



**AGENDA
FARRAGUT MUNICIPAL PLANNING COMMISSION**

**February 21, 2019
7:00 p.m. Farragut Town Hall**

For questions please e-mail Mark Shipley at mshipley@townoffarragut.org or Bart Hose at bhose@townoffarragut.org

- 1. Citizen Forum**
- 2. Approval of agenda**
- 3. Approval of minutes – January 17, 2019**
- 4. Discussion and public hearing on a final plat for the Brass Lantern Subdivision, Parcel 012, Tax Map 169, 801 McFee Road, 20.22 Acres, 31 Lots, Zoned R-1/OSR (Homestead Land Holdings, Applicant)**
- 5. Discussion and public hearing on a resubdivision plat for 12017 West Kingsgate Road to provide for a street connection from the Brookmere Subdivision to West Kingsgate Road, .36 Acres, Zoned R-2 (Homestead Land Holdings, Applicant)**
- 6. Discussion on a preliminary plat for the Ivey Farms Subdivision, Parcels 52, 54, 54.01, and 55, Tax Map 151, 110.92 Acres, 214 Building Lots, Zoned R-1/OSR (SITE Incorporated/Ryan M. Estabrooks, Applicant)**
- 7. Discussion and public hearing on a request from KUB for a gas main extension along a portion of Everett Road from the Split Rail Subdivision to the Town boundary (KUB, Applicant)**
- 8. Discussion and public hearing on request from Concord Telephone Company (TDS Telecom) to extend a 24-strand fiber optic cable along a roughly 50-foot section of the west side of N. Campbell Station Road and then along a roughly 350-foot section of the north side of Jamestowne Boulevard to service the Farragut Community Center/Knox County Senior Center project at 239 Jamestowne Boulevard (TDS Telecom, Applicant)**
- 9. Discussion on the adoption, by reference, of United States Postal Service specifications for Cluster Box Units and Wall-Mounted Centralized Mail Receptacles**



**MINUTES
FARRAGUT MUNICIPAL PLANNING COMMISSION**

January 17, 2019

MEMBERS PRESENT

Rita Holladay, Chairman
Ed Whiting, Secretary
Ron Williams, Mayor
Louise Povlin, Alderman
Betty Dick
Noah Myers
Jon Greene
Rose Ann Kile
Nick LiMandri

MEMBERS ABSENT

Ed St. Clair, Vice-Chairman

Staff Representatives: Mark Shipley, Community Development Director
Bart Hose, Assistant Community Development Director
Darryl Smith, Town Engineer

Chairman Holladay called the meeting to order at 7 p.m.

1. Citizen Forum

Chairman Holladay reminded commissioners to complete their State of Tennessee form concerning ethics. Chairman Holladay also noted that the trees planted in honor of Mayor McGill are complete.

2. Approval of agenda

Staff noted that Agenda Item #7 was requested for postponement by the applicant due to incomplete field items. *A motion was made by Commissioner Povlin to approve the agenda with Agenda Item #7 being removed. Motion was seconded by Commissioner Myers and motion passed unanimously.*

3. Approval of minutes – December 20, 2018

Staff recommended approval of the December 20, 2018 minutes. *A motion was made by Commissioner Povlin to approve the minutes as submitted. Motion was seconded by Mayor Williams and motion passed unanimously. Commissioners Kile and Greene abstained due to being absent at the December 20 meeting.*

**4. Approval of Roadway Improvements at intersection of Kingston Pike and Watt Road
(Town of Farragut, Applicant)**

Town Engineer, Darryl Smith, reviewed the project and recommended approval. *A motion was made by Commissioner Povlin to approve the roadway improvements. Motion was seconded by Mayor Williams and motion passed unanimously.*

5. Approval of Roadway Improvements at intersection of N. Campbell Station Road and Snyder Road (Town of Farragut, Applicant)

Town Engineer, Darryl Smith, reviewed the project and recommended approval. *A motion was made by Commissioner Povlin to approve the roadway improvements. Motion was seconded by Mayor Williams and motion passed unanimously.*

6. Discussion and public hearing on a request for a zoning map amendment to change the zoning on a portion of Parcel 005, Tax Map 151, 501 N. Watt Road, from Agricultural (A) to Neighborhood/Convenience Commercial (NCC), 5.2 Acres (approximately half in the Town and half in the County) (Richard Cox and Kathleen Cox, Applicant)

Staff reviewed this item and recommended approval of Resolution PC-19-02 which recommends approval of Ordinance 19-04. *A motion was made by Commissioner Povlin to approve Resolution PC-19-02. Motion was seconded by Commissioner Myers and motion passed unanimously.*

7. Discussion and public hearing on a final plat for the Brass Lantern Subdivision, Parcel 012, Tax Map 169, 801 McFee Road, 20.22 Acres, 31 Lots, Zoned R-1/OSR (Homestead Land Holdings, Applicant)

Removed from the agenda under Agenda Item #2.

8. Discussion on a resubdivision plat for 12017 West Kingsgate Road to provide for a street connection from the Brookmere Subdivision to West Kingsgate Road, .36 Acres, Zoned R-2 (Homestead Land Holdings, Applicant)

For discussion purposes only.

9. Discussion and public hearing on eliminating the Planned Commercial Development District (PCD)

Staff reviewed this item and recommended approval of Resolution PC-19-01 which recommends approval of Ordinance 19-03. *A motion was made by Commissioner Myers to approve Resolution PC-19-01. Motion was seconded by Commissioner Dick and motion passed 7-1 with Commissioner Povlin voting in opposition.*

10. Approval of Utilities

None.

The meeting adjourned at 8:09 p.m.

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on a final plat for the Brass Lantern Subdivision, Parcel 012, Tax Map 169, 801 McFee Road, 20.22 Acres, 31 Lots, Zoned R-1/OSR (Homestead Land Holdings, Applicant)

INTRODUCTION AND BACKGROUND: The Brass Lantern Subdivision off McFee Road received preliminary plat approval on June 6, 2018. Since that time the applicant has been working on installing the public improvements shown on the preliminary plat. The applicant is now requesting approval for a final plat that includes 30 house-lots and one large open space lot that surrounds the periphery and encompasses the westernmost portion of the development.

RECOMMENDATION: This item has been postponed at the previous two Planning Commission meetings due to incomplete field items. Field staff will monitor the progress and include a recommendation prior to the meeting. Included in your packet is a copy of the revised final plat along with the staffs' comments on the original plat. Assuming the field items are in a condition for final plat consideration, staff will make a recommendation at the meeting based on whether the plat related comments have been satisfactorily addressed.

Mark Shipley

From: Ryan Lynch <rlynch@lynchsurvey.com>
Sent: Tuesday, February 12, 2019 1:31 PM
To: Mark Shipley
Cc: Russell Rackley; Bart Hose; Darryl Smith; Matt Brazille; Scott Brewer; Lori Saal; Dan Johnson; Connor Vermilyea; David Smoak; Trevor Hobbs
Subject: Re: brass lantern plat comments

Please see our response below. Our copy printer is out of commission sorry for not delivering.

On Fri, Feb 1, 2019 at 10:16 AM Mark Shipley <mshipley@townoffarragut.org> wrote:

Hope you guys are doing well. Below are the comments on the Brass Lantern plat. Thanks.

*Remaining comments on the final plat for the
Brass Lantern Subdivision – February 1, 2019*

Planning Division: (Contact Mark Shipley at mshipley@townoffarragut.org) or Bart Hose at bhose@townoffarragut.org)

1. The walking trail easements, where not paralleling a property line or other surveyed feature, should include bearing and distance descriptions for reference. If possible, the trail and easement placement and/or property line configuration for Lot 15 should be re-visited to see if the trail easement could be on the open space lot; **We located the trail and it is now shown where constructed.**
2. Please include the certification for public sewer service; **We added see plat**
3. Iron pins should be set at all corners for final plat approval. Note #1 indicates they will be set following construction, please correct; **We added final plat see note see plat, FYI we should not set till after plat is recorded and gas lines are installed.**
4. Note #9 addresses 15-foot utility easements on water and sewer lines as installed. All such easements (any utility) falling outside of the standard utility and drainage easements on property lines must be located and shown on the plat; **they are all show and are correct**
5. Note #12 includes language referencing lot lines with 0 (zero) setbacks. We are not aware of any such lines in this subdivision and the note could create future confusion, please remove the language. If there are 0 (zero) setback lines in the development, they should be clearly identified on the plat; **Can we build all the way to a lot line as long as there remains a 20 foot separation between buildings? We revised language please review and give direction or approval.**
6. Note #16 states that no easements are being removed by the plat. This is inadequate. The plat should either include the Town's Release of Easements Certification, the surveyor should clearly note that no easements other than those shown exist on the property, or all existing easements should be located and shown on the plat. Please correct; **We feel this is adequate. We show all new easements and no easements are being removed by this plat so it should stand on its own.**

7. There is a minor typo in Note #13, please correct; **We corrected please see plat**
8. The surveyor needs to sign the plat; **Done**
9. The centralized mail facility is located on HOA property. Is an easement required for these facilities when they are being located on private property? **No**
10. The previously approved landscaping plan will have to be revised to accommodate the developments entrance sign and mail box facility. The revised plan will need to be reviewed and approved by the VRRB;
11. Please ensure that all required letters-of-credit, private restrictions & covenants, and any other required legal documentation has been submitted and approved;

Engineering Division: (Contact Darryl Smith at dsmith@townoffarragut.org)

12. Please complete all planned improvements prior to final plat approval, including stabilization (grass cover). Staff will prepare a punchlist as work nears completion;
13. Please submit verification (with as-built) of detention facilities. Verification should consider volume, capacity, location and performance with regards to model storm events;
14. Will surface course of asphalt and all sidewalk be completed prior to final plat? These are the only two items for which we can accept a letter of credit for completion. Staff will calculate amount for completion letter of credit; and
15. An irrevocable letter of credit for maintenance of roadway, sidewalk, walking trails and drainage elements will be required in the amount of \$50,000.

Ryan Lynch, RLS
Lynch Surveys LLC
4405 Coster Road
Knoxville, TN 37912
p 865.584.2630
f 865.584.2801
c 865.803.3467

TOTAL AREA = 20.22 ACRES
880,580 SQ.FT.

30 LOTS AND 1 OPEN LOT

OPEN SPACE:

TOTAL AREA 20.22 ACRES
OPEN SPACE LOT: 7.25 ACRES

% OF OPEN SPACE: 35.8%

Certificate of Electric, Gas and Telephone Availability

This is to certify that every lot within this subdivision has available to it a source for the service identified by signature(s) below which service source is adequate to accommodate the reasonable needs of such lot as to such service with such subdivision.

DATE: _____ GAS Name, Title & Agency of Authorized Approving Agent
DATE: _____ ELECTRIC Name, Title & Agency of Authorized Approving Agent
DATE: _____ TELEPHONE Name, Title & Agency of Authorized Approving Agent

NOTE REGARDING VARIANCES:

1. Variance from the Subdivision Regulation requiring more than one public street vehicular access into and out of the development.

PLANNING COMMISSION MEETING OF MAY 17, 2018: APPROVED

2. Variance from the Subdivision Regulation requiring a dead end street to be no more than 500 ft in length.

PLANNING COMMISSION MEETING OF MAY 17, 2018: APPROVED

Certificate of Ownership and Dedication

I (we) hereby certify that I am (we are) the owners of the property shown and described herein and that I (we) hereby adopt this plan of subdivision with my (our) free consent, establish the minimum building restriction lines, and dedicate all streets, alleys, walks, parks, and other open space to public or private use as noted.

DATE: _____ 20 _____ OWNER

CERTIFICATION OF COMMON AREAS DEDICATION
As owner, in recording this plot I have designated certain areas of land shown hereon as common areas intended for use by the homeowners within BRASS LANTERN for recreation and related activities. The above described areas are not dedicated for use by the general public, but are dedicated to the common use of the homeowners within the named subdivision.

"Declaration of Covenants and Restrictions," applicable to the above named subdivision, is hereby incorporated and made a part of this plot.

DATE / OWNER

CERTIFICATE OF APPROVAL FOR RECORDING

I hereby certify that the subdivision plot shown here has been found to comply with the Subdivision Regulations for Farragut, Tennessee, with the exception of such variances, if any, as are noted in the minutes of the Planning Commission and that it has been approved for recording in the Office of the County Register of Deeds.

DATE / SECRETARY, PLANNING COMMISSION

CURVE	BEARING	CHORD	RADIUS	LENGTH
C27	N19°09'36"E	14.26	10.00	15.88
C28	S15°58'50"W	52.56	35.00	59.46
C29	N34°35'47"E	19.72	35.00	19.99
C30	S38°00'06"W	32.29	72.00	32.57
C31	S09°03'40"W	39.65	72.00	40.17

CERTIFICATE OF APPROVAL OF STREET NAMES

This is to certify that the subdivision shown hereon has been reviewed for compliance with the Knox County Uniform Street Naming & Addressing System Ordinance, and the road names are hereby approved for recording.

Knox County Addressing Division / Date

CERTIFICATE OF APPROVAL OF WATER SYSTEM

I hereby certify that it has been certified to us that the water system(s) outlined or indicated on the final subdivision plot entitled

BRASS LANTERN SUBDIVISION - have been installed in accordance with current local and state government requirements.

DATE NAME, TITLE, AND AGENCY OF AUTHORIZED APPROVING AGENT

ZONING: R-2

LOCATION MAP NO SCALE

TOTAL BUILDING AREA

0.75 x 20.267 = 15.20 Ac
15.20 Ac x 0.25 = 3.8 Ac
3.8 Ac / 30 = 0.1267 Ac
= 5517.7 sf

TOTAL LOT COVERAGE

0.75 x 20.267 = 15.20 Ac
15.20 Ac x 0.35 = 5.32 Ac
5.32 Ac / 30 = 0.1773 Ac
= 7724.6 sf

NOTE:
NO TITLE REPORT WAS FURNISHED TO THIS SURVEYOR AND OTHER EASEMENTS AND/OR EXCEPTIONS NOT APPARENT IN THE FIELD MAY OR MAY NOT EXIST AND MAY BE REVEALED BY A TITLE SEARCH BY A TITLE ATTORNEY.

- WHERE MONUMENTATION WAS FOUND IT HAS BEEN IDENTIFIED. IRON PINS ARE TO BE SET AT ALL CORNERS. ALL NEW PROPERTY MONUMENTS ARE 1/2" x 18" REBAR IRON PINS WITH PLASTIC CAP STAMPED "LYNCH 2447" UNLESS OTHERWISE NOTED.(FINAL PLAT)
- CLT TAX MAP 162 012
- DEED REFERENCES - INST: 20118030-0052812
- THIS PROPERTY IS ZONED AS FOLLOWS: OSR-R1 (FARRAGUT)
- THIS PROPERTY DOES NOT LIE WITHIN A 100/500 YEAR FLOOD ZONE PER FIRM FLOOD INSURANCE RATE MAP NUMBER: 47093C0352F EFFECTIVE DATE: MAY 2, 2007.
- ALL UNDERGROUND UTILITIES ARE REFERENCED TO UTILITY COMPANIES MAPS AND ARE TO BE CONSIDERED APPROXIMATE.
- NORTH ROTATION: NAD83(NSRS2007)
- ALL WALKING TRAILS SHALL HAVE A 20' EASEMENT IN FAVOR OF THE TOWN OF FARRAGUT AND ARE RESERVED FOR PUBLIC USE. UPON COMPLETION OF CONSTRUCTION OF WALKING TRAILS AND RELEASE OF 2-YEAR LETTER OF CREDIT, THE TOWN OF FARRAGUT SHALL ACCEPT MAINTENANCE AND LIABILITY OF USE OF SAID EASEMENTS.
- A 15' UTILITY EASEMENT EXISTS, 7.5 EITHER SIDE OF WATER AND SEWER LINES AS INSTALLED.
- BUILDING SETBACKS FOR (R1, OSR) ZONING ARE AS FOLLOWS:
FRONT YARD: 20 FEET
FRONT FACING GARAGE: 30 FEET
SIDE YARD: (MINIMUM OF 20 FEET BETWEEN BUILDINGS)
REAR: 25 FEET
PERIPHERY PROPERTY LINE: 50 FEET
- REFERENCE TO TDOT R.O.W. MAP FOR MCFEE ROAD LAST REVISED 03-18-2005 KNOX COUNTY PROJ 47956-3519-54 TOD PROJ STP-M-4700(39)
- 10' UTILITY AND DRAINAGE EASEMENTS ALONG ALL LOT LINES ADJOINING STREETS, 5' UTILITY AND DRAINAGE EASEMENTS ALONG ALL INTERIOR LOT LINES AND ANY OTHER EXTERIOR LOT LINES. ON LOT LINES WHERE BUILDING IS CLOSER THAN 5' THERE SHALL BE AN EASEMENT UP TO THE BUILDING LINE.
- THE HOME OWNERS ASSOCIATION SHALL BE RESPONSIBLE FOR MAINTAINING ALL LANDSCAPING IN STREET MEDIAN ISLANDS AND IN THE ENTRANCE AREA.
- THE PURPOSE OF THIS PLAT IS TO CREATE A 30 LOT SUBDIVISION.
- OE = STORM WATER DRAINAGE EASEMENT
- NO EASEMENTS ARE BEING REMOVED BY THIS PLAT
- 25' AQUATIC BUFFER:
BUFFER IS MEASURED 25' PERPENDICULAR FROM THE TOP OF BANK ALONG EXISTING STREAM AS SHOWN HEREON; THERE SHALL BE NO CLEARING, GRADING, CONSTRUCTION OR DISTURBANCE OF SOIL AND/OR NATIVE VEGETATION EXCEPT AS PERMITTED BY THE TOWN OF FARRAGUT

GPS SURVEY NOTE
ALL BOUNDARY MONUMENTS AND SURVEY CONTROL WAS PERFORMED USING GPS RECEIVER: TOPCON Hiper SR NETWORK ROVER, DUAL FREQUENCY WAS USED (L1,L2) GPS SURVEY PERFORMED WAS NETWORK ADJUSTED REAL TIME KINEMATICS BASED ON TDOT GNSS NETWORK NAD83(NSRS2007) VERTICAL DATUM IS NAVD83, GEOD09 PRECISION OF THE GPS WORK RPA: 4 CM PLUS 50 PARTS PER MILLION (BASED ON THE DIRECT DISTANCE BETWEEN THE TWO CORNERS BEING TESTED) DISTANCES HAVE NOT BEEN REDUCED TO GRID.

CERTIFICATE OF SURVEY ACCURACY

I hereby certify that the plan shown and described herein is a true and correct survey to the accuracy required by the Farragut Municipal Planning Commission and that the monuments have been placed as shown hereon, to the specification of the Subdivision Regulations. This is a Category I Land Survey and the ratio of precision of the unadjusted survey is equal to or greater than 1:10,000.

DATE: _____ REGISTERED SURVEYOR
No. 2447

FINAL PLAT OF:

ZONING: R-2

APPROXIMATE CENTERLINE OF STORM WATER SYSTEM

CURVE	BEARING	CHORD	RADIUS	LENGTH
C1	S10°36'24"W	87.82	100.00	90.91
C2	N25°13'16"E	69.47	100.00	70.95
C3	N54°58'23"E	49.13	150.00	49.35
C4	S62°00'22"W	16.70	200.00	16.71
C6	S27°43'48"W	53.66	112.91	54.18
C7	S11°44'38"W	8.82	112.91	8.82
C8	N25°13'16"E	52.10	75.00	53.21
C9	N54°58'23"E	40.94	125.00	41.13
C10	S62°00'22"W	18.79	225.00	18.79
C12	N23°42'53"E	69.13	125.00	70.04
C12b	N06°16'43"E	6.04	125.00	6.04
C13	N42°39'26"E	12.60	125.00	12.61
C14	N54°58'23"E	57.32	175.00	57.58
C15	S62°00'22"W	14.61	175.00	14.62
C16	N76°48'31"E	44.34	75.00	45.02
C17	S84°45'23"E	3.24	75.00	3.24
C18	S53°09'07"W	68.62	50.00	75.63
C19	S19°50'27"E	49.49	50.00	51.77
C20	S73°10'25"E	40.15	50.00	41.31
C21	N52°56'57"E	50.31	50.00	52.72
C22	S35°58'04"W	34.31	75.00	34.62
C23	S54°24'10"W	13.62	75.00	13.64
C24	S19°17'41"W	2.09	25.00	2.09
C25	S84°28'47"W	44.46	25.00	54.79
C26	N04°09'55"E	30.31	25.00	32.58

CERTIFICATE OF APPROVAL OF SEWER SYSTEM

I hereby certify that it has been certified to us that the sewer systems outlined or indicated on the final subdivision plot entitled BRASS LANTERN have been installed in accordance with current local and state government requirements.

DATE

NAME, TITLE, AND AGENCY OF AUTHORIZED APPROVING AGENT

LINE	BEARING	DISTANCE
L1	S33°08'49"E	20.16
L2	N01°03'59"W	46.59
L3	S04°53'42"W	22.51
L4	S82°09'41"E	48.20
L5	N16°53'39"E	20.72
L6	S04°53'42"W	21.88

GRAPHIC SCALE



(IN FEET)
1 inch = 100 ft.

FOR:

Homestead Land Holdings
122 Permitter Park Road
Knoxville, Tennessee 37922
Phone: (865) 690-3200

BRASS LANTERN
Knoxville, Tennessee 37921
Town of Farragut, Tennessee

PROJECT NO
4063-3FP

LYNCH SURVEYS LLC
SUBDIVISIONS | AS-BUILTS | SITE DESIGN
4405 CDBSTER RD. KNOXVILLE, TENN. 37912
866-584-2690 FAX: 866-584-2801 WWW.LYNCHSURVEY.COM

REVISIONS
DRAWN BY: M. STRANGE
CHECKED BY: R. LYNCH
APPROVED BY: R. LYNCH
SCALE: 1" = 100'
DATE: 11/19/2018

1. Modify Lot 30 01/24/2019
2. TOP COMMENTS 02/17/2019
3.
4.
5.
6.

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on a resubdivision plat for 12017 West Kingsgate Road to provide for a street connection from the Brookmere Subdivision to West Kingsgate Road, .36 Acres, Zoned R-2 (Homestead Land Holdings, Applicant)

INTRODUCTION AND BACKGROUND: At the January Planning Commission meeting, staff presented some questions for Commissioners to consider for the applicant to proceed with finalizing a resubdivision plat that would help provide for a street connection from the Brookmere Subdivision to West Kingsgate Road.

DISCUSSION: The applicant has submitted a plat to address the feedback provided at the January Planning Commission meeting. Prior to taking action on the plat, the applicant has requested variances from the Subdivision Regulations for a reduction in the street width from 26 feet to 20 feet and to reduce the intersection curb radii from 25 feet to 20 feet at the intersection with West Kingsgate Road. Action will first be needed with regards to these variances. Staff supports both variance requests.

RECOMMENDATION: Included in your packet is a copy of a revised resubdivision plat along with staff comments on the initial resubdivision plat. Also included is a proposed street layout and grading plan for the street that will connect Brookmere to Kingsgate. Staff will make a recommendation at the meeting based on whether staffs' comments have been addressed.

Mark Shipley

From: Ryan Lynch <rlynch@lynchsurvey.com>
Sent: Tuesday, February 12, 2019 1:38 PM
To: Mark Shipley
Cc: Russell Rackley; Bart Hose; Connor Vermilyea; Darryl Smith; Bud Mckelvey; Dan Johnson
Subject: Re: resub plat for Lot 23 Kingsgate

Please see below for comment response.

On Fri, Feb 1, 2019 at 9:04 AM Mark Shipley <mshipley@townoffarragut.org> wrote:

Below are the staff comments on the resub plat for Lot 23 in Kingsgate. This will be discussed next Tuesday at 10:30 at the staff/developer meeting. Thanks.

Lot 23 Kingsgate Final Resubdivision Plat

1. The plan for the property is to replat it with a 30-foot multimodal transportation (vehicular, pedestrian, bicycle) access easement in favor of the Town for public access, along with related drainage needs, and possible utility extension rights for the adjoining Homestead Land Holdings Brookmere Development. The submitted plat includes numerous references to a 25-foot public right-of-way. Please discuss easement with staff and correct all such references and related information on the plat; **Revised to remove old design language and now shows approved design criteria.**
2. Language for the access easement must be approved by the Town Attorney; **The town should provide the language via record-able easement agreement and we will review and record with the plat. The easement is in favor of PUBLIC via TOWN so we think it best for your attorney to draft.**
3. The requested variances section of the plat contains errors and inconsistencies with respect to the plans as discussed with the planning commission, please discuss with staff and make all necessary corrections; **We revised and removed erroneous language**
4. The location of the 30-foot easement is only 12.88 feet from the entrance to the garage. This will create a situation where a car parked in the driveway will encroach upon the easement. What are the legal implications of this?; **Not sure probably no more than parking in any other ROW.**
5. Note #10 includes language referencing private ROWs and lot lines with 0 (zero) setbacks. Please remove this language from the note; **Revised please see note**
6. Please remove the "proposed building setback" line on the adjoining lot; **Done**
7. Plat certificates should include both public water and sewer availability (or construction). Please include all required certificates; **Added**
8. The plat should either include the Town's Release of Easements Certification, the surveyor should clearly note that no easements other than those shown exist on the property, or all existing easements should be located and shown on the plat. Please correct; **Done**
9. The surveyor needs to sign the plat; **Done**
10. Please ensure that all required letters-of-credit, private restrictions & covenants, and any other required legal documentation has been submitted and approved.

TOTAL AREA
0.36 ACRES

ORIGINAL LOT SIZE
15,797 sq. ft.
0.36 Acres

REQUESTED VARIANCES:

- 20' WIDE CURBED MULTI MODAL FACILITY
- 20' CURB RADII AT INTERSECTIONS

Certificate of Ownership and Dedication

I, (We) hereby certify that I am (we are) the owners of the property shown and described hereon and that I (we) hereby adopt this plan of subdivision with my (our) free consent, establish the minimum building restriction lines, and dedicate all streets, alleys, walks, parks, and other open space to public or private use as noted.

DATE: 20

OWNER

HOMESTEAD LAND HOLDINGS LLC
152 044
INST: 20180515-0067380

OSULLIVAN
152FA021

KINGSGATE SUBDIVISION
UNIT 2
CAB E SLIDE 26D
INST: 197108160021439

FRANKHOUSER
152FA023

KINGSGATE SUBDIVISION
UNIT 2
CAB E SLIDE 26D
INST: 197108160021439

CERTIFICATE FOR STREET APPROVAL

I certify that streets, sidewalks, and other required improvements have been installed in an acceptable manner and according to Town specifications, or that a security bond in the amount of \$ has been posted with the Planning Commission to assure completion of all required improvements in case of default. Streets (are) public streets maintained at public expense.

DATE TOWN ENGINEER

License No.:

Certificate of Electric, Gas and Telephone Availability

This is to certify that every lot within this subdivision has available to it a source for the service identified by signature(s) below which service source is adequate to accommodate the reasonable needs of such lot as to such service with such subdivision.

Date GAS Name, Title & Agency of Authorized Approving Agent

Date ELECTRIC Name, Title & Agency of Authorized Approving Agent

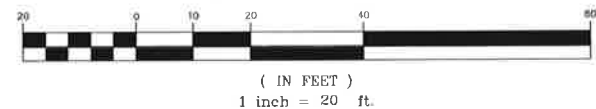
Date TELEPHONE Name, Title & Agency of Authorized Approving Agent

CERTIFICATE OF APPROVAL OF STREET NAMES

This is to certify that the subdivision shown hereon has been reviewed for compliance with the Knox County Uniform Street Naming & Addressing System Ordinance, and the road names are hereby approved for recording.

Knox County Addressing Division / Date

GRAPHIC SCALE



LYNCH SURVEYS LLC
SUBDIVISIONS | AS-BUILTS | SITE DESIGN
4405 COSTER RD. KNOXVILLE, TENN. 37912
865-554-2630 FAX: 865-554-2801 WWW.LYNCHSURVEY.COM

CERTIFICATE OF APPROVAL OF WATER SYSTEM

I hereby certify that it has been certified to us that the water system(s) outlined or indicated on the final subdivision plat entitled

KINGSGATE SUBDIVISION - have been installed in accordance with current local and state government requirements.

Date Name, Title, and Agency of Authorized Approving Agent



FOR:

HomeStead Land Holdings
122 Perimeter Park Rd
Knoxville, Tennessee 37922
Phone 865-690-3200

RESUBDIVISION OF:

Lot 23 Kingsgate
CLT: 152FA022
Knoxville, Tennessee 37934
District FW, Knox County, Tennessee

PROJECT NO.
4040-5

LOCATION MAP - NTS

- IRON PINS SET AT ALL CORNERS, BY THIS SURVEY, UNLESS OTHERWISE NOTED. ALL NEW PROPERTY MONUMENTS ARE 1/2" x 18" REBAR IRON PINS WITH PLASTIC CAP STAMPED "LYNCH 2447".
- CLT TAX MAP 152F GROUP A PARCEL 022.
- DEED REFERENCES - 20180515-0067382
PLAT REFERENCE - KINGSGATE SUBDIVISION UNIT 2
CAB 3 SLIDE 26D
- THIS PROPERTY IS ZONED AS FOLLOWS:
(PARCEL 022) R-2
- THIS PROPERTY DOES NOT LIE WITHIN A 100/500 YEAR FLOOD ZONE PER FIRM FLOOD INSURANCE RATE MAP NUMBER: 47093C0356F EFFECTIVE DATE: MAY 2, 2007.
- ALL UNDERGROUND UTILITIES ARE REFERENCED TO UTILITY COMPANIES MAPS AND ARE TO BE CONSIDERED APPROXIMATE.
- NORTH ROTATION: NAD83(NSRS2007)
- UNDERGROUND UTILITIES ARE REFERENCED TO UTILITY COMPANY MAPS AND FIELD EVIDENCE AND ARE TO BE CONSIDERED APPROXIMATE.
- THE PURPOSE OF THIS PLAT IS TO CREATE A NEW 30 FOOT PUBLIC R.O.W. EASEMENT
- NO EASEMENTS ARE BEING ELIMINATED BY THIS PLAT.

CERTIFICATE OF APPROVAL FOR RECORDING

I hereby certify that the subdivision plot shown here has been found to comply with the Subdivision Regulations for Forragut, Tennessee, with the exception of such variances, if any, as are noted in the minutes of the Planning Commission and that it has been approved for recording in the Office of the County Register of Deeds

Date / Secretary, Planning Commission

GPS SURVEY NOTE:
ALL BOUNDARY MONUMENTS AND SURVEY CONTROL WAS PERFORMED USING GPS RECEIVER: TOPCON Hiper SR NETWORK ROVER, DUAL FREQUENCY WAS USED (L1,L2) GPS SURVEY PERFORMED WAS NETWORK ADJUSTED REAL TIME KINEMATICS BASED ON TDOT GNSS NETWORK NAD83(NSRS2007) VERTICAL DATUM IS NAVD83, GEOID09, PRECISION OF THE GPS WORK RPA: 4 CM PLUS 50 PARTS PER MILLION (BASED ON THE DIRECT DISTANCE BETWEEN THE TWO CORNERS BEING TESTED). DISTANCES HAVE NOT BEEN REDUCED TO GRID.

CERTIFICATE OF SURVEY ACCURACY

I hereby certify that the plan shown and described hereon is a true and correct survey to the accuracy required by the Forragut Municipal Planning Commission and that the monuments have been placed as shown hereon, to the specification of the Subdivision Regulations. This is a Category I Land Survey and the ratio of precision of the unadjusted survey is equal to or greater than 1:10,000.

Date Registered Surveyor No.

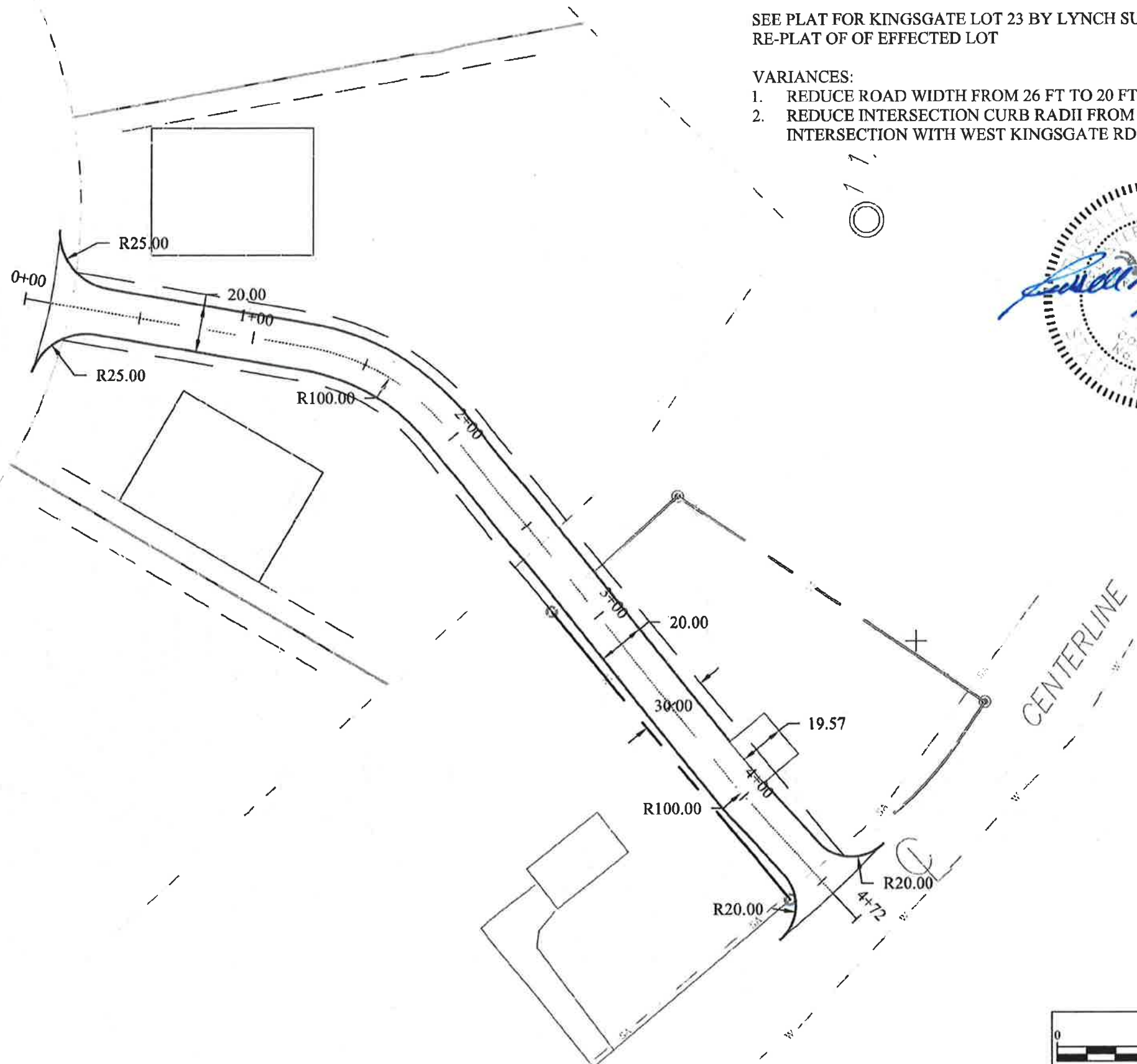


REVISION TO BROOKMERE CONCEPT SHEET 4 OF 16 APPROVED AT APRIL 2018 FMPC MEETING.

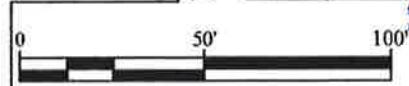
REVISE CONNECTION TO KINGSGATE FROM 20' EASEMENT WITH FIRE APPARATUS ACCESS TO 30' PUBLIC ACCESS AND UTILITY EASEMENT WITH 20 FOOT WIDE CURBED STREET.

SEE PLAT FOR KINGSGATE LOT 23 BY LYNCH SURVEYING FOR RE-PLAT OF OF EFFECTED LOT

- VARIANCES:
- 1. REDUCE ROAD WIDTH FROM 26 FT TO 20 FT
 - 2. REDUCE INTERSECTION CURB RADII FROM 25' TO 20' AT INTERSECTION WITH WEST KINGSGATE RD.



Designed By:	ENR	Checked By:	ENR	Date:	12/13/18	Sheet Number	CP-R1
BROOKMERE FARRAGUT, TN CONCEPT REVISION							



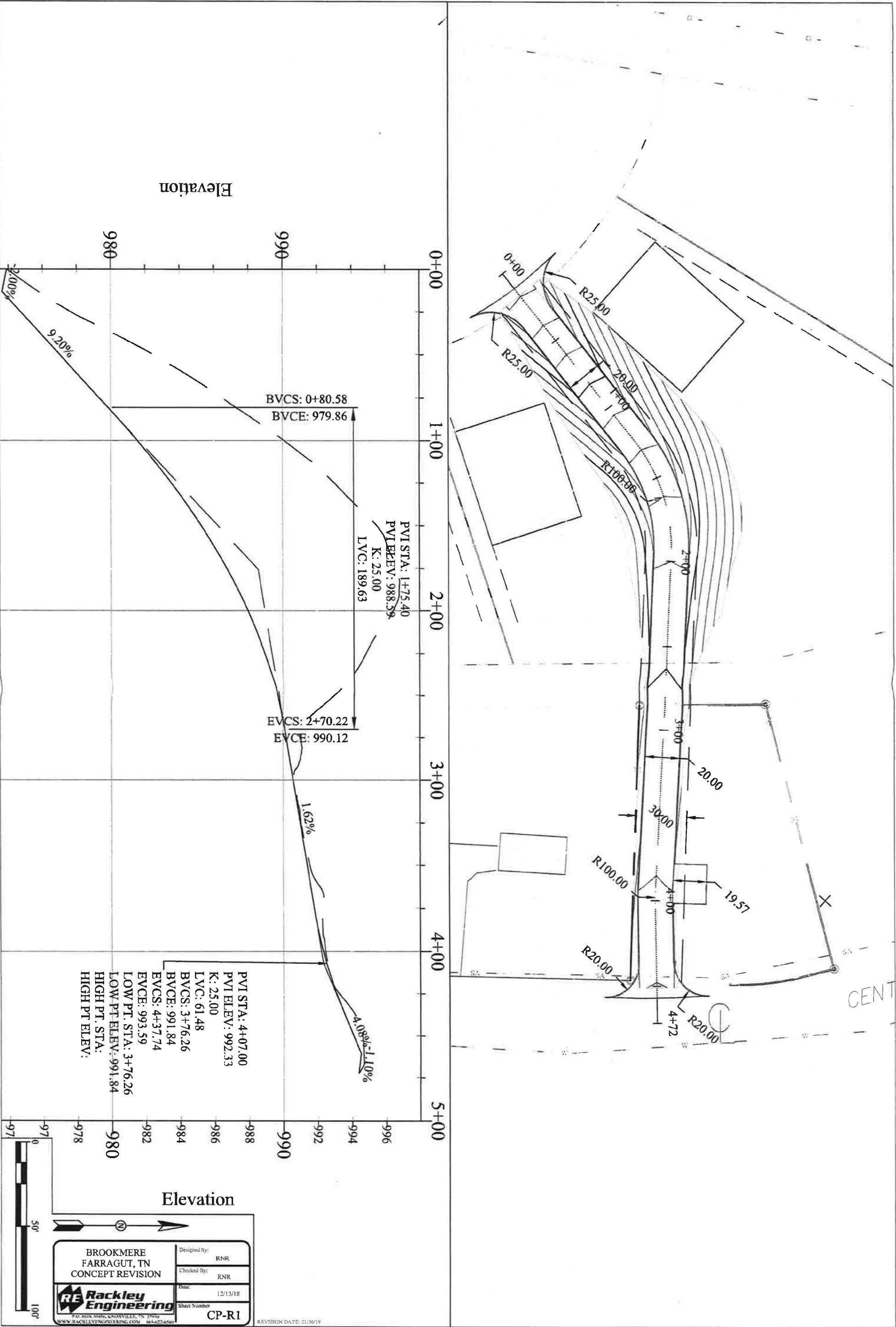
REVISION DATE: REVISED TO FMPC COMMENTS 01/08/19

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JAN 30 2019

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JAN 30 2019

TOWN OF FARRAGUT



REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion on a preliminary plat for the Ivey Farms Subdivision, Parcels 52, 54, 54.01, and 55, Tax Map 151, 110.92 Acres, 214 Building Lots, Zoned R-1/OSR (SITE Incorporated/Ryan M. Estabrooks, Applicant)

INTRODUCTION AND BACKGROUND: This item involves a workshop discussion of a preliminary plat for the full build out of the Ivey Farms Subdivision. Though the preliminary plat includes the entire 110.92 acres, the development will be phased so that no more than 50 acres is disturbed at one time. This is a TDEC requirement and the phasing has now been shown on the latest preliminary plat sheets.

As you may recall, at the July 19, 2018 Planning Commission meeting, a concept plan for the Ivey Farms property was conditionally approved. This plan included 211 building lots, a vehicular connection to Pecos Road in the Saddle Ridge Subdivision, and an elaborate system of sidewalks and walking trails.

DISCUSSION: As submitted, the preliminary plat is largely consistent with the concept plan. Some exceptions include a new location for the clubhouse, more select placement of walking trails, some modification to street layouts, and the inclusion of additional traffic calming applications throughout the development.

Consistent with the Town's requirements in the Subdivision Regulations, both the concept plan and the preliminary plat provide for more than one vehicular access into and out of the property at both Union and Pecos Road. As you may recall, a major finding of the Comprehensive Land Use Plan (CLUP) Update in 2012 was a lack of vehicular connectivity. The Plan notes that single entry subdivisions have created negative impacts on the larger community in the form of congestion and longer distances to travel. Having better connectivity provides more options for travel and thereby reduces congestion. It spreads traffic flow over a larger street network and lessens overloading any one street or street section. It also improves the efficiency of school buses and emergency services and provides access when one entry may be blocked. The CLUP also includes transportation maps which show both pedestrian and vehicular connections from the Ivey Farms property to abutting developments. As noted during the concept plan approval, one such vehicular connection is Pecos Road which was stubbed into the Ivey Farms property when Unit 2 of the Saddle Ridge Subdivision was final platted.

As provided for in the OSR Zoning District, both the concept plan and the preliminary plat appear to take into consideration the natural features of the property. Though the OSR District requires a minimum of 35% open space, the proposed preliminary plat includes 47% open space. The applicant is requesting a variance for the length of the cul-de-sacs identified as Roads A, B, C, and E. These all exceed, to a varying degree, the maximum length permitted of 500 feet. A variance has also been requested for the width (26 to 22 feet) and right of way (50 to 40 feet) for Road E. If this street layout is acceptable with the Planning Commission, the variances will be acted on when the plat is proposed for a vote (likely at the March meeting).

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FEB 11 2019

TOWN OF FARRAGUT



Civil Engineers

February 11, 2019

Mark Shipley
Town of Farragut
11408 Municipal Center Dr.
Farragut, TN 37934

Re: Staff comments on site plan for Ivey Farms Preliminary Plat

Dear Mark,

Please find attached our revised plans per Staff comments dated 1/30/19. We have provided responses to comments below.

- 1) The rezoning agreement must be finalized between the Town Attorney and the applicant's attorney;
Response: Owner/Developer shall coordinate with the Town Attorney.
- 2) Please include overall number and approximate acreage of lots being created (including open space lots);
Response: Information has been added to the Preliminary Plat.
- 3) The staff would like to discuss the possibility of establishing finish floor elevations (F.F.E) for potential flooding on lots 16 – 24. We would like to look at the existing topography, proposed grading, and roadway stream crossing elevations to determine if the structures should be elevated above the proposed grades;
Response: Road E is approximately 17 feet above the creek top of bank. Even with lots 16-24 having potential basements the basement finished floor elevation would be 8-10 feet above the creek top of bank. Therefore, flooding will not be an issue for lots 16-24.
- 4) Please consider adding a second mail facility for the 24 lots served by the cul-de-sac near the subdivision entrance off Union Road. These lots would not be able to access the planned facility on their way into or out of the development;
Response: A second mail facility has been added to Road E.
- 5) Please address the relationship between the sidewalk termination shown on sheet C.4.2 at Union Road, the proposed multi-use trail along Union Road (by others), and pedestrian connectivity along the proposed Ivey Farm Road and the Swan Farm development. Specifically, how and where will pedestrians walking from the subdivision cross the various roadways involved to access the residential and commercial developments proposed for the Swan Farm;
Response: Access will be provided by the use of crosswalks and sidewalks along and across Union Road.
- 6) Are there any open space lots in adjoining subdivisions to tie into for habitat corridor purposes?
Response: Neighboring open space lot labels have been added.

- 7) From a streetscaping perspective, the proposed street trees should align with property lines to avoid driveway location conflicts and potential utility conflicts, please check and adjust where necessary;
Response: Streetscaping has been adjust to the property lines or the center of the lots to avoid future driveway.
- 8) Some grading appears to suddenly stop at the buffer strip limit and there are some areas where it appears grading is proposed within the buffer strip area. This may be allowed if there are no trees in the area and the finished grade is no steeper than 4:1;
Response: We are assuming trees are within the buffer until it can be field verified otherwise.
- 9) FUD will need to sign off on the water and sewer related plan sheets;
Response: Noted.
- 10) Please provide E&SC plan on sheets with a smaller scale for clarity purposes. Erosion control features are difficult to discern at current scale;
Response: Smaller scale drawing will be provided.
- 11) Please provide forebay in sediment basins, as required in TDEC manual;
Response: Forebays have been added to the ponds.
- 12) Per the CGP, the required construction-related aquatic buffer must be calculated for each side of the stream individually. The northeast side of the stream appears to have a sufficient buffer; however, the southeast side appears deficient;
Response: Equivalent buffer shall be provided in areas that do not meet the 60ft buffer.
- 13) Please provide closure computations for the boundary traverses;
Response: Surveyor is currently working on providing this information.
- 14) Please finalize concept plan per Town of Farragut comments and resubmit;
Response: Revised Concept Plan will be provided.
- 15) Note to Planning Commission: Traffic Impact Study shows that signalization of the Kingston Pike intersection will be warranted by development of the Swan property alone, but not by development of the Ivey property alone. Planning Commission should consider at what point the developer will be required to signalize this intersection. Please note that TDOT's Region 1 Traffic Office must first determine at what point the intersection meets warrants and must approve of signalization plans. This determination is typically not made in advance of development, but after traffic patterns have emerged that warrant signalization;
Response: Noted.
- 16) All utilities must be approved by the respective owner prior to approval of a final plat;
Response: Noted.
- 17) Grade for multi-use path 2, from Station 10+00 to 12+50, is very steep. Is there a way to flatten or re-route the pathway to decrease the downhill grade?
Response: Grades have be revised in the area of concern.
- 18) Please provide details for Big R Super-Cor Box SB-9H (steel plate arch) over Town Creek;
Response: Details for the bridge will be provided once the plans have been completed.
- 19) Please clarify total disturbed acreage. Storm water calculations indicate 77 acres and plan sheets indicate 83 acres. Erosion control letter of credit calculation below is based on 83 acres of disturbance;
Response: Plans have been revised. 78 acres are to be disturbed in total.

- 20) Study Point B in the drainage calculations drains to an existing storm water pipe that already has significant drainage from the Saddle Ridge subdivision. Please provide pre and post development flows for this study area separately to confirm that post development flows are lower than predevelopment flows;

Response: Study Point B table has been added to the Drainage Report.

- 21) Please provide copies of state and federal construction permits, as necessary;

Response: Permits will be provided once they have been obtains.

- 22) Please provide a copy of the NOC;

Response: NOC will be provided once it has been received.

- 23) Please provide drainage permit fee of \$8,600;

Response: Owner shall provide the fees.

- 24) Please provide irrevocable letter of credit for erosion control for \$328,000. This is based upon the largest single phase of disturbance (Phase II limits of disturbance is 39.0 acres). Note that no phase can begin until stabilization is complete on preceding phases, including permanent stand of grass;

Response: Owner shall provided the letter of credit.

- 25) Please provide forebay in sediment basins, as required in TDEC manual;

Response: Forebays have been added to the sediment basins

- 26) Per the CGP, the required construction-related aquatic buffer must be calculated for each side of the stream individually. The northeast side of the stream appears to have a sufficient buffer; however, the southeast side appears deficient; and

Response: Equivalent buffer shall be provided in areas that do not meet the 60ft buffer.

- 27) SWPPP sheets are difficult to read at small scale. Recommend providing sheets for each section as was done for grading.

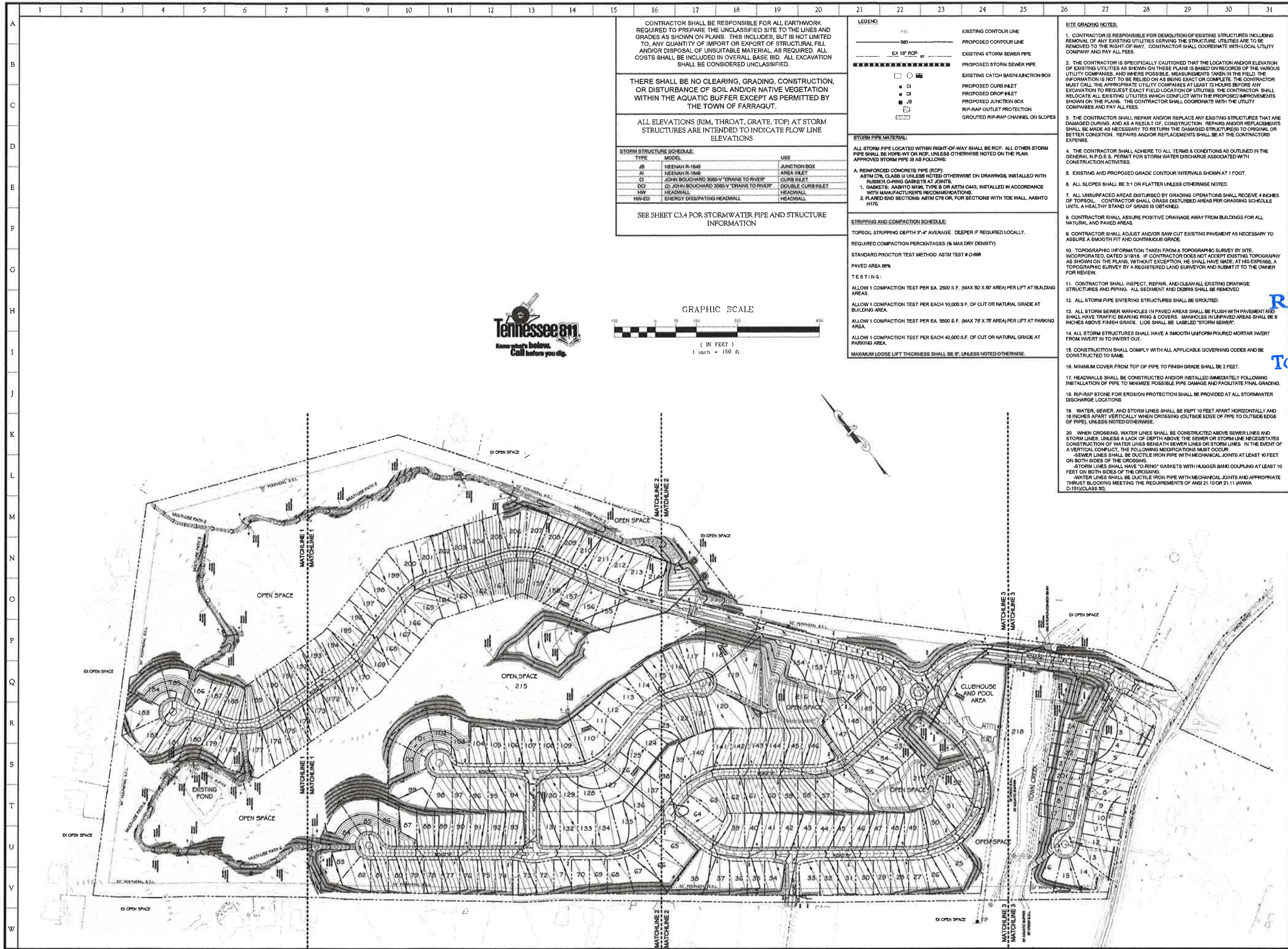
Response: Smaller scale drawing will be provided.

Please let us know if any of our responses are unclear or if you need additional information.

Sincerely,



Ryan M. Estabrooks, P.E.
SITE, Incorporated
Engineer of Record



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TOWN OF FARRAGUT

Site Grading Plan - Overall

Ivey Farms

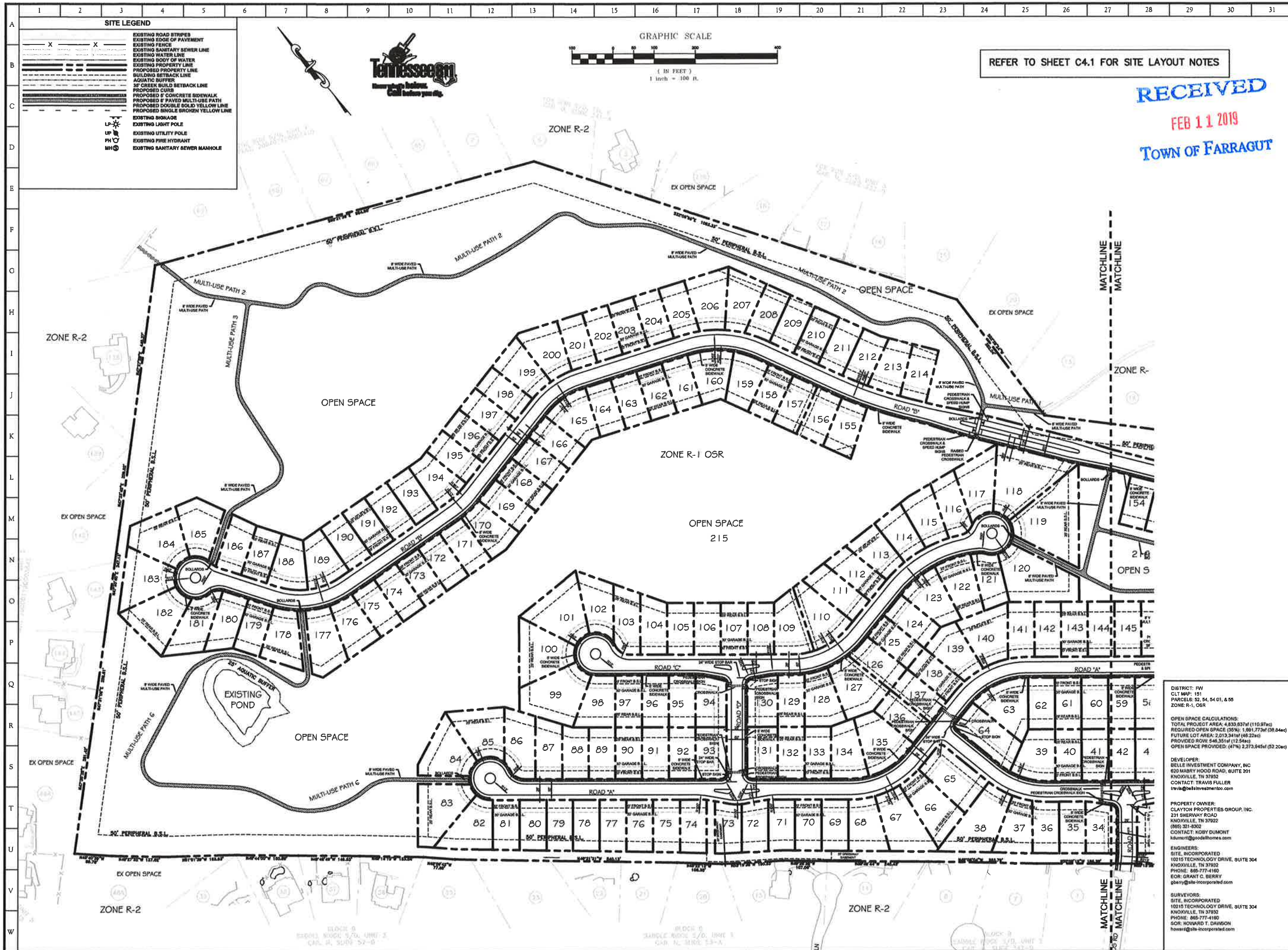
12733, 12737, 12743, & 12751 Union Road
Farragut, Tennessee 37934
Belle Investment Company, Inc.

DRAWN BY: JAE DATE: 12/17/18
CHECKED BY: RME FILE: 1901-Grading

NO.	DATE	COMMENTS
1	01/22/19	Revised per Town Comments
2	02/11/19	Revised per Town Comments

REVISIONS

C3.0
SHEET 14 of 84



SITE
INCORPORATED
Civil Engineers & Surveyors
10215 Technology Drive, Suite 304
Knoxville, TN 37932
Phone: (865) 777-4160
www.site-incorporated.com



Site Layout Plan - North

Ivey Farms

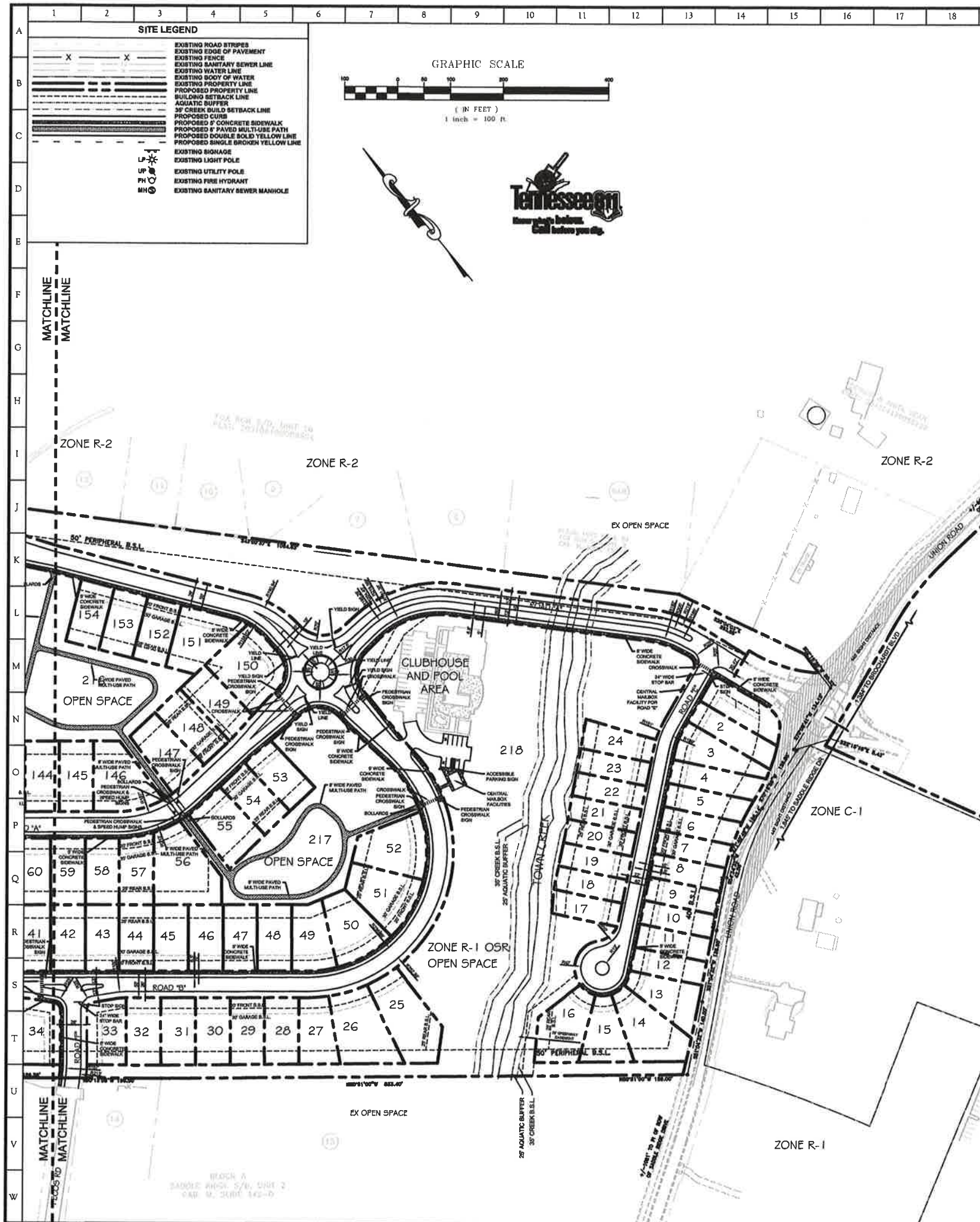
12733, 12737, 12743, & 12751 Union Road
Farragut, Tennessee 37934
Belle Investment Company, Inc.

DRAWN BY: JAE DATE: 01/22/19
CHECKED BY: RME FILE: 1951-Layout

REVISIONS

NO.	DATE	COMMENTS
1	02/27/19	Revised per Town Comments
2	02/27/19	Revised per Town Comments

C4.0
SHEET 19 OF 54



SITE PLAN NOTES:

1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.B.H.A. STANDARDS.
2. ALL DISTURBED AREAS NOT BUILT NOR PAVED UPON ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH, AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
3. ALL DIMENSIONS AND RADII ARE TO FACE OF CURB UNLESS OTHERWISE NOTED WITH AN *.
4. EXISTING STRUCTURES WITHIN THE CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED, OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO ALL UTILITIES, STORM DRAINAGE, SIGNS, FENCING, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
6. SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION WAS TAKEN FROM A SURVEY PROVIDED BY THE OWNER.
7. THE SITEWORK FOR THIS PROJECT SHALL MEET OR EXCEED THE SITE WORK SPECIFICATIONS. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.

HVAC SYSTEMS, ANTENNAS, AND SATELLITE DISHES WILL BE SCREENED SO THAT THEY ARE NOT VISIBLE FROM ADJACENT PROPERTIES AND RIGHT-OF-WAYS PER TOWN OF FARRAGUT REQUIREMENTS

ALL WALKING FACILITIES (WALKING TRAILS/SIDEWALKS) MUST BE COORDINATED WITH TOWN STAFF PRIOR TO CONSTRUCTION.

ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS NOTED WITH AN *. ALL DIMENSIONS NOTED WITH AN * ARE BACK OF CURB TO BACK OF CURB.

PROPERTY DATA	
LOT AREA:	110.92 ACRES
ZONING:	R-1 - RURAL SINGLE FAMILY RESIDENTIAL DISTRICT OSR - OPEN SPACE RESIDENTIAL OVERLAY DISTRICT
BUILDING SETBACKS:	
PERIPHERAL (UNION ROAD)	50'
FRONT	40'
FRONT FACING GARAGE	20'
SIDE (MIN 20' BETWEEN BUILDINGS)	30'
REAR	25'

SITE PAVING NOTES:

PAVING ELEVATION TOLERANCE:
PAVING ELEVATION SHALL BE INSPECTED BY PAVING CONTRACTOR FOR REQUIRED ELEVATION AND ADEQUATE COMPACTION BEFORE COMMENCING ANY PAVING ACTIVITY. PAVING ELEVATION SHALL NOT HAVE MORE THAN 1/4" DEVIATION IN ANY 10' INCREMENT.

PAVING THICKNESS TOLERANCE:
PAVING THICKNESS AT ANY ONE CORNER SHALL NOT BE LESS THAN 90% OF SPECIFIED THICKNESS. THE AVERAGE OF ALL APPROVED TESTS MUST BE AT LEAST EQUAL TO THE SPECIFIED THICKNESS FOR EACH MATERIAL. NOT MORE THAN 20% OF ALL APPROVED TESTS MAY FALL BELOW SPECIFIED MINIMUMS. ANY AREA FOUND TO BE LESS THAN 90% SPECIFIED THICKNESS SHALL BE OVERLAIN WITH ASPHALT AS DIRECTED BY SITE, INC.

TESTING DURING PLACEMENT:
GENERAL CONTRACTOR SHALL PERFORM SEVERAL SPOT CHECKS OF PAVING BASE THICKNESS PRIOR TO INSTALLATION OF ANY ASPHALTIC OR CONCRETE PAVING. DENSITY TESTS SHALL BE PERFORMED ON EACH LIFT AT THE RATE OF ONE TEST PER 10,000 SQUARE FEET.

CONTRACTOR SHALL PROVIDE FOR TESTING OF COMPLETED PAVING INSTALLATION FOR COMPLIANCE WITH DESIGN CRITERIA AND REQUIRED THICKNESS. CONTRACTOR SHALL REPLACE ALL NON-COMFORMING MATERIAL AT HIS OWN EXPENSE.

TESTING SHALL BE PERFORMED ONLY BY AN INDEPENDENT TESTING AGENCY APPROVED BY SITE, INC. TEST HOLES NOT SPOTTED BY SITE, INC. MAY NOT BE CONSIDERED ACCEPTABLE.

ALLOW A MINIMUM OF SIXTEEN CORE TESTS TO BE LOCATED ONLY BY WRITTEN INSTRUCTION BY SITE, INC.

THE PAVING CONTRACTOR SHALL REPAIR ALL CORING HOLES BY FILLING HOLES WITH CONCRETE FLUSH TO TOP OF PAVEMENT.

ASPHALTIC PAVING MATERIALS:
MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE SPECIFICATION OF THE HIGHWAY DEPARTMENT OF THE STATE IN WHICH THE PROJECT IS LOCATED. REFER TO PAVING MATERIALS LEGEND.

CONCRETE:
CONCRETE CURBING SHALL BE 4000 PSI 28 DAY STRENGTH 2" - 3" SLUMP, (NO CURS DEFORMATION) 3% - 5% AIR ENTRAINMENT. INSTALL WITH RC-70 TACK COAT EMULSION OVER ASPHALT.

PROVIDE CYLINDER BREAK TEST - 3500 L.F. OF CURBING OR 1-DAY POUR WITH BREAKS - 1 @ 7-DAYS, 2 @ 28-DAYS. COMPLY WITH ASTM C-31 AND ASTM C-39. ALSO PROVIDE ONE SLUMP TEST PER 500 L.F. OF CURBING OR 1-DAY POUR.

PROVIDE EXPANSION JOINT @ 50' O.C. (MAX) AND CONTROL JOINTS @ 20' O.C. (MAX) AT ALL CONCRETE PAVING AREAS. REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.

PAVEMENT MARKING:
PROVIDE PAVEMENT MARKING AS SHOWN ON THE DRAWINGS. STRIPING SHALL BE 4" WIDE OR AS NOTED OTHERWISE ON THE PLANS. ALL MARKINGS SHALL MEET THE TENNESSEE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, MARCH 1, 2006 (SECTION 918.23).

CONTRACTOR SHALL REMOVE ALL EXISTING PAVEMENT MARKINGS THAT DO NOT CONFORM TO TDOT STANDARDS FOR MODIFIED INTERSECTION.

TEMPORARY PAVEMENT LINE MARKINGS ON INTERMEDIATE LAYERS OF PAVEMENT SHALL BE REFLECTIVE TAPE OR REFLECTORIZED PAINT INSTALLED TO PERMANENT STANDARDS BEFORE DARK HOURS. SHORT, UNMARKED SECTIONS SHALL NOT BE ALLOWED.

ALL MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE MUTCD AND TDOT STANDARD DRAWINGS T-M-1 THROUGH T-M-4.

DISTRICT: FW
CLT MAP: 151
PARCELS: 52, 54, 54 01, & 55
ZONE: R-1, OSR

OPEN SPACE CALCULATIONS:
TOTAL PROJECT AREA: 4,833,837sf (110.92ac)
REQUIRED OPEN SPACE (35%): 1,691,723sf (38.84ac)
FUTURE LOT AREA: 2,013,341sf (46.22ac)
PROVIDED ROW: 548,331sf (12.54ac)
OPEN SPACE PROVIDED: (474) 2,273,845sf (52.20ac)

DEVELOPER:
BELLE INVESTMENT COMPANY, INC.
620 MARRY HOOD ROAD, SUITE 201
KNOXVILLE, TN 37932
CONTACT: TRAVIS FULLER
travis@belleinvestmentco.com

PROPERTY OWNER:
CLAYTON PROPERTIES GROUP, INC.
231 SHERWAY ROAD
KNOXVILLE, TN 37922
(865) 321-4302
CONTACT: KOBY DUMONT
kdumont@podsolutions.com

ENGINEERS:
SITE, INCORPORATED
10215 TECHNOLOGY DRIVE, SUITE 304
KNOXVILLE, TN 37932
PHONE: 865-777-4160
EOR: GRANT C. BERRY
gberry@site-incorporated.com

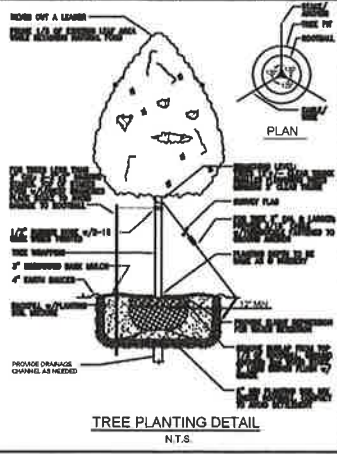
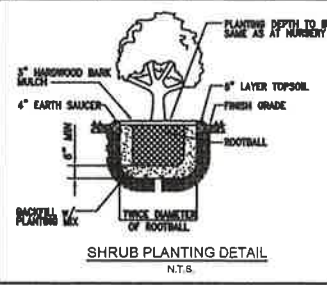
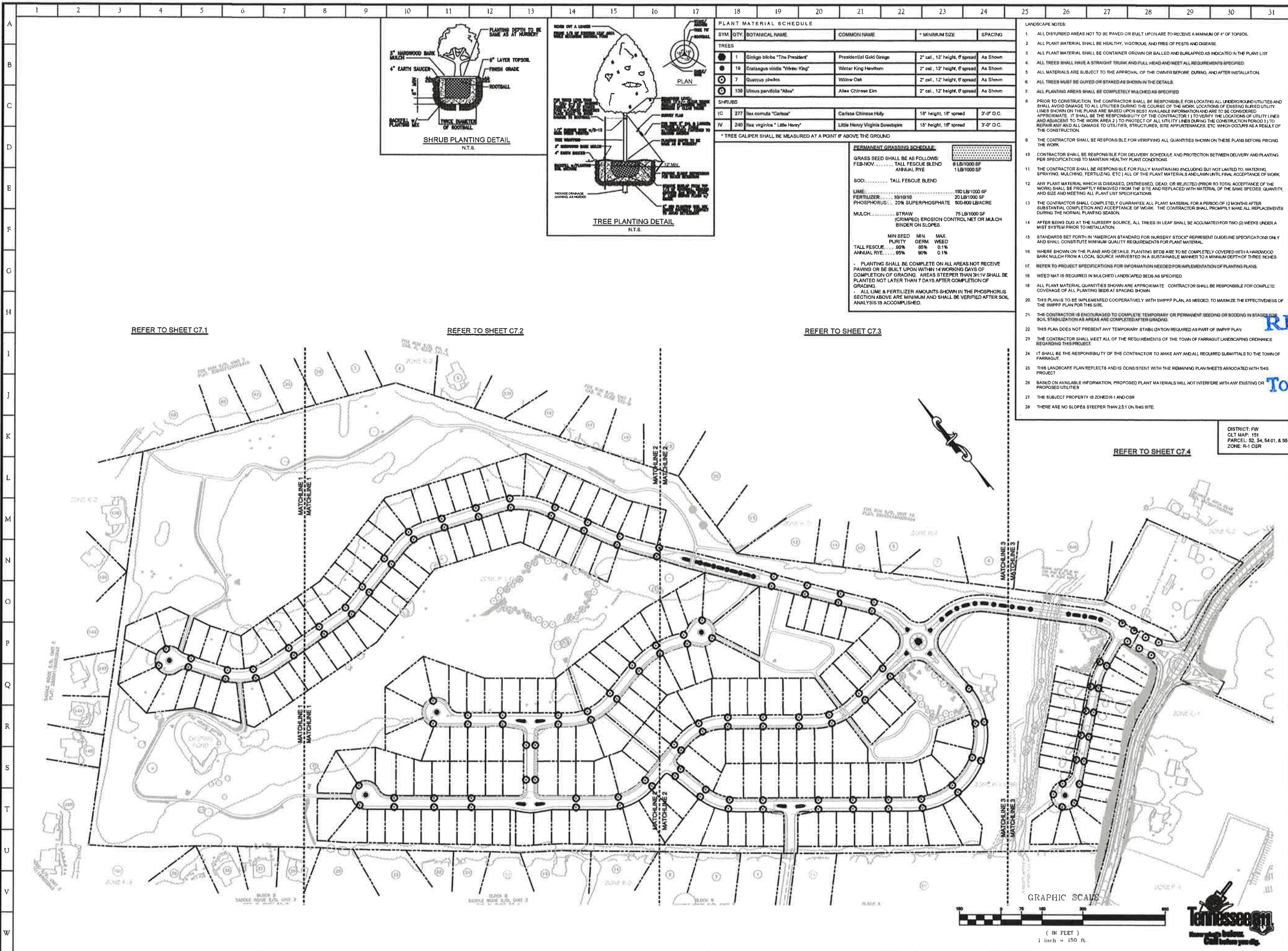
SURVEYORS:
SITE, INCORPORATED
10215 TECHNOLOGY DRIVE, SUITE 304
KNOXVILLE, TN 37932
PHONE: 865-777-4160
SOR: HOWARD T. DAWSON
hdawson@site-incorporated.com



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TOWN OF FARRAGUT

Site Layout Plan - South
Ivey Farms
12733, 12737, 12743, & 12751 Union Road
Farragut, Tennessee 37934
Belle Investment Company, Inc.

REVISIONS	
NO.	DATE
1	01/22/19
2	02/11/19



PLANT MATERIAL SCHEDULE				
SYM	QTY	BOTANICAL NAME	COMMON NAME	* MINIMUM SIZE
TREES				
1	1	Ginkgo biloba "The President"	Presidential Gold Ginkgo	2" cal., 12' height, 8' spread
19	1	Crataegus viridis "Winter King"	Winter King Hawthorn	2" cal., 12' height, 8' spread
7	1	Quercus phellos	Willow Oak	2" cal., 12' height, 8' spread
130	1	Ulmus parvifolia "Atter"	Atter Chinese Elm	2" cal., 12' height, 8' spread
SHRUBS				
IC	277	Ilex cornuta "Caribae"	Caribae Chinese Holly	18" height, 18" spread
IV	240	Ilex virginica "Little Henry"	Little Henry Virginia Sweetgum	18" height, 18" spread

* TREE CALIPER SHALL BE MEASURED AT A POINT 6" ABOVE THE GROUND

PERMANENT GRASSING SCHEDULE		
GRASS SEED SHALL BE AS FOLLOWS:		
FEB-NOV	TALL FESCUE BLEND	1 LB/1000 SF
ANNUAL RYE		1 LB/1000 SF
SOD	TALL FESCUE BLEND	
LIME	150 LB/1000 SF	
FERTILIZER	20 LB/1000 SF	
PHOSPHORUS	500-800 LB/ACRE	
MULCH	75 LB/1000 SF	
MIN SEED MIN. MAX. PURITY GERM. WEED		
TALL FESCUE	95%	85% 0.1%
ANNUAL RYE	95%	90% 0.1%

- LANDSCAPE NOTES:
- ALL DISTURBED AREAS NOT TO BE PAVED OR BUILT UPON ARE TO RECEIVE A MINIMUM OF 4" OF TOPSOIL
 - ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, AND FREE OF PESTS AND DISEASE
 - ALL PLANT MATERIAL SHALL BE CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE PLANT LIST
 - ALL TREES SHALL HAVE A STRAIGHT TRUNK AND FULL HEAD AND MEET ALL REQUIREMENTS SPECIFIED
 - ALL MATERIALS ARE SUBJECT TO THE APPROVAL OF THE OWNER BEFORE, DURING, AND AFTER INSTALLATION
 - ALL TREES MUST BE GUIED OR STAKED AS SHOWN IN THE DETAILS
 - ALL PLANTING AREAS SHALL BE COMPLETELY MULCHED AS SPECIFIED
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF UTILITY LINES AND MAKE ADJUSTMENTS TO THE WORK AREA TO PROTECT ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD TO REPAIR ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC WHICH OCCURS AS A RESULT OF THE CONSTRUCTION
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK
 - CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY SCHEDULE AND PROTECTION BETWEEN DELIVERY AND PLANTING PER SPECIFICATIONS TO MAINTAIN HEALTHY PLANT CONDITIONS
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR FULLY MAINTAINING (INCLUDING BUT NOT LIMITED TO WATERING, SPRAYING, MULCHING, FERTILIZING, ETC) ALL OF THE PLANT MATERIALS AND LAWN UNTIL FINAL ACCEPTANCE OF WORK
 - ANY PLANT MATERIAL WHICH IS DISEASED, DISTRESSED, DEAD, OR REJECTED PRIOR TO TOTAL ACCEPTANCE OF THE WORK SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE MEETING ALL PLANT LIST SPECIFICATIONS
 - THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF 12 MONTHS AFTER SUBSTANTIAL COMPLETION AND ACCEPTANCE OF WORK. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS DURING THE NORMAL PLANTING SEASON
 - AFTER BEING DUG AT THE NURSERY SOURCE, ALL TREES IN LEAF SHALL BE ACQUACIMED FOR TWO (2) WEEKS UNDER A MIST SYSTEM PRIOR TO INSTALLATION
 - STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL
 - WHERE SHOWN ON THE PLANS AND DETAILS, PLANTING BEDS ARE TO BE COMPLETELY COVERED WITH A HARDWOOD BARK MULCH FROM A LOCAL SOURCE HARVESTED IN A SUSTAINABLE MANNER TO A MINIMUM DEPTH OF THREE INCHES
 - REFER TO PROJECT SPECIFICATIONS FOR INFORMATION NEEDED FOR IMPLEMENTATION OF PLANTING PLANS
 - WEED MAT IS REQUIRED IN MULCHED LANDSCAPED BEDS AS SPECIFIED
 - ALL PLANT MATERIAL QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN
 - THIS PLAN IS TO BE IMPLEMENTED COOPERATIVELY WITH SWPPP PLAN, AS NEEDED, TO MAXIMIZE THE EFFECTIVENESS OF THE SWPPP PLAN FOR THIS SITE
 - THE CONTRACTOR IS ENCOURAGED TO COMPLETE TEMPORARY OR PERMANENT SEEDING OR SOILING IN STABILIZER SOIL STABILIZATION AS AREAS ARE COMPLETED AFTER GRADING
 - THIS PLAN DOES NOT PRESENT ANY TEMPORARY STABILIZATION REQUIRED AS PART OF SWPPP PLAN
 - THE CONTRACTOR SHALL MEET ALL OF THE REQUIREMENTS OF THE TOWN OF FARRAGUT LANDSCAPING ORDINANCE REGARDING THIS PROJECT
 - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAKE ANY AND ALL REQUIRED SUBMITTALS TO THE TOWN OF FARRAGUT
 - THIS LANDSCAPE PLAN REFLECTS AND IS CONSISTENT WITH THE REMAINING PLAN SHEETS ASSOCIATED WITH THIS PROJECT
 - BASED ON AVAILABLE INFORMATION, PROPOSED PLANT MATERIALS WILL NOT INTERFERE WITH ANY EXISTING OR PROPOSED UTILITIES
 - THE SUBJECT PROPERTY IS ZONED R-1 AND OSR
 - THERE ARE NO SLOPES STEEPER THAN 2:1 ON THIS SITE

SITE
INCORPORATED
Civil Engineers & Surveyors
10215 Technology Drive, Suite 304
Knoxville, TN 37932
Phone: (865) 777-4160
Fax: (865) 777-4189



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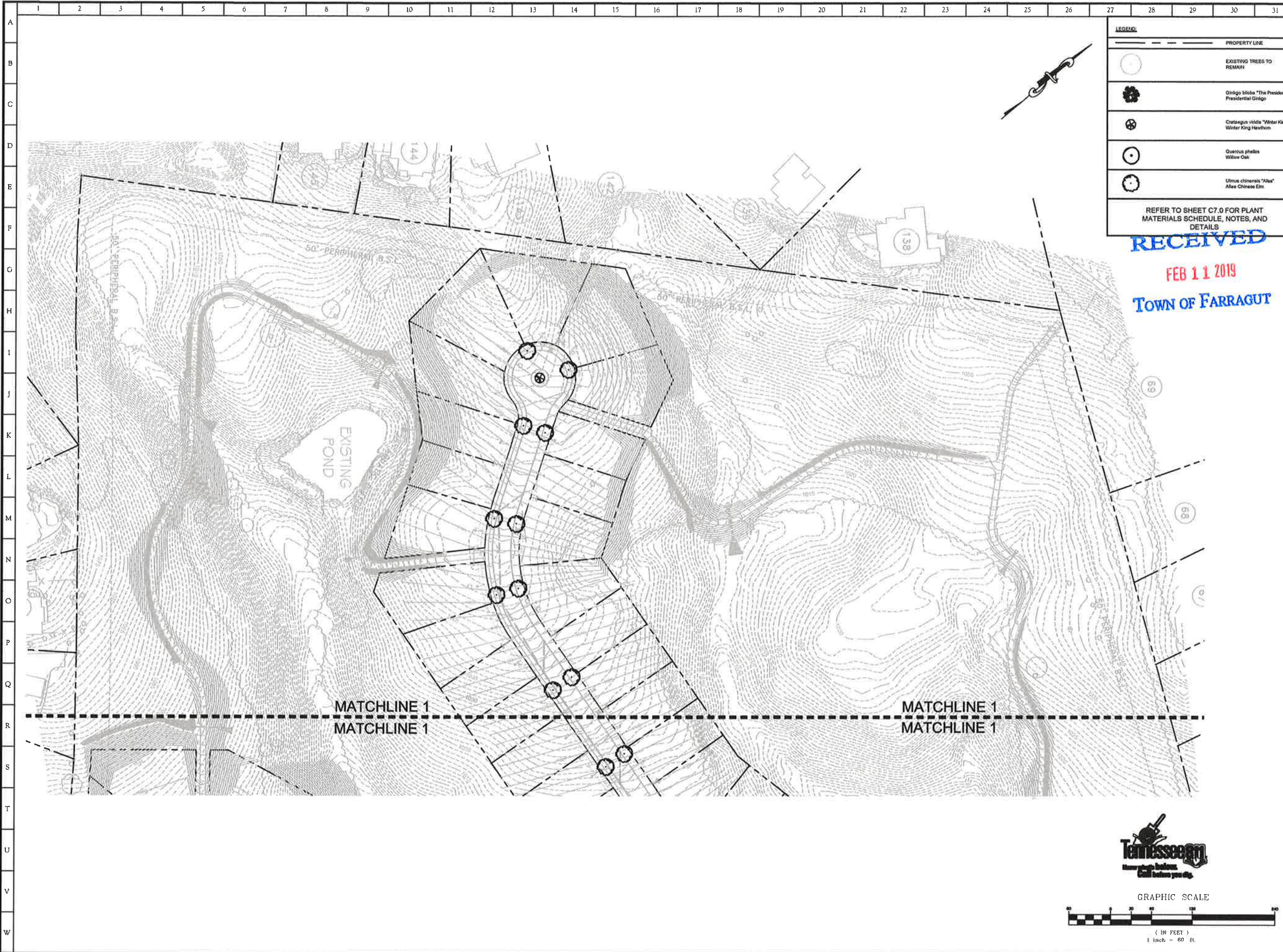
FEB 11 2019

TOWN OF FARRAGUT

Streetscape Plan - Overall
Ivey Farms
12733, 12737, 12743, & 12751 Union Road
Farragut, Tennessee 37934
Belle Investment Company, Inc.

REVISIONS		DATE	DATE
NO.	COMMENTS	BY	DATE
1	Revised per Town Comments	02/11/19	02/11/19
2	Revised per Town Comments	02/11/19	02/11/19

C7.0
SHEET 32 OF 64



LEGEND:	
	PROPERTY LINE
	EXISTING TREES TO REMAIN
	Ginkgo biloba "The President" Presidential Ginkgo
	Prunella virginiana "Winter King" Winter King Hawthorn
	Quercus phellos Willow Oak
	Ulmus chinensis "Alice" Alice Chinese Elm
REFER TO SHEET C7.0 FOR PLANT MATERIALS SCHEDULE, NOTES, AND DETAILS	

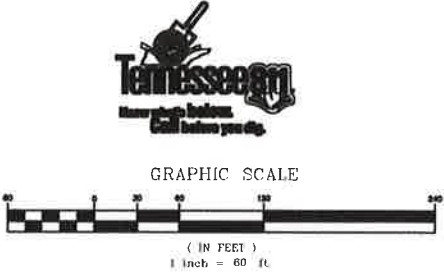
RECEIVED
FEB 11 2019
TOWN OF FARRAGUT

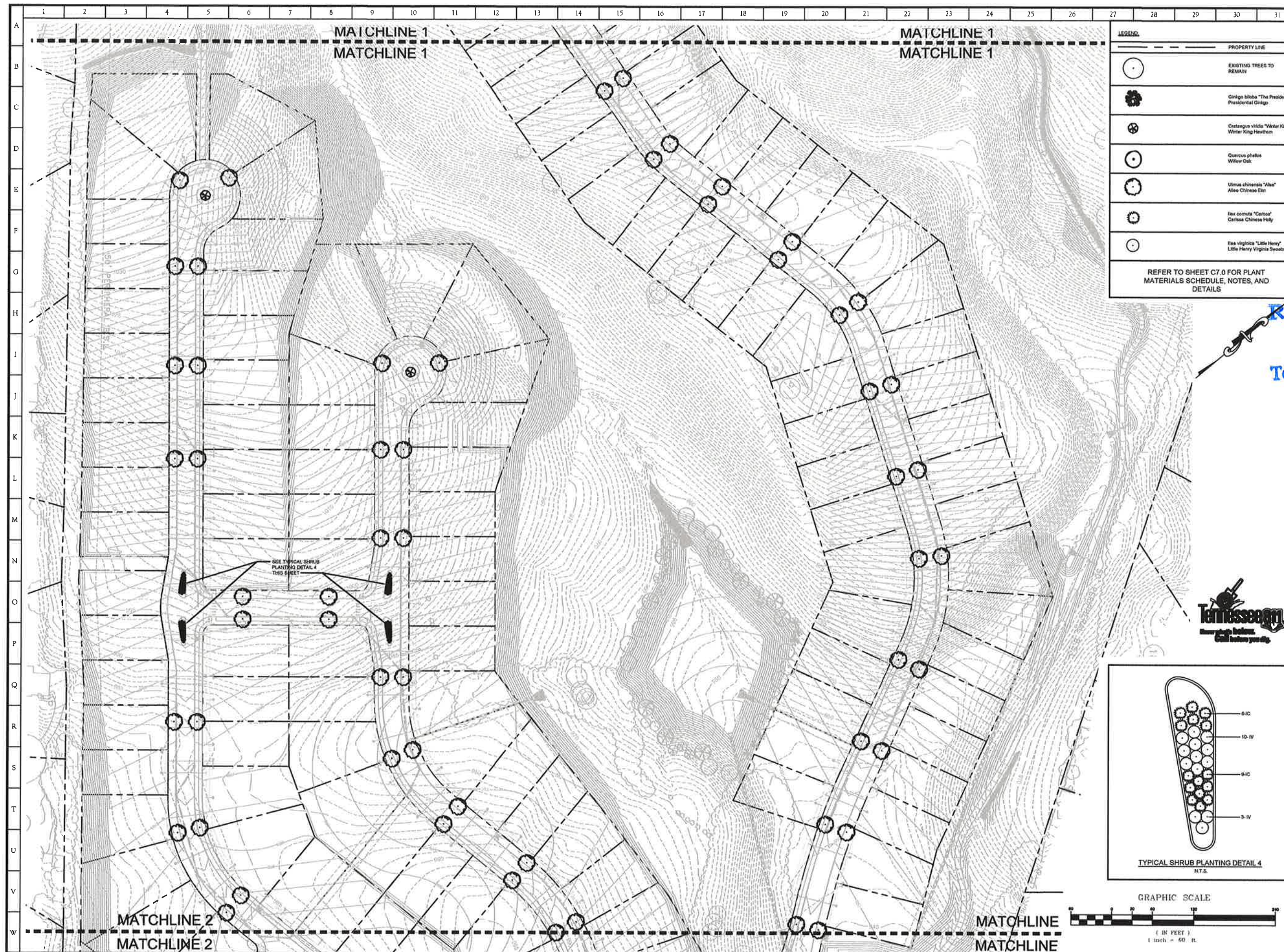
SITE
INCORPORATED
Civil Engineers & Surveyors
10215 Technology Drive, Suite 304 Knoxville, TN 37932
Phone: (865) 777-4160 Fax: (865) 777-4189



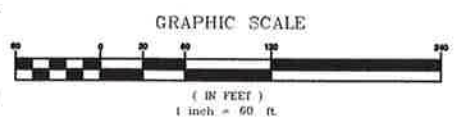
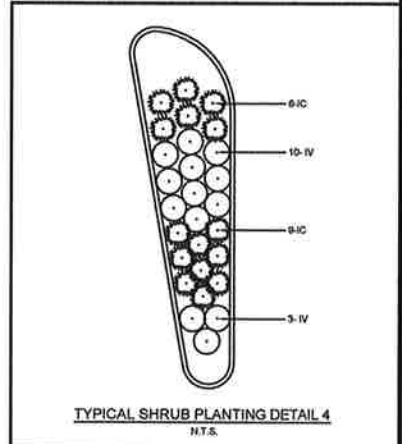
Streetscape Plan - North
Ivey Farms
12733, 12737, 12743, & 12751 Union Road
Farragut, Tennessee 37934
Belle Investment Company, Inc.

DRAWN BY: <u>ACH</u> DATE: <u>12/17/18</u>	
CHECKED BY: <u>RME</u> FILE: <u>1951-Landscape</u>	
REVISIONS	
NO.	DATE COMMENTS
1	02/21/19 Revised per Town Comments
2	02/21/19 Revised per Town Comments





LEGEND	
	PROPERTY LINE
	EXISTING TREES TO REMAIN
	Quercus blanda "The President" Presidential Quercus
	Crataegus viridis "Winter King" Winter King Hawthorn
	Quercus phellos Willow Oak
	Ulmus chinensis "Ales" Ales Chinese Elm
	Ilex cornuta "Carolina" Carolina Chinese Holly
	Ilex virginica "Little Henry" Little Henry Virginia Sycamore
REFER TO SHEET C7.0 FOR PLANT MATERIALS SCHEDULE, NOTES, AND DETAILS	



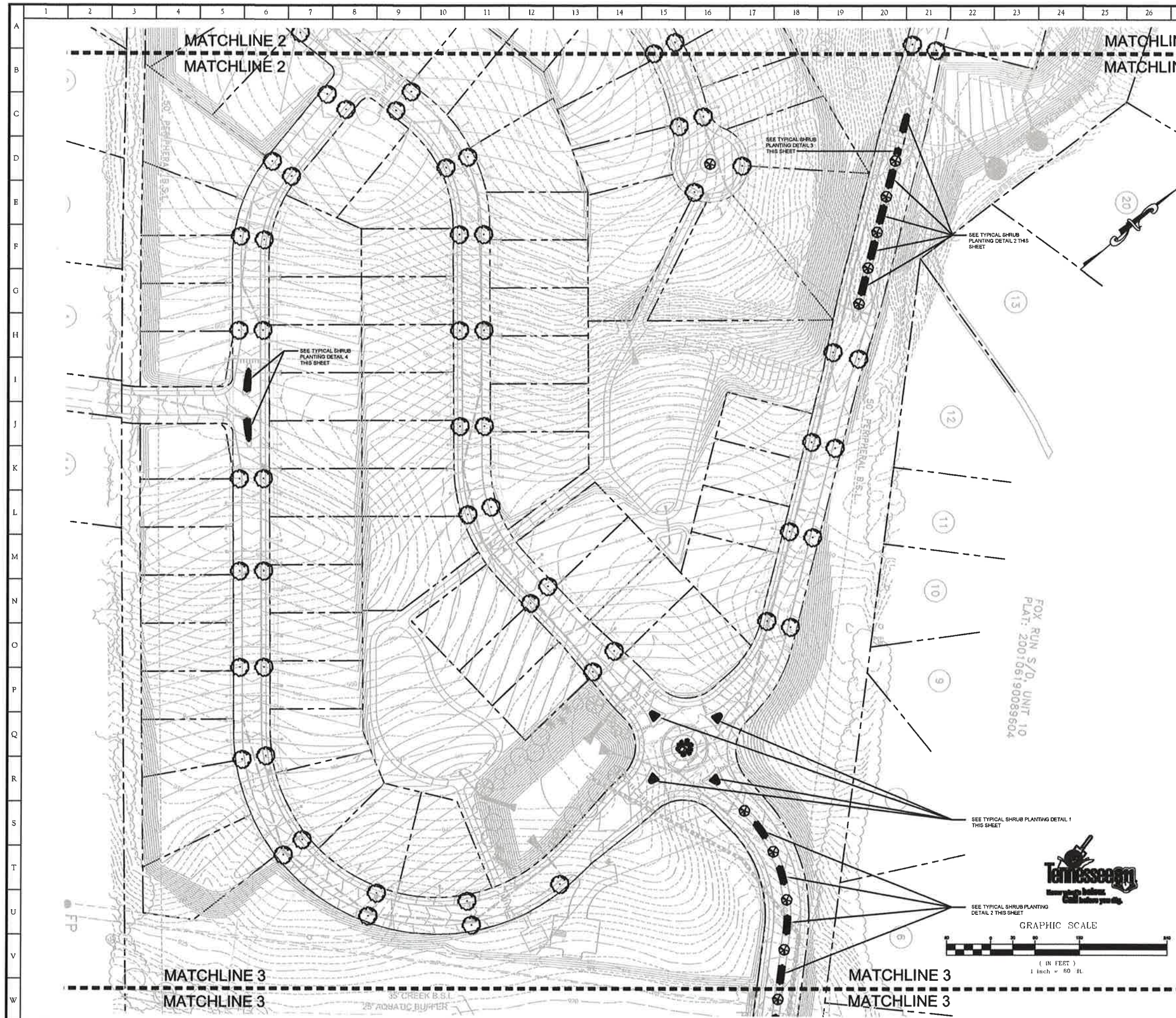
SITE INCORPORATED
Civil Engineers & Surveyors
10215 Technology Drive, Suite 304
Knoxville, TN 37932
Phone: (865) 777-4160 Fax: (865) 777-4189



RECEIVED
FEB 11 2019
TOWN OF FARRAGUT

Streetscape Plan - Center North
Ivey Farms
12733, 12737, 12743, & 12751 Union Road
Farragut, Tennessee 37934
Belle Investment Company, Inc.

REVISIONS	
NO.	DATE
1	01/22/19
2	02/11/19



LEGEND:	
	PROPERTY LINE
	EXISTING TREES TO REMAIN
	Liriodendron tulipifera "The President" Presidential Oak
	Castanopsis virginica "Winter King" Winter King Hawthorn
	Quercus phellos Willow Oak
	Ulmus chinensis "Alce" Alce Chinese Elm
	Ilex cornuta "Calmar" Calmar Chinese Holly
	Ilex virginica "Little Henry" Little Henry Virginia Sweetspire
REFER TO SHEET C7.0 FOR PLANT MATERIALS SCHEDULE, NOTES, AND DETAILS	
 TYPICAL SHRUB PLANTING DETAIL 1 N.T.S.	
 TYPICAL SHRUB PLANTING DETAIL 2 N.T.S.	
 TYPICAL SHRUB PLANTING DETAIL 3 N.T.S.	
 TYPICAL SHRUB PLANTING DETAIL 4 N.T.S.	

SITE
INCORPORATED
Civil Engineers & Surveyors
10215 Technology Drive, Suite 304 Knoxville, TN 37932
Phone: (865) 777-4160 Fax: (865) 777-4160

RECEIVED
FEB 11 2019
TOWN OF FARRAGUT

Streetscape Plan - Center South

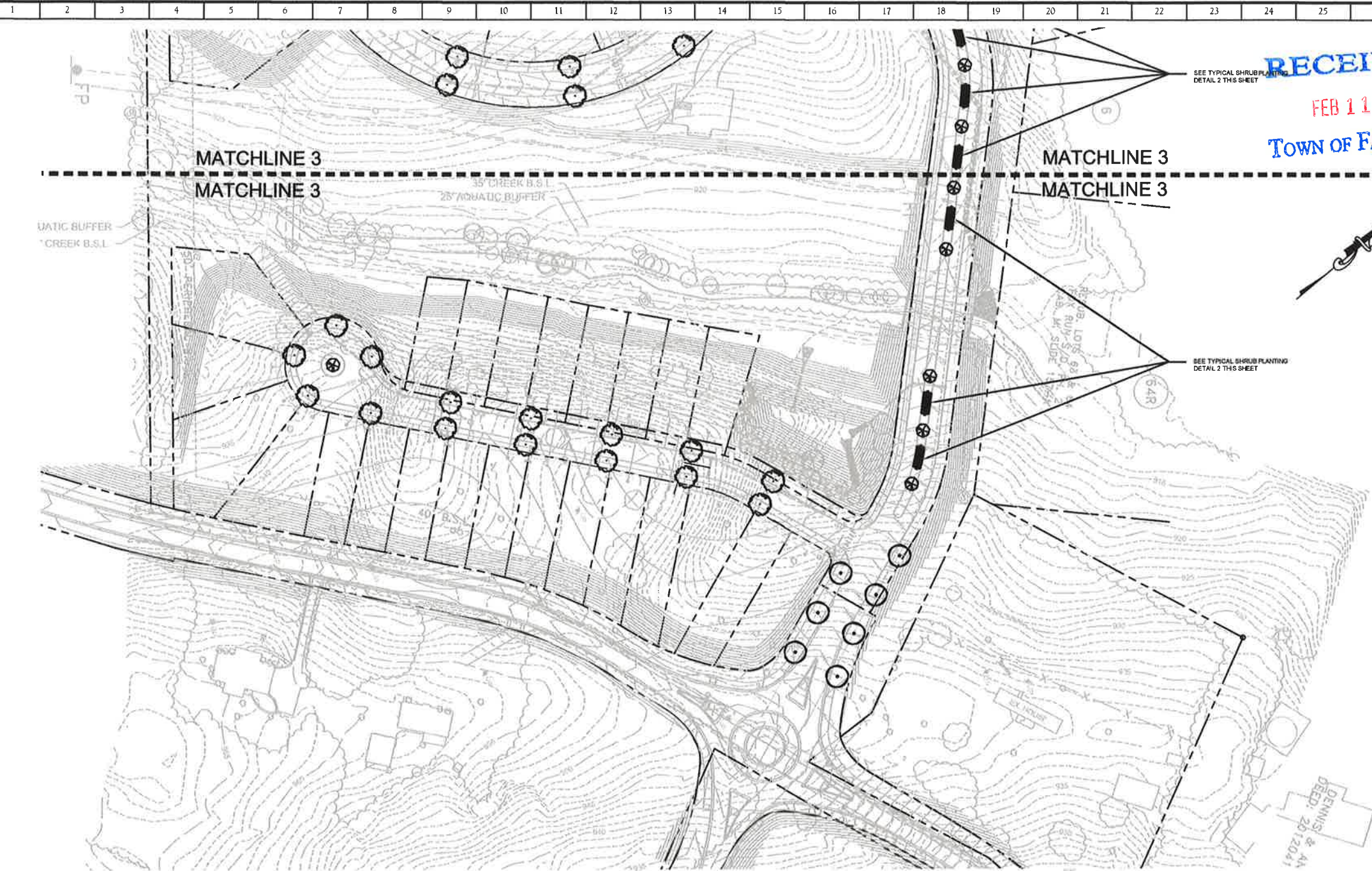
Ivey Farms
12733, 12737, 12743, & 12751 Union Road
Farragut, Tennessee 37934
Belle Investment Company, Inc.

DESIGN BY: ACH DATE: 12/17/18
CHECKED BY: RME FILE: 1951-Landscape

REVISIONS		
NO.	DATE	COMMENTS
1	01/22/19	Revised per Town Comments
2	02/11/19	Revised per Town Comments

C7.3
SHEET 35 of 64

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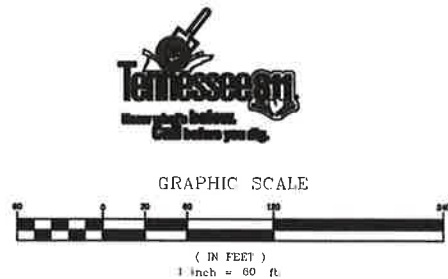


LEGEND

---	PROPERTY LINE
○	EXISTING TREES TO REMAIN
●	Quercus bicolor "The President" Presidential Oak
●	Cornus florida "Winter King" Winter King Hawthorn
○	Quercus phellos Willow Oak
○	Ulmus chinensis "Alice" Alice Chinese Elm
○	Ilex cornuta "Carolina" Carolina Chinese Holly
○	Ilex virginica "Little Henry" Little Henry Virginia Sweetgum

REFER TO SHEET C7.0 FOR PLANT MATERIALS SCHEDULE, NOTES, AND DETAILS

TYPICAL SHRUB PLANTING DETAIL 2
N.T.S.



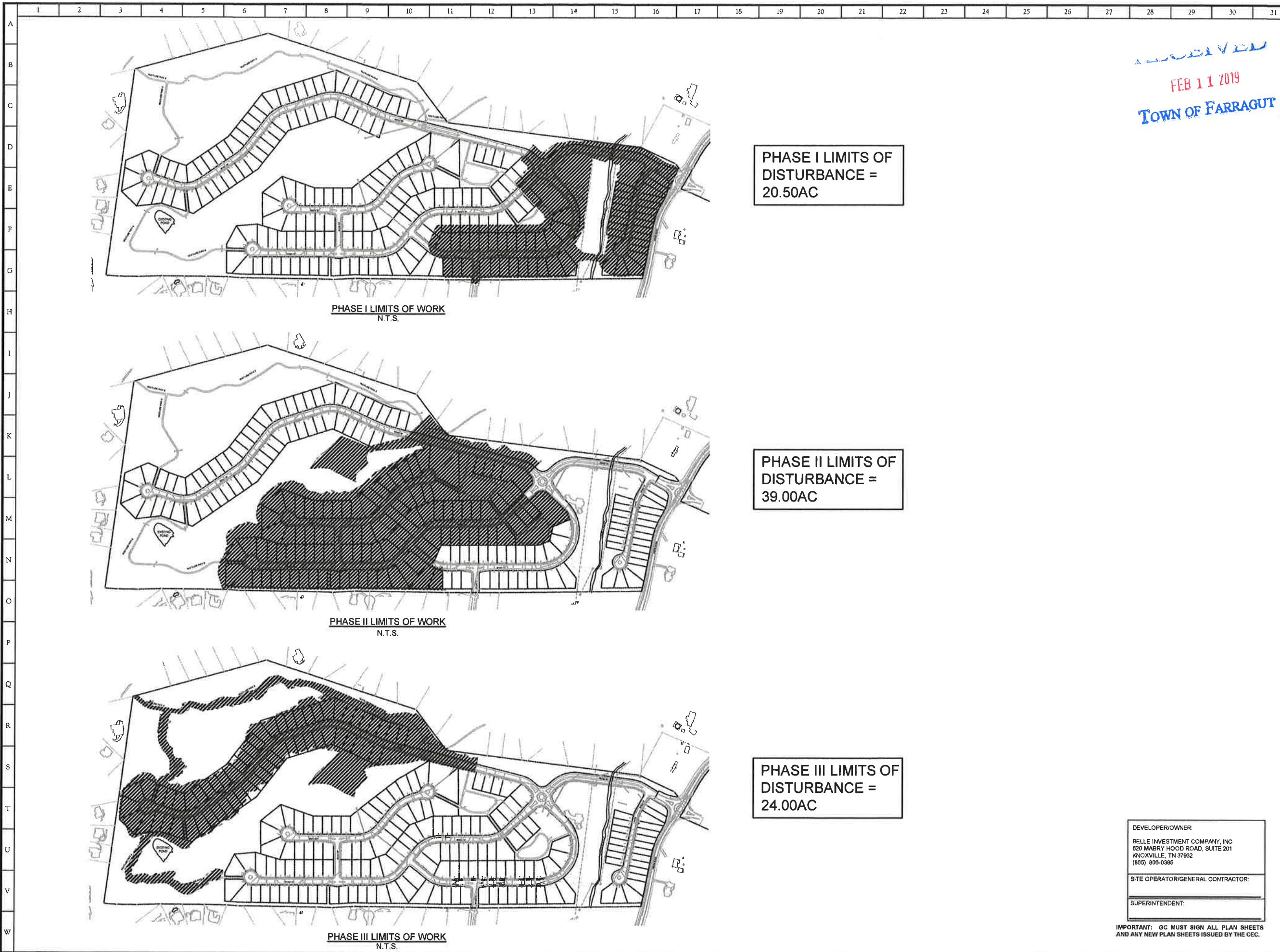
SITE
INCORPORATED
Civil Engineers & Surveyors
10215 Technology Drive, Suite 304 Knoxville, TN 37932
Phone: (865) 777-4160 Fax: (865) 777-4189



Streetscape Plan - South
Ivey Farms
12733, 12737, 12743, & 12751 Union Road
Farragut, Tennessee 37934
Belle Investment Company, Inc.

DRAWN BY:	ACH	DATE:	12/17/18
CHECKED BY:	RME	FILE:	1951-Landscape
REVISIONS			
NO.	DATE	COMMENTS	
1	01/22/19	Revised per Town Comments	
2	02/11/19	Revised per Town Comments	

C7.4
SHEET 38 of 64



PHASE I LIMITS OF
DISTURBANCE =
20.50AC

PHASE II LIMITS OF
DISTURBANCE =
39.00AC

PHASE III LIMITS OF
DISTURBANCE =
24.00AC

RECEIVED
FEB 11 2019
TOWN OF FARRAGUT

STHE
INCORPORATED
Civil Engineers & Surveyors
10215 Technology Drive, Suite 304 Knoxville, TN 37932
Phone: (865) 777-4160
www.sthe-incorporated.com



Storm Water Pollution Prevention Plan - Phasing

Ivey Farms
12733, 12737, 12743, & 12751 Union Road
Farragut, Tennessee 37934
Clayton Properties Group, Inc.

DEVELOPER/OWNER:	
BELLE INVESTMENT COMPANY, INC. 620 HARBRY HOOD ROAD, SUITE 201 KNOXVILLE, TN 37632 (865) 806-0385	
SITE OPERATOR/GENERAL CONTRACTOR:	
SUPERINTENDENT:	

IMPORTANT: GC MUST SIGN ALL PLAN SHEETS
AND ANY NEW PLAN SHEETS ISSUED BY THE CEC.

DRAWN BY: JAE		DATE: 01/22/19
CHECKED BY: RME		FILE: 1951-SWPPP-Over
REVISIONS		
NO.	DATE	COMMENTS
1	01/22/19	Revised per Town Comments
2	02/11/19	Revised per Town Comments

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on a request from KUB for a gas main extension along a portion of Everett Road from the Split Rail Subdivision to the Town boundary (KUB, Applicant)

INTRODUCTION AND BACKGROUND: A summary and maps of this project are included in your packet. The Town portion of the project involves the installation of an 8-inch gas line with a minimum depth of 36 inches. It has not yet been determined if this will be a bored or open trenched installation.

DISCUSSION: In this regard, and as was discussed with KUB at the staff/developer meeting on February 5, a sizable portion of the work proposed within the Town is along a gravel trail owned and maintained by Justin Morgan (the developer of Split Rail Subdivision) and the HOA of the Split Rail Subdivision off Everett Road. This trail is on open space and is constructed above a wet weather conveyance. Staff questioned KUB as to why they are not proposing to construct this section of the utility line along the west side of Everett Road since the line extends back to Everett Road once it exits the Split Rail Subdivision. KUB noted that an easement had been obtained from Mr. Morgan and sections along Everett Road would be difficult due to notably steep drop offs just beyond the road edge that create limited installation work space.

RECOMMENDATION: In addition to full notification of residents in the Split Rail Subdivision, staff would recommend that this project use boring rather than open trench installation so as to significantly lessen surface disturbance. This project also includes some installation along and at least one crossing of the Town's paved walking trails in Split Rail. Staff recommends the gas line be bored to the side of the Town's paved walking trails rather than under them (other than necessary crossings).

Moreover, silt and tree fencing will be needed to contain soil, protect the wet weather conveyance, and protect trees. These will have to be inspected and approved by Town staff prior to the issuance of a grading permit. An as-built will be needed upon project completion so that all gas line and easement areas are identified to ensure proper coordination with any development that may occur in the future. Any disturbed areas must be restored, at a minimum, to the pre-project condition of the property.

A representative from KUB will be present at the meeting to review this in more detail and answer any questions.

EVERETT LOOP-KUB GAS MAIN EXTENSION

GENERAL

This project will increase KUB's natural gas system reliability/redundancy to the growing sections of West Knox County. 50% of the project lies outside the limits of the Town of Farragut. Most of the project will involve a new footprint of KUB facilities. Multiple easements have been acquired to facilitate pipeline installation. This project will be advertised by KUB and awarded to the low-bid. KUB expects to award the contract early March 2019. The KUB contractor will have 6 months to complete the work.

PROJECT SCOPE

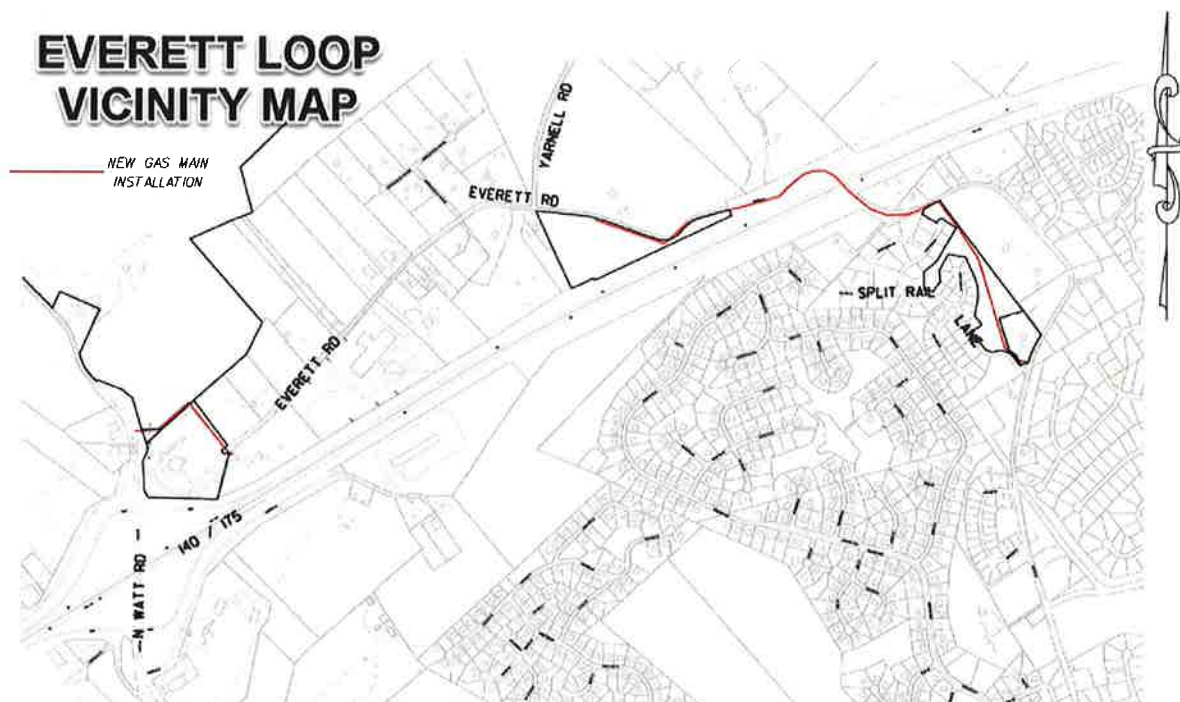
1400 LF of 12" MDPE across 800 N Watt Road (outside the Town of Farragut)
6000 LF of 8" MDPE along Everett Rd between Yellow Glen Blvd and Split Rail Lane

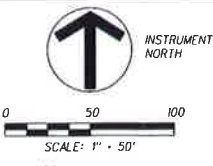
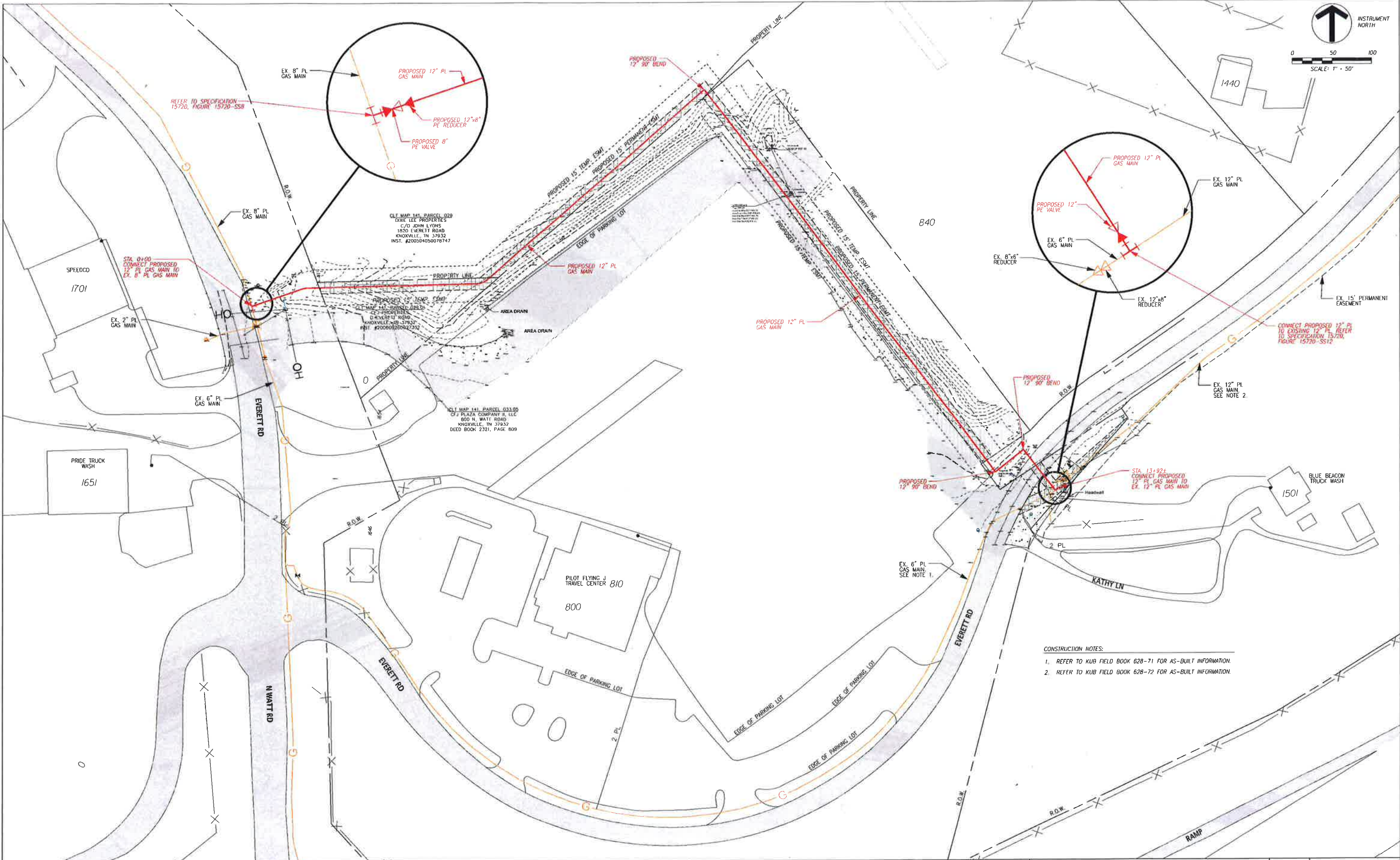
COMMUNICATION

KUB Communication will mail notification letters to property owners within the immediate vicinity of the construction project. The letters will be mailed 3 weeks prior to anticipated construction start. A KUB Customer Support representative will be assigned to address customer/property owner concerns if they arise.

TRAFFIC IMPACT

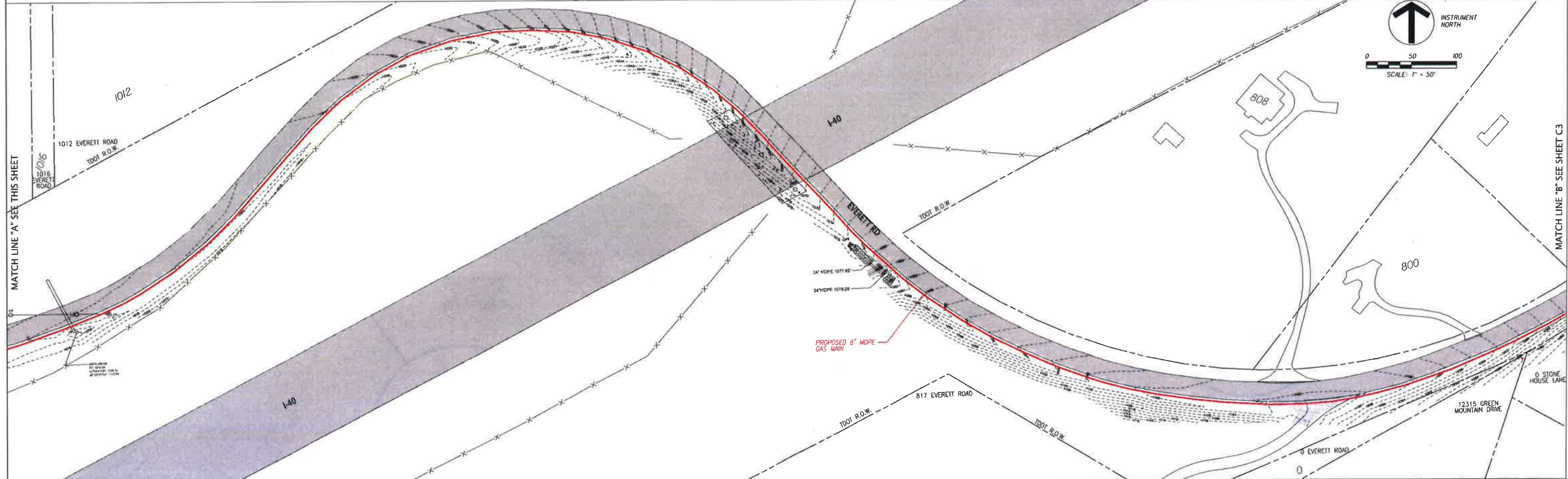
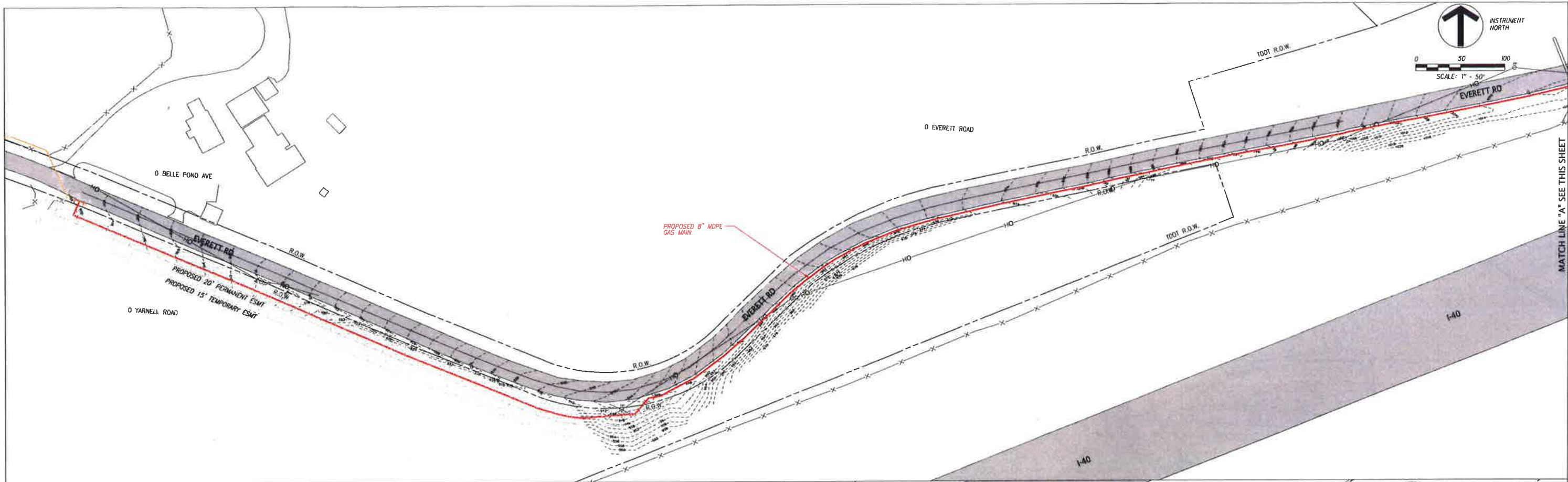
Construction activity will have a minor impact on traffic. Complete road closures of Everett Road are not anticipated. Periodic lane closures of Everett Road will be necessary to provide a safe work site for the construction crews.





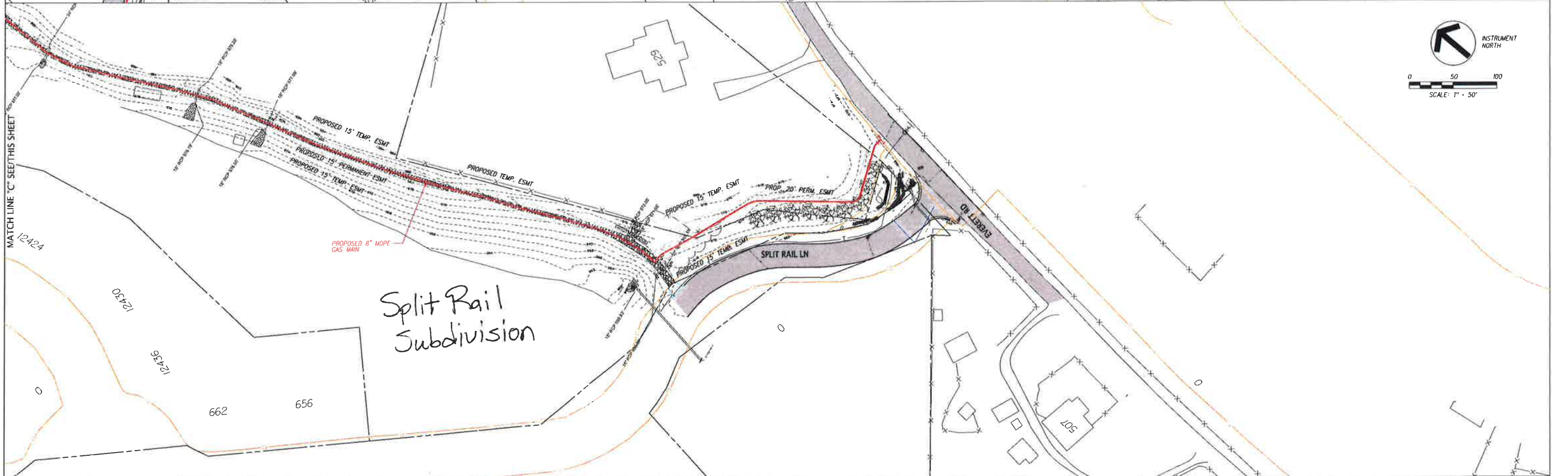
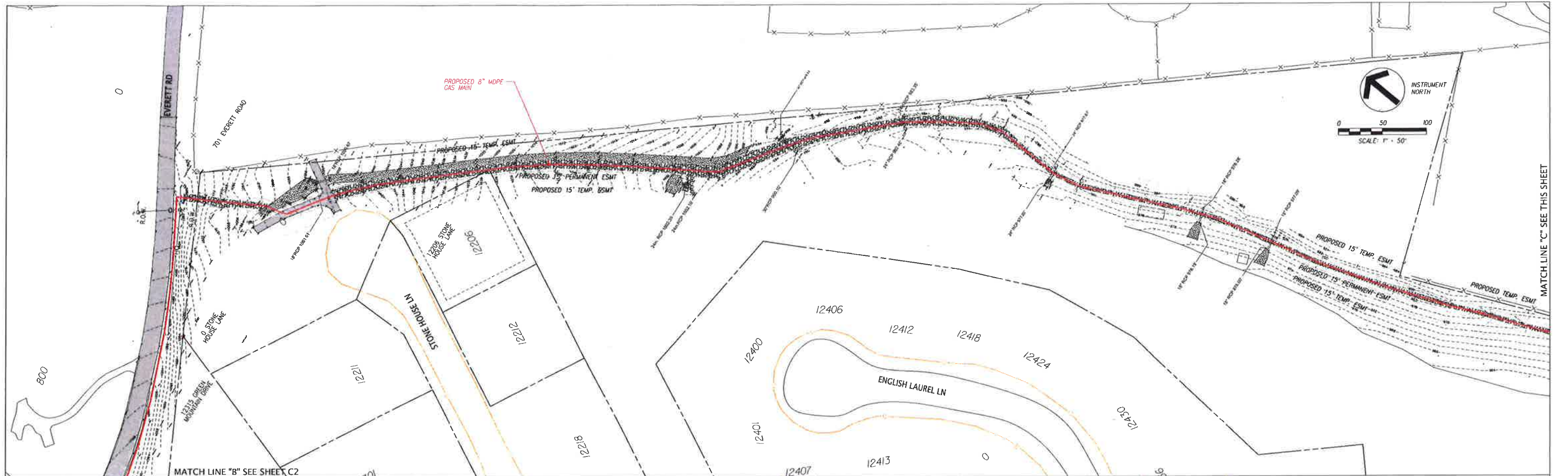
- CONSTRUCTION NOTES:
1. REFER TO KUB FIELD BOOK 628-71 FOR AS-BUILT INFORMATION.
 2. REFER TO KUB FIELD BOOK 628-72 FOR AS-BUILT INFORMATION.

 10330 HARDIN VALLEY ROAD SUITE 201 KNOXVILLE, TN 37932 OFFICE (865) 690 6419 FAX: (865) 690 6448	DESIGNED SEE	APPROVED ENGINEER GAS	NO. DATE	REVISION	APPR.	SCALE 1" = 50' DATE 1/18/19	 ENGINEERING DIVISION	PRELIMINARY NOT FOR CONSTRUCTION	KNOXVILLE UTILITIES BOARD EVERETT ROAD GAS CONNECTOR PROPOSED 12" GAS MAIN AT FLYING J	C1 SHEET OF SHEETS
	DRAWN CMB									
	CHECKED MSM									



FULCRUM MACINDOE & ASSOCIATES, INC. 10330 HARDIN VALLEY ROAD SUITE 201 KNOXVILLE, TN 37932 OFFICE (865) 690-6419 FAX: (865) 690-6448	DESIGNED SEE	APPROVED ENGINEER GAS	NO. DATE	REVISION	APPR.	SCALE 1" = 50' DATE 1/18/19	KUB ENGINEERING DIVISION	PRELIMINARY NOT FOR CONSTRUCTION	KNOXVILLE UTILITIES BOARD EVERETT ROAD GAS CONNECTOR PROPOSED 8" GAS MAIN - EVERETT RD	SHEET OF SHEETS	C2
	DRAWN CMB										
	CHECKED MSM										

Model: Layout
File Name: J:\214\214-140\DWG\214 140.dwg
Plot Date: 1/19/2019



10330 HARDIN VALLEY ROAD
SUITE 201
KNOXVILLE, TN 37932
OFFICE (865) 690-6419
FAX: (865) 690-6448

DESIGNED SEE
DRAWN CMB
CHECKED MSM

APPROVED
ENGINEER
GAS

NO.	DATE	REVISION	APPR.

SCALE
1" = 50'
DATE
1/18/19

KUB
ENGINEERING DIVISION

PRELIMINARY
NOT FOR
CONSTRUCTION

KNOXVILLE UTILITIES BOARD
EVERETT ROAD
GAS CONNECTOR
PROPOSED 8" GAS MAIN - SPLIT RAIL

SHEET	C3
OF	SHEETS

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on request from Concord Telephone Company (TDS Telecom) to extend a 24-strand fiber optic cable along a roughly 50-foot section of the west side of N. Campbell Station Road and then along a roughly 350-foot section of the north side of Jamestowne Boulevard to service the Farragut Community Center/Knox County Senior Center project at 239 Jamestowne Boulevard (TDS Telecom, Applicant)

INTRODUCTION AND BACKGROUND: This utility project involves TDS placing a 1.25-inch conduit along a short section of N. Campbell Station Road and a portion of Jamestowne Boulevard to provide for a 24-strand fiber optic cable to service the Farragut Community Center/Knox County Senior Center at the former Faith Lutheran Church building at 239 Jamestowne Boulevard.

A representative from TDS will be present to review the project and answer any questions. The project will require a right of way permit from the Town's Engineering Department and will involve boring the conduit to a minimum depth of 36 inches. Maps of the project are included in your packet.

**APPLICATION FOR RIGHT-OF-WAY USE PERMIT**

Concord Telephone Co.

Applicant dba TDS Telecom Company/Contractor Star Construction, LLCAddress 525 Junction Rd, Madison, WI 53717Phone 865-671-3863 Cell Phone 865-643-6606 Email tyler.martin@tdstelecom.comConstruction Location Jamestown Blvd. and N Campbell Station RoadPurpose To upgrade service to the new Town of Farragut building.Type of Construction TDS will be burying a 1.25" HDPE and pulling a 24 fiber through the duct.Excavation Width NA Excavation Depth NAWithin Pavement: Yes No XPaving Contractor N/AAddress 6621 Asheville Hwy, Knoxville, TN 37914 Proposed Start Date 03/10/19Phone 865-521-6795 Projected Completion Date 04/15/19**REQUIREMENTS OF PERMIT HOLDER**

A right-of-way permit is required before starting any activity in a public right-of-way within the corporate limits of the Town of Farragut. Anyone undertaking such activity shall comply with the following criteria:

1. Permit holder must comply with the Farragut Municipal Code (Title 16, Chapter 1) which provides for proper restorations within the public right-of-way. All backfill methods and materials must comply with this ordinance.
2. Permit holder must comply with the Soil Erosion and Sedimentation Control Ordinance (Title 14, Chapter 2). Permit holder will be required to keep sediment, debris, mud, etc., from the street by properly cleaning the street during construction and after construction is complete in order to avoid a hazardous traffic situation.
3. All work within the pavement or near the traveled way will require the use of traffic control measures in accordance with the Manual of Uniform Traffic Control Devices. The use of these guidelines is strictly a minimum requirement and additional measures may be required by the Town prior to or during construction. These measures may include additional signing, flagmen, police officers, restricted construction hours, etc.

I hereby acknowledge that I have read the above information and agree to comply with the requirements of the Ordinances referenced.

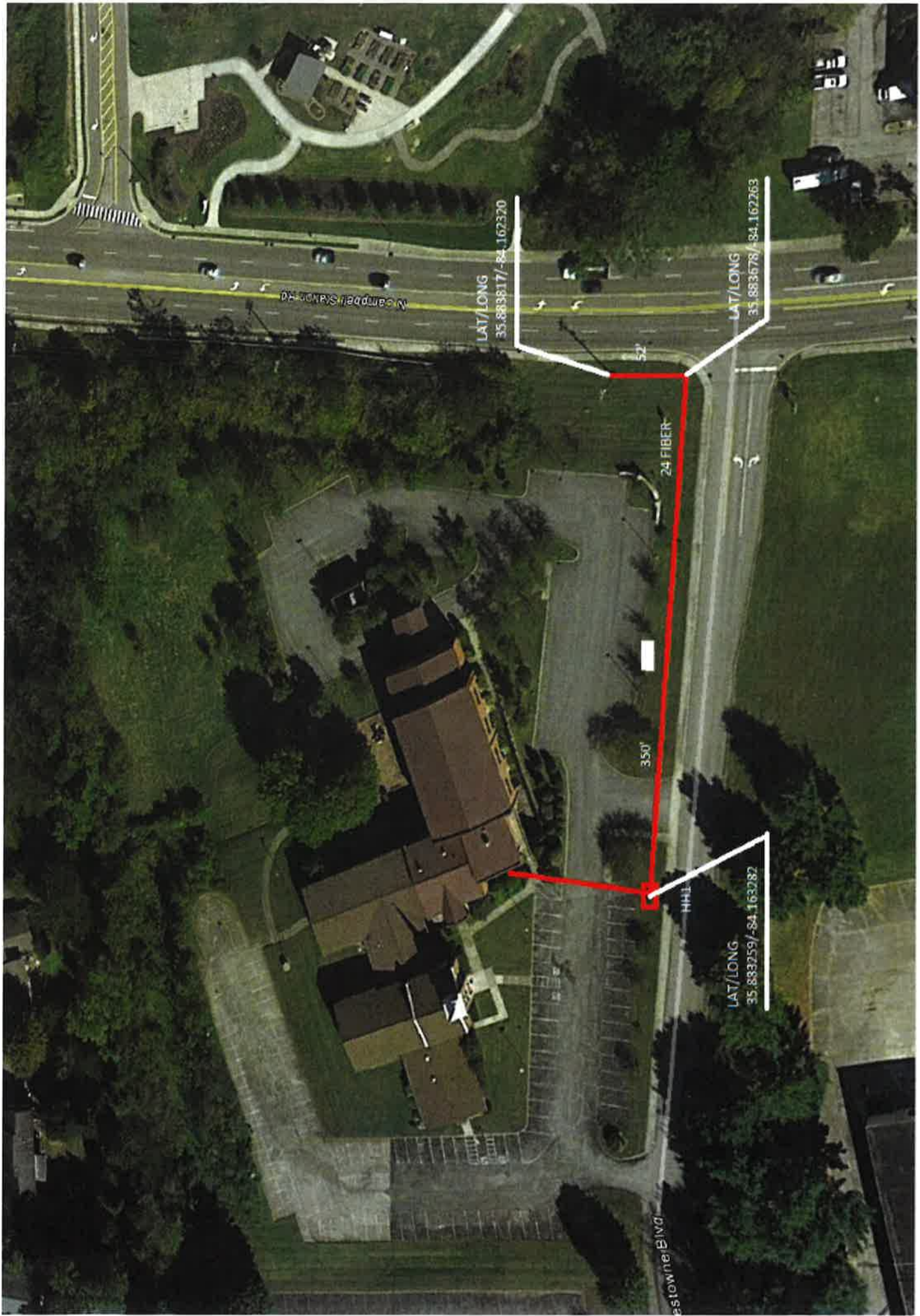
Signature of Permit Holder

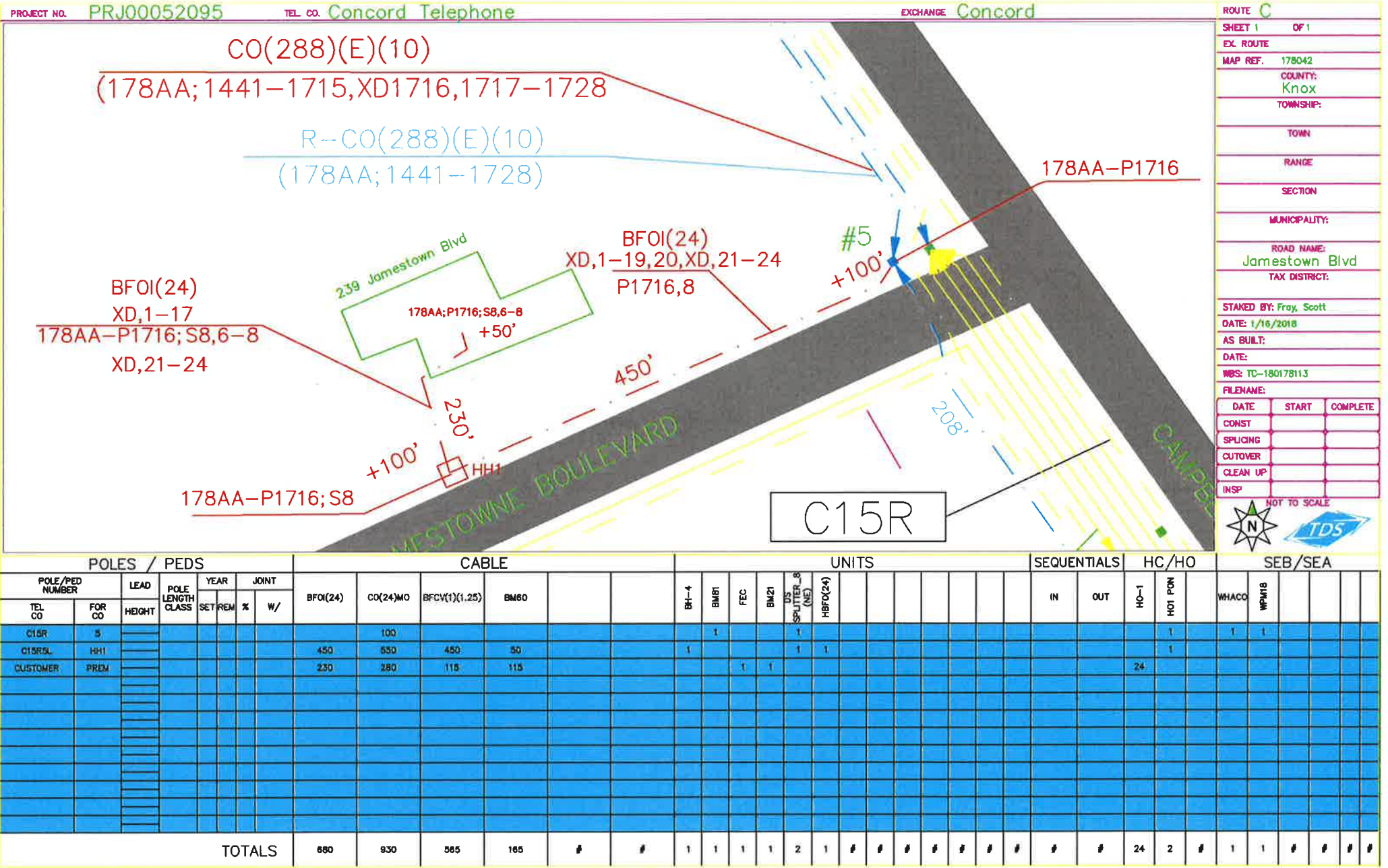
Date

TO BE COMPLETED BY TOWN PERSONNELStarting Date Completion Date Sketch Attached Certificate of Insurance Special Conditions/Requirements Approved / Not Approved By Permit Fee

(Circle One)

Title Date Expiration Date of Permit





POLES / PEDS							CABLE							UNITS										SEQUENTIALS		HC/HO			SEB/SEA															
POLE/PED NUMBER		LEAD	POLE LENGTH CLASS	YEAR		JOINT		BFO(24)	CO(24)MO	BFCV(1)(1.25)	BM60			BH-4	BM81	FEC	BM21	US SPLITTER & (SE)	HBFQ(24)									IN	OUT	HO-1	HOT PON		WHACO	WFM18										
TEL CO	FOR CO	HEIGHT		SET	REM	%	W/																																					
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CUSTOMER	PREM							230	280	115	115					1	1													24														

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director
Bart Hose, Assistant Community Development Director

SUBJECT: Discussion on the possible adoption by reference of the United States Postal Services specifications for Cluster Box Units and Wall-Mounted Centralized Mail Receptacles

INTRODUCTION AND BACKGROUND: The United States Postal Service has recently begun the implementation of rules and policies regarding centralized mail delivery in the area. The authority for these actions comes from the Postal Operations Manual (POM). It is now the “policy of the U.S. Postal Service that mail delivery to all new developments is centralized delivery, most often using cluster box units (CBU)”. This policy applies to all new developments, including single family residential subdivisions. Of significance to the planning commission is that “the POM also advises that appropriate locations for the installation [of centralized delivery facilities] be verified and approved by the Postal Service and local government”.

DISCUSSION: The staff feels that it is appropriate for the Planning Commission to consider what, if any, regulatory and/or development review process changes should be made in response to these new requirements. The Postal Service has published several guidance documents to support policy implementation, including a “Builder and Developer Information Packet for the use and installation of Cluster Box Units”. This document provides general guidance on how to locate cluster box units within a development, along with, specifications for concrete pads and anchoring methods. The Planning Commission and Town could adopt these standards by reference, however, this may not be necessary given that the Postal Service is apparently conducting site inspections for these facilities.

The staff does, however, feel that the Planning Commission should, at a minimum, consider implementing changes to assure that the location of these centralized facilities is fully incorporated into the overall subdivision and site planning process. This would involve making process and regulatory changes requiring the facilities to be shown on all subdivision plats and site plans. A note could also be required on the plats and plans stating that the developer is aware of the postal requirements and will coordinate with both the Postal Service and the Town.

The Commission may also want to consider adding additional development standards or more specific guidance for the location of CBUs. The intent here would be to supplement some of the more general standards provided by the Postal Service and/or to assure that these facilities better fit within the Town’s overall development program. Issues to consider might include ADA compliance and improved access, distance from homes, locations within flood zones, visibility triangles at intersections, coordination with site improvement elements (utilities, streetscaping, landscaping, etc.), and architectural design standards where wall-units in custom-built structures are utilized.



BUILDER AND DEVELOPER INFORMATION PACKET

for the use and installation of

**CLUSTER BOX UNITS
(CBU's) 4C Style Central Boxes**



**TENNESSEE DISTRICT
NASHVILLE, TN 37229**

CLUSTER BOX UNIT (CBU)

- CONCRETE PAD SPECIFICATIONS -

-ANCHORING METHODS-

The following documents are the only USPS approved specifications for pouring concrete pads for the anchoring of CBU's.

CONCRETE SPECIFICATIONS FOR SINGLE UNIT CONCRETE PAD

CONCRETE SPECIFICATIONS FOR MULTIPLE UNIT CONCRETE PAD

ANCHORING METHODS FOR CENTRALIZED BOX UNITS (CBU)

CBU's must be installed approximately one week prior to customer occupancy.

CBU's must not be installed until the local USPS representative has conducted an on-site visit to ensure compliance with the official specifications. **Contact the local USPS representative to have the pads inspected prior to pouring the concrete.**

CBU's must be installed facing the correct direction. CBU's installed on concrete pads poured behind the sidewalk should face the sidewalk. CBU's installed on concrete pads located in landscape strips between the curb and the sidewalk should face the sidewalk. Do not install CBU facing the curb or street—causing the carrier and the customer to stand in the street to deliver or retrieve mail.

CBU's should not be installed so close to an intersection or traffic lane that they block visibility for approaching traffic or could be struck by a passing motor vehicle.

CBU's should not be located on dead-end streets where there is no safe turnaround for Postal delivery vehicles.

Notify your local USPS representative immediately upon completion of the CBU installation so that we can install the arrow lock and secure the unit.

All CBU compartment keys will be distributed by the builder/developer at the time of move in. The Postal Service can agree to distribute the keys if the builder/developer will not be on-site throughout the move in timeframe. The local USPS representative needs to be contacted by the builder/developer for the box address assignments. Each homeowner should be notified by the builder/developer of the approved mode of delivery for the development at the time of move in.

Any deviations from the USPS designated location of the CBU must not occur without first receiving authorization from the local USPS representative.

Planning & Implementing New Mail Service in Your New Single Family Development



1 PLAN EARLY

Contact USPS to determine centralized mailbox locations *before* finalizing development plan.



2 IDENTIFY USPS GROWTH MANAGER

Go to [USPS.com](https://usps.com) or email Delivery.Growth@USPS.gov to find your local USPS growth manager to work with you to determine mailbox locations.



3 DESIGN ACCESSIBLE SPACES

Design selected mailbox site with adequate space for appropriate accessibility by customers and carriers.



4 SELECT MAILBOX EQUIPMENT SUPPLIER



Ensure mailboxes are USPS compliant by selecting an approved manufacturer. An Authorized Florence Dealer can assist you with your mailbox selections.



5 INSTALL CENTRALIZED MAIL EQUIPMENT



6 CONTACT LOCAL POST OFFICE

Stay in contact with your designated USPS representative during building process to plan ahead for inspection & commencement of mail delivery.



7 COMMENCE USPS MAIL SERVICE

USPS installs Master Access locks in mailboxes & mail delivery may begin.



8 DISTRIBUTE MAILBOX KEYS

Assign mailboxes to homes & distribute key at home closing.



9 RESIDENTS RECEIVE MAIL & PACKAGES

Which USPS Compliant Centralized Mailbox is right for your development?



CLUSTER BOX UNITS

A cluster box unit (CBU) is a centralized mailbox that is **freestanding and pedestal-mounted** designed for outdoor installation, individually or in large group installations.

- ▶ Choose from **6 standard configurations** with up to **16 locked residential compartments** and up to **4 integrated parcel lockers**.
- ▶ Residential mail compartments and shared parcel lockers are numbered with a decal or engraved.
- ▶ Expand capacity for package deliveries by adding matching Outdoor Parcel Lockers (OPL) with **2 or 4 parcel compartments**.
- ▶ Pedestal included ensures mailboxes and parcel lockers comply with USPS installation regulations.
- ▶ Dress up the basic CBU & OPL with decorative accessories to complement your neighborhood. These accessories are also USPS Approved products.

Builders and developers are responsible for siting the centralized mail equipment in the development, in collaboration with the US Postal Service, and for the purchase and installation of selected equipment. The builder/developer/property owner is responsible for providing lock and key service for newly installed centralized mail equipment in new single family development.

The USPS will install the Master Access lock in the centralized mailbox unit when mail delivery commences for the first resident in the development being served by the designated mailbox unit.



STD-4C MAILBOXES

USPS STD-4C mailboxes (4C) are similar in structure to CBU except they are **designed to be wall-mounted** indoors or outdoors, individually or in large group installations.

- ▶ When used in a single-family development, USPS Approved 4C mailboxes are typically installed in custom-built kiosk structures complementary to the neighborhood.
- ▶ Choices are plentiful when using STD-4C mailboxes with dozens of pre-configured modules in varying heights making it easy to develop an "outdoor mailroom" for residents in selected locations in the development.

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