



**AGENDA
FARRAGUT MUNICIPAL PLANNING COMMISSION**

**November 15, 2018
7:00 p.m. Farragut Town Hall**

For questions please e-mail Mark Shipley at mshipley@townoffarragut.org or Bart Hose at bhose@townoffarragut.org

- 1. Citizen Forum**
- 2. Approval of agenda**
- 3. Approval of minutes – October 18, 2018**
- 4. Discussion and public hearing on a resolution to approve proposed changes to the Town of Farragut Stormwater Ordinance, Article 1 (In General), Section 111-1 Definitions; Article 2 (Administration and Enforcement), Division 2 (Grading Permit), Section 111-111 Required; and Article 4 (Standards and Requirements), Section 111-150 General Performance Criteria for stormwater management (Town of Farragut, Applicant)**
- 5. Discussion and public hearing on a preliminary plat for Way Station Trail Extension, 12639 Kingston Pike, Zoned NCC, OS-P, and FPD (SITE, Inc., Applicant)**
- 6. Discussion and public hearing on a site plan related to proposed improvements at the Tennova Turkey Creek Medical Center, 10820 Parkside Drive, Zoned C-1-3 (Zach Parrott, Applicant)**
- 7. Discussion and public hearing on a request for an amendment to the site plan for Tire Discounters, 709 N. Campbell Station Road, 1 Acre, Zoned C-2 (Leesman Engineering and Associates, Applicant)**
- 8. Discussion and public hearing on an amendment to the Farragut Zoning Ordinance, Appendix A, Chapter 4, Section XX. A., 3., Number of parking spaces required, to provide for the Board of Zoning Appeals to have the authority to determine bicycle parking requirements for unlisted uses (Knoxville-Farragut Storage, LLC., Applicant)**
- 9. Approval of Utilities – Choto Loop – KUB Gas System Improvement Project**
- 10. Planning Commission Training**



**MINUTES
FARRAGUT MUNICIPAL PLANNING COMMISSION**

October 18, 2018

MEMBERS PRESENT

Rita Holladay, Chairman
Ed St. Clair, Vice-Chairman
Ed Whiting, Secretary
Ron Williams, Mayor
Louise Povlin, Alderman
Noah Myers
Betty Dick
Rose Ann Kile
Jon Greene
Nick LiMandri

MEMBERS ABSENT

Staff Representatives: Mark Shipley, Community Development Director
Bart Hose, Assistant Community Development Director
David Smoak, Town Administrator
Trevor Hobbs, Assistant to the Town Administrator

Chairman Holladay called the meeting to order at 7 p.m.

1. CITIZEN FORUM

Staff reminded commissioners of upcoming training on October 29 regarding Private Property Rights. Commissioners are required to have at least 4 hours of training per year.

2. APPROVAL OF AGENDA

A motion was made by Commissioner Povlin to approve the agenda as presented. The motion was seconded by Commissioner St. Clair and the motion passed unanimously.

3. APPROVAL OF MINUTES

A motion was made by Commissioner St. Clair to approve the September 20, 2018 minutes as presented. The motion was seconded by Commissioner Kile and the motion passed unanimously.

4. DISCUSSION AND PUBLIC HEARING ON PROPOSED CHANGES TO THE TOWN OF FARRAGUT STORMWATER ORDINANCE, ARTICLE 1 (IN GENERAL), SECTION 111-1 DEFINITIONS; ARTICLE 2 (ADMINISTRATION AND ENFORCEMENT), DIVISION 2 (GRADING PERMIT), SECTION 111-111 REQUIRED; AND ARTICLE 4 (STANDARDS AND REQUIREMENTS), SECTION

111-150 GENERAL PERFORMANCE CRITERIA FOR STORMWATER MANAGEMENT (TOWN OF FARRAGUT, APPLICANT)

Stormwater coordinator, Lori Saal, reviewed the requested changes and recommended approval.

A motion was made by Commissioner St. Clair to approve the requested changes to the Stormwater Ordinance. The motion was seconded by Commissioner Povlin and the motion passed unanimously.

5. DISCUSSION AND PUBLIC HEARING ON A PROPOSED AMENDMENT TO THE SITE PLAN FOR THE FARRAGUT GATEWAY PROJECT AT 101-109 S. CAMPBELL STATION ROAD AS IT RELATES TO THE SCREENING OF HVAC UNITS (MIDDLEBROOK PROPERTIES, APPLICANT)

Staff reviewed this agenda item and, of the three options presented by the applicant, staff noted that Option 3 (the metal screening) would most closely match some material (the black metal coping) that is being used on the buildings. Staff recommended that, if approved, the applicant should install one screening panel (perhaps around the unit over the Starbucks building). Commissioners could then assess this in terms of architectural compatibility and determine if this should be continued on the remainder of the project.

A motion was made by Commissioner Myers to approve Option 3 but not require a sample panel due to the timing and logistics of the project. The motion was seconded by Commissioner Povlin and the motion passed unanimously.

6. DISCUSSION AND PUBLIC HEARING ON AMENDMENTS TO THE FUTURE LAND USE MAP AND TEXT OF THE COMPREHENSIVE LAND USE PLAN UPDATE AS IT APPLIES TO THE WATT ROAD CORRIDOR AND THE MIXED-USE NEIGHBORHOOD AND MEDIUM DENSITY RESIDENTIAL LAND USES

Staff recommended approval of the proposed changes to the future land use map and text of the Comprehensive Land Use Plan Update (CLUP).

A motion was made by Commissioner St. Clair to approve the proposed changes to the future land use map and text of the CLUP. The motion was seconded by Commissioner Povlin and the motion passed unanimously.

7. DISCUSSION ON A PRELIMINARY PLAT FOR WAY STATION TRAIL EXTENSION, 12639 KINGSTON PIKE, ZONED NCC (SITE, INC., APPLICANT)

For discussion purposes only.

8. DISCUSSION ON AN AMENDMENT TO THE FARRAGUT ZONING ORDINANCE, APPENDIX A, CHAPTER 4, SECTION XX. A., 3., NUMBER OF PARKING SPACES REQUIRED, TO PROVIDE FOR THE BOARD OF ZONING APPEALS TO HAVE THE AUTHORITY TO DETERMINE BICYCLE PARKING REQUIREMENTS FOR UNLISTED USES (KNOXVILLE-FARRAGUT STORAGE, LLC., APPLICANT)

For discussion purposes only.

**9. DISCUSSION ON AMENDMENTS TO OR REMOVAL OF THE PLANNED
COMMERCIAL DEVELOPMENT ZONING DISTRICT (PCD) (TOWN OF
FARRAGUT, APPLICANT)**

For discussion purposes only.

ADJOURNMENT

The meeting adjourned at 8:35 p.m.

Edwin K. Whiting, Secretary

MEETING DATE: November 15, 2018

AGENDA ITEM #4

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Lori Saal, Stormwater Coordinator

SUBJECT: Proposed amendments to the Stormwater Ordinance in the form of Resolution PC-18-17 which recommends approval of Ordinance 18-16

INTRODUCTION AND BACKGROUND: This item was discussed at last month's meeting and the proposed changes were recommended for approval by the Planning Commission. Since this involves a change to an existing ordinance, staff is now presenting the changes approved last month in a resolution format and ordinance format.

RECOMMENDATION: Staff recommends approval of Resolution PC-18-17 which recommends approval of Ordinance 18-16.

RESOLUTION PC-18-17

FARRAGUT MUNICIPAL PLANNING COMMISSION

A RESOLUTION TO APPROVE AMENDMENTS TO CHAPTER 111, STORMWATER MANAGEMENT CONTROL, BEING THE FARRAGUT STORMWATER ORDINANCE, OF THE FARRAGUT CODE, ORDINANCE 05-16, BY AMENDING ARTICLE 1 (IN GENERAL), SECTION 111-1 DEFINITIONS, TO ADD A DEFINITION; ARTICLE 3 (PERMITS), DIVISION 2 (GRADING PERMIT), SECTION 111-111 REQUIRED, TO CHANGE GRADING PERMIT REQUIREMENTS; AND ARTICLE 4 (STANDARDS AND REQUIREMENTS), SECTION 111-150 GENERAL PERFORMANCE CRITERIA FOR STORMWATER MANAGEMENT, TO IDENTIFY ADDITIONAL CRITERIA FOR SELECT SITES

WHEREAS, the Tennessee Code Annotated, Section 6-2-201, delegates the authority to local governmental units to adopt regulations designed to promote the public health, safety, and general welfare of their citizenry; and

WHEREAS, the Tennessee Code Annotated, Section 13-4-201 et seq, provides that the Municipal Planning Commission shall make and adopt a general plan for the physical development of the municipality; and

WHEREAS, the purpose of the new Stormwater Ordinance requirements is to define areas of priority construction activities and the associated performance criteria of those areas, and to clarify those developments which require a grading permit; and

WHEREAS, a public hearing was held on this request on November 15, 2018;

NOW, THEREFORE, BE IT RESOLVED that the Farragut Municipal Planning Commission hereby recommends approval to the Farragut Board of Mayor and Aldermen an ordinance, Ordinance 18-16, amending Chapter 111, Stormwater Management Control, being the Farragut Stormwater Ordinance, of the Farragut Code, by amending Article 1 (In General), Section 111-1 Definitions, to add a definition; Article 3 (Permits), Division 2 (Grading permit), Section 111-111 Required, to change grading permit requirements; and Article 4 (Standards and Requirements), Section 111-150 General performance criteria for stormwater management, to identify additional criteria for select sites.

ADOPTED this 15th day of November, 2018.

Rita Holladay, Chairman

Edwin K. Whiting, Secretary

ORDINANCE:	18-16
PREPARED BY:	Saal
REQUESTED BY:	Staff
CERTIFIED BY FMPC:	November 15, 2018
PUBLIC HEARING:	_____
PUBLISHED IN:	_____
DATE:	_____
1ST READING:	_____
2ND READING:	_____
PUBLISHED IN:	_____
DATE:	_____

AN ORDINANCE TO AMEND THE TEXT OF THE FARRAGUT STORMWATER MANAGEMENT CONTROL ORDINANCE, ORDINANCE 05-16, AS AMENDED, PURSUANT TO AUTHORITY GRANTED BY SECTION 13-4-201, TENNESSEE CODE ANNOTATED, BY AMENDING CHAPTER 111. STORMWATER MANAGEMENT CONTROL, ARTICLE 1 (IN GENERAL), SECTION 111-1 DEFINITIONS, TO ADD A DEFINITION; ARTICLE 3 (PERMITS), DIVISION 2 (GRADING PERMIT), SECTION 111-111 REQUIRED, TO CHANGE GRADING PERMIT REQUIREMENTS; AND ARTICLE 4 (STANDARDS AND REQUIREMENTS), SECTION 111-150 GENERAL PERFORMANCE CRITERIA FOR STORMWATER MANAGEMENT, TO IDENTIFY ADDITIONAL CRITERIA FOR SELECT SITES

WHEREAS, the Board of Mayor and Aldermen of the Town of Farragut, Tennessee, wishes to amend Chapter 111, Stormwater Management Control, Ordinance 05-16,

NOW, THEREFORE, BE IT ORDAINED by the Board of Mayor and Aldermen of the Town of Farragut, Tennessee, that the Farragut Stormwater Management Control Ordinance is hereby amended as follows:

SECTION 1.

The Farragut Stormwater Management Control Ordinance, Article 1. In General, Section 111-1 Definitions, is hereby amended by adding the following:

Priority construction activity means any construction activities that discharge directly into, or immediately upstream of, waters the state recognized as having unavailable parameters for siltation or habitat alteration or Exceptional Tennessee Waters.

SECTION 2.

The Farragut Stormwater Management Control Ordinance, Article 3. Permits, Division 2. Grading Permit, Section 111-111 Required, is hereby amended by deleting in its entirety and substituting in lieu thereof the following:

Every person shall be required to obtain a grading permit from the town if any of the following apply:

- (1) Construction activities will result in soil disturbances of one or more acres or less than one acre if construction activities are part of a larger common plan of development or sale that comprises at least one acre of cumulative land disturbance; or
- (2) A site plan is required per the town zoning ordinance (appendix A to this Code) or when a preliminary plat is required per the town subdivision regulations (appendix B to this Code). An application for a grading permit as provided in section 111-112 shall be submitted during the process of applying for either a site plan or preliminary plat.

SECTION 3.

The Farragut Stormwater Management Control Ordinance, Article 4. Standards and Requirements, Section 111-150 General performance criteria for stormwater management, is hereby amended by adding the following:

- (7) Regular inspections of construction sites, including those requiring a grading permit or identified as sites with priority construction activities, shall be conducted by the Town Engineer or his/her designee. All inspections shall be documented, and written reports prepared that contain the information as noted in Sec. 111-115.

SECTION 4.

This ordinance shall take effect from and after its final passage and publication, the public welfare requiring it.

Ron Williams, Mayor

Allison Myers, Town Recorder

Certified to the Farragut Board of Mayor and Aldermen this ____ day of _____, 2018, with approval recommended.

Rita Holladay, Chairman

Edwin K. Whiting, Secretary

FARRAGUT MUNICIPAL PLANNING COMMISSION

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion on a preliminary plat for Way Station Trail Extension (now Ivey Farms Road), 12639 Kingston Pike, Zoned NCC (SITE, Inc., Applicant)

INTRODUCTION AND BACKGROUND: This item was discussed as a workshop item last month and involves a proposed preliminary plat for the extension of Way Station Trail (Ivey Farms Road), along with grading and drainage improvements on the property formally known as the Swan Farm. The extension of Way Station Trail (Ivey Farms Road) is proposed to extend from Kingston Pike, northward along the western edge of the "Swan Farm", to Union Road and a planned roundabout intersection. Most of the property in question has recently been rezoned to Neighborhood/Convenience Commercial District (NCC) in anticipation of development.

DISCUSSION: Included in your packet is a copy of the latest preliminary plat along with the applicant's response to the staffs' comments on the previous plat. As discussed at last month's workshop session, some key issues that were reviewed included:

- Ensuring that external vehicular and pedestrian connectivity is provided to the property to the west;
- Ensuring that grading proposed at this time does not preclude or adversely impact internal connectivity between the areas identified for commercial and residential development on the property;
- Addressing streetscaping and controlling traffic speeds. Making the new street visually appealing and inviting to all users; and
- Exploring opportunities to save additional trees with modifications to grading.

In an effort to address some of the key issues identified last month, the applicant is asking for a variance from the Subdivision Regulations in order to reduce the lane widths from 12 feet to 11 feet. Another topic of discussion is allowing a design speed of 30 rather than 40 mph to match the design speed of Union Road (based on its anticipated improvements). This technically does not require a variance but is something that the Planning Commission should be aware of. Staff supports the variance request and a 30 mph design speed.

RECOMMENDATION: Staff will make a separate recommendation on the preliminary plat at the meeting based on whether the staffs' comments have been satisfactorily addressed on the revised plat sheets.



RECEIVED

NOV 05 2018

TOWN OF FARRAGUT

November 5, 2018

Mark Shipley
Town of Farragut
11408 Municipal Center Dr.
Farragut, TN 37934

Re: Staff comments on site plan for Way Station Road Extension

Dear Mark,

Please find attached our revised plans per October 24, 2018 staff comments. We have provided responses to comments below.

Planning Division: (Contact Mark Shipley at mshipley@townoffarragut.org) or Bart Hose at bhose@townoffarragut.org)

- 1) Please submit a streetscape plan as provided for in the amendments to the Subdivision Regulations that were adopted in January. This may include residential scale street lighting, landscaping within and abutting the street, features related to low impact development, features related to traffic calming, etc; **Streetscape plan included with this resubmittal, street scape includes street trees, and medians with trees.**
- 2) Please incorporate into the streetscape plan some landscaped based traffic calming measures along the straight roadway section. The space between the proposed road and the western property line (where grading is proposed) would be a good candidate for a heavily landscaped streetscape element. Medians should also be landscaped as part of such a plan; **Streetscape plan included with this resubmittal, street scape includes street trees, and medians with trees.**
- 3) Please ensure that wherever the accesses are proposed to the west that such accesses will be easy and logical to extend to the west upon future development. A question will be whether these should be joint access easements or public streets. The accesses will need to be taken to as close to the western property line as possible so as to facilitate future connections; **Logical access point to create a 4-way intersection at proposed commercial access point with easement across future commercial property. Any other access points may be in stretch of road where property to the west will abut the proposed ROW for the road, and may be constructed at that time.**
- 4) Please clarify “natural depression” and “natural water course.” Depending on the feature these may require formal evaluations to determine whether they may affect the development potential of the property; **The natural depressions previously shown were investigated and determined to be anomalies in the surface as produced by aerial surveying, due to tree cover. The “natural water course” are simply identifying the travel pattern of runoff through existing swale areas.**
- 5) There are some opportunities to save a handful of trees that are currently shown as being removed. Staff can review these with the applicant at the staff/developer meeting; **A few additional trees along Kingston Pike were shown to be preserved at this stage.**

- 6) Slopes can be graded to a 2.5:1 with proper stabilization. This could allow for certain impacted trees to be saved; **A few additional trees along Kingston Pike were shown to be preserved at this stage.**
- 7) The tree preservation/removal plan must be prepared by a landscape professional as provided for in the Tree Protection Ordinance. An arborist review will be needed for selected trees where special measures may need to be employed to save such trees; **The incorrect seal was replaced, Arborist review is note #8 on the plan.**
- 8) Please note that at least twenty-five (25) percent of the development's total area shall be designed so that its runoff will be accommodated through Low Impact Development (LID) measures which would rely on infiltration, evapotranspiration, or capture/reuse of stormwater runoff. This may also lessen the land area devoted to a traditional stormwater detention basin and thus create more developable space; **This will be evaluated and provided during development of the lots.**
- 9) Please include *on the plans* the full contact information of the property owner and design team members; **This was added to the cover sheet contact list.**
- 10) Given the short length of this road and the fact that, as proposed, there will be no on-street parking, the lane widths should be reduced to no more than 11 feet. This would require a variance from the Subdivision Regulations and the staff would support such a variance; **Lane widths were revised to 11 feet.**
- 11) The water and sewer plans must be approved in writing by FUD; **Noted, will be provided when obtained.**
- 12) Please ensure that the design does not preclude walking trail and other pedestrian facilities within the property and stubbing into adjacent properties; **No preclusions are anticipated.**
- 13) Once modified, please submit copy of plat to United States Post Office for determination of centralized mailing facilities; **Noted, will be provided when obtained.**
- 14) The plat will have to demonstrate compliance with all applicable FEMA and Town flood regulations; **All FEMA lines are shown and fill and building elevations will comply.**
- 15) Please provide a JPEG of this plan and the as-built of the development once constructed; **Noted, will be provided when obtained**
- 16) Please clarify the ownership of the land to the west of the planned roadway and north of the commercial out parcel. Is it to be included in the road ROW or is it part of other parcels? **It is intended to be ROW**
- 17) The commercial out parcel to the west of the proposed roadway is listed at .97 acres but it is impacted by a connection point to the west and includes an area to the north of the connection point. What is the usable area of this proposed lot given these constraints and required setbacks? It must be at least one acre; **Parcel area has been revised to provide greater than 1.0 acre.**
- 18) The aquatic buffer line should be shown on both sides of Turkey Creek and the tributary that crosses under Kingston Pike. In addition, the aquatic buffer should be extended out to the Floodway line wherever said line extends beyond the base 25-foot buffer line; **Lines on east side of creek have been added.**
- 19) A "no fill" line should be added to the east side of Turkey Creek; **Lines on east side of creek have been added.**
- 20) Please add required Minimum Floor Elevation note; **MFE note has been added to C3.0**
- 21) Please add the existing zoning for all adjoining properties; **Zoning has been added.**
- 22) Please clarify the location of required and proposed open-space. Is it restricted to the OS-P zoned area?

Engineering Division: (Contact Darryl Smith at dsmith@townoffarragut.org)

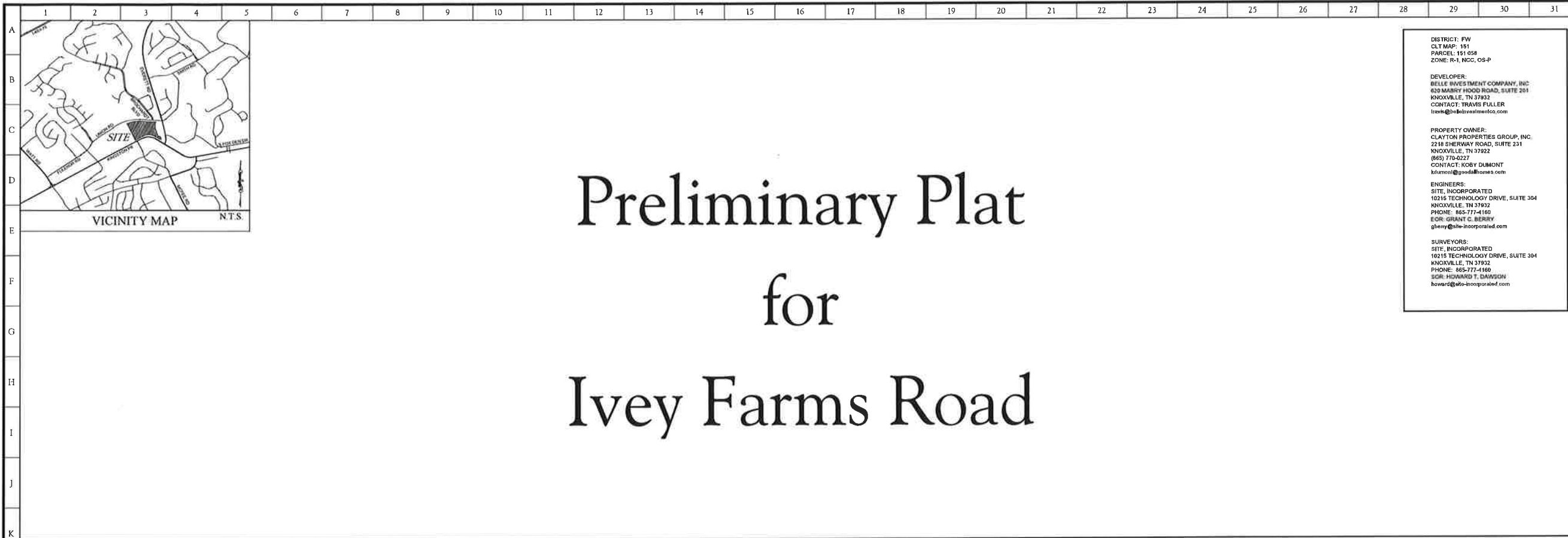
- 23) Please provide drainage calculations for both detention basins and the storm water infrastructure associated with the proposed roadway. All drainage pipes must be Class III Concrete (RCP), not HDPE. All invert elevations should allow for minimum 12" cover from top of pipe (crown, not soffit) to subgrade; **Drainage calculations are included with this resubmittal.**
- 24) Please provide distances to nearest driveways and/or intersections; **Distances to nearest added.**
- 25) Traffic Impact Study indicates need for 250' (plus taper) right turn lane from westbound Kingston Pike to northbound Way Station Trail Extension. The TIS also indicates the need for a deceleration lane from westbound Kingston Pike to the commercial access road (the proposed eastern entrance, approximately 300 feet east of Way Station Trail. Is the detention basin in that area located far enough from Kingston Pike to accommodate that future deceleration lane? **Decel lane and taper are added. There is adequate room from existing edge of road to add a pond and slope to the proposed pond.**
- 26) Traffic Impact Study shows that signalization of the Kingston Pike intersection will be warranted by development of the Swann property alone, but not by development of the Ivey property alone. Planning Commission should consider at what point the developer will be required to signalize this intersection;
- 27) As this roadway connects a Major Collector with an Arterial, it should likely be classified as a Major Collector. As such, it should be designed to meet the Town's Subdivision Regulations (at a minimum), or AASHTO. See C3.2 (site layout). Subdivision Regulations require minimum 400' radius and 12' lanes, with 40 mph vertical design speed. A variance will be required for 11' lanes. Consider overall design speed – 400' radius corresponds with approximate 33.3 mph design speed (AASHTO), with full superelevation at 4%. Superelevation should be included in this design. Why does alignment include 21.25' long horizontal curve at sta. 6+63.31? This small deflection (3 degrees) should be included within the curve shown at 3+65.53. Layout should show all curve data for centerline, with dimensions shown from centerline (not simply radius at face of curb). Show Right of Way and dimension to minimum width of 30' from centerline; **super-elevation added, lanes to 11' added, per developer review meeting, 30MPH design speed is the preferred, and matches with Union Road. Short length horizontal curve is to provide slight shift for grading and aligning with Union Road. All curb radius and tangent points have station and offset to the centerline, as well as radii labels, additional centerline horizontal curve data added.**
- 28) Please show locations for gas, electric, telephone and cable; **Other utilities will be provided with development plans for the lots.**
- 29) Please provide a detail for street name signs;
- 30) Please provide a traffic control plan which includes stop sign and/or traffic signal locations; **Signage has been added to plans.**
- 31) Please provide TDOT access permit for connection to Kingston Pike; **Noted, will be provided when obtained.**
- 32) Please provide irrevocable letter of credit for erosion control for \$165,000; **Noted**
- 33) Drainage Fees will be assessed at time of development of the adjacent parcels; **Noted**
- 34) Please provide copy of NOC. **Noted, will be provided when obtained.**

Please let us know if any of our responses are unclear or if you need additional information.

Sincerely,

A handwritten signature in blue ink, appearing to read "Grant C Berry". The signature is fluid and cursive, with a long horizontal stroke extending to the right.

Grant C Berry, P.E.



DISTRICT: FW
CLT MAP: 151
PARCEL: 151.058
ZONE: R-1, NCC, OS-P

DEVELOPER:
BELLE INVESTMENT COMPANY, INC.
638 MARY HOOB ROAD, SUITE 201
KNOXVILLE, TN 37932
CONTACT: TRAVIS FULLER
travis@belleinvestmentco.com

PROPERTY OWNER:
CLAYTON PROPERTIES GROUP, INC.
2218 SHERWAY ROAD, SUITE 231
KNOXVILLE, TN 37922
(865) 770-0227
CONTACT: KORY DUMONT
kdumont@goodahomes.com

ENGINEERS:
SITE, INCORPORATED
10215 TECHNOLOGY DRIVE, SUITE 304
KNOXVILLE, TN 37932
PHONE: 865-777-4160
FOR: GRANT C. BERRY
gberry@site-incorporated.com

SURVEYORS:
SITE, INCORPORATED
10215 TECHNOLOGY DRIVE, SUITE 304
KNOXVILLE, TN 37932
PHONE: 865-777-4160
SOR: HOWARD T. DAWSON
howard@site-incorporated.com



12639 Kingston Pike

Farragut, Tennessee

Drawing List		
C0.0	Preliminary Plat - Cover Sheet	11/5/18
C1.0	Preliminary Plat	11/5/18
C1.1	Preliminary Plat - Physical Features Inventory	11/5/18
C2.0	Preliminary Plat - Tree Preservation and Removal Plan	11/5/18
C2.1	Preliminary Plat - Storm Water Pollution Prevention Plan - Notes	11/5/18
C2.2	Preliminary Plat - Storm Water Pollution Prevention Plan - Stage I	11/5/18
C2.3	Preliminary Plat - Storm Water Pollution Prevention Plan - Stage II	11/5/18
C2.4	Preliminary Plat - Storm Water Pollution Prevention Plan - Details	11/5/18
C2.5	Preliminary Plat - Storm Water Pollution Prevention Plan - Details	11/5/18
C3.0	Preliminary Plat - Site Grading and Drainage Plan	11/5/18
C3.1	Preliminary Plat - Site Plan and Profile	11/5/18
C3.2	Preliminary Plat - Ivey Farms Road Cross-Sections	11/5/18
C3.3	Preliminary Plat - Site Layout and Signage & Striping Plan	11/5/18
C5.0	Preliminary Plat - Site Utility Plan	11/5/18
C5.1	Preliminary Plat - Sanitary Sewer Profile	11/5/18
C6.0	Preliminary Plat - Streetscaping Plan	11/5/18
C8.0	Preliminary Plat - Site Details	11/5/18
C8.1	Preliminary Plat - Site Details	11/5/18
C8.2	Preliminary Plat - Site Details	11/5/18

CONTACTS

WATER & SANITARY SEWER

FIRST UTILITY DISTRICT OF KNOX COUNTY
122 DURWOOD ROAD
KNOXVILLE, TENNESSEE 37922
CONTACT: TROY WEDERIND
PHONE: (865) 966-9741
FAX: (865) 675-4955

GAS

KNOXVILLE UTILITIES BOARD
4505 MIDDLEBROOK PIKE
KNOXVILLE, TENNESSEE 37919
CONTACT: NEW SERVICE DEPARTMENT
PHONE: (865) 556-2535

TELEPHONE

TDS TELECOM
701 CONCORD ROAD
KNOXVILLE, TENNESSEE 37933
CONTACT: TOM NITZ
PHONE: (865) 671-4546
FAX: (865) 671-4595

ELECTRIC

LENOIR CITY UTILITIES BOARD
200 EAST DEPOT
LENOIR CITY, TENNESSEE 37711
CONTACT: JAY HINES
PHONE: (865) 966-8891
FAX: (865) 966-0605

STORM WATER

TOWN OF FARRAGUT
11408 MUNICIPAL CENTER DRIVE
FARRAGUT, TENNESSEE 37934
CONTACT: DARRYL SMITH
PHONE: (865) 966-7057
FAX: (865) 966-2096

RECEIVED

NOV 05 2018

TOWN OF FARRAGUT



CONTRACTOR SHALL HAVE AN APPROVED STAMPED AND SIGNED
COPY OF THE SITE PLANS ON SITE TO WORK FROM

Preliminary Plat - Cover Sheet

Ivey Farms Road

12639 Kingston Pike

Farragut, Tennessee 37934

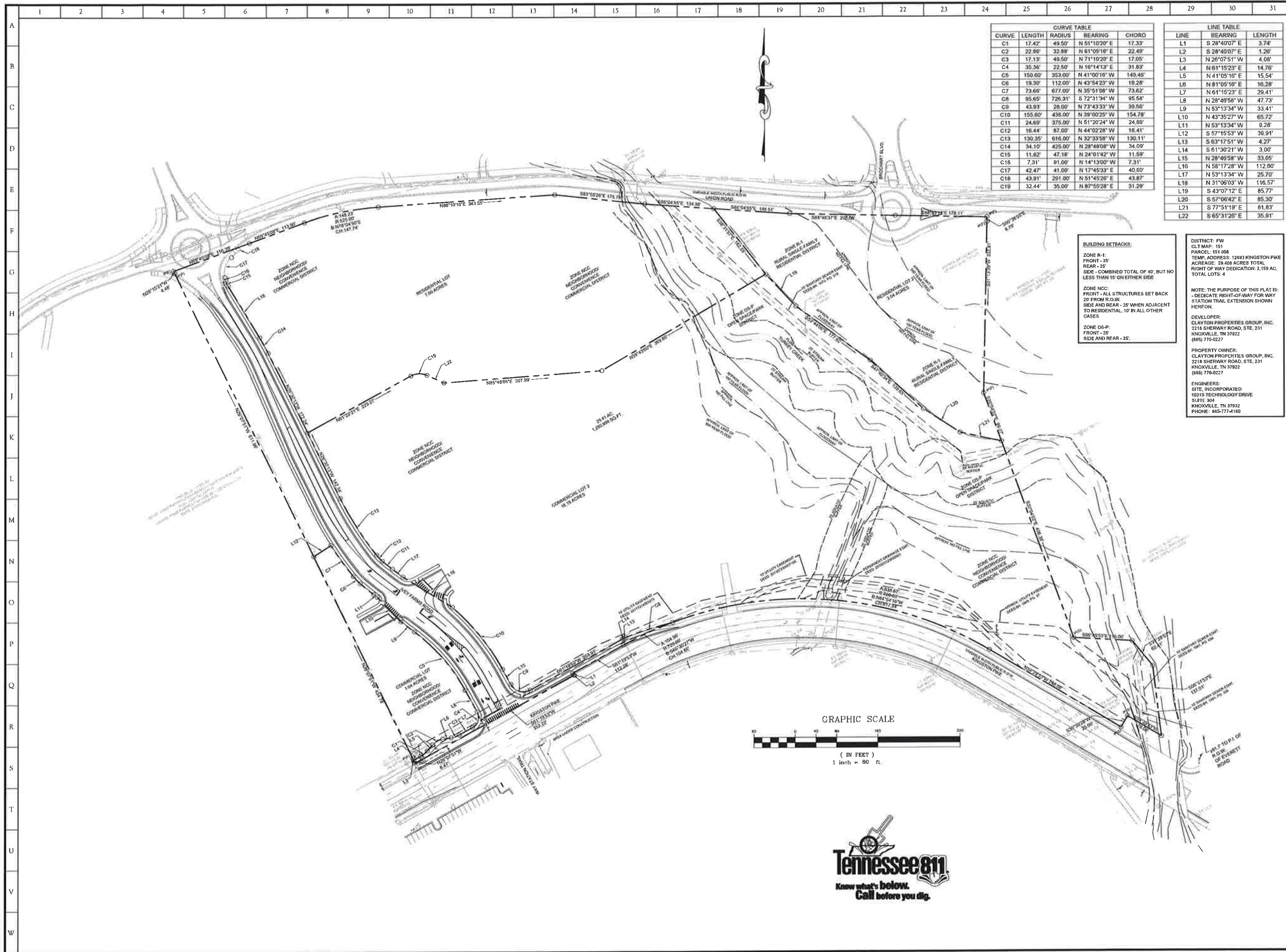
Clayton Properties Group, Inc.

DRW BY: GCB DATE: 09/17/18
CHECKED BY: GCB FILE: 1975-Cover

REVISIONS

NO	DATE	COMMENTS
1	10/15/18	Revised per Town of Farragut Comments
2	10/15/18	Revised per Town of Farragut Comments
3	11/15/18	Revised per Town of Farragut Comments

C0.0
SHEET 1 OF 15



CURVE TABLE				
CURVE	LENGTH	RADIUS	BEARING	CHORD
C1	17.42'	49.50'	N 51°10'20" E	17.33'
C2	22.99'	32.89'	N 81°05'16" E	22.49'
C3	17.13'	40.50'	N 71°10'20" E	17.05'
C4	35.39'	22.50'	N 10°14'13" E	31.83'
C5	150.60'	353.00'	N 41°00'18" W	149.46'
C6	19.30'	112.00'	N 43°54'23" W	19.28'
C7	73.66'	677.00'	N 35°51'08" W	73.62'
C8	95.65'	726.31'	S 72°31'34" W	95.58'
C9	43.93'	28.00'	N 73°43'33" W	39.56'
C10	155.80'	436.00'	N 39°00'25" W	154.78'
C11	24.69'	375.00'	N 51°20'24" W	24.69'
C12	16.44'	87.00'	N 44°02'28" W	16.41'
C13	130.35'	616.00'	N 32°33'58" W	130.11'
C14	34.10'	425.00'	N 28°48'08" W	34.09'
C15	11.62'	47.18'	N 24°01'42" W	11.59'
C16	7.31'	91.00'	N 14°13'00" W	7.31'
C17	42.47'	41.00'	N 17°45'33" E	40.60'
C18	43.91'	291.00'	N 51°45'26" E	43.87'
C19	32.44'	35.00'	N 87°55'28" E	31.29'

LINE TABLE		
LINE	BEARING	LENGTH
L1	S 28°40'07" E	3.74'
L2	S 28°40'07" E	1.26'
L3	N 28°07'51" W	4.08'
L4	N 61°15'23" E	14.76'
L5	N 41°05'16" E	15.54'
L6	N 81°05'16" E	16.28'
L7	N 61°15'23" E	29.41'
L8	N 28°46'58" W	47.73'
L9	N 53°13'34" W	33.41'
L10	N 43°35'27" W	65.72'
L11	N 53°13'34" W	9.28'
L12	S 57°15'53" W	39.91'
L13	S 63°17'51" W	4.27'
L14	S 61°30'21" W	3.00'
L15	N 28°46'58" W	33.05'
L16	N 58°17'28" W	112.80'
L17	N 53°13'34" W	25.70'
L18	N 31°06'03" W	116.57'
L19	S 43°07'12" E	85.77'
L20	S 57°06'42" E	85.30'
L21	S 77°51'19" E	81.83'
L22	S 65°31'26" E	35.91'

BUILDING SETBACKS:

ZONE R-1:
FRONT - 35'
REAR - 25'
SIDE - COMBINED TOTAL OF 40', BUT NO LESS THAN 15' ON EITHER SIDE

ZONE NCC:
FRONT - ALL STRUCTURES SET BACK 20' FROM R.O.W.
SIDE AND REAR - 25' WHEN ADJACENT TO RESIDENTIAL, 10' IN ALL OTHER CASES

ZONE OS-P:
FRONT - 25'
SIDE AND REAR - 25'

DISTRICT: PW
CLT MAP: 151
TEMP. ADDRESS: 12639 KINGSTON PIKE
ACREAGE: 28.408 ACRES TOTAL
RIGHT OF WAY DEDICATION: 2.159 AC.
TOTAL LOTS: 4

NOTE: THE PURPOSE OF THIS PLAT IS - DEDICATE RIGHT-OF-WAY FOR WAY STATION TRAIL EXTENSION SHOWN HEREON.

DEVELOPER:
CLAYTON PROPERTIES GROUP, INC.
2218 SHERWAY ROAD, STE. 231
KNOXVILLE, TN 37922
(865) 770-0227

PROPERTY OWNER:
CLAYTON PROPERTIES GROUP, INC.
2218 SHERWAY ROAD, STE. 231
KNOXVILLE, TN 37922
(865) 770-0227

ENGINEERS:
SITE, INCORPORATED
10215 TECHNOLOGY DRIVE
SUITE 304
KNOXVILLE, TN 37932
PHONE: 865-777-4160

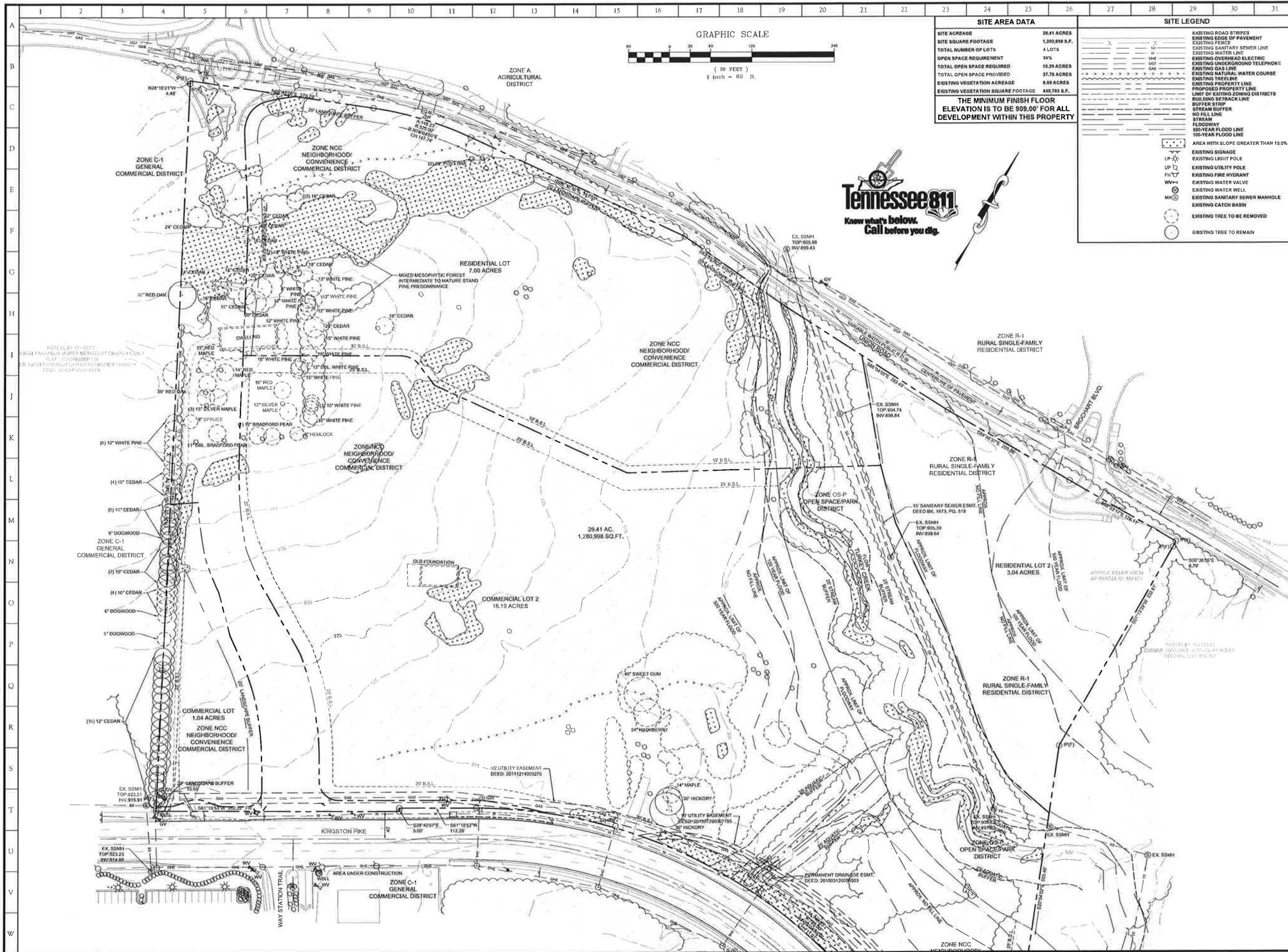


Ivey Farms Road Preliminary Plat
Ivey Farms Road
12639 Kingston Pike
Farragut, Tennessee 37934
Clayton Properties Group, LLC.

RECEIVED
NOV 03 2018
TOWN OF FARRAGUT

DATE: 10/15/18	FILE: 1975-Plot
CHECKED BY: CGB	
REVISIONS	
NO.	DATE
3	11/01/18
Revised per Town of Farragut Comments	

C1.0
SHEET 2 OF 9



SITE AREA DATA	
SITE ACREAGE	29.41 ACRES
SITE SQUARE FOOTAGE	1,280,998 S.F.
TOTAL NUMBER OF LOTS	4 LOTS
OPEN SPACE REQUIREMENT	36%
TOTAL OPEN SPACE REQUIRED	10.73 ACRES
TOTAL OPEN SPACE PROVIDED	27.75 ACRES
EXISTING VEGETATION ACREAGE	9.88 ACRES
EXISTING VEGETATION SQUARE FOOTAGE	432,783 S.F.
THE MINIMUM FINISH FLOOR ELEVATION IS TO BE 909.00' FOR ALL DEVELOPMENT WITHIN THIS PROPERTY	

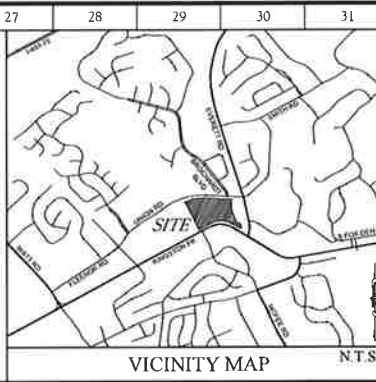
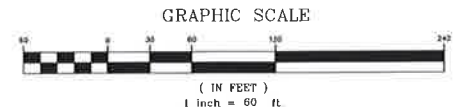
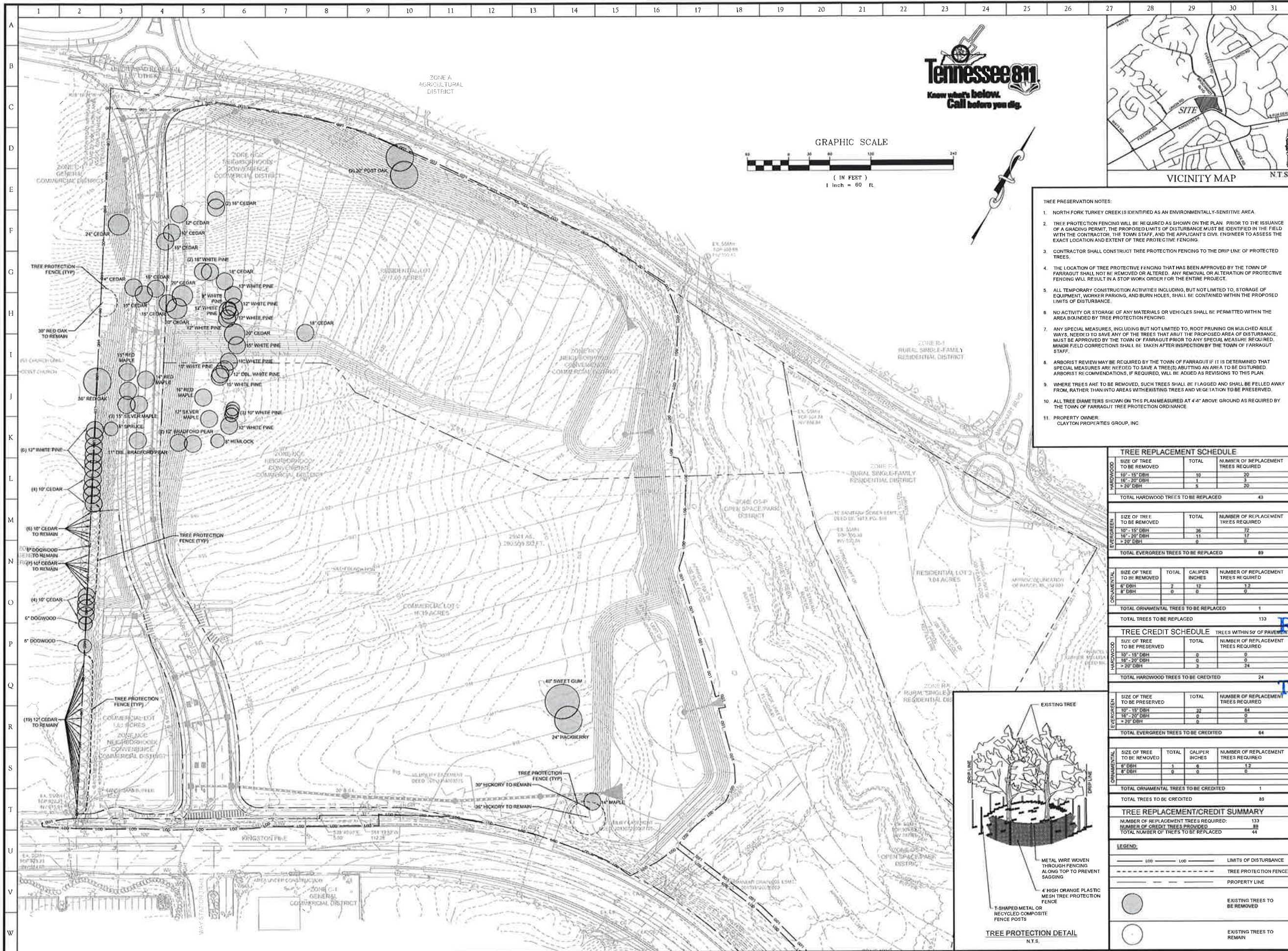
SITE LEGEND	
X	EXISTING ROAD STRIPES
---	EXISTING EDGE OF PAVEMENT
- - -	EXISTING SANITARY SEWER LINE
- - -	EXISTING WATER LINE
- - -	EXISTING OVERHEAD ELECTRIC
- - -	EXISTING UNDERGROUND TELEPHONE
- - -	EXISTING GAS LINE
- - -	EXISTING NATURAL WATER COURSE
- - -	EXISTING TREE LINE
- - -	EXISTING PROPERTY LINE
- - -	PROPOSED PROPERTY LINE
- - -	LIMIT OF EXISTING ZONING DISTRICTS
- - -	BUILDING SETBACK LINE
- - -	BUFFER STRIP
- - -	STREAM BUFFER
- - -	STREAM
- - -	FLOODWAY
- - -	50-YEAR FLOOD LINE
- - -	100-YEAR FLOOD LINE
- - -	AREA WITH SLOPE GREATER THAN 15.0%
- - -	EXISTING SIGNAGE
- - -	EXISTING LIGHT POLE
- - -	EXISTING UTILITY POLE
- - -	EXISTING FIRE HYDRANT
- - -	EXISTING WATER VALVE
- - -	EXISTING WATER WELL
- - -	EXISTING SANITARY SEWER MANHOLE
- - -	EXISTING CATCH BASIN
- - -	EXISTING TREE TO BE REMOVED
- - -	EXISTING TREE TO REMAIN



Preliminary Plat - Physical Features Inventory

Ivey Farms Road
12639 Kingston Pike
Farragut, Tennessee 37934
Clayton Properties Group, Inc.

REVISIONS	
NO.	DATE
1	11/15/18
2	11/15/18
3	11/15/18
4	11/15/18
5	11/15/18
6	11/15/18
7	11/15/18
8	11/15/18
9	11/15/18
10	11/15/18
11	11/15/18
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23	11/15/18
24	11/15/18
25	11/15/18
26	11/15/18
27	11/15/18
28	11/15/18
29	11/15/18
30	11/15/18
31	11/15/18



- TREE PRESERVATION NOTES:**
1. NORTH FORK TURKEY CREEK IS IDENTIFIED AS AN ENVIRONMENTALLY-SENSITIVE AREA.
 2. TREE PROTECTION FENCING WILL BE REQUIRED AS SHOWN ON THE PLAN. PRIOR TO THE ISSUANCE OF A GRADING PERMIT, THE PROPOSED LIMITS OF DISTURBANCE MUST BE IDENTIFIED IN THE FIELD WITH THE CONTRACTOR, THE TOWN STAFF, AND THE APPLICANT'S CIVIL ENGINEER TO ASSESS THE EXACT LOCATION AND EXTENT OF TREE PROTECTIVE FENCING.
 3. CONTRACTOR SHALL CONSTRUCT TREE PROTECTION FENCING TO THE DRIP LINE OF PROTECTED TREES.
 4. THE LOCATION OF TREE PROTECTIVE FENCING THAT HAS BEEN APPROVED BY THE TOWN OF FARRAGUT SHALL NOT BE REMOVED OR ALTERED. ANY REMOVAL OR ALTERATION OF PROTECTIVE FENCING WILL RESULT IN A STOP WORK ORDER FOR THE ENTIRE PROJECT.
 5. ALL TEMPORARY CONSTRUCTION ACTIVITIES INCLUDING, BUT NOT LIMITED TO, STORAGE OF EQUIPMENT, WORKER PARKING, AND BURN HOLES, SHALL BE CONTAINED WITHIN THE PROPOSED LIMITS OF DISTURBANCE.
 6. NO ACTIVITY OR STORAGE OF ANY MATERIALS OR VEHICLES SHALL BE PERMITTED WITHIN THE AREA BOUNDED BY TREE PROTECTION FENCING.
 7. ANY SPECIAL MEASURES, INCLUDING BUT NOT LIMITED TO, ROOT PRUNING OR MULCHED AISLEWAYS, NEEDED TO SAVE ANY OF THE TREES THAT ABUT THE PROPOSED AREA OF DISTURBANCE, MUST BE APPROVED BY THE TOWN OF FARRAGUT PRIOR TO ANY SPECIAL MEASURE REQUIRED. MINOR FIELD CORRECTIONS SHALL BE TAKEN AFTER INSPECTION BY THE TOWN OF FARRAGUT STAFF.
 8. ARBORIST REVIEW MAY BE REQUIRED BY THE TOWN OF FARRAGUT IF IT IS DETERMINED THAT SPECIAL MEASURES ARE NEEDED TO SAVE A TREE ABUTTING AN AREA TO BE DISTURBED. ARBORIST RECOMMENDATIONS, IF REQUIRED, WILL BE ADDED AS REVISIONS TO THIS PLAN.
 9. WHERE TREES ARE TO BE REMOVED, SUCH TREES SHALL BE FLAGGED AND SHALL BE FELLED AWAY FROM, RATHER THAN INTO AREAS WITH EXISTING TREES AND VEGETATION TO BE PRESERVED.
 10. ALL TREE DIAMETERS SHOWN ON THIS PLAN MEASURED AT 4'-6" ABOVE GROUND AS REQUIRED BY THE TOWN OF FARRAGUT TREE PROTECTION ORDINANCE.
 11. PROPERTY OWNER: CLAYTON PROPERTIES GROUP, INC.

TREE REPLACEMENT SCHEDULE			
SIZE OF TREE TO BE REMOVED	TOTAL	NUMBER OF REPLACEMENT TREES REQUIRED	
10" - 15" DBH	10	2	20
16" - 20" DBH	1	1	20
> 20" DBH	0	0	0
TOTAL HARDWOOD TREES TO BE REPLACED		43	

SIZE OF TREE TO BE REMOVED	TOTAL	NUMBER OF REPLACEMENT TREES REQUIRED	
10" - 15" DBH	36	22	22
16" - 20" DBH	11	17	17
> 20" DBH	0	0	0
TOTAL EVERGREEN TREES TO BE REPLACED		89	

SIZE OF TREE TO BE REMOVED	TOTAL	CAULIPER INCHES	NUMBER OF REPLACEMENT TREES REQUIRED
6" DBH	2	12	12
8" DBH	0	0	0
TOTAL ORNAMENTAL TREES TO BE REPLACED		1	
TOTAL TREES TO BE REPLACED		133	

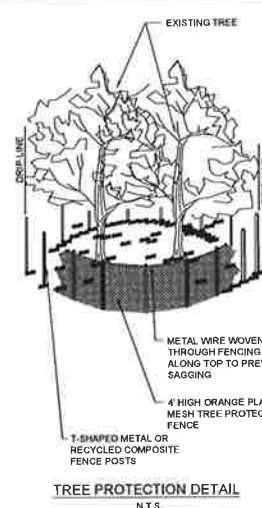
TREE CREDIT SCHEDULE			
SIZE OF TREE TO BE PRESERVED	TOTAL	NUMBER OF REPLACEMENT TREES REQUIRED	
10" - 15" DBH	0	0	0
16" - 20" DBH	0	0	0
> 20" DBH	3	24	24
TOTAL HARDWOOD TREES TO BE CREDITED		24	

SIZE OF TREE TO BE PRESERVED	TOTAL	NUMBER OF REPLACEMENT TREES REQUIRED	
10" - 15" DBH	22	64	64
16" - 20" DBH	0	0	0
> 20" DBH	0	0	0
TOTAL EVERGREEN TREES TO BE CREDITED		64	

SIZE OF TREE TO BE REMOVED	TOTAL	CAULIPER INCHES	NUMBER OF REPLACEMENT TREES REQUIRED
6" DBH	1	6	12
8" DBH	0	0	0
TOTAL ORNAMENTAL TREES TO BE CREDITED		1	
TOTAL TREES TO BE CREDITED		89	

TREE REPLACEMENT/CREDIT SUMMARY			
NUMBER OF REPLACEMENT TREES REQUIRED:		133	
NUMBER OF CREDIT TREES PROVIDED:		89	
TOTAL NUMBER OF TREES TO BE REPLACED		44	

LEGEND:			
---	100	---	LIMITS OF DISTURBANCE
---	---	---	TREE PROTECTION FENCE
---	---	---	PROPERTY LINE
○			EXISTING TREES TO BE REMOVED
○			EXISTING TREES TO REMAIN



SITE INCORPORATED
Civil Engineers & Surveyors
10215 Technology Drive, Suite 304
Knoxville, TN 37932
Phone: (865) 777-4160
Fax: (865) 777-4189

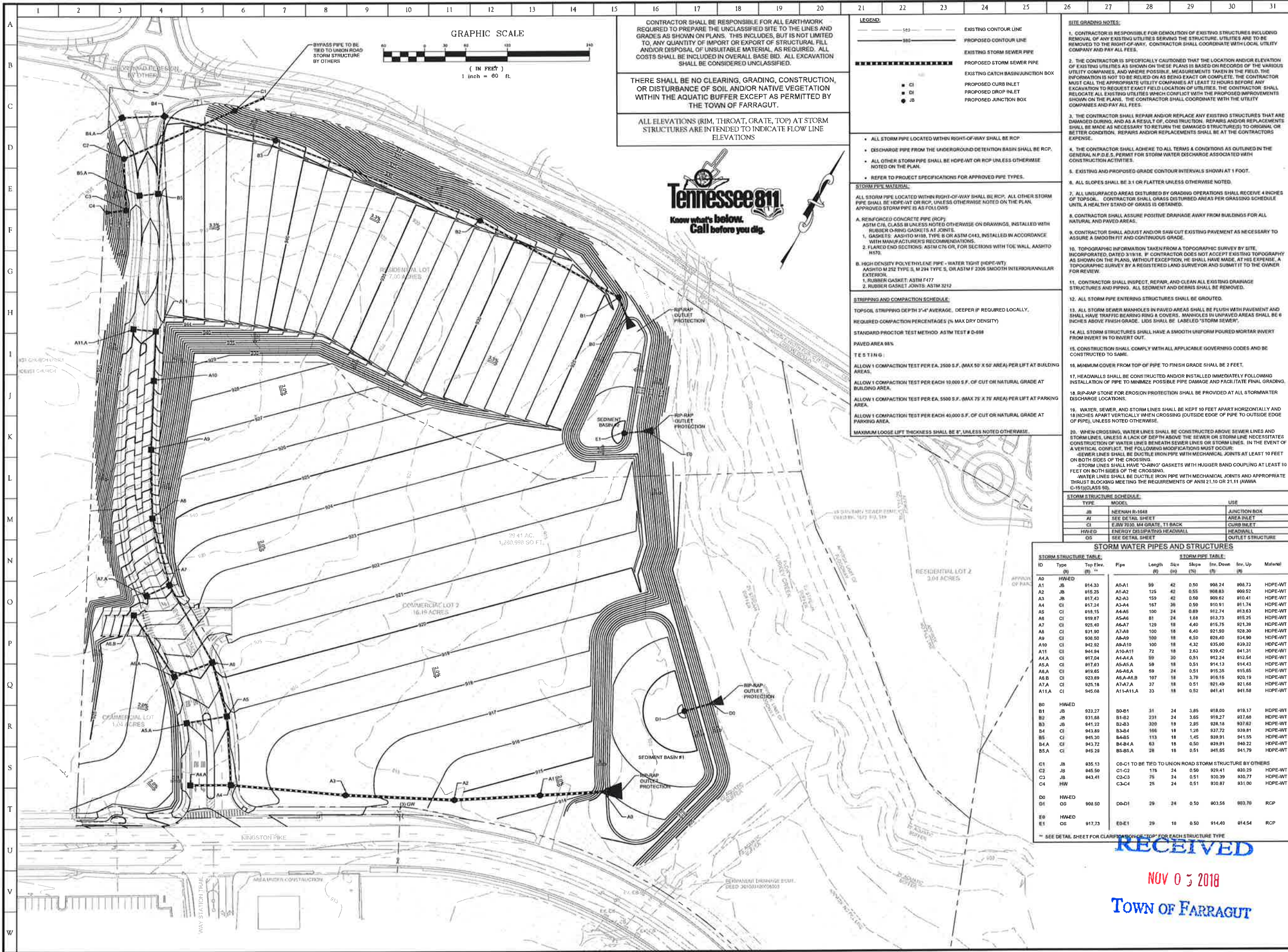


Preliminary Plat - Tree Preservation and Removal Plan
Ivey Farms Road
12639 Kingston Pike
Farragut, Tennessee 37934
Clayton Properties Group, Inc.

REVISIONS			
NO.	DATE	COMMENTS	BY
1	11/05/18	Revised per Town of Farragut Comments	

CHECKED BY: GCB DATE: 10/08/18
DRAWN BY: GCB
FILE: 1975-Tree Pres

C2.0
SHEET 4 OF 9



Preliminary Plat - Site Grading and Drainage Plan

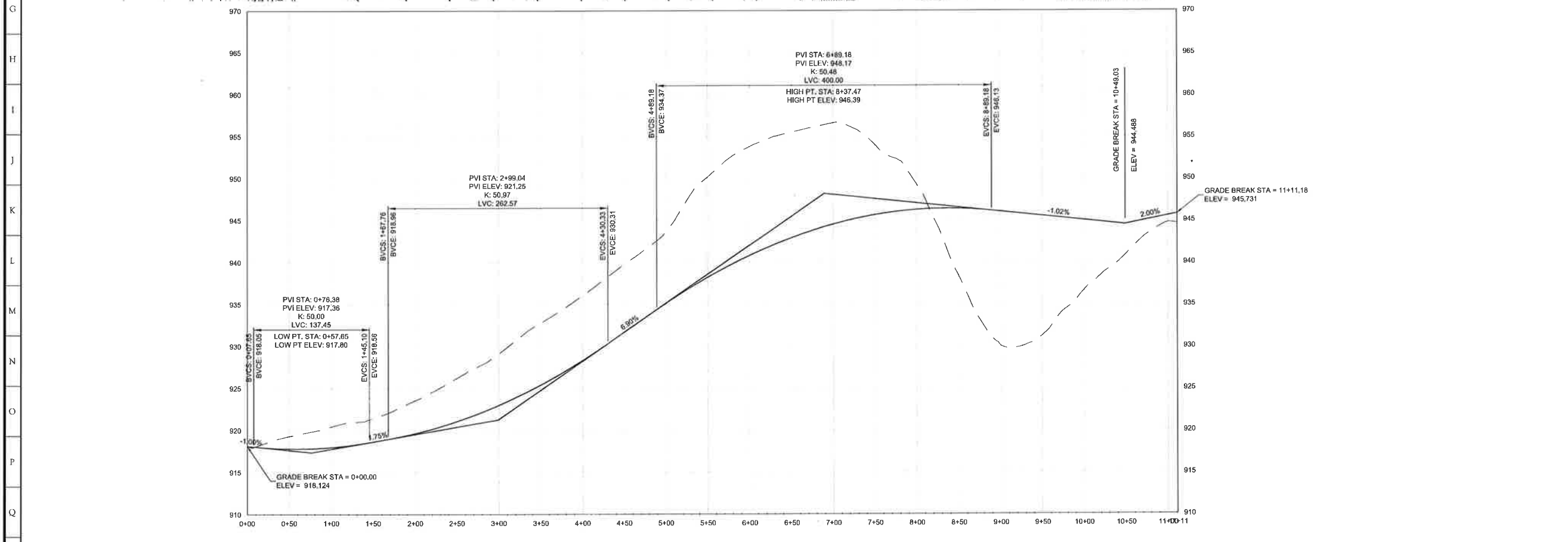
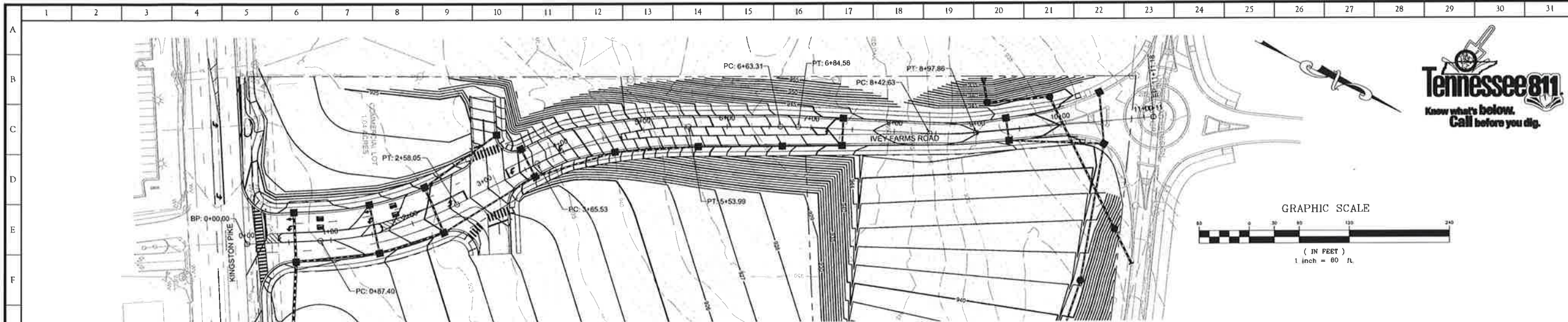
Ivey Farms Road
12639 Kingston Pike
Farragut, Tennessee 37934
Clayton Properties Group, Inc.

DR-1 WY BY: DGB DATE: 09/17/18

CHECKED BY: GCB FILE: 1975-Grading

REVISIONS	
NO.	DATE
1	10/09/18
2	10/15/18
3	11/01/18

C3.0
SHEET 0 OF 9



Ivey Farms Road Profile
Horizontal Scale: 1"=60'
Vertical Scale: 1"=6'

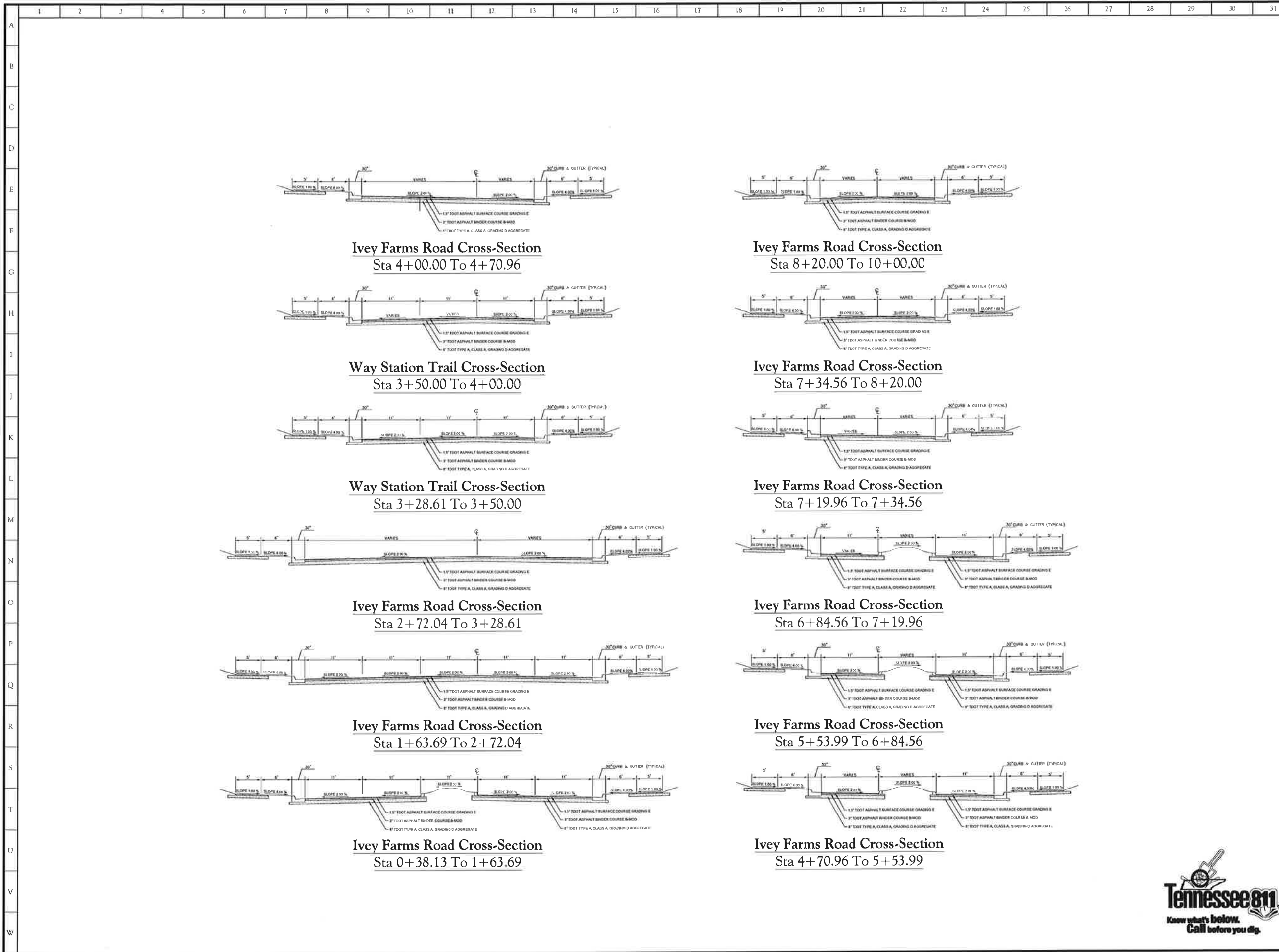
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NOV 05 2018
TOWN OF FARRAGUT

SITE
INCORPORATED
Civil Engineers & Surveyors
10215 Technology Drive Suite 304 Knoxville, TN 37932
Phone: (665) 777-4160
www.site-incorporated.com



Preliminary Plat - Site Plan and Profile
Ivey Farms Road
12639 Kingston Pike
Farragut, Tennessee 37934
Clayton Properties Group, Inc.

DRAWN BY:	DGB	DATE:	09/17/18
CHECKED BY:	GCB	FILE:	1975-Grading
REVISIONS			
NO.	DATE	COMMENTS	
1	10/05/18	Revised per Town of Farragut Comments	
2	10/11/18	Revision 2	
3	11/01/18	Revised per Town of Farragut Comments	



Preliminary Plat - Site Plan and Profile

Ivey Farms Road
12639 Kingston Pike
Farragut, Tennessee 37934
Clayton Properties Group, Inc.

DRAWN BY: DGB		DATE: 09/17/18
CHECKED BY: GCB		FILE: 1975-Grading
REVISIONS		
NO.	DATE	COMMENTS
1	10/05/18	Revised per Town of Farragut Comments
2	10/15/18	Revision 2
3	11/05/18	Revised per Town of Farragut Comments



REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on a site plan related to proposed improvements at the Tennova Turkey Creek Medical Center, 10820 Parkside Drive, Zoned C-1-3 (Zach Parrott, Applicant)

INTRODUCTION AND BACKGROUND: This agenda item involves a site plan for the following exterior modifications at the Tennova Turkey Creek Medical Center off Parkside Drive:

- A roughly 5,400 square foot cath lab addition and associated parking lot re-configuration in the southwestern portion of the site; and
- An elevated walkway between the Medical Office Building (Physicians Plaza II) and the main hospital (Physicians Plaza I).

RECOMMENDATION: From a site plan perspective this is relatively minor. All proposed additions will match the colors and materials on the existing buildings. The parking lot reconfiguration will result in a loss of three parking spaces but, based on the required amount of parking, the facility is still compliant.

Included in your packet is a copy of the revised site plan along with the staffs' comments on the original site plan. Staff will make a recommendation at the meeting based on whether the initial comments have been satisfactorily addressed.



November 1, 2018

Mark Shipley
Town of Farragut – Planning Division
11408 Municipal Center Drive
Farragut, TN 37934

**RE: Cath Lab, OB, CCU, and Connector Addition and Renovation at Tennova Turkey Creek Medical Center—Site Plan Review Comments Response
Knoxville, TN**

Mark,

The following are responses to your comments received on or around October 24th for the above-referenced project:

Planning Division:

1. Please verify the proposed number of total parking spaces provided vs the total number of required spaces for the entire site.
Parking requirements have been updated on sheet C500.
2. Please number all sheets 1 of .., 2 of ..., etc.
Additional sheet numbering has been added to all sheets in the lower right corner.
3. Please try to consolidate information so that fewer sheets are included in the site plan submittal since relatively minor changes to the site are proposed.
Sheets were combined to reduce the size of the plan set.
4. Please include curve data and width measurements for parking islands.
Additional curve data and width measurements have been added to sheet C500.
5. Please clarify/note the symbols used on the landscape preservation plan (x for removed, tree fencing, etc.) and coordinate them with the landscape preservation keynotes table.
A legend has been added to sheet L100 to help aid/clarify symbols used.
6. Please address the minimum landscaping requirement between the building and parking lot and ensure that it is not being lowered from current square footages.
Impervious area calculations have been provided on the cover sheet. The calculations show that the increase in impervious area is extremely minimal (less than 2,500 sf).
7. Please note that a landscape completion letter of credit will be required to secure landscape completion.
Noted.
8. Each tree proposed for removal is required to be replaced with a comparable tree in terms of species and landscape related function (e.g. shade tree, ornamental tree, etc.). It appears there are 8 trees being removed (1 dead tree) and the plan does account for 8 replacement trees though the note implies this is not required.
Noted.
9. Please address HVAC location and screening, as applicable. All HVAC units must be screened with opaque materials that are architecturally compatible with the building they are serving so that such

units are not visible from adjacent properties or rights of ways. Please also note any antenna locations and screening, as applicable.

The mechanical unit on the roof of the cath lab addition is screened with a metal panel screen wall with finish to match the existing hospital. The connector addition is served by a small condensing unit currently located on the ground underneath the addition. This will be screened by a metal panel screen wall to match existing finish, and this revised addition can be found on architectural sheet A401, and A402.

10. Please include color renderings of the building façade and proposed modifications to assure compliance with Architectural Design Standards. Materials and color samples will be needed for the Planning Commission meeting on November 15.

Revised color renderings can be found on sheet A400, A401, & A402. Per conversation with Mark Shipley the material samples can be omitted in lieu of color renderings due to matching adjacent existing colors and materials.

11. Please note that site plans include some building code related information. All building/construction code related compliance issues must be reviewed and approved by appropriate code officials and/or jurisdictional governmental entities and are not part of the site plan approval.

Noted. Building submissions to the Tennessee Department of State Health and the Town of Farragut are currently in under review.

Fire Division:

12. Please provide current, less than one year old, fire hydrant flow data for existing fire hydrants. The data shall include the static pressure, residual pressure, flow in GPM, date, time and name of agency that conducted the testing.

A hydrant flow test is underway. Per a conversation with the Fire Marshal, an updated utility plan will be provided upon receiving flow test data.

13. Staff has concerns that the existing speed bumps could reduce the effective clearance under the new walkway. Provide data addressing this concern.

Speed bumps under the MOB connector will be removed as part of the new construction.

Engineering Division:

14. Please complete "construction time table" shown on sheet C300.

The construction time table has been updated on sheets C300 and C301.

15. Please submit irrevocable letter of credit for erosion control for \$7,000.

This item will be submitted The week of 11/05 upon issuance from the bank.

Please review and let me know if you have questions or need additional information.

Regards,

Catalyst Design Group



Jack Parker, PE, LEED AP
Principal | Senior Project Manager

ARCHITECTURE & INTERIOR DESIGN

TMPartners, PLLC
211 FRANKLIN ROAD, SUITE 200
BRENTWOOD, TENNESSEE 37027-5065
615.377.9773
www.TMPartners.com

STRUCTURAL ENGINEERING

STANLEY D. LINDSEY AND ASSOCIATES, LTD.
750 OLD HICKORY BLVD.
BUILDING 1, SUITE 175
BRENTWOOD, TENNESSEE 37027
615.320.1735
www.sdlal.com

MECHANICAL, PLUMBING & ELECTRICAL ENGINEERING

I.C. THOMASSON ASSOCIATES, INC.
2950 KRAFT DRIVE, SUITE 500
NASHVILLE, TENNESSEE 37204
615.346.3400
www.icthomasson.com

CIVIL ENGINEERING

CATALYST DESIGN GROUP
2650 MEMORIAL BOULEVARD, SUITE D
MURFREESBORO, TENNESSEE 37130
615.866.2410
www.catalyst-dg.com

OWNER

**TENNOVA TURKEY CREEK
MEDICAL CENTER
10820 PARKSIDE DRIVE
KNOXVILLE, TN 37934
865.218.7011
www.tennovaeast.com**

**CATH LAB, OB, CCU, & CONNECTOR ADDITION & RENOVATION
TENNOVA TURKEY CREEK
MEDICAL CENTER
KNOXVILLE, TENNESSEE**

TMP PROJ. No. A01018

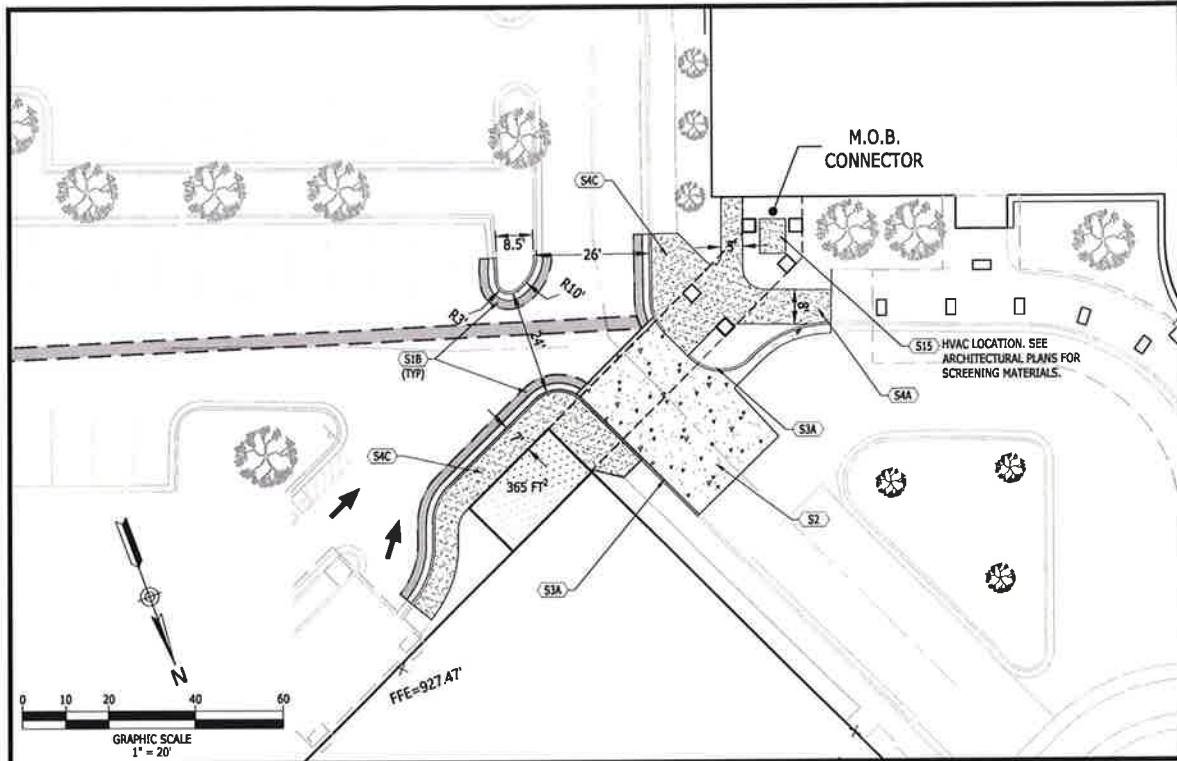


**SITE PLAN SUBMITTAL PACKAGE
NOVEMBER 02, 2018**



TMPartners, PLLC
Architecture Interiors Planning

RECEIVED
Nov 02 2018
TOWN OF FARRAGUT



M.O.B. CONNECTOR

SITE DATA

PARCEL ID.: 131 03106
SITE ADDRESS: 10820 PARKSIDE DRIVE
KNOXVILLE, TN 37934
SITE ACREAGE: 23.08 AC. (1005512 FT²)
EXISTING ZONING: FAR: C-1-3
PROPOSED USE: HOSPITAL

IMPERVIOUS SURFACE AREA
EXISTING: 14.6 AC. (637,558 FT²)
PROPOSED: 14.6 AC. (635,146 FT²)
BUILDING: 151,268 FT²
NUMBER OF STORIES: 4

PARKING SUMMARY
PARKING REQUIRED: 2 SPACES/BED
1 SPACE/ 250 SF MOB
895 SPACES REQUIRED

EXISTING: 909 SPACES
DEMOLISHED: 7 SPACES
PROPOSED: 4 SPACES
TOTAL: 906 SPACES PROVIDED

OWNER: CHSPSC, LLC
ADDRESS: 4000 MERIDIAN BOULEVARD
FRANKLIN, TN 37067
PHONE NO.: 615.465.7000

PROJECT REPRESENTATIVE:
ADDRESS: CATALYST DESIGN GROUP
2650 MEMORIAL BLVD, SUITE D
MURFREESBORO, TN 37130
PHONE NO.: 615.866.2410
CONTACT NAME: JACK PARKER
CONTACT E-MAIL ADDRESS: jparker@catalyst-dg.com

LEGEND	
BUILDING	
CONCRETE PAVEMENT	
CONCRETE SIDEWALK	
HEAVY DUTY PAVEMENT	
LIGHT DUTY PAVEMENT	
PAINTED STRIPE	
CONCRETE CURB	
CENTERLINE	
TACTILE WARNING	

FEMA PANEL:
THE SUBJECT PROPERTY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD ZONE ACCORDING TO COMMUNITY PANEL NO. 47093C02446, 08-05-2013, COMMUNITY NAME: TOWN OF FARRAGUT.

SITE LAYOUT KEYNOTES		
CODE	DESCRIPTION	DET #/BHT #
(S1A)	ASPHALT PAVEMENT - LIGHT DUTY	
(S1B)	ASPHALT PAVEMENT - HEAVY DUTY	1/C700
(S1C)	ASPHALT PAVEMENT - OVERLAY	
(S2)	CONCRETE PAVEMENT	2/C700
(S3A)	CONCRETE POST CURB	3/C700
(S3B)	CONCRETE EXTRUDED CURB	
(S3C)	CONCRETE CURB & GUTTER	4/C700
(S4A)	CONCRETE SIDEWALK	5/C700
(S4B)	CONCRETE SIDEWALK WITH TURN DOWN CURB	
(S4C)	CONCRETE SIDEWALK AT CURB & GUTTER	6/C700
(S5)	SIDEWALK JOINTS	
(S6A)	CONCRETE STAIRS WITH HANDRAIL	
(S6B)	CONCRETE STAIRS WITH HANDRAIL/GUARDRAIL	
(S7)	ELEVATED WALK	
(S8)	ACCESSIBLE SYMBOL	7/C700
(S9)	ACCESSIBLE PARKING SPACE	8/C700
(S10A)	ACCESSIBLE RAMP	9/C700

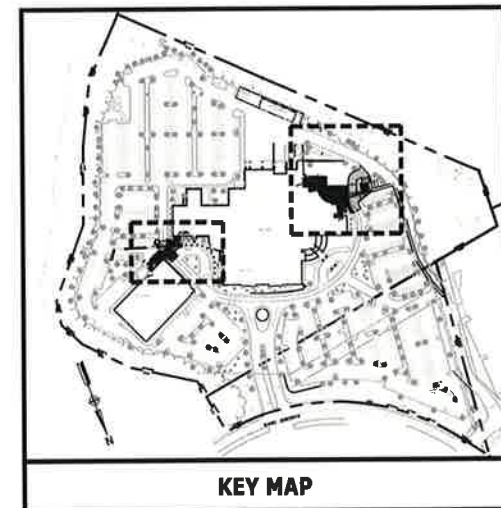
(S10B)	ACCESSIBLE SIGN	11/C700
(S11)	TACTILE WARNING SURFACE	
(S12)	CONCRETE WHEELSTOP	
(S13A)	RAMP WITH HANDRAIL	
(S13B)	RAMP WITH HANDRAIL/GUARDRAIL	
(S14)	BOLLARD	
(S15)	UTILITY PAD	
(S16)	CONCRETE DUMPSTER PAD	
(S17)	DRIVEWAY RAMP	
(S18)	DIRECTIONAL ARROWS	
(S19)	PEDESTRIAN CROSSWALK	10/C700
(S20A)	CHAIN LINK FENCE (SPECIFY HEIGHT)	
(S20B)	WOODEN SCREEN FENCE (SPECIFY HEIGHT)	
(S21A)	GUARDRAIL	
(S21B)	GUARDRAIL WITH HANDRAIL	
(S22A)	CONCRETE RETAINING WALL	
(S22B)	SEGMENTAL RETAINING WALL	
(S23)	PAINTED STOP BAR (SPECIFY WIDTH)	



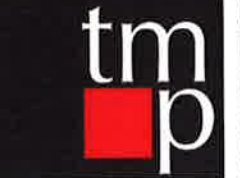
CATH LAB ADDITION

Catalyst
DESIGN GROUP

2650 MEMORIAL BLVD, SUITE D, MURFREESBORO, TN 37130
(615) 866-2410 | WWW.CATALYST-DG.COM



KEY MAP



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Architecture
Interiors
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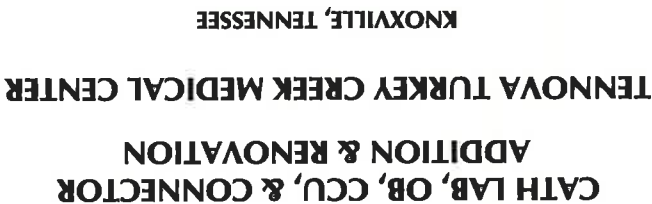
CATH LAB, OB, CCU, & CONNECTOR
ADDITION & RENOVATION
TENNOVA TURKEY CREEK MEDICAL CENTER
KNOXVILLE, TENNESSEE

REVISIONS

DR. BY CP
CK. BY JP
PROJ. NO. A01018
DATE 10/19/18
LAYOUT PLAN

SHEET 7 OF 17

C500

[illegible]

LANDSCAPE PRESERVATION KEY/NOTES		
CODE	DESCRIPTION	DET./SHT. #
1	TRUE TO BE REMOVED	-
2	TRUE TO REMAIN	-
3	TRUE PROTECTION FENCE	2/C302

LANDSCAPE PRESERVATION NOTES

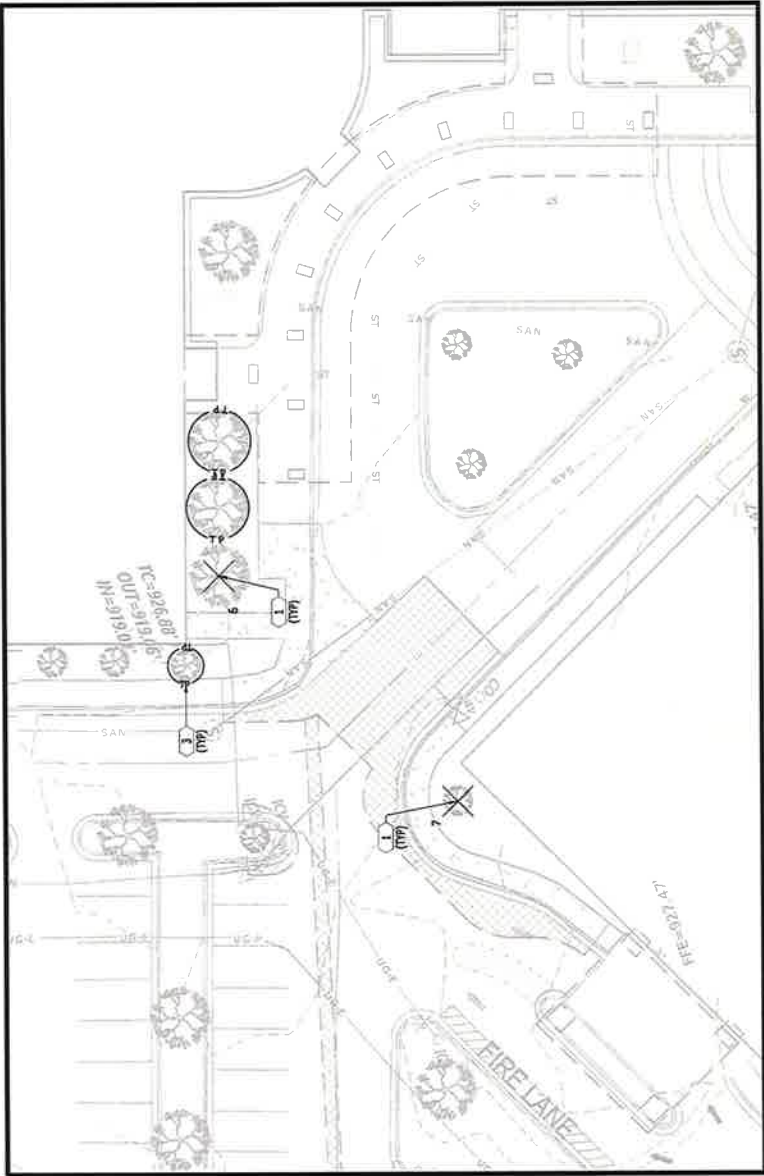
1. BASE INFORMATION WAS TAKEN FROM A SURVEY PREPARED BY SAME, DATED 08-20-2018. CATALYST DESIGN GROUP AND ANY OF THEIR CONSULTANTS SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY AND/OR COMPLETENESS OF THAT INFORMATION SHOWN HEREON OR ANY ERRORS OR OMISSIONS RESULTING FROM SUCH.



2650 MEMORIAL BLVD, SUITE D, MURFREESBORO, TN 37130
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TREE REMOVALS			
#	SPECIES/TYPE	SIZE (CAL.)	TREE REPLACEMENT
1	BIRCH	2"	NONE
2	MAGNOLIA	4"	NONE
3	BIRCH	8"	NONE
4	REBUD	6"	REQUIRED [Sec. 113-44.(4)]*
5	REBUD	6"	REQUIRED [Sec. 113-44.(4)]*
6	BIRCH	3"	NONE
7	MAPLE	3"	NONE
8	BIRCH	5"	DEAD

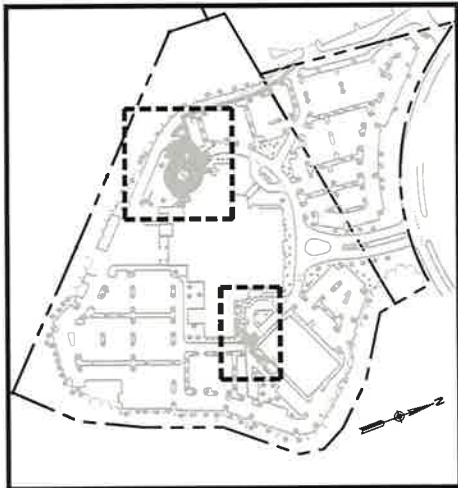
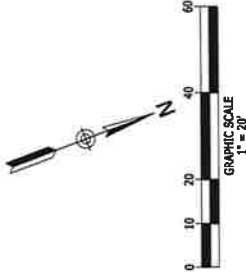
LEGEND	
TREE TO BE REMOVED	
TREE PROTECTION FENCE	
EXISTING TREE (WITH TREE REMOVAL # 10)	



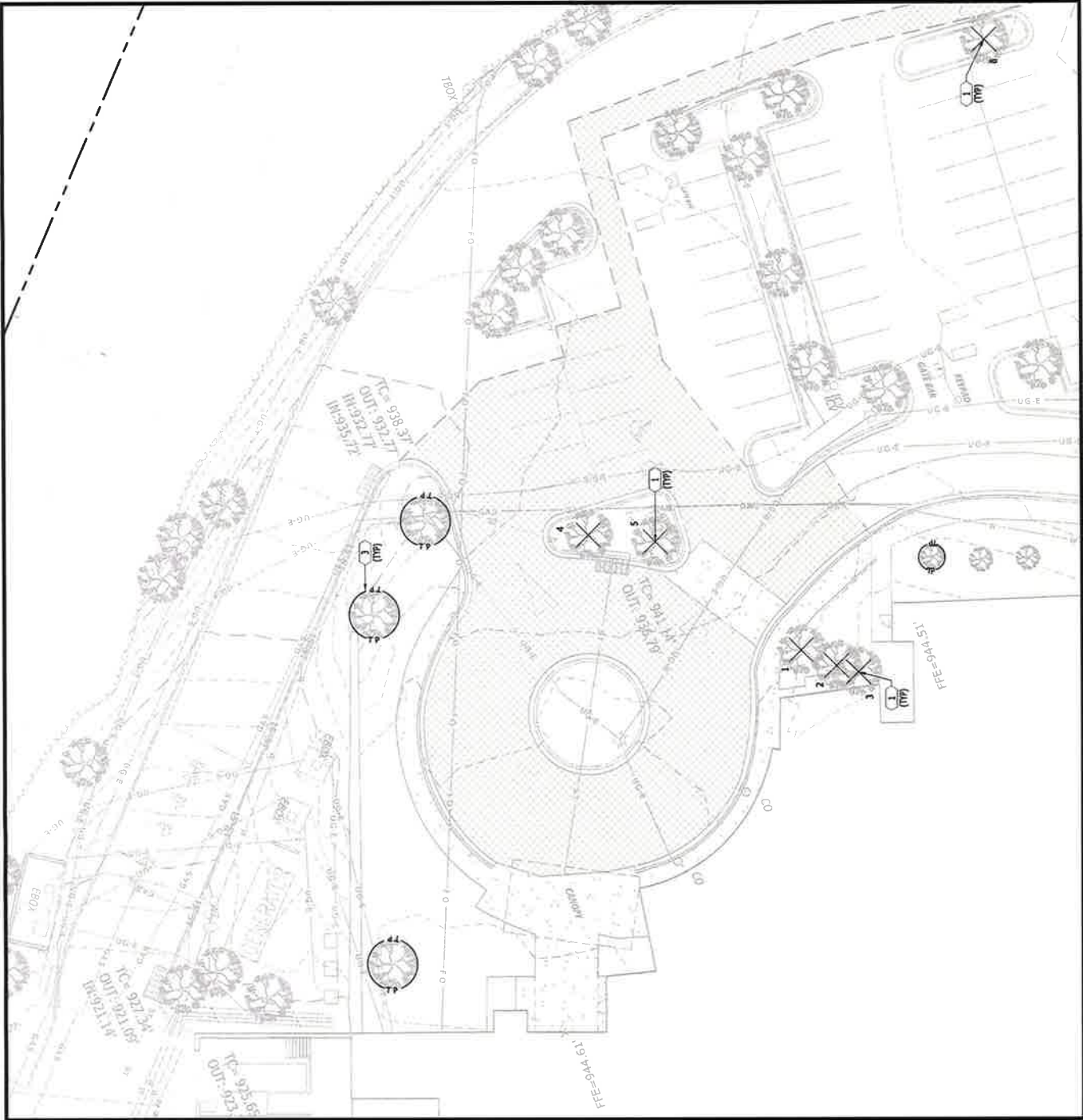
M.O.B. CONNECTOR



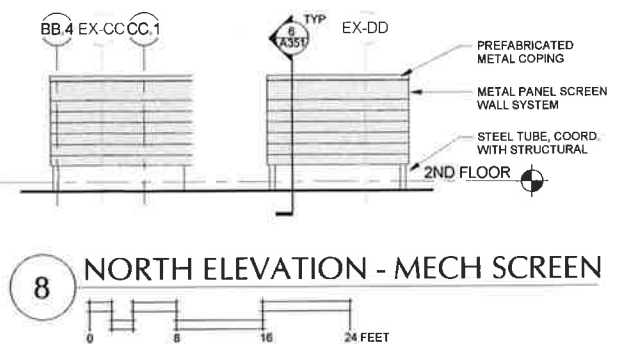
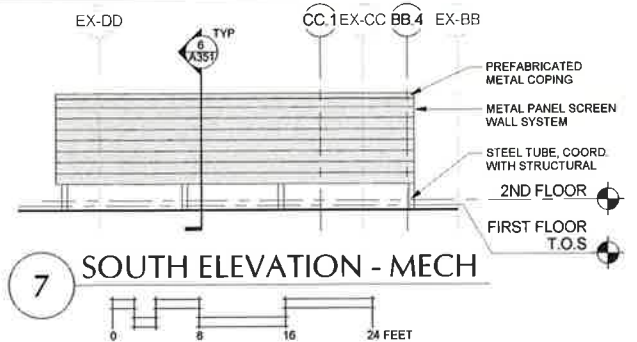
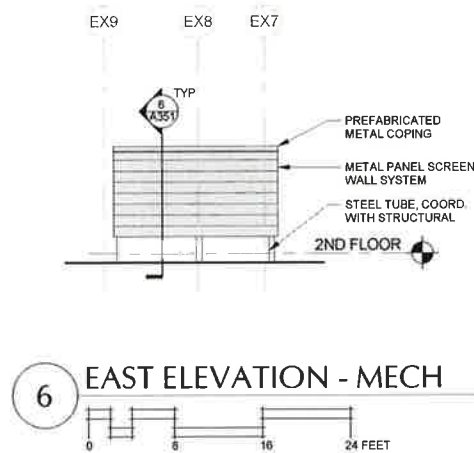
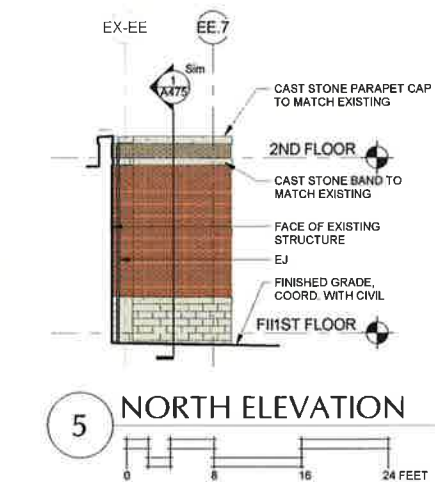
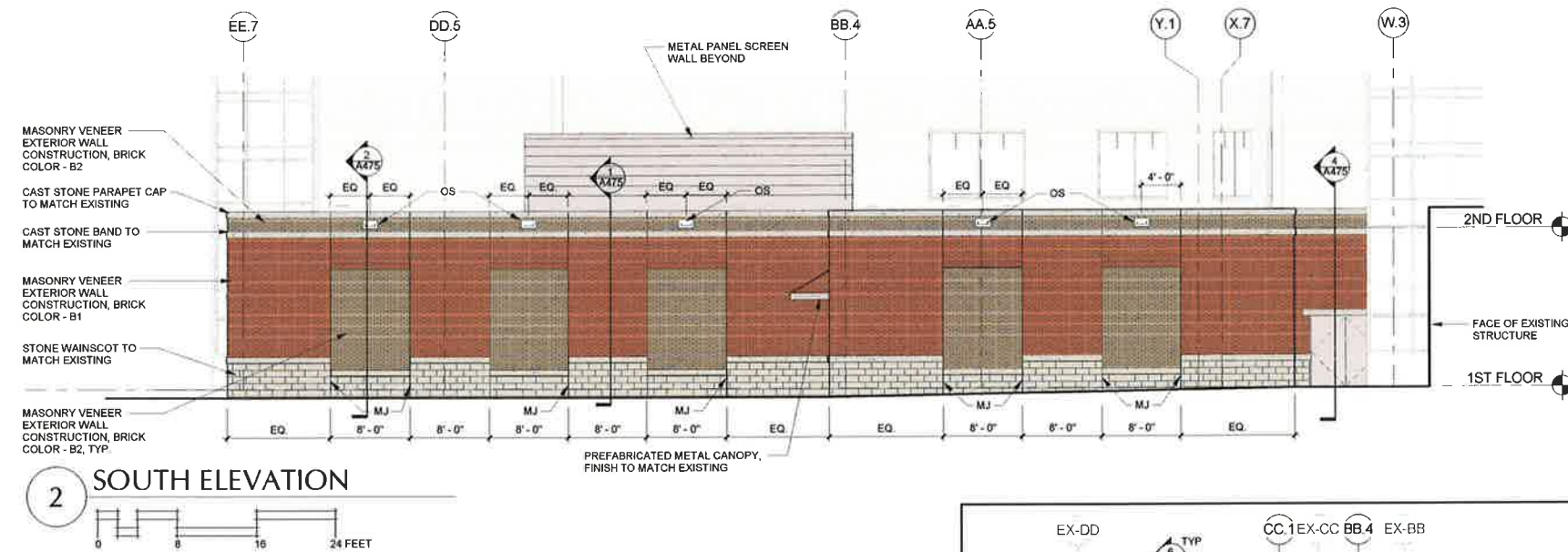
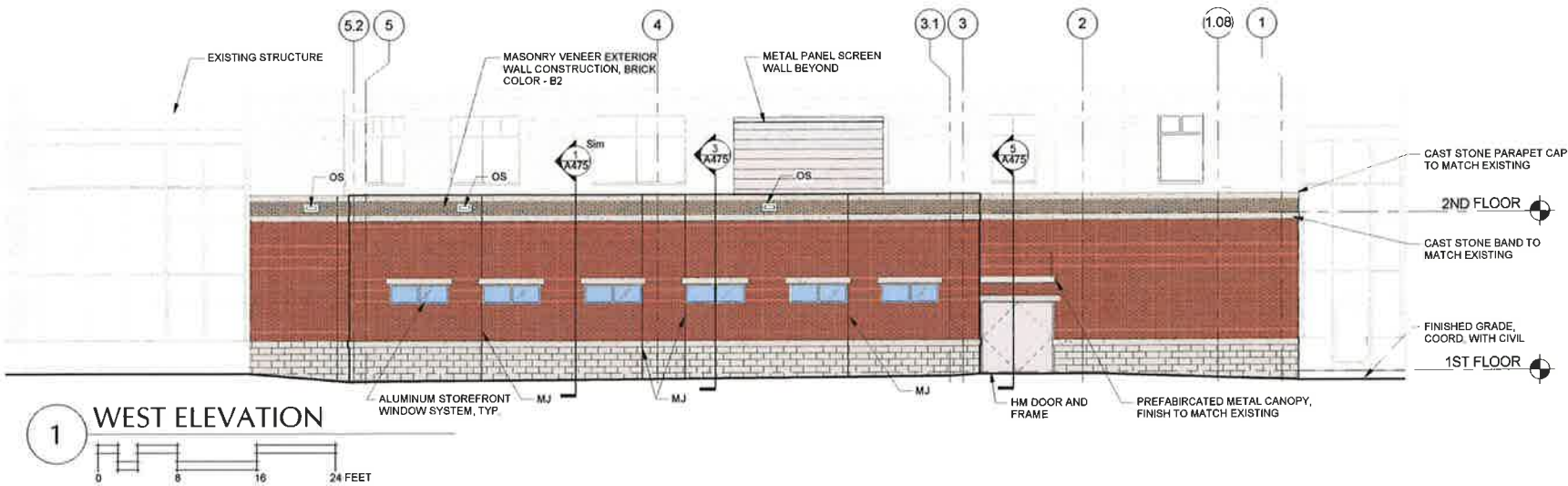
Know what's below. Call before you dig.



KEY MAP



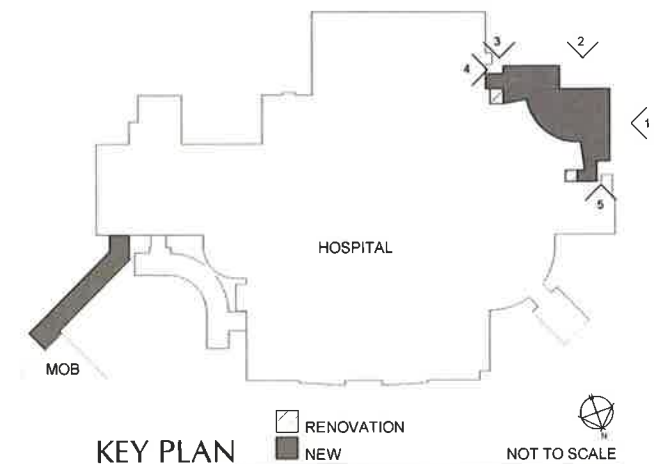
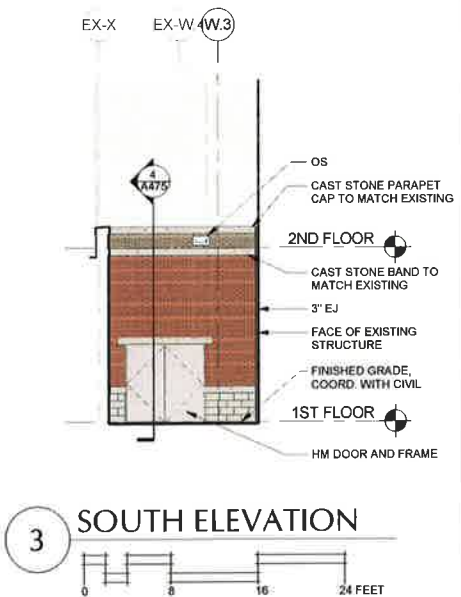
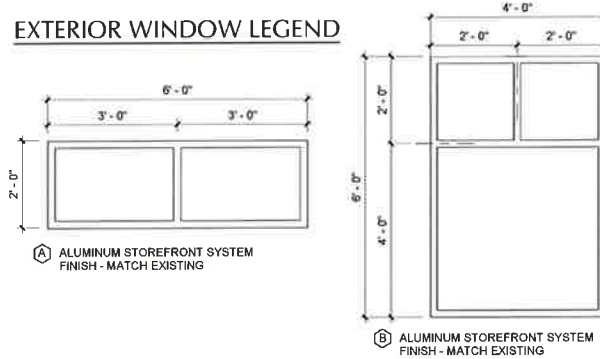
CATH LAB ADDITION



EXTERIOR ELEVATION GENERAL NOTES

- 1 "CJ" DENOTES CONTROL JOINT.
- 2 "EJ" DENOTES EXPANSION CONTROL JOINT.
- 3 "MJ" DENOTES MASONRY MOVEMENT JOINT. REFER TO DETAIL 3/G158
- 4 "OS" DENOTES OVERFLOW SCUPPER. REFER TO DETAIL 2/A353

EXTERIOR WINDOW LEGEND



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**CATH LAB, OB, CCU, & CONNECTOR
ADDITION & RENOVATION**

TENNOVA TURKEY CREEK MEDICAL CENTER

KNOXVILLE, TENNESSEE

REVISIONS

NO.	DESCRIPTION
1	
2	
3	
4	
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6	
7	
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9	
10	

DR. BY BRC, ZP
CK. BY DC, RZ
PROJ. NO. A01018
DATE 11/02/18

**EXTERIOR
ELEVATIONS**

SHEET 15 OF 17

A400



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Sustainable Design

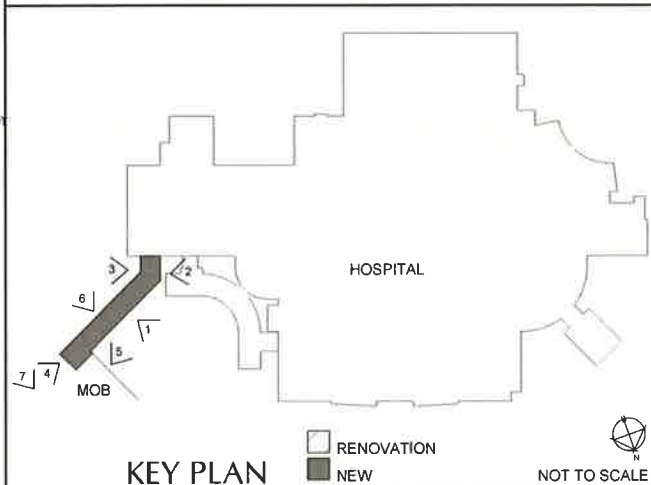
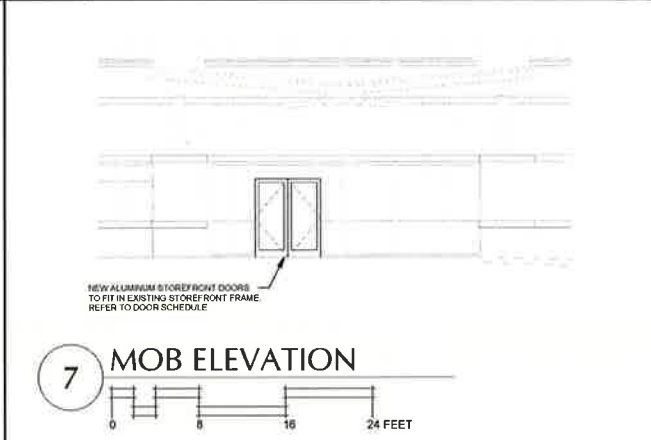
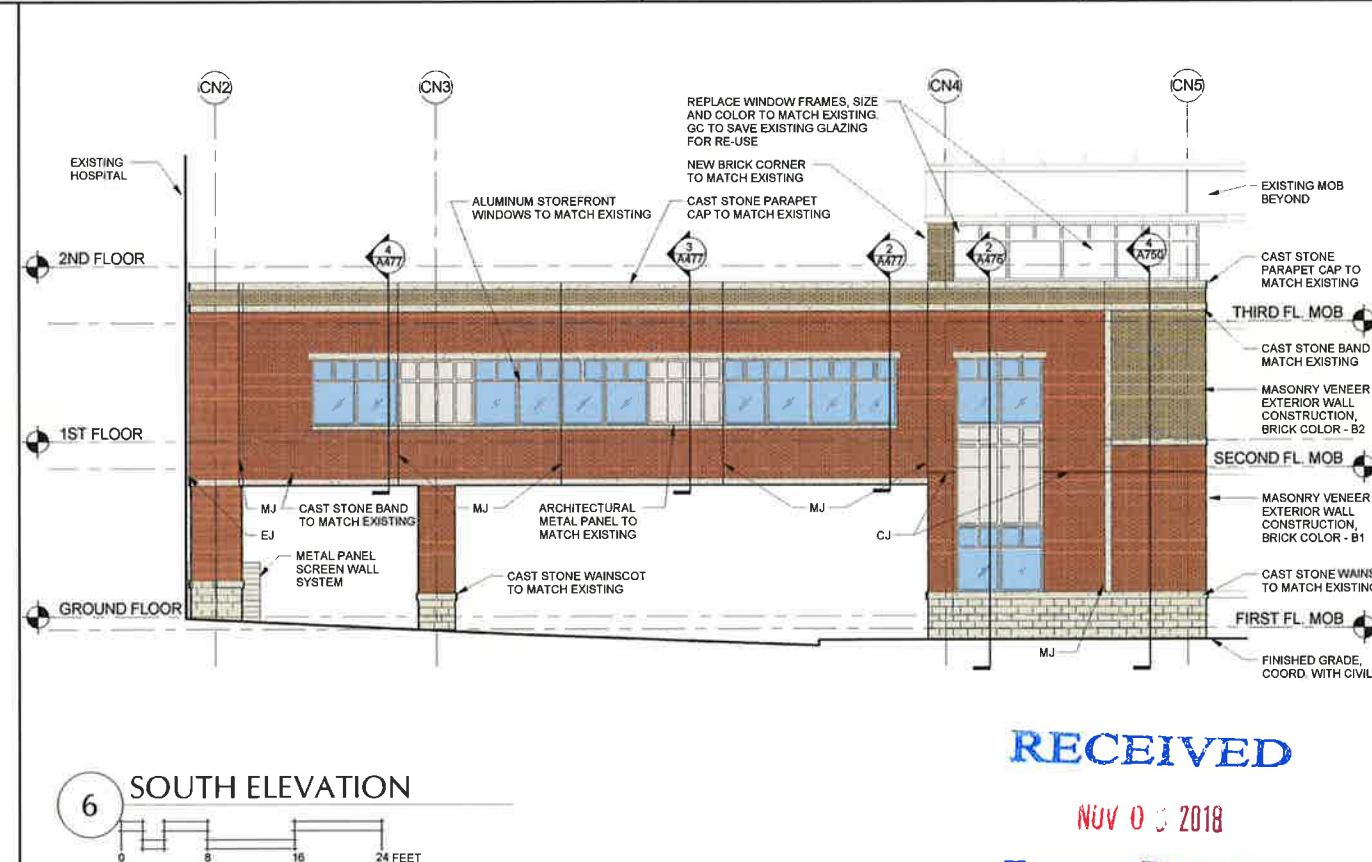
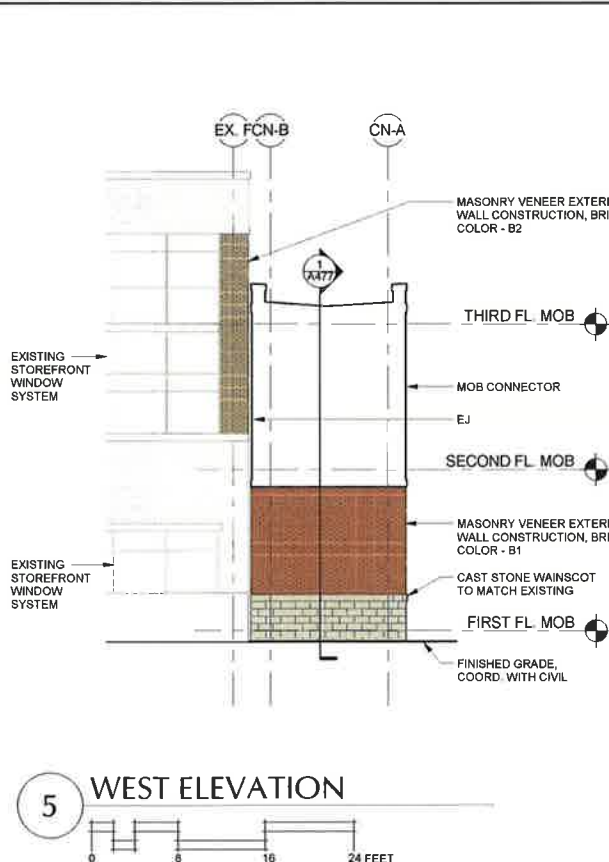
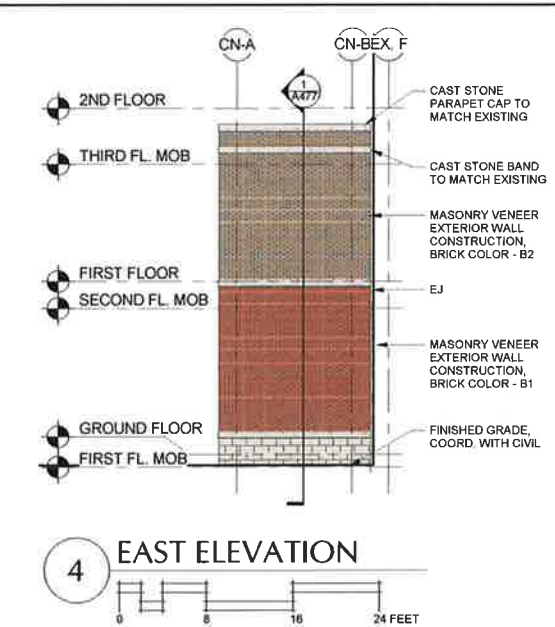
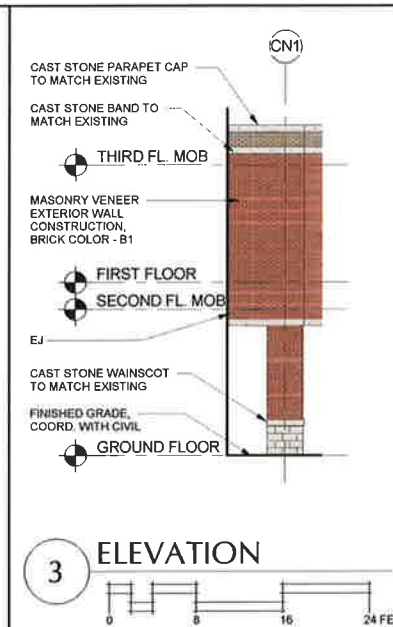
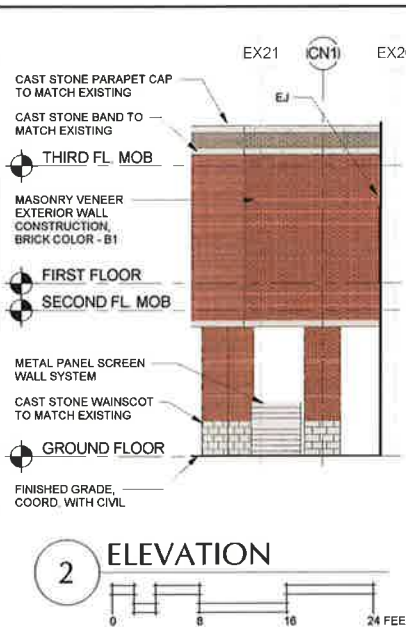
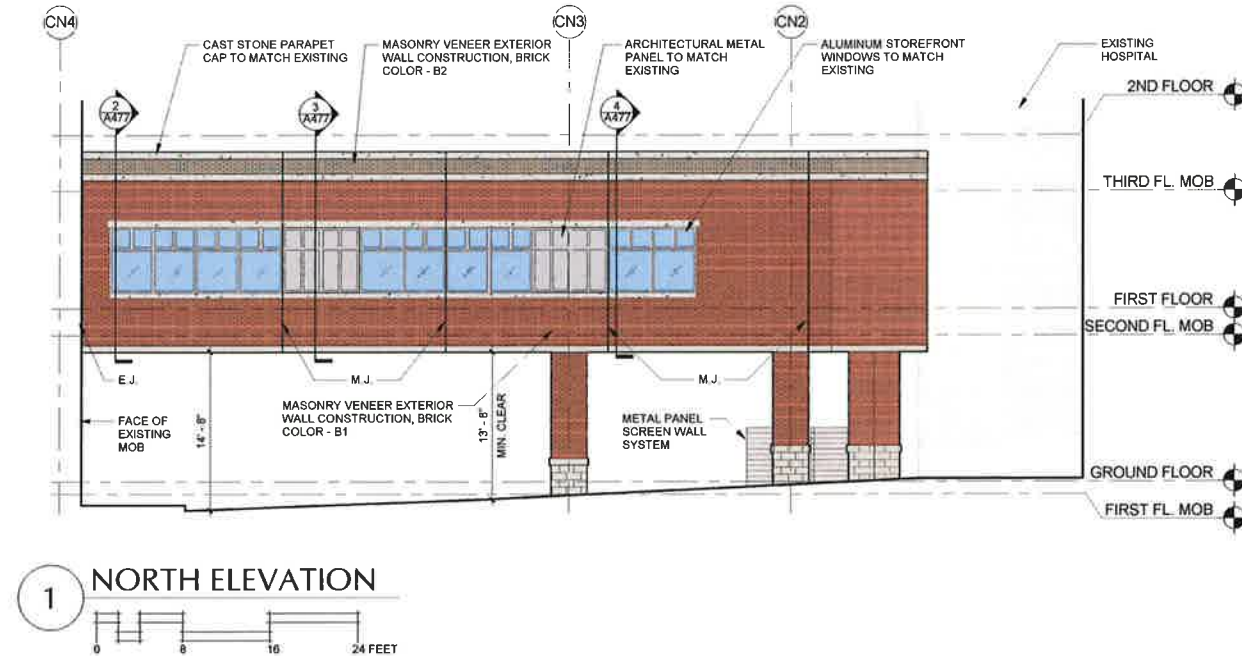
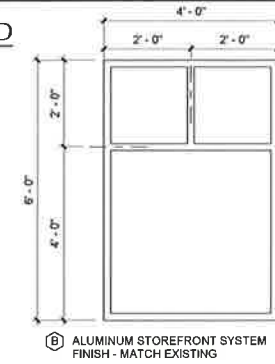
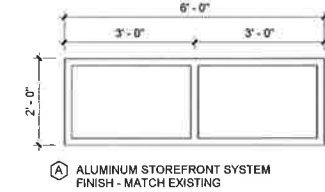


**CATH LAB, OB, CCU, & CONNECTOR
ADDITION & RENOVATION**
TENNOVA TURKEY CREEK MEDICAL CENTER
KNOXVILLE, TENNESSEE

EXTERIOR ELEVATION GENERAL NOTES

- 1 "CJ" DENOTES CONTROL JOINT.
- 2 "EJ" DENOTES EXPANSION CONTROL JOINT.
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EXTERIOR WINDOW LEGEND



RECEIVED
NOV 0 2018
TOWN OF FARRAGUT

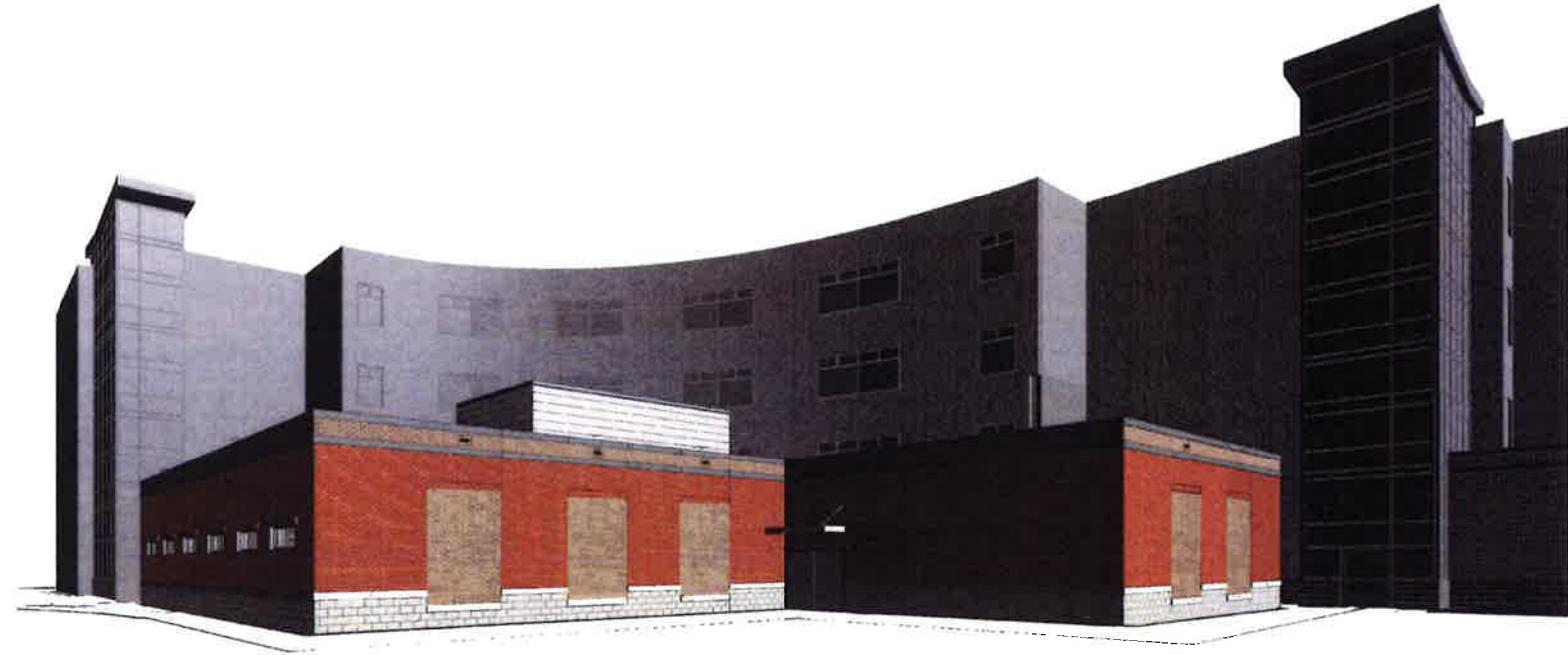
REVISIONS

DR. BY	JP
CK. BY	RZ
PROJ. NO	A01018
DATE	11/02/18

**EXTERIOR
ELEVATIONS**

SHEET 16 OF 17

A401



1 EXTERIOR PERSPECTIVE - CATH LAB ADDITION
N.T.S.



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NOV 05 2018

TOWN OF FARRAGUT

2 EXTERIOR PERSPECTIVE - MOB CONNECTOR
N.T.S.



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TENNOVA TURKEY CREEK MEDICAL CENTER
KNOXVILLE, TENNESSEE

REVISIONS

DR. BY	BRC
CK. BY	ZP
PROJ. NO.	A01018
DATE	11/02/18

EXTERIOR
PERSPECTIVES

SHEET 17 OF 17

A410

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on a request for an amendment to the site plan for Tire Discounters, 709 N. Campbell Station Road, 1 Acre, Zoned C-2 (Leesman Engineering and Associates, Applicant)

INTRODUCTION AND BACKGROUND: At the Planning Commission meeting on April 19, 2018, a site plan was approved for a Tire Discounters business at the former BP and Shell Service Station at 709 N. Campbell Station Road. Since that time, a grading and building permit have been issued and construction is proceeding.

DISCUSSION: One item that was discussed at length as part of the site plan review in April was the owner of Tire Discounters pursuing an access connection to the property to the north (the Dunkin Donuts property). This would benefit both properties but particularly the property to the north since patrons would have an opportunity to exit onto N. Campbell Station Road further south and away from the interstate interchange area. Cross lot connectivity is now required in the Zoning Ordinance as it provides for improved traffic flow, safer access, and an opportunity for greater interaction between developments.

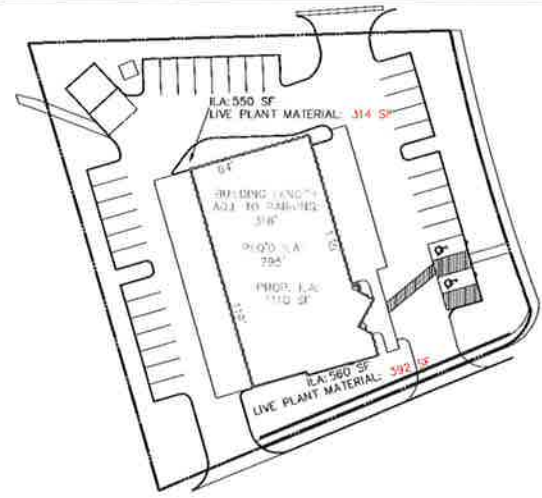
When this development was discussed in April, the applicant indicated that they were working on trying to secure an access connection to the property to the north. For purposes of facilitating the timing of their project, the applicant asked that the site plan they submitted for approval (which provided for one access onto Campbell Lakes Drive as the sole access into and out of the property) be approved and, in the interim, they would continue to work on securing a connection to the north. As part of the discussion, a second access onto Campbell Lake Drive was discussed. Though commissioners were open to this idea, this was not part of the site plan presented at that time. Staff indicated that such an access, if ultimately requested, would need to be authorized with a variance to the Driveways and Other Accessways Ordinance. Campbell Lakes Drive is classified as a collector street and a new access point would, without a variance, be required to be set back at least 200 feet from the access off N. Campbell Station Road.

At this time the applicant is requesting a second full access along Campbell Lakes Drive with the nearest portion of the proposed curbline being approximately 55 feet from the nearest existing curbline of N. Campbell Station Road. This access is being requested as a condition of approval from the property owner to the north of the cross access between the two properties. The owner to the north wishes to have the full access so that patrons leaving his development will not have to drive behind the Tire Discounters building to exit the property onto Campbell Lakes Drive.

RECOMMENDATION: The requested full access has been reviewed by Town staff and, due to the short distance between the access into the Tire Discounters and N. Campbell Station Road, staff could only support a right in access. In addition, the east side of the Tire Discounters (facing N. Campbell Station Road) will be the primary customer service area. Having through traffic circulated across this

frontage is a concern. The right in only access would address the lack of stacking distance from N. Campbell Station Road and limit the traffic flow across the front of the Tire Discounters.

BUILDING & PARKING LOT LANDSCAPING

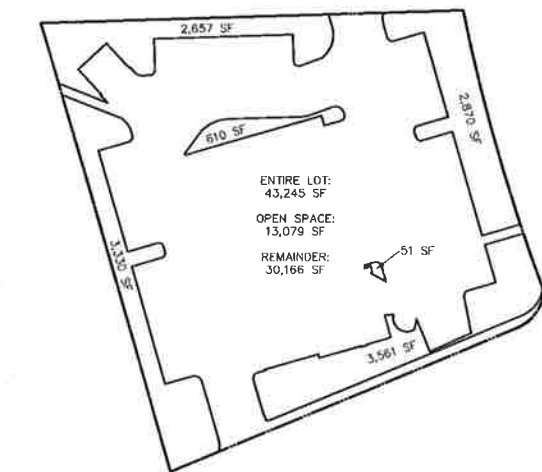


BUILDING/PARKING LOT LANDSCAPING:
*The minimum landscaped area shall be determined by multiplying 2-1/2 feet by the building's length facing a parking lot or vehicular access way. (At least 25% of this required landscaped area shall contain live plant materials other than grass)
BUILDING LENGTH (ALONG PARKING LOT AREAS): 318 FEET TOTAL
REQ'D LANDSCAPE AREA: 318 X 2.5 = 795 SF
(795 * 25% = 199 SF (REQUIRED LIVE PLANT MATERIAL OTHER THAN GRASS))
PROPOSED LANDSCAPE AREA: 1110 SF
(706 SF OF PROPOSED LIVE PLANT MATERIAL OTHER THAN GRASS)
(706/1110 = 64% (> 25%))

TRAFFIC NOTES

EXISTING USE: GASOLINE FUELING STATION AND CONVENIENCE STORE
PROPOSED USE: AUTOMOBILE REPAIR SHOP
1. PROPOSED USE IS LESS INTENSE THAN EXISTING USE
2. REDUCTION IN WIDTH AND RELOCATION OF DRIVEWAY TO SIDE STREET TO IMPROVE TRAFFIC IMPACT AT INTERSECTION.

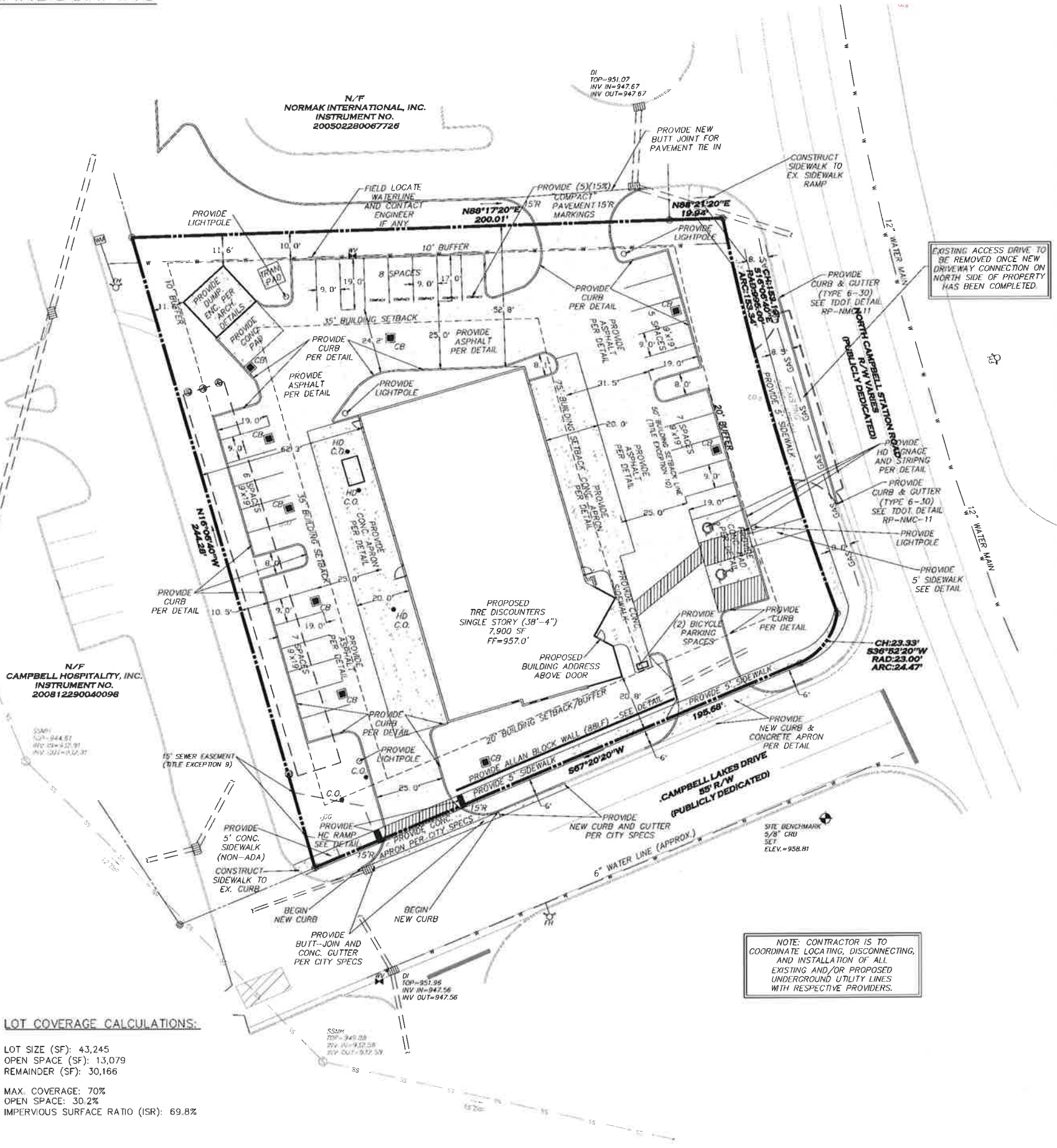
LOT COVERAGE DIAGRAM
N.T.S.



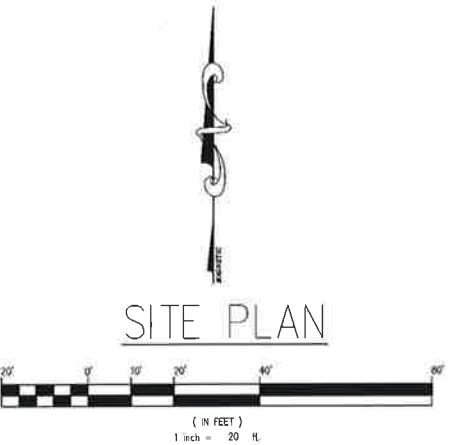
LOT COVERAGE CALCULATIONS:
LOT SIZE (SF): 43,245
OPEN SPACE (SF): 13,079
REMAINDER (SF): 30,166
MAX. COVERAGE: 70%
OPEN SPACE: 30.2%
IMPERVIOUS SURFACE RATIO (ISR): 69.8%

N/F
CAMPBELL HOSPITALITY, INC.
INSTRUMENT NO.
200812290040096

N/F
NORMAK INTERNATIONAL, INC.
INSTRUMENT NO.
200502280067726



- GENERAL NOTES**
1. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS IN THE AREA OF PROPOSED WORK. IF CONDITIONS OTHER THAN THOSE SHOWN ON THE DRAWINGS ARE ENCOUNTERED, THE CONTRACTOR MUST NOTIFY THE ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.
 2. THE LOCATIONS OF THE EXISTING UTILITIES SHOWN ON THE PLAN FOR PLANNING PURPOSES ONLY AND HAVE BEEN OBTAINED BY FIELD CHECKS AND SEARCHES OF AVAILABLE RECORDS AND ARE BELIEVED TO BE CORRECT. HOWEVER, THE CONTRACTOR MUST VERIFY EXACT LOCATIONS BEFORE BEGINNING CONSTRUCTION. CONTACT THE UTILITIES PROTECTION SERVICE AT LEAST TWO (2) WORKING DAYS IN ADVANCE OF CONSTRUCTION.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO EXISTING STRUCTURES AND UTILITIES DURING OR RESULTING FROM CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RELOCATING AND REPLACING ALL UTILITIES IGNORED TO COMPLETE AND UNDERGROUND UTILITIES. THIS PROJECT INCLUDING ALL OVERHEAD THE CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS, INSPECTIONS, ETC. COORDINATION REQUIRED BY THE APPLICABLE UTILITY. THE CONTRACTOR SHALL MAKE ALL RESTORATION, REPLACEMENT, AND REPAIR IN ACCORD WITH THE APPLICABLE REQUIREMENTS OF THE UTILITY.
 4. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE STATE OF TENNESSEE CONSTRUCTION AND MATERIAL SPECIFICATIONS.
 5. THE CONTRACTOR SHALL CONSTRUCT TEMPORARY SEDIMENT BASINS, EARTH DIKES, TEMPORARY OR PERMANENT SEEDING, MULCHING AND/OR MULCH NETTING OR ANY OTHER GENERALLY ACCEPTED METHODS TO PREVENT EROSION, MUD AND DEBRIS FROM BEING DEPOSITED ON OTHER PROPERTY, ON NEWLY CONSTRUCTED OR EXISTING ROADS, OR INTO EXISTING SEWERS OR NEW SEWERS WITHIN THE WORK AREA. THE CONTRACTOR SHALL CONTINUALLY MONITOR THE CONSTRUCTION PROGRESS AND MAKE ANY NECESSARY TEMPORARY ADJUSTMENTS TO MAINTAIN THIS CONTROL.
 6. ALL GROUND SURFACE AREAS THAT HAVE BEEN EXPOSED OR LEFT BARE AS A RESULT OF CONSTRUCTION AND ARE TO BE FINAL GRADE AND ARE TO REMAIN SO, SHALL RECEIVE VEGETATIVE STABILIZATION.
 7. FOLLOW WRITTEN DIMENSIONS ALWAYS. DO NOT SCALE.
 8. ADJUSTMENTS TO GRADE MAY BE ALLOWED TO PROVIDE A BALANCED SITE. NO ADJUSTMENT TO GRADE ARE ALLOWED WITHOUT THE PRIOR APPROVAL OF THE ENGINEER.
 9. ALL CONSTRUCTION SHALL BE PROVIDED IN ACCORD WITH TOWN OF FARRAGUT AND TDD DETAILS AND SPECIFICATIONS.
 10. SEE ARCHITECTURAL DRAWINGS FOR BUILDING DIMENSIONS
 11. LIGHTING TO BE SHOWN ON BUILDING WITH ARCHITECTURAL PLANS
 12. ROOF DRAINS, FOUNDATION DRAINS AND OTHER STORM WATER CONNECTIONS TO SANITARY SEWER ARE PROHIBITED.
 13. NO ANTENNAS ARE PROPOSED FOR THIS DEVELOPMENT.



SITE PLAN

SHEET 4 OF 12

NOTE: CONTRACTOR IS TO COORDINATE LOCATING, DISCONNECTING, AND INSTALLATION OF ALL EXISTING AND/OR PROPOSED UNDERGROUND UTILITY LINES WITH RESPECTIVE PROVIDERS.

NO.	DATE	BY	REVISIONS AND/OR ISSUES
1	10-2-18	MDC	DRIVEWAY ADDITION
2	7-10-18	MDC	REVISED BID/PERMIT-TOWN MFC COMMENTS
3	6-18-18	MDC	REVISED BID/PERMIT-TOWN MFC COMMENTS
4	4-28-18	MDC	REVISED BID/PERMIT-FARRAGUT STAFF COMMENTS
5	4-19-18	MDC	REVISED BID/PERMIT-FARRAGUT STAFF COMMENTS



TIRE DISCOUNTERS FARRAGUT, TN
709 NORTH CAMPBELL STATION ROAD
KNOXVILLE, TENNESSEE 37934
LEESMAN ENGINEERING & ASSOC.
ENGINEERING, SURVEYING, PLANNING
2720 TOPIC HILLS, CINCINNATI, OHIO 45248 513417-0420



DRAWING TITLE

SITE PLAN	
PROJ. NO.	DATE
TD FARR.	3/7/18
DRAWN	CHECKED
MDC	SJL

DRAWING NO

C3

3 WORKING DAYS
BEFORE YOU DIG
UTILITIES PROTECTION SERVICE

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Bart Hose, Assistant Community Development Director

SUBJECT: Discussion on a proposed amendment to the Farragut Zoning Ordinance, Appendix A, Chapter 4, Section XX. A., 3., "Number of parking spaces required", bicycle parking requirements. (Knoxville-Farragut Storage, LLC., Applicant)

INTRODUCTION AND BACKGROUND: This item was initially discussed as a workshop item at last month's Planning Commission meeting. The staff explained that a question had arisen regarding the bicycle parking requirements for a mini-warehouse/self-storage project. The Town's current bicycle parking requirements apply to all uses except for single and two-family residential uses and call for one space for every 5,000 square feet of gross floor area. There are no other use or demand-based distinctions, and 17 bicycle parking spaces would be required for the proposed 84,600 square foot mini-warehouse project. There is also no provision in the existing code to allow the Board of Zoning Appeals to determine bicycle parking requirements for uses that are not listed in the standards, as it can for vehicular parking requirements. The Planning Commission discussed the matter last month and was open to amending the Zoning Ordinance to provide the Board of Zoning Appeals (BZA) with the authority to review bicycle parking requirements where the standard ratio is questioned by an applicant based on the nature of the use and/or context.

DISCUSSION: Upon further review, staff has identified an alternative approach to amending the bicycle parking requirements that it would like the Planning Commission to consider (see attached). As noted above and unlike the existing vehicular parking standards, the current bicycle related requirements make no distinction between different land uses and their potential demand for parking. Amending the Zoning Ordinance to simply allow the BZA to review the bicycle parking requirements where the standard ratio is questioned based on the nature of the use and/or context does not fully address the use/demand issue and could be more difficult to implement. Additional research found that other communities and some model standards often tie bicycle parking requirements to the number of required motor vehicle spaces. This approach would better address the use/demand issue because the Town's current vehicular parking standards already make such distinctions. Staff also feels that such an approach would be clearer, more predictable, and easier to implement.

RECOMMENDATION: The staff recommends that the Planning Commission consider the revised approach for amending the Town's bicycle parking requirements.

DRAFT – Proposed Amendment to Parking Requirements for Bicycles

3. Number of parking spaces required.

Bicycle parking. The minimum number of bicycle parking spaces required whenever any use or building is created, developed or modified requiring vehicular parking, shall be in accordance with the following standards:

Required Bicycle Parking		
Land Use Category	Required Motor Vehicular Parking (minimum)	Required Number of Bicycle Parking Spaces Per Motor Vehicular Spaces (cumulative minimum)
Non-Residential	First 100 spaces (0 to 100)	2 spaces per 25 (or fraction thereof)
	Next 400 spaces (101 to 500)	2 spaces per 50 (or fraction thereof)
	All additional spaces (501+)	2 spaces per 100 (or fraction thereof)
Land Use Category	Residential Dwelling Type	Required Number of Bicycle Parking Spaces
Residential	Single or Two-Family	None (0)
	Multi-Family	Spaces provided at same ratios as non-residential uses; or 2 external spaces per building entranceway where dedicated secure interior bicycle storage space is provided for each unit.
<i>Notes: 1) Bicycle rack designs that support two bikes per fixture count as two parking spaces. 2) Non-Residential multi-tenant developments are to be considered as a whole.</i>		

Bicycle parking spaces must include a securely anchored rack that supports the bicycle upright by its frame in two places, enables the frame and one or both wheels to be secured (a U-lock should be able to lock a frame component and wheel), and prevent the wheel of the bicycle from tipping over. Inverted “U”, “A”, Post & Loop, and similarly designed racks are strongly recommended. Such rack designs support two bikes per fixture and count as two parking spaces. Bike lockers are also permitted. Comb, toast, wave, and traditional school-yard rack types do not generally meet these requirements and should not be utilized.

Bicycle racks shall be provided in visible locations on a concrete or comparable pad surface designed for bicycle parking. Racks shall be conveniently located near the building entrance in an unobstructed usable manner and shall be adequately distributed within multi-tenant developments. Their placement must not impede pedestrian or accessible routes and should not cause conflicts between bicycles and pedestrians. Bicycle parking facilities shall also be sufficiently separated from motor vehicle parking areas to protect parked bicycles from damage.

MEETING DATE: November 15, 2018

AGENDA ITEM #9

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Approval of Utilities – Choto Loop – KUB Gas System Improvement Project

INTRODUCTION AND BACKGROUND: This utility related agenda item is being requested by KUB. Please refer to the attached summary and plans for the project details. This project will likely involve some temporary lane closures of Turkey Creek Road, Virtue Road, and Boyd Station Road. A portion of the greenway along Turkey Creek Road near the Brixworth Subdivision may also be temporarily closed for safety reasons. A representative from Cannon & Cannon, Inc., will be attending the Planning Commission meeting to review the project and answer questions.

CHOTO LOOP-KUB GAS SYSTEM IMPROVEMENT PROJECT

GENERAL

This project will be advertised by the Knoxville Utilities Board's (KUB) Procurement for competitive pricing. The project will be awarded to the lowest bidder within KUB's pre-qualified natural gas contractors. Utility easements are currently in the acquisition process. Traffic impacts are expected to be minimal. Approximate construction start January 2019

PROJECT SCOPE

Install 8500 LF of new 8" MDPE gas main
Install 1600 LF of new 2" MDPE gas main
Railroad auger bore (near Willow Cove-RR permit in hand)
Turkey Creek HDD (TDEC ARAP permit in process)
Approximately 15 utility easements to acquire

PROJECT SUMMARY

Purpose

The purpose of the project is to provide gas system redundancy to the quickly growing Choto area and make natural gas readily available to properties along Boyd Station Road and Willow Cove Way

Communication

The KUB Communication department will mail notification letters to property owners within immediate vicinity of the construction project. Customer letters will be mailed 3 weeks prior to the anticipated construction start date. KUB will assign a Customer Support Representative to respond to customer related matters.

Construction Dates

Approximate construction start date January 2019. Anticipated duration is 6-8 months

Traffic Impact

Lane closures of Turkey Creek Road, Virtue Road, and Boyd Station road are anticipated however, complete road closures are not anticipated.

Greenway closure (near Brixworth Subdivision) is possible, to maintain a safe buffer between construction activities and the public.

Joey Henry, EIT
Project Manager
KUB Gas Systems Engineering
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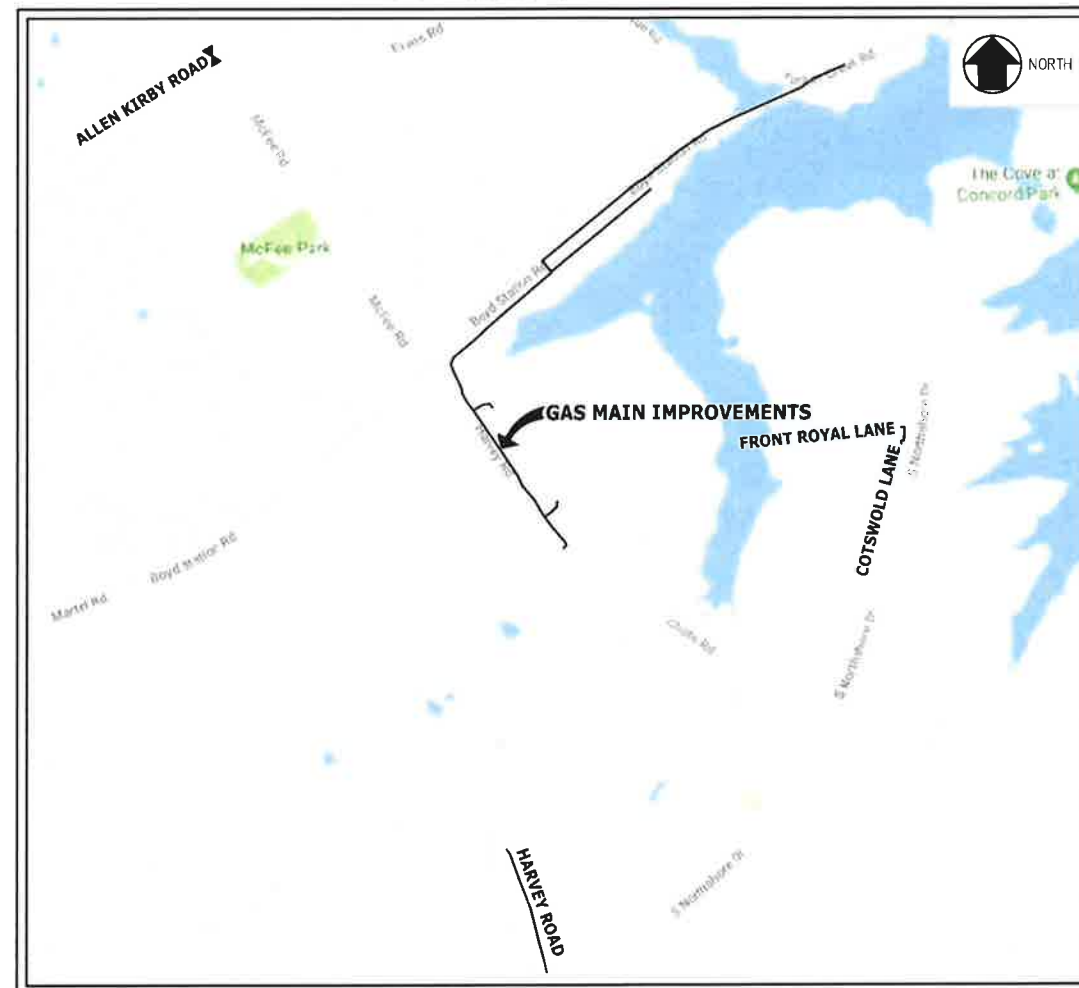


KNOXVILLE UTILITIES BOARD CHOTO AREA GAS MAIN IMPROVEMENTS

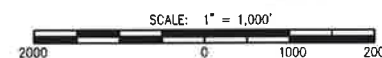
CONTROL NO. ---

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D1.02	STANDARD DETAILS



LOCATION MAP



PREPARED BY:

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 CANNON & CANNON INC. CONSULTING ENGINEERS • FIELD SURVEYORS TEL: 865.670.8555 8500 Kingston Pike www.cannon-cannon.com Knoxville, TN 37923 FAX: 865.670.8666	DESIGNED MCR	APPROVED		NO.	DATE	REVISION	APPR.	SCALE	 ENGINEERING DIVISION	KNOXVILLE UTILITIES BOARD CHOTO AREA GAS MAIN IMPROVEMENTS COVER SHEET	CCI PROJECT NO: 00309-0356
	DRAWN JAH	ENGINEER						AS SHOWN			
	CHECKED SAF	GAS						DATE 8-2-2018			

CONTROL NUMBER ??? - CHOTO AREA, GAS MAIN IMPROVEMENTS

GENERAL NOTES:

1. PLANIMETRIC AND PROFILE INFORMATION PER FIELD SURVEY CONDUCTED BY CANNON & CANNON, INC. IN JUNE OF 2016.
2. RIGHT-OF-WAY AND PROPERTY SHOWN IS PER K.G.I.S. WITH LIMITED SUPPLEMENTAL INFORMATION FROM INSTRUMENT SURVEY AS PERFORMED BY CANNON & CANNON, INC. SAID INFORMATION SHOULD BE CONSIDERED APPROXIMATE, IN THAT PROPERTY LINE SURVEY(S) WERE NOT UNDERTAKEN.
3. THE LOCATIONS OF THE EXISTING UTILITIES SHOWN ON THESE DRAWINGS ARE APPROXIMATE AND THOSE SHOWN MAY NOT BE ALL OF THE EXISTING UTILITIES WITHIN THE WORK AREA. THE EXACT LOCATIONS AND EXISTENCE OF ALL UTILITIES ARE THE CONTRACTOR'S RESPONSIBILITIES AND SHALL BE DETERMINED IN THE FIELD BY CONTACTING THE UTILITY COMPANIES INVOLVED. LOCATION OF EXISTING UTILITIES CAN BE COORDINATED BY CALLING THE TENNESSEE ONE CALL SYSTEM, AT 811.
4. ALL MATERIALS AND WORKMANSHIP SHALL BE IN STRICT CONFORMANCE WITH CURRENT KNOXVILLE UTILITIES BOARD CONSTRUCTION SPECIFICATIONS AND DETAILS.
5. PROVIDE ALL NECESSARY PROTECTIVE MEASURES TO SAFEGUARD THE EXISTING UTILITIES FROM DAMAGE DURING THE CONSTRUCTION OF THIS PROJECT. FURNISH ANY SPECIAL EQUIPMENT REQUIRED TO WORK OVER AND AROUND THE UTILITIES.
6. TRENCH DESIGN AND SAFETY FOR PIPELINE CONSTRUCTION IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL CONFORM WITH ALL APPLICABLE LOCAL, STATE, AND OSHA REGULATIONS.
7. WHERE SIDEWALKS ARE DAMAGED OR REMOVED, THEY SHALL BE REPLACED ACCORDING TO THE CITY OF KNOXVILLE'S STANDARD SPECIFICATIONS.
8. WHERE FIGURE NUMBERS ARE REFERENCED ON THE DRAWINGS, REFER TO THE APPLICABLE SECTION IN THE PROJECT MANUAL FOR DETAILS & ADDITIONAL INFORMATION.
9. CANNON & CANNON, INC. WILL PROVIDE AUTOCAD DESIGN FILES (.DWG) TO THE CONTRACTOR FOR USE IN CONSTRUCTION STAKING THE PROPOSED ALIGNMENTS UPON REQUEST POST BID.
10. SURVEY HORIZONTAL CONTROL BASED ON NAVD83, AND VERTICAL CONTROL IS BASED ON NAVD83. ALL STATIONING AND DISTANCES INDICATED ON THE DRAWINGS ARE BASED ON HORIZONTAL MEASUREMENTS.
11. ALL WORK SHALL BE PERFORMED BY A TENNESSEE LICENSED UTILITY CONTRACTOR.
12. KNOXVILLE UTILITIES BOARD EMERGENCY 24-HOUR CONTACT: (865) 524-2911.
13. CONTRACTOR SHALL HAVE AN APPROVED SET OF PLANS AND SPECIFICATIONS AND A COPY OF THE GENERAL STORMWATER POLLUTION PREVENTION PLAN (SWPPP) ON THE JOB SITE AT ALL TIMES.
14. UNDERGROUND UTILITIES INCLUDE, BUT ARE NOT LIMITED TO, WATER, SEWER, GAS, PETROLEUM, STEAM PIPING/DUCT WORK, ELECTRIC, COMMUNICATION SERVICES, STREET LIGHTING AND TRAFFIC DETECTOR LOOPS. THE CONTRACTOR SHALL LOCATE AND PROTECT ALL SUCH FACILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL SUCH FACILITIES THAT ARE DAMAGED DURING CONSTRUCTION. PAYMENT FOR LOCATING, PROTECTING, COORDINATING AND RE-PAIRING EXISTING FACILITIES WILL BE INCLUDED IN OTHER ITEMS OF WORK AND NO ADDITIONAL COMPENSATION WILL BE MADE. ALL REPAIRS SHALL BE DONE IN ACCORDANCE WITH STANDARDS AND REQUIREMENTS OF THE UTILITY'S OWNER. UTILITY SUPPORT METHODS WILL BE SUBMITTED PRIOR TO CONSTRUCTION FOR APPROVAL.
15. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN SUITABLE SIGNAGE, BARRICADES, AND LIGHTS FOR PROTECTION OF TRAFFIC PER THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ANY EXISTING ROAD SIGN REMOVED FOR CONSTRUCTION SHALL BE REPLACED BY THE END OF THE WORKING DAY. TEMPORARY STOP SIGNS SHALL BE ERRECTED PRIOR TO REMOVAL OF PERMANENT STOP SIGNS. COORDINATE WITH T.D.O.T. INSPECTOR.
16. THE CONTRACTOR SHALL NOT CLOSE OR BLOCK ANY HIGHWAY, STREET, OR ROADWAY WITHOUT FIRST OBTAINING ALL REQUIRED PERMITS FROM THE CITY OF KNOXVILLE OR OTHER GOVERNING ENTITY (TODT, ETC.).
17. THE CONTRACTOR SHALL PROVIDE ACCESS TO UTILITY COMPANIES FOR MAINTENANCE AND WORK ON THEIR UTILITIES DURING THE COURSE OF WORK.
18. SURVEY MONUMENTS DISTURBED BY THE CONTRACTOR SHALL BE RESET BY A TENNESSEE REGISTERED LAND SURVEYOR, AS DIRECTED BY THE PROJECT MANAGER. PRIOR TO DISTURBANCE, CONTACT THE PROJECT MANAGER FOR MONUMENT INFORMATION.
19. CONTRACTOR SHALL VERIFY WORK IN FIELD AND SHALL SATISFY HIMSELF AS TO THE ACCURACY BETWEEN WORK SET FORTH ON THESE PLANS AND THE WORK REQUIRED IN THE FIELD. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT MANAGER PRIOR TO THE START OF CONSTRUCTION. SEE CONTRACT DOCUMENTS SECTION 00700, PARAGRAPH 2.05.
20. THE EXISTING UTILITIES SHOWN AND INDICATED ON THE DRAWINGS ARE FOR GENERAL INFORMATION ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF EXISTING UNDERGROUND UTILITIES. ALL COSTS ASSOCIATED WITH POT HOLING WILL BE INCLUDED IN OTHER ITEMS OF WORK AND NO ADDITIONAL COMPENSATION WILL BE MADE THEREFORE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE OR DISRUPTION OF UTILITY SERVICE DURING CONSTRUCTION. THE CONTRACTOR SHALL VERIFY LOCATIONS AND DEPTHS OF ALL EXISTING UTILITIES IN THE PROJECT AREA PRIOR TO BEGINNING CONSTRUCTION.
21. THE CONTRACTOR SHALL NEATLY SAW CUT ALL ROADWAYS AND DRIVEWAYS PRIOR TO INSTALLING A PERMANENT PAVEMENT REPAIR.
22. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES DURING CONSTRUCTION.
23. INDICATED SCALES ARE BASED ON FULL SIZE DRAWINGS; IF DRAWINGS ARE REDUCED, SCALES MUST BE ADJUSTED ACCORDINGLY.
24. CONTRACTOR SHALL NOTIFY THE PROJECT MANAGER 48 HOURS PRIOR TO BEGINNING CONSTRUCTION (865) 558-2291.
25. LOCATION OF EXISTING RIGHT-OF-WAY (R.O.W.) LINES AND PROPERTY LINES ARE APPROXIMATE.
26. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE PROJECT SITE RESULTING FROM THE CONTRACTOR'S CONSTRUCTION ACTIVITIES.
27. TREES THAT HAVE BEEN DAMAGED OR REMOVED, ASPHALT AND OTHER CONSTRUCTION DEBRIS SHALL BE REMOVED OFFSITE BY CONTRACTOR.
28. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE TO AND THROUGH EXISTING DRAINAGE FACILITIES. ANY CONSTRUCTION AROUND, THROUGH OR IN DRAINAGE PATHS SHALL NOT ALTER THE FLOW PATHS FROM EXISTING AFTER CONSTRUCTION IS COMPLETE.
29. ALL INCIDENTAL WORK, INCLUDING LABOR AND MATERIALS, NECESSARY TO COMPLETE THE PROJECT AS SHOWN IN THE CONTRACT DOCUMENTS, FOR WHICH A SEPARATE PAY ITEM IS NOT SHOWN SHALL BE PERFORMED BY THE CONTRACTOR AND NO ADDITIONAL PAYMENT SHALL BE MADE. THE COST OF THIS WORK SHALL BE MERGED INTO THE UNIT PRICES BID FOR THE BID ITEMS SHOWN.
30. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR POT HOLING EXISTING UTILITIES AND DETERMINING ELEVATION AND LOCATION. POT HOLING SHALL BE CONDUCTED WITH THE LEAST INTRUSIVE MEANS SUCH AS A VACTRON, HAND DIGGING, OR OTHER SIMILAR EQUIPMENT. PAVEMENT RESTORATION AT POTHOLE LOCATIONS SHALL BE INCLUDED IN THE BASE BID.
31. THE CONTRACTOR SHALL PHOTOGRAPH OR VIDEO EACH SITE WITHIN 24 HOURS OF BEGINNING WORK ON THE ASSOCIATED PROPERTY. THE CONTRACTOR SHALL PROVIDE ONE COPY OF SUCH PHOTOS OR VIDEO TO THE OWNER WITHIN 48 HOURS OF BEGINNING WORK ON SAID PROPERTY. IN THE EVENT THE RESIDENT PROJECT REPRESENTATIVE (RPR) IS NOT PRESENT FOR THE WORK, THE CONTRACTOR IS RESPONSIBLE FOR TAKING A PHOTOGRAPH OF THE EXCAVATED SERVICE BEFORE THE CONDEMNATION AND AFTER THE CONDEMNATION. FAILURE TO DOCUMENT THE WORK BY MEANS OF PHOTOGRAPHY WILL RESULT IN THE CONTRACTOR VERIFYING THE WORK BY MEANS OF RE-EXCAVATING THE SITE, AT THE EXPENSE OF THE CONTRACTOR.

GENERAL NOTES CONT'D:

32. CONTRACTOR TO COORDINATE DISRUPTION/REMOVAL OF ANY LANDSCAPING, SPRINKLER SYSTEMS, FENCES, SHEDS, GARDENS, RETAINING WALLS, ORNAMENTALS, ETC. WITH THE PROPERTY OWNER AND REPLACE TO MATCH OR IMPROVE EXISTING CONDITIONS.
33. EXISTING AND PROPOSED EASEMENTS ON THESE DRAWINGS ARE SHOWN FOR GENERAL INFORMATION ONLY AND ARE APPROXIMATE. CONTRACTOR TO REFER TO ACTUAL EXECUTED EASEMENT DOCUMENTS FOR PROPERTY ACCESS AND USE FOR CONSTRUCTION PURPOSES.
34. WHEN EXCAVATION MUST OCCUR NEAR A UTILITY POLE, THE CONTRACTOR SHALL EMPLOY A LICENSED ELECTRICAL CONTRACTOR TO GUY, ANCHOR, BRACE, MECHANICALLY HOLD, ETC., THE POLE THROUGHOUT THE EXCAVATION PROCESS AND UNTIL THE EXCAVATED AREA CAN BE PROPERLY BACKFILLED AND COMPACTED TO PREVENT MOVEMENT OF THE POLE. IF THE EXCAVATION AFFECTS AN ANCHOR, THE POLE WILL NEED TO BE STABILIZED IN A SIMILAR MANNER UNTIL THE ANCHOR CAN BE REINSTALLED IN THE EXACT LOCATION. CONTRACTOR SHALL NOTIFY KUB NOT LESS THAN SEVEN (7) CALENDAR DAYS PRIOR TO EXCAVATION WITHIN TWENTY (20) FEET OF ANY POLE AND SHALL PROVIDE INFORMATION TO KUB PERTAINING TO THE METHOD THAT IS TO BE USED TO STABILIZE THE POLE, AS WELL AS THE NAME OF THE ELECTRICAL CONTRACTOR RESPONSIBLE FOR THE PORTION OF THE WORK.
35. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN ALL EXISTING UTILITY SERVICES DURING CONSTRUCTION. WHERE SERVICE INTERRUPTIONS ARE UNAVOIDABLE, COORDINATE WITH THE UTILITY OWNER BEFOREHAND REGARDING THE DURATION OF THE INTERRUPTION AND THE PROPER REINSTALLATION OF SERVICE. MAINTAIN A LIST OF EMERGENCY CONTACTS WITH EACH AFFECTED UTILITY FOR CASES OF ACCIDENTAL UTILITY DAMAGE.
36. THE CONTRACTOR SHALL PROVIDE EROSION CONTROL DEVICES PER TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION (TDEC). ALL WORK NEAR AND AROUND WATERWAYS SHALL CONFORM TO THE RULES OF TDEC - DIVISION OF WATER POLLUTION CONTROL. VIOLATIONS AND FINES LEVIED BY TDEC DUE TO CONTRACTOR NEGLIGENCE SHALL BE RECOVERED AT THE CONTRACTOR'S EXPENSE.
37. CONTRACTOR SHALL PROVIDE SUPPORT OF EXISTING UTILITIES EXPOSED DURING EXCAVATION TO MAINTAIN SERVICE & INTEGRITY OF UTILITY.
38. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES DURING CONSTRUCTION.

GAS LINE NOTES:

1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION OF EXISTING UTILITIES, PIPING, AND UNDERGROUND STRUCTURES THAT MAY INTERFERE WITH THE PROPOSED WORK BY POT HOLING AND CONTACTING THE UTILITY COMPANIES INVOLVED.
2. PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL CONTACT THE UTILITY OWNERS TO NOTIFY THEM OF WORK IN THE AREA AND REQUEST THEM TO PROPERLY LOCATE THEIR RESPECTIVE UTILITY. NOTIFICATION SHALL BE GIVEN AT LEAST THREE BUSINESS DAYS PRIOR TO COMMENCEMENT OF OPERATIONS AROUND THE UTILITY. UTILITIES CAN BE LOCATED BY CALLING THE TENNESSEE ONE CALL SYSTEM, AT 811.
3. LOCATE VALVES OUTSIDE OF PAVED AREAS UNLESS OTHERWISE APPROVED BY KUB. SERVICES SHOWN ON THESE DRAWINGS ARE FOR GENERAL LOCATION ONLY. CONTRACTOR TO COORDINATE WITH KUB TO DETERMINE FIELD LOCATION OF ALL GAS SERVICE LINES.
4. DISTANCES SHOWN TO PROPOSED GAS LINES ARE FROM EDGE OF PAVEMENT (E.O.P.) UNLESS OTHERWISE NOTED.
5. COMMERCIAL SERVICES SHALL RECEIVE A VALVE OF APPROPRIATE SIZE, 1" MINIMUM.
6. DEPTH OF HORIZONTAL DIRECTIONAL BORE(S) SHALL NOT EXCEED 5 FEET AT LOWEST POINT BELOW GRADE.
7. ELECTROFUSION COUPLINGS SHALL NOT BE USED WITHOUT PRIOR CONSENT OF KUB RESIDENT PROJECT REPRESENTATIVE (RPR).
8. EXISTING GAS VALVE BOXES SHALL BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF THE PROJECT. REMOVE ALL EXISTING GAS VALVE BOXES ON LINES THAT ARE RETIRED IN-PLACE.
9. 24-HOUR EMERGENCY CONTACT: KUB SYSTEM OPERATIONS 558-2205

LEGEND

	EXISTING SANITARY SEWER MANHOLE
	EXISTING SANITARY SEWER LINE
	EXISTING OVERHEAD UTILITY LINE
	EXISTING UNDERGROUND TELEPHONE
	EXISTING GAS LINE
	EXISTING WATER LINE
	EXISTING 6" CAST IRON WATER LINE
	EXISTING 8" CAST IRON WATER LINE
	EXISTING 8" DUCTILE IRON WATER LINE
	EXISTING 16" CAST IRON WATER LINE
	EXISTING WATER LINE (TO BE RETIRED)
	EXISTING GAS LINE (TO BE RETIRED)
	PROPOSED GAS LINE (MAIN LINE)
	PROPOSED GAS LINE (SERVICE)
	PROPOSED GAS METER
	EXISTING TELEPHONE MANHOLE
	EXISTING CHAIN LINK FENCE
	EXISTING GAS VALVE
	EXISTING GAS METER
	EXISTING WATER VALVE
	CAP EXISTING WATER LINE
	EXISTING WATER METER
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING GUY WIRE
	EXISTING CATCH BASIN
	EXISTING SANITARY CLEAN OUT
	EXISTING FIRE HYDRANT
	EXISTING WATER MANHOLE
	EXISTING CREEK
	EXISTING TREE LINE
	EXISTING PROPERTY LINE (APPROXIMATE)
	EXISTING STORM DRAIN LINE
	DETAIL REFERENCE (DETAIL NO./ SHEET NO.)
	PROPOSED EROSION CONTROL MEASURES
	PROPOSED GAS MARKER POST
	PROPOSED TEMPORARY CONSTRUCTION EASEMENT
	PROPOSED PERMANENT UTILITY EASEMENT
	PROPOSED GAS MARKER POST (CUT TO EXTEND 3' ABOVE GROUND)

ABBREVIATIONS

D.I.	DUCTILE IRON
C.I.	CAST IRON
A.C.	ASBESTOS CEMENT
HDPE	HIGH DENSITY POLYETHYLENE
MDPE	MEDIUM DENSITY POLYETHYLENE
PL	PLASTIC
ST	STEEL
EOP	EDGE OF PAVEMENT
PE	POLYETHYLENE
LT	LEFT
RT	RIGHT



ENGINEER

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DESIGNED MCR	APPROVED
DRAWN JAH	ENGINEER
CHECKED SAF	GAS



NO.	DATE	REVISION	APPR.

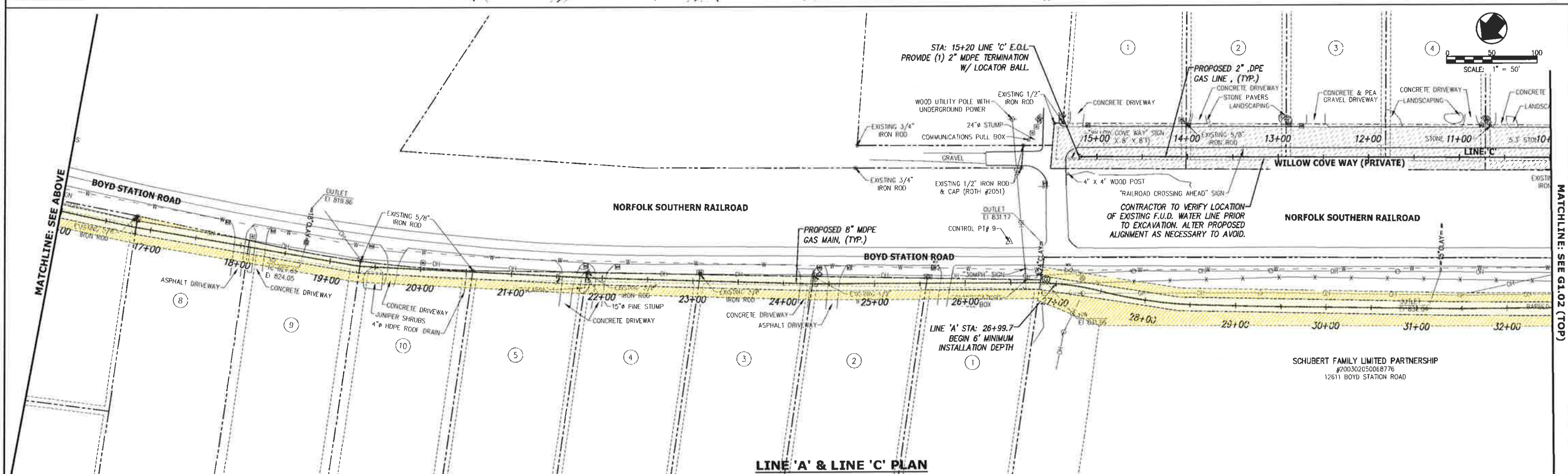
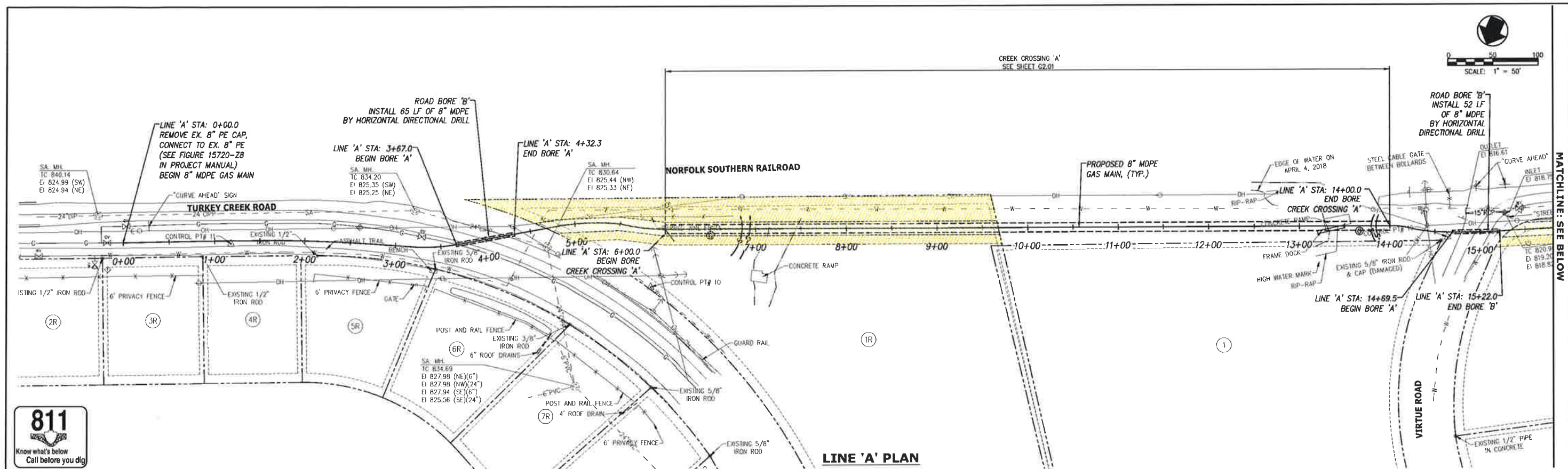
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DATE
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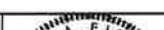
ENGINEERING DIVISION

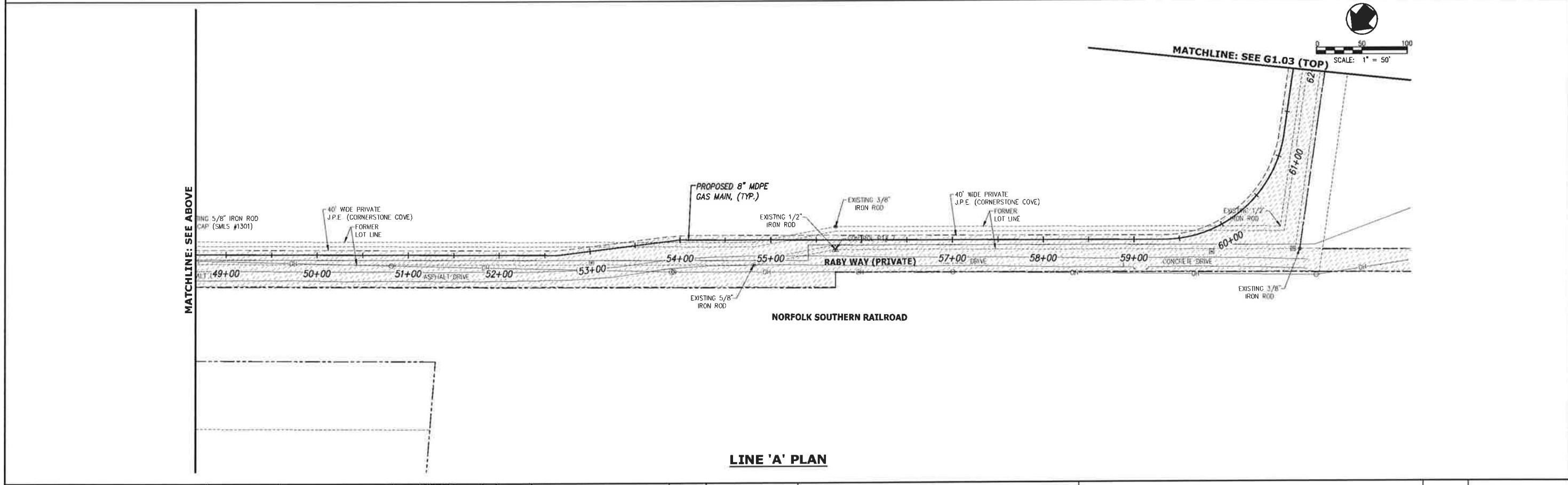
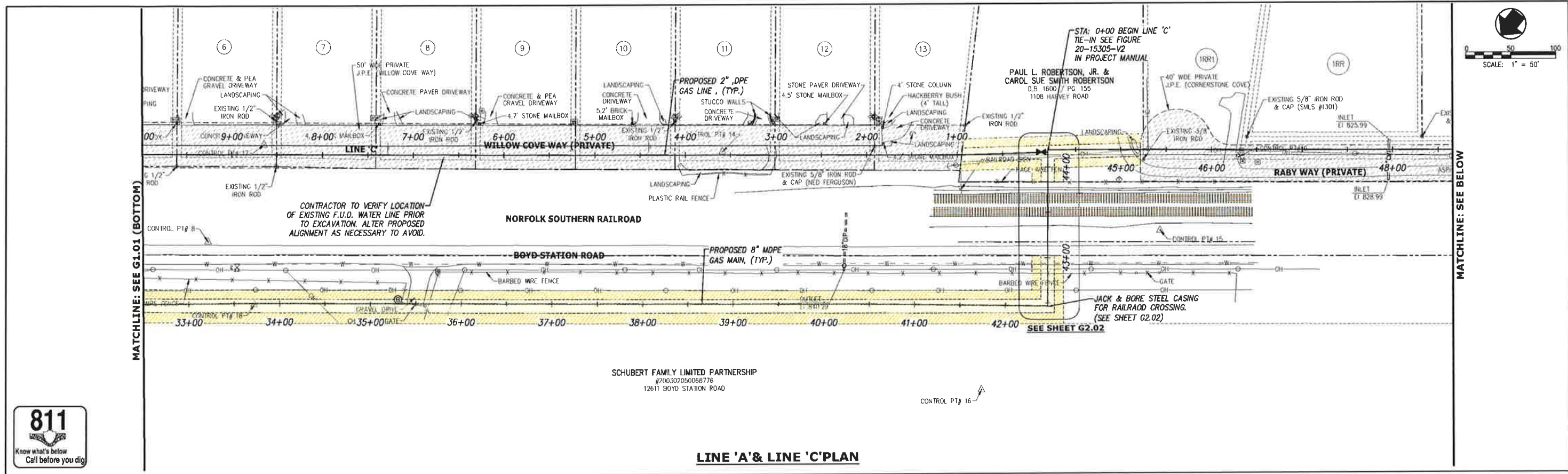
KNOXVILLE UTILITIES BOARD
CHOTO AREA
GAS MAIN IMPROVEMENTS
GENERAL NOTES AND LEGEND

PROJECT NO. 00309-0356
SHEET G0.02 SHEET 2 OF 11

CONTROL NUMBER ??? - CHOTO AREA, GAS MAIN IMPROVEMENTS



ENGINEER  CANNON & CANNON INC. CONSULTING ENGINEERS - FIELD SURVEYORS TEL: 865.670.8555 8650 Kingston Pike www.cannon-cannon.com Knoxville, TN 37919 FAX: 865.670.8555		DESIGNED MCR DRAWN JAH CHECKED SAF	APPROVED ENGINEER GAS		<table><tr><th>NO.</th><th>DATE</th><th>REVISION</th><th>APPR.</th></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr></table>	NO.	DATE	REVISION	APPR.																	SCALE AS SHOWN DATE 8-2-2018	 ENGINEERING DIVISION	KNOXVILLE UTILITIES BOARD CHOTO AREA GAS MAIN IMPROVEMENTS GAS LINE 'A' STA: 0+00 TO STA: 32+50 GAS LINE 'C' STA: 10+00 TO STA. 15+20 E.O.L.	CCI PROJECT NO: 00309-0356 SHEET G1.01 SHEET 3 OF 11
NO.	DATE	REVISION	APPR.																										



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CONTROL NUMBER ??? - CHOTO AREA, GAS MAIN IMPROVEMENTS



LINE 'A' STA: 66+71.2

CONNECTION DETAIL #1 (N.T.S.)



LINE 'A' STA: 61+08.7

CONNECTION DETAIL #2 (N.T.S.)



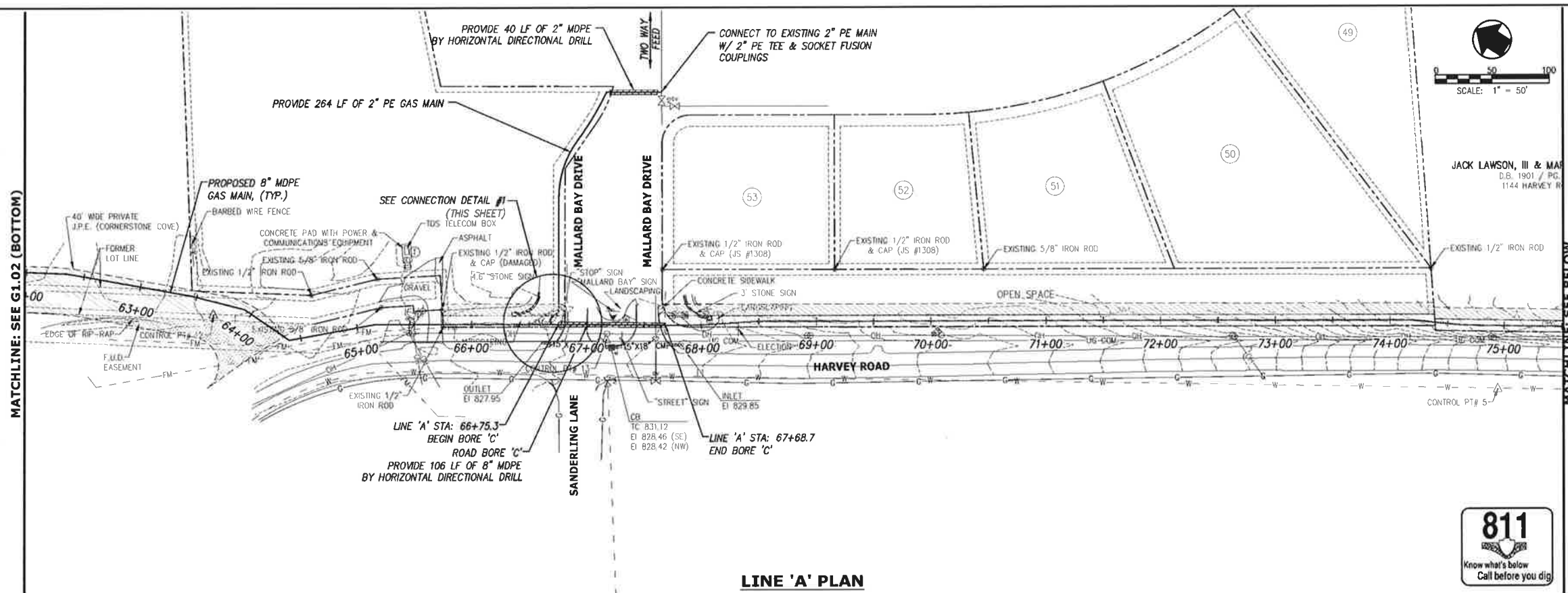
LINE 'A' STA: 83+09.9

CONNECTION DETAIL #3 (N.T.S.)

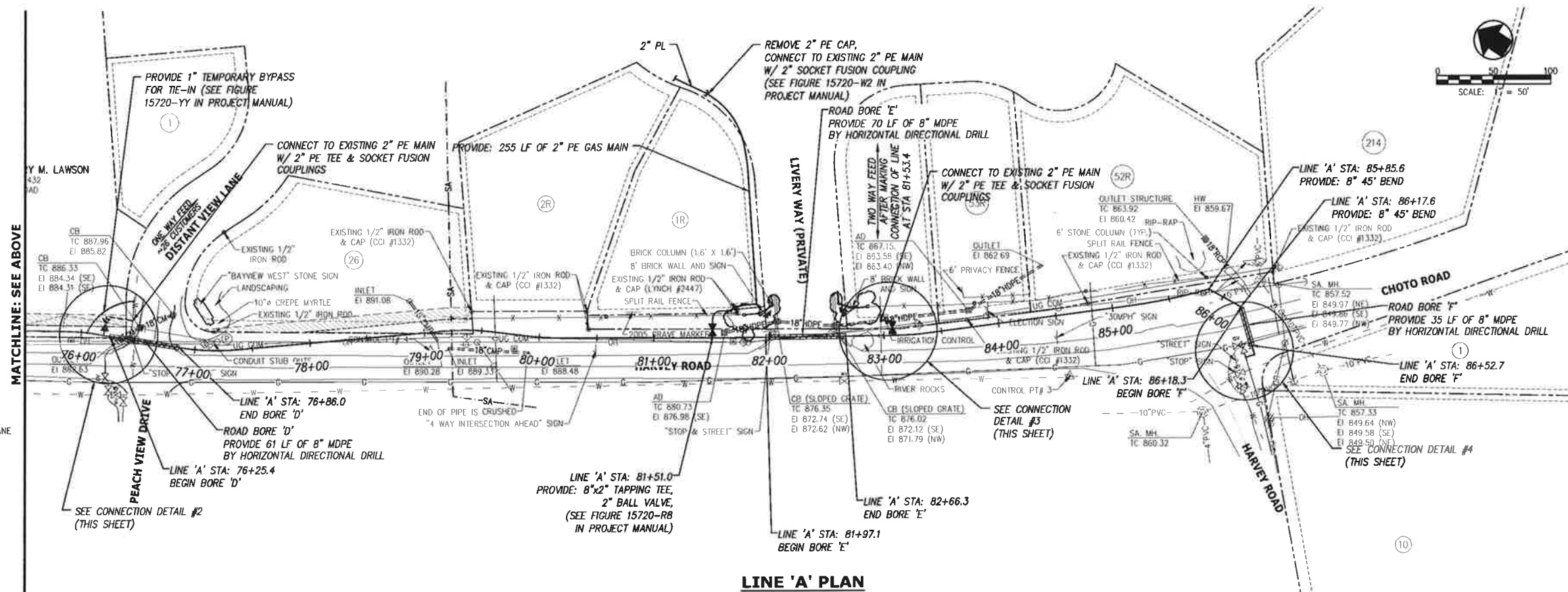


LINE 'A' STA: 86+71.3 (E.O.L)

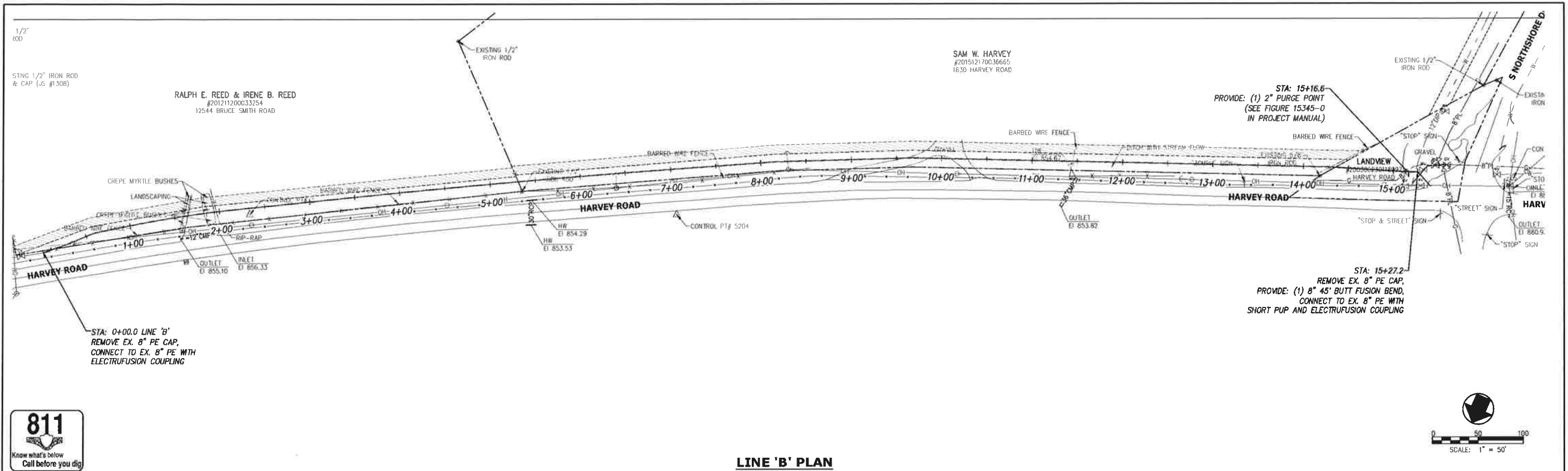
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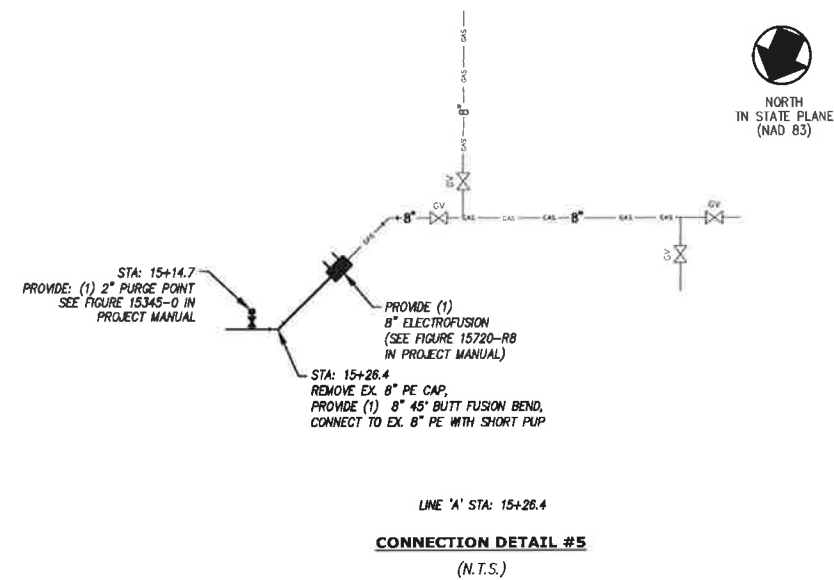
LINE 'A' PLAN



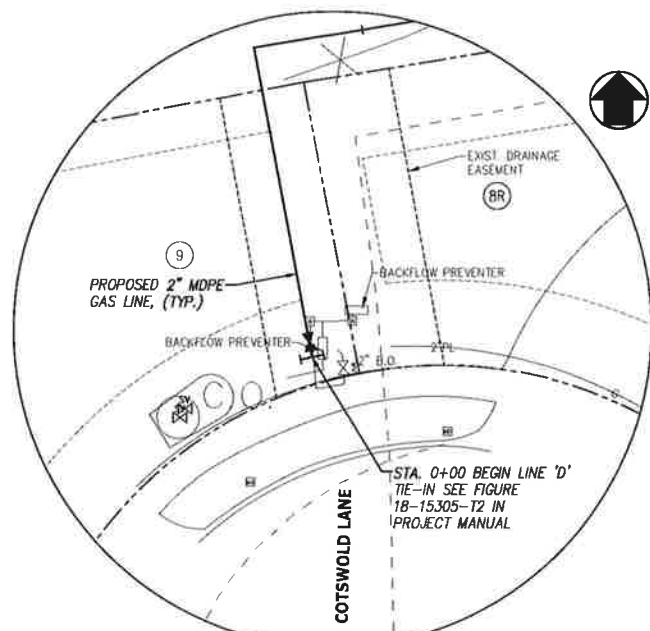
LINE 'A' PLAN



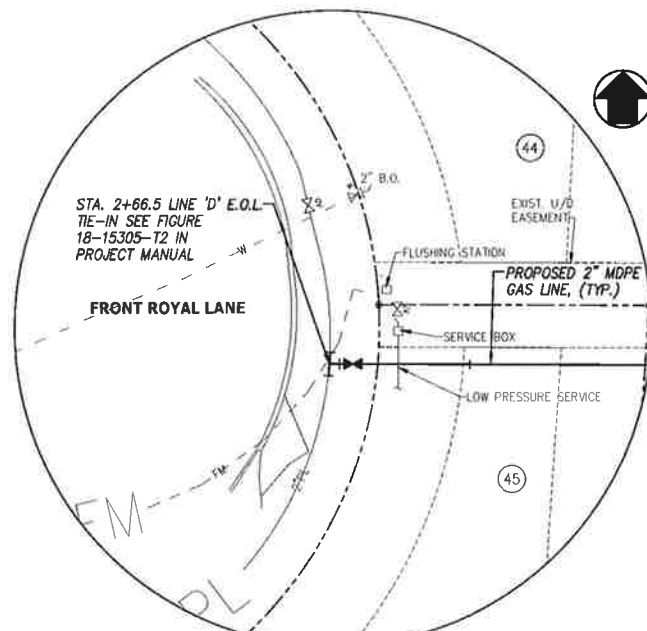
LINE 'B' PLAN



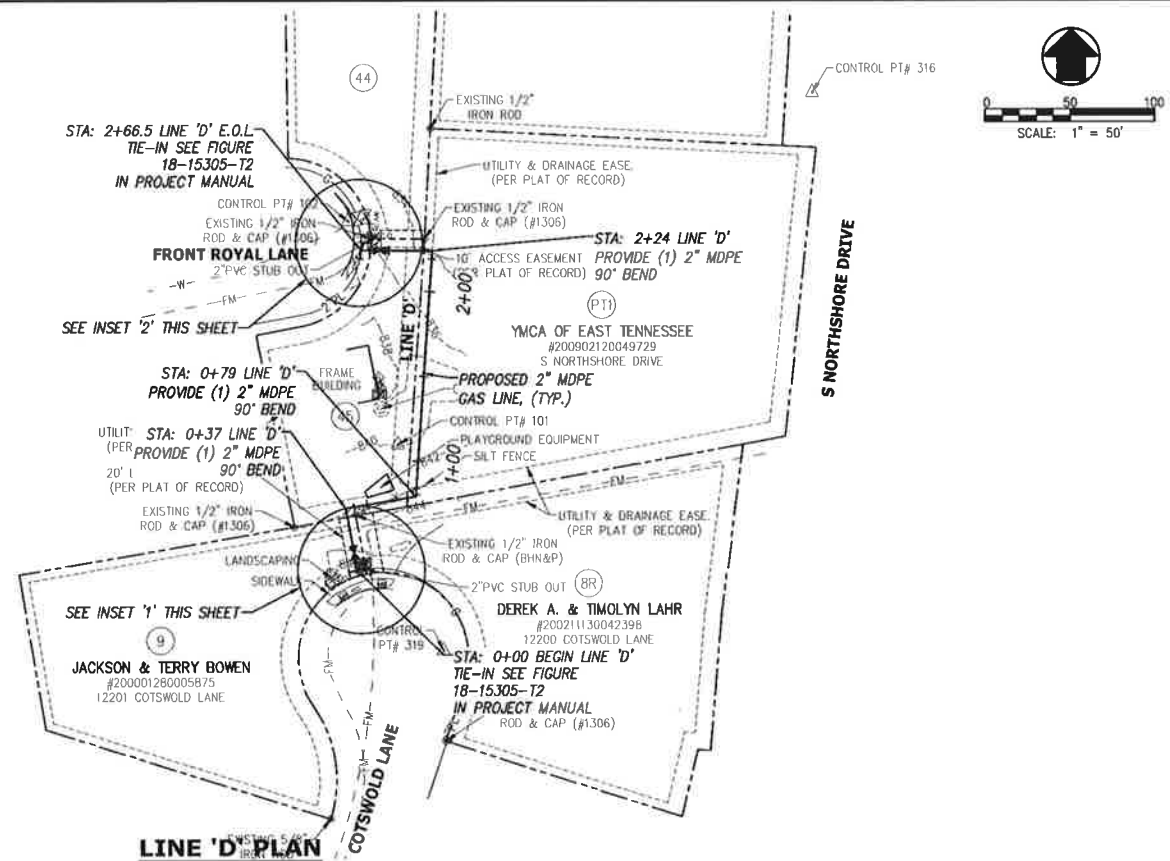
ENGINEER  CANNON & CANNON INC. CONSULTING ENGINEERS - FIELD SURVEYORS TEL: 865.670.8555 8000 Kingston Pike KNOXVILLE, TN 37899 FAX 865.670.8086	DESIGNED MCR	APPROVED		NO.	DATE	REVISION	APPR.	SCALE	 ENGINEERING DIVISION	KNOXVILLE UTILITIES BOARD CHOTO AREA GAS MAIN IMPROVEMENTS GAS LINE 'B' STA: 0+00 TO STA: 15+27.2 E.O.L.	CCI PROJECT NO: 00309-0356		
	DRAWN JAH	ENGINEER									AS SHOWN	SHEET	G1.04 SHEET 6 OF 11
	CHECKED SAF	GAS									DATE 8-2-2018		



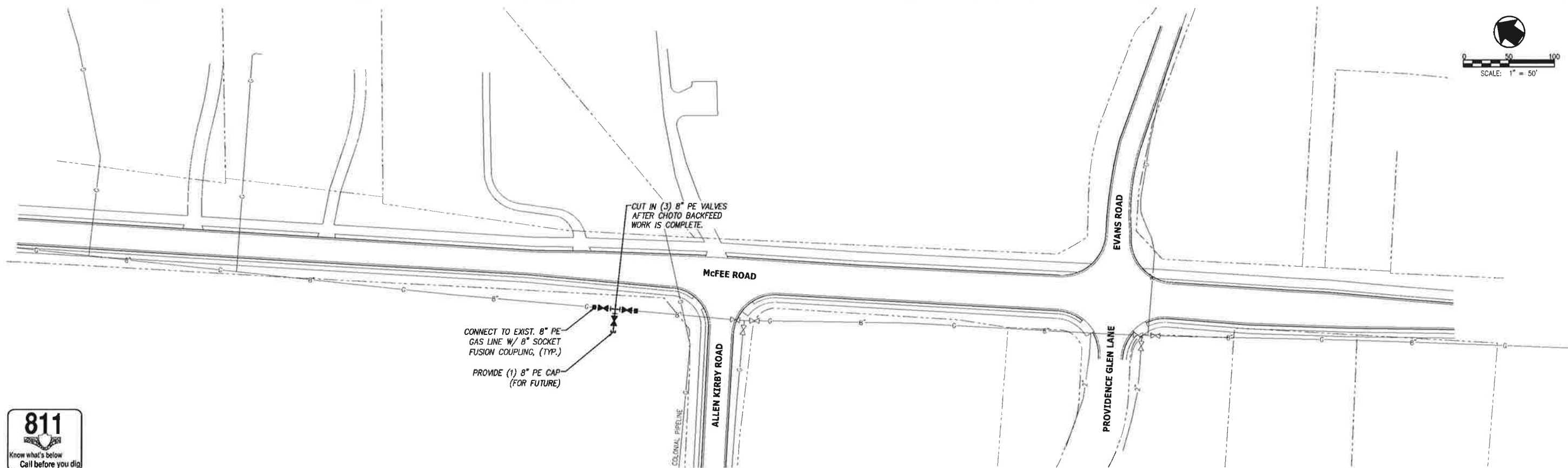
INSET '1'
SCALE: 1" = 10'



INSET '2'
SCALE: 1" = 10'



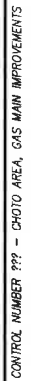
LINE 'D' PLAN



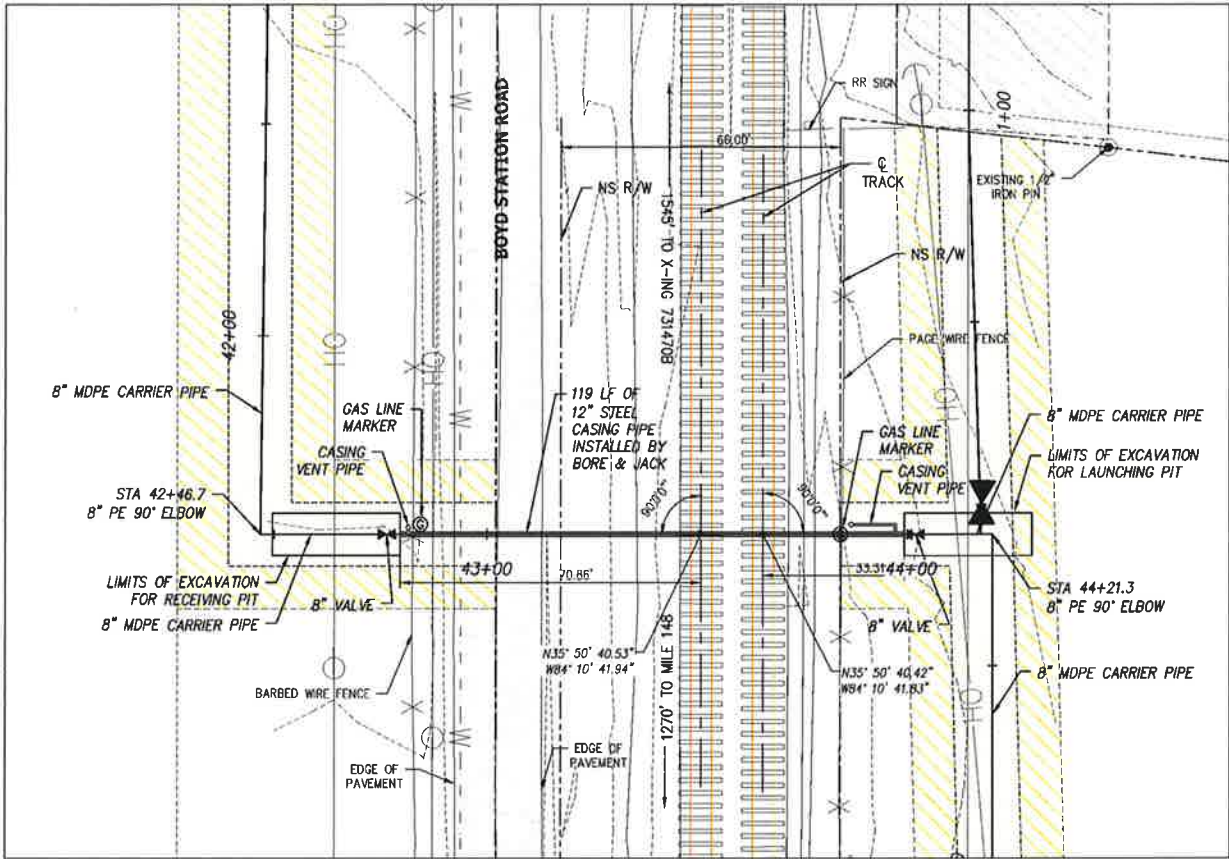
ENGINEER CANNON & CANNON INC. CONSULTING ENGINEERS FIELD SURVEYORS TEL: 865.670.8555 4400 Kingston Pike Knoxville, TN 37919 FAX: 865.670.8006	DESIGNED MCR DRAWN JAH CHECKED SAF	APPROVED ENGINEER GAS		NO. DATE	REVISION	APPR.	SCALE AS SHOWN DATE 8-2-2018	 KUB ENGINEERING DIVISION	KNOXVILLE UTILITIES BOARD CHOTO AREA GAS MAIN IMPROVEMENTS GAS LINE 'D' STA: 0+00 TO STA: 2+58.7 E.O.L. MCFEE ROAD @ ALLEN KIRBY ROAD VALVE REPLACEMENT	CCI PROJECT NO: 00309-0356 SHEET G1.05 SHEET 7 OF 11
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CONTROL NUMBER ??? - CHOTO AREA, GAS MAIN IMPROVEMENTS

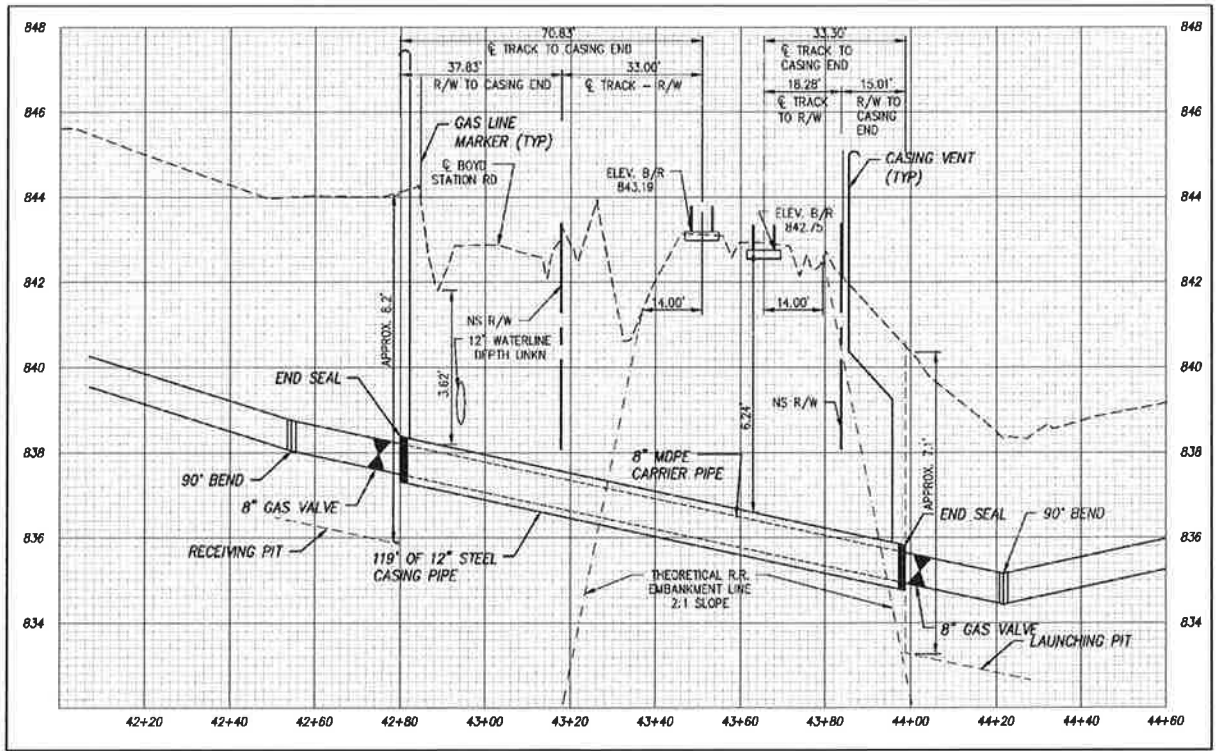
SEE SHEET G1.01 FOR CONTINUATION



	CCI PROJECT NO: 00309-0356
SHEET	
G2.01	
SHEET 2 OF 11	



LINE 'A' PLAN



LINE 'A' PROFILE

SCALE: HOR. 1"=20'
VERT. 1"=2'

- NOTES:**
1. CONTRACTOR SHALL FOLLOW ALL REQUIREMENTS OF NORFOLK SOUTHERN'S NSCE-B SPECIFICATIONS
 2. PIPELINE AND CROSSING TO BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH LAST APPROVED AMERICAN RAILWAY ENGINEERING AND MAINTENANCE OF WAY ASSOCIATION SPECIFICATIONS FOR PIPELINES CONVEYING FLAMMABLE AND NON-FLAMMABLE SUBSTANCES
 3. BLASTING NOT PERMITTED
 4. CASING SPACERS, END SEALS, AND CATHODIC PROTECTION SHALL BE INSTALLED IN ACCORDANCE WITH KUB STANDARDS



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DESIGNED
MCR
DRAWN
JAH
CHECKED
SAF

APPROVED
ENGINEER
GAS



NO.	DATE	REVISION	APPR.

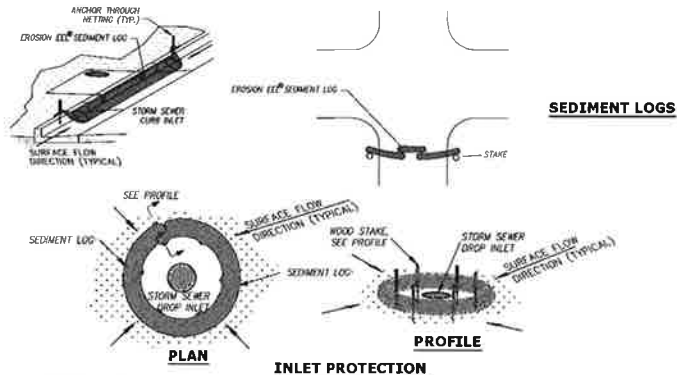
SCALE
AS SHOWN
DATE
8-2-2018

KUB
ENGINEERING DIVISION

KNOXVILLE UTILITIES BOARD
CHOTO AREA
GAS MAIN IMPROVEMENTS
NORFOLK SOUTHERN RR CROSSING
PLAN & PROFILE

CCI PROJECT NO:
00309-0356
SHEET
G2.02
SHEET 9 OF 11

CONTROL NUMBER ??? - CHOTO AREA, GAS MAIN IMPROVEMENTS

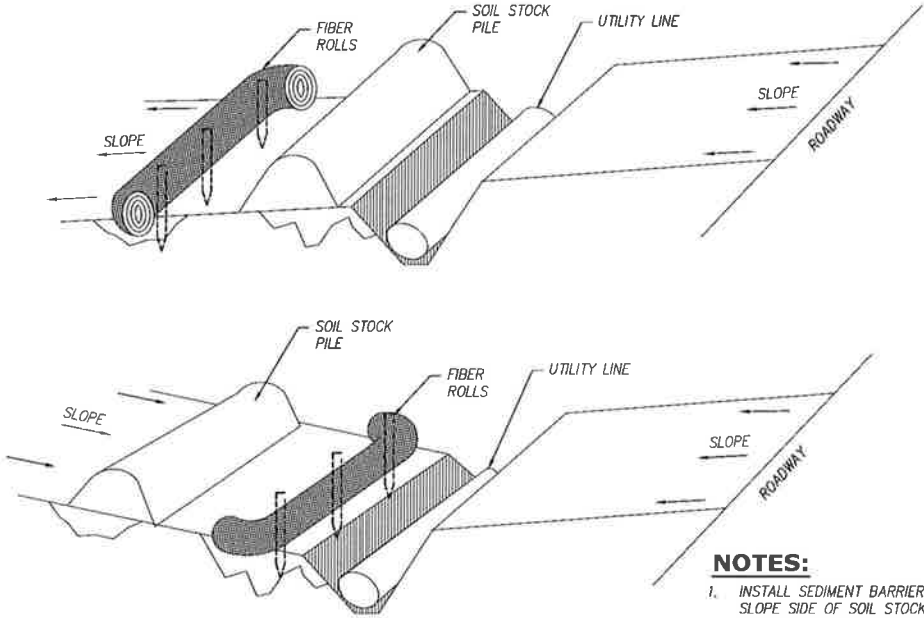


SEDIMENT LOGS

NOTES:

1. THE TOPOGRAPHIC AND BOUNDARY INFORMATION PER CCI FIELD SURVEY & KGIS MAPPING DATA.
2. ALL EXCAVATION, AND RELATED EROSION CONTROL, SHALL BE IN ACCORDANCE WITH THE CITY OF KNOXVILLE "BEST MANAGEMENT PRACTICES" (BMP) MANUAL. A MAXIMUM OF 200 LF OF TRENCH SHALL BE OPEN AT ANYTIME. NO ADDITIONAL EXCAVATION WILL BE PERMITTED UNTIL OTHER SECTIONS OF THE TRENCH HAVE BEEN BACKFILLED.
3. WHERE TRENCHES MUST REMAIN OPEN OVERNIGHT, PROPER EROSION CONTROL MEASURES SHALL BE PROVIDED, IN ADDITION TO PROPER SAFETY MEASURES. PLAN REFLECTS MINIMUM EROSION AND SEDIMENT CONTROL MEASURES ANTICIPATED. ACTUAL CONDITIONS MAY WARRANT ADDITIONAL MEASURES AS DEEMED APPROPRIATE BY OWNER AND/OR CITY OF KNOXVILLE.
4. EROSION CONTROL DEVICES (SEDIMENT "EROSION EEL" BY AMERICAN EROSION CONTROL, OR EQUAL) SHALL BE PLACED AND SECURED AT STORM INLETS ADJACENT TO CONSTRUCTION.
5. THE TOTAL DISTURBED AREA IS CALCULATED TO BE APPROXIMATELY 0.65 ACRES.
6. TYPE III SEDIMENT CONTROL LOGS TO BE USED FOR ENERGY DISSIPATION IN MILD CONCENTRATED FLOW AREAS. SLOPE INTERRUPTION.
7. SEDIMENT CONTROL DEVICES SHALL BE EROSION EEL SEDIMENT LOG, AS MANUFACTURED BY AMERICAN EROSION CONTROL, OR EQUAL.

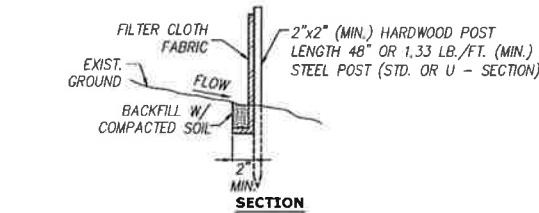
1 TEMPORARY SEDIMENT LOGS (TYPE III)
- N.T.S.



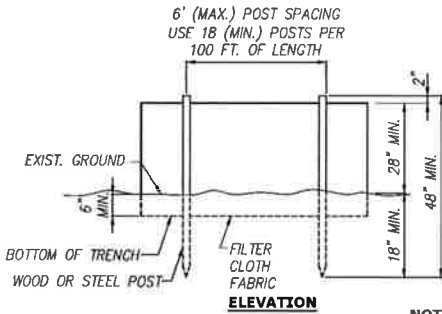
NOTES:

1. INSTALL SEDIMENT BARRIER ON DOWNHILL SLOPE SIDE OF SOIL STOCK PILE.
2. DEVICES SHOWN ARE THE MINIMUM REQUIRED FOR A TYPICAL UTILITY LINE INSTALLATION. THE CONTRACTOR SHALL PROVIDE ADDITIONAL EROSION CONTROL AS NECESSARY.

2 TEMPORARY SEDIMENT BARRIER PLACEMENT
- N.T.S.



SECTION



ELEVATION

NOTES:

1. SILT FENCE SHALL BE RE-ASSEMBLED AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS.
2. SILT FENCE SHALL HAVE AN APPROVED BACKING OR A BUILT-IN REINFORCED STRUCTURE AS RECOMMENDED BY THE MANUFACTURER TO SUPPORT THE GEOTEXTILE FABRIC.
3. PLACE SILT FENCE AT LEAST 5'-7' AWAY FROM STEEP OR LONG SLOPES TO IMPOUND STORM WATER RUNOFF.
4. WIRE FENCE REINFORCEMENT IS REQUIRED BELOW SLOPES THAT ARE OVER 8' HIGH OR WHERE SILT FENCE IS INSTALLED IMMEDIATELY ADJACENT TO GRADING LIMITS. INSTALL REINFORCEMENT AT LOCATIONS WHERE WASHOUT OR HEAVY FLOW MAY OCCUR.

3 TEMPORARY SILT FENCE
- N.T.S.

EROSION CONTROL NOTES:

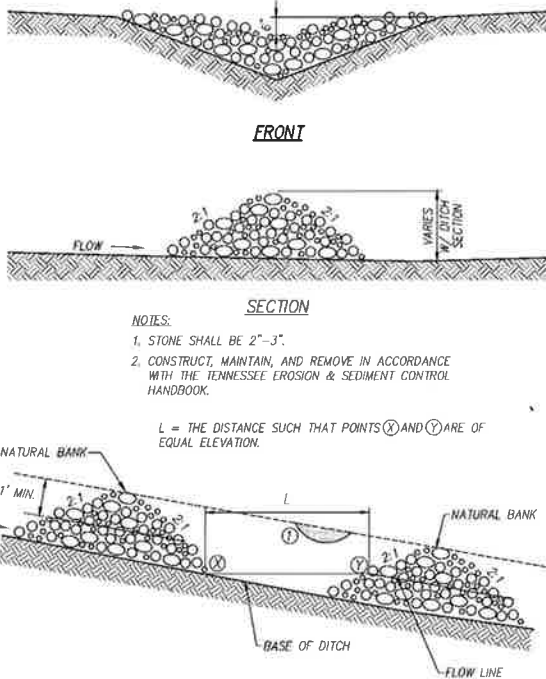
1. ALL EXCAVATION, AND RELATED EROSION CONTROL, SHALL BE IN ACCORDANCE WITH KNOX COUNTY'S "BEST MANAGEMENT PRACTICES" (BMP) MANUAL AND TDEC EROSION AND SEDIMENT CONTROL HANDBOOK.
2. NO CHANGES IN THE EXISTING GRADES ARE PROPOSED.
3. PLAN REFLECTS MINIMUM EROSION AND/OR SEDIMENT CONTROL MEASURES ANTICIPATED. ACTUAL CONDITIONS MAY WARRANT ADDITIONAL MEASURES AS DEEMED APPROPRIATE BY OWNER AND/OR KNOX COUNTY.
4. A MAXIMUM OF 200 LF OF TRENCH SHALL BE OPEN AT ANYTIME FOR EACH FULL TIME CREW. NO ADDITIONAL EXCAVATION WILL BE PERMITTED UNTIL OTHER SECTIONS OF THE TRENCH HAVE BEEN BACKFILLED.
5. ALL DISTURBED AREAS SHALL BE STABILIZED AT THE END OF EACH CONSTRUCTION DAY AND PRIOR TO RAIN EVENTS. ACTIVITIES MAY INCLUDE SEEDING AND MULCHING, SETTING TEMPORARY STONE AND/OR ADDITIONAL EROSION CONTROL MEASURES AS DEEMED APPROPRIATE.
6. WHERE TRENCHES MUST REMAIN OPEN OVERNIGHT, PROPER EROSION CONTROL MEASURES SHALL BE PROVIDED, IN ADDITION TO PROPER SAFETY MEASURES.
7. EROSION CONTROL DEVICES (SEDIMENT "FABRIC LOG" OR EQUAL) SHALL BE PLACED AND SECURED AT STORM INLETS ADJACENT TO CONSTRUCTION.
8. APPLY TEMPORARY SEEDING WHENEVER GRADING OPERATIONS ARE HALTED OVER 14 DAYS.
9. SEEDING SHALL BE DROUGHT TOLERANT, HYBRID KENTUCKY 31 (JAGUAR, LANCER, REBEL II, FALCON II, ETC.) SEED AT A RATE OF 6-8 LBS./1000 S.F. NITROGEN. IF GRADING IS PERFORMED DURING THE WINTER MONTHS, SEED MIXTURE SHALL BE SUPPLEMENTED WITH A WINTER RYE OR OTHER APPROPRIATE MIXTURE TO ASSURE STABILIZATION DURING THE WINTER SEASON.
10. TOTAL DISTURBED AREA CALCULATED TO BE LESS THAN 0.13 ACRES. MAXIMUM DISTURBANCE AT A GIVEN TIME CALCULATED TO BE EQUAL TO APPROXIMATELY 1,200 S.F.
11. DISTURBED AREA SHALL BE RESTORED TO NEAR ORIGINAL CONDITION (CONCRETE, ASPHALT, GRASS, ETC.).

4 EROSION CONTROL NOTES
- N.T.S.

EROSION CONTROL NOTES:

1. OWNER: KUB - PO BOX 59017, KNOXVILLE, TN 37950-9017.
2. THIS PROJECT INCLUDES THE INSTALLATION OF APPROXIMATELY 5,600 L.F. OF 2" MOPE GAS LINE.
3. TOTAL DISTURBED AREA IS APPROXIMATELY 0.26 ACRES.
4. ALL CONSTRUCTION LIES ABOVE THE 100 YEAR FLOOD HAZARD.
5. EROSION AND SEDIMENT CONTROL SHALL BE THE CONTRACTOR'S RESPONSIBILITY FOR COMPLIANCE, INSTALLATION, MAINTENANCE AND REMOVAL CONTROLS SHALL BE CONSISTENT WITH THE TDEC EROSION AND SEDIMENT CONTROL HANDBOOK.
6. THE EROSION CONTROLS MUST BE INSTALLED ALONG THE WATER LINE ALIGNMENT WHERE THEY ARE NEEDED AND REMOVED WHEN THE AREA HAS BEEN STABILIZED. CHANGES MAY BE MADE TO IMPROVE EROSION AND SEDIMENT CONTROLS.
7. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
8. SILT FENCE SHALL BE INSTALLED AS REQUIRED TO PREVENT SEDIMENT FROM THIS PROJECT BEING DEPOSITED ON ADJACENT PROPERTY.
9. DISTURBED AREAS SHALL BE RESTORED TO NEAR ORIGINAL CONDITION (CONCRETE, ASPHALT, GRASS, ETC.).
10. CONTRACTOR SHALL NOT INSTALL SEDIMENT TRAPS SHOULD POTENTIAL EXIST FOR PAVEMENT FLOODING AND/OR WATER DAMAGE TO ADJACENT PROPERTY.
11. EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSPECTED BY THE CONTRACTOR AT THE END OF EACH DAY'S WORK AND AT THE END OF EACH AND EVERY RAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND OR REMOVAL OF ACCUMULATED SILTS AND SEDIMENTS FROM THE EROSION AND SEDIMENT CONTROL DEVICES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE OF SAID STRUCTURES. ALL SILTS AND/OR SEDIMENTS REMOVED FROM THE EROSION/SEDIMENT CONTROL DEVICES SHALL BE DEPOSITED ON SITE IN SUCH A MANNER AS TO PREVENT SAID SILTS AND/OR SEDIMENTS FROM REENTERING THE CONTROL DEVICES AND OR EXITING THE SITE THROUGH THE STORM DRAINAGE SYSTEMS AND/OR SURFACE DRAINAGE.
12. FAILURE TO INSTALL, OPERATE AND/OR MAINTAIN ALL EROSION CONTROL MEASURES SHALL BE JUSTIFICATION TO STOP CONSTRUCTION ON THE JOB SITE UNTIL SUCH MEASURES ARE CORRECTED IN ACCORDANCE WITH APPROVED PLANS OR AS DIRECTED BY THE OWNER.
13. THE CONTRACTOR SHALL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ON SITE ONTO PUBLIC ROADWAYS OR INTO STORM DRAINS SHALL BE REMOVED IMMEDIATELY.
14. UPON PIPE INSTALLATION, DISTURBED SOIL SHALL BE STABILIZED WITH TEMPORARY COVER OR PERMANENT VEGETATION AS REQUIRED EVERY TWO WEEKS AND PRIOR TO ANY RAIN EVENT.
15. MATERIAL STAGING AREA SHALL BE ENCOMPASSED WITH SILT FENCE IF THE AREA IS DISTURBED.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADDITIONAL EROSION CONTROLS CREATED BY DRAINAGE PATTERNS AT VARIOUS STAGES DURING CONSTRUCTION. DIFFICULTY IN CONTROLLING EROSION DURING ANY PHASE OF CONSTRUCTION SHALL BE REPORTED TO THE RPR IMMEDIATELY.
17. THE CONTRACTOR SHALL REMOVE ACCUMULATED SILT BEFORE THE SILT IS WITHIN 12-INCHES OF THE TOP OF THE SILT FENCE UTILIZED FOR EROSION CONTROL.
18. STRAW MULCHING SHALL BE USED WITH PERMANENT VEGETATION APPLICATIONS AND SHALL BE FREE OF WEED SEEDS AND SPREAD AT A RATE OF 90 POUNDS PER 1000 SQUARE FEET.
19. EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL ALL DISTURBED SOIL WITHIN THE CONSTRUCTION AREA HAS BEEN COMPLETELY STABILIZED WITH PERMANENT VEGETATION AND ALL ROADS/DRIVEWAYS HAVE BEEN PAVED.
20. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO OR CONCURRENT WITH LAND DISTURBING ACTIVITIES.
21. IN STREETS AND OTHER PAVED AREAS, REMOVE EXCAVATED MATERIALS FROM THE SITE AS CONSTRUCTION PROGRESSES TO PREVENT ANY EROSION OF THE EXCAVATED MATERIAL. IN OTHER AREAS, PLACE THE EXCAVATED MATERIAL SO AS NOT TO BLOCK ANY DRAINAGE AREAS. REPLACE EXCAVATED MATERIAL IN THE TRENCH IMMEDIATELY AFTER WORK HAS BEEN COMPLETED AND APPROVED BY THE OWNER.
22. RETAIN NATURAL VEGETATION WHENEVER FEASIBLE.
23. RESTORE AND COVER EXPOSED AREAS SUBJECT TO EROSION AS QUICKLY AS POSSIBLE BY MEANS OF SEEDING AND MULCHING. FIBER MATTING MAY BE NECESSARY AS REQUIRED BY OWNER.

5 EROSION CONTROL NOTES
- N.T.S.



NOTES:

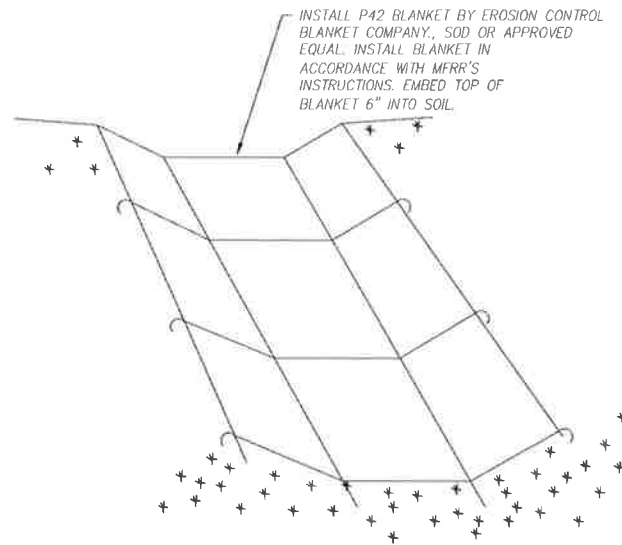
1. STONE SHALL BE 2"-3".
2. CONSTRUCT, MAINTAIN, AND REMOVE IN ACCORDANCE WITH THE TENNESSEE EROSION & SEDIMENT CONTROL HANDBOOK.

L = THE DISTANCE SUCH THAT POINTS ① AND ② ARE OF EQUAL ELEVATION.

NOTES:

- ① FILL LOW AREAS ALONG TOP OF BANK THAT WOULD ALLOW BACKWATER TO EXIT DITCH.

6 TEMPORARY ROCK CHECK DAM
- N.T.S.



7 CHANNEL EROSION PROTECTION
- N.T.S.

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SCALE
AS SHOWN

DATE
8-2-2018

KUB
ENGINEERING DIVISION

KNOXVILLE UTILITIES BOARD
CHOTO AREA
GAS MAIN IMPROVEMENTS
STANDARD DETAILS

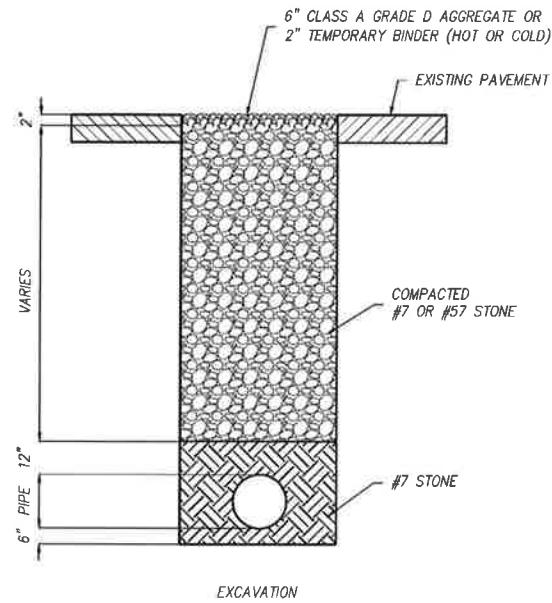
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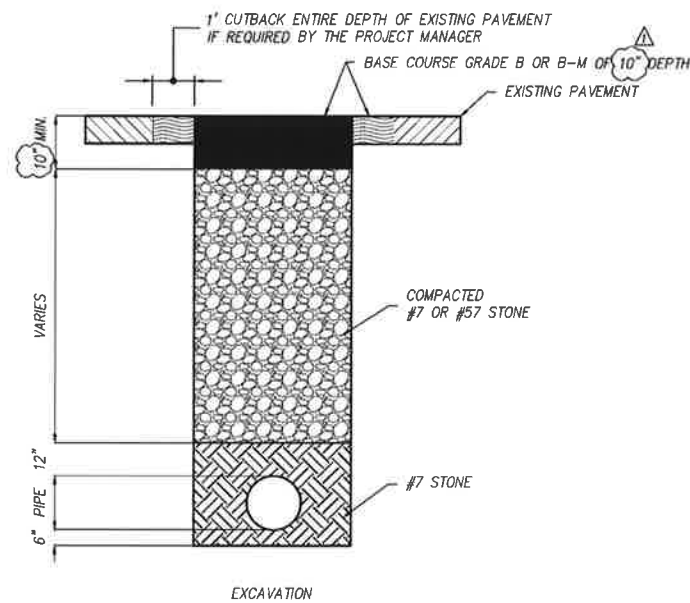
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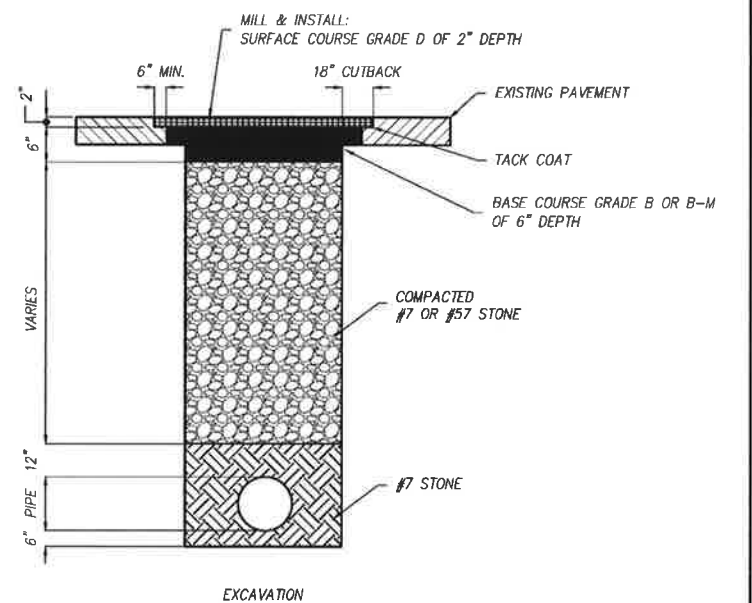
CONTROL NUMBER ??? - CHOTO AREA, GAS MAIN IMPROVEMENTS



TEMPORARY PAVEMENT REPAIR (INSTALLED BY CONTRACTOR)
N.T.S.



PAVEMENT REPAIR (INSTALLED BY CONTRACTOR)
N.T.S.



**PAVEMENT SURFACING
(INSTALLED BY OWNER OR CONTRACTOR)**
N.T.S.

TEMPORARY PAVEMENT REPAIR (INSTALLED BY CONTRACTOR)

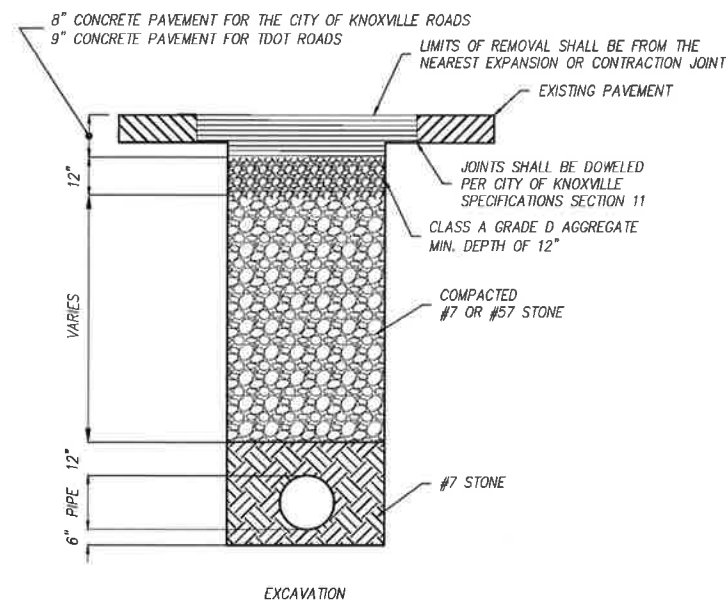
- NO. 7 STONE SHALL BE USED FOR PIPE BEDDING. PIPE BEDDING SHALL BE PLACED FROM 6" BELOW THE PIPE TO 12" ABOVE THE PIPE CROWN.
- NO. 7 OR 57 STONE SHALL BE COMPACTED IN MAXIMUM 12" LIFTS (WITH A MINIMUM OF 2 LIFTS) USING VIBRATORY COMPACTION EQUIPMENT REQUIRED TO ACHIEVE JOB SPECIFICATIONS.
- NO. 7 OR 57 STONE SHALL BE CONSOLIDATED TO A MINIMUM OF 95% MAXIMUM DRY DENSITY.
- 6" OF CLASS A GRADE D AGGREGATE OR 2" OF TEMPORARY BINDER (HOT OR COLD) SHALL BE COMPACTED UP TO THE PAVEMENT SURFACE.
- THE PAVEMENT REPAIR (INSTALLED BY CONTRACTOR) SHALL BE PLACED WITHIN 14 CALENDAR DAYS OF BACKFILL (OR 28 DAYS IF APPROVED BY THE OWNER). PRIMARY COLLECTOR OR ARTERIAL STREETS MUST HAVE 2" OF TEMPORARY BINDER WITHIN 2 CALENDAR DAYS OF BACKFILL.

PAVEMENT REPAIR (INSTALLED BY CONTRACTOR)

- AT THE TIME OF THE PAVEMENT REPAIR (INSTALLED BY CONTRACTOR) THE TEMPORARY PAVEMENT REPAIR SHALL BE REMOVED DOWN TO THE REQUIRED DEPTH LEAVING A MINIMUM OF 12" OF NO.7 OR 57 STONE.
- 8" OF BASE COURSE B OR B-M SHALL BE INSTALLED TO MATCH THE EXISTING PAVEMENT SURFACE COMPACTED IN A MINIMUM OF TWO 4" LIFTS.
- BASE COURSE LIFTS SHALL BE COMPACTED TO A MINIMUM OF 92% MAXIMUM THEORETICAL DENSITY.
- EXISTING CONCRETE STREETS THAT HAVE BEEN OVERLAID WITH ASPHALT PAVEMENT SHALL BE REPAIRED WITH NEW ASPHALT PAVEMENT. THE DEPTH OF THE NEW ASPHALT REPLACING THE CONCRETE SHALL BE A MINIMUM OF 8" COMPACTED IN A MINIMUM OF TWO 4" LIFTS PLUS THE THICKNESS OF THE OVERLAYING ASPHALT.
- CONCRETE STREETS WITHOUT ASPHALT OVERLAY SHALL BE REPAIRED FOLLOWING THE KUB PAVEMENT REPAIR STANDARD.

PAVEMENT SURFACING (INSTALLED BY OWNER OR CONTRACTOR)

- AT THE TIME OF PAVEMENT REPAIR (INSTALLED BY OWNER OR CONTRACTOR) THE BINDER SHALL BE MILLED TO THE REQUIRED DEPTH WITH 18 INCH CUTBACKS BEYOND THE EXCAVATED TRENCH WIDTH.
- 2" OF SURFACE COURSE GRADE D SHALL BE INSTALLED TO MATCH THE EXISTING PAVEMENT SURFACE AND COMPACTED.
- PAVEMENT SURFACING MAY BE BURNED IN USING THE PATCHMASTER METHOD IN LIEU OF MILL AND TOPPING.
- TO BE INSTALLED BY OWNER WITHIN 12 MONTHS AFTER INSTALLATION OF THE PAVEMENT REPAIRS DESCRIBED ABOVE.



PERMANENT CONCRETE REPAIR (INSTALLED BY CONTRACTOR)
N.T.S.

Equipment Type	Equipment Weight (tons)	Minimum Downward Force (lbs)	Minimum Frequency		Minimum Amplitude (inches)	Maximum lift thickness (inches)	Minimum number of passes required
			Hertz	VPM			
Steel wheeled vibratory roller – walk behind	< 1 ton	N/A	41	2460	0.02	Equipment weight < 1 ton – 4-6" 1 – 2 tons – 8" > 2 ton – 12"	5
Steel wheeled vibratory roller – walk behind	< 2 tons	N/A	30	1800	0.02		5
Steel wheeled vibratory roller – ride on	< 1 ton	N/A	30	1800	0.02		5
Steel wheeled vibratory roller – ride on	1 – 2 tons	N/A	30	1800	0.02		5
Steel wheeled vibratory roller – ride on	> 2 tons	N/A	30	1800	0.02		5
Walk behind vibratory plate compactor – single direction	< 1 ton	N/A	38	2280	0.03	Not to exceed 12"	4
Walk behind vibratory plate compactor – reversible	< 1 ton	N/A	38	2280	0.03		4
Backhoe vibratory plate attachment	N/A	7500	33	2000	0.02	Not to exceed 12"	3
Backhoe vibratory wheel attachment	N/A	7500	43	2500	0.085		3