin to approve the variances. The motion was seconded by Commissioner St. Clair and the motion passed unanimously.

Staff recommended approval of the preliminary plat for Phase I of the Brookmere Subdivision subject to the following comments being satisfactorily addressed as verified in writing by the Town staff:

- 1) It is our understanding that the proposed FEMA CLOMR/LOMR application and study materials are being updated to include the proposed pedestrian bridge crossing. Please include both the existing and the new CLOMR/LOMR proposed boundaries and cross section elevations (Floodway, 100 yr., & 500 yr.) on the plan as soon as they become available. Please also clearly label all boundaries on both sides of the creek. All Planned improvements, including fill, will need to demonstrate NFIP compliance now and in the future. Any work undertaken prior to the CLOMR/LOMR being finalized is at the developer's risk;
- 2) Please relocate the required walking trail outside of the floodway (pre-and post CLOMR/LOMR). Please also note that the trail and bridge will have to comply with all applicable Town and FEMA flood damage prevention requirements.;
- 3) Please add a note stating that the walking trail tie-in locations to the Town's proposed trail along Phase I Virtue Road improvement project and to the south will be coordinated with Town Staff;
- 4) Grading cannot encroach into any tree covered open space and/or within wooded portions of the 25-foot buffer strip. Grading within non-wooded buffer strip areas shall not exceed 4:1. Please amend the grading plan and limit of disturbance (LOD) accordingly;
- 5) Please add a note to the plat indicating that the permitted LOD and tree protection measures will be evaluated on a case by case basis with Town staff where a protected tree's drip line extends beyond the 25-foot buffer strip;
- 6) Please identify and label all areas where the proposed "smart fence" silt fencing will be utilized to identify tree protection areas (in place of standard tree protection fencing);
- 7) Please work with Town staff to further clarify the tree credit and replacement summary information and table;
- 8) It was noted at the staff/developer meeting that Homestead Land Holdings had acquired lot 23 in Kingsgate Subdivision. Please update the owner references on all applicable plat sheets accordingly;
- 9) Please remove the "typical emergency vehicle access / walking trail connector cross section" detail from the site details sheet. This proposed access has not yet been approved and is not a part of this phase of the development;
- 10) The landscape plan will need to be reviewed by the VRRB under separate application;
- 11) Please provide a JPEG of this plan and of the as built once construction is complete;
- 12) You may wish to address how 5G service or small cell support structures may be provided in the subdivision in the near future. The infrastructure should be considered early in the development process;
- 13) On the note regarding long-term maintenance of stormwater control measures it might be better to reference the owner rather than Homestead since the HOA will ultimately be responsible in the long-term;
- 14) The designers are requesting variance to the subdivision regulations to allow lower vertical design speeds at certain locations. While staff does not take particular issue with a lowered design speed at stop conditions (intersections) and to some extent sag vertical curves, we disagree that limiting sight distance on crest vertical curves will provide a safer roadway corridor. Why is variance requested at sta. 4+50 to sta. 6+00 on Needlegrass? Why not lengthen the sag to at least 30 mph? Why should the entirety of Kendall Hunt be 25 mph, including sta. 3+00 to 5+50 to 20 mph? Staff understands the desire to present homesites at a certain elevation in relation to the roadway. However, the home elevations should not dictate roadway design;

- 15) Grading sheets include note stating “All slopes to be 2.5:1 or flatter.” However, some locations are still shown to be 2:1 (see rear of lots 33 and 36, among others). EPSC sheets should reflect same revisions as grading sheets;
- 16) Stormwater runoff is piped from the ROW along property lines in many locations (rather than providing swales). While this is acceptable, note should be made on the final plat that maintenance of drainage pipes and structures located outside the roadway prism (and on private property) are the responsibility of the property owners. All pipes should be RCP;
- 17) The separated one-way “boulevard” street pair (Boyd Chase Boulevard) is a novel approach. Please include “Do Not Enter” (and perhaps “One Way”) signage per the MUTCD to avoid wrong turns by motorists;
- 18) Show details for pedestrian bridge;
- 19) Please show proposed contours on the greenway (on grading sheets), including any necessary ditches and drainage pipes. The crossing appears to be located on this development’s property, at the northern edge of Fox Den’s pump station. Final plat should provide easement for the greenway’s eventual extension by the Town;
- 20) Please show pavement markings and signage for mid-block greenway crossing. If possible, it might be reasonable to show intended clubhouse entrance to better define how crossing should be designed;
- 21) Please include layouts for gas, electric, telephone and cable;
- 22) Please submit NOC; and
- 23) Please submit Drainage Fee of \$2700.

A motion was made by Commissioner St. Clair to approve the plat subject to staffs’ recommendation with the exception of omitting Item #14 since this was addressed as part of the previous action. The motion was seconded by Commissioner Povlin and the motion passed unanimously.

10. DISCUSSION AND PUBLIC HEARING ON A SITE PLAN FOR GRIGSBY CHAPEL OFFICES, 11416 GRIGSBY CHAPEL ROAD, 8.68 ACRES, ZONED O-1-3, OS-P, AND FPD (G&G Grigsby Chapel Partnership, Applicant)

Staff recommended approval subject to the following comments being satisfactorily addressed as verified in writing by the Town staff:

- 1) The notes on several plan sheets are printed very light, please darken;
- 2) Please add as a note to the plans for clarification purposes concerning the parking and access easements and what, if any, effect the ground lease may have in this regard;
- 3) Please include dimensions for all code critical items on the layout plan sheet (e.g. landscape island widths – a number were still missing dimensions);
- 4) Please include the proposed electrical transformer locations and locations for relocated conduits. This is needed particularly for landscaping purposes;
- 5) The additional surface parking and travel lanes in excess of ten percent above the minimum number required shall be constructed in permeable pavers. A porous strip on the end of some parking spaces is not sufficient. Please correct;
- 6) The site grading still extends beyond the area needed for this project. Tree removal should be limited to this phase only since future phases may never occur or may occur many years in the future. Please revise;
- 7) Please verify compliance with the Town’s requirements for flood fringe fill;

- 8) Please note the MFE and FFE on the building proposed on both the grading and layout sheets. The Town's freeboard is 4 feet;
- 9) No grading or disturbance is permitted within wooded portions of the required 25- foot buffer strip. There still appears to be some grading in wooded buffer strip areas. Grading within non-wooded buffer strip areas shall not exceed 4:1;
- 10) Please ensure that the depth of new parking spaces and their abutting landscape islands is 19 feet. The aisle width should be 24-25 feet rather than 28-30;
- 11) Please re-visit the sidewalk tie in just north of the northernmost proposed parking spaces. There could be conflicts with pedestrians and incoming vehicles. A greater separation is needed for safety purposes;
- 12) A two (2) year maintenance letter of credit will be required to ensure that the relocated walking trail is properly constructed and maintained;
- 13) Plan sheet C-1 is unstamped. Please have the appropriate professional stamp it;
- 14) Please note that when this goes to the Planning Commission you will need to bring a color and materials board;
- 15) Please check intensity in Storm Sewer Tabulation in drainage calculations. Calculations show that approximately 1.28 acres drains through pipe B3-B2, with a total flow rate of 12.61 cfs. How is this high flow rate accepted in a normal curb inlet grate?
- 16) Please submit an irrevocable letter of credit for erosion control for \$15,000;
- 17) Drainage Fee of \$960 is needed; and
- 18) Please submit NOC.

A discussion ensued with the staff noting that an additional comment should be added as Comment #19 stating that "the relocated greenway will require the developer to replat the existing easement on the property. The replat will also trigger a requirement for some additional right of way dedication along Grigsby Chapel Road." Also, in response to Comment #11, the applicant indicated that they would be removing three of the proposed parking spaces closest to Grigsby Chapel Road and extend the proposed sidewalk connection accordingly. The applicant also agreed to limit grading in order to save a 30-inch tree in response to Comment #6.

A motion was made by Commissioner Povlin to approve the site plan subject to the staffs' recommendation and the addition of Comment #19 and with Comment #11 being amended to reflect the action proposed by the applicant. The motion was seconded by Commissioner Kile and the motion passed unanimously.

11. DISCUSSION AND PUBLIC HEARING ON A REQUEST FOR APPROVAL OF A SITE PLAN FOR PHASE II OF THE LITTLE TURKEY CREEK COMMONS RETAIL SHOPS, 12500-12584 KINGSTON PIKE, 11.84 ACRES, ZONED C-1 AND FPD (Robert Shagan, Applicant)

Staff recommended approval subject to the following comments being satisfactorily addressed as verified in writing by the Town staff:

- 1) Since a second building will create more traffic internally please consider adding some stop signs to control cross access traffic flow particularly where there could be conflicts near the access off Kingston Pike;
- 2) Please bring a materials and color board to the Planning Commission meeting on June 21;

- 3) A landscape completion letter of credit or escrow deposit must be provided prior to the issuance of a building permit to cover replacement landscaping and landscaping that will be added around the new building(s). The dollar amount will be calculated by Town staff; and
- 4) Since no modifications are proposed in relation to the materials on the existing building, staff recommends that the two new buildings comply with the existing requirements in the Town of Farragut Architectural Design Standards. This includes a minimum of 75% masonry on the net façade area of both new buildings.

A discussion ensued over the masonry percentages. A motion was made by Commissioner Kile to approve the site plan subject to Comments 1, 3, and 4 being addressed and Comment 2 pending approval upon presentation to the Town staff of the actual masonry material. The motion was seconded by Commissioner St. Clair and the motion passed unanimously with the exception of Commissioner Povlin that recused herself.

12. APPROVAL OF UTILITIES

None

ADJOURNMENT

The meeting adjourned at 10:40 p.m.

Edwin K. Whiting, Secretary

MEETING DATE: July 19, 2018

AGENDA ITEM #4

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Appointment of Youth Representative

INTRODUCTION AND BACKGROUND: At the April 19, 2018 Planning Commission meeting an amendment was approved to the by-laws which changed the term for the youth representative from a calendar year to a fiscal year. Since the Town's fiscal year begins July 1, the youth representative would start their term at the July 19 meeting.

Since the inception of the youth representative program, Jack Coker has served as the Planning Commission representative and has been a tremendous asset to the Commission and the Town. Much of the Planning Commission's work involves the future of the Town and having input from the youth of the community is critical in the formulation of good policy.

Jack will be leaving for college in the fall. Consequently, a new representative will need to be selected. We have received four applications which are included in your packet. Each applicant is given three choices for committees. Please note that some of the applicants have listed other committees before the Planning Commission. Two of the other committees listed were the Parks and Athletics Council and the Stormwater Advisory Committee. These committees have recently appointed youth representatives.

This item was discussed at the June meeting and the Planning Commission felt it would be beneficial to speak with the applicants prior to selecting one of them. A workshop was scheduled for 6:30 p.m., immediately prior to the FMPC meeting, to allow commission members an opportunity to discuss the position with the applicants.

Print

Youth Representative Committee Application - Submission #4033

Date Submitted: 3/29/2018

Town of Farragut Youth Representative Committee Application

First Name	Last Name
Jakob	Allison

Address1

[REDACTED]

Address2

City	State	Zip
[REDACTED]	[REDACTED]	[REDACTED]

Home Phone	Email
	[REDACTED]

Briefly describe your life goals/aspirations:

One of my biggest goals is to get my bachelors degree. Although my athletics career is a big part of my life; I strive more to achieve in the classroom. I also have a goal in track to have our 4x800 team to make it to state once again.

Which committees are you interested in serving:

First Committee Choice:

Parks and Athletics Council (4 times a year at 6pm on a Tuesday - Dates TBD) ▼

Second Committee Choice:

Planning Commission (3rd Thursday of each month at 7pm at Town Hall) ▼

Third Committee Choice:

Visual Resources Review Board (4th Tuesday of each month at 7pm at Town Hall) ▼

School Official or Sponsor Name

[REDACTED]

Phone Number

[REDACTED]

Please upload a letter of recommendation

Jake Allison Letter of Recommendation.docx

Principal

Grade Level Principals

Curriculum Principal

[Redacted Signature]

To whom it may concern,

It is with great pleasure that I provide my highest recommendation for Jake Allison, a truly exceptional student I have had the pleasure of having in class. In my career, I have taught many students but none more pleasant to teach than Jake. I first met Jake during the spring of his freshman year when he was in my World History class and have watched him continue to grow and develop into the student, athlete, and leader he is today.

Of the many positive attributes Jake possesses, his strongest suit is his leadership ability. I have watched Jake transform from a very quiet and introverted freshman to one of the strongest leaders on our school's cross country and track and field teams. Jake certainly does not have a flashy or arrogant personality; rather, he leads by doing what he is supposed to do, setting high goals for himself and his teammates, and then working to exceed those expectations. There are numerous underclassmen throughout our school who look up to Jake as a leader. He is certainly someone I would encourage any young person to strive to emulate.

In addition to being a strong leader, Jake is also a very compassionate and thoughtful young man. Jake has a strong moral compass and consistently does the right thing. He is a young man of high character who I would describe as respectful, humble, compassionate, and kind. As a teacher, it is rewarding to have students in class like Jake. I know I can always partner him with any student in the class and depend on him to bring out the best in others.

Finally, Jake is a very driven young man. He has maintained a strong GPA throughout high school and frequently pursues challenging coursework for himself. Having had Jake in both World History and United States History during his freshman and junior years respectively, I would describe him as a strong writer and someone who thrives with both independent and group work. He regularly produces high quality work and is consistently well prepared for class assessments. He truly is an ideal student to have in class.

All in all, it has been a great pleasure having Jake in class and watching him succeed academically and athletically these last three years. He is truly one of the best all-around young men I have come in contact with, and I have all certainty that he will be successful in the years to come. He is the kind of young man any organization should take great pride in investing and for that reason, I am honored to recommend him.

Yours truly,

[Redacted Signature]

Print

Youth Representative Committee Application - Submission #4055

Date Submitted: 5/4/2018

Town of Farragut Youth Representative Committee Application

First Name	Last Name
Hannah	Lee

Address1

[Redacted]

Address2

City	State	Zip
[Redacted]	[Redacted]	[Redacted]

Home Phone	Email
[Redacted]	[Redacted]

Briefly describe your life goals/aspirations:

I am applying for the position of Youth Representative because as a rising senior, I have become interested in how a volunteer committee is run. I also really wish to help with improving the environmental health of the Farragut community. In addition, due to my interest and background knowledge in the environmental sciences, I believe that I would be the most helpful in the Stormwater Advisory Committee. I would love to use my skills to help with committee responsibilities and educate the public on the current state of the community environment. Furthermore, I could possibly carry out a research project demonstrating the significant effects of stormwater on the environment.

Even if I do not get chosen for the Stormwater Advisory Committee, I would still love to contribute in any way possible to the other committees like the Education Relations Committee or the Planning Commission.

Which committees are you interested in serving:

Please select your first, second and third choice committees from the list below. Only the committees that currently have a vacancy are listed.

First Committee Choice:

Stormwater Advisory Committee (2nd Thursday of each month at 3:30pm at Town Hall) ▼

Second Committee Choice:

Farragut/Knox County Schools Education Relations Committee (1st Tuesday of Feb, March, April, May, June at 4pm ; ▼

Third Committee Choice:

Planning Commission (3rd Thursday of each month at 7pm at Town Hall) ▼

School Official or Sponsor Name

[Redacted Name]

Phone Number

[Redacted Phone Number]

Please upload a letter of recommendation

Hannah Lee - Recommendation.pdf

Principal

Grade Level Principals

Curriculum Principal

May 2018

Dear Sir or Madam:

I have been asked to write a letter of recommendation for one of my former Advanced Placement Chemistry students, Hannah Lee, for serving as the student representative on the Town of Farragut Stormwater Advisory Committee. Hannah was one of my top students and has demonstrated an outstanding academic aptitude and work ethic across all realms of her education. She has challenged herself with numerous Honors and Advanced Placement Courses and has had her academic achievements recognized through her attainment of top scores in her AP exams, SAT scores, membership in the National Honor Society and selection for Governor's School for Science and Engineering (2018). Hannah has maintained her outstanding grades while being an active member in several school and community organizations which attests to her excellent time management skills. She has been involved with the Biology Olympiad (Semifinalist), HOSA (has achieved Regional and National Placements in competition), the Knoxville Symphony Youth Orchestra, Regional TMTA Competition (TN Mathematics Teachers Association), and Science Club, to name a few. Hannah has volunteered in numerous community service projects such as helping the elderly, tutoring students, preparing Thanksgiving food baskets, school fundraising activities and in maintaining our campus property. Hannah works well with people of all ages and backgrounds and is an extremely positive and comfortable young lady that was a delight to work with in and out of class. She is a well-balanced individual with a varied background that enables her to analyze situations thoroughly.

Hannah has excellent problem solving skills and communicates well through both written and oral expression and has always conveyed her understanding in an extremely thoughtful and logical manner. These skills have allowed her to be selected for a Science Research Internship at the University of TN, Knoxville as a member of the Farragut High School Science Academy and was thus nominated to the Tennessee Junior Science and Humanities Symposium this past year. Her work revolved around Biochemistry and Cellular/Molecular Biology. Similar involvements include NASA SSEP (Student Spaceflight Experiments Program – team project 3rd place Regional) and SASEF (Southern Appalachian Science and Engineering Fair – Honorable Mention/Special Award). As a former member of the Stormwater Advisory Committee, I am confident that Hannah would be a tremendous asset as a student member. She is responsible, mature, thoughtful and aware of the biochemical/environmental issues regarding our water quality and would have much to offer when considering ways to expand water quality education in our community and in using our resources well in improving the environment in our community. I highly recommend Hannah for your most serious consideration and ask that you feel free to contact me if you should have any further questions or concerns regarding her.

Sincerely,

Print

Youth Representative Committee Application - Submission #4059

Date Submitted: 5/9/2018

Town of Farragut Youth Representative Committee Application

First Name	Last Name
Nick	LiMandri

Address1

Address2

City	State	Zip

Home Phone	Email

Briefly describe your life goals/aspirations:

My life goal is to be able to work at Google after college where I would like to obtain a degree within the field of business. I want to be able to help people by working for a company that enhances the lives of others. I want to able to ensure rules are followed and that everything can run smoothly.

Which committees are you interested in serving:

Please select your first, second and third choice committees from the list below. Only the committees that currently have a vacancy are listed.

First Committee Choice:

Planning Commission (3rd Thursday of each month at 7pm at Town Hall) ▼

Second Committee Choice:

-- Select One -- ▼

Third Committee Choice:

-- Select One --

School Official or Sponsor Name

[Redacted]

Phone Number

[Redacted]

Please upload a letter of recommendation

Recommendation Letter - N
LiMandri.pdf



April 25, 2018

Dear Sir or Madam,

I am writing to provide my fullest recommendation for Nick LiMandri that he be considered for student representative on the Planning Commission. As a teacher, and former corporate leader, I have seen many individuals of varying abilities and potential. I have known him for about two years as a student in my business classes. Mr. LiMandri quickly proved to me that he is one of those exceptional individuals that a talent scout such as myself recognizes as a driven and coachable student-leader.

Nick has displayed drive on multiple occasions in my class. No matter how intense or unique the challenges that I would put forth to the class, I could always count on Nick to deliver fantastic results on time. The products of his work would set the bar for excellence in the class. He is truly one of the best academic students I've had & I see this work ethic translating very well into his career.

From a business perspective, my favorite aspect about Nick's skill set is his "coachability". Even though he is an incredibly competent student, Nick still seeks out and accepts constructive criticism on his work. He blends the abilities of thinking independently and adapting to the advice of mentors wonderfully.

Beyond the qualities described above, Nick has *always* approached school and faculty with respect and a fantastic attitude. I have never heard him complain and he has always treated his fellow students with respect. I foresee Nick LiMandri being a positive example for his peers and an individual who will add incredible value to any organization.

Sincerely,



Print

Youth Representative Committee Application - Submission #4051

Date Submitted: 4/30/2018

Town of Farragut Youth Representative Committee Application

First Name	Last Name
Hayden	Ott

Address1

[Redacted]

Address2

City	State	Zip
[Redacted]	[Redacted]	[Redacted]

Home Phone	Email
[Redacted]	[Redacted]

Briefly describe your life goals/aspirations:

In my life, I hope to complete a four year university, find a job that I enjoy and am very successful at, and make meaningful contributions to society. I feel that joining one of these councils will help set me on the path to accomplishing my goals. Volunteering my time for a meaningful cause, like one of these committees, is something that I enjoy doing, and find rewarding.

Which committees are you interested in serving:

First Committee Choice:

Parks and Athletics Council (4 times a year at 6pm on a Tuesday - Dates TBD) ▼

Second Committee Choice:

Planning Commission (3rd Thursday of each month at 7pm at Town Hall) ▼

Third Committee Choice:

Visual Resources Review Board (4th Tuesday of each month at 7pm at Town Hall) ▼

School Official or Sponsor Name

[REDACTED]

Phone Number

[REDACTED]

Please upload a letter of recommendation

Hayden Ott.docx

Principal

Grade Level Principals

Curriculum Principal

April 30, 2018

To Whom It May Concern:

I have had the pleasure of having Hayden Ott as a student in my Honors Algebra 2 class this semester at [REDACTED]

As a student, Hayden is able to quickly and accurately grasp the concepts taught in class. He works well with his classmates, helping others if they needed assistance and seeking help when he has questions. He is a motivated student and he takes his academic success very seriously.

Hayden has a positive attitude each day and comes to class prepared to work. He is punctual, attentive during class, and completes his daily homework assignments.

Hayden's impeccable character and strong commitment to academics and athletics will make him an asset as the Youth Representative on the Parks and Athletics Council for the Town of Farragut.

Sincerely,

[REDACTED]
[REDACTED]
[REDACTED]
[REDACTED]
[REDACTED]

REPORT TO THE FARRAGUT MUNICIPAL
PLANNING COMMISSION

PREPARED BY: Bart Hose, Assistant Community Development Director

SUBJECT: Discussion and public hearing on a request to rezone Parcels 84, 84.01, and 87, Tax Map 130, located near the eastern intersection of N. Campbell Station Road and Fretz Road, 10.23 Acres, from R-1 to R-1/OSR (Fred Long Construction Concepts, Applicant)

INTRODUCTION AND BACKGROUND: The request was initially discussed as a workshop item at the June meeting. It involves rezoning three parcels totaling 10.23 acres from Rural Single Family Residential (R-1) to Rural Single Family/Open Space Residential Overlay (R-1/OSR). Two of the parcels front on the southwest side of N. Campbell Station Road and contain existing single family residential structures. The third parcel is located on the southeast side of Fretz Road and lies behind (south) of the other two lots (see map attachment, Ordinance 18-12). It totals approximately 8.23 acres, is heavily wooded to the southeast and along its southwestern boundary line, and is impacted by areas of steep slopes and possibly a small sinkhole depression.

DISCUSSION: The requested R-1/OSR zoning for the property would be consistent with the Future Land Use Plan (FLUP) and the surrounding existing land use, zoning, and development pattern. The FLUP designates the property as Very Low Density Residential. The surrounding area is a mix of residential developments at various densities and lot sizes, and the R-1/OSR zoning will allow the owner/developer to better design around the sites physical/environmental constraints and preserve some of its wooded character. According to KGIS information, there are existing public water lines along both N Campbell Station Road and Fretz Road. It also appears that a sanitary sewer line will need to be extended to the property to support the types of clustered/smaller-lot developments typically seen in the OSR district. There are sewer lines present in the immediate surrounding area but the Town has not been presented with information regarding connection feasibility. Sewer extension was discussed at the last meeting and the applicants are aware of the situation.

RECOMMENDATION: The requested rezoning appears to be reasonable given the surrounding area and physical character of the subject property. The three lots will, however, need to be combined into a single tract to comply with the intent and requirements of the OSR overlay district. The minimum tract size for OSR zoning is 5 acres and the two smaller lots do not meet that standard unless combined with the larger tract. The staff recommends approval subject to the lots being combined into a single tract.

Included in your packet is Resolution PC-18-13 which recommends approval of Ordinance 18-12.

RESOLUTION PC-18-13

FARRAGUT MUNICIPAL PLANNING COMMISSION

A RESOLUTION TO APPROVE AN AMENDMENT TO THE FARRAGUT ZONING MAP, ORDINANCE 86-16, TO RECOMMEND THE APPROVAL OF THE REZONING OF PARCELS 84, 84.01, AND 87, TAX MAP 130, SAID PROPERTY BEING LOCATED IN THE VICINITY OF THE INTERSECTION OF N. CAMPBELL STATION ROAD AND FRETZ ROAD, APPROXIMATELY 10.23 ACRES, FROM R-1 (RURAL SINGLE FAMILY RESIDENTIAL DISTRICT) TO R-1/OSR (RURAL SINGLE FAMILY RESIDENTIAL DISTRICT / OPEN SPACE RESIDENTIAL OVERLAY DISTRICT)

WHEREAS, the Tennessee Code Annotated, Section 13-4-201et seq, provides that the Municipal Planning Commission shall make and adopt a general plan for the physical development of the municipality; and

WHEREAS, the Farragut Municipal Planning Commission has adopted various elements of a zoning plan as an element of the general plan for physical development; and

WHEREAS, a public hearing was held on this request on July 19, 2018;

NOW, THEREFORE, BE IT RESOLVED that the Farragut Municipal Planning Commission hereby recommends approval to the Farragut Board of Mayor and Aldermen of an ordinance, amending Ordinance 86-16, of the Farragut Zoning Ordinance, by adding Ordinance 18-12.

ADOPTED this 19th day of July, 2018.

Rita Holladay, Chairman

Edwin K. Whiting, Secretary

ORDINANCE: 18-12
PREPARED BY: Hose
REQUESTED BY: Town of Farragut
CERTIFIED BY FMPC: July 19, 2018
PUBLIC HEARING: _____
PUBLISHED IN: _____
DATE: _____
1ST READING: _____
2ND READING: _____
PUBLISHED IN: _____
DATE: _____

AN ORDINANCE AMENDING THE ZONING ORDINANCE OF THE TOWN OF FARRAGUT, TENNESSEE, ORDINANCE 86-16, AS AMENDED, PURSUANT TO SECTION 13-4-201, TENNESSEE CODE ANNOTATED.

BE IT ORDAINED by the Board of Mayor and Aldermen of the Town of Farragut, Tennessee, that the Farragut Zoning Ordinance, Ordinance 86-16, as amended, is hereby amended as follows:

SECTION 1.

The Farragut Zoning Ordinance, Ordinance 86-16, as amended, is hereby amended by rezoning Parcels 84, 84.01, and 87, Tax Map 130, said property being located in the vicinity of the intersection of N. Campbell Station Road and Fretz Road, approximately 10.23 Acres, from R-1 (Rural Single Family Residential District) to R-1/OSR (Rural Single Family Residential District / Open Space Residential Overlay District) (See Exhibit A).

SECTION 2.

This ordinance shall take effect from and after its final passage and publication, the public welfare requiring it.

Ronald Pinchok, Mayor

Allison Myers, Town Recorder

Certified to the Farragut Board of Mayor and Aldermen this _____ day of _____, 2018, with approval recommended.

Rita Holladay, Chairman

Edwin K. Whiting, Secretary

FARRAGUT MUNICIPAL PLANNING COMMISSION



Exhibit A
Ordinance 18-12

Rezone
Parcels 84, 84.01, and 87
Tax Map 130

From
R-1 (Rural Single-Family Residential)

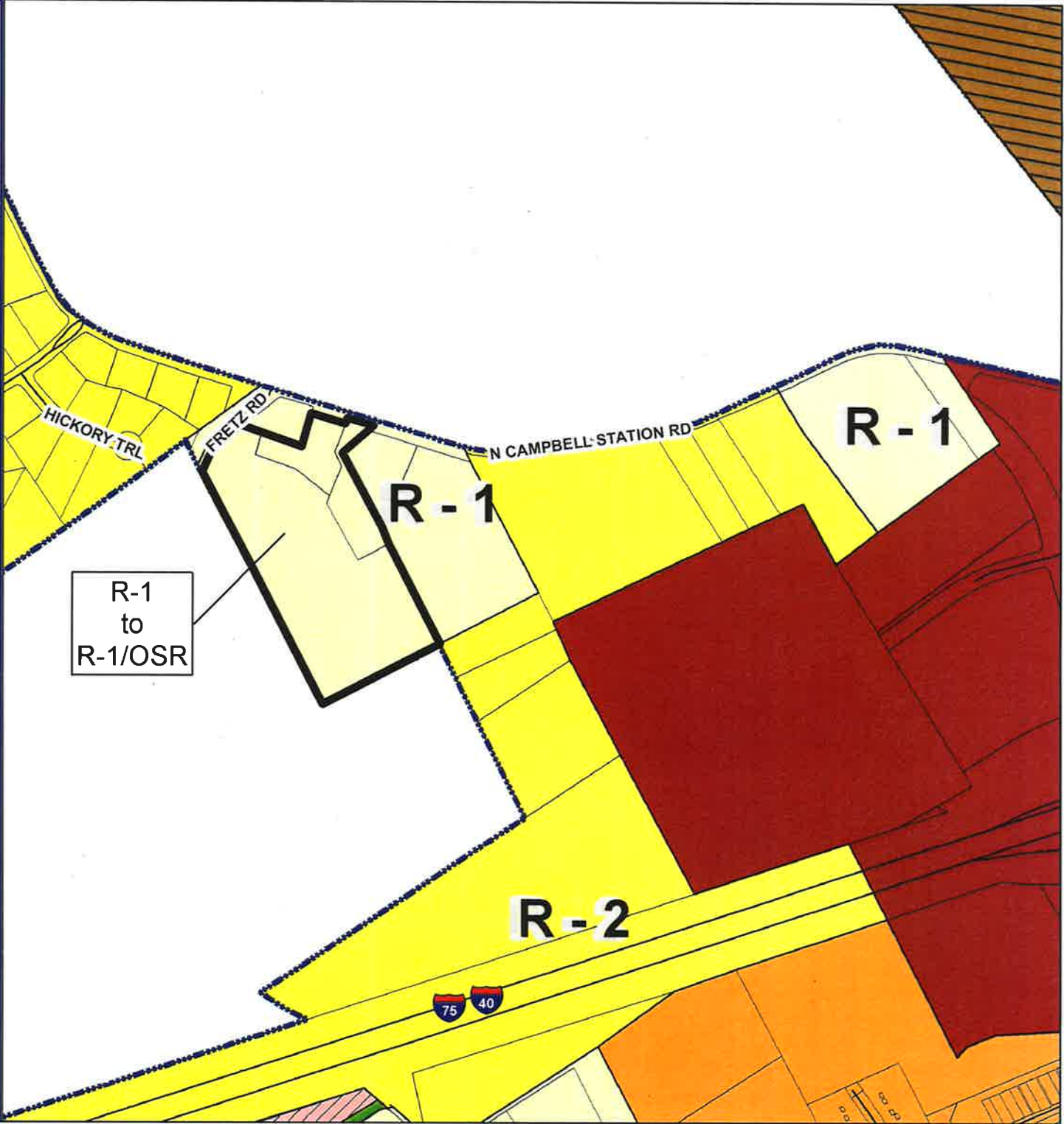
to
R-1/OSR (Rural Single-Family Residential/
Open Space Residential)

Legend

- Subject Property
- Streets
- Parcels
- B-1, Buffer
- S-1, Community Service
- R-1, Rural Single-Family Residential
- R-2, General Single-Family Residential
- R-4, Attached Single-Family Residential
- C-2, Regional Commercial
- Telecommunication Tower Overlay Zone



1 in = 500 ft



MEETING DATE: July 19, 2018

AGENDA ITEM #6

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on a final plat for the Easton Park Subdivision, Unit I, a portion of Parcels 59.10 and 59.11, Tax Map 152, 4.78 Acres, 14 Lots, Zoned R-3 and R-1 (HFTC GP, Applicant)

INTRODUCTION AND BACKGROUND: Easton Park Subdivision is on the north side of Turkey Creek Road across from Anchor Park. The preliminary plat for Easton Park was approved on January 19, 2017 and, since that time, the applicant has been grading and working on completing the infrastructure included with the preliminary plat.

DISCUSSION: To facilitate the financing for the project, the applicant is requesting to final plat a portion of the Easton Park Subdivision. This portion of Easton Park (Unit I) would involve 14 lots (13 houselots and 1 open space lot). The remainder of Easton Park will include 24 additional lots (22 houselots and 2 open space lots) and should be platted in the next month or two.

RECOMMENDATION: At the time of the staff report, this item was not ready for consideration based on the field conditions and incomplete required infrastructure. Included in your packet is a copy of the revised final plat. The staff will provide a recommendation at the meeting.

RECEIVED

JUL 09 2018

TOWN OF FARRAGUT

TOTAL PROPOSED FOR UNIT 1 AND FUTURE DEV.
OPEN SPACE CALCULATIONS
TOTAL PROJECT AREA: 15.45 ACRES
REQUIRED OPEN SPACE (10%): 1.55 ACRES (67,300 SF)
FUTURE LOT AREA 10.87 ACRES
PROPOSED ROW 2.29 ACRES
OPEN SPACE PROVIDED: 1.60 ACRES (69905 SF 10.4%)

COMMON AREA
BRIARSTONE SUBD., PH. 1
PLAT: 201507130002657
OWNER: KNOXFI TWO LLC
DEED: 201701270046459
PARCEL ID: 153IB034

CERTIFICATE OF STREETS APPROVAL

I certify that streets, sidewalks, and other required improvements have been installed in an acceptable manner and according to Town specifications, or that a security bond in the amount of \$_____ has been posted with the Planning Commission to assure completion of all required improvements in case of default. Streets (are) (are not) public streets maintained at public expense.

This is to certify that all property taxes and assessments due on this property have been paid.

Signed: _____ Date: _____
Knox County Trustee

CERTIFICATE OF APPROVAL FOR RECORDING

I hereby certify that the subdivision plat shown here has been found to comply with the Subdivision Regulations for Farragut, Tennessee, with the exception of such variances, if any, as are noted in the minutes of the Planning Commission and that it has been approved for recording in the Office of the County of Register of Deeds.

Secretary, Planning Commission Date

CERTIFICATE OF APPROVAL OF STREET NAMES

This is to certify that the subdivision shown hereon has been reviewed for compliance with the Knox County Uniform Street Naming & Addressing System Ordinance, and the road names are hereby approved for recording.

Knox County Addressing Division Date

RELEASE OF EASEMENT(S) CERTIFICATION

Except as noted or shown on this plat, the following parties hereby consent to the release of all rights that may have accrued for their use and benefit (1) In the utility, drainage, and construction easements along the original lot lines or (2) In prior easements identified hereon which are being eliminated by this plat, on the condition that new utility, drainage, and construction easements are provided along the new property lines or as facilities are otherwise installed or shown hereon. The above provisions notwithstanding prior easements or prior utility placements are not released unless specifically noted hereon. Existing easements or placements shown hereon will not be adversely affected by the development as herein proposed.

Signature (sewer) Date

Signature (water) Date

Signature (electricity) Date

Signature (gas) Date

Signature (telephone) Date

Signature (cable) Date

Signature (Town of Farragut) Date

LEGEND OF SYMBOLS

- WV WATER VALVE
- FH FIRE HYDRANT
- W WATER LINE
- JB JUNCTION BOX
- AI AREA INLET
- CI CURB INLET
- ST STORM DRAIN PIPE
- SM SANITARY MANHOLE
- SE SEWER LINE
- GM GAS METER
- GV GAS VALVE
- GL GAS LINE
- UP UTILITY POLE
- OL OVERHEAD UTILITY LINES
- ET ELECTRIC TRANSFORMER
- Future Development (Not Included)

CERTIFICATE OF WATER AND SEWER AVAILABILITY

I hereby certify that every lot within this subdivision will have available to it water and sewer service that is adequate to accommodate the reasonable needs of such lots.

Date Name, Title, and Agency of Authorized Approving Agent

SURVEYOR:
HOWARD T. DAWSON, RLS 1301
SITE INCORPORATED
10215 TECHNOLOGY DR.
KNOXVILLE, TN 37932
PH: (865) 777-4180



THIS IS TO CERTIFY THAT THIS SURVEY MEETS THE MINIMUM STANDARDS FOR THE STATE OF TENNESSEE.

NOTE: DATA COLLECTION AND DRAFTING SERVICES PROVIDED BY SMOKY MOUNTAIN LAND SURVEYING CO., INC.
SMLS DWG NO. 160078R2

NOTES
1. SEE SHEET 2 FOR PLAT NOTES AND LINE AND CURVE TABLES

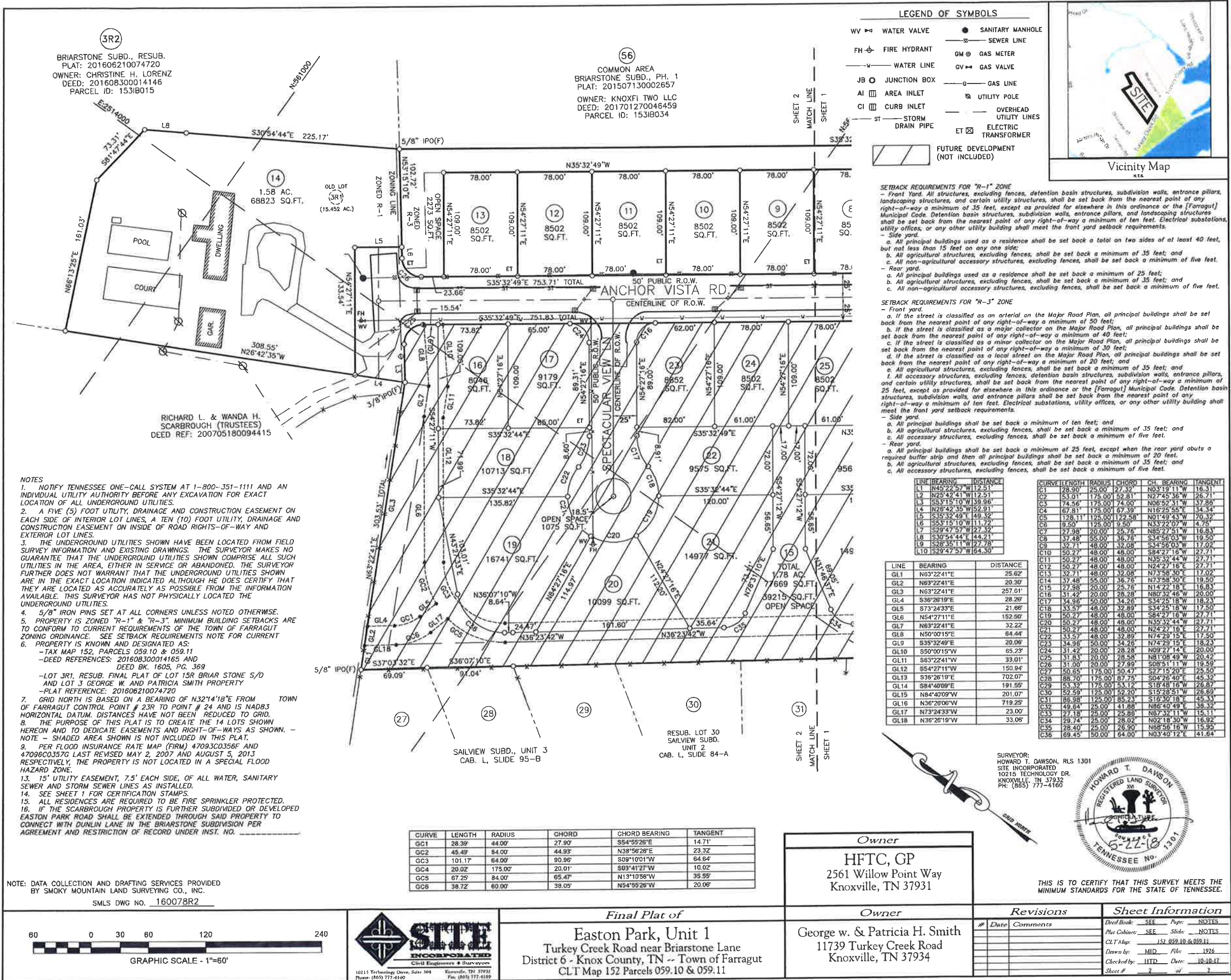


Final Plat of
Easton Park, Unit 1
Turkey Creek Road near Briarstone Lane
District 6 - Knox County, TN -- Town of Farragut
CLT Map 152 Parcels 059.10 & 059.11

Owner
HFTC, GP
2561 Willow Point Way
Knoxville, TN 37931

Owner
George w. & Patricia H. Smith
11739 Turkey Creek Road
Knoxville, TN 37934

Revisions			Sheet Information	
#	Date	Comments	Deed Book	Page
			SEE	NOTES
			SEE	NOTES
			CLT Map	152, 059.10 & 059.11
			Drawn by	MID File: 1976
			Checked by	HTD Date: 10-10-17
			Sheet #	1 of 2



REPORT TO THE FARRAGUT MUNICIPAL
PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on a concept plan for the Ivey Farms, Parcels 52, 54.01, and 57, Tax Map 151, 114.32 Acres, 213 Lots, Zoned R-1/OSR (Site Incorporated, Applicant)

INTRODUCTION AND BACKGROUND: This item involves a concept plan for the Ivey Farms property that is situated between the Fox Run and Saddle Ridge Subdivisions. This property was recently rezoned to the R-1/OSR and the applicant is now proceeding with a residential development of the property.

DISCUSSION: As required in the OSR Overlay, a concept plan must be submitted for how the applicant envisions developing the entire property. The more detailed preliminary plat will likely include smaller portions of the property given that the Ivey Farms is 114 acres.

Consistent with the Town’s requirements in the Subdivision Regulations, the concept plan includes both pedestrian and vehicular connections to abutting properties. As you may recall, a major finding of the Comprehensive Land Use Plan (CLUP) Update in 2012 was a lack of vehicular connectivity. The Plan notes that single entry subdivisions, in particular, have impacts on the rest of the community in the form of congestion and longer distances to travel. Having better connectivity provides more options for travel and thereby reduces congestion. It also improves the efficiency of school buses and emergency services and provides access when one entry may be blocked. The CLUP also includes transportation maps which show both pedestrian and vehicular connections from the Ivey Farms property to abutting developments. One such vehicular connection is Pecos Road which was stubbed into the Ivey Farms property when Unit 2 of the Saddle Ridge Subdivision was final platted. This road was constructed to continue into the Ivey property when the Ivey property develops.

Having this connection is consistent with the CLUP, the Subdivision Regulations, and the action taken by the Planning Commission to require Dunlin Road to be connected as part of the Briarstone Subdivision and East Kingsgate Road to be connected to what will be part of Phase II of the Brookmere Subdivision off Virtue Road.

Other key elements of the Ivey Farms concept plan include a substantial walking trail system within the development which also connects to both Saddle Ridge and Fox Run. A large bioswale is also included as part of the streetscape plan along with a robust street tree planting plan. The concept plan appears to take into consideration the natural features of the property and includes almost 50 acres of open space.

RECOMMENDATION: Included in your packet is a copy of the revised concept plan and the applicant’s responses to the staffs’ comments on the initial concept plan. The staff will make a recommendation at the meeting based on whether the initial comments have been satisfactorily addressed.



Civil Engineers

RECEIVED
JUL 09 2018
TOWN OF FARRAGUT

July 9, 2018

Mark Shipley
Town of Farragut
11408 Municipal Center Dr.
Farragut, TN 37934

Re: Staff comments on site plan for Ivey Farms, Union Road

Dear Mark,

Please find attached our revised plans per Staff recommendations at the April 19, 2018 Municipal Planning Commission Meeting. We have provided responses to comments below.

Fire Division:

- 1) No comments at this time;

Planning Division:

- 2) The bridge and trail crossings of Little Turkey Creek will have to meet all Town requirements as part of the preliminary plat submittal;
Noted.
- 3) Please note that the R-1/OSR zoning is pending and would be a condition of any concept plan approval;
Noted.
- 4) Please add the "Natural Water Course" symbol to the Site Legend on the Boundary Survey Sheet;
Symbol for Natural Water Course has been added to the Legends.
- 5) We may need to have the identified natural water course areas evaluated to ensure that they are only wet-weather conveyances and not regulated waters. They appear to be largely located within open space areas, but the streetscaping plan also envisions bioswale and rain garden improvements;
The Streetscaping Plan has been revised to show more plantings along the natural water course.
- 6) Please include the required information for the tree covered areas (approx. density, predominant species, etc.);
Tree covered areas are noted on sheets SP.3 and SP.4.
- 7) Please update the site legend on the layout sheets with a sidewalk symbol for clarity;
Sidewalk symbol has been added to the legends.
- 8) We may need to further review and coordinate proposed sidewalk and crosswalk locations but the overall design looks good;
Noted.
- 9) Please include a sidewalk connection along the connection street to Saddle Ridge;
Per our discussion at the staff/developer meeting, we are not adding the sidewalk connection.
- 10) Several walking trail segments are quite steep. This may be unavoidable due to topography but the developers should work with staff throughout the process to make adjustments where possible;
Noted.

- 11) Lots 19, 20, 23 & 24 are shown as detention areas, please explain. In addition, lots 21 & 22 are impacted by an aquatic buffer area and will also be impacted by the Town's floodplain management standards for unmapped (NFIP) streams. This includes a 35 foot from top of bank setback and flood zone area;
The above mentioned lots have been removed in the detention and aquatic buffer areas. We added the 35' flood plain to the plans.
- 12) The development is being coordinated with and includes a proposed extension of Way Station Trail across the Swan Property. We will need a full road plat and the same level of planning detail for this aspect of the development and this would be part of a preliminary plat submittal. Way Station Trail extension would be considered a major collector street and would need to meet the applicable requirements;
Noted.
- 13) Please provide more clarity regarding existing utilities and likely service connection points and/or extensions needed to service the proposed development (just looking at coordination);
Sewer connection point will be to the existing sanitary sewer line that runs along the creek. Water is available along Union Road and FUD indicated they will be upgrading this line along with the Union Road improvements. Water has also been stubbed to the site from Pecos Rd in Saddle Ridge.
- 14) You may wish to address how 5G service or small cell support structures may be provided in the subdivision in the near future. The infrastructure should be considered early in the development process;
Noted.
- 15) Please include a detail which shows a typical street cross section with the minimum 6 foot grass strip between the sidewalk and street curb. Please also include a detail for the sidewalk and walking trail. If you have short street sections with very low ADT's you may consider street width variances. A 26-foot-wide street may be unnecessary in certain portions of the development;
Typical street and sidewalk cross sections are shown on sheet SP.8, and trail cross section is shown on sheet SP.13.
- 16) There are a couple of long straight sections of Roads A and B that need to be addressed. Please incorporate a design along these sections that will notably slow traffic speed. You may consider adding some curvature, using a bump out or mini-circle, adding a raised pedestrian crossing, and/or other measures that may be appropriate for the context. Traffic calming within the entire subdivision must be specifically addressed in the concept plan submittal;
We revised the broken back curve on Road B and added a raised pedestrian crossing. We added islands to Road A at the intersection of Road D
- 17) If street trees are used for a portion of the streetscape plan, please ensure that there is a mechanism in place to provide for this and the planting strip area is wide enough and does not contain utility conflicts. The specifics of the implementation of the streetscape plan can be addressed with the more detailed preliminary plat submittal but what is shown on the concept plan must be doable. A landscape plan will be required for the landscaping proposed in association with the streetscape plan, detention basins, any buffer strip plantings, bioswales, etc;
There should be ample space for street tree planting within the 6' grass strip. We can locate the utilities within the Utility and Drainage Easements.
- 18) Please identify open space that adjoins open space in abutting developments. A goal is to provide for wildlife corridors that are connected throughout the Town;
Open space areas on adjacent properties are noted on sheets SP.5, SP.6, & SP.7.
- 19) Please provide a JPEG of this plan once approved;
Noted.

- 20) Please ensure that the 25-foot minimum aquatic buffer is on an open space lot. Having any of this on homeowner lots creates maintenance issues and confusion as to what is allowed;
We will assure the lots do not encroach into the aquatic buffer.
- 21) Along the drainage areas please limit the amount of lawn space. You may consider small accessways in the form of footpaths but a majority of these areas should be planted with trees to provide a root system that can promote long term bank stabilization;
The Streetscaping Plan has been revised to show more plantings along the natural water course.

Engineering Division: (Contact Darryl Smith at dsmith@townoffarragut.org)

- 22) A greenway tie to the cul-de-sac on Lodgepole Lane in Saddle Ridge Subdivision might be desirable since it is a very short distance;
We are not showing a connection to Lodgepole Lane at this time.
- 23) Preliminary plat will require coordination with the Town's consultant (Kimley Horn) to ensure proper tie of Union Road and roundabout;
Noted.
- 24) While most of the streets are shown to have circuitous routes and bending alignments (excellent for encouraging slower traffic speeds), Road A has a lengthy downhill straight (approximately 1400 feet). Can an alignment break or other element be included to slow traffic in this portion?
We revised the broken back curve on Road B and added a raised pedestrian crossing. We added islands to Road A at the intersection of Road D.
- 25) At some point with development of the Ivey and Swan farms, a signal will likely be warranted at Kingston Pike/Way Station Trail. A traffic impact study should identify when that signal is needed and will need to be coordinated with the Tennessee Department of Transportation.
Noted.

Please let us know if any of our responses are unclear or if you need additional information.

Sincerely,



Annette Hommel, P.E.

City Health Department

FUTURE DEVELOPMENT

SUE COX IVEY
801-1



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the Planning Commission
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and that I (we) hereby
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availability, and dedicate
other open spaces

92
Dimer

Coefficient of Accuracy

I hereby certify that the plan shown and described hereon is a true and correct survey to the accuracy required by the Farquhar Municipal Planning Commission and that the monuments have been placed as shown hereon, to the specifications of the subdivisions regulations.

Aug. 12 1922

Raymond Howell
REGISTERED SURVEYOR



BATSON, HIMES, & NORVELL
REGISTERED ENGINEERS & LAND SURVEYORS
4334 PAPERMILL DRIVE
KNOXVILLE, TENNESSEE 37909
615-588-6472

Transitions

To protect existing neighborhoods from incompatible new development, and to encourage gradual transitions even within a new development (such as between blocks with different densities), the following guidelines should be applied:

- If a density different from an adjacent property is proposed, the transition should occur within the proposed development (gradually increase or decrease away from the common boundary).
- For example, if a new development with a medium density designation were placed next to an existing low density neighborhood, single-family homes should be placed along the common boundary, with duplexes and townhomes placed further away from the existing neighborhood. This will create a gradual transition of density away from the common property line and make adjacent developments compatible. However, if the medium density was placed alongside a non-residential use (commercial, office), density could increase to match the intensity of that use. For example a medium density residential development would ‘fit’ next to office or commercial.
- Gradual density increases are encouraged near mixed use, office and commercial developments, along arterials, and at major intersections, as long as they maintain quality standards to ensure compatibility with adjacent development.



Figure 10: Higher density transitioning gradually to lower density existing development.

- Policy: Densities of new development should be compatible with existing adjacent densities.

Primary implementation tools

1. Mixed use development

Add housing variety and create mixed use zoning when implementing strategy 1 and 2.

2. Flexible density & transitions

The Town can take advantage of the relatively few remaining large vacant parcels in Farragut, by using the concept of “flexible density” to encourage, within new developments, a greater range of housing types. (See [Chapter 3: Future Land Use Plan](#) for more information).

■ Actions

1. Update zoning to:

- Create mixed use zoning districts that allow residential uses in commercial, office and some civic uses—with appropriate amenities (see [Chapter 3: Future Land Use Plan](#) for more information).
- Allow greater range of housing types within a development, including the concept of flexible, or averaging, density

STRATEGY 4. INCREASE CONNECTIVITY

Many of Farragut’s subdivisions have only a single entrance. Single-entry subdivisions have impacts on the rest of the community in the form of congestion and longer distances to travel. Increased roadway connectivity provides more options for travel and thereby reduces congestion. It also improves the efficiency of school buses and emergency services and provides access when one entry may be blocked. Increasing pathway

connectivity encourages walking and biking, which is attractive to both elderly and starter families.

Primary implementation tools

1. Connect new development

Require new development to connect to surrounding development when possible. The plan identifies a number of potential “desire lines” for connecting roads and trails. These should be implemented through the subdivision review process, and condition approval on their construction.

2. Fix missing links

Construct “missing links” (pedestrian ways and roadways) in existing developments, where routes are feasible.

3. Continue to implement the Road Master Plan and the Pedestrian and Bicycle Plan (PBP)



Figure 11: Potential roadways identify missing links and in some cases desired roadway connections. (See [Chapter 3: Future Land Use Plan](#) for more information.)

WATT ROAD / KINGSTON PIKE

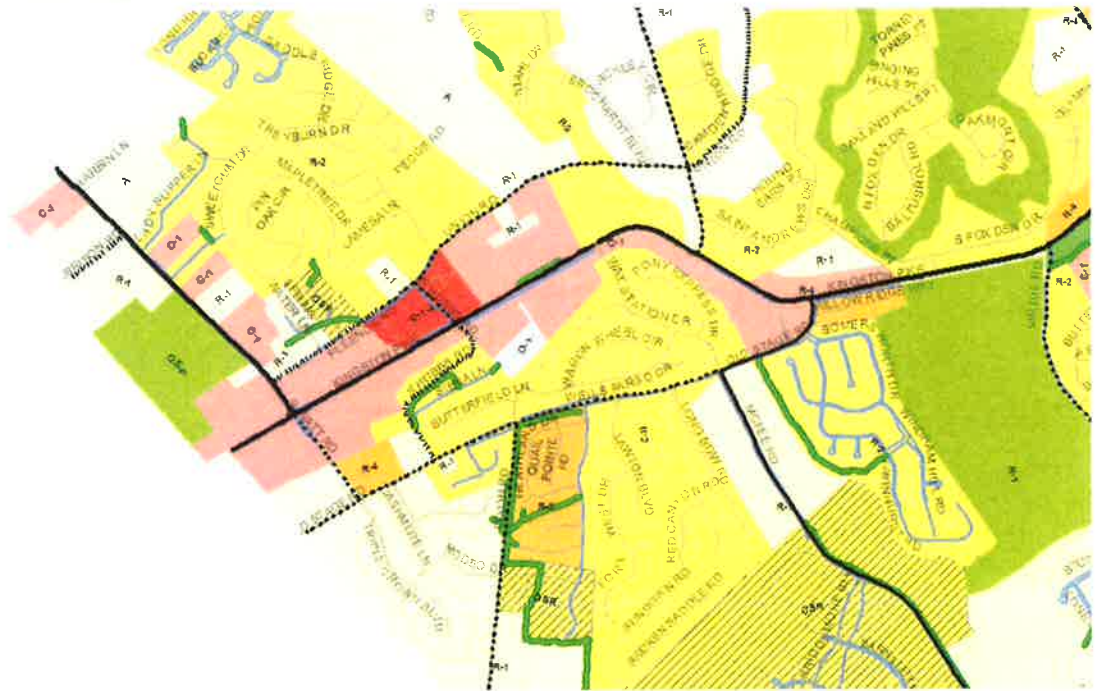
Residential areas will maintain their existing character. New medium density residential will increase near Watt Road and the Park. Watt Road and Kingston Pike are two important gateways into Farragut. Open spaces and existing vistas will be preserved at the Watt Road gateway, and design themes will be important along Kingston Pike. New residents in the area will support commercial and enjoy close proximity to the park.

Primary land uses: Commercial (along Kingston Pike), Medium density residential

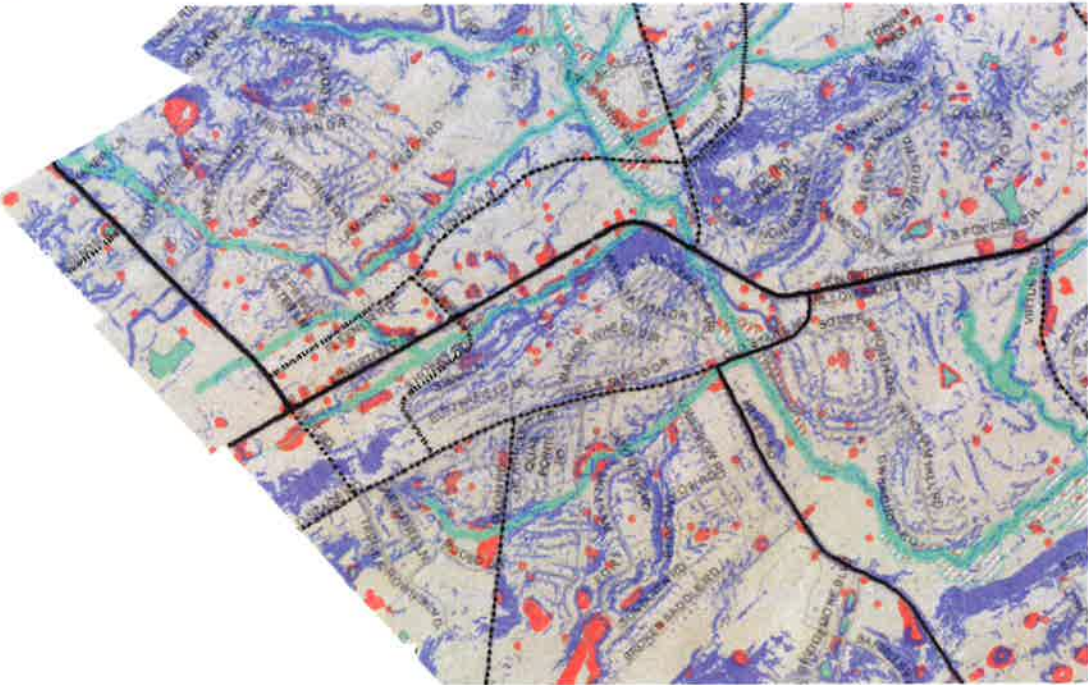
Primary land use concepts: Transitions, flex density, gateways, activity hub

Primary strategies: 3, 4, 7

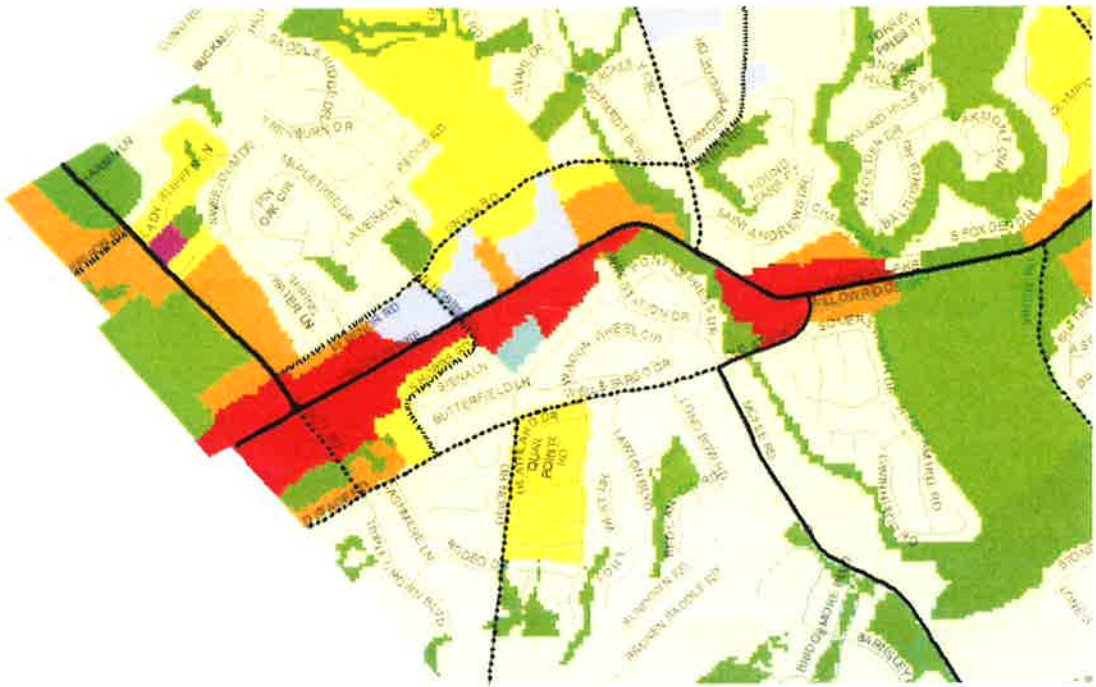
Existing Zoning



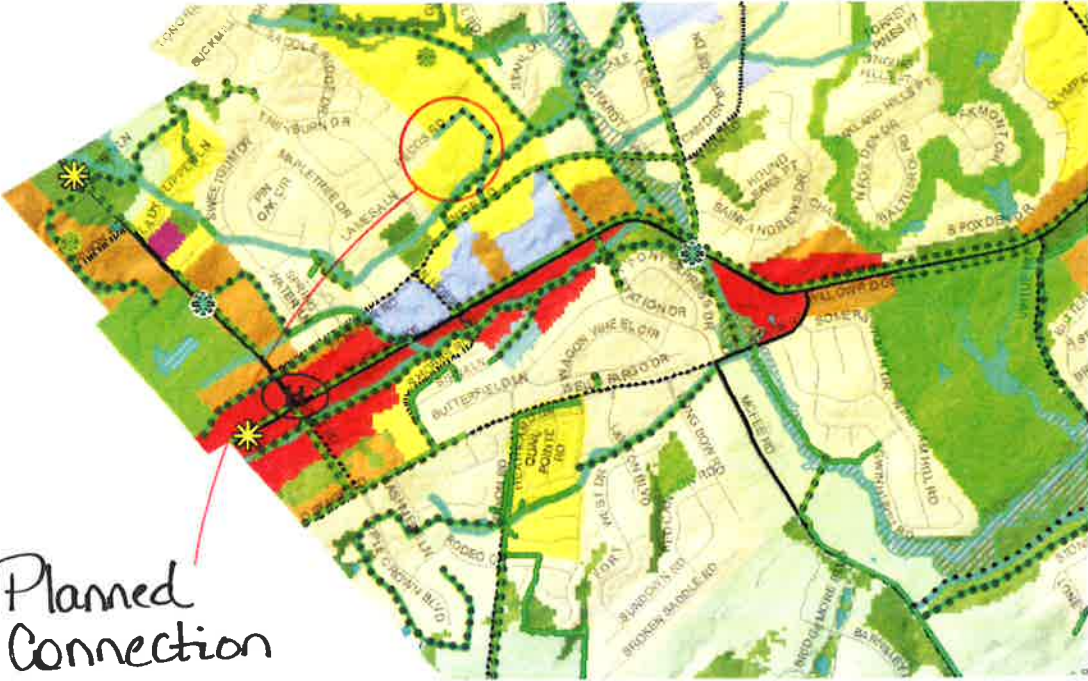
Environmental Constraints



Future Land Use



Comprehensive Plan Concepts



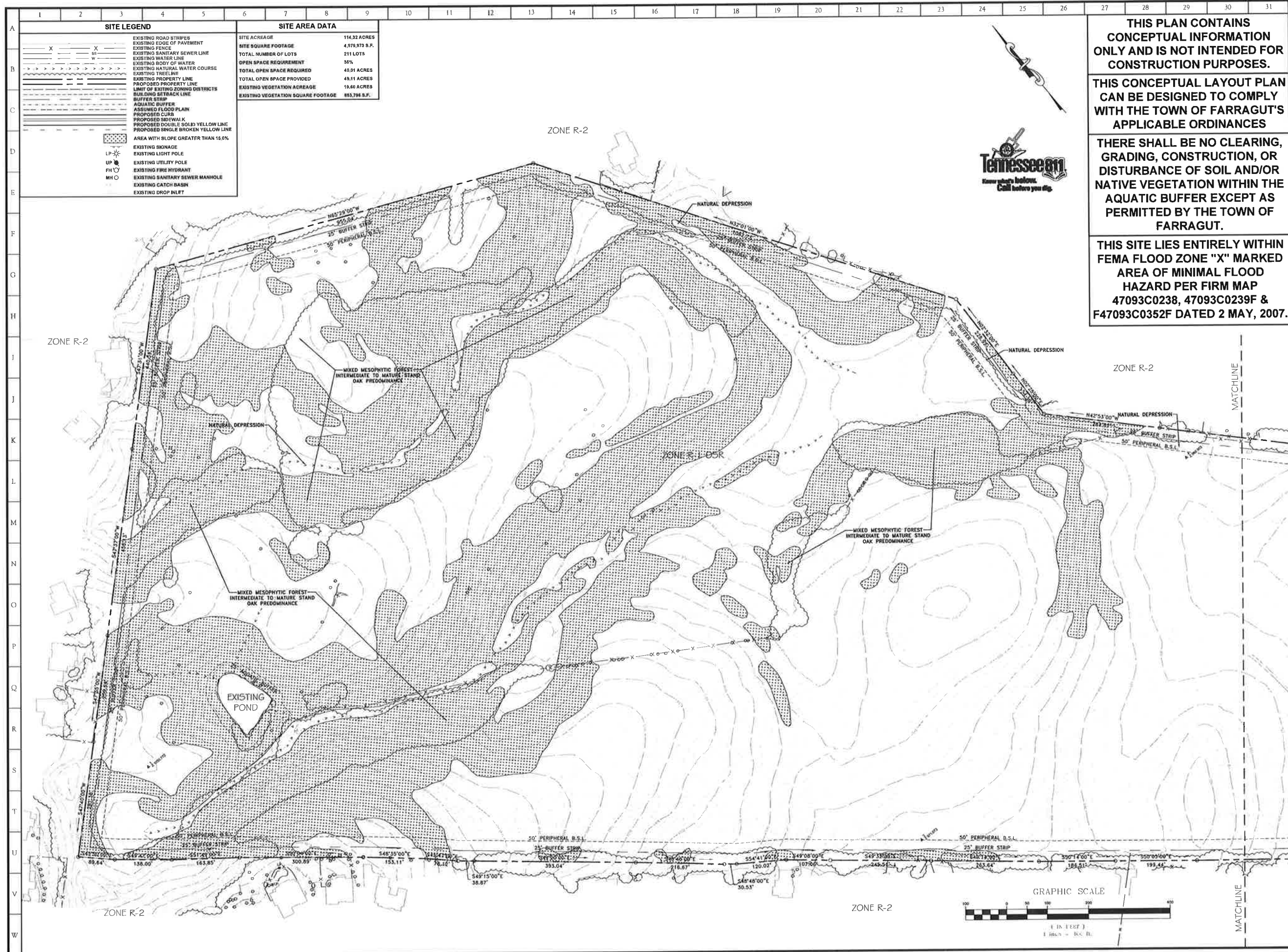
Comprehensive Plan Concepts

- (H) Strategic Plan Hub
- Future Parks
- Downtown Gateway
- Town Gateway
- Pedestrian Crossing
- Potential Pedestrian Way
- Potential Roadway

Existing Zoning

- B-1, Buffer
- S-1, Community Service
- OSP, Open Space Park
- A, Agricultural
- R-1, Rural Single-Fam Res
- R-1SA, Rural Single-Fam Res Acre
- R-2, Gen Single-Fam Res
- R-3, Small Lot Single-Fam Res
- R-4, Attached Single-Fam Res
- R-5, Two Fam Res
- R-6, Multi Fam Res
- OSR, Open Space Res
- O-1, Office
- O-1-3, Office Three Stories
- O-1-5, Office Five Stories
- C-1, General Commercial
- C-1-3, Gen Commercial 3 Stories
- C-2, Regional Commercial
- C-2RW, Regional Comm Retail Whse
- PCD, Planned Comm Dev

	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31																																																						
A																														DESIGN TEAM: ENGINEERS: SITE, INCORPORATED 10215 TECHNOLOGY DRIVE SUITE 304 KNOXVILLE, TN 37932 CONTACT: DAVID ROBINETTE PHONE: 865-777-4189 LANDSCAPE ARCHITECT: BEASLEY LANDSCAPE ARCHITECTS CONTACT: PATRICK BEASLEY PHONE: 865-441-4428 AERIAL SURVEY PROVIDED BY: TUCK MAPPING SOLUTIONS, INC. 4632 AERIAL WAY BIG STONE GAP, VA 24219 CONTACT: ROBERT TUCK PHONE: 276-523-4669 GEOTECHNICAL & ENVIRONMENTAL ENGINEERS: GEOSERVICES, LLC 2561 WILLOW POINT WAY KNOXVILLE, TN 37931 CONTACT: DENNIS HUCKABA PHONE: 865-539-4242																																																							
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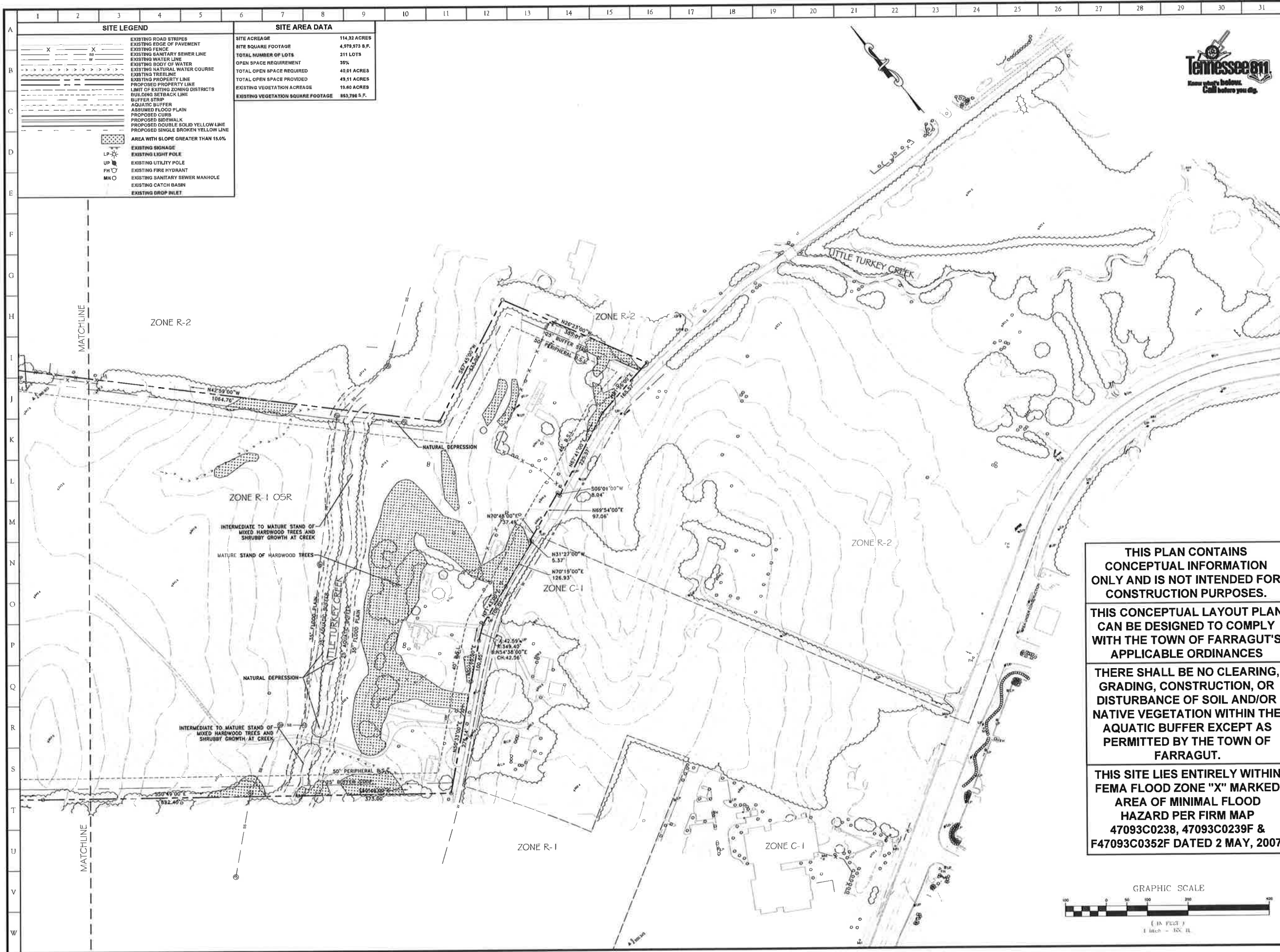


Physical Features Inventory

Ivey Farms
12723, 12733, 12737, 12743, & 12751 Union Road
Farragut, Tennessee 37934
Belle Investment Company, Inc.

DRAWN BY:	DOB	DATE:	05/18/18
CHECKED BY:	DOB	FILE:	1951-TOP-CSP1
REVISIONS			
NO.	DATE	COMMENTS	
1	07/09/18	Revised per Town of Farragut Comments	

SP.3
SHEET 4 of 18



SITE INCORPORATED
Civil Engineers & Surveyors
10215 Technology Drive, Suite 304
Knoxville, TN 37932
Phone: (865) 777-4160
Fax: (865) 777-4189



Physical Features Inventory

Ivey Farms

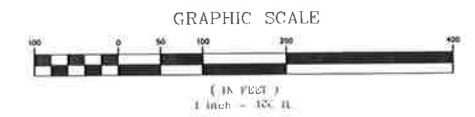
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Farragut, Tennessee 37934
Belle Investment Company, Inc.

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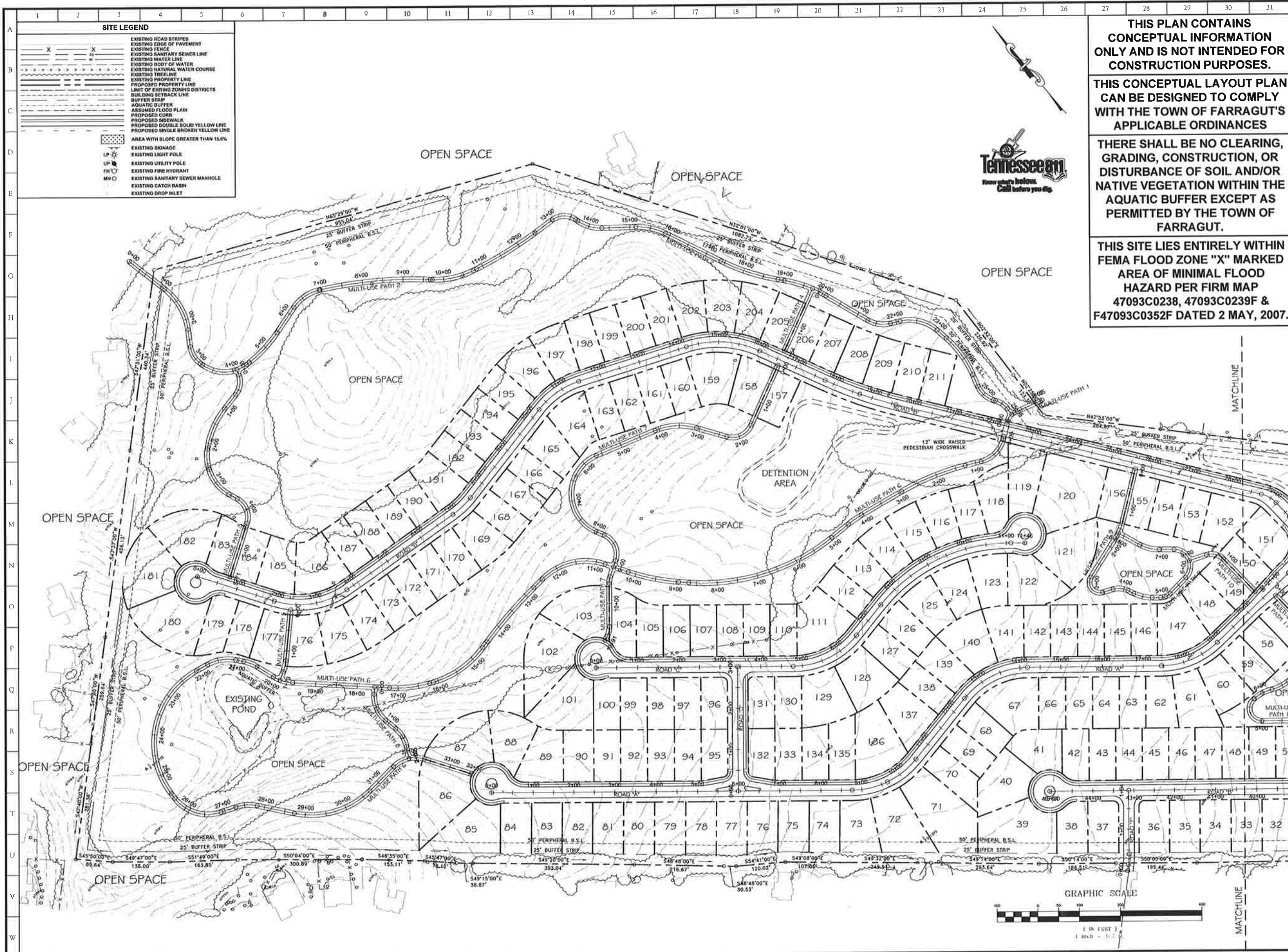
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DRAWN BY: DGB		DATE: 06/18/18
CHECKED BY: DOR		FILE: 1951-10F-CSP1
REVISIONS		
NO.	DATE	COMMENTS
1	07/09/18	Revised per Town of Farragut Comments

SP.4

SHEET 6 of 18



SITE LEGEND	
X	EXISTING ROAD STRIPES
---	EXISTING EDGE OF PAVEMENT
---	EXISTING FENCE
---	EXISTING SANITARY SEWER LINE
---	EXISTING WATER LINE
---	EXISTING BODY OF WATER
---	EXISTING NATURAL WATER COURSE
---	EXISTING TREELINE
---	EXISTING PROPERTY LINE
---	PROPOSED PROPERTY LINE
---	LIMIT OF EXISTING ZONING DISTRICTS
---	BUILDING SETBACK LINE
---	BUFFER STRIP
---	AQUATIC BUFFER
---	ASSUMED FLOOD PLAIN
---	PROPOSED CURB
---	PROPOSED SIDEWALK
---	PROPOSED DOUBLE SOLID YELLOW LINE
---	PROPOSED SINGLE BROKEN YELLOW LINE
---	AREA WITH SLOPE GREATER THAN 15.0%
LP	EXISTING SIGNAGE
UP	EXISTING LIGHT POLE
PH	EXISTING UTILITY POLE
FO	EXISTING FIRE HYDRANT
MO	EXISTING SANITARY SEWER MANHOLE
---	EXISTING CATCH BASIN
---	EXISTING DROP INLET

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HAZARD PER FIRM MAP
47093C0238, 47093C0239F &
F47093C0352F DATED 2 MAY, 2007.

SITE
INCORPORATED

Civil Engineers & Surveyors
10215 Technology Drive, Suite 304
Knoxville, TN 37932
Phone: (865) 777-4160
Fax: (865) 777-4189

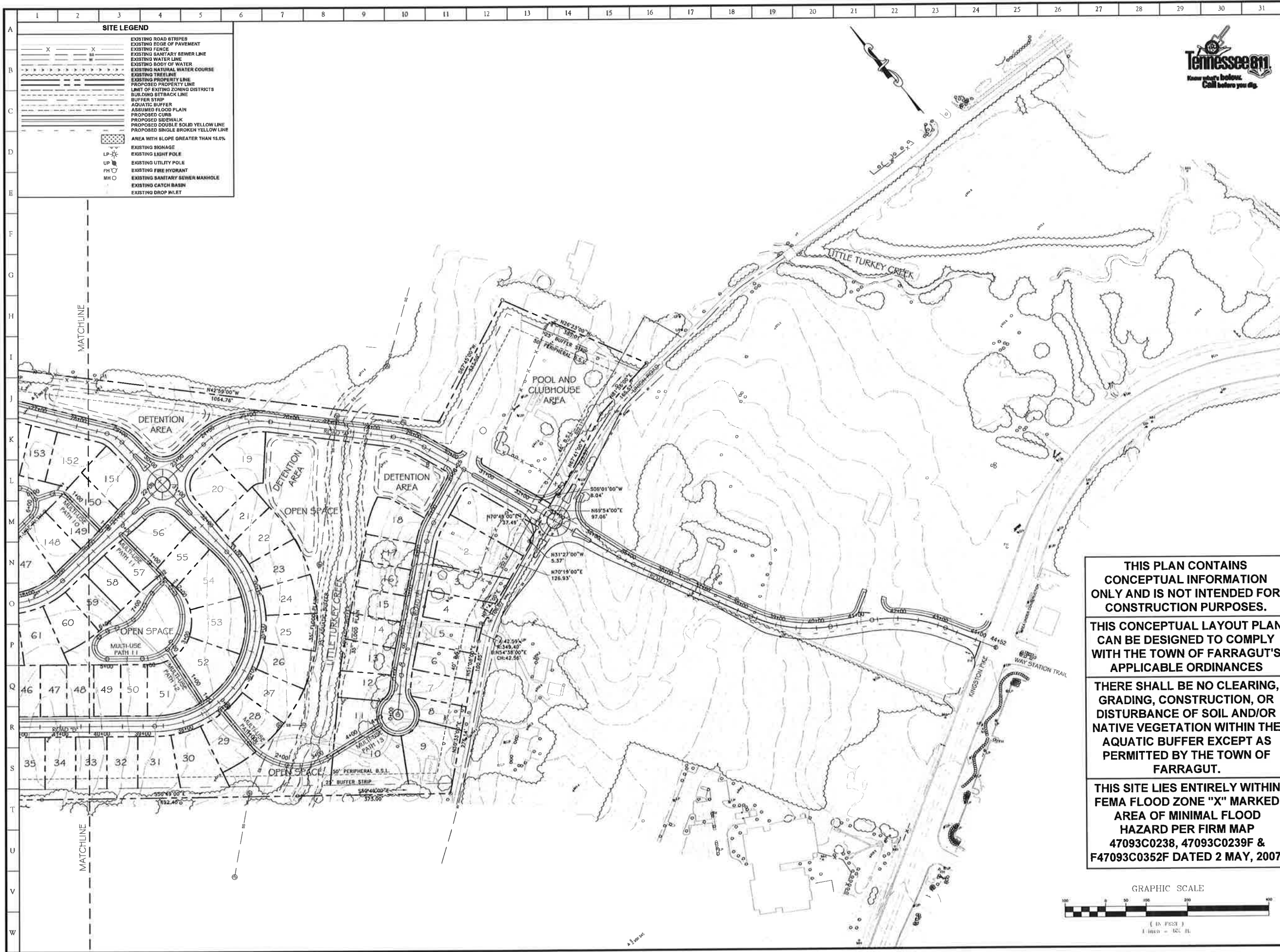


Conceptual Layout Plan

Ivey Farms

12723, 12733, 12737, 12743, & 12751 Union Road
Farragut, Tennessee 37934
Belle Investment Company, Inc.

REVISIONS	
NO.	DATE
1	07/09/18
Revised per Town of Farragut Comments	



SITE
INCORPORATED
Civil Engineers & Surveyors
10215 Technology Drive, Suite 304
Knoxville, TN 37932
Phone: (865) 777-4160
Fax: (865) 777-4169



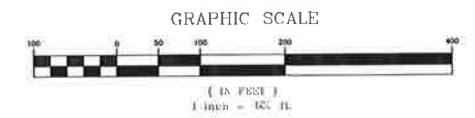
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12723, 12733, 12737, 12743, & 12751 Union Road
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Belle Investment Company, Inc.

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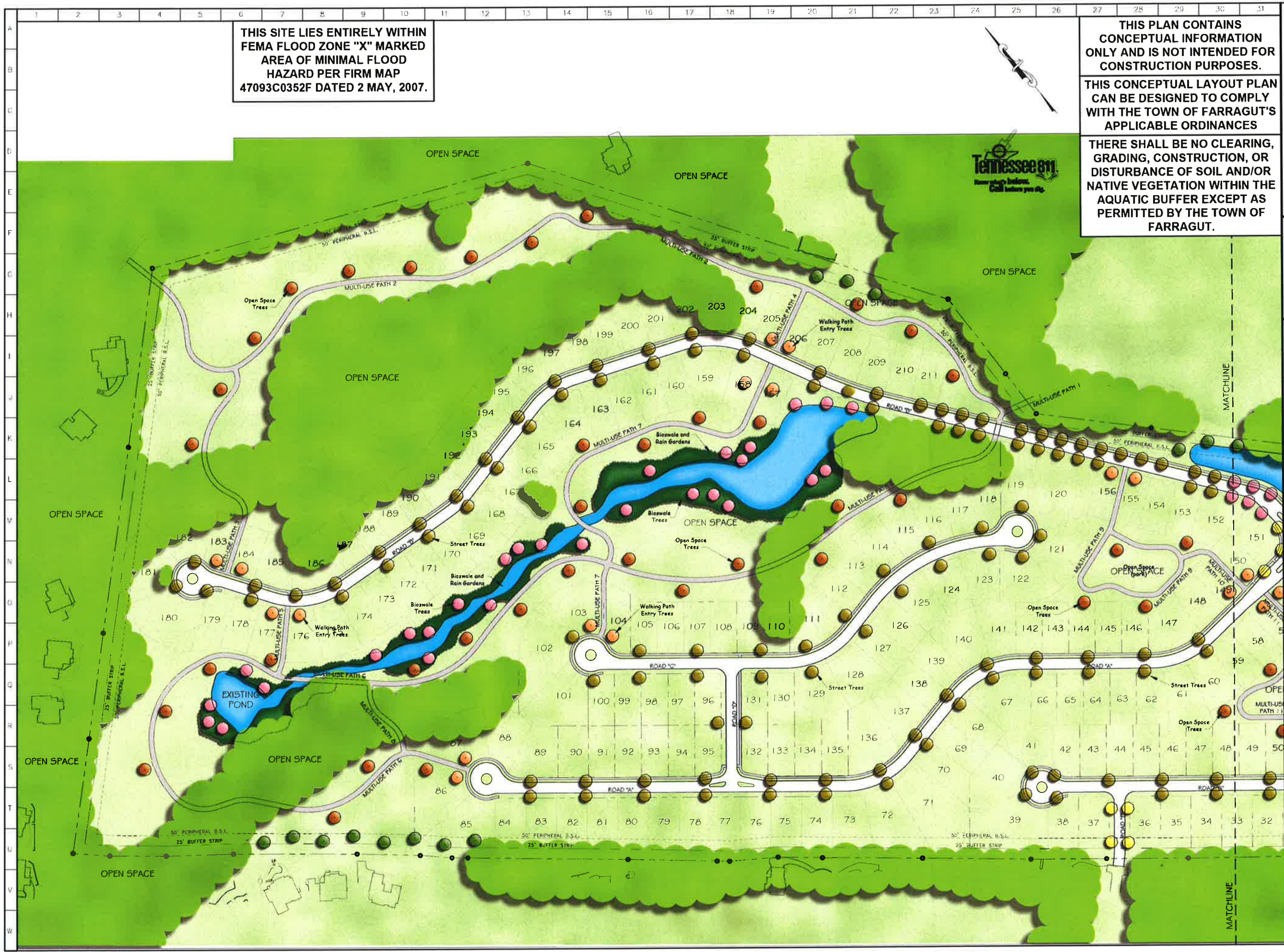
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HAZARD PER FIRM MAP
47093C0238, 47093C0239F &
47093C0352F DATED 2 MAY, 2007.



DRAWN BY:	DGB	DATE:	06/18/18
CHECKED BY:	DOR	FILE:	1931-TGF-CSPT
REVISIONS			
NO.	DATE	COMMENTS	
1	07/09/18	Revised per Town of Farragut Comments	

SP.7
SHEET 8 of 10



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AREA OF MINIMAL FLOOD
HAZARD PER FIRM MAP
47093C0352F DATED 2 MAY, 2007.

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FARRAGUT.



Streetscaping Plan
Ivey Farms
12723, 12733, 12737, 12743, & 12751 Union Road
Knoxville, Tennessee 37934
Belle Investment Company, Inc.

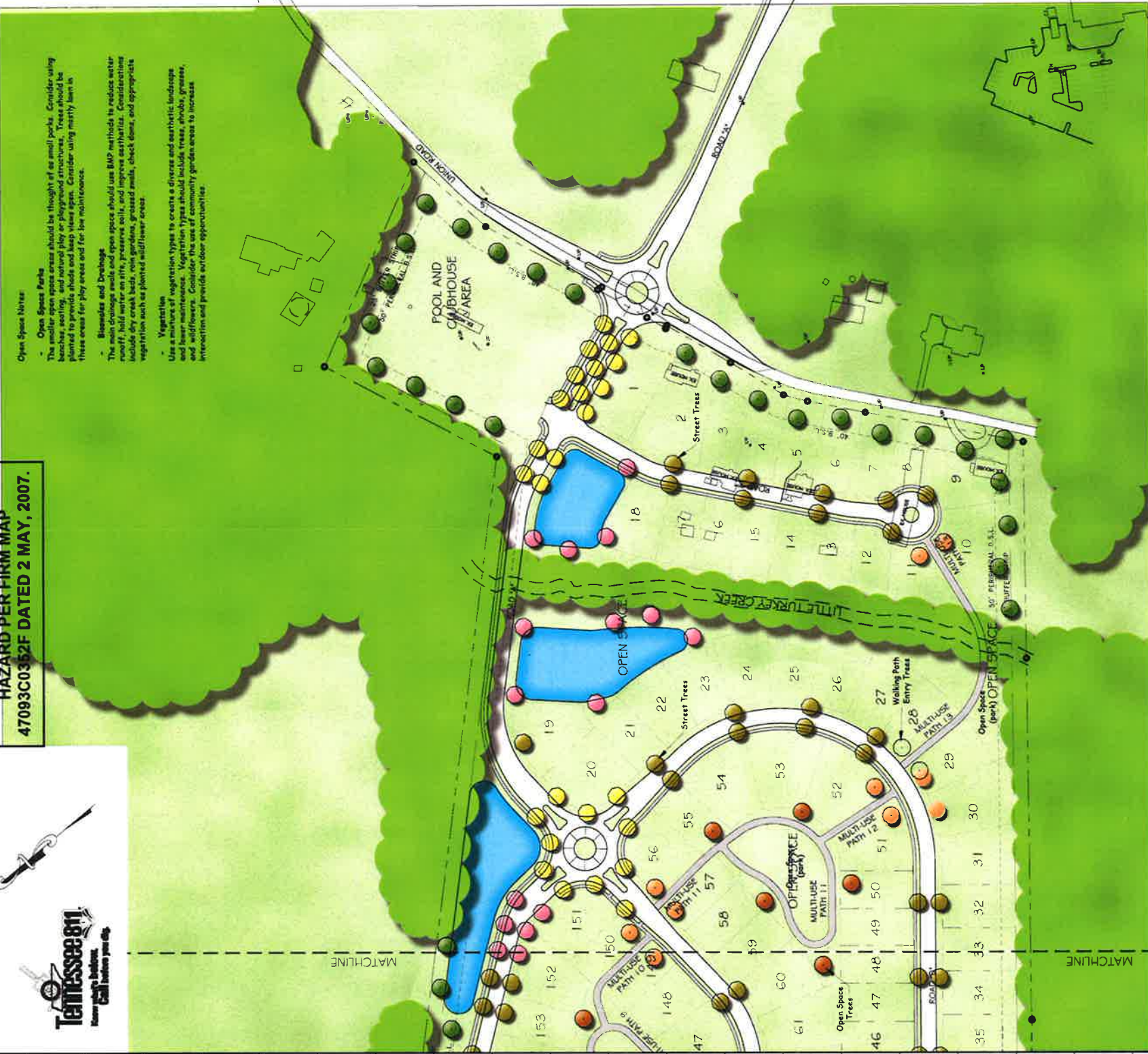
NO.	DATE	REVISIONS
1	07/09/10	Revised per Town of Farragut Comments

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AREA OF MINIMAL FLOOD
HAZARD PER FIRM MAP
47093C0302F DATED 2 MAY. 2007.



Open Space Notes:

- **Open Space Parks**
The middle open space should be thought of as small parks. Consider using benches, seating, and natural play or playground structures. Trees should be planted to provide shade and keep warm spots. Consider using mostly lawn in these areas for play areas and for maintenance.
- **Biomes and Drainage**
The main drainage swale and open space should use BMP methods to reduce water runoff, hold stormwater, preserve soils, and improve aesthetics. Considerations include dry creek beds, rain gardens, grassed swales, check dams, and appropriate vegetation such as porous sidewalk areas.
- **Vegetation**
Use a mixture of vegetation types to create a diverse and aesthetically landscapes and better maintenance. Vegetation types should include trees, shrubs, grasses, and wildflowers. Consider the use of community garden areas to increase involvement.



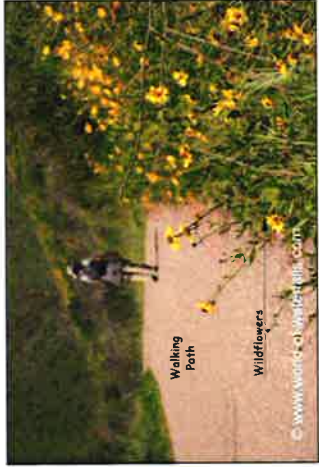
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Tree Notes

- **Street Trees**
 - Street trees should be used to help create a unified and identifiable character and should be planted (at a minimum) 100' to 150' apart or approximately every two blocks. When possible, try to plant the trees across the street from one another to help create a "boulevard" or "allee" effect. Street trees should be large canopy shade trees. Planting should be coordinated with, and planted after the construction of driveways and utilities. Trees should be planted between October and March.
- **Open Space Trees**
 - Open space trees should be planted along all open space walkways to provide shade, wildlife value, stormwater benefits, and to create a unified character throughout the open space walkway areas. In the smaller open space areas, the trees should be used to help create a park-like character. Large canopy shade and evergreen trees should be spaced approximately 150' apart and clustered in some areas.
- **Walking Path Entry Trees**
 - Use a unique and easily identifiable tree and/or plantings at each entry area.
- **Entry Drive Trees**
 - In the main entry and roundabout areas, use identifiable large canopy shade trees to create a "boulevard" or "allee" effect.
- **Buffer Trees**
 - Per the Town of Forrester code, use buffer trees as needed.
- **Blasphemous Trees**
 - In the blasphemous areas, use appropriate trees, shrubs, perennials, and wildflowers that can thrive in both wet and dry conditions. The plantings should be chosen to help preserve existing soils, create root growth to promote long term bank stabilization, slow and clean runoff water, provide wildlife habitat, and create an identifiable character for the blasphemous areas.
- **Detention Area Trees**
 - In the detention areas, use appropriate trees and shrubs that can thrive in both wet and dry conditions. Street plants should be chosen to help preserve existing soils, provide wildlife habitat, and create an identifiable character and screening for the detention areas.
- **General Tree Notes**
 - Plant trees in Fall or Winter for best survivability rate.



NO.	DATE	CONVENTS	81
87/09/18CSP Revised per Town of Farragut Comments			
REVISIONS			
CHECKED BY	DOOR	FILED	1981.TOF-CSP1
DATE	DGR	DATE	05/21/86

**REPORT TO THE FARRAGUT MUNICIPAL
PLANNING COMMISSION**

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on approval of a request from Comcast to install underground conduit along portions of Parkside Drive, N. Campbell Station Road, Campbell Lakes Drive, and Lakesedge Drive (Comcast, Applicant)

INTRODUCTION AND BACKGROUND: This item involves a request for approval of the installation of approximately 10,000 linear feet of underground conduit along portions of Parkside Drive, N. Campbell Station Road, Campbell Lakes Drive, and Lakesedge Drive. Installation will occur within the existing right-of-way and utility easements. The proposed facilities will expedite the future installation of fiber optic cable and similar services offered by Comcast.

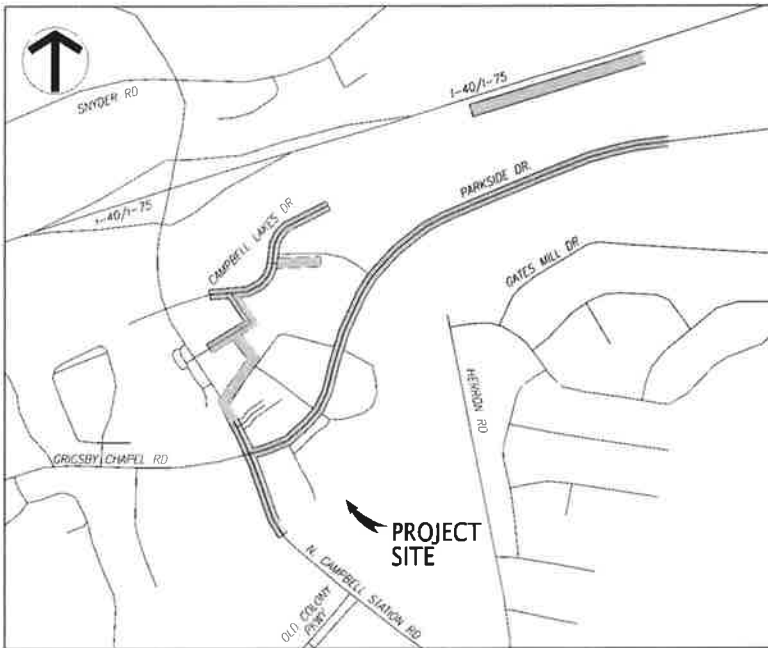
DISCUSSION: The staff has met with the applicant and the project engineer to ensure that the proposed conduit would be within either the rights of ways or existing utility easements that run along property lines and rights of ways. Since utilities are underground along Parkside Drive, the applicant will be coordinating with other utilities and will be boring to a depth that should not adversely affect existing improvements, such as streets and sidewalks.

RECOMMENDATION: Included in your packet is a copy of the applicant’s proposal. In addition to showing where the conduit will be installed, the applicant has also included details of structures (such as pedestals) that will be part of the installation.

TURKEY CREEK HYPERBUILD
CONDUIT INSTALLATION
CONCEPT PLAN
KNOXVILLE, TENNESSEE

OWNER:

COMCAST
CONTACT: MR. JIMMY GARDNER
5720 ASHEVILLE HIGHWAY
KNOXVILLE, TENNESSEE 37924-2701
TELEPHONE: 865.437.0333



LOCATION MAP
(NOT TO SCALE)

DRAWING INDEX

SHEET NO.	TITLE
C1	COVER SHEET
C2	GENERAL NOTES, LEGEND, AND PEDESTAL DETAILS
C3	CONDUIT PLAN
C4	CONDUIT PLAN
C5	CONDUIT PLAN
C6	CONDUIT PLAN
C7	CONDUIT PLAN
C8	CONDUIT PLAN
C9	CONDUIT PLAN
C10	CONDUIT PLAN
C11	CONDUIT PLAN
C12	CONDUIT PLAN
C13	CONDUIT PLAN
C14	CONDUIT PLAN



10330 HARDIN VALLEY ROAD
SUITE 201
KNOXVILLE, TN 37932
OFFICE: 865.690.6419
FAX: 865.690.6448
www.fulghummacindoe.com

PRELIMINARY
NOT FOR
CONSTRUCTION

TURKEY CREEK HYPERBUILD
CONDUIT INSTALLATION
CONCEPT PLAN
KNOXVILLE, TENNESSEE 37934

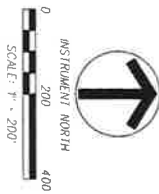
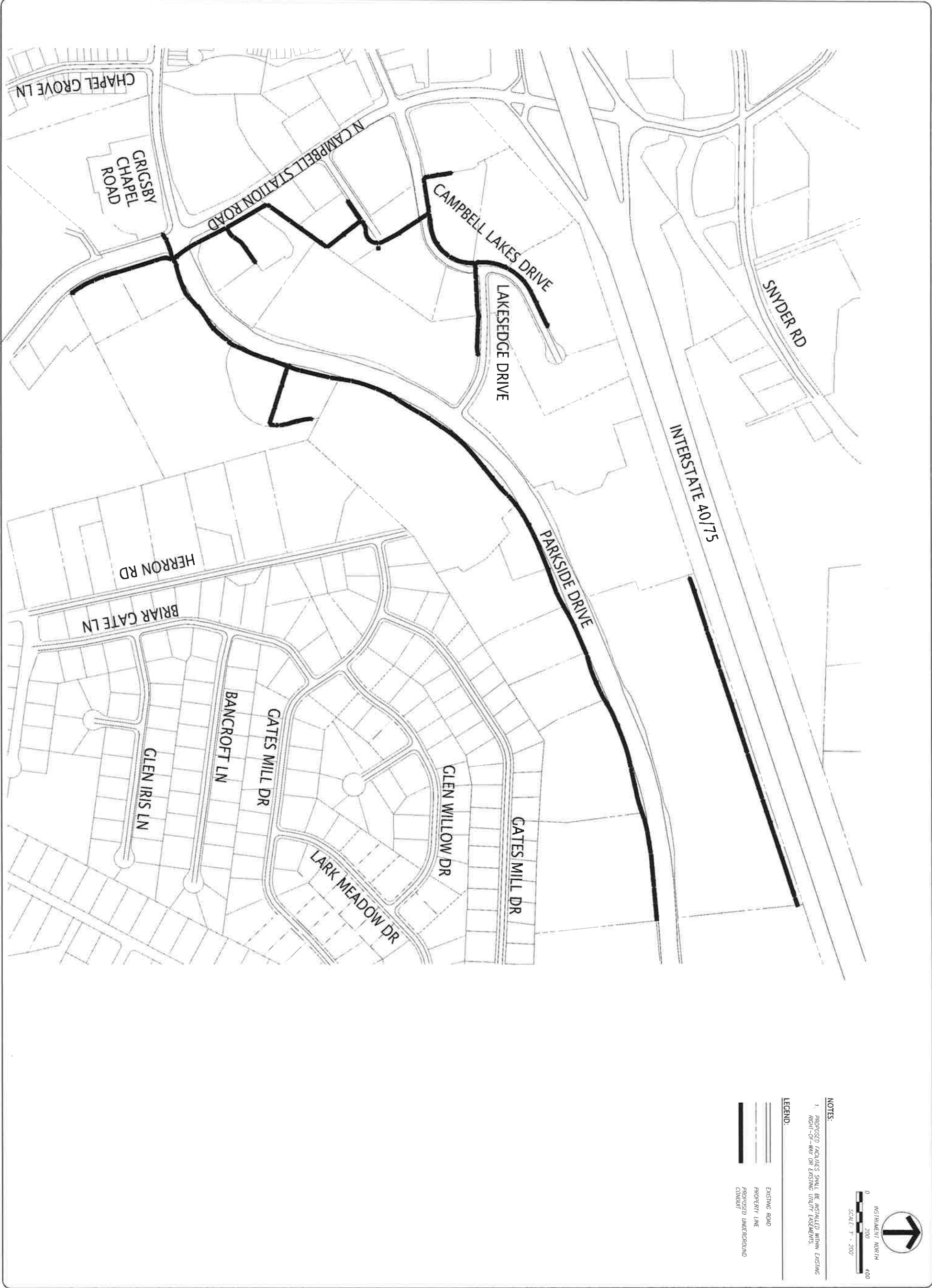
COMCAST CABLE
5729 ASHEVILLE HIGHWAY
KNOXVILLE, TN 37924-2701
CONTACT: MICHAEL BAILEY
TELEPHONE NO.: 865.320.2675

COVER SHEET

PROJECT NO.	610.001	SHEET NO.	C1
DATE	05/04/16	SCALE	N.T.S.
DESIGNED BY	DJS	DRAWN BY	RPJ
PROJ. MGR.	HAD	REVISION/ISSUE	No.
REVISED PER TOWN COMMENTS		06/21/18	
ISSUED FOR TOWN OF FARRAGUT REVIEW		05/04/18	



FULGHUM, MACINDOE, & ASSOCIATES, INC.
CONTACT: H. ADAM DUNCAN, P.E.
10330 HARDIN VALLEY ROAD, SUITE 201
KNOXVILLE, TENNESSEE 37932
TELEPHONE: 865.690.6419
FAX: 865.690.6448



NOTES:
1. PROPOSED FACILITIES SHALL BE INSTALLED WITHIN EXISTING RIGHT-OF-WAY OR EXISTING UTILITY EASEMENTS.

LEGEND:

- EXISTING ROAD
- PROPERTY LINE
- PROPOSED UNDERGROUND CONDUIT



10330 HERRON VALLEY ROAD
KNOXVILLE, TN 37932
OFFICE: 865.690.6419
FAX: 865.690.6448
www.fulghummacindoe.com

PRELIMINARY
NOT FOR
CONSTRUCTION

TURKEY CREEK HYBERBUILD
CONDUIT INSTALLATION
CONCEPT PLAN
KNOXVILLE, TENNESSEE 37934

COMCAST CABLE
5729 ASHEVILLE HIGHWAY
KNOXVILLE, TN 37924-2701
CONTACT: MICHAEL BAILEY
TELEPHONE NO.: 865.320.2675

OVERALL CONCEPT
PLAN

PROJECT MGR		DESIGNED BY		DRAWN BY	
HAD		DJS		RPJ	
PROJECT		DATE		SHEET	
610.001		06/21/18		CP1	
SCALE		1"=200'			
NO.		REVISION/ISSUE		DATE	
1		ISSUED FOR MPC REVIEW		06/21/18	

GENERAL NOTES:

1. PLANIMETRIC INFORMATION AND BASEMAPPING SHOWN WAS TAKEN FROM KNOXVILLE GEOGRAPHIC INFORMATION SYSTEM (KGIS) AND IS APPROXIMATE. SUPPLEMENTAL FIELD SURVEY DATA OF VISIBLE, SURFACE-LEVEL FEATURES IN CLOSE PROXIMITY TO PROPOSED CONDUIT ROUTE WAS PROVIDED BY BENCHMARK ASSOCIATES, INC. DATED FEBRUARY 20, 2018.
2. THE PROPOSED CONDUIT ROUTE HAS NOT BEEN DESIGNED BY THE ENGINEER. THE ROUTE SHOWN WAS DETERMINED BY THE OWNER AND IS SHOWN FOR PERMITTING PURPOSES ONLY. EXACT LOCATION AND INSTALLATION DETAILS FOR PROPOSED CONDUIT SHALL BE COORDINATED WITH THE OWNER.
3. SUBSURFACE UTILITIES SUCH AS GAS LINES, WATER LINES, AND SEWER LINES SHOWN ON THE PLANS ARE APPROXIMATE AND WERE NOT INCLUDED IN SURVEYED INFORMATION. SOME UTILITIES, SUCH AS ELECTRIC LINES, TELEPHONE LINES, AND STORM DRAINS ARE NOT SHOWN ON THE PLANS BUT DO EXIST IN THE PROJECT AREA. THE EXACT LOCATIONS SHALL BE DETERMINED IN THE FIELD BY CONTACTING THE UTILITY COMPANIES INVOLVED.
4. EXISTING PROPERTY PLATS INDICATE THAT A 10 FEET WIDE UTILITY AND DRAINAGE EASEMENT EXISTS ON EXTERIOR PROPERTY LINES AND A 5 FEET WIDE UTILITY AND DRAINAGE EASEMENT EXISTS ON INTERIOR PROPERTY LINES. THE PROPOSED ROUTE IS INTENDED TO REMAIN WITHIN THESE BOUNDS. PRIOR TO CONSTRUCTION, THE OWNER SHALL OBTAIN AN EASEMENT FOR WORK PERFORMED BY THE CONTRACTOR OUTSIDE OF THE EXISTING RIGHT-OF-WAY. PROPERTY LINES REFLECTED ON THESE PLANS ARE NOT SURVEYED AND SHALL NOT BE CONSIDERED THE BASIS FOR EASEMENT DETERMINATION.
5. PROVIDE ALL NECESSARY PROTECTIVE MEASURES TO SAFEGUARD THE EXISTING UTILITIES FROM DAMAGE DURING THE CONSTRUCTION OF THIS PROJECT. FURNISH ANY SPECIAL EQUIPMENT REQUIRED TO WORK OVER AND AROUND THE UTILITIES.
6. PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL CONTACT THE UTILITY OWNERS TO NOTIFY THEM OF WORK IN THE AREA AND REQUEST THEM TO PROPERLY LOCATE THEIR RESPECTIVE UTILITY. NOTIFICATION SHALL BE GIVEN AT LEAST THREE BUSINESS DAYS PRIOR TO COMMENCEMENT OF OPERATIONS AROUND THE UTILITY.
7. UTILITIES CAN BE LOCATED BY CALLING THE TENNESSEE ONE CALL SYSTEM, AT 1-800-351-1111.
8. TRENCH DESIGN AND SAFETY FOR PIPELINE CONSTRUCTION IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL CONFORM WITH ALL APPLICABLE LOCAL, STATE, AND OSHA REGULATIONS.
9. CONDUIT SHALL BE HIGH DENSITY POLYETHYLENE (HDPE) WITH A MINIMUM COVER OF 24 INCHES.
10. PROPOSED PEDESTAL LOCATIONS ARE FOR GENERAL LOCATION ONLY. CONTRACTOR SHALL STAKE ACTUAL FIELD LOCATIONS AND COORDINATE WITH OWNER AND TOWN OF FARRAGUT FOR FINAL APPROVAL PRIOR TO INSTALLATION.
11. WHEN EXCAVATION MUST OCCUR NEAR A UTILITY POLE, THE CONTRACTOR SHALL EMPLOY A LICENSED ELECTRICAL CONTRACTOR TO GUY, ANCHOR, BRACE, MECHANICALLY HOLD, ETC., THE POLE THROUGHOUT THE EXCAVATION PROCESS AND UNTIL THE EXCAVATED AREA CAN BE PROPERLY BACKFILLED AND COMPACTED TO PREVENT MOVEMENT OF THE POLE. IF THE EXCAVATION AFFECTS AN ANCHOR, THE POLE WILL NEED TO BE STABILIZED IN A SIMILAR MANNER UNTIL THE ANCHOR CAN BE REINSTALLED AND APPROVED BY THE UTILITY OWNER. CONTRACTOR SHALL NOTIFY UTILITY OWNER NOT LESS THAN SEVEN (7) CALENDAR DAYS PRIOR TO EXCAVATION WITHIN TWENTY (20) FEET OF ANY POLE OR ENERGIZED LINE AND SHALL PROVIDE INFORMATION TO THE UTILITY OWNER PERTAINING TO THE METHOD THAT IS TO BE USED TO STABILIZE THE POLE, AS WELL AS THE NAME OF THE CONTRACTOR RESPONSIBLE FOR THE PORTION OF THE WORK.
12. CONTRACTOR TO COORDINATE DISRUPTION/REMOVAL OF ANY LANDSCAPING, SPRINKLER SYSTEMS, FENCES, ORNAMENTALS, ETC. WITH THE PROPERTY OWNER AND REPLACE TO MATCH OR IMPROVE EXISTING CONDITIONS.

LEGEND:

	EXISTING BUILDING		EXISTING UTILITY POLE
	EXISTING ASPHALT PAVEMENT		EXISTING UTILITY POLE WITH LIGHT
	EXISTING GRAVEL DRIVE		EXISTING UTILITY POLE GUY/ANCHOR
	EXISTING CONCRETE PAVEMENT		EXISTING LIGHT POLE
	EXISTING DITCH OR WATER FEATURE		EXISTING HANDHOLE (UNDERGROUND ELECTRIC)
	EXISTING FENCE		EXISTING PULLBOX (UNDERGROUND ELECTRIC)
	PROPERTY/RIGHT-OF-WAY (FIELD SURVEYED)		EXISTING OVERHEAD TELECOMMUNICATIONS LINE
	PROPERTY/RIGHT-OF-WAY (KGIS)		EXISTING UNDERGROUND ELECTRIC LINE
	EXISTING CAST IRON WATER LINE		EXISTING UTILITY MARKER
	EXISTING GALVANIZED WATER LINE		EXISTING UNDERGROUND TELECOMMUNICATIONS PEDESTAL
	EXISTING PVC WATER LINE		EXISTING UNDERGROUND TELECOMMUNICATIONS PEDESTAL
	EXISTING WATER VALVE		EXISTING CABLE TV/COMM. BOX
	EXISTING WATER METER		EXISTING NATURAL GAS LINE
	EXISTING BLOW OFF VALVE		EXISTING NATURAL GAS VALVE
	EXISTING BACKFLOW PREVENTER		EXISTING SANITARY SEWER LINE (GRAVITY)
	EXISTING FIRE HYDRANT		EXISTING FORCE MAIN
	EXISTING STORM DRAIN - CORRUGATED METAL PIPE		EXISTING SANITARY SEWER MANHOLE
	EXISTING STORM DRAIN - REINFORCED CONCRETE PIPE		EXISTING TREE
	EXISTING CATCH BASIN		EXISTING SHRUBS
	EXISTING STORM SEWER MANHOLE		WOODED/BRUSHY AREA
	EXISTING OVERHEAD ELECTRIC LINE		EXISTING GUARD RAIL
	EXISTING UNDERGROUND ELECTRIC LINE		EXISTING SIGN
	EXISTING PADMOUNT TRANSFORMER		EXISTING MAILBOX
			PROPOSED CONDUIT

UTILITY OWNERS:

WATER & SEWER
FIRST UTILITY DISTRICT (FUD)
122 DUNWOOD ROAD
KNOXVILLE, TENNESSEE 37922
CONTACT: MR. EDWIN DEYTON
OFFICE PHONE: (865) 384-8377

ELECTRIC
LENOIR CITY UTILITIES BOARD (LCUB)
200 DEPOT STREET
LENOIR CITY, TENNESSEE 37771
CONTACT: MR. JAY HINES
OFFICE PHONE: (865) 986-6591, EXT. 1730

GAS
KNOXVILLE UTILITIES BOARD (KUB)
4505 MIDDLEBROOK PIKE
P.O. BOX 59017
KNOXVILLE, TENNESSEE 37950-9017
CONTACT: MR. CHRIS MCCORMICK
OFFICE PHONE: (865) 558-2123

TELEPHONE
AT&T
9733 PARKSIDE DRIVE
KNOXVILLE, TENNESSEE 37922
CONTACT: MR. DAVID OVERMAN
OFFICE PHONE: (865) 539-8579

CABLE
KNOLOGY
10115 SHERILL DRIVE
KNOXVILLE, TENNESSEE 37932
CONTACT: MR. ARNETT JONES
OFFICE PHONE: (334) 491-6200



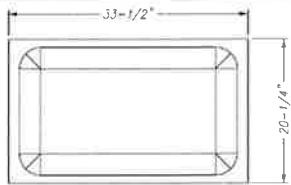
10330 HARDEN VALLEY ROAD
SUITE 201
KNOXVILLE, TN 37932
OFFICE: 865.690.6419
FAX: 865.690.6446
www.fulghummacindoe.com

PRELIMINARY
NOT FOR
CONSTRUCTION

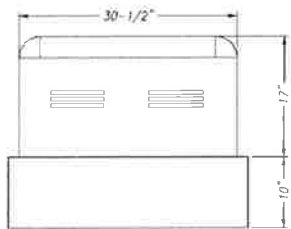
TURKEY CREEK HYPERBUILD
CONDUIT INSTALLATION
CONCEPT PLAN
KNOXVILLE, TENNESSEE 37934

COMCAST CABLE
5729 ASHEVILLE HIGHWAY
KNOXVILLE, TN 37924-2701
CONTACT: MICHAEL BAILLEY
TELEPHONE NO.: 865.320.2675

GENERAL NOTES,
LEGEND, AND
PEDESTAL DETAILS



TOP VIEW



FRONT VIEW



SIDE VIEW

NOTES:

1. DIMENSIONS ARE APPROXIMATE AND SHOWN FOR GENERAL REFERENCE ONLY. ACTUAL INSTALLATIONS MAY VARY BY MANUFACTURER BUT WILL BE CONSISTENT WITH OTHER LOCAL COMCAST INSTALLATIONS.

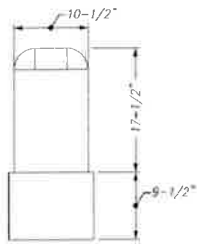


1 PEDESTAL TYPE "A"

NTS



TOP VIEW



FRONT VIEW

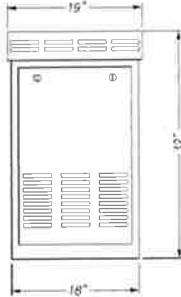
NOTES:

1. DIMENSIONS ARE APPROXIMATE AND SHOWN FOR GENERAL REFERENCE ONLY. ACTUAL INSTALLATIONS MAY VARY BY MANUFACTURER BUT WILL BE CONSISTENT WITH OTHER LOCAL COMCAST INSTALLATIONS.



2 PEDESTAL TYPE "B"

NTS



FRONT VIEW



SIDE VIEW

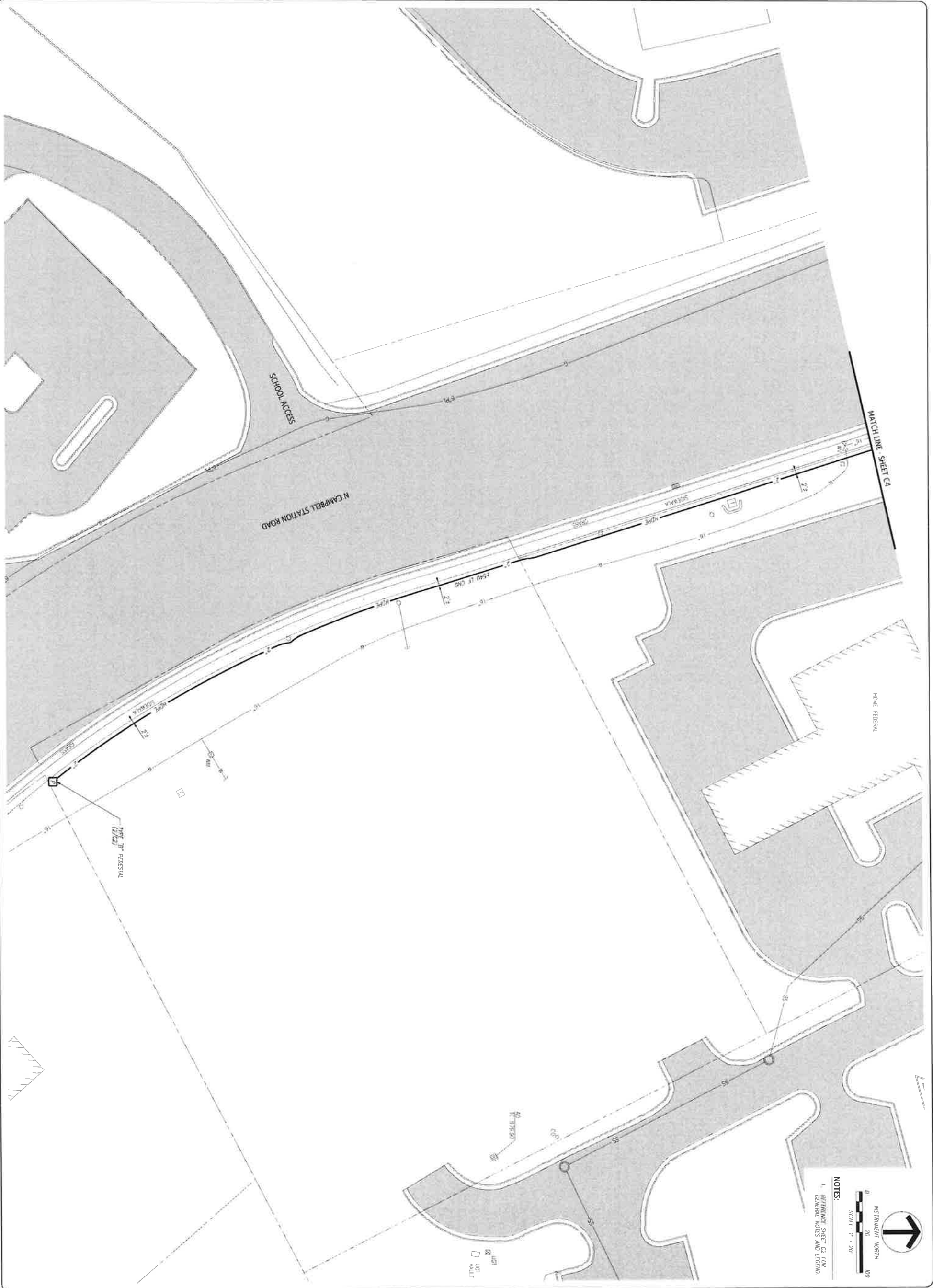
NOTES:

1. DIMENSIONS ARE APPROXIMATE AND SHOWN FOR GENERAL REFERENCE ONLY. ACTUAL INSTALLATIONS MAY VARY BY MANUFACTURER BUT WILL BE CONSISTENT WITH OTHER LOCAL COMCAST INSTALLATIONS.

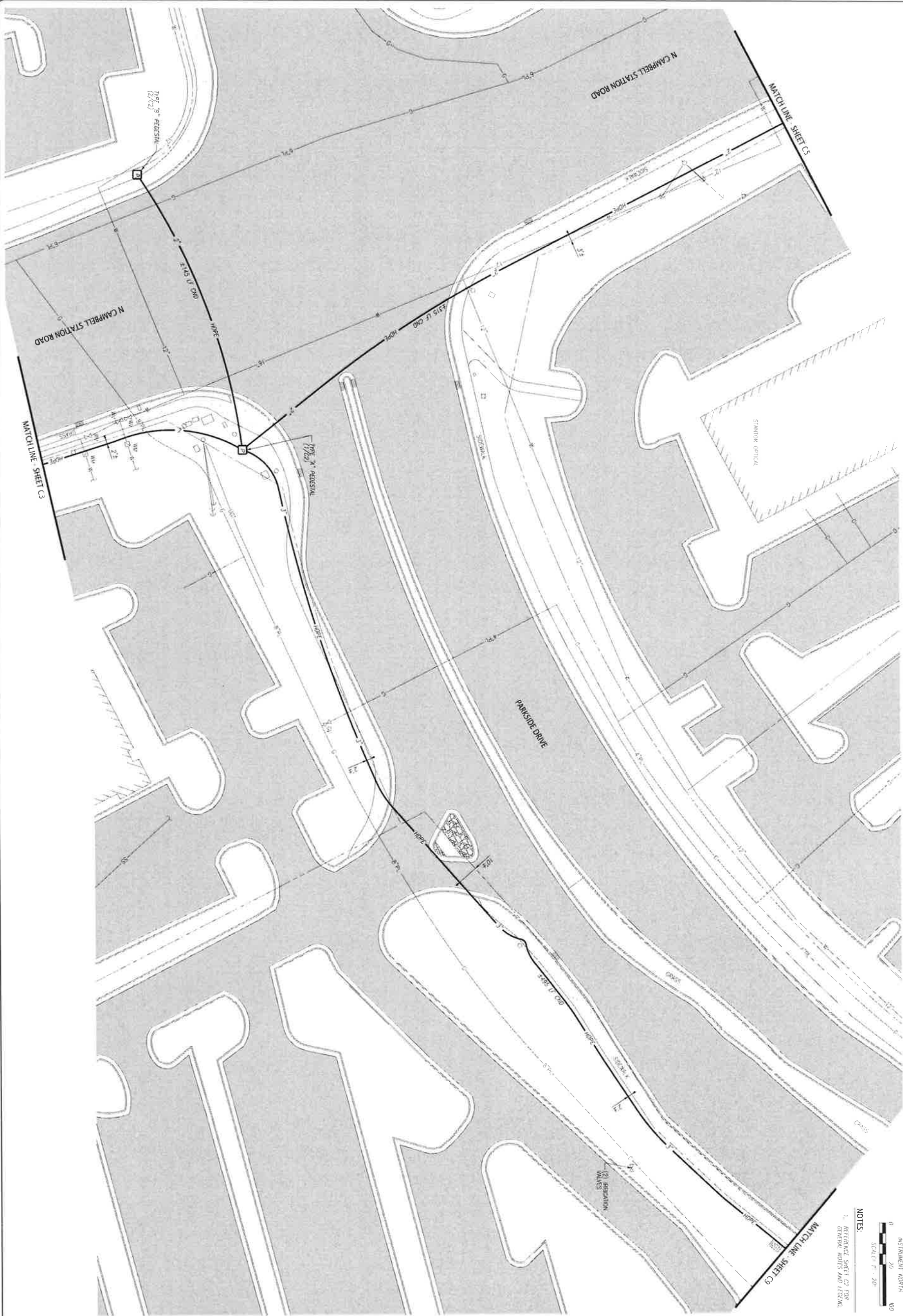


3 POWER SUPPLY CABINET

NTS



Project		PROJ. MGR.		DESIGNED BY		DRAWN BY		COMCAST CABLE 5729 ASHEVILLE HIGHWAY KNOXVILLE, TN 37924-2701 CONTACT: MICHAEL BAILEY TELEPHONE NO.: 865.320.2675		TURKEY CREEK HYBERBUILD CONDUIT INSTALLATION CONCEPT PLAN KNOXVILLE, TENNESSEE 37934		PRELIMINARY NOT FOR CONSTRUCTION		 FULGHUM MACINDOE ENGINEERS & ARCHITECTS, INC. 10038 HARTSH VALLEY ROAD SUITE 201 #753 KNOX, TN 37923 OFFICE: 865.690.6119 FAX: 865.690.6456 www.fulghummacindoe.com	
Date	05/09/18		HAD	DJS	RPJ										
Scale	1"=20'														
Sheet								CONDUIT PLAN							
				REVISED PER TOWN COMMENTS				06/21/18							
				ISSUED FOR TOWN OF FARRAGUT REVIEW				05/04/18							
		No.		Revision/Issue				Date							



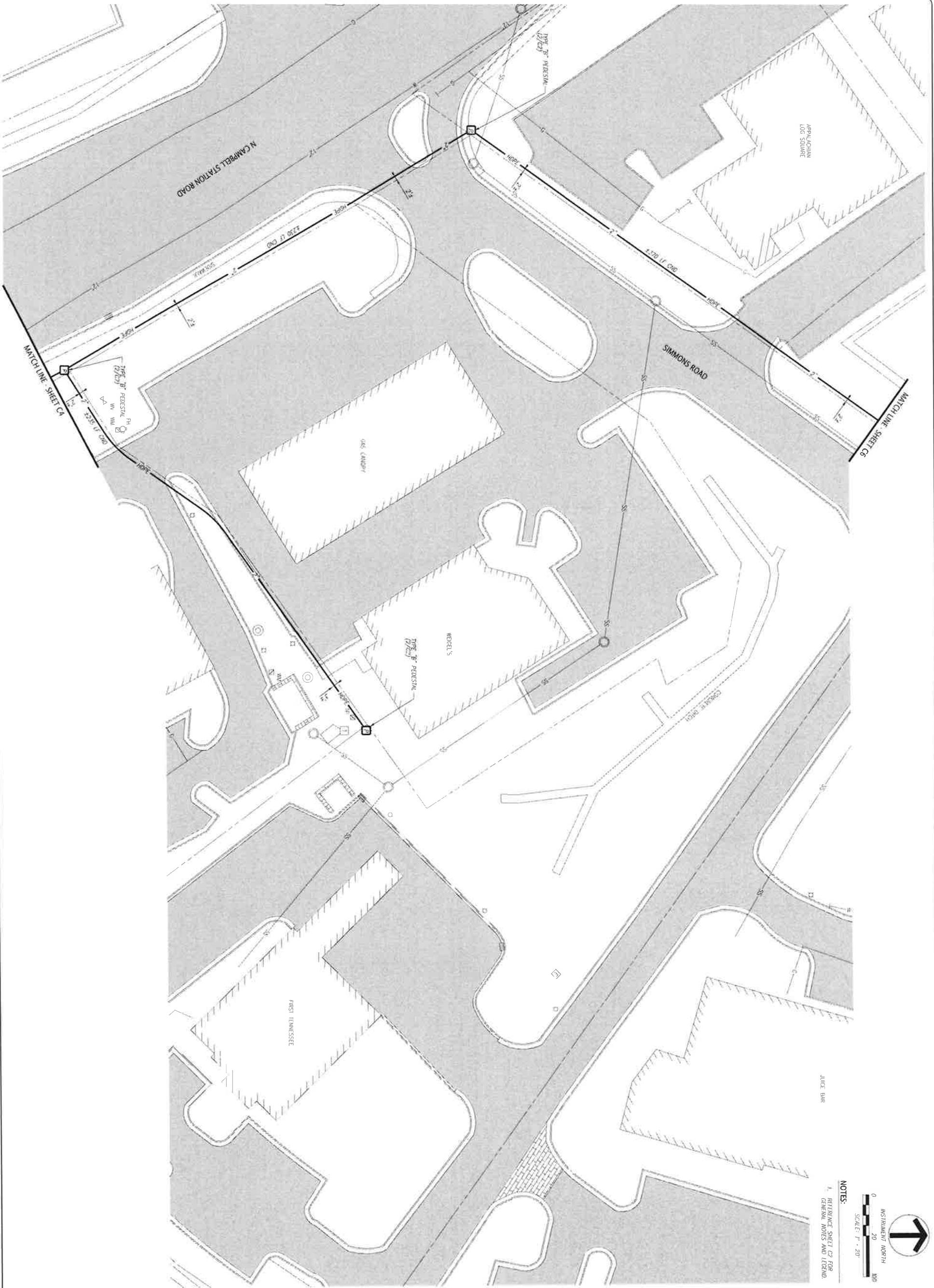
Scale 1"=20'	Date 05/06/16	Project 610202	PROJ. MGR		DESIGNED BY		DRAWN BY		
			HAD		DJS		RPI		
C4	Sheet		REVISED PER TOWN COMMENTS					06/21/18	
			ISSUED FOR TOWN OF FARRACUT REVIEW					05/04/18	
			Revision/Issue						Date
			No.						

COMCAST CABLE
5729 ASHEVILLE HIGHWAY
KNOXVILLE, TN 37924 2701
CONTACT: MICHAEL BAILEY
TELEPHONE NO.: 865.320.2675

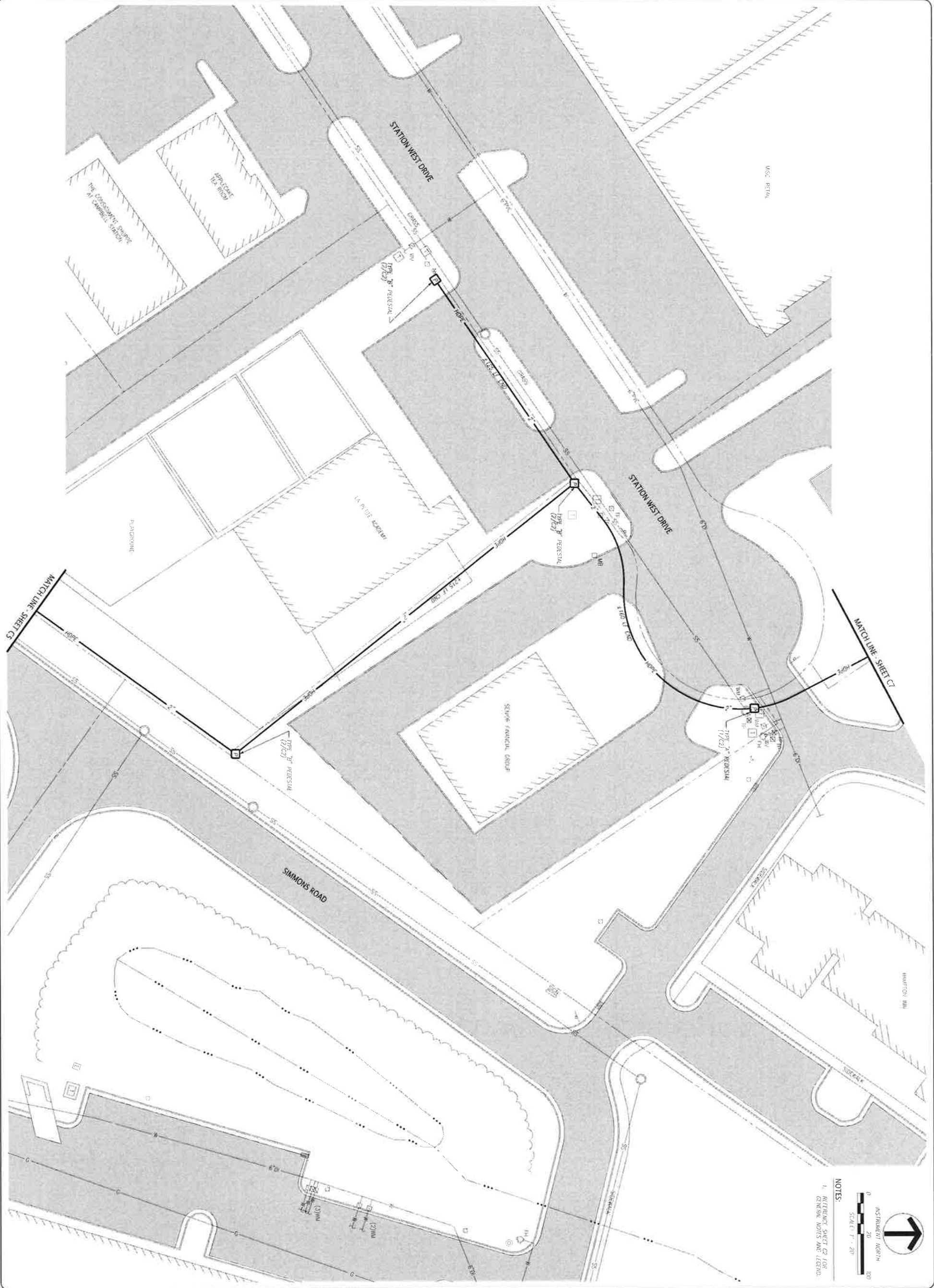
PRELIMINARY
NOT FOR
CONSTRUCTION

10330 HARKON VALLEY ROAD
SUITE 201
KNOXVILLE, TN 37932
OFFICE 865.690.6419
FAX: 865.690.6446
www.fullyhumanartcope.com





Scale 1"=20'	Date 05/04/18	Project 6/10/2017	PROJ. MGR		DESIGNED BY		DRAWN BY		RPI	COMCAST CABLE 5729 ASHEVILLE HIGHWAY KNOXVILLE, TN 37924-2701 CONTACT: MICHAEL BAILEY TELEPHONE NO.: 865.320.2675	TURKEY CREEK HYBERBUILD CONDUIT INSTALLATION CONCEPT PLAN KNOXVILLE, TENNESSEE 37934	PRELIMINARY NOT FOR CONSTRUCTION	 10339 HORTON VALEY ROAD SUITE 207 KNOXVILLE, TN 37932 OFFICE 865.691.6419 FAX 865.690.6448 www.fulghummacindoe.com
			HAD		DJS								
Sheet C5	05/04/18	6/10/2017							06/21/18	05/04/18			
			REVISD PER TOWN COMMENTS										
			ISSUED FOR TOWN OF FARRAGUT REVIEW										
			No.		Revision/Issue		Date						



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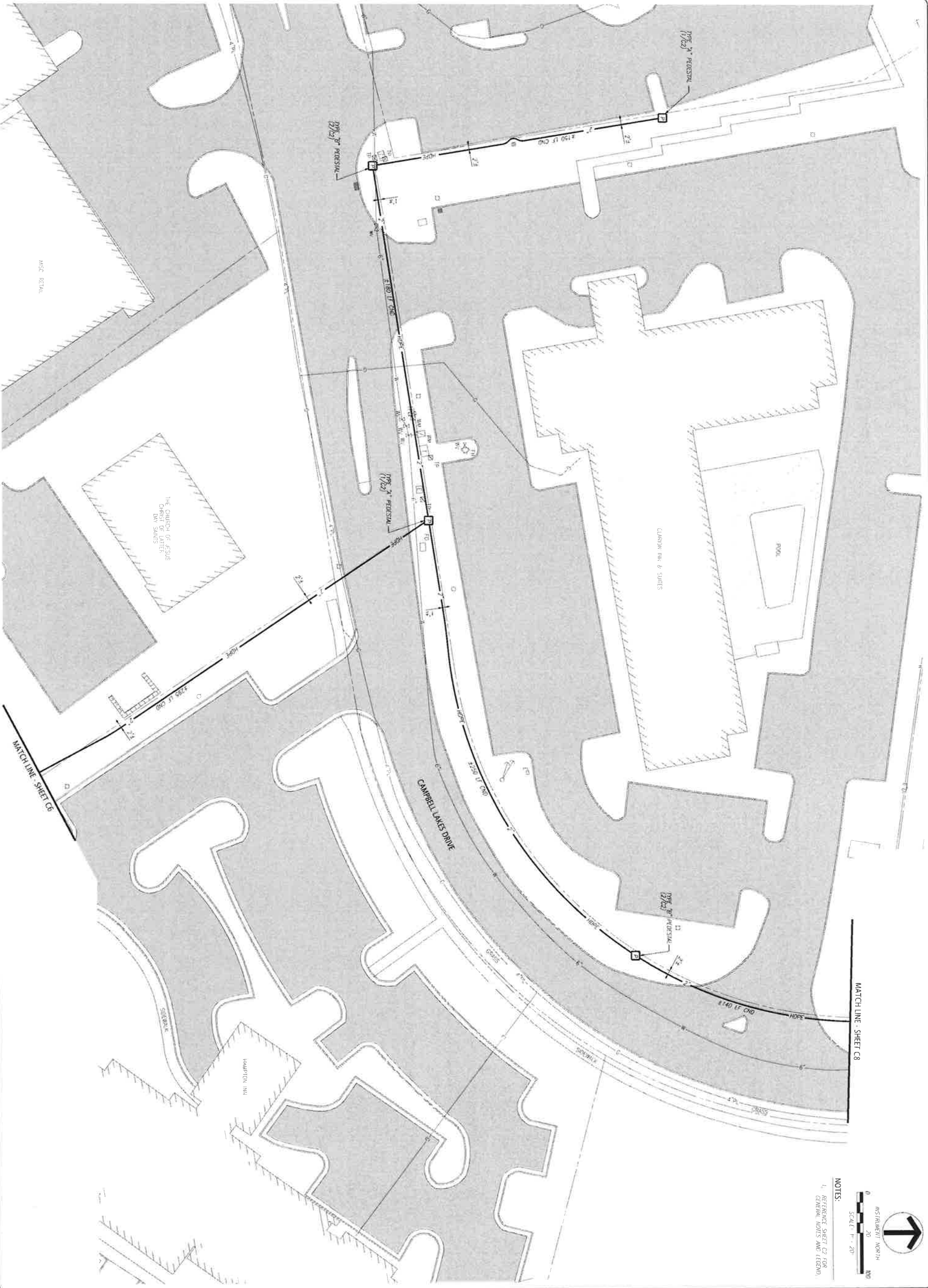
INSTRUMENT NORTH

SCALE 1" = 20'

↑

NOTE:
1. REFERENCE SHEET C2 FOR
GENERAL NOTES AND LEGEND.

Project		PROJ. MGR	HAD	DESIGNED BY	DJS	DRAWN BY	RPJ
Date		05/04/18		06/21/18		05/04/18	
Scale		1" = 20'		No.		Revision/Issue	
Sheet		C6		REVISD PER TOWN COMMENTS		ISSUED FOR TOWN OF FARRAGUT REVIEW	
CONDUIT PLAN		COMCAST CABLE		TURKEY CREEK HYBERBUILD		PRELIMINARY	
		5729 ASHEVILLE HIGHWAY		CONDUIT INSTALLATION		NOT FOR	
		KNOXVILLE, TN 37924-2701		CONCEPT PLAN		CONSTRUCTION	
		CONTACT: MICHAEL BAILEY		KNOXVILLE, TENNESSEE 37934		FULSHUM	
		TELEPHONE NO.: 865.320.2675				MACINDOE	
						1 ASSOCIATES INC.	
						10333 HURON VALLEY ROAD	
						SUITE 200	
						KNOXVILLE, TN 37932	
						OFFICE 865.698.6419	
						FAX 865.590.6448	
						www.fulshummacindoe.com	



NOTES:
1. REFERENCE SHEET C7 FOR GENERAL NOTES AND ELEVATIONS.



Project MGR		DESIGNED BY		DRAWN BY	
HAD		DJS		RPJ	
6/10/01					
Date		05/04/18		06/21/18	
Scale		1"=30'			
Sheet		C7			
Revised Per Town Comments		ISSUED FOR TOWN OF FARRAGUT REVIEW		Revision/Issue	
No.				Date	

CONDUIT PLAN

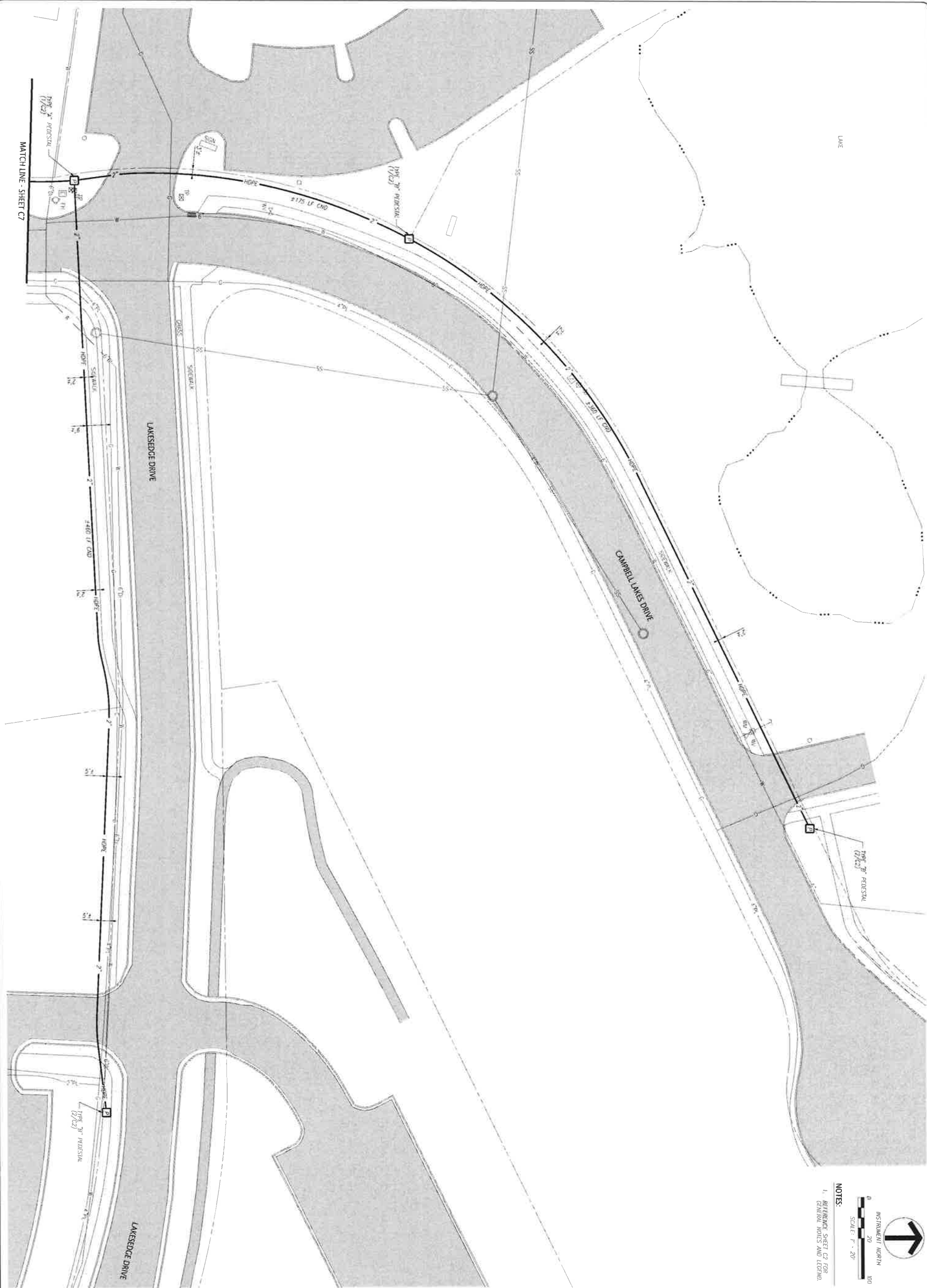
COMCAST CABLE
5729 ASHEVILLE HIGHWAY
KNOXVILLE, TN 37924-2701
CONTACT: MICHAEL BAILEY
TELEPHONE NO.: 865.320.2675

TURKEY CREEK HYBERBUILD
CONDUIT INSTALLATION
CONCEPT PLAN
KNOXVILLE, TENNESSEE 37934

PRELIMINARY
NOT FOR
CONSTRUCTION

10330 HARMON VALLEY ROAD
SUITE 201
KNOXVILLE, TN 37932
OFFICE: 865.590.4444
FAX: 865.590.4449
www.hughesnetcenter.com





NOTES:

1. RETURN SHEET C2 FOR
GENERAL NOTES AND LEGEND



10310 HARDEN VALLEY ROAD
SUITE 201
KNOXVILLE, TN 37932
OFFICE 665.690.6619
FAX 665.690.6446
www.falghammerinc.com

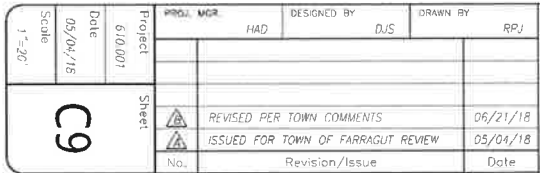


**TURKEY CREEK HYBERBUILD
CONDUIT INSTALLATION
CONCEPT PLAN
KNOXVILLE, TENNESSEE 37934**

COMCAST CABLE
5729 ASHEVILLE HIGHWAY
KNOXVILLE, TN 37924-2701
CONTACT: MICHAEL BAILEY
TELEPHONE NO.: 865.320.2675

CONDUIT PLAN

PROJ. MGR.	<i>HAD</i>	DESIGNED BY	<i>DJS</i>	DRAWN BY	<i>RPJ</i>
	REVISED PER TOWN COMMENTS				06/21/18
	ISSUED FOR TOWN OF FARRAGUT REVIEW				05/04/18
No.	Revision/Issue				Date



COMCAST CABLE
5729 ASHEVILLE HIGHWAY
KNOXVILLE, TN 37924 2701
CONTACT: MICHAEL BAILEY
TELEPHONE NO.: 865.320.2675

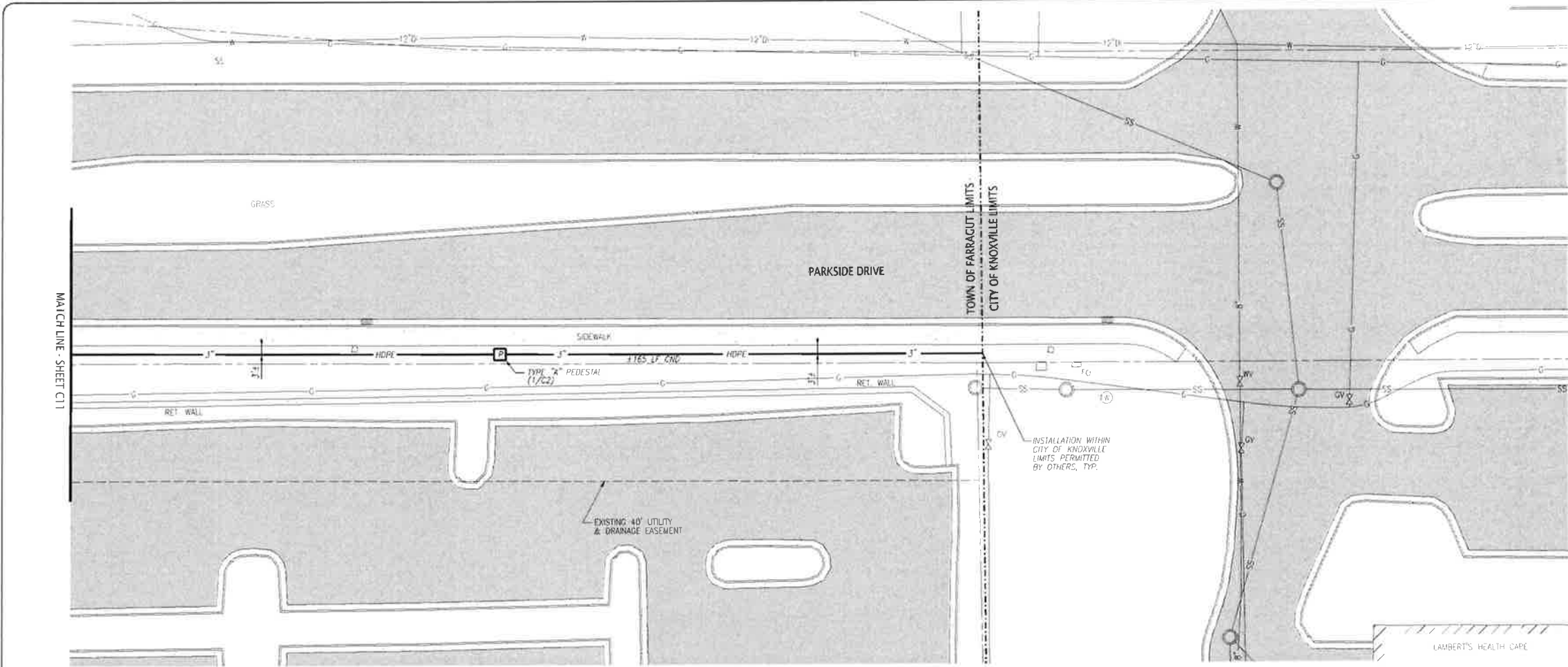
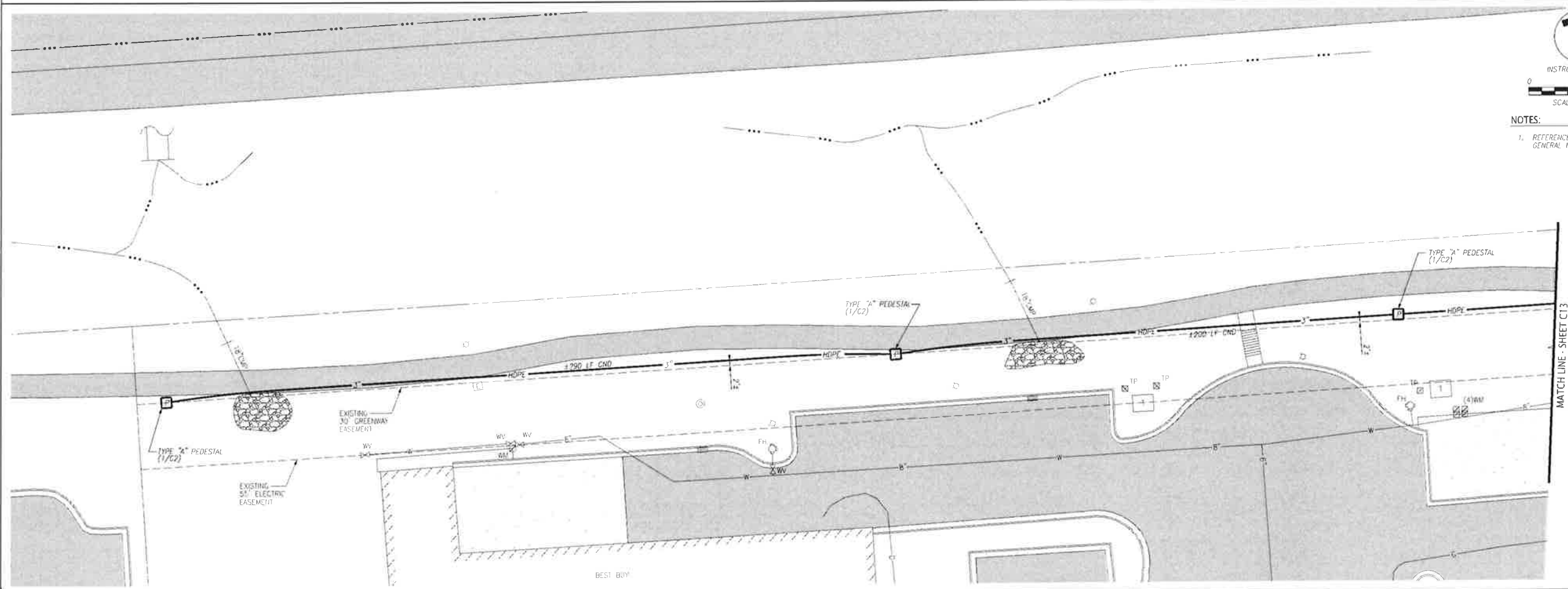
PRELIMINARY
NOT FOR
CONSTRUCTION

FULGHAM
MACINDOE
ASSOCIATES, INC.



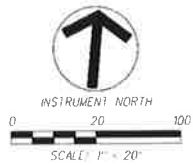
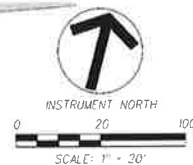


File Name: \\C:\06\616\001\DWG\616000-002.dwg
Plot Date: 6/20/2018



NOTES:
1. REFERENCE SHEET C2 FOR
GENERAL NOTES AND LEGEND.

NOTES:
1. REFERENCE SHEET C2 FOR
GENERAL NOTES AND LEGEND.



Project	610.001	Sheet	C12
Date	05/04/18		
Scale	1\"=20'		

Revised Per Town Comments	05/21/18
Issued For Town Of Farragut Review	05/04/18

COMCAST CABLE
5729 ASHEVILLE HIGHWAY
KNOXVILLE, TN 37924-2701
CONTACT: MICHAEL BAILEY
TELEPHONE NO.: 865.320.2675

TURKEY CREEK HYBERBUILD
CONDUIT INSTALLATION
CONCEPT PLAN
KNOXVILLE, TENNESSEE 37934

PRELIMINARY
NOT FOR
CONSTRUCTION

F

M

MACINDOE

& ASSOCIATES INC.

10130 HARDIN VALLEY ROAD

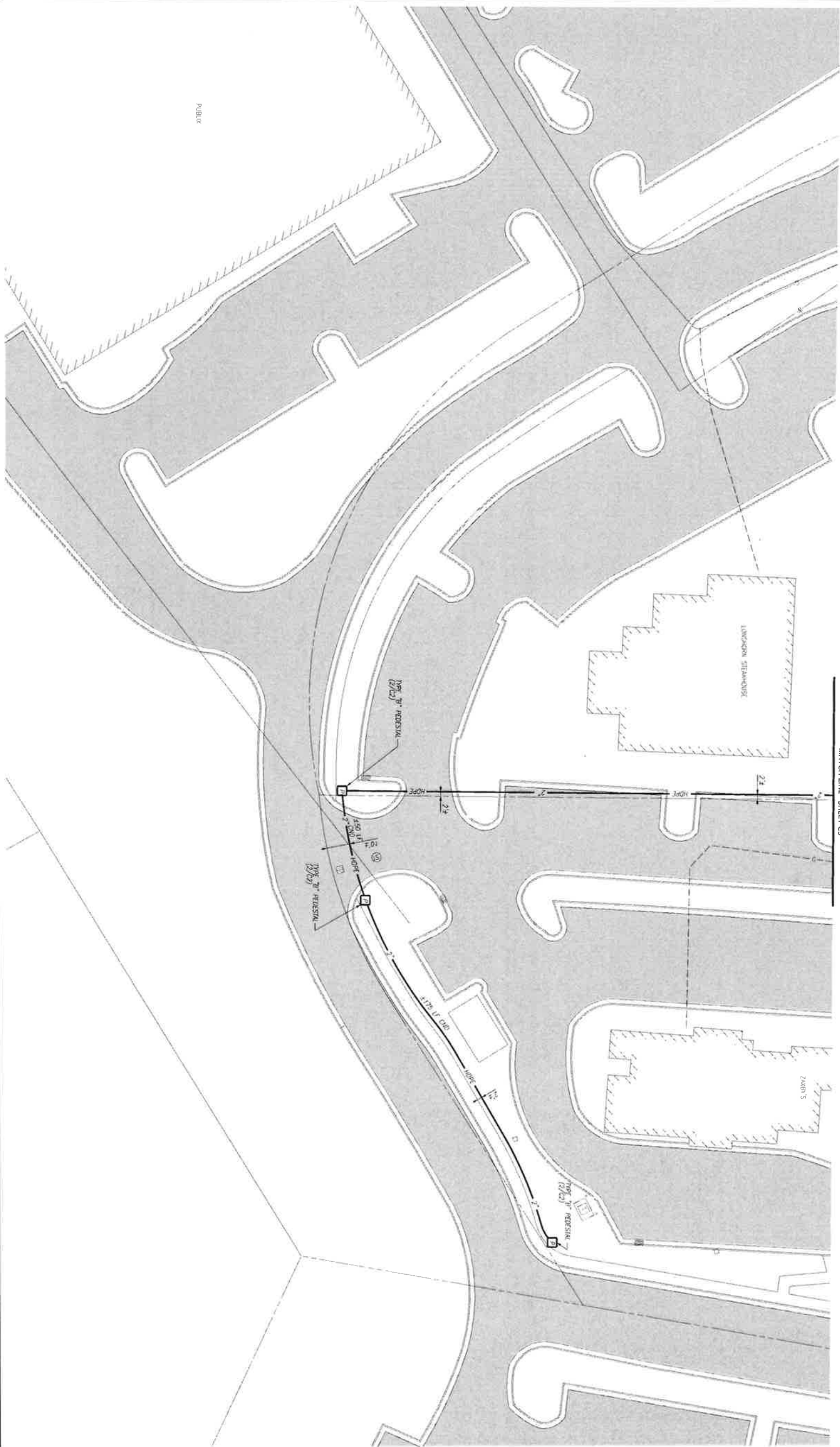
SUITE 201

KNOXVILLE, TN 37932

OFFICE: 865.690.6419

FAX: 865.690.6448

www.fulghummacindoe.com



Project		PROJ. MGR		DESIGNED BY		DRAWN BY	
6/10/2017		HAD		CJS		RPJ	
Date							
06/04/18							
Scale							
1"=20'							
Sheet							
C14				REVISED PER TOWN COMMENTS		06/21/18	
				ISSUED FOR TOWN OF FARRAGUT REVIEW		05/04/18	
		No.	Revision/Issue			Date	

COMCAST CABLE
5729 ASHEVILLE HIGHWAY
KNOXVILLE, TN 37924-2701
CONTACT: MICHAEL BAILEY
TELEPHONE NO.: 865.320.2675

PRELIMINARY
NOT FOR
CONSTRUCTION

10330 HARBOR VALLEY ROAD
SUITE 201
KNOXVILLE, TN 37932
OFFICE: 865.690.6419
FAX: 865.690.6446
www.fishburne-aerotech.com



REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Bart Hose, Assistant Community Development Director

SUBJECT: Discussion and public hearing on a site plan for Knoxville-Farragut Storage, LLC, 11775 Snyder Road, 6 Acres, Zoned C-2 (Knoxville-Farragut Storage, LLC, Applicant)

INTRODUCTION AND BACKGROUND: This item involves a request for approval of a site plan for a proposed self-storage facility located at the corner of Snyder Road and N Campbell Station Road. The proposed use includes three (3) self-storage buildings on the southern portion of the property where the old U.S. Golf building and parking lot is currently situated. Two of the buildings would be one story in height and one is proposed as a three-story building. The applicants presented a conceptual plan at the March meeting to obtain planning commission input on the project. The Town is currently in the process of amending the C-2 (Regional Commercial) District. The Planning Commission and the Board of Mayor and Alderman have discussed this project and the impact of the C-2 amendment on it. The Town considers the project to have commenced prior to its initiation of the zoning change and the project will be allowed to proceed if it moves forward in a timely manner and complies with all applicable requirements.

DISCUSSION: As noted, the site plan involves the construction of a three (3) building self-storage facility on the site currently occupied by the old U.S Golf building. The existing building will be demolished and the site will be substantially redeveloped. This includes additional grading, an expansion of the developed footprint area of the lot, and some drainage improvements. The existing detention basin on the site will continue to be utilized for the project. In addition, the applicants are now proposing to relocate the existing driveway cut further to the west and away from the intersection of Snyder Road and N. Campbell Station Road. Finally, the applicants are also adding a pedestrian trail along the length of their N. Campbell Station Road frontage. The trail will require an easement and the property will need to be replatted. Additional right-of-way along N. Campbell Station Road will also be dedicated with the replat.

RECOMMENDATION: Included in your packet is a copy of the revised site plan along with the staffs' comments on the original site plan and the applicant's response letter submitted with the revised site plan. The staff will make a recommendation at the meeting based on whether the staffs' comments have been addressed.

TRANSMITTAL LETTER



To: Mr. Mark Shipley (FMPC)
From: Carter McCall (FMA)
cc:
Date: July 9, 2018
Project No.: 243.173
Re: Farragut Storage

RECEIVED

JUL 09 2018

TOWN OF FARRAGUT

Mr. Shipley,

Included in this submittal are four full-size sets and one half-size set of the revised plans for the referenced project. Also included is the architectural Design Review Checklist. Below is an itemized list of comment responses received from the Town of Farragut on June 27, 2018.

Fire Division: (Contact Dan Johnson at djohnson@townoffarragut.org)

Comment 1: Please provide compliant construction types in accordance with local construction amendments to the 2012 IBC;

Response 1: Response: The required construction types have been indicated on the architectural plans.

Comment 2: Please address hose lay distance exceeding 150' to sprinklered buildings, as required in the 2012 International Fire Code;

Response 2: To achieve the hose lay requirement, a fire lane has been added next to the northern building, refer to sheet C2.

Comment 3: Please provide the required calculated fire flow for all structures. Refer to appendix B & C of the 2012 International Fire Code. This information shall be included on the drawings of record;

Response 3: This will be provided on the MEP plans.

Planning Division: (Contact Mark Shipley at mshipley@townoffarragut.org) or Bart Hose at bhose@townoffarragut.org)

Comment 4: Please provide a full title/cover page with basic title block information included. For example, please list the sheets included with the submittal and what they represent;

Response 4: Cover sheet has been provided, refer to sheet C1.

Comment 5: Please number all sheets in the submittal as 1 of .., 2 of ..., etc;

Response 5: This has been added to all sheets.

Comment 6: All sheets in the site plan set must be signed and sealed. The lighting plan sheet, for example, was neither signed or sealed;

Response 6: The revised lighting plans have been included in this submittal.

Comment 7: Please remove Note #15 on Sheet C2. The maximum allowable graded slope is 2.5:1 and all slopes over 3:1 must be stabilized with special measures that need to be addressed on the plans. Please update the plans accordingly.

Response 7: Note #15 has been revised and the site has been re-graded in accordance with this requirement, refer to sheet C3.

Comment 8: Please submit a full architectural design review checklist (see design standards for checklist) and note how each requirement is being addressed;

Response 8: Architectural design review checklist has been submitted.

Comment 9: Please provide color renderings for each building and each elevation. A materials sample and color board will be required when this is taken to the Planning Commission;

Response 9: A photo realistic rendering has been provided featuring the main building with the smaller buildings beyond as they are located on site. Full colored elevations of all three (3) buildings have been provided. A materials board was presented to the staff at the meeting on July 3rd. A materials board will be presented to the Planning Commission on July 19th as required.

Comment 10: Please verify that the 75% masonry standard is being met (it does not appear to be). Masonry is natural brick or stone that is mortared in place. Simulated brick does not count;

Response 10: The primary façade material for all three (3) buildings is concrete “detailed in modules similar in scale to genuine brick or stone.” This is an appropriate primary façade material as defined in the Farragut Architectural Design Guidelines.

Comment 11: A plat will be required for the walking trail easement. As part of this plat the required right of way, if not already provided, will have to be dedicated. The required right of way for N. Campbell Station Road and Snyder Road is 40 feet from the centerline;

Response 11: Right of way dedication has been shown on the site plan and the layout has been revised accordingly, refer to sheet C2.

Comment 12: Please extend the walking trail to the property line so that connections may occur in the future as properties to the north develop;

Response 12: A walking trail connection has been provided to the un-named right of way on the north corner of the site, refer to sheet C2.

Comment 13: Please either add a note stating that there will be no antennas or clearly identify them on the plan;

Response 13: This note has been added to the site plan, refer to sheet C2.

Comment 14: Please add the specific name of the qualified preparer for contact purposes;

Response 14: This is on the cover sheet, refer to sheet C1.

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TOWN OF FARRAGUT

Comment 15: There is a building setback issue on the northeastern corner of the northern most building. Campbell Station Road is a minor arterial with what appears to be a substandard ROW width. In this instance, the setback must be measured from a point starting 40-feet from the centerline;

Response 15: Right of way dedication has been shown on the site plan. Setbacks and site layout have been revised accordingly, refer to sheet C2.

Comment 16: Please note that any building that exceeds 35 feet in height must be set back an additional foot for setback compliance purposes for each foot over 35 feet;

Response 16: Setbacks have been increased accordingly, refer to sheet C2.

Comment 17: Please ensure and verify that the HVAC screening plan meets Town standards. The units must be screened by the building they are serving so that they are not visible from adjacent properties or rights of ways;

Response 17: A parapet has been added to the North Elevation to limit visibility of the roof top units from the adjacent properties and rights of ways. All roof top units will be located a minimum of 20'-0" from the edge of the building to ensure maximum screening.

Comment 18: If the dumpster remains in the location proposed please provide landscaping around the structure that will screen this area year-round;

Response 18: Schipka Laurels (large evergreen shrub) are planned around the dumpster, refer to sheet L2.

Comment 19: Please address how the requirement for low impact development stormwater applications is being handled;

Response 19: Infiltration ditches and an infiltration basin has been added to the construction plans, refer to sheet C6.

Comment 20: Distance between proposed driveway and existing driveways or intersections must be shown for both sides of the street;

Response 20: A dimension has been shown on the site plan to the intersection of N. Campbell Station Road and Snyder Road. There are no driveways on the south side of Snyder Road, refer to sheet C2.

Comment 21: Why is the proposed driveway being planned with a righthand turn lane at this point in time?

Response 21: this may be functional in the future, but the added width will be needed for the turning movements of large moving trucks.

Comment 22: The submitted lighting plan is incomplete, please review standards and update accordingly. The plan was not signed or sealed, not properly numbered and included in the site plan set, did not include any fixture cut sheets, did not address pole light height, and did not show isofootcandles along all property lines;

Response 22: The revised lighting plans have been included in this submittal.

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TOWN OF FAIRACUT

Comment 23: The utilities plan information does not address electric (including the location of poles, transformers, etc.), gas, phone or cable;

Response 23: Electric, cable, and phone services will be provided to the 3-story building. The plans will be coordinated and files provided to the utility owners. The design will be completed by the utility owners, who do not provide information back to us; therefore, these utilities will not be shown on the plans.

Comment 24: Please provide a direct pedestrian connection between the facility and either the existing sidewalk or the proposed walking trail;

Response 24: Pedestrian connection has been provided, refer to sheet C2.

Comment 25: Please locate required bike rack parking and include a detail and pad;

Response 25: Bike racks have been provided, refer to sheet C2. An application has been submitted to the BZA for a reduction in the required number of bicycle parking spaces.

Comment 26: Please ensure that the tree preservation/removal plan addresses the items in the site plan checklist;

Response 26: the tree preservation/removal plan has been revised accordingly, refer to sheet L1.

Comment 27: If security fencing is used, please include a detail of such fencing. It cannot be chain link and must be a decorate style fence that requires minimal maintenance. Also, the landscape plan does address the shrub planting but staff would encourage a mixture of species in case a disease or issue affects the one species that was shown. Staff would recommend at least 3 different evergreen species;

Response 27: Fencing layout and specification has been added to the site plan, refer to sheet C2. The planting plan has been revised to include four shrub varieties, refer to sheets L2 and L3.

Comment 28: Please list specific name and contact information for professional on landscape plan;

Response 28: Contact information has been included on all landscaping sheets.

Comment 29: Please coordinate with staff to see if the walking trail's actual field location can be varied to preserve additional large trees;

Response 29: Note #11 on sheet C2 and the walking trail detail shows this requirement.

Comment 30: A letter-of-credit guaranteeing required landscaping will be required. Please also note that the landscaping plan will have to be approved by the Town's Visual Resources Review Board (VRRB) and this is a separate application and review;

Response 30: The landscape architect will begin this process.

Comment 31: Please re-evaluate the width of the drive aisles. These are excessively wide;

Response 31: These widths are needed due to the turning radii of the large moving trucks and also because of access needed along most of the building perimeter.

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TOWN OF FARRAGUT

Engineering Division: (Contact Darryl Smith at dsmith@townoffarragut.org)

Comment 32: Greenway parallel to Campbell Station Road should include ditch on the high side, as offsite runoff from Campbell Station (and north of this site) is routed toward the greenway. Also, please note that a separate drainage pipe will be installed from the Overlook apartments site toward the ditch on the western side of Campbell Station, and coordinate accordingly;

Response 32: A ditch has been added on the grading plan, refer to sheet C3 and also to the walking trail detail, refer to sheet C10.

Comment 33: Slopes shall not exceed 2.5:1;

Response 33: The grading plan has been revised accordingly, refer to sheet C3.

Comment 34: Where are gas, electric, telephone and cable utilities?

Response 34: refer to the response to comment 23.

Comment 35: Please submit irrevocable letter of credit for erosion control for \$30,000; and

Response 35: This is being coordinated with the owner.

Comment 36: Please submit Drainage Fee of \$1650.

Response 36: This is being coordinated with the owner.

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TOWN OF FARRAGUT

FULGHUM
FM
MACINDOE
 & ASSOCIATES, INC.

0330 HARDIN VALLEY ROAD
SUITE 201
KNOXVILLE, TN 37932
OFFICE: 865.690.6419
FAX: 865.690.6448
www.fulghummacindoe.com



FARRAGUT STORAGE
11775 SNYDER ROAD
KNOXVILLE, TENNESSEE 37932

**KNOXVILLE-FARRAGUT
STORAGE, LLC**
200 WINGO WAY, SUITE 100
MT. PLEASANT, SC 29464
CONTACT: MR. MICHAEL S. MANSSON
TELEPHONE NO.: 843.724.3460
EMAIL: mmansson@zpi.net

COVER SHEET

[illegible]

<u>SHEET NO.</u>	<u>REV. NO.</u>	<u>ISSUE DATE</u>	<u>TITLE</u>
C1	0	07/09/18	COVER SHEET
C2	1	07/09/18	LAYOUT AND PAVING PLAN
C3	1	07/09/18	GRADING PLAN
C4	1	07/09/18	DEMOLITION PLAN
C5	1	07/09/18	EPSC - STAGE 1
C6	1	07/09/18	EPSC - STAGE 2
C7	1	07/09/18	STORM DRAINAGE PLAN
C8	1	07/09/18	UTILITIES PLAN
C9	1	07/09/18	DETAILS
C10	1	07/09/18	DETAILS
C11	1	07/09/18	DETAILS
C12	1	07/09/18	DETAILS
L1	1	06/18/18	TREE PRESERVATION/REMOVAL PLAN
L2	1	06/18/18	SITE PLANTING PLAN
L3	1	06/18/18	SITE PLANTING PLAN
L4	1	06/18/18	PLANTING DETAILS



FULGHUM, MACINDOE, & ASSOCIATES, INC.
CONTACT: WILLIAM C. FULGHUM, JR., P.E.
10330 HARDIN VALLEY ROAD, SUITE 201
KNOXVILLE, TENNESSEE 37932
TELEPHONE: 865.690.6419
FAX: 865.690.6448



1. THE PHOTOGRAPHY DATA WAS TAKEN FROM JLG PROFESSIONAL SURVEYING AND MAPPING DATED APRIL 9, 2016.
2. UNLESS NOTED OTHERWISE, THE PROPOSED GRADDES SHOWN ON THESE DRAWINGS ARE FINISHED GRADE EXISTING AND PROPOSED CONTOURS ARE SHOWN AT 2'-FT. INTERVALS.
3. THE ACCURACY OF THE GRADDES IS DEPENDANT ON THE DATA PROVIDED BY THE OWNER OR OWNER'S REPRESENTATIVE. FIELD VERIFY AS NECESSARY PRIOR TO CONSTRUCTION.
4. THE SITE SHALL BE CLEARED AND DRIED WITHIN THE LIMITS OF EXCAVATION COMPLETELY DISPOSE OF ALL MATERIALS RESULTING FROM CLEANING AND GRABBING. SOILS BORROWED FOR USE IN REFINEMENTS MUST BE PRODUCED BY THE CONTRACTOR AND NOT AGRICULTURAL WASTE. THE CONTRACTOR MUST OBTAIN A PERMIT AND MEET ALL OF THE REQUIREMENTS AS SPECIFIED BY THE FIRE DEPARTMENT.
5. ALL TREES STUMPS, BOUNDERS, AND OTHER OBSTRUCTIONS SHALL BE REMOVED TO A DEPTH OF 2 FT BELOW THE SUBGRADE. ROCK SHALL BE SLOADED TO DEPTH OF 1 FT BELOW SUBGRADE.
6. STRIP DISPOSAL FILL DEPTH (6-IN.) AND TEMPORARILY STORED EXCAVATED MATERIALS, INSTALL SILT TRAP/ ONE OTHER APPROPRIATE EROSION CONTROL STRUCTURES ON THE DOWN HILL SIDE OF THE STOCKPILE.
7. PROOF ROLL ALL AREAS TO RECEIVE FILL. PROOF ROLL USING A CROSS-POSSER PATTERN (4 PASSES MAX) AREAS FAILING TO PASS SHALL BE REWORKED. PROOF ROLLING SHALL BE USING AN ENGINEERED FILL OR STABILIZED BY A METHOD APPROVED BY THE PROJECT GEOENGINEERING ENGINEER.
8. AREAS THAT EXHIBIT HEAVY SOIL OR OTHERWISE UNSUITABLE CONDITIONS SHALL BE TREATED TO A MINIMUM OF SOIL FOLLOWED BY BACKFILLING THE UNDERLAY AREAS USING AN ENGINEERED FILL. DO NOT NO. 57, OR DOOT NO. 67 STONE.
9. FILL MATERIAL SHALL BE SUPERSTORY MATERIAL FREE FROM ROOTS AND OTHER ORGANIC MATERIAL. FROZEN MATERIAL, AND TRASH/FILL MATERIAL SHALL ALSO BE FREE OF STONE OR OTHER MATERIAL LARGER THAN 6 IN. AND LARGER THAN 4 IN. IN THE TOP 6" OF AN EMPALEMENT.
10. FILL SOLS SHALL HAVE A PI LESS THAN 30 & A MAXIMUM DRY DENSITY OF 90 PCF OR GREATER.
11. UNSATURATED SOILS AND/OR MATERIALS THAT ARE TOO WEET OR TOO SATUR. EXPANSIVE SOILS AND SOILS CLASSIFIED PI, OH, AND LO. LEGALLY DISPOSE OF UNSATURATED SOILS OFF-SITE UNLESS OTHERWISE APPROVED BY THE OWNER OR GEOENGINEERING ENGINEER.
12. FILL MATERIAL SHALL BE PLACED IN 100SF. HORIZONTAL LAYS NOT EXCEEDING 8 IN. THICKNESS. COMPACT EACH LAYER TO A LEAST 98% MAXIMUM DRY DENSITY. COMPACT UPPER 12 IN. BENEATH BUILDING SLABS TO 100% MAXIMUM DRY DENSITY. MAINTAIN THE MOISTURE CONTENT TO WITHIN -1 TO +3 PERCENT OF THE OPTIMUM MOISTURE CONTENT.
13. A 6 IN. (MIN.) LAYER OF TOPSOIL SHALL BE PLACED OVER THE AREAS TO BE SECTORED AND TO THE FINISH GRADE ELEVATIONS AS SHOWN ON THE DRAWINGS.
14. DO NOT ALLOW WATER TO ACCUMULATE IN EXCAVATIONS OR POND ON SITE. PROVIDE NECESSARY MEASURES TO KEEP THE SITE FREE DRAINAGE.
15. NO SLOPE SHALL EXCEED 2.5:1. ALL SLOPES GREATER THAN 3:1 MUST BE STABILIZED PER ERFC PLAN.
16. PROTECT AND MAINTAIN SUBGRADES UNTIL PLACEMENT OF THE FINAL SURFACE IS COMPLETED.
17. CONTRACTOR IS RESPONSIBLE TO ASSURE THAT THE FINISHED GRADDES CONFORM WITH THE DETENTION POND DESIGN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PRIOR TO FINAL SETBACK. SIGNIFY AN AS-BUILT SURVEY FOR THE OWNER'S REVIEW.
18. VERIFY GRADDES WHEREVER NECESSARY TO BRING THE PROPOSED FINISH ELEVATIONS, SLOPES AND COROSION OF THE GRADING WORK TO WITHIN THE FOLLOWING TOLERANCES ABOVE OR BELOW THAT ARE SHOWN ON THE PLANS. SUBGRADE 0.01'; UNPAVED AREAS 0.1"; SIDEWALKS 0.10". PARALLELISM 0.04"; AND BUILDINGS 0.04".
19. SLOPES GREATER THAN 4:1 SLOPE AT A HEIGHT GREATER THAN 6-Ft SHALL BE TESTED BY THE PROJECT GEOENGINEERING ENGINEER TO DETERMINE STABILITY.
20. DISTURBED AREAS SHALL BE STABILIZED IN AN EXPEDITIOUS MANNER TO MINIMIZE TIME OF EXPOSURE TO WEATHER.

PROPERTY LINE
 EXISTING CONTOUR
 PROPOSED CONTOUR
 PROPOSED FLOW ARROW
 PROPOSED SPOT ELEVATION
 DETAIL REF. (DETAIL NO./SHT. NO.)
 TYPICAL

**KNOXVILLE-FARRAGUT
STORAGE, LLC**
200 WINGO WAY, SUITE 100
MT. PLEASANT, SC 29464
CONTACT: MR. MICHAEL S. MANSSON
TELEPHONE NO.: 843.724.3460
EMAIL: mmansson@zpl.net

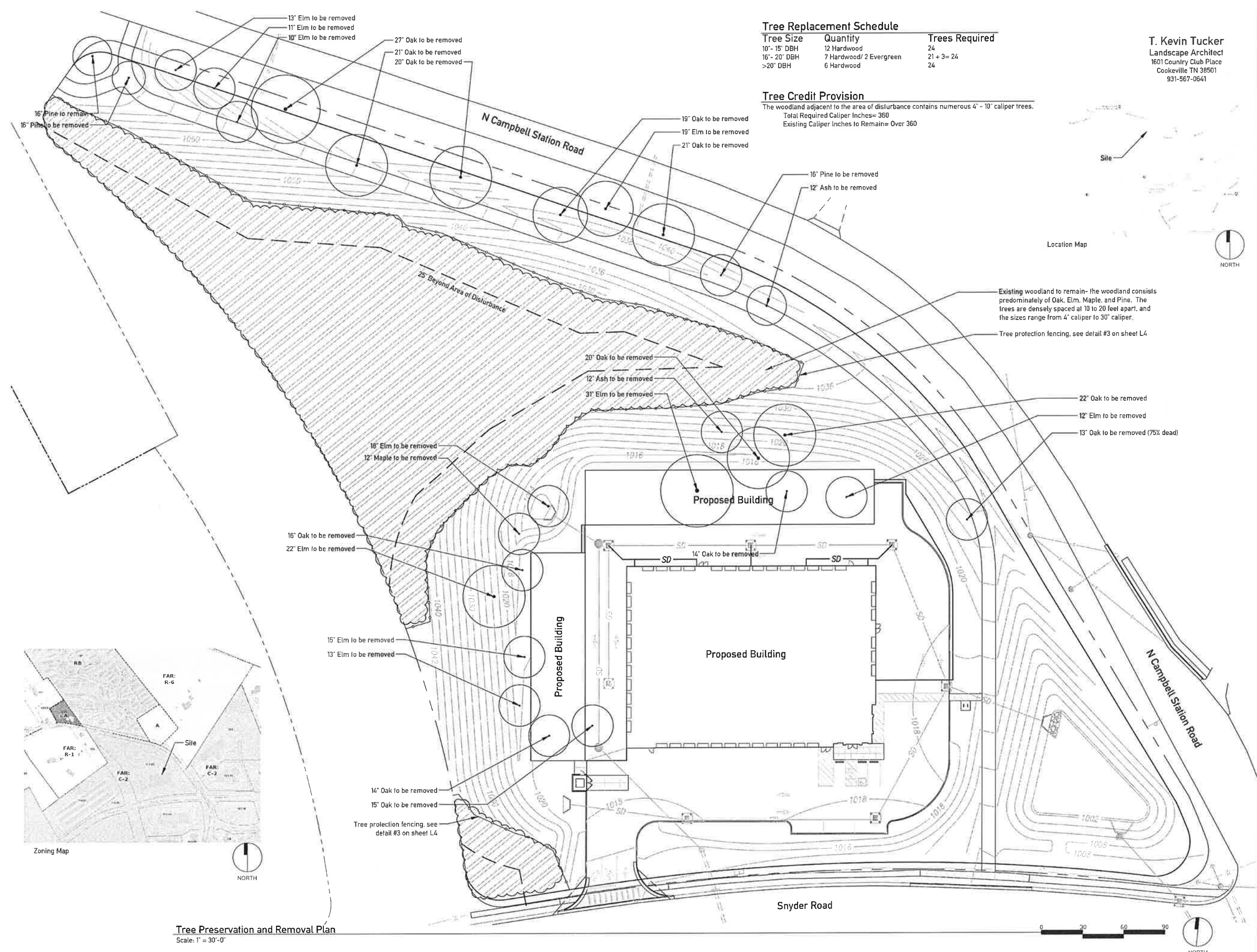
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OFFICE: 865.690.6419
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FULGHUM
MACINDOE
& ASSOCIATES, INC.

PROJ. MGR.	DESIGNED BY	DRAWN BY
WCF	WCF	JCM
	REVISED PER FMPC COMMENTS	07/09/18
	ISSUED FOR CONSTRUCTION	06/18/18
No.	Revision/Issue	Date

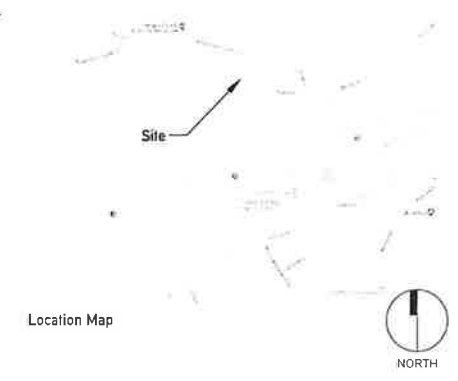


Tree Replacement Schedule

Tree Size	Quantity	Trees Required
10" - 15" DBH	12 Hardwood	24
16" - 20" DBH	7 Hardwood/ 2 Evergreen	21 + 3 = 24
>20" DBH	6 Hardwood	24

Tree Credit Provision
The woodland adjacent to the area of disturbance contains numerous 4" - 10" caliper trees.
Total Required Caliper Inches= 360
Existing Caliper Inches to Remain= Over 360

T. Kevin Tucker
Landscape Architect
1601 Country Club Place
Cookeville TN 38501
931-567-0641



Existing woodland to remain- the woodland consists predominately of Oak, Elm, Maple, and Pine. The trees are densely spaced at 10 to 20 feet apart, and the sizes range from 4" caliper to 30" caliper.
Tree protection fencing, see detail #3 on sheet L4

22" Oak to be removed
12" Elm to be removed
13" Oak to be removed (75% dead)

Tree Preservation and Removal Plan
Scale: 1" = 30'-0"

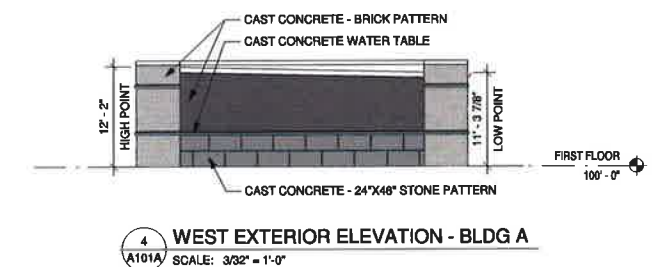
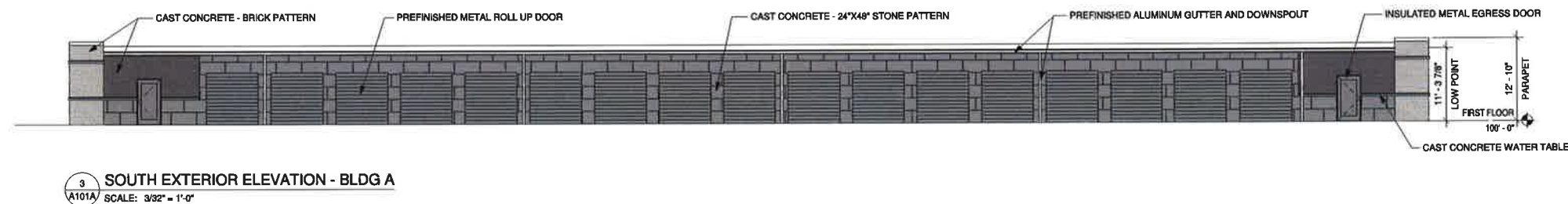
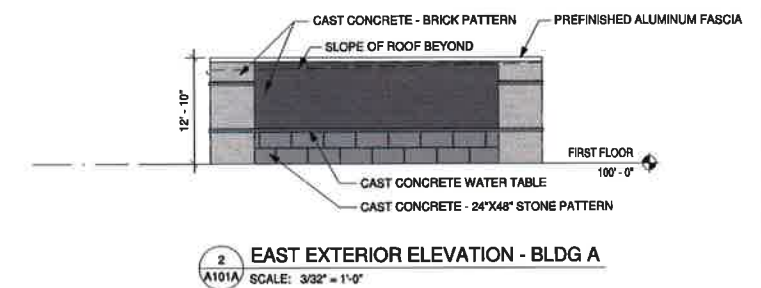
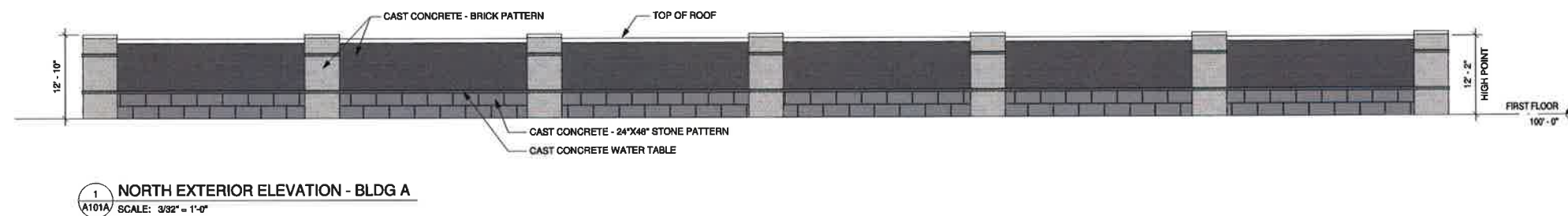
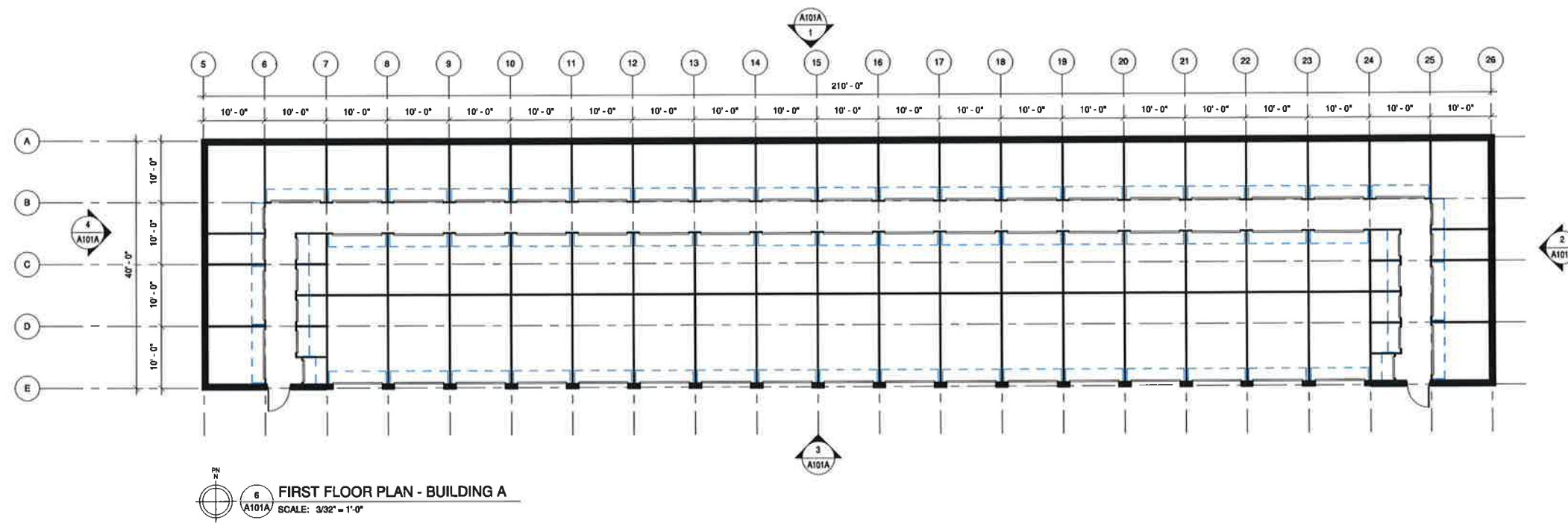
grün
621 Eleanor Street
Knoxville TN 37917
(865) 414-3266



Farragut Storage
11775 Snyder Road
Knoxville, Tennessee 37932
Parcel No: 130 11005

File #: 18-005
Date: 06/18/18
Drawn By: JTW
Reviewed By: TKT

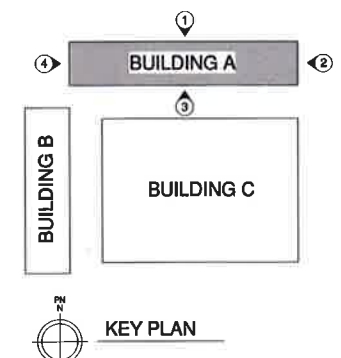
Revisions

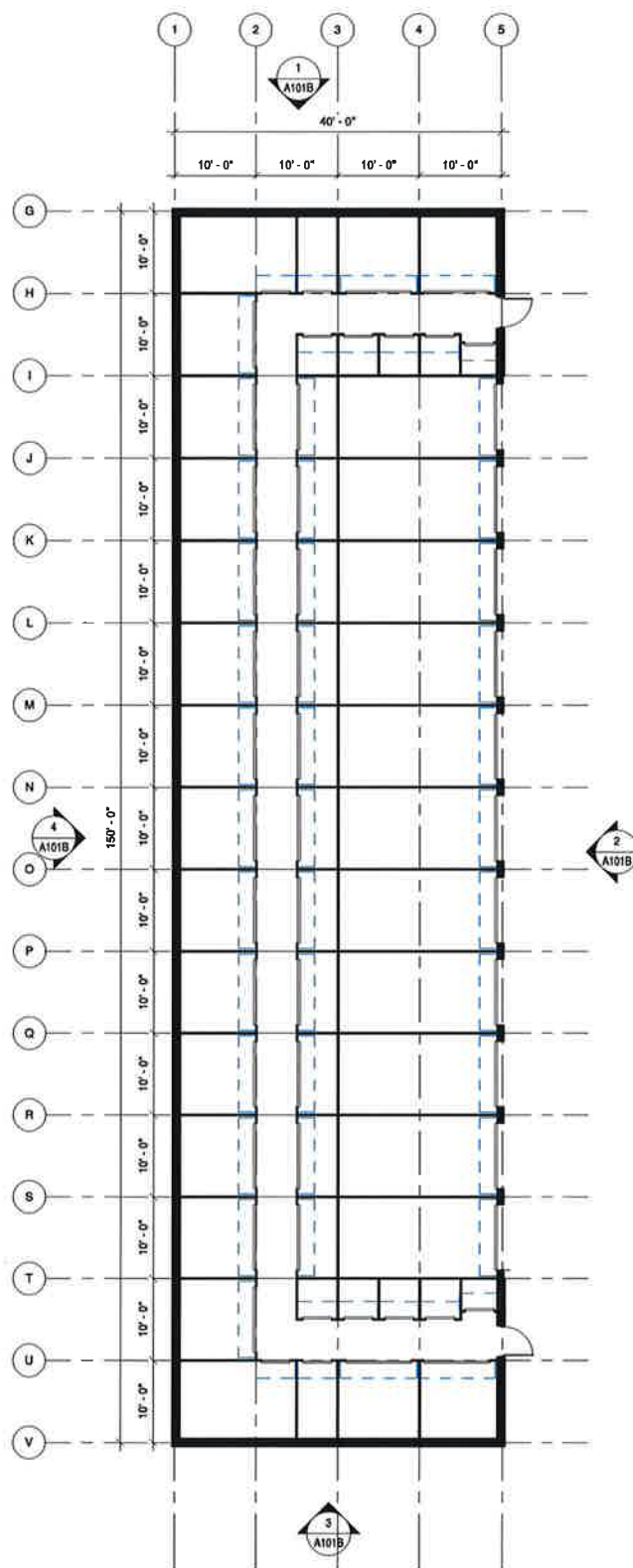


BUILDING CODE INFORMATION		
VB CONSTRUCTION TYPE	S-1 SELF STORAGE OCCUPANCY	NOT SPRINKLERED

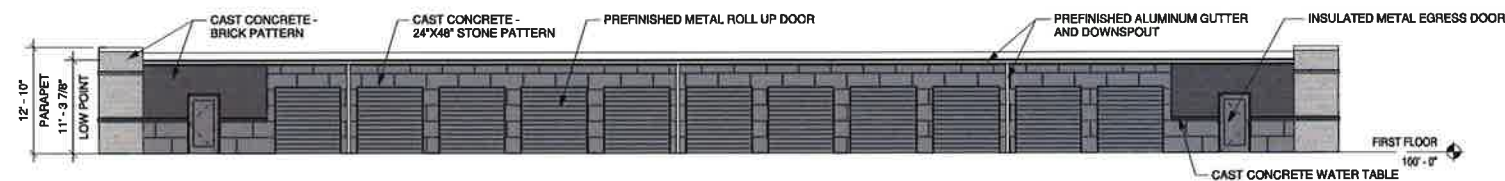
EXTERIOR COLOR SCHEDULE		
ITEM	COLOR	MANUFACTURER
CAST CONCRETE - BRICK PATTERN (BLACK)	TO MATCH SW#7069 IRON ORE	SURECRETE
CAST CONCRETE - BRICK PATTERN (WHITE)	TO MATCH SW#7004 SNOWBOUND	SURECRETE
PREFINISHED METAL ROLL UP DOOR	SILHOUETTE GRAY	JANUS
INSULATED METAL EGRESS DOOR	SW#7067 CITYSCAPE	SHERWIN WILLIAMS
CAST CONCRETE - 24"X48" STONE PATTERN	TO MATCH SW#7067 CITYSCAPE	SURECRETE
CAST CONCRETE WATER TABLE	TO MATCH SW#7067 CITYSCAPE	SURECRETE

UNIT COUNT MATRIX				
PROJECT No.	10020	Farragut Self Storage	DATE	18-Jun-18
ACCESSIBLE		Farragut, TN		
BUILDING	A	SUBTOTAL UNIT COUNT	UNIT SIZE	SP TOTAL
4 x 5	2	2	20	40
5 x 5	6	6	25	150
5 x 10	2	2	50	100
5 x 15	0	0	75	0
10 x 10	40	40	100	4,000
10 x 15	19	19	150	2,850
10 x 20	0	0	200	0
SUBTOTAL UNIT COUNT/FLOOR	71	69		7,190
TOTAL RENTABLE SQUARE FEET				7,190
GROSS BUILDING SQUARE FEET				8400
PERCENTAGE OF RENTABLE SF				85.6%
AVERAGE UNIT SIZE (SF)				104.2

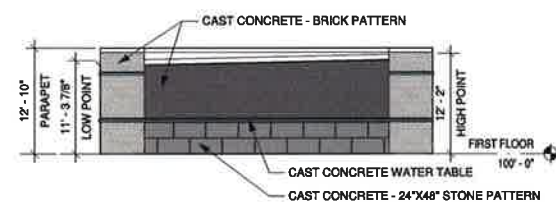




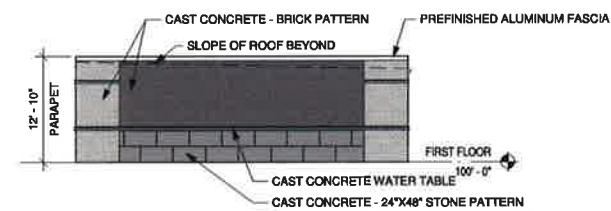
5 FIRST FLOOR PLAN - BUILDING B
A101B SCALE: 3/32" = 1'-0"



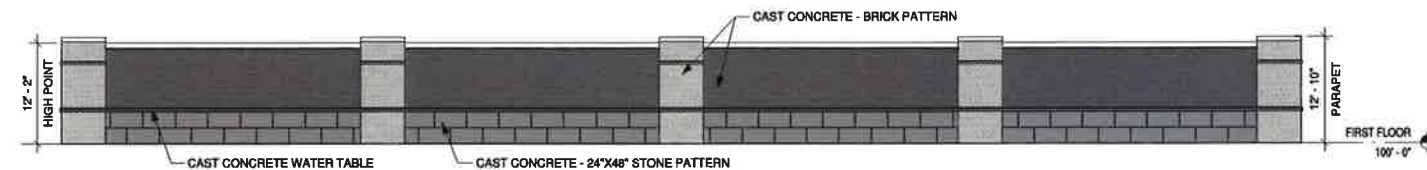
2 EAST EXTERIOR ELEVATION - BLDG B
A101B SCALE: 3/32" = 1'-0"



1 NORTH EXTERIOR ELEVATION - BLDG B
A101B SCALE: 3/32" = 1'-0"



3 SOUTH EXTERIOR ELEVATION - BLDG B
A101B SCALE: 3/32" = 1'-0"

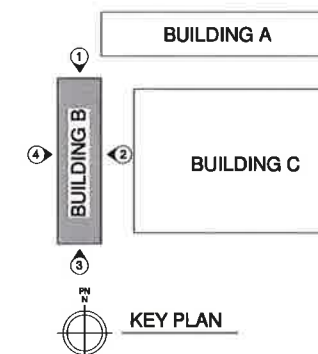


4 WEST EXTERIOR ELEVATION - BLDG B
A101B SCALE: 3/32" = 1'-0"

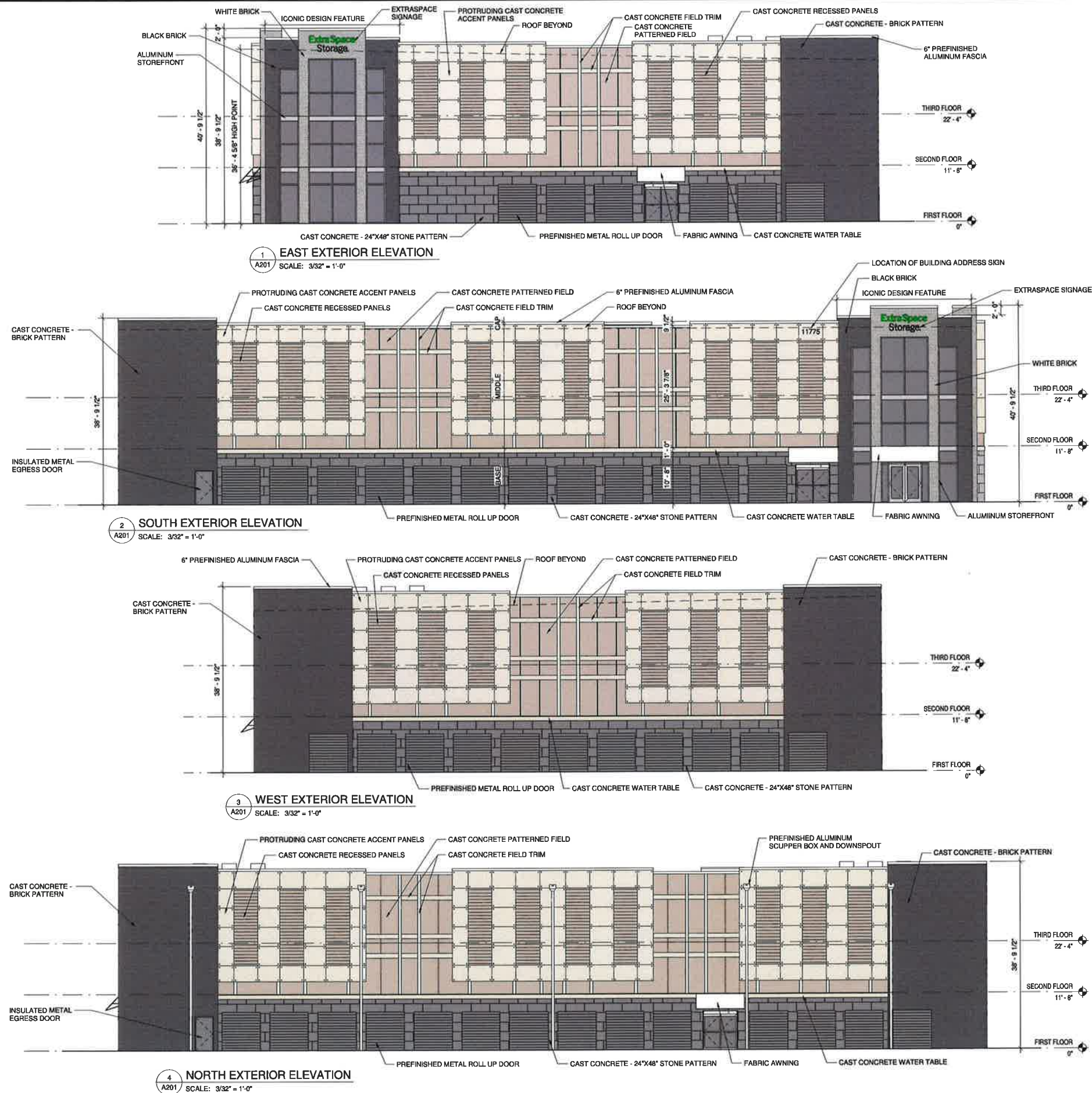
EXTERIOR COLOR SCHEDULE		
ITEM	COLOR	MANUFACTURER
CAST CONCRETE - BRICK PATTERN (BLACK)	TO MATCH SW#7069 IRON ORE	SURECRETE
CAST CONCRETE - BRICK PATTERN (WHITE)	TO MATCH SW#7064 SNOWBOUND	SURECRETE
PREFINISHED METAL ROLL UP DOOR	SILHOUETTE GRAY	JANUS
INSULATED METAL EGRESS DOOR	SW#7067 CITYSCAPE	SHERWIN WILLIAMS
CAST CONCRETE - 24"X48" STONE PATTERN	TO MATCH SW#7067 CITYSCAPE	SURECRETE
CAST CONCRETE WATER TABLE	TO MATCH SW#7067 CITYSCAPE	SURECRETE

BUILDING CODE INFORMATION	
VB CONSTRUCTION TYPE	
S-1 SELF STORAGE OCCUPANCY	
NOT SPRINKLERED	

UNIT COUNT MATRIX				
PROJECT No.	PROJECT N Farragut Self Storage	DATE	ACCESSIBLE	
LOCATION	Farragut, TN	18-Jun-19	UNITS	
BUILDING	B	SUBTOTAL UNIT COUNT/STF	SF/UNIT	SF TOTAL
UNIT SIZE				
4 x 5	2	2	20	40
5 x 5	8	8	25	200
5 x 10	13	13	50	650
5 x 15	0	0	75	0
10 x 10	17	17	100	1,700
10 x 15	2	2	150	300
10 x 20	11	11	200	2,200
	0	0	0	0
SUBTOTAL UNIT COUNT/FLOOR	53	53	5,090	0
TOTAL RENTABLE SQUARE FEET				5,090
GROSS BUILDING SQUARE FEET				6,000
PERCENTAGE OF RENTABLE SF				84.8%
AVERAGE UNIT SIZE (SF)				99.8

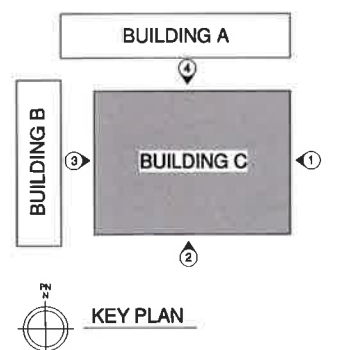


06/18/2018



CHAPTER 2: BUILDING DESIGN GUIDELINES			
Pg. 37	2.1	Provide variation in building heights.	"Use variation in building and parapet heights to add visual interest and reduce boxy or monolithic building masses" (Pg. 37). Building parapet heights vary along the length of the facade from 33'-8 1/8" to 40'-9 1/2".
Pg. 37	2.3	Design floor-to-floor heights to establish a sense of scale and reflect Farragut traditions.	"Design the first floor height to be taller than any upper floors and to appear similar in dimension to those seen traditionally" (Pg. 37). First floor is 1'-0" taller than floors above.
Pg. 38	2.4	Use vertical articulation techniques to add visual interest and express traditional facade widths.	"Appropriate horizontal articulation techniques include: a) Wall plane offsets such as niches or varied facade setbacks. b) Wall projections such as columns, moldings, or pilasters. c) Vertical variations in material" (Pg. 38). The facade is broken up into numerous sections by changes in material, moldings, and setbacks.
Pg. 40	2.6	Use iconic design features to foster a unique sense of place.	"Incorporate iconic design features such as well-defined entries or lower elements into the design of a new development that is large-scaled or located in a highly-visible location" (Pg. 40). The design features a corner tower element to well-define the office entry point at a highly visible location.
Pg. 40	2.8	Create a sense of visual interest by using a variety of roof forms along the street.	"Vary the roof profile by stepping down some parts of the facade" (Pg. 40). The roof profile is varied by stepping down some parts of the facade.
Pg. 42	2.12	Design a building facade to convey visual interest.	"Details such as... patterned materials can help create a more active appearance and add visual interest on a windowless facade" (Pg. 43). Awnings are placed at entry points. Patterned materials add visual interest to windowless facades.
Pg. 46	2.16	Use compatible materials to enhance community image.	Concrete form liners are proposed to resemble traditional masonry panels per the definition of masonry provided on page 47.
Pg. 47	2.17	Use masonry materials to promote a cohesive community image.	"Masonry includes brick, stone, or other material requiring mortar, as well as concrete that has been detailed in modules similar in scale to genuine brick or stone is an appropriate primary facade material" (Pg. 49). Masonry is shown as the primary building materials along 75% of the facade.

EXTERIOR COLOR SCHEDULE		
MATERIAL	COLOR	MANUFACTURER
BLACK BRICK	TBD	TBD
WHITE BRICK	TBD	TBD
PROTRUDING CAST CONCRETE ACCENT PANELS	TO MATCH SW#6148 WOOL SKEIN	SURECRETE
CAST CONCRETE - BRICK PATTERN	TO MATCH SW#7068 IRON ORE	SURECRETE
CAST CONCRETE - 24"x48" STONE PATTERN	TO MATCH SW#7067 CITYSCAPE	SURECRETE
CAST CONCRETE WATER TABLE	TO MATCH SW#6148 WOOL SKEIN	SURECRETE
CAST CONCRETE RECESSED PANELS	TO MATCH SW#2827 COLONIAL REVIVAL STONE	SURECRETE
CAST CONCRETE PATTERNED FIELD	TO MATCH SW#2827 COLONIAL REVIVAL STONE	SURECRETE
CAST CONCRETE FIELD TRIM	TO MATCH SW#6148 WOOL SKEIN	SURECRETE
ALUMINUM STOREFRONT	CLEAR ANODIZED	KAWNEER
PREFINISHED METAL ROLL UP DOOR	SILHOUETTE GRAY	JANUS
FABRIC AWNING	WHITE	ACADEMY OR EQ
INSULATED METAL EGRESS DOOR	SW#7067 CITYSCAPE	SHERWIN WILLIAMS





07/09/2018

KNOXVILLE - FARRAGUT STORAGE, LLC
11775 SNYDER ROAD FARRAGUT, TN 37932

A202- 3D RENDERING

SAAarchitects

REPORT TO THE FARRAGUT MUNICIPAL
PLANNING COMMISSION

PREPARED BY: Bart Hose, Assistant Community Development Director

SUBJECT: Discussion and public hearing on a site plan for Kingston Pike Village – Phase I – Apartments, 115 S. Watt Road, 18.65 Acres, Zoned PCD (Watt Road Investments, LLC, Applicant)

INTRODUCTION AND BACKGROUND: This item involves a site plan for the multi-family component of the proposed Planned Commercial Development located at S. Watt Road and Kingston Pike, behind and to the west of Little Joes Pizza. The property in question was rezoned PCD in 2017 and the project has been in the planning phase since that time. The developers submitted a subdivision plat at the last meeting to separate this first phase of the development from the larger site for financing purposes. The entire project area remains zoned PCD and must be developed in an integrated manor and under a concept plan that was part of the PCD zoning process. This first phase of the development includes approximately 228 apartments, the principal areas of usable open space for the entire development, and the only access from S. Watt Road for the development. This first phase of the development encompasses approximately 10.94 acres of the entire 18.58-acre PCD site.

DISCUSSION: As noted, the overall PCD development has been in planning for some time. This includes the initial PCD zoning process along with FMPC workshop items in December of 2017 and January of this year. The applicants also requested additional input during review of the resubdivision plat last month. Throughout the process the Town’s staff has been concerned with ensuring that the development adheres to the intent and requirements of the PCD zoning district, including the required concept plan. The staff has emphasized the need for site-wide development integration, pedestrian and vehicular circulation and connectivity, quality design, and the provision of functional common open spaces for active use. The developers have recently made some adjustments to their plans to reclaim some of the critical open space and amenity areas initially proposed on the required concept plan. The provision of “functional common spaces, ... located to provide focal points to be actively used” is a critical component of the PCD zoning district. The Planning Commission should pay particular attention to the proposed open-space areas on the submitted plan. The Commission should be comfortable with the plans for these important areas and their consistency with the PCD zoning approved for this property.

RECOMMENDATION: Included in your packet is a copy of the revised site plan along with the staffs’ comments on the original site plan and the applicant’s response letter submitted with the revised site plan. The staff will make a recommendation at the meeting based on whether the staffs’ comments have been addressed.



LEGEND

<u>EXISTING</u>	<u>PROPOSED</u>	<u>EXISTING</u>	<u>PROPOSED</u>
	WATER'S EDGE	CO ₂	CLEANOUT
	PROPERTY LINE	CS	SANITARY MANHOLE
P.O.B.	POINT OF BEGINNING		SAN SWD LINES
	SILT FENCE	AD LINES	DEWATER SEPARATION LINES
	LEAK PROTECTION		RAINWATER LEADERS
EX GR	OUTLET PROTECTION	O	CANOPY DRAIN
EX C	CATCH BASIN	SP	WATER METER
	CURB INLET	C	WATER VALVE
	DRAINAGE MARKING	CB	FIRE HYDRANT
	REINFORCED CONCRETE PIPE	W	WATER LINES
	CORRODIOUS METAL PIPE	UT	OVERHEAD TELEPHONE
	MONTROVING WELL	UT	UNDERGROUND TELEPHONE
+101.25	SPOT ELEVATION	ID	TELEPHONE BOX
		ID	ELECTRIC BOX
--- 101 ---	1 FT CONTOUR	12"	DIAMETER COLD POWER POLE
	3 FT CONTOUR	6"	GRUY ANCHOR
	STD DUTY CURB & GUTTER	☆	METAL LIGHT POLE
	HEAVY DUTY CURB & GUTTER	☆	18" X 18" CONCRETE POWER POLE
	EXTENDED CURB	☆	18" X 18" CONCRETE LIGHT POLE
	VERTICAL CURB	☆	OVERHEAD ELECTRIC
///	EXISTING PAVEMENT TO BE REMOVED		UNDERGROUND ELECTRIC
	PAINTED NO PARKING AREAS	+	GAS VALVE
	AUTO ASPHALT PAVEMENT	+	GAS METER
	1" ASPHALT OVERLAY	+	GAS LINE
	STD DUTY DRUCK ASPHALT	+	AQUATIC USE BUFFER
	HEAVY DUTY DRUCK ASPHALT	+	TOP OF STREAM BANK
	CONCRETE		
	PERMEABLE PAVERS		

SET #	SHEET #	DRAWING INDEX	REVISIONS	SET #	SHEET #	DRAWING INDEX	REVISIONS
01	C-0.0	Cover Sheet	07/09/2018	47	RW-0.1	RidgeRock Wall Notes	07/09/2018
02	A-01	Bldg. Type A - Floor Plans (Bldg. no's 1&6)	07/09/2018	48	RW-0.2	RidgeRock Wall Details	07/09/2018
03	A-02	Bldg. Type A - Floor Plans (Bldg. no's 1&4)	07/09/2018	49	RW-0.3	Red-Rock Wall Notes	07/09/2018
04	A-03	Bldg. Type A - Colored Elevations (Bldg. no's 1&6)	07/09/2018	50	RW-0.4	Red-Rock Wall Details	07/09/2018
05	A-04	Bldg. Type B - Floor Plan (Bldg. no. 5)	07/09/2018	51	RW-0.5	Wall #1 Design	07/09/2018
06	A-05	Bldg. Type B - Floor Plan (Bldg. no. 5)	07/09/2018	52	RW-0.6	Wall #2 Design	07/09/2018
07	A-06	Bldg. Type B - Floor Plan (Bldg. no. 5)	07/09/2018	53	RW-0.7	Wall #3A Design	07/09/2018
08	A-07	Bldg. Type B - Colored Elevations (Bldg. no. 5)	07/09/2018	54	RW-0.8	Wall #3A Design	07/09/2018
09	A-08	Bldg. Type C - Floor Plans (Bldg. no's 3,4,7,8 & 9)	07/09/2018	55	RW-0.9	Wall #3B Design	07/09/2018
10	A-09	Bldg. Type C - Floor Plans (Bldg. no's 3,4,7,8 & 9)	07/09/2018	56	RW-0.10	Wall #4 Design	07/09/2018
11	A-10	Bldg. Type C - Colored Elevations (Bldg. no's 3,4,7,8 & 9)	07/09/2018	57	RW-0.11	Wall #4 Design	07/09/2018
12	A-11	Bldg. Type D - Floor Plan (Bldg. no. 2)	07/09/2018	58	RW-0.12	Wall #4 Design	07/09/2018
13	A-12	Bldg. Type D - Floor Plan (Bldg. no. 2)	07/09/2018	59	RW-0.13	Wall #5 Design	07/09/2018
14	A-13	Bldg. Type D - Colored Elevations (Bldg. no. 2)	07/09/2018	60	RW-0.14	Wall #5 Design	07/09/2018
15	A-14	Clubhouse - Floorplan	07/09/2018				
16	A-15	Clubhouse - Colored Elevations	07/09/2018				
17	A-16	Clubhouse - Colored Elevations	07/09/2018				
18	A-17	Pool Plan	07/09/2018				
19	A-18	Maintenance Building, Shelter, Trash Compactor Encl. & Iconic feature plans	07/09/2018				
20	A-19	Maintenance Building, Shelter, Trash Compactor Encl. & Iconic feature colored elevations	07/09/2018				
21	A-20	Site Photometric Plan	07/09/2018				
22	A-21	Site Photometric Plan	07/09/2018				
23	A-22	Conceptual Site Rendering	07/09/2018				
24	C1.0	ES & PC - Initial Phase	07/09/2018				
25	C1.1	ES & PC - Construction Phase	07/09/2018				
26	C1.2	ES & PC - Final Phase	07/09/2018				
27	C1.3	SWPPP	07/09/2018				
28	C1.4	SWPPP	07/09/2018				
29	C2.0	Demolition Plan	07/09/2018				
30	C3.0	Overall Site Plan	07/09/2018				
31	C3.1	Site Layout Plan	07/09/2018				
32	C3.2	Site Layout Plan	07/09/2018				
33	C4.0	Site Grading Plan	07/09/2018				
34	C4.1	Site Grading Plan	07/09/2018				
35	C4.2	Site Grading Plan	07/09/2018				
36	C4.3	Site Grading Plan	07/09/2018				
37	C5.0	Site Paving Plan	07/09/2018				
38	C6.0	Site Utility Plan	07/09/2018				
39	C6.1	Sanitary Sewer Plan and Profile	07/09/2018				
40	C6.2	Sanitary Sewer Plan and Profile	07/09/2018				
41	C6.3	Sanitary Sewer Plan and Profile	07/09/2018				
42	C8.0	Site Details	07/09/2018				
43	C9.0	Site Details	07/09/2018				
44	C10.0	Site Details	07/09/2018				
45	C11.0	Landscape Area Calculations	07/09/2018				
46	L1.0	Tree Mitigation Plan	07/09/2018				



MARK A. BIALIK
REGISTERED ENGINEER
No. 7006
FLA. 12-10-2002

REV	DESCRIPTION	BY	DATE
A	Revised per Town of Farragut Comments	TJF	06/09/2018
B	Revised per Town of Farragut Comments	TJF	07/09/2018
-	-	-	-
-	-	-	-
-	-	-	-

TITLE:	COVER SHEET	DRAWN BY:	TJF	SHEET NO:	
LOCATION:	115 S WATT RD FARRAGUT, TENNESSEE 37954 CLT Map 151, Parcel No 07803, 075, 080, 081	CHECKED BY:	MAB		
		FILE NAME:	2140 C0.0		
		JOB NUMBER:	2140		
		ISSUE DATE:	05/18/2018		
Owner:	WATT ROAD INVESTMENTS, LLC				

SHEET 1 OF 6



BLDG. A FRONT ELEVATION
SCALE 1/8" = 1'-0"



BLDG. A REAR ELEVATION
SCALE 1/8" = 1'-0"



BLDG. A LEFT SIDE ELEVATION
SCALE 1/8" = 1'-0"



BLDG. A RIGHT SIDE ELEVATION
SCALE 1/8" = 1'-0"

MASONRY PERCENTAGE TABLE			
BLDG. NO.	PAV. AREA OF MASONRY FACE (SQ. FT. OF MASONRY FACE)	BRICK AREA (SQ. FT. OF MASONRY FACE)	BRICK PERCENTAGE (%)
BUILDING NO. 1 (TYPE A)			
FRONT	2480	1680	68.0
REAR	2380	1580	66.4
RIGHT SIDE	2380	1580	66.4
LEFT SIDE	2380	1580	66.4
BUILDING NO. 2 (TYPE B)			
FRONT	2480	1680	68.0
REAR	2380	1580	66.4
RIGHT SIDE	2380	1580	66.4
LEFT SIDE	2380	1580	66.4
BUILDING NO. 3 (TYPE C)			
FRONT	2480	1680	68.0
REAR	2380	1580	66.4
RIGHT SIDE	2380	1580	66.4
LEFT SIDE	2380	1580	66.4
BUILDING NO. 4 (TYPE D)			
FRONT	2480	1680	68.0
REAR	2380	1580	66.4
RIGHT SIDE	2380	1580	66.4
LEFT SIDE	2380	1580	66.4
BUILDING NO. 5 (TYPE E)			
FRONT	2480	1680	68.0
REAR	2380	1580	66.4
RIGHT SIDE	2380	1580	66.4
LEFT SIDE	2380	1580	66.4
BUILDING NO. 6 (TYPE F)			
FRONT	2480	1680	68.0
REAR	2380	1580	66.4
RIGHT SIDE	2380	1580	66.4
LEFT SIDE	2380	1580	66.4
BUILDING NO. 7 (TYPE G)			
FRONT	2480	1680	68.0
REAR	2380	1580	66.4
RIGHT SIDE	2380	1580	66.4
LEFT SIDE	2380	1580	66.4
BUILDING NO. 8 (TYPE H)			
FRONT	2480	1680	68.0
REAR	2380	1580	66.4
RIGHT SIDE	2380	1580	66.4
LEFT SIDE	2380	1580	66.4
BUILDING NO. 9 (TYPE I)			
FRONT	2480	1680	68.0
REAR	2380	1580	66.4
RIGHT SIDE	2380	1580	66.4
LEFT SIDE	2380	1580	66.4
BUILDING NO. 10 (TYPE J)			
FRONT	2480	1680	68.0
REAR	2380	1580	66.4
RIGHT SIDE	2380	1580	66.4
LEFT SIDE	2380	1580	66.4
BUILDING NO. 11 (TYPE K)			
FRONT	2480	1680	68.0
REAR	2380	1580	66.4
RIGHT SIDE	2380	1580	66.4
LEFT SIDE	2380	1580	66.4
BUILDING NO. 12 (TYPE L)			
FRONT	2480	1680	68.0
REAR	2380	1580	66.4
RIGHT SIDE	2380	1580	66.4
LEFT SIDE	2380	1580	66.4
BUILDING NO. 13 (TYPE M)			
FRONT	2480	1680	68.0
REAR	2380	1580	66.4
RIGHT SIDE	2380	1580	66.4
LEFT SIDE	2380	1580	66.4
BUILDING NO. 14 (TYPE N)			
FRONT	2480	1680	68.0
REAR	2380	1580	66.4
RIGHT SIDE	2380	1580	66.4
LEFT SIDE	2380	1580	66.4
BUILDING NO. 15 (TYPE O)			
FRONT	2480	1680	68.0
REAR	2380	1580	66.4
RIGHT SIDE	2380	1580	66.4
LEFT SIDE	2380	1580	66.4
BUILDING NO. 16 (TYPE P)			
FRONT	2480	1680	68.0
REAR	2380	1580	66.4
RIGHT SIDE	2380	1580	66.4
LEFT SIDE	2380	1580	66.4
BUILDING NO. 17 (TYPE Q)			
FRONT	2480	1680	68.0
REAR	2380	1580	66.4
RIGHT SIDE	2380	1580	66.4
LEFT SIDE	2380	1580	66.4
BUILDING NO. 18 (TYPE R)			
FRONT	2480	1680	68.0
REAR	2380	1580	66.4
RIGHT SIDE	2380	1580	66.4
LEFT SIDE	2380	1580	66.4
BUILDING NO. 19 (TYPE S)			
FRONT	2480	1680	68.0
REAR	2380	1580	66.4
RIGHT SIDE	2380	1580	66.4
LEFT SIDE	2380	1580	66.4
BUILDING NO. 20 (TYPE T)			
FRONT	2480	1680	68.0
REAR	2380	1580	66.4
RIGHT SIDE	2380	1580	66.4
LEFT SIDE	2380	1580	66.4
BUILDING NO. 21 (TYPE U)			
FRONT	2480	1680	68.0
REAR	2380	1580	66.4
RIGHT SIDE	2380	1580	66.4
LEFT SIDE	2380	1580	66.4
BUILDING NO. 22 (TYPE V)			
FRONT	2480	1680	68.0
REAR	2380	1580	66.4
RIGHT SIDE	2380	1580	66.4
LEFT SIDE	2380	1580	66.4
BUILDING NO. 23 (TYPE W)			
FRONT	2480	1680	68.0
REAR	2380	1580	66.4
RIGHT SIDE	2380	1580	66.4
LEFT SIDE	2380	1580	66.4
BUILDING NO. 24 (TYPE X)			
FRONT	2480	1680	68.0
REAR	2380	1580	66.4
RIGHT SIDE	2380	1580	66.4
LEFT SIDE	2380	1580	66.4
BUILDING NO. 25 (TYPE Y)			
FRONT	2480	1680	68.0
REAR	2380	1580	66.4
RIGHT SIDE	2380	1580	66.4
LEFT SIDE	2380	1580	66.4
BUILDING NO. 26 (TYPE Z)			
FRONT	2480	1680	68.0
REAR	2380	1580	66.4
RIGHT SIDE	2380	1580	66.4
LEFT SIDE	2380	1580	66.4
TOTAL ALL BUILDINGS	7670	5100	66.5

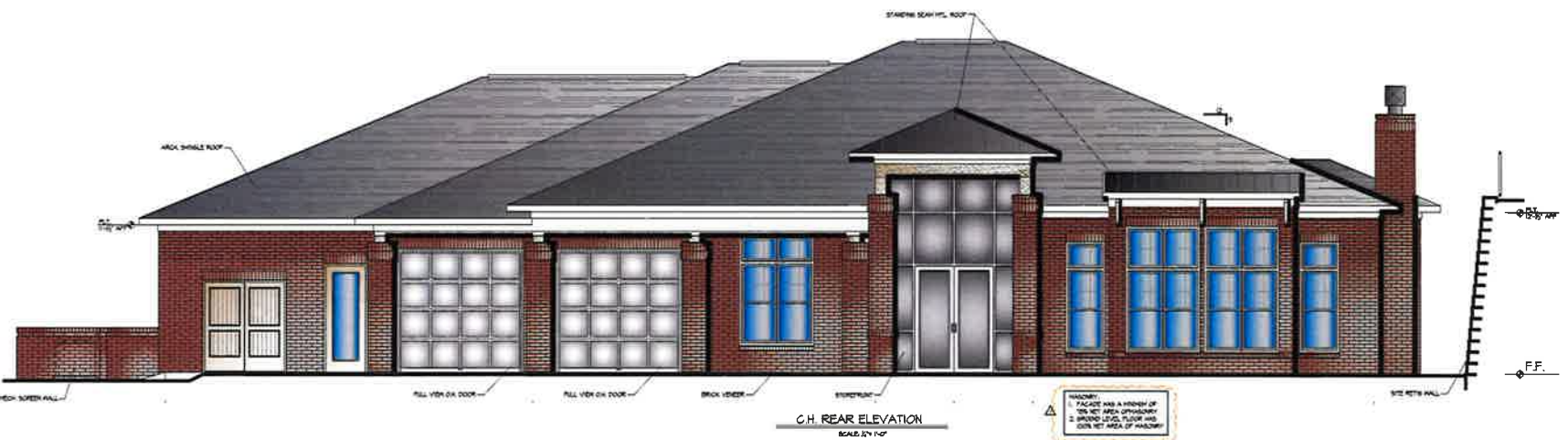


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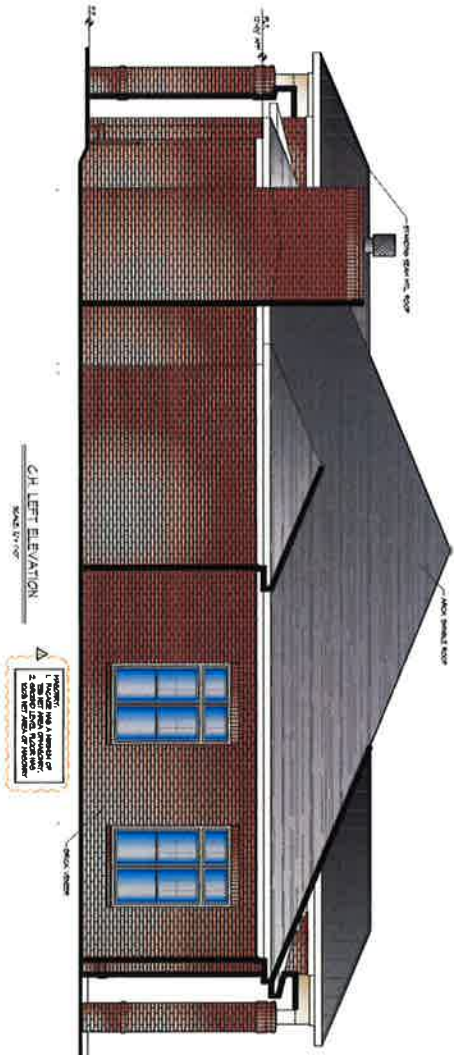
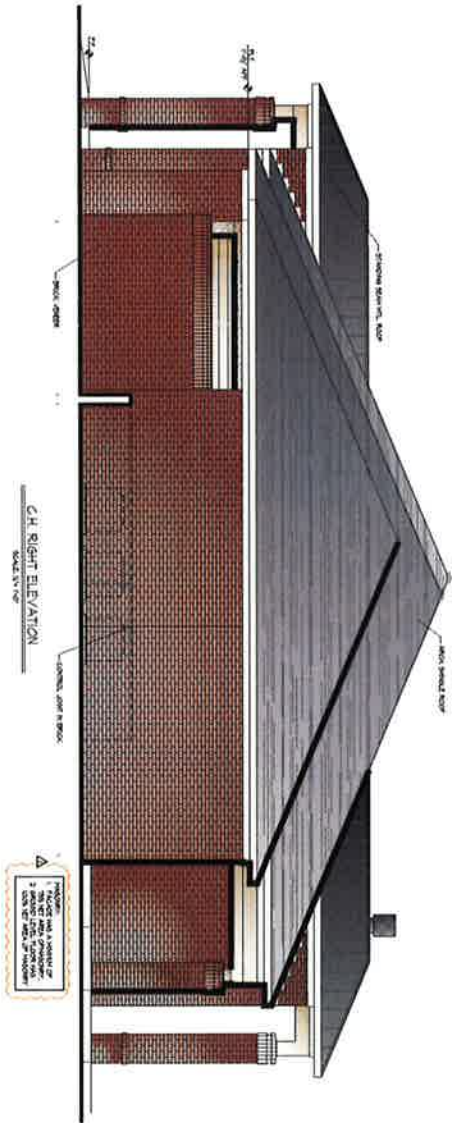
RJA ARCHITECTURE, LLC 1020 BREAZEALE ROAD, FENLETON, SC 29670 PH. (864) 224-5800





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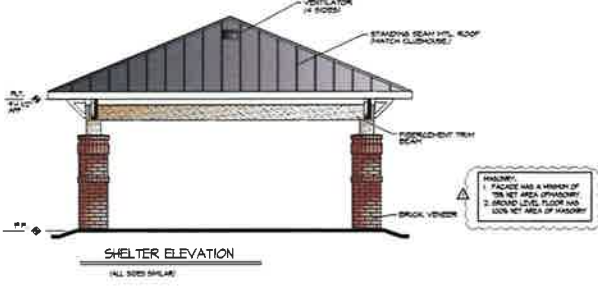
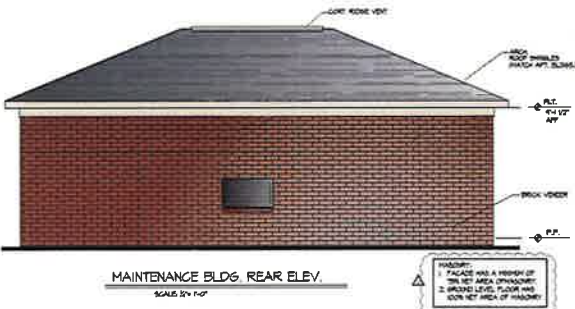
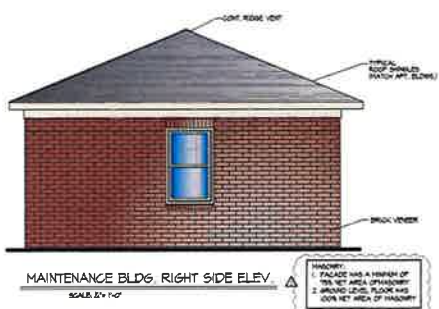
FDI ARCHITECTURE, LLC 1020 BREAZEALE ROAD, PENNINGTON, SC 29570 PH. (864) 774-3800



CWENHOUSE- ELEVATIONS
Kingston Pike Village
Plett Road
Farragut, Tennessee



PLANNING SUBMISSION
NOT FOR CONSTRUCTION
A-16
JUN 11 2025
SHEET 17 OF 60





CONCEPTUAL SITE RENDERING

SCALE 1"=40'

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CONCEPTUAL SITE RENDERING
Kingston Pike Village
1070 Breazale Road
Pendleton, Tennessee



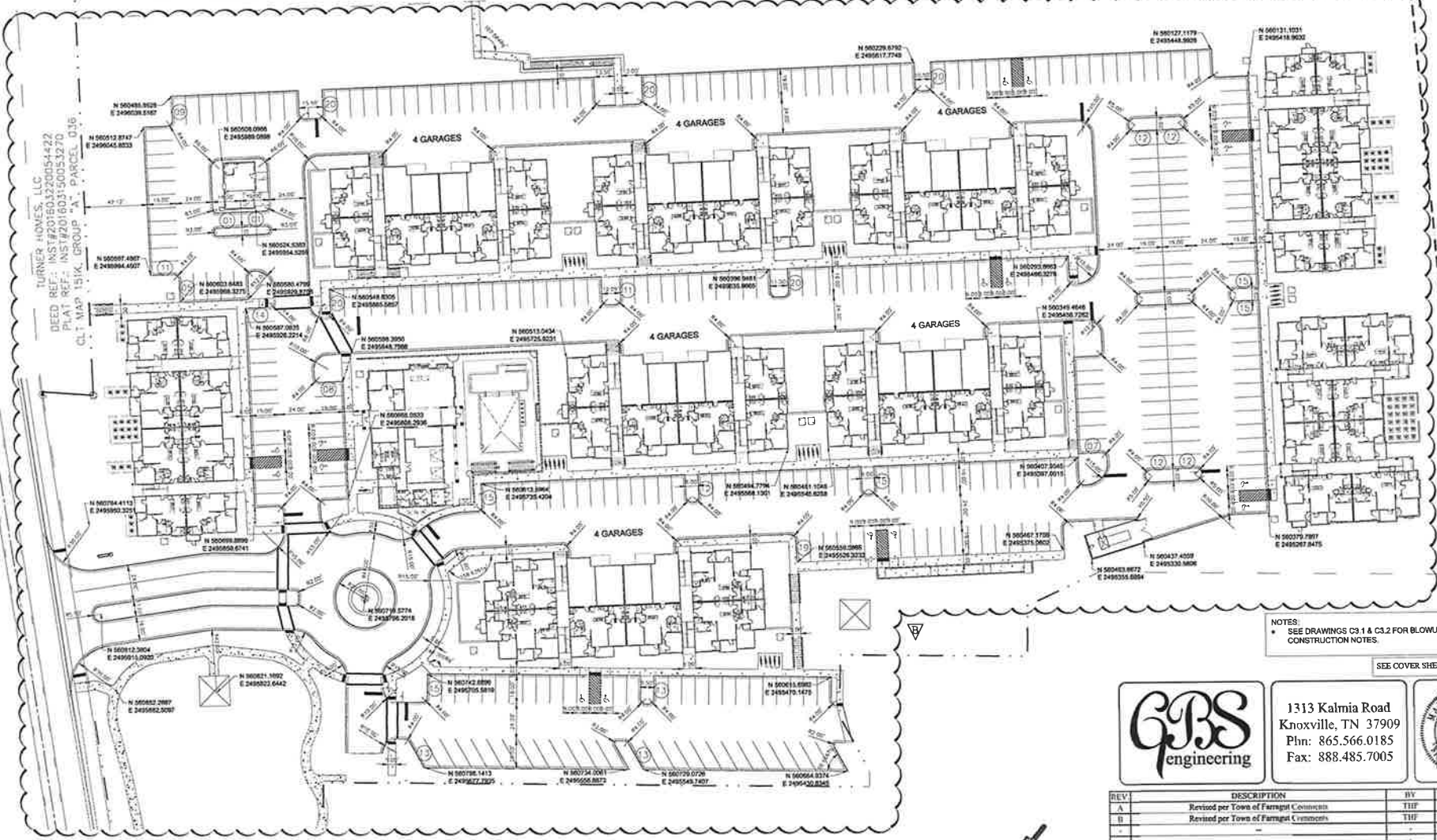
Planning Submission
July 29, 2018

REMAINING LANDS OF
EAST TENNESSEE FAMILY HOMES, LLC
DEED REF.: INST#201309090017139
PLAT REF.: PLAT CAB 113L, PAGE 23
CLT MAP 151, PART OF PARCEL 095

DANIEL VALLELIAN, et al
DEED REF.: INST#201307100002535
PLAT REF.: PLAT CAB 113L, PAGE 23
CLT MAP 151, PART OF PARCEL 095.01

RONALD WOODY, et al
DEED REF.: INST#201211300035157
PLAT REF.: PLAT BOOK 9, PAGE 51
CLT MAP 151, PARCEL 098.01

PLAT REF.: PLAT BOOK 9, PAGE 51
CLT MAP 151, PARCEL 098



NOTES:
• SEE DRAWINGS C3.1 & C3.2 FOR BLOWUPS OF CONSTRUCTION NOTES.

SEE COVER SHEET FOR LEGEND.



1313 Kalmia Road
Knoxville, TN 37909
Phn: 865.566.0185
Fax: 888.485.7005

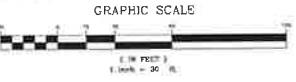


REV	DESCRIPTION	BY	DATE
A	Revised per Town of Farragut Comments	THF	06/04/2018
B	Revised per Town of Farragut Comments	THF	07-09-2018
C			
D			
E			
F			
G			
H			
I			
J			
K			
L			
M			
N			
O			
P			
Q			
R			
S			
T			
U			
V			
W			
X			
Y			
Z			

TITLE: SITE LAYOUT PLAN	DRAWN BY: THF	SHEET NO:
LOCATION: 115 S WATT RD FARRAGUT, TENNESSEE 37934 CLT Map 151, Parcel Nos. 07803, 079, 080, 081	CHECKED BY: MAB	
PROJECT: WATT ROAD INVESTMENTS, LLC	FILE NAME: 2140 - C3.1	
	JOB NUMBER 2140	
	ISSUE DATE: 05/18/2019	



SITE LAYOUT PLAN
Scale 1" = 30'-0"



SHEET 31 OF 60

C3.1

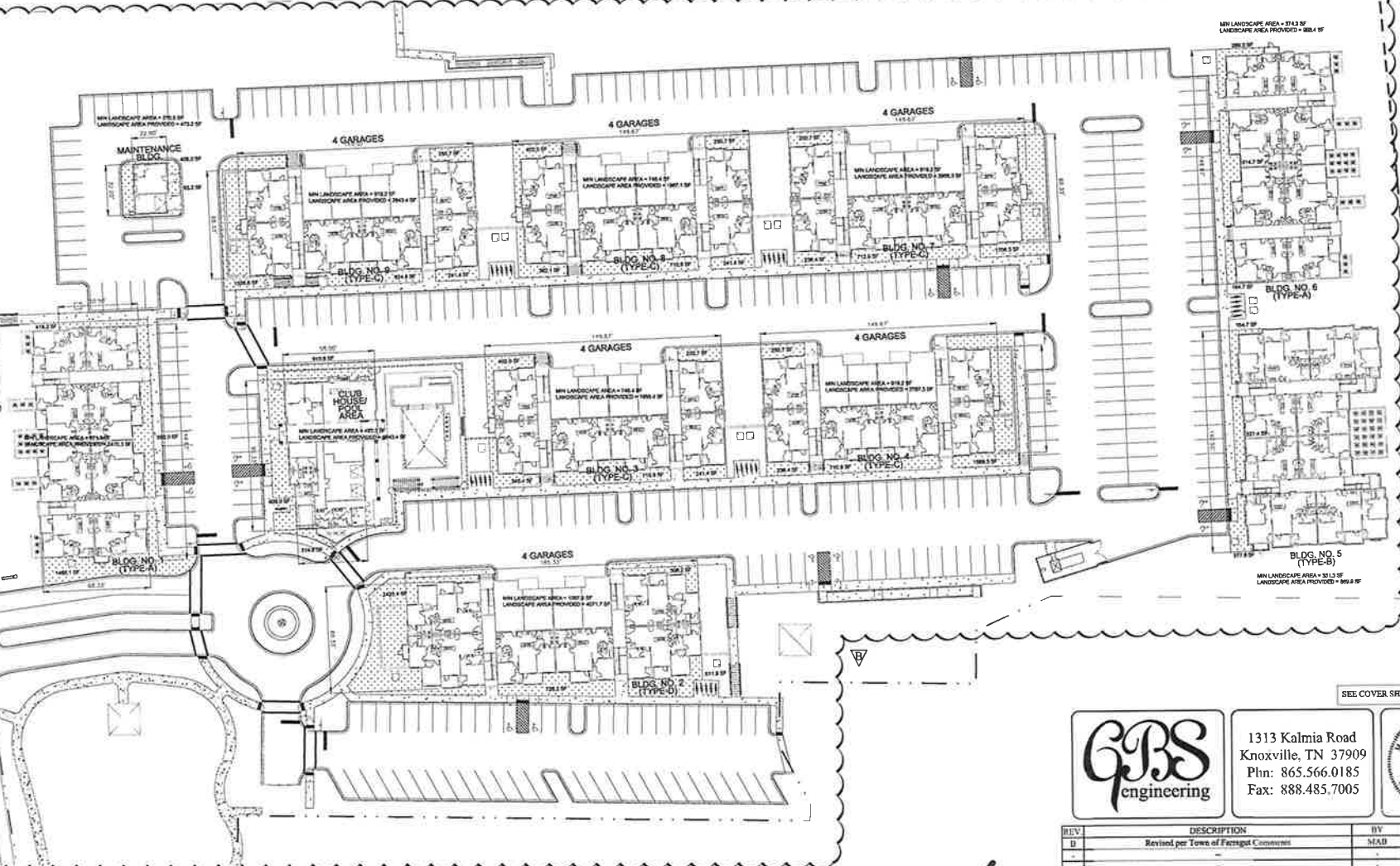
REMAINING LANDS OF
EAST TENNESSEE FAMILY HOMES, LLC
DEED REF.: INST#201309090017139
PLAT REF.: PLAT CAB 113L, PAGE 23
CLT MAP 151, PART OF PARCEL 095

DANIEL VALLELIAN, et al
DEED REF.: INST#201307100002535
PLAT REF.: PLAT CAB 113L, PAGE 23
CLT MAP 151, PART OF PARCEL 095.01

RONALD WOODY, et al
DEED REF.: INST#201211300035157
PLAT REF.: PLAT BOOK 9, PAGE 51
CLT MAP 151, PARCEL 098.01

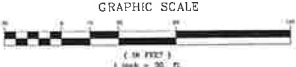
PLAT REF.: PLAT BOOK 9, PAGE 51
CLT MAP 151, PARCEL 098

TURNER HOMES, LLC
DEED REF.: INST#201603202054422
PLAT REF.: INST#201603150053270
CLT MAP 151K, GROUP "A", PARCEL 036



LANDSCAPE CALCULATIONS:
REQUIRED LANDSCAPE AREA
LINEAR FOOTAGE OF BUILDING
x 2.5' = MIN REQUIRED

LANDSCAPE AREA CALCULATIONS
Scale: 1" = 30'-0"



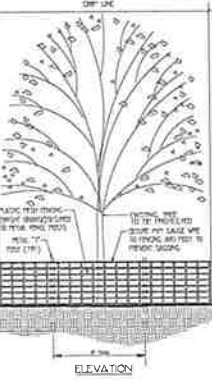
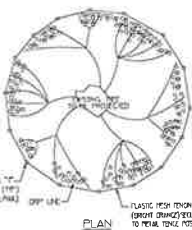
SHEET 45 OF 60

1313 Kalmia Road
Knoxville, TN 37909
Phn: 865.566.0185
Fax: 888.485.7005

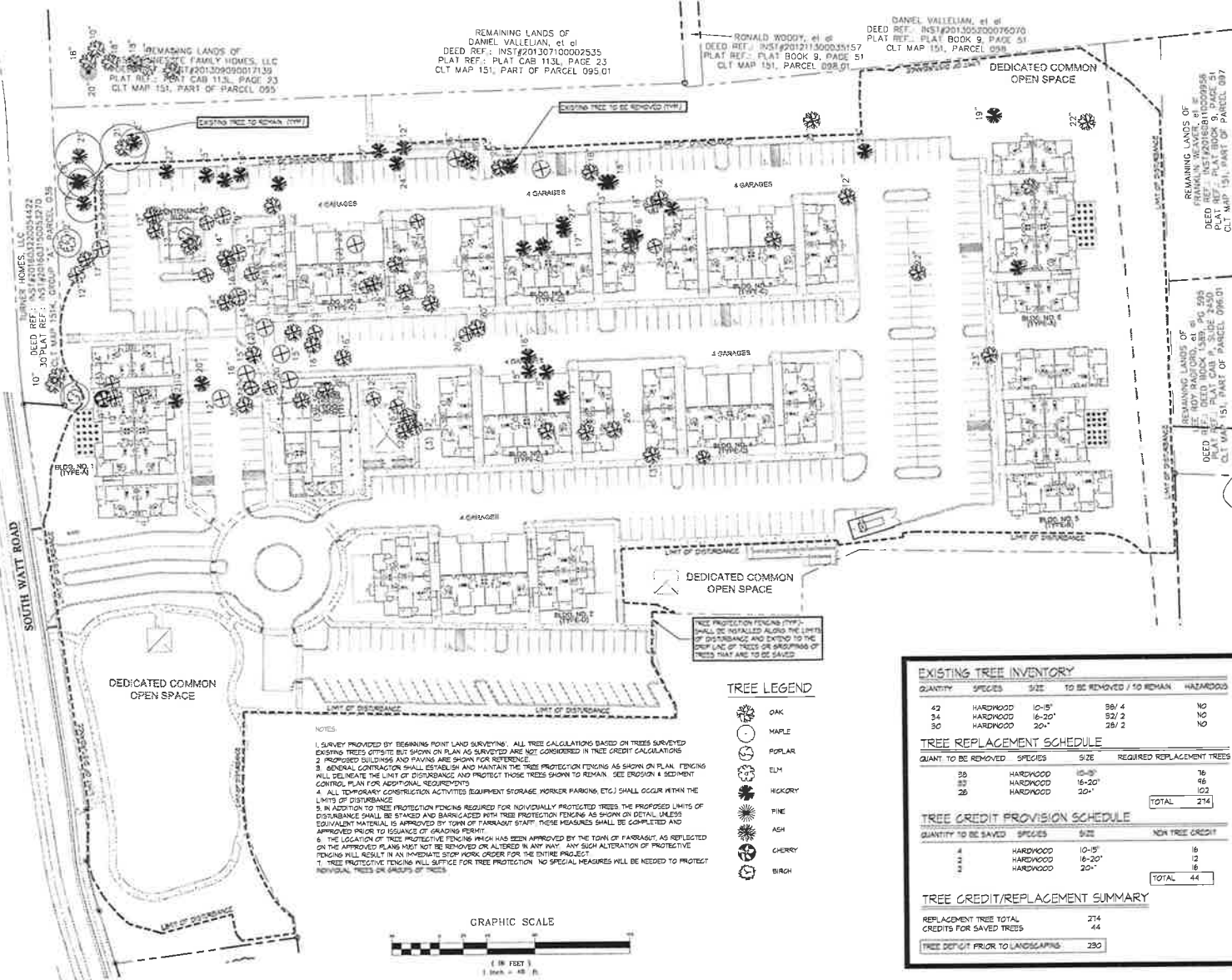
REV	DESCRIPTION	BY	DATE
0	Revised per Town of Farragut Comments	MAB	07-09-2018

TITLE:	DRAWN BY:	CHECKED BY:	FILE NAME:	JOB NUMBER:	ISSUE DATE:
LANDSCAPE AREA CALCULATIONS	THF	MAB	2140-C11.0	2140	07/09/2018

LOCATION:	PROJECT:	SHEET NO.:
115 S WATT RD FARRAGUT, TENNESSEE 37934 CLT Map 151, Parcel Nos. 07803, 079, 080, 081	WATT ROAD INVESTMENTS, LLC	C11.0



TREE PROTECTION FENCING DETAIL
NO SCALE



NOTES:
1. SURVEY PROVIDED BY BEGINNING POINT LAND SURVEYING, ALL TREE CALCULATIONS BASED ON TREES SURVEYED
2. PROPOSED BUILDINGS AND PAVING ARE SHOWN FOR REFERENCE
3. GENERAL CONTRACTOR SHALL ESTABLISH AND MAINTAIN THE TREE PROTECTION FENCING AS SHOWN ON PLAN. FENCING
WILL DELINEATE THE LIMIT OF DISTURBANCE AND PROTECT THOSE TREES SHOWN TO REMAIN. SEE EROSION & SEDIMENT
CONTROL PLAN FOR ADDITIONAL REQUIREMENTS
4. ALL TEMPORARY CONSTRUCTION ACTIVITIES (EQUIPMENT STORAGE, WORKER PARKING, ETC.) SHALL OCCUR WITHIN THE
LIMITS OF DISTURBANCE
5. IN ADDITION TO TREE PROTECTION FENCING REQUIRED FOR INDIVIDUALLY PROTECTED TREES THE PROPOSED LIMITS OF
DISTURBANCE SHALL BE STAKED AND BARRICADED WITH TREE PROTECTION FENCING AS SHOWN ON DETAIL UNLESS
EQUIVALENT MATERIAL IS APPROVED BY TOWN OF FARMINGTON STAFF. THESE MEASURES SHALL BE COMPLETED AND
APPROVED PRIOR TO ISSUANCE OF GRADING PERMIT.
6. THE LOCATION OF TREE PROTECTIVE FENCING WHICH HAS BEEN APPROVED BY THE TOWN OF FARMINGTON AS REFLECTED ON
THE APPROVED PLANS MUST NOT BE REMOVED OR ALTERED IN ANY WAY. ANY SUCH ALTERATION OF PROTECTIVE
FENCING WILL RESULT IN AN IMMEDIATE STOP WORK ORDER FOR THE ENTIRE PROJECT.
7. TREE PROTECTIVE FENCING WILL SUFFICE FOR TREE PROTECTION. NO SPECIAL MEASURES WILL BE NEEDED TO PROTECT
INDIVIDUAL TREES OR GROUPS OF TREES.

TREE LEGEND

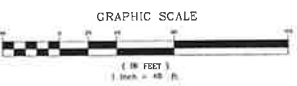
- OAK
- MAPLE
- FORLAR
- ELM
- HICKORY
- PINE
- ASH
- CHERRY
- BURCH

EXISTING TREE INVENTORY				
QUANTITY	SPECIES	SIZE	TO BE REMOVED / TO REMAIN	HAZARDOUS
42	HARDWOOD	10-15"	38/ 4	16
34	HARDWOOD	16-20"	32/ 2	16
50	HARDWOOD	20+"	28/ 2	16

TREE REPLACEMENT SCHEDULE			
QUANT. TO BE REMOVED	SPECIES	SIZE	REQUIRED REPLACEMENT TREES
38	HARDWOOD	10-15"	76
32	HARDWOOD	16-20"	64
28	HARDWOOD	20+"	56
TOTAL			196

TREE CREDIT PROVISION SCHEDULE			
QUANTITY TO BE SAVED	SPECIES	SIZE	NON TREE CREDIT
4	HARDWOOD	10-15"	16
3	HARDWOOD	16-20"	12
2	HARDWOOD	20+"	8
TOTAL			36

TREE CREDIT/REPLACEMENT SUMMARY	
REPLACEMENT TREE TOTAL	274
CREDITS FOR SAVED TREES	44
TREE DEFICIT PRIOR TO LANDSCAPING	230



June 28, 2018

Mr. Mark Bialik
GBS Engineering
1313 Kalmia Road
Knoxville, TN 37909
mark@gsb-eng.net

**SUBJECT: STAFF COMMENTS ON THE LATEST SITE PLAN SUBMITTED
JUNE 11, 2018 FOR PHASE I OF THE KINGSTON PIKE
VILLAGE PLANNED COMMERCIAL DEVELOPMENT**

Dear Mark:

The Town staff has reviewed the site plan that was submitted on June 11 for Phase I of the Kingston Pike Village for compliance with the Town requirements. **This item will be discussed at the Staff/Developer Meeting at the Farragut Town Hall on Tuesday, June 5, at 2:30 p.m.** The purpose of this meeting is to discuss questions you may have on staff comments. Due to the number and significance of many of the comments, when the staff comments are addressed this will essentially require a new review. Please include with the revisions a comment response letter that addresses each comment and how it is being addressed.

Code Division: (Contact John Householder at jhouseholder@townoffarragut.org)

- 1) Please specifically address items 76-81 on the site plan application checklist. The submittal did not adequately address these items;

Fire Division: (Contact Dan Johnson at djohnson@townoffarragut.org)

- 2) Please submit a letter reflecting where the required revisions from previous reviews are located on the drawings;

Planning Division: (Contact Mark Shipley at mshipley@townoffarragut.org) or Bart Hose at bhose@townoffarragut.org

- 3) Please address the previous comments that apply to what is being proposed as part of this phase;
- 4) Please complete the Architectural Design Checklist for this phase and demonstrate how the site and building elements provided for in the checklist are being addressed;
- 5) Please include lot coverage calculations and diagrams. These should be shown for this phase and how it relates to the entire development. The allocations should also be reflected in all legal documentation and related plat notes. The PCD must be considered as a whole with all phases bound together;
- 6) Please provide parking calculations for this phase and how it relates to the entire development. Any shared use parking provisions should also be reflected in all legal documentation and related plat notes. The PCD must be considered as a whole with all phases bound together;

- 7) Please include calculations and diagrams verifying landscaping requirements between buildings and parking lots;
- 8) The eastern open-space/amenity area continues to be heavily impacted by a detention basin. As a result, the area appears to fall short of what was originally proposed as a public amenity area of useable open-space. The area was a key component of the original concept plan on which the PCD zoning was approved, and staff continues to oppose it being sacrificed to other project objectives;
- 9) Please fully incorporate the western open-space/amenity area into the plans for this phase and provide all applicable plan details;
- 10) Please include an open-space/landscaping area plan sheet that clearly shows all proposed open/greenspace/amenity areas within the development and around the buildings;
- 11) Please include elevation view sheets showing all the retaining walls the applicant/designer has added between and around the buildings. We would like to see how these elements visually impact the development and open-space accessibility from a ground level view point;
- 12) The PCD zone requires a 50-foot transition area with several different transition element options. Please define the area and transition element options to be utilized;
- 13) Staff would like to further review the pedestrian circulation and connection aspects of the plan with the designer;
- 14) Please check and correct, where necessary, scales on all sheets;
- 15) Please show the distances between the proposed access and existing access points along S. Watt Road;
- 16) There is no lighting plan sheet in the submission;
- 17) Staff could not locate required bike parking on the plan, please clarify;
- 18) Please provide HAVC screening details;
- 19) Please provide address locations on the building elevations;
- 20) Please list the plan prepares name separately for identification and contact purposes;
- 21) Please add a construction detail for all retaining walls;
- 22) Please note: This plan submittal is a follow-up to earlier plans. Based on a meeting staff had with the project engineer on 6/27, the submitted plans appear to be in flux, with changes and additions still being made. The plans should be finalized for review with all subsequent changes being specifically noted and identified by the designers. The Town should not have to continually re-review the plans to find what has changed;

Stormwater Division: (Contact Lori Saal at lsaal@townoffarragut.org)

- 23) Please ensure that final version addresses previous comments;

Engineering Division: (Contact Darryl Smith at dsmith@townoffarragut.org)

- 24) Please submit drainage calculations;
- 25) A large off-site area appears to drain through the parking lots from the south and southwest, extending to Old Stage Road. How is this runoff handled? Check “draw” approximately 200 feet east of western property line, draining due north.

Additionally, consider runoff in ditch adjacent to walking trail on Watt Road.
This runoff must be accommodated appropriately;

- 26) Conversation with consultant indicates that several changes will be needed to grading and drainage plans;
- 27) Please show details for retaining walls;
- 28) ES&PC Plan (C1.0-C1.2): Please correct notes as discussed: "Town of Farragut," correct reference to Knox County. Show legend. Large areas drain to single catch basins (consider additional catchment). Truck wash down area should likely be shown on plan sheets. Due to size of disturbed area, consider supplemental lines of silt fence;
- 29) Crosswalks in roundabout should be straight between handicap ramps. It's possible that some of the crosswalks might need to be converted to raised crosswalks to ensure proper drainage;
- 30) Drainage pipes and structures should be properly labeled (including inverts, pipe sizes and materials). Please keep in mind that no pipe should be smaller than 18" diameter. HDPE is allowed only in limited circumstances, as noted in recent discussion;
- 31) Existing catch basin on Watt Road (in entrance) should be converted to manhole, and a new catch basin should be added north or south of the entrance;
- 32) Please show gas, electric, telephone and cable;
- 33) Please show stop bars and signage to navigate site;
- 34) Please show details for stabilization of slopes steeper than 3:1;
- 35) This plan has temporarily omitted the commercial development proposed in earlier submittals, but shows grading for eventual development of those facilities. The Kingston Pike full access (adjacent to Y-12) will not connect to this site in this phase. A reasonable assumption is that the entrance shown onto Watt Road is sufficient for trips generated by this phase. Please confirm;
- 36) An irrevocable letter of credit for erosion control will be required, based upon area of disturbance. Please show this area;
- 37) Drainage fee will be based upon area of impervious surface. Please show;
- 38) Please submit TDOT permit to work on state ROW; and
- 39) Please submit NOC.

In addition to the e-mail addresses provided above you may also call the designated staff person(s) at 865-966-7057 if you have any questions on the above items. Unless specified otherwise, please include all requested information on the plans. Thank you for your assistance.

Sincerely,

Mark Shipley, AICP
Community Development Director

Darryl Smith, PE
Town Engineer

July 9, 2018

Mr. Mark Shipley,
Community Development Director,
Town of Farragut,
11408 Municipal Center Drive,
Farragut, Tennessee 37934

RECEIVED
JUL 09 2018
TOWN OF FARRAGUT

Re: Staff comments on Site Plan for Phase I of the Kingston Pike Village,
Planned Commercial Development.

Dear Mark,

Attached are the required 5 sets of only the revised drawings of the Site Development Plans for Phase I of the Kingston Pike Village Planned Commercial Development. We have addressed the Staff comments as follows:

1. We have attached a revised portion of the Site Plan Application Checklist to address John Householder's comment.
2. We have addressed Dan Johnson's comments as follows:
 - a. We have revised the construction type stated in the notes for the Site Utility Plan, see drawing C6.0.
 - b. We have stated the total number of apartments in the calculations for parking, see drawing C3.0.
 - c. We have revised the callout for the type of construction, see Notes on drawing C6.0.
 - d. We will be building a Type VA (Modified to meet the requirements of Type IIIB), the maximum Fire protection area square footage for any building associated with this project is approximately 6,000 sf.
 - e. We acknowledge this may not be all of the comments.
3. We have addressed the Planning Division comments as follows:
 - a. We will be submitting the Architectural Design Checklist, via email, tomorrow. Pat and I want to coordinate to make sure we have address all of the items.
 - b. We have added Lot Coverage Calculations to drawing C3.0.
 - c. We have added Parking Calculations (including bicycle calculations) to drawing C3.0.
 - d. We have added drawing C11.0 to address the Diagram and calculations for the required landscape between buildings and parking.
 - e. We address the issue related to the Conceptual Storm Pond and designed Storm Basin at the Staff/Developer's Meeting. The designed pond is only 1900 sf larger than the Conceptual Storm Basin.
 - f. We have added Conceptual Site Rendering to the plans to aid staff and Planning Commission, see drawing A-22.
 - g. See the response to the previous request.
 - h. We have provided a Streetscape view of the basement level of the $\frac{3}{4}$ split, see drawing A-19.
 - i. We have attempted to address the transition zone with the Conceptual Site Rendering, see drawing A-22.
 - j. We recommend looking at drawing C3.0 for evaluation of the pedestrian circulation, we did discuss this issue at the Staff/Developer Meeting.

MARK A. BIALIK, PE
865.566.0185 (M)
888.485.7005 (F)

GBS ENGINEERING
1313 KALMIA ROAD
KNOXVILLE, TENNESSEE 37909

- k. We have revised the Plan scale on the drawings to make sure they are correct, see drawings C4.1, C4.2 and C4.3.
- l. We have added the requested dimensions to drawing C3.0.
- m. We have included the Site Lighting Plan, with photometrics to this submittal, see drawings A-20 and A-21.
- n. We have added the required bicycle parking to all of the plan sheets.
- o. We are showing the required HVAC Screening on all of the colored elevations.
- p. We have added the proposed location for Building Address, see all of the colored elevations.
- q. We have not addressed this and will add to the Cover Sheet.
- r. We have included the retaining wall drawings to this submittal.
- s. We have decided at this time to move forward with the plans as they are.

4. We have addressed Lori Saal's comments as follows:

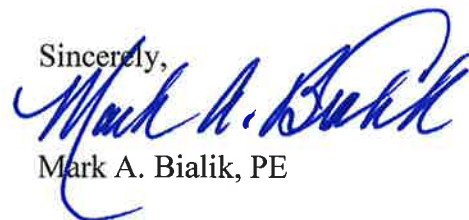
- a. We have addressed the confusion from the previous submittals to make sure all of the notes and callouts represent only this project.
- b. We have eliminated all reference to Knox County and only refer to Town of Farragut.
- c. We have added the requested concrete washout area detail to the plans, see drawing C8.0.
- d. We still have to add the requested note to the Erosion Control Drawing related to the long-term maintenance of the stormwater control measures.

5. We have addressed Darryl Smith's comments as follows:

- a. We will email the supplement drainage calculations to you tomorrow, 07-10-2018.
- b. We have added another by-pass line running thru the site, see drawings C4.0, C4.1, C4.2 and C4.3.
- c. We have addressed this issue by replacing the storm on the SWPPP plans.
- d. We have revised the notes to state, "unless otherwise noted".
- e. We have added a schematic layout of the electrical primary to the Site Utility Plan, see drawing C6.0. Please note, at the Staff/Developer Meeting we discussed this issue and as we are not using gas for the apartments, there is no need to show gas. We are not sure which provider will be supplying the communications at this time and whomever that will be will be designing their own layout.
- f. We understand your concern; however, we know the commercial portion of this project will be completing approximately the same time as the apartments. However, we will check with Alan Childers to see if we are okay. We will forward his response to you once we obtain it.
- g. We understand an irrevocable letter of credit will be required for the erosion control, please let us know the amount and we will have the Developer start working to obtain.
- h. We have added the impervious area to the drawings, see drawing C3.0. Please let us know the required amount for the Drainage Fee and we will get the Developer working to obtain.
- i. We will submit to TDOT for the required Curb Cut Permit once we are approved by Planning Commission.
- j. We will provide the NOC to you once we are approved by Planning Commission.

We look forward to obtaining approval of these plans.

Sincerely,



Mark A. Bialik, PE

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Bart Hose, Assistant Community Development Director

SUBJECT: Discussion and public hearing on the adoption of the Knox County, City of Knoxville, and Town of Farragut Multi-Jurisdictional Local Hazard Mitigation Plan (June 2018)

INTRODUCTION AND BACKGROUND: The June 2018 “Knox County, City of Knoxville, and Town of Farragut Multi-Jurisdictional Local Hazard Mitigation Plan” has recently been approved by the Federal Emergency Management Agency (FEMA) for local adoption. The plan was developed as a required five-year update to the 2011 hazard mitigation plan, in accordance the Disaster Mitigation Act of 2000. “The purpose of natural hazards mitigation is to reduce or eliminate long-term risk to people and property from natural hazards”, and the plan was developed to “reduce future losses to the county and its communities resulting from natural hazards”. The update was initiated by Knox County in June of 2017 and was completed with the assistance of Amec Foster Wheeler Environment & Infrastructure, Inc. The planning process utilized a Hazard Mitigation Planning Committee made up of stakeholders and representatives from each of the participating jurisdictions. Several planning meetings were held, along with two public input sessions and an online public survey (Executive Summary attached).

The plan includes a review of the planning process utilized; a general profile of the area and a discussion of each jurisdiction’s existing capabilities with respect to mitigation activities; a natural hazard risk assessment that includes descriptions and profiles of all identified hazards and a vulnerability assessment of those hazards; identified mitigation strategies to pursue, and a defined process for ongoing plan maintenance and updating. These plan elements are all required for FEMA approval. The plan provides valuable information regarding natural hazards that may affect the area and the community’s potential vulnerability to those hazards. It includes various mitigation strategies, projects, or programs that the planning committee identified to address mitigation goals in the area. These mitigation strategies are intended to provide preplanned guidance and direction to local decision makers interested in perusing mitigation goals and programs within their community. FEMA does not require implementation of the strategies; however, future mitigation grant applications must be related to them. The plan and strategies can also be amended at any time within the required five-year updating cycle to better adjust to local needs and priorities. It, like all plans, is intended to be a living document in support of good public policy and decision making within the community.

Each local government or covered jurisdiction must individually adopt the plan to be eligible for Federal Hazard Mitigation Grants, when available. These grants include the Hazard Mitigation Grant Program (HMGP) project grant; the Pre-Disaster Mitigation (PDM) project grant; and the Flood Mitigation Assistance (FMA) project grant.

RECOMMENDATION: The staff recommends that the Planning Commission approve the plan and recommend it to the Board of Mayor of Alderman for adoption.

EXECUTIVE SUMMARY

The purpose of natural hazards mitigation is to reduce or eliminate long-term risk to people and property from natural hazards. Knox County and participating jurisdictions developed this multi-jurisdictional local hazard mitigation plan to reduce future losses to the County and its communities resulting from natural hazards. The plan update was prepared pursuant to the requirements of the Disaster Mitigation Act of 2000 (Public Law 106-390) and the implementing regulations set forth by the Interim Final Rule published in the Federal Register on February 26, 2002, (44 CFR §201.6) and finalized on October 31, 2007 to achieve eligibility for the Federal Emergency Management Agency (FEMA) Hazard Mitigation Assistance (HMA) programs.

This Local Hazard Mitigation Plan is a multi-jurisdictional plan that covers the following local governments that participated in the planning process:

- Knox County
- City of Knoxville
- Town of Farragut
- Knox County Schools

The Knox County, City of Knoxville, and Town of Farragut planning process followed a methodology prescribed by FEMA, which began with the formation of a Hazard Mitigation Planning Committee (HMPC) comprised of key stakeholders from Knox County and participating jurisdictions. The HMPC conducted a risk assessment that identified and profiled hazards that pose a risk to the planning area, assessed the vulnerability to these hazards, and examined the capabilities in place to mitigate them. The planning area is vulnerable to several hazards that are identified, profiled, and analyzed in this plan. Floods, winter storms, landslides and windstorms are among the hazards that can have a significant impact on the County.

Based upon the risk assessment, the HMPC identified goals for reducing risk from hazards. Goals developed by the Hazard Mitigation Planning Committee are listed below:

- **Goal 1: Minimize, prevent or reduce the vulnerability of the people, property, environment, and economy of Knox County, City of Knoxville and Town of Farragut to the impacts of natural hazards.**
- **Goal 2: Increase citizen awareness and preparedness by providing information describing all types of hazards, methods for preventing damage, and how to respond.**
- **Goal 3: Strengthen protection of critical facilities and infrastructure from natural hazards to create a safer, more sustainable community.**

To meet the identified goals, the plan recommends the mitigation actions summarize in the table on the following pages. The HMPC also developed an implementation plan for

each action, which identifies priority level, background information, ideas for implementation, responsible agency, timeline, cost estimate, potential funding sources, and more. These additional details are provided in Chapter 4.

The *Knox County, City of Knoxville, and Town of Farragut Multi-Jurisdictional Local Hazard Mitigation Plan* has been formally adopted by the associated City and County Commissions and will be updated within a five-year time frame.

Table I. Mitigation Action Matrix

Action	HMPC Priority	Goals Addressed	Hazards Addressed	Address Current Development	Address Future Development	Continued Compliance with NFIP
Real estate disclosure to buyer of drainage easement maintenance responsibility. (Also, detention ponds, low impact development practices, etc.) Realtors Board, all governing agencies	High	2	Flood	✓		✓
Develop outreach/public education program to address excessive heat, sheltering options, and information on reducing agricultural losses	High	2	Extreme Temperature Drought	✓		
Develop MOU for sharing community resources, in addition existing emergency response resources and capabilities.	High	1	Multi-Hazard	✓		
Research opportunities to implement more stringent requirements for low-impact development practices for new and redevelopment projects	High	1	Flood		✓	✓
Research potential for including additional departments/disciplines in the development review process, such as stream determination, historic flooding, soil scientist, geologist/sinkhole review, and environmental review standards	High	1	Flood Expansive Soils		✓	✓
Research options for development BMPs to reduce urban heat island effect	High	1	Extreme Temperature	✓	✓	
Implement Firewise program in areas identified at risk.	High	1	Wildfire	✓	✓	
Research options for requiring and enforcing the recommendations of the Hillside and Ridgetop Protection Plan.	High	1	Landslide	✓	✓	
Continue roadway ditch maintenance to reduce roadway flooding, i.e. Concord Park on Northshore Drive.	High	1	Flood	✓		✓
Research options to increase funding for home weatherization, with priority of vulnerable population through the Weatherization Assistance Program and the Knoxville-Knox County Community Action Committee.	High	1	Extreme Temperature	✓		
Maintain up-to-date building codes with transition to 2018 ICC Code Suite	High	1	Earthquake	✓	✓	✓
Research potential to provide incentives for development outside of environmentally sensitive areas	High	1	Multi-Hazard		✓	✓



Action	HMPC Priority	Goals Addressed	Hazards Addressed	Address Current Development	Address Future Development	Continued Compliance with NFIP
Amplify outreach/public education to encourage participation in Reverse 911 system.	Medium	2	Multi-Hazard	✓		
Create and/or update existing KEMA fact sheets for natural hazards to define hazard risks and suggest personal mitigation actions.	Medium	2	Multi-Hazard	✓		
Provide educational workshop and/or informational materials for the real estate industry including buyers, agents, and lenders.	Medium	2	Multi-Hazard	✓		✓
Develop outreach/public education program for defensible space for wildfire	Medium	2	Wildfire	✓		
Pursue funding for back-up power generators for identified critical facilities and infrastructure.	Medium	3	Multi-Hazard	✓		
Review fuel supply and storage capabilities at critical facilities to ensure continuity of operations during a hazard event.	Medium	3	Multi-Hazard	✓		
Review potential for enhancement to existing warning system(s); identify methods for targeting vulnerable populations	Medium	1	Multi-Hazard, Floods	✓		
Implement and Maintain the Knoxville-Knox County Excessive Heat Plan seeking partners to add/refine response options and incorporating public comment and participation	Medium	1	Extreme Temperature	✓	✓	
Encourage underground utilities for new development and as a retrofit for redevelopment.	Medium	1	Severe Storms, Tornado		✓	
Continue participation in the National Flood Insurance Program (NFIP)	Medium	1	Flood	✓	✓	✓
Participate in the NIFP Community Rating System (CRS) users group, seeking continued improvement in CRS rating	Medium	1	Flood	✓	✓	✓
Review opportunities to regulate private maintenance of stormwater systems conveyance and storage	Medium	1	Flood	✓	✓	✓
Research options to develop open space preservation policy, especially in streamside areas	Medium	1	Flood Extreme Temperature	✓	✓	✓
Develop prioritization strategy for performing watershed assessments	Medium	1	Flood	✓	✓	✓
Create a potential wetlands map	Medium	1	Flood		✓	
Maintain stormwater infrastructure mapping in coordination with neighboring jurisdictions	Medium	1	Flood	✓	✓	✓
Expand the Environmental Stewardship Program (ESP)	Medium	1	Flood	✓	✓	✓

Action	HMPC Priority	Goals Addressed	Hazards Addressed	Address Current Development	Address Future Development	Continued Compliance with NFIP
Develop sinkhole mapping using LiDAR	Medium	1	Sinkhole	✓	✓	✓
Seek to identify and/or prioritize locations for community shelters for mobile home parks/manufactured housing. Secure funding for construction.	Medium	1	Severe Storms, Tornado	✓		
Develop pro-active stormwater and/or public works maintenance program for stormwater infrastructure, including preventative culvert inspections and repair	Medium	1	Flood	✓		✓
Research potential to provide incentives for development outside of environmentally sensitive areas	Medium	1	Multi-Hazard		✓	✓
Secure funding for roadway improvement projects that protect roadways from repetitive flooding	Medium	3	Flood	✓	✓	✓
Replacement of undersized stormwater drainage pipes as identified through flash flooding events, local drainage complaints, and future watershed studies.	Medium	1	Flood	✓	✓	✓
Secure funding for uninterruptible power supply battery-backup systems for traffic signals	Low	1	Multi-Hazard	✓		
Create incentives to correct water utilities for drought	Low	1	Drought	✓	✓	
Increase powerline maintenance to reduce instances of falling trees on powerlines and poles.	Low	1	Severe Storms, Tornado	✓		
Research regulations and process to require storm saferoom construction in all new public buildings	Low	3	Severe Storms, Tornado		✓	
Prioritize and secure funding for buyout of repetitive flood properties	Low	1	Flood	✓		✓
Secure funding for protection and/or relocation of flood-prone critical facilities	Low	3	Flood	✓		✓
First Creek Improvements – Install a high flow bench through a City park (approximately 400' long), between Glenwood and Grainger Avenue. Make bridge improvements at Glenwood and Grainger Avenue to allow a higher capacity.	Low	1	Flood	✓	✓	✓

RESOLUTION PC-18-14

FARRAGUT MUNICIPAL PLANNING COMMISSION

A RESOLUTION TO APPROVE THE “KNOX COUNTY, CITY OF KNOXVILLE, AND TOWN OF FARRAGUT MULTI-JURISDICTIONAL LOCAL HAZARD MITIGATION PLAN”, AND TO RECOMMEND THE ADOPTION OF SAID PLAN TO THE FARRAGUT BOARD OF MAYOR AND ALDERMEN

WHEREAS, the Tennessee Code Annotated, Section 13-4-201et seq, provides that the Municipal Planning Commission shall make and adopt a general plan for the physical development of the municipality; and

WHEREAS, the Tennessee Code Annotated, Section 13-4-203et seq, provides that the Municipal Planning Commission shall, in the preparation of the plan, make careful and comprehensive surveys and studies of the existing conditions and future growth of the municipality and its environs; and

WHEREAS, the Farragut Municipal Planning Commission recognizes the threat that natural hazards pose to people and property within our community; and

WHEREAS, the Farragut Municipal Planning Commission recognizes that the presence of natural hazards and the need to address and mitigate those hazards, where possible, may impact the future growth of the municipality and its environs; and

WHEREAS, the Farragut Municipal Planning Commission recognizes that adoption of a mitigation plan by the local legislative body is required as a condition of future funding for mitigation projects under multiple mitigation grant programs administered by the Federal Emergency Management Agency; and

WHEREAS, the Tennessee Emergency Management Agency and Federal Emergency Management Agency Region IV officials have reviewed the “Knox County, City of Knoxville, and Town of Farragut Multi-Jurisdictional Local Hazard Mitigation Plan,” and approved it contingent upon its official adoption by participating local governing bodies; and

WHEREAS, a public hearing was held on this resolution on July 19, 2018;

NOW, THEREFORE, BE IT RESOLVED that the Farragut Municipal Planning Commission approves the “Knox County, City of Knoxville, and Town of Farragut Multi-Jurisdictional Local Hazard Mitigation Plan” (June 2018) for application in support of its and the Town’s planning program; and

BE IT FURTHER RESOLVED that the Farragut Municipal Planning Commission hereby recommends approval and adoption of said plan to the Farragut Board of Mayor and Aldermen by the adoption of Town of Farragut Resolution R-2018-09.

ADOPTED this 19th day of July, 2018.

Rita Holladay, Chairman

Edwin K. Whiting, Secretary