



**WORKSHOP SESSION
6:30 p.m. Farragut Town Hall**

- 1. Discuss short term rentals and potential text amendments associated with short term rentals.**

**AGENDA
FARRAGUT MUNICIPAL PLANNING COMMISSION**

**March 21, 2019
7:00 p.m. Farragut Town Hall**

For questions please e-mail Mark Shipley at mshipley@townoffarragut.org or Bart Hose at bhose@townoffarragut.org

- 1. Citizen Forum**
- 2. Approval of agenda**
- 3. Approval of minutes – February 21, 2019**
- 4. Discussion and public hearing on approval of a site plan for renovations at Anchor Park, 11730 Turkey Creek Road (Town of Farragut, Applicant)**
- 5. Discussion and public hearing on approval of plans for a pedestrian facility from Everett Road to Andover Boulevard (Town of Farragut, Applicant)**
- 6. Discussion and public hearing on approval of plans for pedestrian crosswalks at N. Watt Road and Grigsby Chapel Road (Town of Farragut, Applicant)**
- 7. Discussion and public hearing on approval of a site plan for a façade renovation at the former Ingles building at 11801-11833 Kingston Pike, Zoned C-1 (Samia Coker, Land Planning Associates, Applicant)**
- 8. Discussion and public hearing on approval of a site plan revision for an Office/Retail development at 12802 Kingston Pike, 1.341 Acres, Zoned C-1 (GBS Engineering, Applicant)**
- 9. Discussion and public hearing on approval of a resubdivision plat of Lots 9 and 10 in the Farragut View Subdivision, 133 and 139 Admiral Road, 4.46 Acres, Zoned R-1 (Jay Beeler, Applicant)**

- 10. Discussion and public hearing on approval of a revised concept plan for the Ivey Farms Subdivision, Parcels 52, 54, 54.01, and 55, Tax Map 151, 110.92 Acres, 214 Lots, Zoned R-1/OSR (SITE Incorporated/Ryan M. Estabrooks, Applicant)**
- 11. Discussion and public hearing on approval of a preliminary plat for the Ivey Farms Subdivision, Parcels 52, 54, 54.01, and 55, Tax Map 151, 110.92 Acres, 214 Building Lots, Zoned R-1/OSR (SITE Incorporated/Ryan M. Estabrooks, Applicant)**
- 12. Discussion on a preliminary plat for the Ivey Village Subdivision, a portion of Parcel 58, Tax Map 151, 6.78 Acres, 34 Lots, Zoned NCC, OS-P, and FPD (SITE Incorporated/Annette Hommel, Applicant)**
- 13. Discussion and public hearing on approval of a request for a fiber optic extension from Outlet Drive and Snyder Road to the Overlook Apartments off N. Campbell Station Road (Source Broadband Services, Applicant)**
- 14. Discussion on proposed amendments to the future land use map recommended by the Comprehensive Land Use Plan Steering Committee related to the Outlet Drive and Snyder Road corridors (Town of Farragut, Applicant)**
- 15. Discussion on proposed amendments to the Farragut Zoning Ordinance to remove references to elderly and group housing and clustered housing units since the terms are no longer used in the ordinance**
- 16. Approval of utilities**



**MINUTES
FARRAGUT MUNICIPAL PLANNING COMMISSION**

February 21, 2019

MEMBERS PRESENT

Rita Holladay, Chairman
Ed St. Clair, Vice-Chairman
Ed Whiting, Secretary
Ron Williams, Mayor
Louise Povlin, Alderman
Betty Dick
Noah Myers
Jon Greene
Nick LiMandri

MEMBERS ABSENT

Rose Ann Kile

Staff Representatives: Mark Shipley, Community Development Director
David Smoak, Town Administrator

Chairman Holladay called the meeting to order at 7 p.m.

1. Citizen Forum

Mark Shipley mentioned that a Development Symposium will occur on March 12-13 at the Crown Plaza in Knoxville in case any Planning Commissioners may wish to attend. Commissioner Povlin mentioned that the singer songwriter event at the Casual Pint was a success.

2. Approval of agenda

Motion was made by Commissioner Povlin to approve the agenda. Motion was seconded by Commissioner Williams and motion passed unanimously.

3. Approval of minutes – January 17, 2019

Motion was made by Commissioner Myers to approve the January 17, 2019 minutes. Motion was seconded by Mayor Williams and motion passed unanimously with Commissioner St. Clair abstaining due to being absent at the January 17, 2019 meeting.

4. Discussion and public hearing on a final plat for the Brass Lantern Subdivision, Parcel 012, Tax Map 169, 801 McFee Road, 20.22 Acres, 31 Lots, Zoned R-1/OSR (Homestead Land Holdings, Applicant)

Staff recommended approval subject to the following items being satisfactorily addressed as verified in writing by the Town staff:

- 1) Please note that the revised landscaping plan per the modifications to the entrance area and signage must be approved;
- 2) Please complete all engineering field items;
- 3) Please submit verification (with as-built) of detention and other stormwater related facilities. Verification should consider volume, capacity, location and performance with regards to model storm events;
- 4) Please submit a completion letter of credit for \$100,000 for the completion of surface course and sidewalk; and
- 5) Please submit a maintenance letter of credit for \$50,000 for the roadway, sidewalk, walking trails and drainage elements.

Motion was made by Commissioner Dick to approve the final plat subject to the staffs' recommendations. Motion was seconded by Commissioner St. Clair and motion passed unanimously.

5. Discussion and public hearing on a resubdivision plat for 12017 West Kingsgate Road to provide for a street connection from the Brookmere Subdivision to West Kingsgate Road, .36 Acres, Zoned R-2 (Homestead Land Holdings, Applicant)

Staff recommended approval of a variance request from the Subdivision Regulations to permit the street width to be reduced from 26 feet to 20 feet.

Motion was made by Commissioner Povlin to approve the variance due to the length of the street and the nature of the connection to minimize the impacts to the abutting property owners. Motion was seconded by Commissioner Myers and motion passed unanimously with the exception of Commissioner Whiting voting in opposition.

Staff recommended approval of the plat subject to the following items being satisfactorily addressed as verified in writing by the Town staff:

- 1) The language for the easement will need to be approved by the Town Attorney. The Town will need to assure that the easement is under the control of the Town and not just created as an overly broad general public access easement. We will also need to clarify the drainage and utility aspects of the easement to limit any conflicts with the planned roadway. The Town may also wish to assure that it can control and possibly limit utility access where it may conflict with the main purpose; and
- 2) Please ensure that all required letters-of-credit, private restrictions & covenants, and any other required legal documentation has been submitted and approved at the appropriate stages of development (these will likely be needed in association with the preliminary plat for the next phase of Brookmere.

Motion was made by Commissioner St. Clair to approve the resubdivision plat subject to the staffs' recommendations. Motion was seconded by Commissioner Povlin and motion passed unanimously.

6. Discussion on a preliminary plat for the Ivey Farms Subdivision, Parcels 52, 54, 54.01, and 55, Tax Map 151, 110.92 Acres, 214 Building Lots, Zoned R-1/OSR (SITE Incorporated/Ryan M. Estabrooks, Applicant)

For discussion purposes only.

7. Discussion and public hearing on a request from KUB for a gas main extension along a portion of Everett Road from the Split Rail Subdivision to the Town boundary (KUB, Applicant)

Staff recommended approval subject to the following:

- 1) Please try to bore rather than using open trench installation on the Town's portion of the project;
- 2) Please bore to the side of any Town owned/maintained walking trails (unless the line is at a crossing);
- 3) Please obtain a grading and right of way permit from the Town. Silt and tree fencing must be installed and then inspected and approved by the Town staff;
- 4) At a minimum, please restore any affected areas to their pre-construction condition and ensure that all affected areas are completely stabilized;
- 5) Please notify the Split Rail HOA and coordinate the project with the HOA;
- 6) Please ensure that proper traffic control measures are in place; and
- 7) Please provide an as-built of the gas line placement and easements to the Town once the project is complete.

Motion was made by Commissioner Myers to approve the proposed utility project subject to the staffs' recommendations. Motion was seconded by Commissioner Povlin and motion passed unanimously.

8. Discussion and public hearing on request from Concord Telephone Company (TDS Telecom) to extend a 24-strand fiber optic cable along a roughly 50-foot section of the west side of N. Campbell Station Road and then along a roughly 350-foot section of the north side of Jamestowne Boulevard to service the Farragut Community Center/Knox County Senior Center project at 239 Jamestowne Boulevard (TDS Telecom, Applicant)

Staff recommended approval subject to the following:

- 1) Please install using boring. No open trenching;
- 2) Please bore to the side of the sidewalk along N. Campbell Station Road and Jamestowne Boulevard;
- 3) Please obtain a right of way permit from the Town. Please coordinate erosion control measures with the Town staff;
- 4) Please restore any affected areas to their pre-construction condition and ensure that all affected areas are completely stabilized;
- 5) Please ensure that proper traffic control measures are in place and affected entities are notified; and
- 6) Please provide an as-built of the fiber line placement to the Town once the project is complete.

Motion was made by Commissioner Povlin to approve the proposed utility project subject to the staffs' recommendations. Motion was seconded by Commissioner St. Clair and motion passed unanimously.

9. Discussion on the adoption, by reference, of United States Postal Service specifications for Cluster Box Units and Wall-Mounted Centralized Mail Receptacles For discussion purposes only.

The meeting adjourned at 8:30 p.m.

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Sue Stuhl, Parks & Recreation Director

SUBJECT: Discussion and public hearing on a site plan for renovations at Anchor Park, 11730 Turkey Creek Road (Town of Farragut, Applicant)

INTRODUCTION AND BACKGROUND: Development of Anchor Park, the Town's first park, started in 1985. The diamond field and restroom were the first facilities constructed. The restroom, along with the parking and entrance, are not ADA compliant and also need to be enlarged to handle the increased user load that has happened at all the Town parks. The diamond and rectangular fields are used by a variety of athletic clubs, those renting pavilions and also serve as the designated drop-in fields for the Town of Farragut. ADA requires that the spectator and player areas of the fields be accessible, and the fields do not currently meet that requirement. This area of the park is owned by the Town of Farragut as opposed to much of the rest of the park which is owned by TVA (the Town has a use agreement with TVA for this portion.)

In the spring of 2018, the Town of Farragut applied for a State of Tennessee Local Parks and Recreation Fund grant in the amount of \$325,000 for the renovation of Anchor Park. The Town was notified late last summer that we were awarded this grant with the Town matching the grant amount for a total project cost of \$650,000. The purpose and scope of this grant is very specific and involves reconstructing the restroom, plaza entry and parking, and adding access to the spectator and participant areas of both the diamond and rectangular field.

Along with the goal of making this section of the park accessible, the project also benefits our community by providing a larger restroom facility complete with a family restroom and a small covered picnic area. Additional landscaping, lighting the flag pole and better spectator areas are also provided with this project.

RECOMMENDATION: Staff recommends approval of the site plan as presented.

NOT FOR
CONSTRUCTION

NOT FOR
CONSTRUCTION

ANCHOR PARK
ADA RENOVATIONS
TOWN OF FARRAGUT

FARRAGUT

SUBMITTALS / REVISIONS		
NO.	DATE	DESCRIPTION

SHEET TITLE
SITE LAYOUT

PROJECT NO. 18027	DATE 3/21/2019
DRAWN BY TF	SCALE 1" = 10'
CHECKED BY DB	
SHEET NO. SHEET 6 OF 19	

C1.01

Point Table		
Point #	Easting	Northing
1	2515108.0328	559973.8016
2	2515114.4059	559966.5555
3	2515164.2231	559907.4772
4	2515154.3517	559898.6467
5	2515153.8051	559891.7687
6	2515161.0720	559882.8252
7	2515169.1189	559810.9780
8	2515176.7864	559809.4653
9	2515185.6802	559816.8295
10	2515187.3101	559905.1074
11	2515167.5624	559888.9657
12	2515181.9929	559881.9519

Point Table		
Point #	Easting	Northing
13	2515192.1405	559849.5865
14	2515196.5695	559844.2000
15	2515225.0193	559867.5608
16	2515232.3141	559873.1777
17	2515171.7179	559848.3391
18	2515170.6585	559837.1181
19	2515180.1024	559850.0481
20	2515239.0576	559872.3501
21	2515205.6500	559840.8877
22	2515270.2325	559844.7508
23	2515245.2448	559874.3246
24	2515246.6309	559881.9205

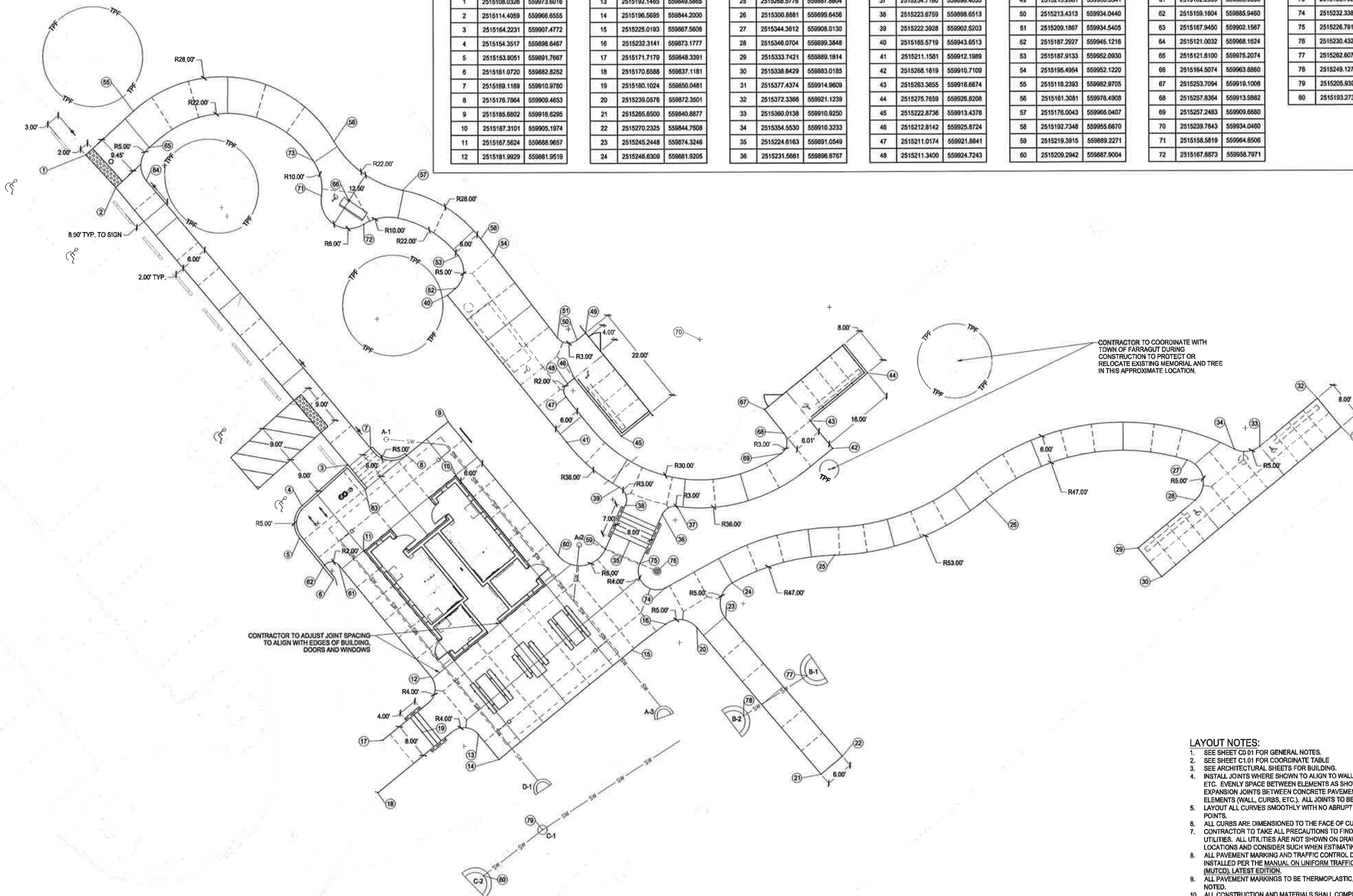
Point Table		
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26	2515300.8881	559899.6456
27	2515344.3612	559908.0130
28	2515346.0704	559899.3848
29	2515333.7421	559889.1814
30	2515338.8429	559883.0185
31	2515377.4374	559914.9609
32	2515372.3368	559921.1239
33	2515360.0138	559910.9250
34	2515354.5530	559910.3233
35	2515224.6163	559891.0549
36	2515231.5681	559896.8707

Point Table		
Point #	Easting	Northing
37	2515234.7180	559898.4055
38	2515223.6759	559898.6513
39	2515222.3928	559902.5203
40	2515185.5719	559943.6513
41	2515211.1581	559912.1989
42	2515268.1619	559910.7109
43	2515263.3655	559916.6874
44	2515275.7659	559926.6208
45	2515222.8736	559913.4378
46	2515212.8142	559925.8724
47	2515211.0174	559921.8841
48	2515211.3400	559924.7243

Point Table		
Point #	Easting	Northing
49	2515215.2881	559935.5341
50	2515213.4313	559934.0440
51	2515209.1887	559934.5405
52	2515121.0032	559945.1216
53	2515187.9133	559952.0930
54	2515195.4954	559952.1220
55	2515118.2393	559982.9705
56	2515161.3081	559976.4908
57	2515176.0043	559968.0407
58	2515192.7348	559955.6670
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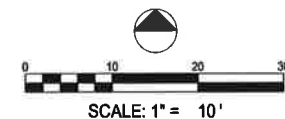
Point Table		
Point #	Easting	Northing
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64	2515121.0032	559945.1216
65	2515121.8100	559975.2074
66	2515164.5074	559963.8860
67	2515253.7094	559919.1006
68	2515257.8364	559913.9882
69	2515257.2483	559909.6680
70	2515239.7843	559934.0460
71	2515158.5819	559964.8506
72	2515167.6873	559958.7971

Point Table		
Point #	Easting	Northing
73	2515156.7622	559972.4228
74	2515232.3382	559881.0017
75	2515226.7914	559886.1742
76	2515230.4328	559884.5187
77	2515262.6075	559882.0343
78	2515249.1274	559853.4154
79	2515205.9391	559829.1408
80	2515193.2731	559810.3736

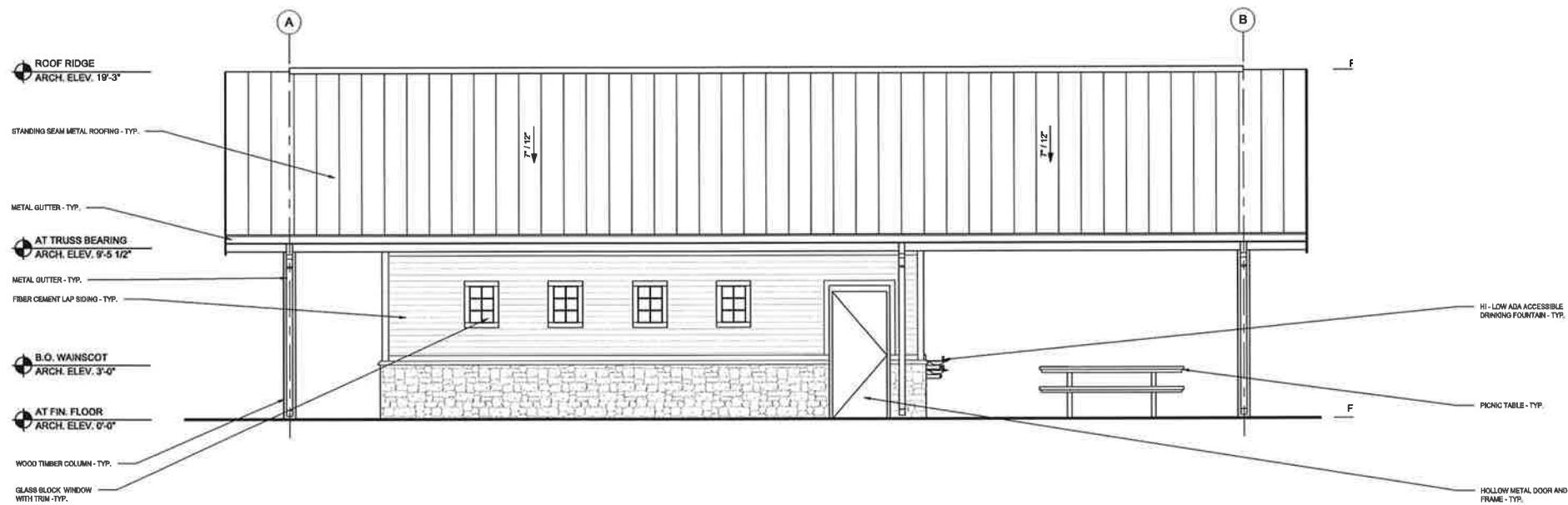


LAYOUT NOTES:

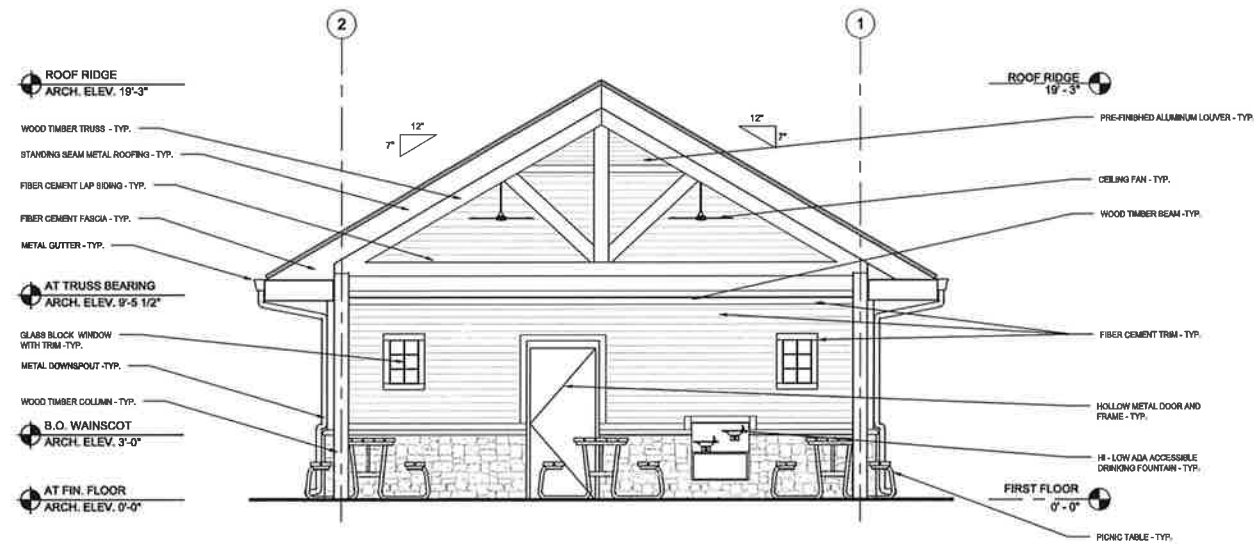
- SEE SHEET C0.01 FOR GENERAL NOTES.
- SEE SHEET C1.01 FOR COORDINATE TABLE.
- SEE ARCHITECTURAL SHEETS FOR BUILDING.
- INSTALL JOINTS WHERE SHOWN TO ALIGN TO WALLS, BUILDINGS, RADI, ETC. EVENLY SPACE BETWEEN ELEMENTS AS SHOWN. PROVIDE EXPANSION JOINTS BETWEEN CONCRETE PAVEMENT AND VERTICAL ELEMENTS (WALL, CURBS, ETC.). ALL JOINTS TO BE STRAIGHT AND TRUE. LAYOUT ALL CURVES SMOOTHLY WITH NO ABRUPT CHANGES AT TANGENT POINTS.
- ALL CURBS ARE DIMENSIONED TO THE FACE OF CURB.
- CONTRACTOR TO TAKE ALL PRECAUTIONS TO FIND AND AVOID SITE UTILITIES. ALL UTILITIES ARE NOT SHOWN ON DRAWING. VERIFY LOCATIONS AND CONSIDER SUCH WHEN ESTIMATING.
- ALL PAVEMENT MARKING AND TRAFFIC CONTROL DEVICES SHALL BE INSTALLED PER THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION.
- ALL PAVEMENT MARKINGS TO BE THERMOPLASTIC, UNLESS OTHERWISE NOTED.
- ALL CONSTRUCTION AND MATERIALS SHALL COMPLY WITH TDOT'S STANDARDS FOR ROADWAY AND BRIDGE CONSTRUCTION, LATEST EDITION.
- ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED.



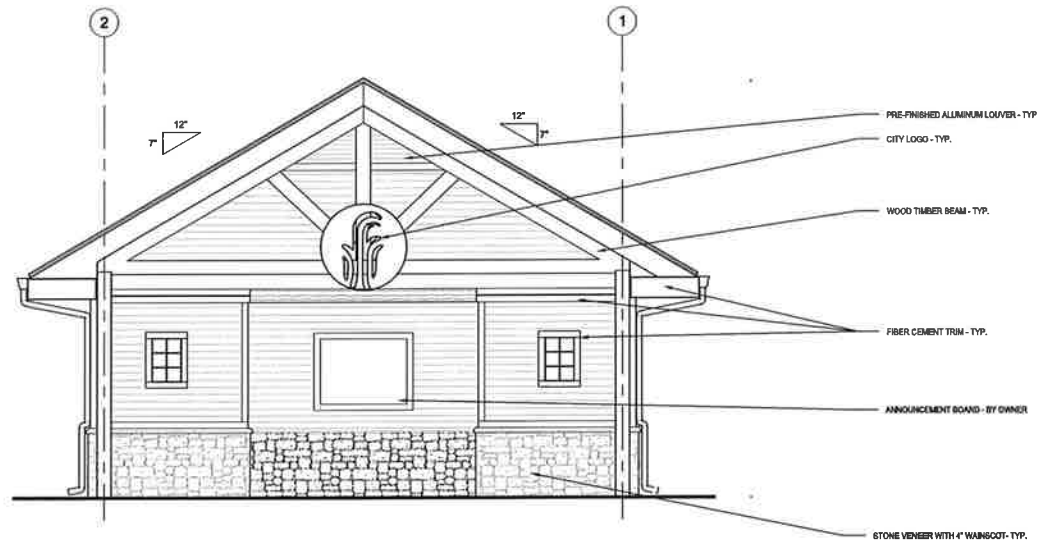
NOT FOR CONSTRUCTION



1 EXTERIOR ELEVATION - NORTH & SOUTH
A.3 1/4" = 1'-0"



2 EXTERIOR ELEVATION - EAST
A.3 1/4" = 1'-0"



3 EXTERIOR ELEVATION - WEST
A.3 1/4" = 1'-0"

FINISH NOTE:

ALL FINISHES, MATERIALS, AND COLORS ON BUILDING EXTERIOR AND INTERIOR
ARE TO BE PROVIDED TO MATCH TOWN OF FARRAGUT STANDARDS AND
APPROVED FINISH SCHEDULE.

REVISIONS		
NO.	DATE	COMMENTS

PROGRESS CD SET

SHEET TITLE

EXTERIOR
ELEVATIONS

PROJECT NO.	DATE
18027	03/21/2019
DRAWN BY	SCALE
TM	AS NOTED
CHECKED BY	
SD	

SHEET NO. SHEET 17 OF 19
A.3



1 EXTERIOR RENDERINGS
A.4 N.T.S.

NOT FOR CONSTRUCTION

ANCHOR PARK
ADA RENOVATIONS

TOWN OF FARRAGUT

FARRAGUT

TENNESSEE

LOSE
DESIGN
SPACES FOR LIFE.

THE DRAWING AND THE DESIGN HEREIN IS THE PROPERTY OF
THE ARCHITECT. REPRODUCTION, COPYING, OR USE OF ANY
CONTENTS HEREIN WITHOUT THE ARCHITECT'S WRITTEN CONSENT IS PROHIBITED.
ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN ACT.

REVISIONS		
NO.	DATE	COMMENTS
PROGRESS CD SET		

SHEET TITLE
EXTERIOR
RENDERINGS

PROJECT NO. 18027	DATE 03/21/2019
DRAWN BY TM	SCALE AS NOTED
CHECKED BY SD	
SHEET NO.	SHEET 19 OF 19

FINISH NOTE:
ALL FINISHES, MATERIALS, AND COLORS ON BUILDING EXTERIOR AND INTERIOR
ARE TO BE PROVIDED TO MATCH TOWN OF FARRAGUT STANDARDS AND
APPROVED FINISH SCHEDULE.

A.5

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Darryl Smith, Town Engineer

SUBJECT: Discussion and public hearing on plans for a pedestrian facility from Everett Road to Andover Boulevard (Town of Farragut, Applicant)

INTRODUCTION AND BACKGROUND: The purpose of this item is the approval of plans for a sidewalk connection along the northern side of Smith Road, from Everett Road to Andover Boulevard.

DISCUSSION: With completion of the Everett Road project (and its adjacent greenways) in 2017, pedestrian facilities have been extended from Kingston Pike northward to Split Rail Farm Subdivision. A connection from these greenways along Smith Road to the existing sidewalk east of Andover will connect pedestrian facilities in the western portion of Farragut to Grigsby Chapel and the Grigsby Chapel and Parkside greenways.

Over the course of the last year, staff has proposed alternate locations along Smith Road for this project. Our intent was to construct as much of the sidewalk as possible within the Andover open space (see map) to save many of the trees along Smith Road. We've reached an agreement (in principle) with the Andover Homeowners Association that will include sidewalk and curb & gutter near the subdivision entrance to mirror the existing sidewalk east of Andover Boulevard.

The attached plan sheets show the existing roadway elements and trees, overlaid by the proposed improvements. The project provides for installation of curb and gutter, a 5' wide sidewalk and 3' grass strip along the north side of Smith Road from Everett Road to the east side of the driveway at 634 Smith Road. At that point, the sidewalk will turn to the north onto the Andover Subdivision's Open Space lot, meandering slightly to avoid existing trees. Away from the roadway, the 5' sidewalk widens to an 8' wide concrete greenway. The 8' greenway roughly parallels Smith Road for approximately 800 feet, at which point it transitions back to 5' sidewalk and 3' grass strip, approximately 180 feet west of the edge of Andover Boulevard. The sidewalk then roughly mirrors the existing sidewalk and curb & gutter on the east side until it meets Andover Boulevard.

With approval of the attached preliminary plans, our consultant (Urban Engineering) will proceed with production of final plans. Nearing completion of those plans, we will begin acquisition of easements on adjacent properties, so that the project may be bid early next year. Construction will likely begin in Spring of 2020, with completion in late Summer 2020.

RECOMMENDATION: Staff recommends approval of the preliminary plans.

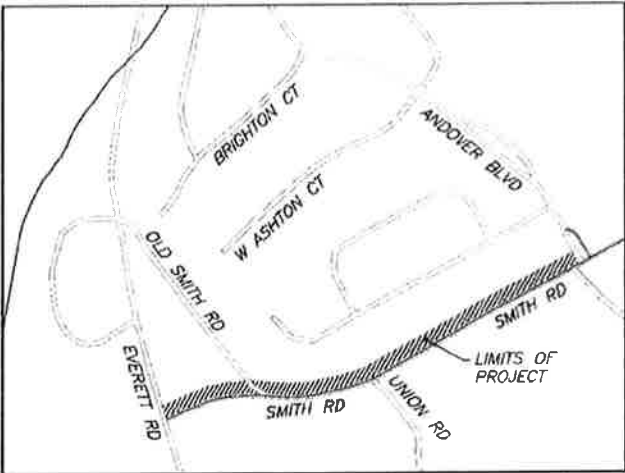
PROPOSED LAYOUT
SMITH ROAD IMPROVEMENTS

DISTRICT NO. FW
TOWN OF FARRAGUT
KNOX COUNTY, TENNESSEE

 ENGINEER:
URBAN ENGINEERING, INC.
11852 KINGSTON PIKE
FARRAGUT, TENNESSEE 37934
(865) 966-1924

DEVELOPER:
TOWN OF FARRAGUT
11408 MUNICIPAL CENTER DRIVE
FARRAGUT, TN 37934
CONTACT: DARRYL SMITH, P.E.
PHONE: (865) 966-7057
FAX: (865) 675-2096

SPECIFICATIONS
EXCEPT WHERE DIRECTED OTHERWISE BY THE PLANS, WORKMANSHIP
AND MATERIAL (BUT NOT MEASUREMENT AND PAYMENT) FOR THIS
PROJECT SHALL BE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS
AND STANDARDS.
ELECTRICAL - AS DIRECTED BY LCUB
GAS - AS DIRECTED BY KUB
WATER - AS DIRECTED BY FIRST UTILITY DISTRICT
SEWER - AS DIRECTED BY FIRST UTILITY DISTRICT
CABLE TV - AS DIRECTED BY CHARTER
TELEPHONE - AS DIRECTED BY TDS
TOWN OF FARRAGUT - ALL APPLICABLE TOWN REGULATIONS
AND ORDINANCES

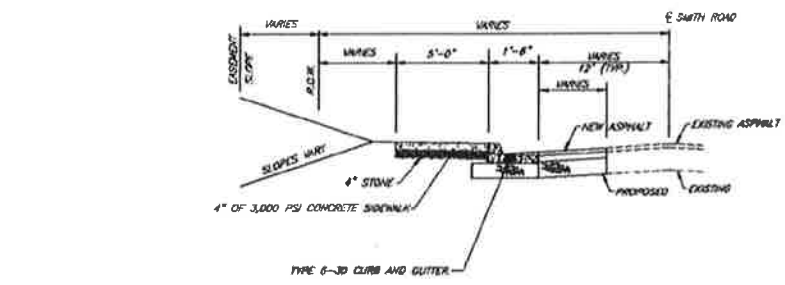


LOCATION MAP
N.T.S.

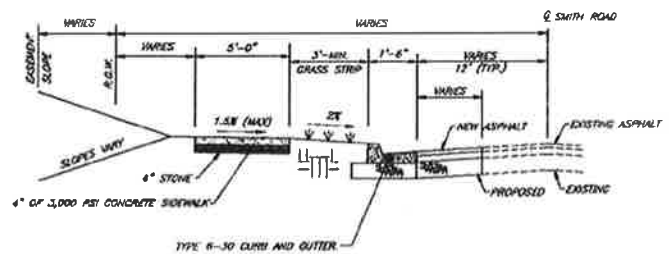
<u>TITLE</u>	<u>SHEET INDEX</u>	<u>SHEET</u>
TITLE SHEET		1
TYPICAL SECTIONS & LIST OF STANDARD DRAWINGS		2
PROPOSED LAYOUT		3 THRU 6

APPROVED BY: _____
RON WILLIAMS, TOWN OF FARRAGUT MAYOR

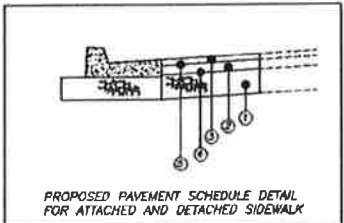
TYPE	YEAR	PROJECT NO	SHEET NO
CONSTRUCTION	2018	SMITH ROAD SIDEWALK EXTENSION	2



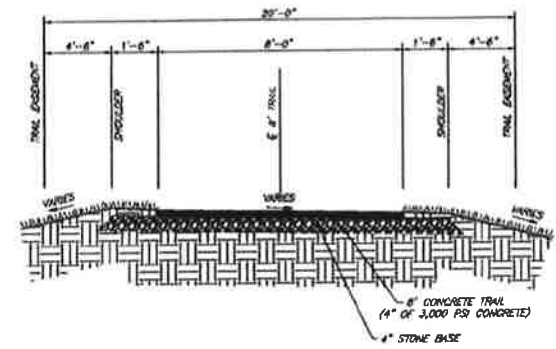
TYPICAL SECTION ATTACHED SIDEWALK
STA 1+41.81 TO 7+08.10
NTS



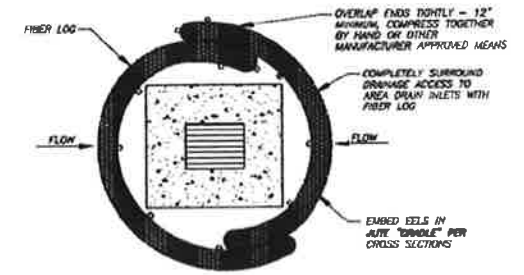
TYPICAL SECTION DETACHED SIDEWALK
STA 1+26.49 TO 1+41.81
STA 7+08.10 TO 16+00.00
STA 24+84.34 TO 26+68.57
NTS



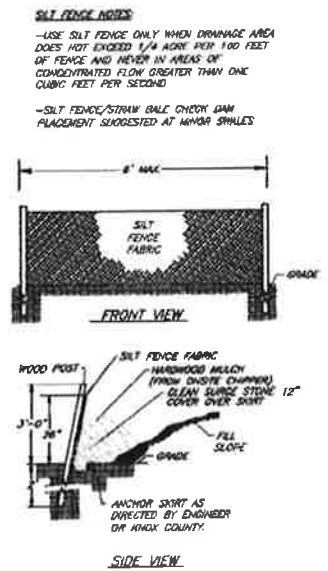
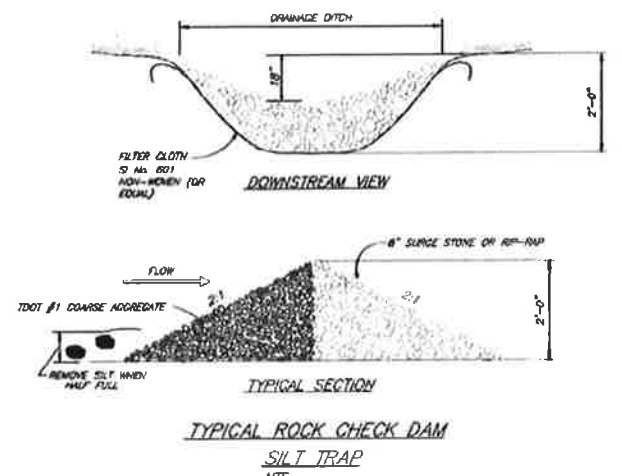
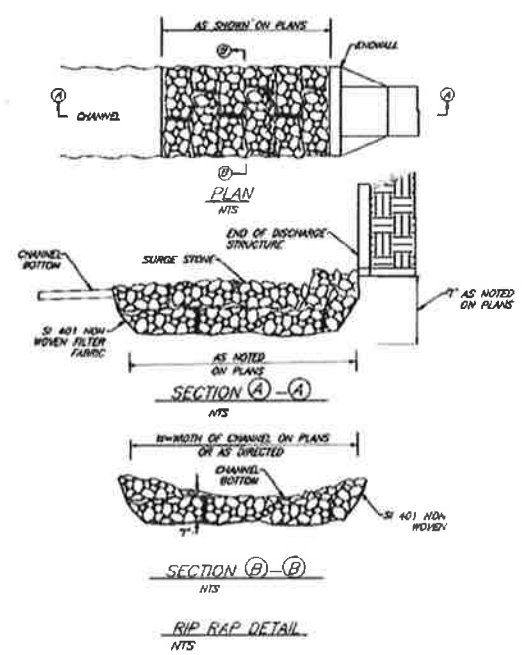
- PROPOSED PAVEMENT SCHEDULE:**
- ① 303-01 MINERAL AGGREGATE TYPE A BASE, GRADING D AT 8 INCHES THICK UNDER ROADWAY.
 - ② 307-03.08 BITUMINOUS PLANT MIX BASE (HOT MIX) GRADING B-M2 AT 2-1/2 INCHES THICK (APPROX. 220 LBS. PER SQ. YARD).
 - ③ 411-01.10 ASPHALTIC CONCRETE SURFACING (HOT MIX) GRADING D AT 1-1/2 INCHES THICK (APPROX. 132.5 LBS. PER SQ. YARD).
 - ④ 402-01 BITUMINOUS MATERIAL FOR PRIME COAT (P.C.) AT 0.35 GALS. PER SQ. YARD.
 - ⑤ 403-01 BITUMINOUS MATERIAL FOR TACK COAT (T.C.) AT 0.02 GALS. PER SQ. YARD.



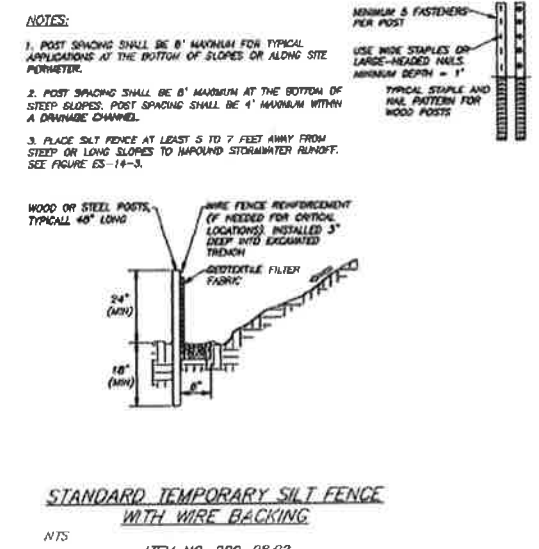
TYPICAL SECTION CONCRETE TRAIL
STA 16+00.00 TO 24+84.34
NTS



- NOTES:**
- 1) PERIODIC MAINTENANCE SHALL INCLUDE CLEANING LOG SURFACE WITH HIGH PRESSURE WASH OR BRUSHING SURFACE WITH BROOM.
 - 2) THIS ITEM IS NOT TO BE PAID FOR SEPARATELY BUT IS TO BE PAID FOR IN THE UNIT PRICE OF OTHER EROSION CONTROL ITEMS AND INSTALLED AND MAINTAINED AS DIRECTED BY HICK COUNTY.

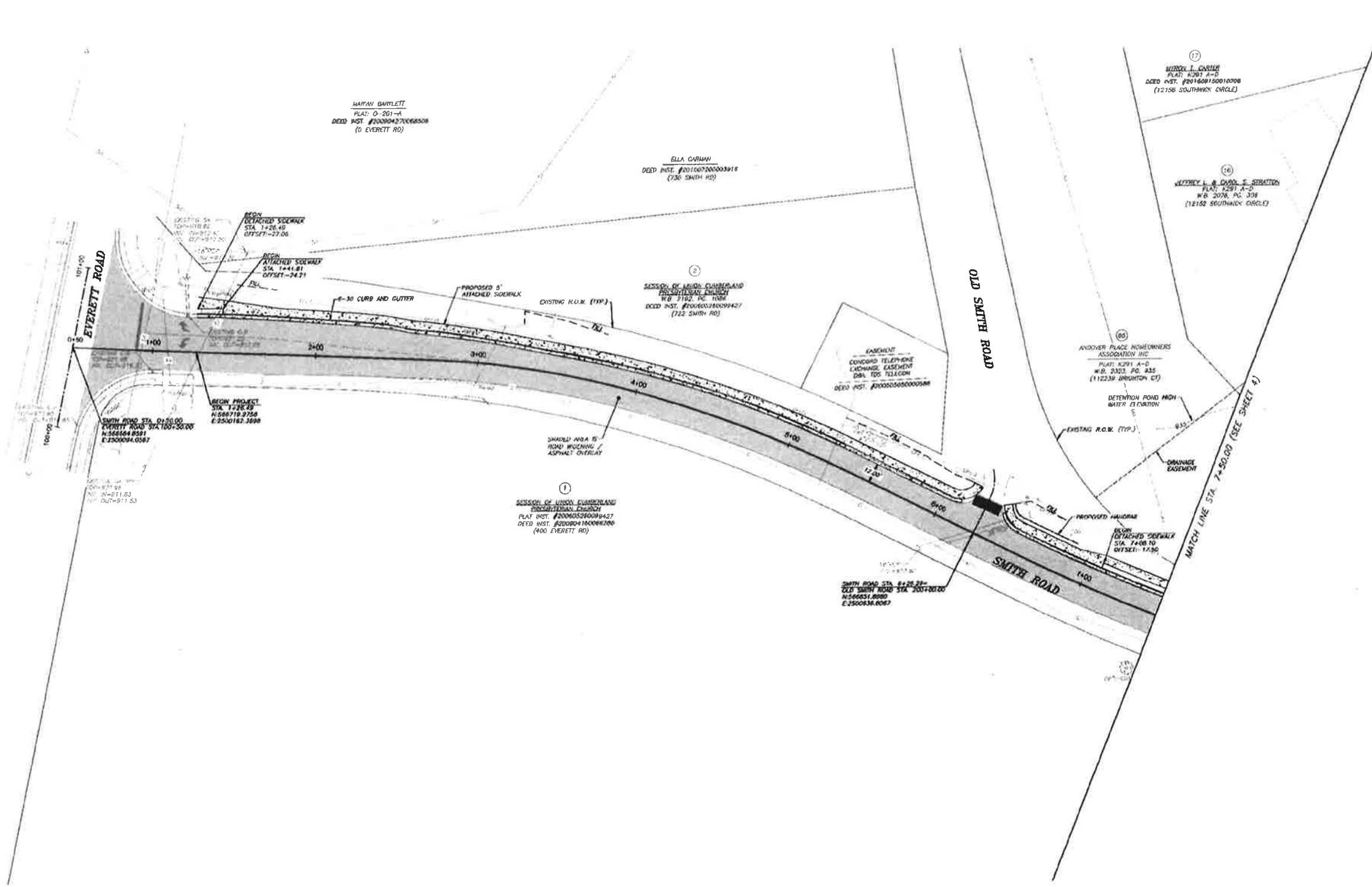


STANDARD TEMPORARY SILT FENCE
ITEM NO. 209-08.03



STANDARD TEMPORARY SILT FENCE WITH WIRE BACKING
ITEM NO. 209-08.02

TYPE	YEAR	PROJECT NO	SHEET NO
CONSTRUCTION	2019	SMITH ROAD SIDEWALK EXTENSION	3

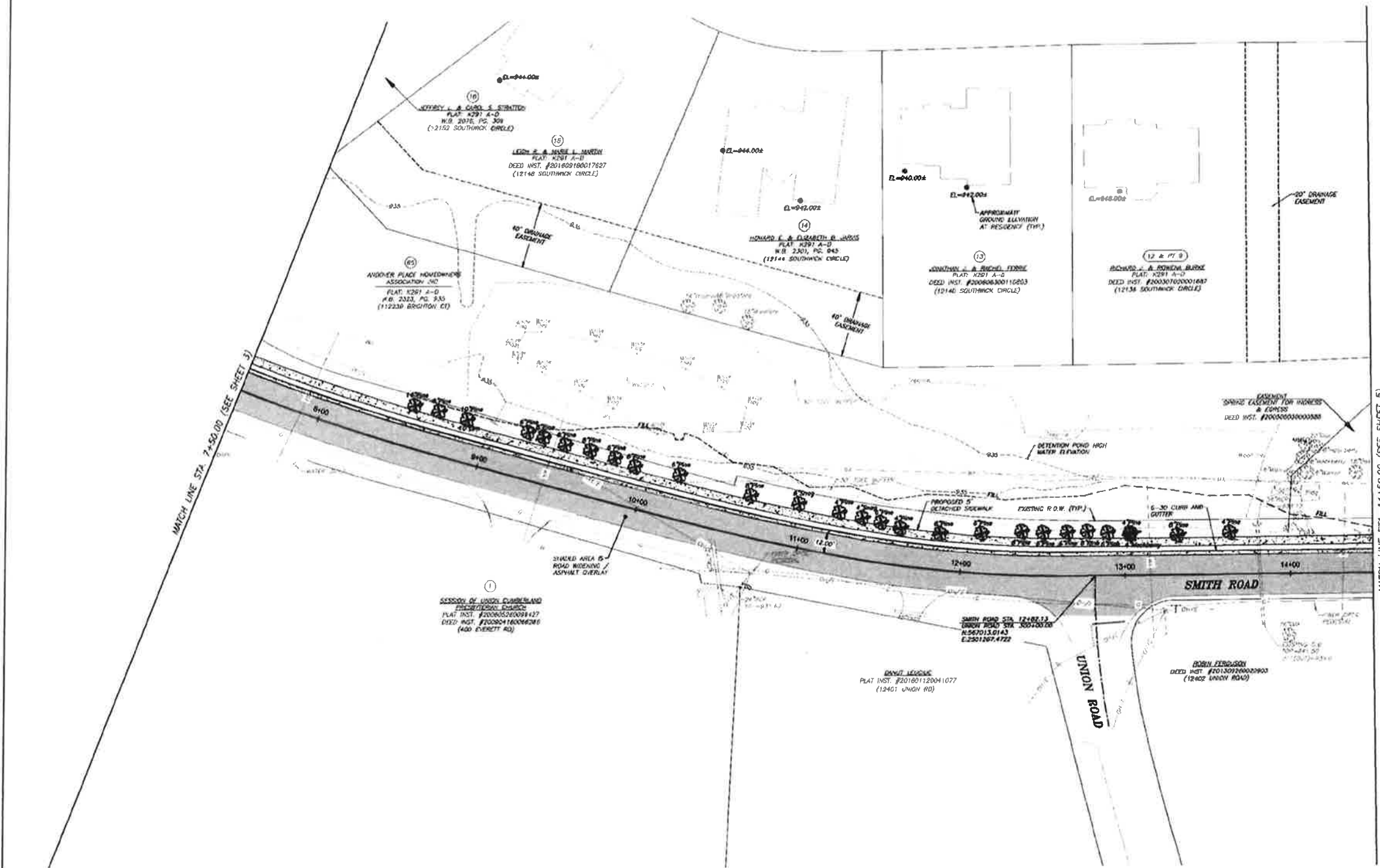


- LEGEND:**
- SIGN
 - UTILITY POLE
 - FIRE HYDRANT
 - WATER VALVE
 - GAS VALVE
 - CATCH BASIN
 - WATER METER
 - SURVEY CONTROL
 - EXIST. GAS LINE
 - EXIST. WATER LINE
 - EXIST. SANITARY SEWER LINE
 - OVERHEAD UTILITY LINE
 - EXIST. TREE
 - EXIST. TREE TO BE REMOVED
 - PROPOSED ROAD WIDENING / ASPHALT OVERLAY
 - PROPOSED CONCRETE FOR CURB & GUTTER, SIDEWALK, AND DRIVEWAY



URBAN ENGINEERING, INC. 11852 KINGSTON PKW FARRAGUT, TENNESSEE 37934 (665) 988-1924	TOWN OF FARRAGUT PROPOSED SIDEWALK EXTENSION SMITH ROAD IMPROVEMENTS	PROPOSED LAYOUT SMITH ROAD SIDEWALK EXTENSION STA. 0+50.00 - STA. 7+50.00	DESIGNED BY: CAS CHECKED BY: CAS SCALE: AS NOTED THIRDS NO. 3 OF 6 SHEETS
NO. DATE REVISIONS	BY: CND	DRAWN BY: CLM DATE: 2/22/2019 FILE NO.: 1710019	

TYPE	YEAR	PROJECT NO.	SHEET NO.
CONSTRUCTION	2019	SMITH ROAD SIDEWALK EXTENSION	4



- LEGEND:**
- SIGN
 - UTILITY POLE
 - FIRE HYDRANT
 - WATER VALVE
 - GAS VALVE
 - CATCH BASIN
 - WATER METER
 - SURVEY CONTROL
 - EXIST. GAS LINE
 - EXIST. WATER LINE
 - OVERHEAD UTILITY LINE
 - EXIST. TREE
 - EXIST. TREE TO BE REMOVED
 - PROPOSED ROAD WIDENING / ASPHALT OVERLAY
 - PROPOSED CONCRETE CURB & GUTTER, SIDEWALK, AND DRIVEWAY

NO.	DATE	BY	CHKD

URBAN ENGINEERING, INC.
 11852 KINGSTON PIKE
 FARRAGUT, TENNESSEE 37934
 (865) 868-1924

TOWN OF FARRAGUT
PROPOSED SIDEWALK EXTENSION
SMITH ROAD IMPROVEMENTS

PROPOSED LAYOUT
SMITH ROAD SIDEWALK EXTENSION
STA. 7+50.00 - STA. 14+50.00

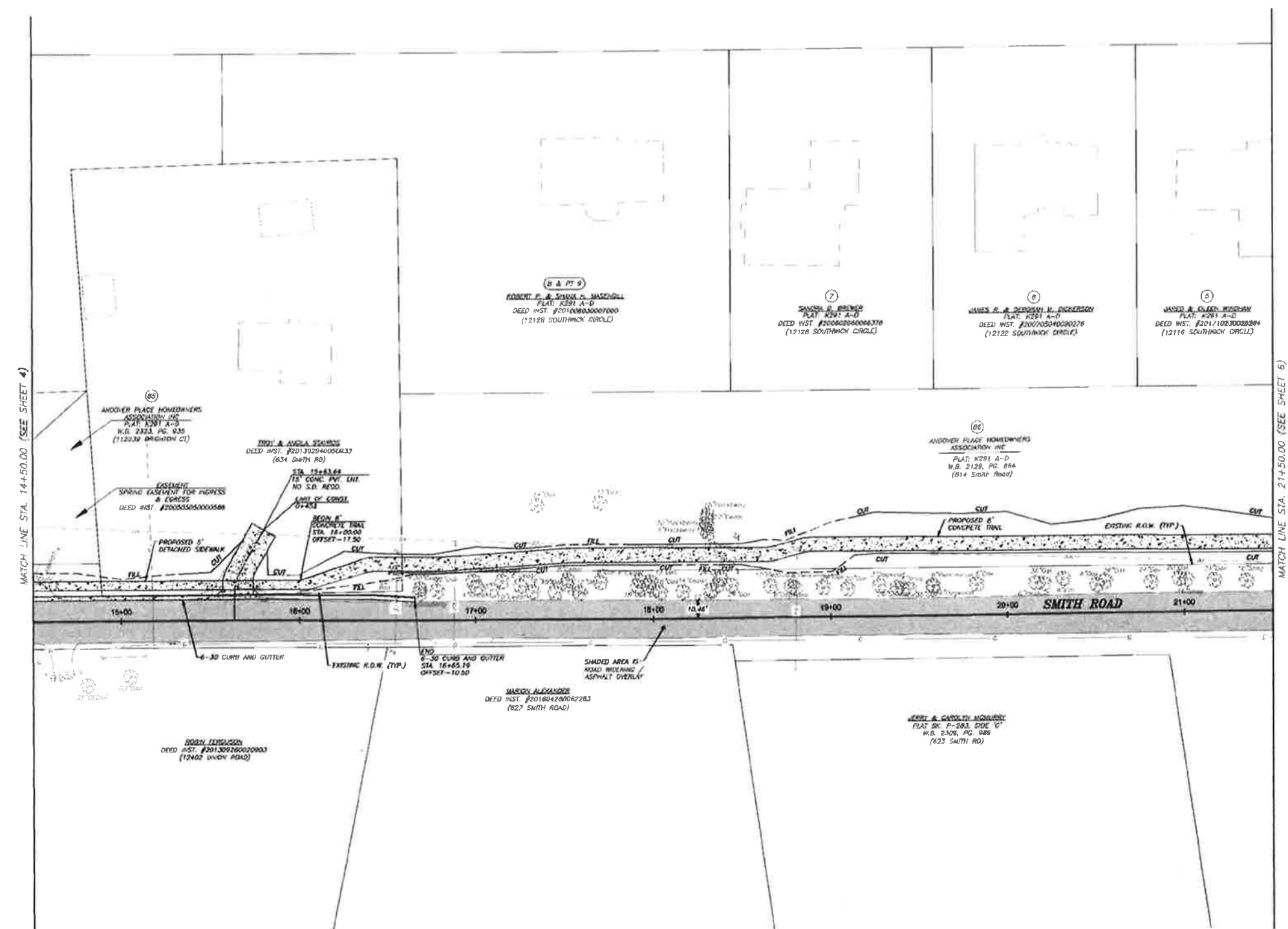
DESIGNED BY: CAS	CHECKED BY: CAS	SCALE: AS NOTED	SHEET FOUR OF 6 SHEETS
DRAWN BY: CLM	DATE: 8/22/2019	FILE NO.: 1710019	



TYPE	YEAR	PROJECT NO.	SHEET NO.
CONSTRUCTION	2019	SMITH ROAD SIDEWALK EXTENSION	5



- LEGEND:**
- SIGN
 - UTILITY POLE
 - FIRE HYDRANT
 - WATER VALVE
 - GAS VALVE
 - CATCH BASIN
 - WATER METER
 - SURVEY CONTROL
 - EXIST. GAS LINE
 - EXIST. WATER LINE
 - OVERHEAD UTILITY LINE
 - EXIST. TREE
 - EXIST. TREE TO BE REMOVED
 - PROPOSED ROAD WIDENING / ASPHALT OVERLAY
 - PROPOSED CONCRETE FOR CURB & GUTTER, SIDEWALK, AND DRIVEWAY



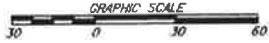
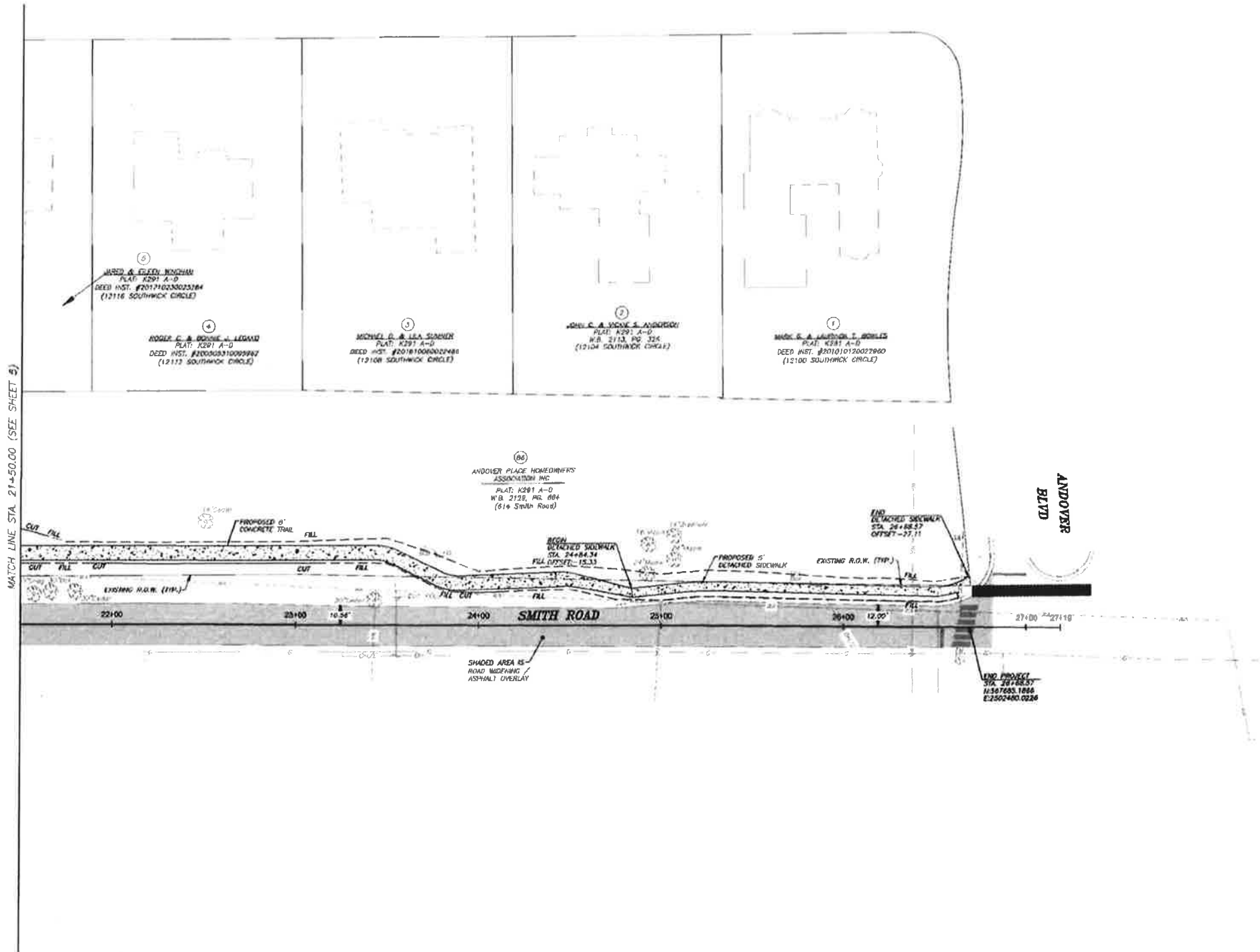
URBAN ENGINEERING, INC. 11852 KINGSTON PIKE FARRAGUT, TENNESSEE 37934 (865) 966-1924				TOWN OF FARRAGUT PROPOSED SIDEWALK EXTENSION SMITH ROAD IMPROVEMENTS		PROPOSED LAYOUT SMITH ROAD SIDEWALK EXTENSION STA. 14+50.00 - STA. 21+50.00		DESIGNED BY: OAS	CHECKED BY: OAS	SCALE: AS NOTED	SHEET FIVE OF 8 SHEETS 5
NO.	DATE	BY	CHK.	REVISIONS				DRAWN BY: CLM	DATE: 2/22/2019	FILE NO.: 1710019	

TYPE	YEAR	PROJECT NO.	SHEET NO.
CONSTRUCTION	2019	SMITH ROAD SIDEWALK EXTENSION	6



LEGEND:

- SIGN
- UTILITY POLE
- FIRE HYDRANT
- WATER VALVE
- GAS VALVE
- CATCH BASIN
- WATER METER
- SURVEY CONTROL
- EXIST. GAS LINE
- EXIST. WATER LINE
- OVERHEAD UTILITY LINE
- EXIST. TREE
- EXIST. TREE TO BE REMOVED
- PROPOSED ROAD WIDENING / ASPHALT OVERLAY
- PROPOSED CONCRETE FOR CURB & GUTTER, SIDEWALK, AND DRIVEWAY



NO.	DATE	REVISIONS	BY	CHK.



URBAN ENGINEERING, INC.
11852 KINGSTON PIKE
FARRAGUT, TENNESSEE 37934
(865) 966-1924

TOWN OF FARRAGUT
PROPOSED SIDEWALK EXTENSION
SMITH ROAD IMPROVEMENTS

PROPOSED LAYOUT
SMITH ROAD SIDEWALK EXTENSION
STA. 21+50.00 - STA. 27+00.00

DESIGNED BY: DAS	CHECKED BY: DAS	SCALE: AS NOTED
DRAWN BY: CLM	DATE: 2/22/2019	FILE NO.: 1710010

SHEET SIX
NO. 6
OF 8 SHEETS

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Darryl Smith, PE, Town Engineer

SUBJECT: Discussion and public hearing on approval of plans for pedestrian crosswalks at N. Watt Road and Grigsby Chapel Road

INTRODUCTION: The purpose of this item is the approval of a proposal for design of mid-block pedestrian crossings and sidewalk connections at two locations: Grigsby Chapel Road at the Grigsby Chapel Greenway, and Watt Road near Mayor Bob Leonard Park.

BACKGROUND: During Board discussions of the Capital Investment Program last spring, the Board identified the need for safety improvements at the mid-block pedestrian crossing on Grigsby Chapel Road, as well as construction of a sidewalk connection from Orchid Grove Subdivision to a new mid-block crossing of Watt Road to Mayor Bob Leonard Park. The two projects were added to our CIP at that time, and staff recommends combining the two into one project to (hopefully) save time and construction costs. At the Grigsby Chapel Road/Greenway crossing (see photo and attached layout), our intent is to add flashing beacons to the existing island that will alert oncoming motorists any time a pedestrian is within the crosswalk. Please see the attached photo of a similar crossing Knox County recently installed near the elementary school on Cedar Bluff Road.

Residents of Orchid Grove Subdivision on Watt Road have for some time requested a sidewalk connection to provide easier access for pedestrians from Orchid Grove and Sedgefield Subdivisions to Mayor Bob Leonard Park. Some portions of this connection have been constructed over the years, so this project will provide sidewalk connections from Lady Slipper Lane to Jones Automotive, from Sedgefield Road to a mid-block crossing of Watt Road and from the mid-block crossing to the northern entrance of Mayor Bob Leonard Park (see second attached aerial photo). The mid-block crossing will feature an island within the center turn lane, as well as flashing beacons that will alert oncoming motorists any time a pedestrian is within the crosswalk.

RECOMMENDATION: Staff recommends approval.



Grigsby Chapel at Greenway Crossing

Knoxville - Knox County - KUB Geographic Information System



Printed: 10/16/2018 at 2:43:29 PM



KGIS makes no representation or warranty as to the accuracy of this map and its information nor in its fitness for use. Any user of this map product accepts the same AS IS, WITH ALL FAULTS and assumes all responsibility for the use thereof. Any further developments and updates to this KGIS shall not be held responsible for any and all damage, loss, or liability arising from any use of this map product.

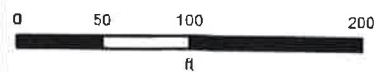




Watt Road at MBLP

Printed: 4/10/2018 at 3:27:22 PM

Knoxville - Knox County - KUB Geographic Information System

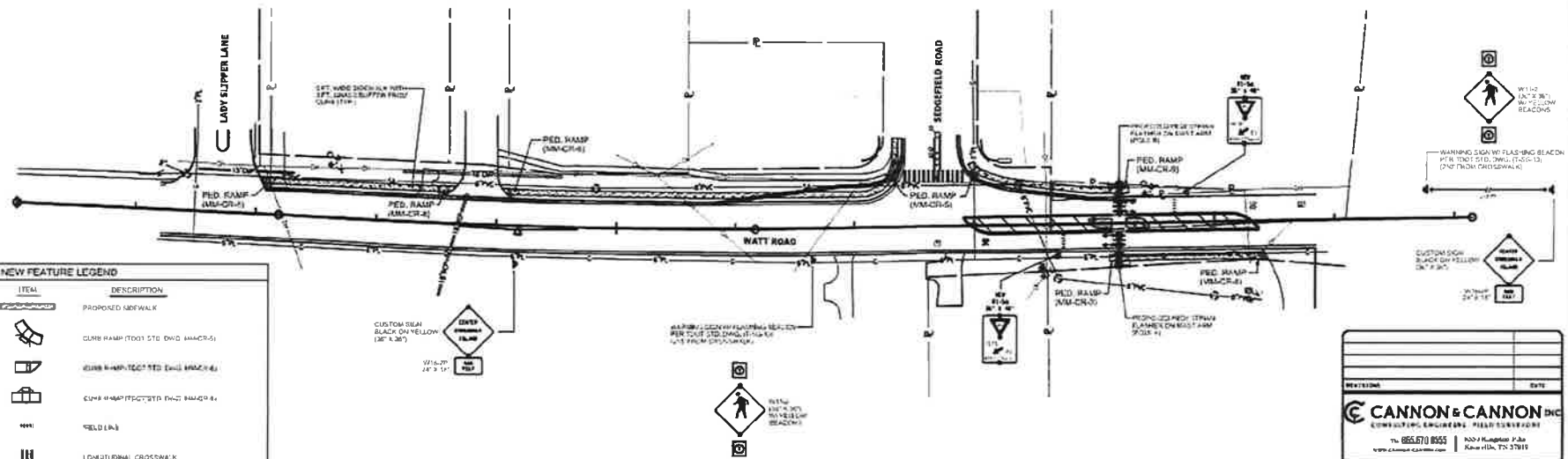
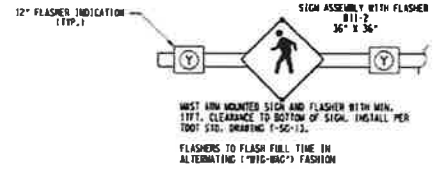


KGIS makes no representation or warranty as to the accuracy of this map and its information nor to its fitness for use. Any user of this map product accepts the same AS IS WITH ALL FAULTS, and assumes all responsibility for the use thereof, and further covenants and agrees to hold KGIS harmless from any and all damage, loss, or liability arising from any use of this map product.

3/12/2019 10:02:10 AM
 C:\022384\0313\Drawings\DWG\031321.dwg

ITEM	DESCRIPTION
	PROPRIETARY SIDEWALK
	CURB RAMP (1001 STD DWD) (M/CN-5)
	CURB RAMP (1001 STD DWD) (M/CN-5)
	CURB RAMP (1001 STD DWD) (M/CN-5)
	FIELD LINE
	LONGITUDINAL CROSSWALK
	METAL STREAM POLE
	MAST ARM
	PROPRIETARY SIDEWALK
	TRAFFIC SIGNAL HEAD (1001 STD DWD)
	BICYCLE
	DOUBLE SOLID YELLOW LINE (1001 STD DWD)
	MATCHING TRACK SYMBOL (1001 STD DWD)
	SIGN POST

DETAIL OF PEDESTRIAN FLASHER ON MAST ARM



PG#	TYPE	HEIGHT	MAST ARM SPREAD	FOOTING DEPTH/DIAMETER
1	MAST ARM WITH SIGN	24"	12"	12"
2	MAST ARM WITH SIGN	24"	12"	12"

NOTES:

1. ALL MAST ARMS AND SIGNS SHALL BE 5 JACK PIONEER COATED WITH OR CHAINING BASES AND SHALL BE DESIGNED FOR THE VERTICAL CLEARANCES AND SPREADS AND LOADINGS REQUIRED BY THIS DESIGN PLAN. THE DESIGN SHALL COMPLY WITH THE REQUIREMENTS OF T.O. 11 STANDARD SPECIFICATION SECTION 701 AND T.O. 11 STANDARD DRAWING 701-100.
2. FINAL DESIGN OF SIGNS AND CHAINING AND THE RESPONSIBILITY OF THE SIGN MANUFACTURER AND CONTRACTOR.
3. CONTRACTOR SHALL STAKE PROPOSED POLE AND PEDESTAL LOCATIONS AND SHALL OBTAIN APPROVAL FOR THESE LOCATIONS PRIOR TO INSTALLATION.
4. FOOTING DEPTH IS DEFINED AS SURFACE OF DRAINAGE - MAINTAINED GRADE OR VARY AND AS NOTED.



1"=40'

REVISIONS		DATE
CANNON & CANNON INC. CONSULTING ENGINEERS - PEDESTRIAN DESIGN 11111 105TH AVE SE TOWN OF FARRAGUT, ID 83401		
PROJECT: FARRAGUT PEDESTRIAN FLASHERS		
WATT ROAD SIDEWALK AND FLASHER LAYOUT		
PRELIMINARY	DATE	3/12/2019
BY	DESIGNER	ALC
CHECKED	DATE	3/12/2019
DATE	DATE	3/12/2019
4		

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on approval of a site plan for a façade renovation at the former Ingles building at 11801-11833 Kingston Pike, Zoned C-1 (Samia Coker, Land Planning Associates, Applicant)

INTRODUCTION AND BACKGROUND: This item involves a request for approval for a façade renovation on the original Ingles building. Though a new roof will be added, and the building will be gutted internally with the exception of the structural walls, this site plan involves a review of what the applicant is proposing in relation to a new façade along the south elevation facing Kingston Pike. Currently, the south façade is a combination of EIFS, wood shingles (which have now been removed), and brick. The applicant is proposing to modify the roofline and columns and add more defined columns to give the building a more modern appearance. Some of the lower portion of the columns will have cultured stone. The façade will include both vertical and horizontal articulation and a defined cap.

The west (left) and north (rear) elevations will remain as concrete masonry units and be re-painted. The east (right) elevation will remain as brick and will also be re-painted. As part of the maintenance of the property, some portions of the parking lot will also be addressed and improved.

DISCUSSION: The existing building does not meet the Town's building materials requirements, as provided for in the Architectural Design Standards. However, as this aspect of the Standards has been historically applied to existing buildings (e.g. the West End Center), the applicant needs to demonstrate that the proposed improvements, as a whole, bring the building more into compliance with the various provisions provided for in the Standards.

RECOMMENDATION: During the discussion with the applicant at the staff/developer meeting on March 5, staff asked the applicant to account for the HVAC screening that would be required for new units to be mounted on the roof. Staff also asked that the applicant incorporate some measures to break up to the "blank wall" appearance of the west, north, and east elevations. The applicant acknowledged that they would provide for the required HVAC unit screening as stipulated in the Zoning Ordinance. And, since the west, north, and east elevations are existing, the applicant is proposing to address the blank wall issue with painting patterns. The applicant will have material and color samples at the meeting and will review the painting patterns on the west, north, and east elevations. Staff recommends approval with the understanding that the HVAC units must be screened as required in the Farragut Zoning Ordinance.

ingles

Markets Incorporated
#91 SHOPPING CENTER
FARRAGUT, TN



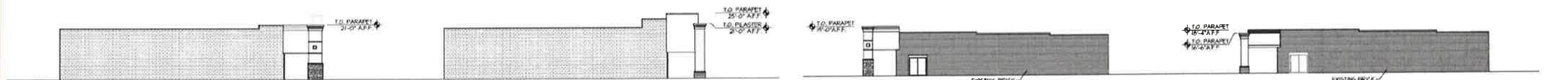
EXISTING EIFS - 6,135	44%	EXISTING BRICK - 2,677	19%
EXISTING STOREFRONT - 3,004	22%	EXISTING METAL FASCIA - 375	3%
EXISTING SHINGLES - 1,768	13%		
TOTAL AREA - 13,904			

EXISTING
FRONT ELEVATION



NEW EIFS - 7,333	56%	EXISTING BRICK - 2,365	18%
EXISTING STOREFRONT - 2,868	22%	NEW STONE - 463	4%
TOTAL AREA - 13,072			

PROPOSED
FRONT ELEVATION



EXISTING CMU - 1,692	88%
NEW EIFS - 184	10%
NEW STONE - 37	2%
TOTAL AREA - 1,916	

PROPOSED
LEFT SIDE ELEVATION



EXISTING CMU - 1,791	87%
EXISTING EIFS - 237	12%
EXISTING BRICK - 12	1%
TOTAL AREA - 1,968	

EXISTING
LEFT SIDE ELEVATION



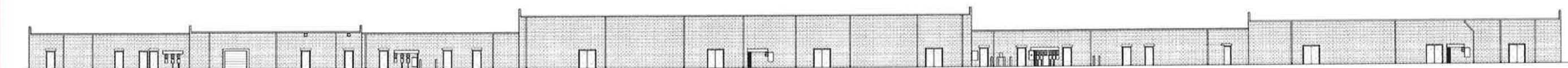
EXISTING BRICK - 1,242	85%
NEW EIFS - 140	10%
NEW STONE - 25	2%
EXISTING STOREFRONT - 55	3%
TOTAL AREA - 1,462	

PROPOSED
RIGHT SIDE ELEVATION



EXISTING BRICK - 1,242	85%
EXISTING EIFS - 140	10%
EXISTING BRICK - 9	1%
EXISTING STOREFRONT - 55	4%
TOTAL AREA - 1,429	

EXISTING
RIGHT SIDE ELEVATION



EXISTING DOORS - 1,057	11%
EXISTING CMU - 8,701	89%
TOTAL AREA - 9,758	

EXISTING
REAR ELEVATION

PREPARED BY:
ROBERTSON LOIA ROOF
ARCHITECTS & ENGINEERS

3400 Preston Road, Suite 275, Alpharetta, Georgia 30005
770-474-2000 Fax 770-474-0745

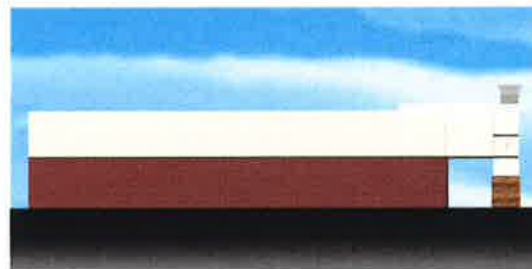
- GENERAL NOTES
1. BEFORE AND AFTER PERCENTAGES LOCATED UNDER ELEVATIONS. (NO CHANGES TO REAR ELEVATION)
 2. OVERALL HEIGHTS ARE LOCATED ON ELEVATIONS ABOVE. THE DEPTH OF THE BUILDING WILL REMAIN THE SAME.
 3. HVAC UNITS WILL NOT BE ADDED AT THIS TIME.
 4. BRICK SHOWN ON PROPOSED ELEVATION IS EXISTING.

ingles

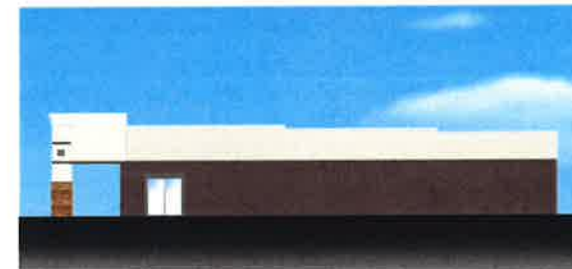
Markets Incorporated
#91 SHOPPING CENTER
FARRAGUT, TN



FRONT ELEVATION

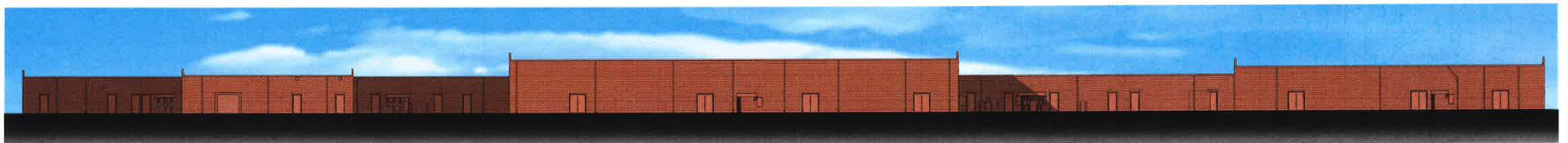


LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION

MATERIAL LEGEND			
	EXISTING BRICK VENEER		EPS - CORNER TREATMENT COLOR: WHITE TEXTURE: SAND FINE
	EPS - WALL TREATMENT COLOR: MANTIS WHITE TEXTURE: SAND FINE		EPS - WALL TREATMENT COLOR: TANNED TEXTURE: SAND FINE
	EXISTING SLABS		EPS - WALL TREATMENT COLOR: TANNED TEXTURE: SAND FINE
	EXISTING GYM FLOOR TAN/WHITE		EXISTING GYM
			EXISTING GYM PAINTED YELLOW/BLACK



REAR ELEVATION

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Bart Hose, Assistant Community Development Director

SUBJECT: Discussion and public hearing on a site plan revision for an Office/Retail development at 12802 Kingston Pike, 1.341 Acres, Zoned C-1 (GBS Engineering, Applicant)

INTRODUCTION AND BACKGROUND: This item involves a site plan revision for the development of an office/retail building at 12802 Kingston Pike. The Planning Commission previously reviewed and approved, with conditions, a similar plan for restaurant on the site. The original restaurant site plan included a 3520 square-foot building with an 800 square-foot covered patio area. It also included 29 space onsite parking lot with additional dedicated off-site shared parking.

The revised site plan now includes a 4320 square-foot office/retail use building, with a 19-space parking lot. There is now no need for off-site parking, and none is planned. The reduction in the number of required parking spaces is related to the change in use. The proposed building is located at the front of the site, along Kingston Pike, making use of the zoning district's 20-foot setback provisions for sites without front yard parking. The building's placement also benefits from a front yard setback variance that was approved by the Board of Zoning Appeals on December 27, 2017 stipulating that the front building setback line would be measured consistently across the property's frontage in relation to the centerline of Kingston Pike. Access to the site is from an existing 50-foot ingress/egress easement that services the property and the larger Renaissance development.

RECOMMENDATION: Included in your packet is a copy of the revised site plan along with the staffs' comments on the original site plan. Staff will make a recommendation at the meeting based on whether the revised plan has addressed the initial staff comments.

Mark Shipley

From: Mark Shipley
Sent: Thursday, February 28, 2019 8:55 AM
To: 'Mark Bialik'; 'Noah Myers'
Cc: Bart Hose; Darryl Smith; 'lori.saal@townoffarragut.org'; Connor Vermilyea; Matt Brazille; Mark Shipley
Subject: comments on site plan for office/retail project

Guys,

Below please find the staffs' comments on the site plan that was submitted for the office/retail building at 12802 Kingston Pike. This is on the staff developer agenda for next Tuesday at 11:30. Please let us know if you have any questions. Thanks.

1. Please add a setback dimension between the retaining wall at the western end of the parking lot and the property line.
2. A minimum 5-foot wide terminal island is required at the end of all parking isles. The proposed retaining walls appear to limit terminal island width in some areas, please adjust the plan. Perhaps one parking space could be removed (since you are one over) and then the space could be freed up for the correct terminal island minimum widths.
3. The parking ratio is calculated based on the requirements for general retail and office uses. Please note this on the plan.
4. The response/comment letter submitted with the plans indicates that the proposed sidewalk widths have been increased to 5 feet. The plan notes do not reflect this, please correct.
5. The response/comment letter submitted with the plans indicates that shared parking is no longer needed or proposed. At least one plan sheet still identifies "proposed shared parking spaces". Please correct and align all plan sheets.
6. The response/comment letter submitted with the plans indicates that the dumpster has been eliminated. Is this wise given the possible retail use of the building?
7. There is no pedestrian (sidewalk) connection between the sidewalk along the building entrance area and the sidewalk along the entrance drive. Please address the issue.
8. The site lighting plan does not include cut-sheets for the proposed fixtures, please include on the plan sheets.
9. Though you have a note on the plans, please double check and make sure the parapets will be high enough to screen the roof mounted HVAC units.
10. The landscaping plan will need to be approved by the Town VRRB.
11. Please provide irrevocable letter of credit for erosion control of \$6700.
12. Please submit Drainage fee of \$525.

March 11, 2019

RECEIVED

MAR 11 2019

TOWN OF FARRAGUT

Mr. Mark Shipley,
Community Development Director,
Town of Farragut,
11408 Municipal Center Drive,
Farragut, Tennessee 37934

Re: Staff comments on Site Plan for 12802 Kingston Pike,
Parcels 63.08, Tax Map 151, Farragut.

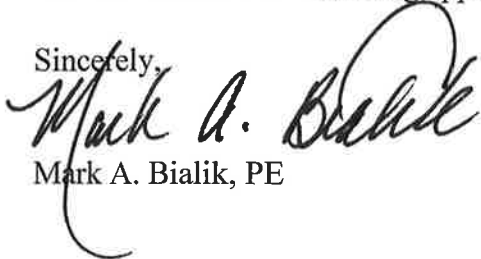
Dear Mark,

Attached are the required 4 full size and 1 set of 11" x 17" of revised drawings of the Site Development Plans for 12802 Kingston Pike. We have addressed the Staff comments as follows:

1. We have added the requested dimensions to drawing C3.1.
2. We have adjusted the parking field to make sure all of the terminal islands are a minimum of 5', see drawing C3.1,
3. We have added the verbiage to the parking ratio calculations to state they are based on "General Retail and Office use", see drawing C3.0.
4. We have added the additional dimensions to the sidewalks to define all are to be a minimum of 5' wide, see drawing C3.1.
5. We have eliminated all callouts of shared parking on any of the drawings.
6. The Developer has stated they do not see the need for a dumpster.
7. We have added the requested sidewalk, see all plan sheets.
8. We have added the requested cut-sheets to the plans, see drawings E1.0.
9. We have confirmed the elevations of the parapets will provide the proper screening for the roof top mounted HVAC systems.
10. We understand the Landscape Plan does require VRRB approval.
11. We will provide the required \$6700 for erosion control, and the Drainage Fee of \$525 prior to obtaining the Grading Permit.

We look forward to obtaining approval of these plans.

Sincerely,



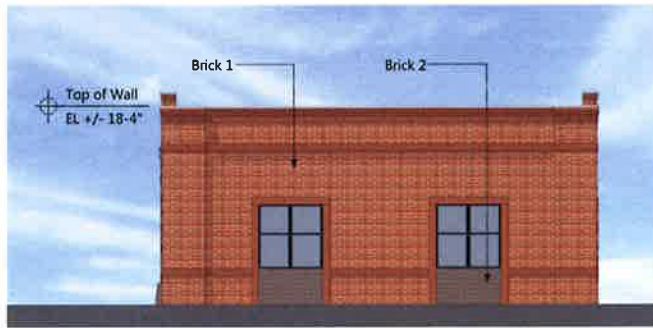
Mark A. Bialik, PE

MARK A. BIALIK, PE
865.566.0185 (V)
888.485.7005 (F)

BBB ENGINEERING
313 KALMIA ROAD
NOXVILLE, TENNESSEE 37909



PERSPECTIVE VIEW



WEST ELEVATION
SCALE 1/8"=1'-0"



SOUTH ELEVATION
SCALE 1/8"=1'-0"



EAST ELEVATION
SCALE 1/8"=1'-0"



NORTH ELEVATION
SCALE 1/8"=1'-0"

REVISIONS

DATE	DESCRIPTION
01-31-18	REVISED PER TOWN OF FARRAGUT COMMENTS
02-11-19	REVISED PER OWNER REQUEST

RECEIVED

MAR 11 2019

TOWN OF FARRAGUT

BLUE RIDGE ARCHITECTURE

1313 KALMIA ROAD
KNOXVILLE, TENNESSEE
865.670.9298 (V)

37909
888.485.7005 (F)

EXTERIOR ELEVATIONS

SPEC BUILDING
12802 KINGSTON PIKE
FARRAGUT, TENNESSEE 37934

PROJECT NO: DRAWN BY: STAFF CHECKED BY:

PERMIT SET

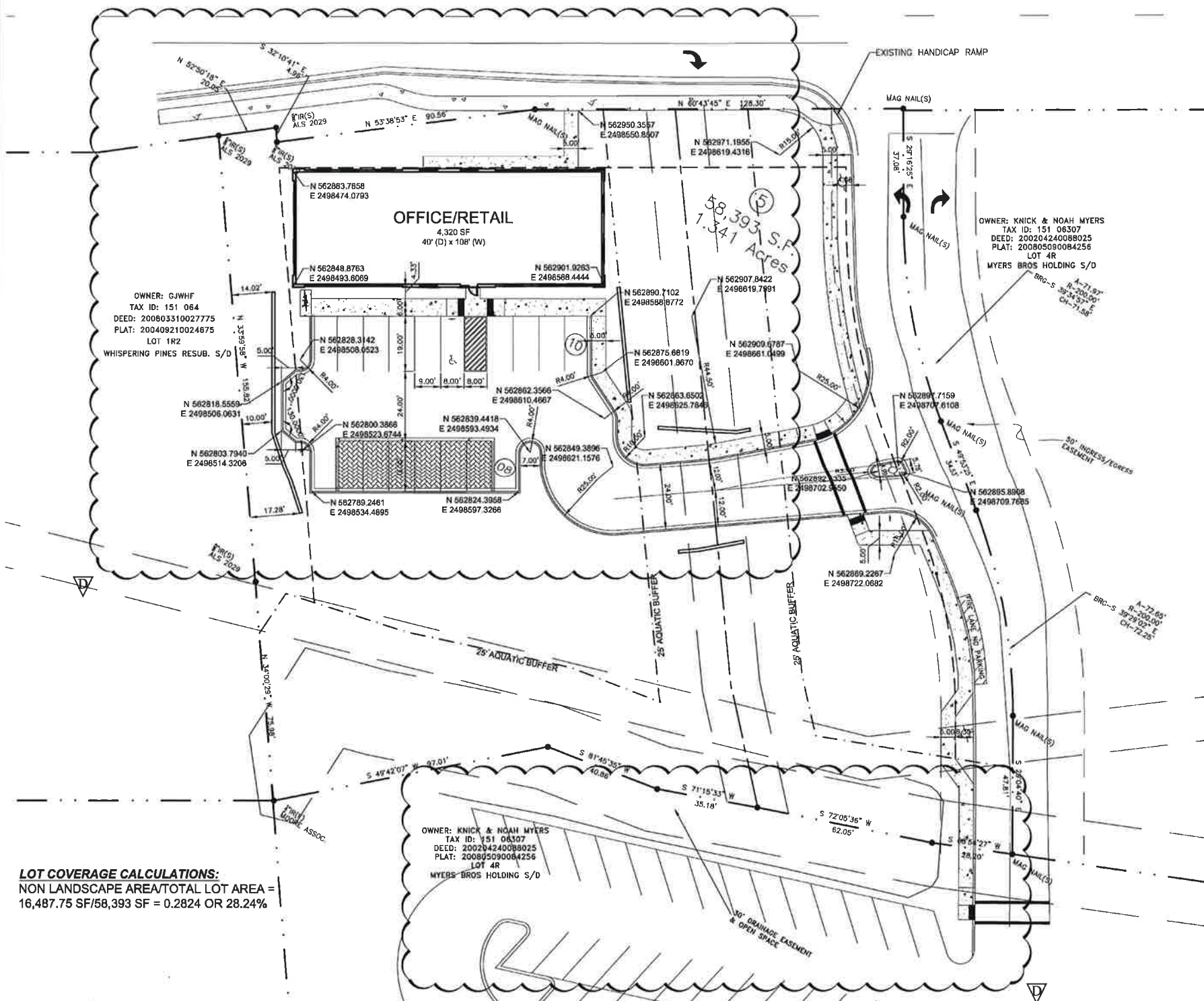
ISSUE DATE:

CONSTRUCTION SET

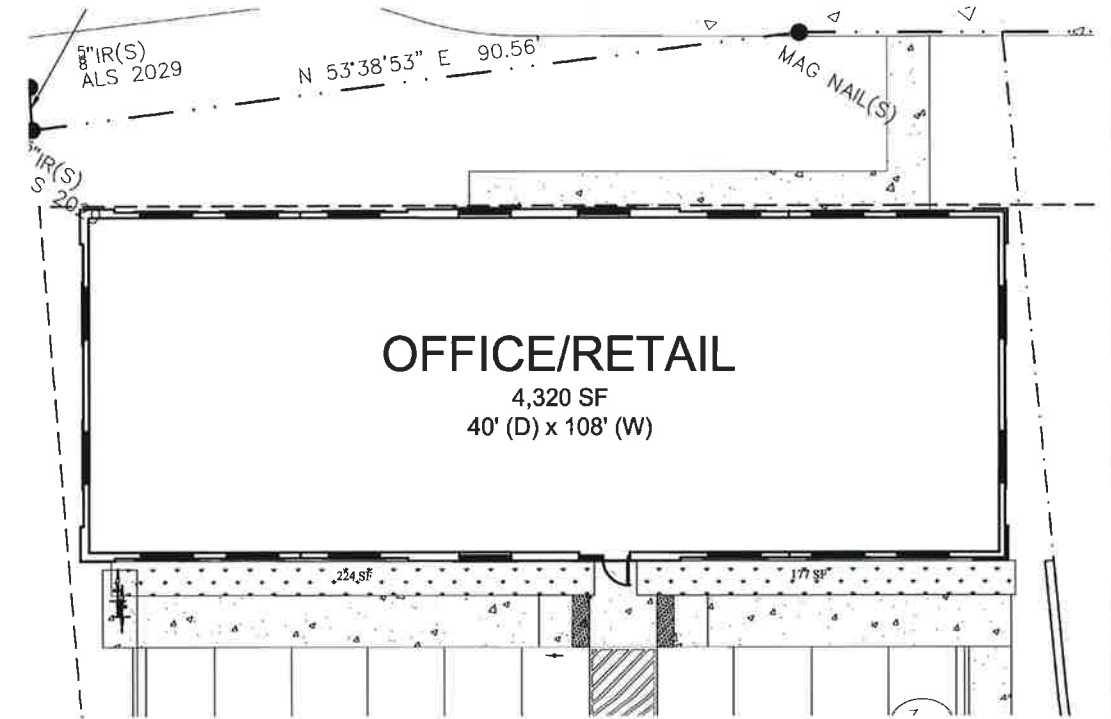
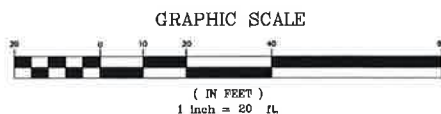
ISSUE DATE:

DRAWING NUMBER:

KINGSTON PIKE

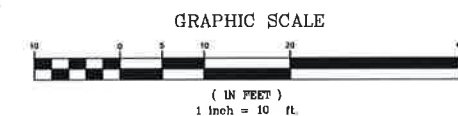


SITE LAYOUT PLAN
Scale: 1" = 20'-0"



BUILDING PERIMETER LANDSCAPING

Scale: 1" = 10'-0"

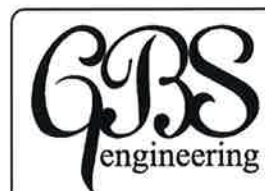


LANDSCAPE CALCULATIONS:
REQUIRED LANDSCAPE AREA
LINEAR FOOTAGE OF BUILDING x 2.5' =
108 LF x 2.5 = 270 SF REQUIRED
PROVIDE LANDSCAPE AREA =
224 + 177 = 401 SF

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MAR 11 2019

TOWN OF FARRAGUT



1313 Kalmia Road
Knoxville, TN 37909
Phn: 865.566.0185
Fax: 888.485.7005

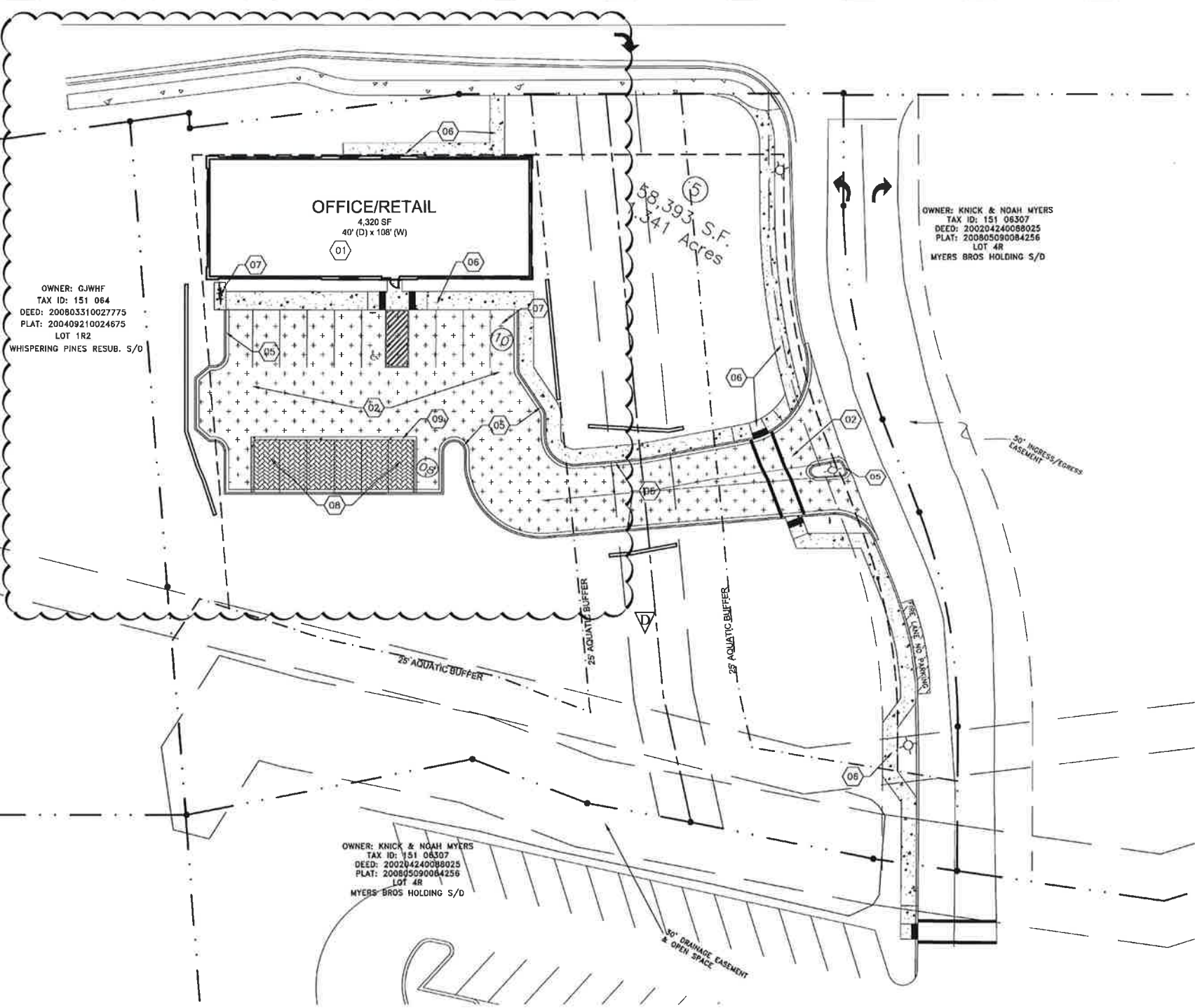


REV.	DESCRIPTION	BY	DATE
A	Revised per Town of Farragut Comments	THF	01/31/2018
B	Revised per Town of Farragut Comments	THF	02/20/2018
C	Revised per Owners Request	THF	02/11/2019
D	Revised per Town of Farragut Comments	THF	03/11/2019
-	-	-	-
TITLE: SITE LAYOUT PLAN		DRAWN BY: -	SHEET NO:
LOCATION: 12802 KINGSTON PIKE FARRAGUT, TENNESSEE 37934 CLT Map 151, Parcel No. 63.08		CHECKED BY: -	C3.1
Owner: MYERS BROS HOLDINGS		FILE NAME: 2155 - C3.0	
		JOB NUMBER: 2155	
		ISSUE DATE: 01/12/2018	

KINGSTON PIKE

LEGEND	
	CONCRETE
	STANDARD DUTY ASPHALT PAVING
	HEAVY DUTY ASPHALT PAVING
	PERMEABLE BRICK PAVERS

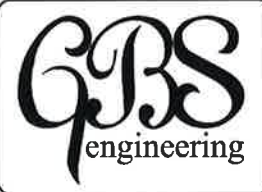
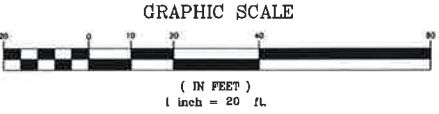
- CONSTRUCTION NOTES
- 01 NEW OFFICE/RETAIL BUILDING (SEE ARCHITECTURAL DRAWINGS), INSTALLED BY CONTRACTOR.
 - 02 STANDARD-DUTY ASPHALT PAVEMENT, SEE DRAWING C9.0 FOR MORE DETAILS.
 - 03 HEAVY-DUTY ASPHALT PAVEMENT, SEE DRAWING C9.0 FOR MORE DETAILS.
 - 04 CONCRETE PAVEMENT, SEE DRAWING C9.0 FOR MORE DETAILS.
 - 05 STANDARD CONCRETE CURB AND GUTTER SEE DETAILS FOR SPECIFICATIONS. INSTALLED BY CONTRACTOR.
 - 06 4" REINFORCED CONCRETE SIDEWALK, SEE DRAWING C9.0 FOR MORE DETAILS.
 - 07 NEW BICYCLE RACK, SEE DETAILS FOR MORE DETAIL. CONTRACTOR TO PROVIDE AND INSTALL.
 - 08 PERMEABLE PAVER SECTION, SEE DETAILS FOR SPECIFICATIONS. INSTALLED BY CONTRACTOR.
 - 09 HEADER CURB. SEE DETAILS FOR SPECIFICATIONS. INSTALLED BY CONTRACTOR.



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MAR 11 2019
TOWN OF FARRAGUT

OWNER: KNICK & NOAH MYERS
TAX ID: 151 06307
DEED: 200204240088025
PLAT: 200805090084256
LOT 4R
MYERS BROS HOLDING S/D

7 SITE PAVING PLAN
Scale: 1" = 20'-0"

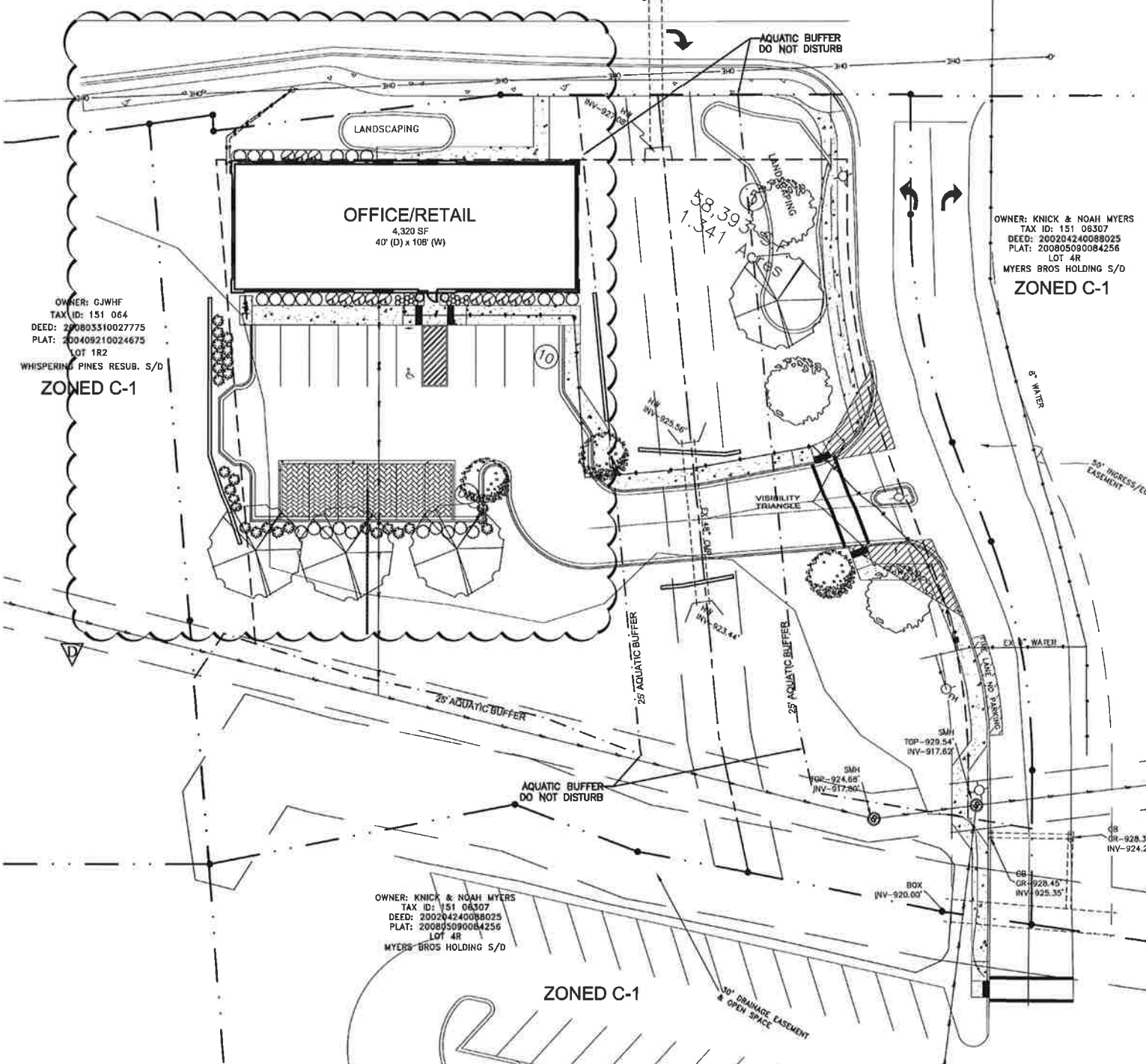


1313 Kalmia Road
Knoxville, TN 37909
Phn: 865.566.0185
Fax: 888.485.7005



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-	-	-	-
TITLE: SITE PAVING PLAN		DRAWN BY: -	SHEET NO:
LOCATION: 12802 KINGSTON PIKE FARRAGUT, TENNESSEE 37934 CLT Map 151, Parcel No. 63.08		CHECKED BY: -	C5.0
Owner: MYERS BROS HOLDINGS		FILE NAME: 2155 - C5.0	
		JOB NUMBER 2155	
		ISSUE DATE: 01/12/2018	

KINGSTON PIKE



OWNER: KNICK & NOAH MYERS
TAX ID: 151 06307
DEED: 200204240088025
PLAT: 200805090084256
LOT 4R
MYERS BROS HOLDING S/D

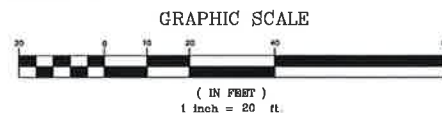
ZONED C-1

LOT COVERAGE CALCULATIONS:
NON LANDSCAPE AREA/TOTAL LOT AREA =
16,487.75 SF/58,393 SF = 0.2824 OR 28.24%

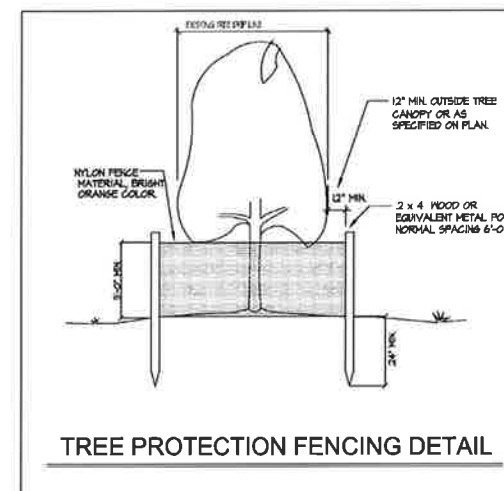
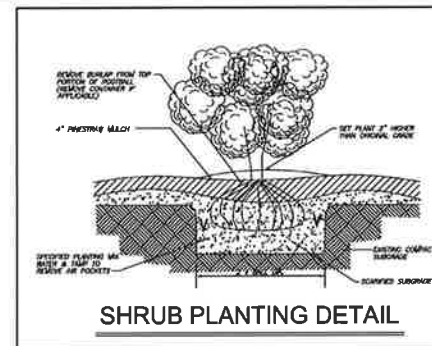
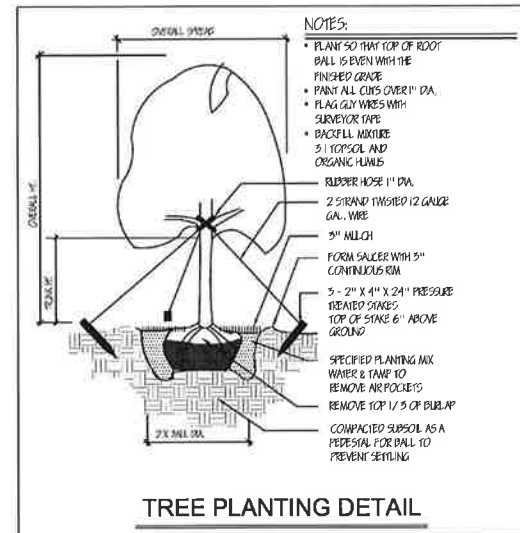


SITE LANDSCAPE PLAN

Scale: 1" = 20'-0"



OWNER: KNICK & NOAH MYERS
TAX ID: 151 06307
DEED: 200204240088025
PLAT: 200805090084256
LOT 4R
MYERS BROS HOLDING S/D
ZONED C-1



PLANT SCHEDULE (S) = SHADE TREE (UD) = UNDERSTORY TREE (F) = FOUNDATION PLANTING (H) = HEDGE						
SYMBOL	COMMON NAME	BOTANICAL NAME	MINIMUM SIZE	QUANTITY	AREA REQUIRED	TYPE
	ACER RUBRUM	RED MAPLE	2.5" CALIPER	5	S	SHADE TREE
	QUERCUS PHellos	WILLOW OAK	2.5" CALIPER	4	S	SHADE TREE
	HAMMELS VIRGINIANA	WITCH HAZEL	2.5" CALIPER	5	UD	UNDERSTORY TREE
	POEA CLAUDIA 'COMCA'	DW. PALM TREE SPRUCE	3' HEIGHT	2	F	EVERGREEN ORNAMENTAL TREE
	RAPHALEPS INOCA	INDIAN HAWTHORNE	5 GALLON	24	F	EVERGREEN FLOWERING SHRB
	EUNYMOS RASCHOVICUS	MANHATTAN EUNYMOS	5 GALLON	5	H	EVERGREEN HEDGE
	ITEA VIRGINICA	VIRGINIA SWEETSPRUCE	5 GALLON	25	F	DECIDUOUS FLOWERING SHRB
	LIRIOPE MUSCARI	'BIG BLUE' LILY TURF	4" POT	16		FLOWERING GROUND COVER

- LANDSCAPE NOTES:
- 1.) THERE ARE NO OVERHEAD UTILITIES WITHIN THE BOUNDARIES OF THE PROPERTY LINE. ALL UNDERGROUND UTILITIES SHALL BE VERIFIED BEFORE ANY DIGGING OR EXCAVATION.
 - 2.) THIS PROPERTY IS ZONED C-1, PROPERTIES TO NORTH, EAST, AND WEST ARE C1, PROPERTY SOUTH IS ZONED O-1 AND C-1
 - 3.) THIS PLAN REFLECTS AND IS CONSISTENT WITH THE REMAINING PLAN SHEETS ASSOCIATED WITH THIS PROJECT.
 - 4.) ALL FINISHED LAWN AREAS SHALL AVE A MINIMUM OF 4\"/>

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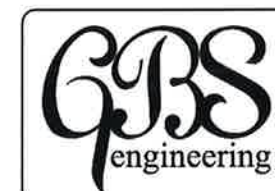
TOWN OF FARRAGUT



Vicinity Map NTS

1 SHADE TREE/2500 S.F. IMP. AREA
(16,487.75 / 2500) = 7

SITE LANDSCAPE PLAN PREPARED BY DESIGNER WITH BACHELORS DEGREE IN LANDSCAPE DESIGN.



1313 Kalmia Road
Knoxville, TN 37909
Phn: 865.566.0185
Fax: 888.485.7005



REV.	DESCRIPTION	BY	DATE
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-			
TITLE: SITE LANDSCAPE PLAN		DRAWN BY: -	SHEET NO:
LOCATION: 12802 KINGSTON PIKE FARRAGUT, TENNESSEE 37934 CLT Map 151, Parcel No. 63.08		CHECKED BY: -	C7.0
Owner: MYERS BROS HOLDINGS		FILE NAME: 2155 - C7.0	
		JOB NUMBER 2155	
		ISSUE DATE: 01/12/2018	

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Bart Hose, Assistant Community Development Director

SUBJECT: Discussion and public hearing on a resubdivision plat of Lots 9 & 10 in the Farragut View Subdivision, 133 and 139 Admiral Road, Approximately 4.46 Acres, Zoned R-1 (Jay Beeler, Applicant)

INTRODUCTION AND BACKGROUND: The item involves the minor resubdivision of Lots 9 & 10, Block B, Farragut View Subdivision (CLT 143-A, Group A, Parcels 18 & 19).

DISCUSSION: The existing lots, 9 & 10, are currently 3.05 acres and 2.22 acres in area, respectively. The proposed resubdivision action would result in a new lot 9R containing 4.408 acres and a new lot 10R containing .864 acres or 37,654 square-feet. The lot frontage of both lots will remain unchanged along Admiral Road. Both lots contain existing structures so setback compliance with respect to the new lot lines must be documented.

RECOMMENDATION: Included in your packet is a copy of a revised resubdivision plat along with staff comments on the initial plat. Staff will make a recommendation at the meeting based on whether staffs' comments have been addressed.

Mark Shipley

From: Mark Shipley
Sent: Monday, March 4, 2019 5:15 PM
To: 'jaybeeler@knoxvillefinehomesrealty.com'; 'susieandjims@gmail.com'
Cc: Bart Hose
Subject: plat comments

Guys,

Hope you're doing well. Below are the staffs' comments on the resub plat for Lots 9 and 10, Farragut View. Please provide a revised plat and one 11x17 size version by Monday, March 11. Thanks.

Resubdivision, Lots 9 & 10 Farragut View - Comments

1. The acres listed in the Area Subdivided Note does not match the acreage listed on the lots. Please correct.
2. It appears (as per KGIS maps) that the lot has access to public water and sewer lines in Admiral Road. If this is the case service availability should be verified and the appropriate notes placed on the plat. Please note that lot 10R would not meet the Town's minimum lot area for subsurface sewage disposal systems.
3. Please clarify the types and use of the existing buildings shown on the plat. The minimum setbacks need to be documented verified for the accessory structures.
4. Please include the Town's release of easements certification if there are any previously platted drainage or utility easements located along the portion of the lot line being deleted.
5. The surveyor needs to seal and sign the plat.



LOCATION MAP
NOT TO SCALE

NOTES:

1. CLT MAP 143-A, GROUP A, PARCELS 18 & 19.
2. NO. OF LOTS - 2.
3. AREA SUBDIVIDED - 5.337 ACRES.
4. IRON PINS AT ALL CORNERS, INDICATED WITH AN "X". ALL PINS ARE SET UNLESS NOTED OTHERWISE WITH AN "X".
5. A FIVE (5) FOOT UTILITY, DRAINAGE, AND CONSTRUCTION EASEMENT ON EACH SIDE OF INTERIOR LOT LINES, A TEN (10) FOOT UTILITY, DRAINAGE, AND CONSTRUCTION EASEMENT ON INSIDE OF ROAD RIGHTS-OF-WAY AND LOT LINES IS RESERVED.
6. THIS PROPERTY IS ZONED R-1.
7. 7.5' UTILITY EASEMENT EACH SIDE OF SANITARY SEWER LINES AS INSTALLED.
8. BUILDING SETBACK LINES:
FRONT - 35'
SIDE - 15' (TOTAL OF 40' 2 SIDES)
REAR - 25'
9. BEARINGS ARE REFERENCED TO TOWN OF FARRAGUT GRID.
10. DEED REFERENCE - D.B. 2188, PG. 902
D.B. 1901, PG. 604
11. LOT 10R WOULD NOT MEET THE TOWN'S MINIMUM AREA FOR SUBSURFACE SEWAGE DISPOSAL SYSTEMS. SANITARY SEWER SERVICE IS AVAILABLE IN THE RIGHT-OF-WAY OF ADMIRAL ROAD AS SHOWN.

Thomas & Susan Flynn
Lot 11, Block B
Farragut View S/D
Plat Book 19, Page 117

Knox County Board of Education
CLT 142, Parcel 134
D.B. 1754, Page 256

David & Marva Vaughn
CLT 143, Parcel 001.10
Deed Ref. 20041129-0044065

J.A. Beeler, Jr.
Lot 8, Block B
Farragut View S/D
Plat Book 19, Page 117

CERTIFICATE OF ELECTRIC, GAS
AND TELEPHONE AVAILABILITY

This is to certify that every lot within this subdivision has available to it a source for the service identified by signature(s) below which service source is adequate to accommodate the reasonable needs of such lot as to such service within such subdivision.

Date _____ GAS - Name, Title, and Agency of
Authorized Approving Agent

Date _____ ELECTRIC - Name, Title, and Agency of
Authorized Approving Agent

Date _____ TELEPHONE - Name, Title, and Agency of
Authorized Approving Agent

CERTIFICATE OF APPROVAL OF WATER SYSTEM

I hereby certify that it has been certified to us that the water system(s) outlined or indicated on the final subdivision plat entitled _____ have been installed in accordance with current local and state government requirements.

Date _____ Name, Title, and Agency of
Authorized Approving Agent

CERTIFICATE OF OWNERSHIP AND DEDICATION

I (We) hereby certify that I am (We are) the owner(s) of the property shown and described hereon as evidenced in Book Number _____, County Register's Office, and that I (We) hereby adopt this plan of subdivision with my (our) free consent, establish the minimum building restriction lines, and dedicate all streets, alleys, walks, parks, and other open space to public or private use as noted.

_____, 20____ Owner

CERTIFICATE OF APPROVAL OF STREET NAMES

This is to certify that the subdivision shown hereon has been reviewed for compliance with the Knox County Uniform Street Naming & Addressing System Ordinance, and the road names are hereby approved for recording.

Knox County Addressing Division

CERTIFICATE OF APPROVAL PRIVATE SUBSURFACE SEWAGE DISPOSAL

General approval is hereby granted for lots proposed hereon as being suitable for subsurface sewage disposal with the listed and/or attached restrictions.

Before the initiation of construction, the location on the house or other structures and plans for the subsurface sewage disposal system shall be approved by the local health authority.

Date _____

Local Health Authority

CERTIFICATE OF SURVEY ACCURACY

I hereby certify that the plan shown and described hereon is a true and correct survey to the accuracy required by the Farragut Municipal Planning Commission and that the monuments have been placed as shown hereon, to the specification of the Subdivision Regulations. This is a Category I Land Survey and the ratio of precision of the unadjusted survey is equal to or greater than 1:_____ as shown hereon.

Date _____

Registered Surveyor
No. _____



SURVEYOR:
JIM SULLIVAN
2843 CREEKSTONE CIRCLE
MARYVILLE, TN 37804
PH. (865) 406-7324

OWNER:
J.A. BEELER, JR.
133 ADMIRAL ROAD
KNOXVILLE, TN. 37934
PH. (865) 437-9338

CERTIFICATE OF APPROVAL FOR RECORDING

I hereby certify that the subdivision plot shown here has been found to comply with the Subdivision Regulations for Farragut, Tennessee, with the exception of such variances, if any, as are noted in the minutes of the Planning Commission and that it has been approved for recording in the Office of the County Register of Deeds.

Date _____, 20____ Secretary, Planning Commission

Graphic Scale in Feet
100' 50' 0' 100' 200'

RESUBDIVISION OF LOTS 9 & 10, BLOCK B
FARRAGUT VIEW SUBDIVISION
CLT 143-A, GROUP A, PARCELS 18 & 19

TOWN OF FARRAGUT
DISTRICT 6 - KNOX CO., TENN.
SCALE: 1"=100' FEB. 18, 2019
MARCH 11, 2019



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MAR 11 2019

TOWN OF FARRAGUT

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

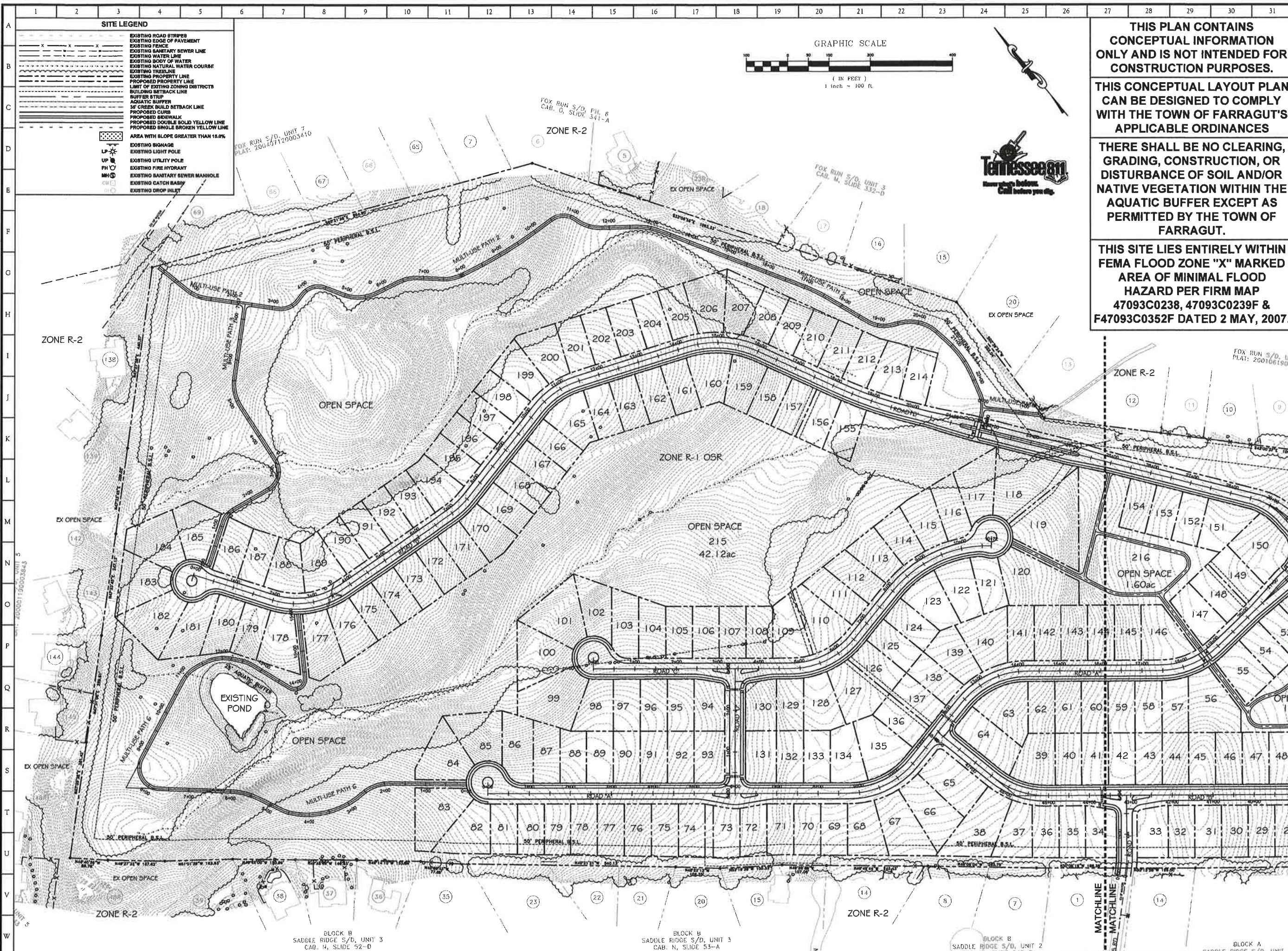
PREPARED BY: Bart Hose, Assistant Community Development Director

SUBJECT: Discussion and public hearing on a revised concept plan for the Ivey Farms Subdivision, Parcels 52, 54, 54.01, and 55, Tax Map 151, 110.92 Acres, 214 Lots, Zoned R-1/OSR (Site Incorporated/Ryan M. Estabrooks, Applicant)

INTRODUCTION AND BACKGROUND: This item involves revisions to the concept plan for the Ivey Farms Subdivision. The original concept plan was reviewed and approved by the Planning Commission in July 2018. Since that time the applicants have been working on a more detailed preliminary plat and related construction plans. A preliminary plat was discussed as a workshop item at the last Planning Commission meeting and a revised version of that plat will be considered for approval at this meeting.

DISCUSSION: The revised concept plan is being submitted to document design changes since the original plan was reviewed, and it reflects a preliminary plat that was discussed by the Planning Commission at its last meeting. Such changes are typical and result from the more detailed analysis and design work that goes into preparing a preliminary subdivision plat for submission. The revised concept plan includes some modifications to the original street layout, changes to the internal walking trail network and open-space areas, and the location of the development's clubhouse and pool area. The plan also now calls for a total of 214 lots, whereas the original plan included 211 lots. The revised concept plan also continues to provide for more than one vehicular access into and out of the development, as is required by the Town's subdivision requirements.

RECOMMENDATION: Included in your packet is a copy of a revised concept plan. Staff will make a recommendation regarding the revised plan at the meeting.



THIS PLAN CONTAINS CONCEPTUAL INFORMATION ONLY AND IS NOT INTENDED FOR CONSTRUCTION PURPOSES.

THIS CONCEPTUAL LAYOUT PLAN CAN BE DESIGNED TO COMPLY WITH THE TOWN OF FARRAGUT'S APPLICABLE ORDINANCES

THERE SHALL BE NO CLEARING, GRADING, CONSTRUCTION, OR DISTURBANCE OF SOIL AND/OR NATIVE VEGETATION WITHIN THE AQUATIC BUFFER EXCEPT AS PERMITTED BY THE TOWN OF FARRAGUT.

THIS SITE LIES ENTIRELY WITHIN FEMA FLOOD ZONE "X" MARKED AREA OF MINIMAL FLOOD HAZARD PER FIRM MAP 47093C0238, 47093C0239F & F47093C0352F DATED 2 MAY, 2007.

STIE INCORPORATED
 Civil Engineers & Surveyors
 10215 Technology Drive, Suite 304
 Knoxville, TN 37932
 Phone: (665) 777-4160
 www.stie-incorporated.com



Conceptual Layout Plan

Ivey Farms
 12733, 12737, 12743, & 12751 Union Road
 Farragut, Tennessee 37934
 Belle Investment Company, Inc.

RECEIVED
 MAR 11 2019
 TOWN OF FARRAGUT

NO.	DATE	COMMENTS
1	07/09/18	Revised per Town of Farragut Comments
2	03/11/19	Revised per Town of Farragut Comments

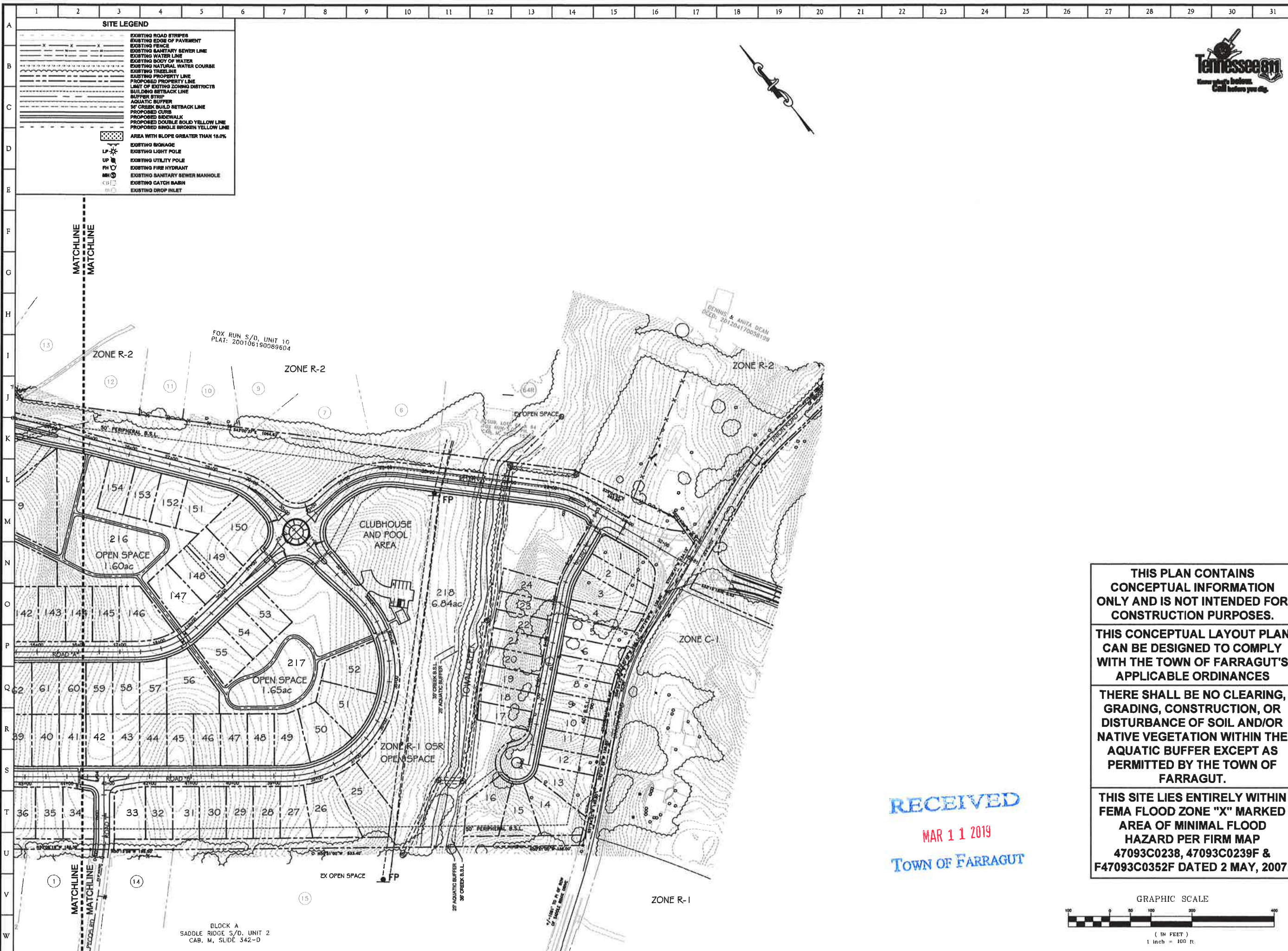
REVISIONS

CHECKED BY: RA DATE: 06/18/18 FILE: 1951-Concept

DRAWN BY: RME

SP.4

SHEET 5 OF 8



STH
INCORPORATED
Civil Engineers & Surveyors
10215 Technology Drive, Suite 304
Knoxville, TN 37932
Phone: (865) 777-4160
www.sth-incorporated.com



Conceptual Layout Plan
Ivey Farms
12733, 12737, 12743, & 12751 Union Road
Farragut, Tennessee 37934
Belle Investment Company, Inc.

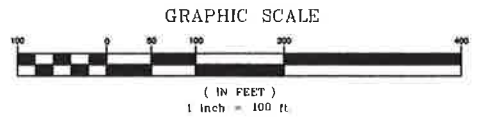
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THERE SHALL BE NO CLEARING, GRADING, CONSTRUCTION, OR DISTURBANCE OF SOIL AND/OR NATIVE VEGETATION WITHIN THE AQUATIC BUFFER EXCEPT AS PERMITTED BY THE TOWN OF FARRAGUT.

THIS SITE LIES ENTIRELY WITHIN FEMA FLOOD ZONE "X" MARKED AREA OF MINIMAL FLOOD HAZARD PER FIRM MAP 47093C0238, 47093C0239F & F47093C0352F DATED 2 MAY, 2007.

RECEIVED
MAR 11 2019
TOWN OF FARRAGUT



DRAWN BY:	RME	DATE:	06/18/18
CHECKED BY:	JRA	FILE:	1951-Concept
REVISIONS			
NO.	DATE	COMMENTS	
1	07/06/18	Revised per Town of Farragut Comments	
2	03/11/19	Revised per Town of Farragut Comments	

SP.5
SHEET 6 of 8

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Bart Hose, Assistant Community Development Director

SUBJECT: Discussion and public hearing on a preliminary plat for the Ivey Farms Subdivision, Parcels 52, 54, 54.01, and 55, Tax Map 151, 110.92 Acres, 214 Building Lots, Zoned R-1/OSR (SITE Incorporated/Ryan M. Estabrooks, Applicant)

INTRODUCTION AND BACKGROUND: This item involves a preliminary plat for the full build out of the Ivey Farms Subdivision. The plat was discussed as a workshop item at the last meeting. In addition, the developers have submitted an updated concept plan to document changes since it was originally approved in July of 2018 (see proceeding agenda item). The preliminary plat includes the entire 110.92 acres, but the development will be phased so that no more than 50 acres is disturbed at one time. The disturbance related phasing is a TDEC requirement.

DISCUSSION: As submitted, the preliminary plat is largely consistent with both the original and revised concept plan. Design modifications and additions since the original concept plan was approved include a new location for the clubhouse, more select placement of walking trails, some modification to street layouts, and the inclusion of additional traffic calming applications throughout the development.

Both the revised concept plan and the preliminary plat provide for more than one point of vehicular access into and out of the property. The development's principal access is located off Union Road with a secondary connection to Pecos Road in the Saddle Ridge Subdivision. As you know, a major finding of the Comprehensive Land Use Plan (CLUP) Update in 2012 was a lack of vehicular connectivity. The Plan notes that single entry subdivisions have created negative impacts on the larger community in the form of congestion and longer distances to travel. Having better connectivity provides more options for travel and thereby reduces congestion. It spreads traffic flow over a larger street network and lessens overloading any one street or street section. It also improves the efficiency of school buses and emergency services and provides access when one entry may be blocked. The CLUP also includes transportation maps which show both pedestrian and vehicular connections from the Ivey Farms property to abutting developments.

The applicant is also requesting a variance for the length of the cul-de-sacs identified as Roads A, B, C, and E. These all exceed, to a varying degree, the maximum length permitted of 500 feet. A variance has also been requested for the width (26 to 22 feet) and right of way (50 to 40 feet) for Road E. These variance requests were discussed at the last meeting and the Planning Commission will need to take formal action on them for preliminary approval if it so chooses.

The development has been designed take advantage of the property's natural features and includes considerable open-space. The proposed preliminary plat includes 47% open-space, well in excess of the minimum 35% required by the OSR District. The open-space areas include walking trails, areas of steep topography, tree preservation areas, natural drainageways, and stream buffers.

RECOMMENDATION: Included in your packet is a copy of a revised preliminary plat along with staff comments on the initial plat. Staff will make a recommendation at the meeting based on whether staffs' comments have been addressed.



Civil Engineers

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MAR 11 2019

TOWN OF FARRAGUT

March 11, 2019

Mark Shipley
Town of Farragut
11408 Municipal Center Dr.
Farragut, TN 37934

Re: Staff comments on site plan for Ivey Farms Preliminary Plat

Dear Mark,

Please find attached our revised plans per Staff comments dated 2/20/19. We have provided responses to comments below.

- 1) Please provide closure computations for boundary traverses once the surveyor has completed them;
Response: Surveyor is currently working on providing this information.
- 2) Please provide revised concept plan per Town of Farragut comments;
Response: Revised Concept Plan will be submitted with this resubmittal.
- 3) Note to Planning Commission: Traffic Impact Study shows that signalization of the Kingston Pike intersection will be warranted by development of the Swan property alone, but not by development of the Ivey property alone. Planning Commission should consider at what point the developer will be required to signalize the intersection. Please note that TDOT's Region 1 Traffic Office must first determine at what point the intersection meets warrants and must approve of signalization plans. This determination is typically not made in advance of development, but after traffic patterns have emerged that warrant signalization.
Response: Noted.
- 4) All utilities must be approved by the respective owner prior to approval of final plat;
Response: Noted.
- 5) Previous submittal showed path at approximately 20% grade at 10+00 to 12+50. This submittal has improved that grade only slightly (to about 18%). Can the path be relocated to provide a better grade?"
Response: Section of trail has been reduced to 15% from the allowable 20%.
- 6) Please provide detail drawings for Big R Super-Cor Box SB-9H (steel plate arch) over Town Creek on the detail sheets on the preliminary plat;
Response: Detail has been added to sheet C8.1.
- 7) Please provide copies of state and federal construction permits, as necessary;
Response: Permits will be provided to the City once they have been obtained.
- 8) Please provide a copy of the NOC;
Response: Permits will be provided to the City once they have been obtained.
- 9) Please provide drainage permit fee of \$8,600;
Response: Owner shall provide the fees.

- 10) Please provide irrevocable letter of credit for erosion control for \$328,000. This is based upon the largest single phase of disturbance. Note that no phase can begin until stabilization is complete on proceeding phases, including a permanent stand of grass;

Response: Owner shall provide the fees.

- 11) Please provide documentation on the plans that the construction-related aquatic buffer is equivalent to 60-feet on both sides of the stream;

- 12) SWPPP sheets are difficult to read at small scale. Recommend providing sheets for each section as was done for grading; and

Response: Smaller scale drawings have been added. Typical stormwater controls for individual lots has been added to sheet C2.20.

- 13) Please include a minimum and maximum lot approximate lot size to supplement the typical lot approximate acreage information included on the plat;

Response: Max and min lot sizes have been added to the Plat.

- 14) While we recognize that the grading plan shows the lots along Road E being filled, we still need to evaluate the finished floor elevation issue. This would include any potentially finished basement space. Elevation above the top of the stream bank is not the same as the elevation of potential flooding;

Response: Road E has an average road elevation of 935 that will puts the basement of lots 17-24 at approximately 927. The top of bank of the creek is at 917 giving 10ft of elevation between the basements and the creek. Stormwater would crest Road A, that is at an elevation of 924, before any potential flooding would occur.

- 15) Please clearly show the pedestrian travel paths and crossings to facilitate the movement of pedestrians from the sidewalks on the west side of developments entrance road to the sidewalk on the east side of Ivey Farm Road (Way Station Trail Extension); and

Response: Please refer to the design plans for union road for the proposed locations of sidewalks and crosswalks that will connect the two projects. Further information will be shown on plans once the Union Road plans are closer to being finished.

- 16) There are a number of items from the original comment letter that the applicants indicated that they would either be addressing in the future or were aware of the issue. These will all need to be adequately addressed for preliminary approval.

Response: We will continue to work on remaining items and coordinate with the Town until all items have been completed.

Please let us know if any of our responses are unclear or if you need additional information.

Sincerely,

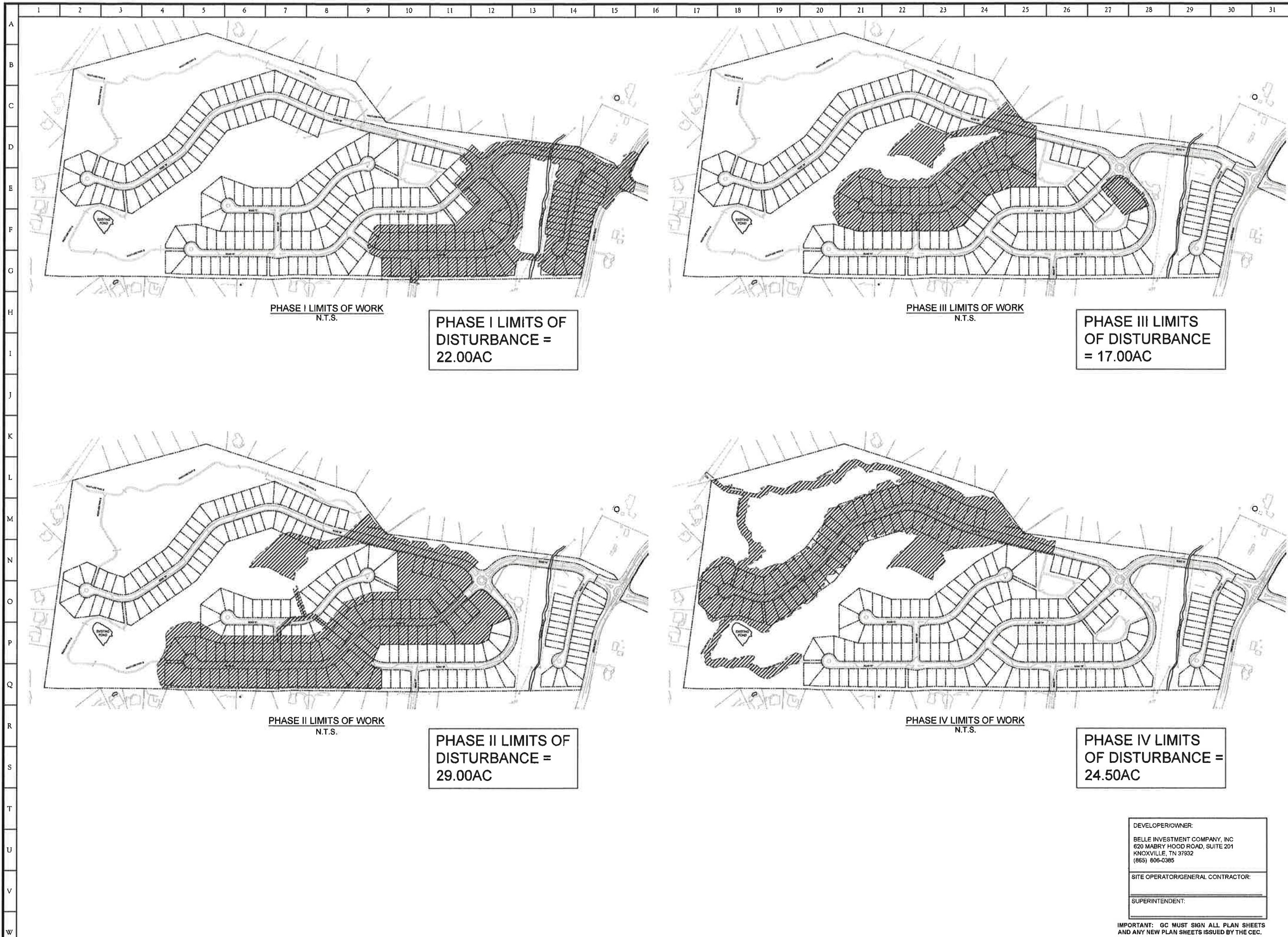


Ryan M. Estabrooks, P.E.
SITE, Incorporated
Engineer of Record

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MAR 11 2019

TOWN OF FARRAGUT



PHASE I LIMITS OF WORK
N.T.S.

PHASE I LIMITS OF
DISTURBANCE =
22.00AC

PHASE III LIMITS OF WORK
N.T.S.

PHASE III LIMITS
OF DISTURBANCE
= 17.00AC

PHASE II LIMITS OF WORK
N.T.S.

PHASE II LIMITS OF
DISTURBANCE =
29.00AC

PHASE IV LIMITS OF WORK
N.T.S.

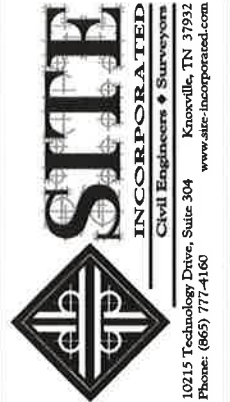
PHASE IV LIMITS
OF DISTURBANCE =
24.50AC

DEVELOPER/OWNER:
BELLE INVESTMENT COMPANY, INC
620 MABRY HOOD ROAD, SUITE 201
KNOXVILLE, TN 37932
(865) 806-0385

SITE OPERATOR/GENERAL CONTRACTOR:

SUPERINTENDENT:

IMPORTANT: GC MUST SIGN ALL PLAN SHEETS
AND ANY NEW PLAN SHEETS ISSUED BY THE CEC.



Norm Water Pollution Prevention Plan - Phasing

Ivey Farms
12733, 12737, 12743, & 12751 Union Road
Farragut, Tennessee 37934
Clayton Properties Group, Inc.

RECEIVED

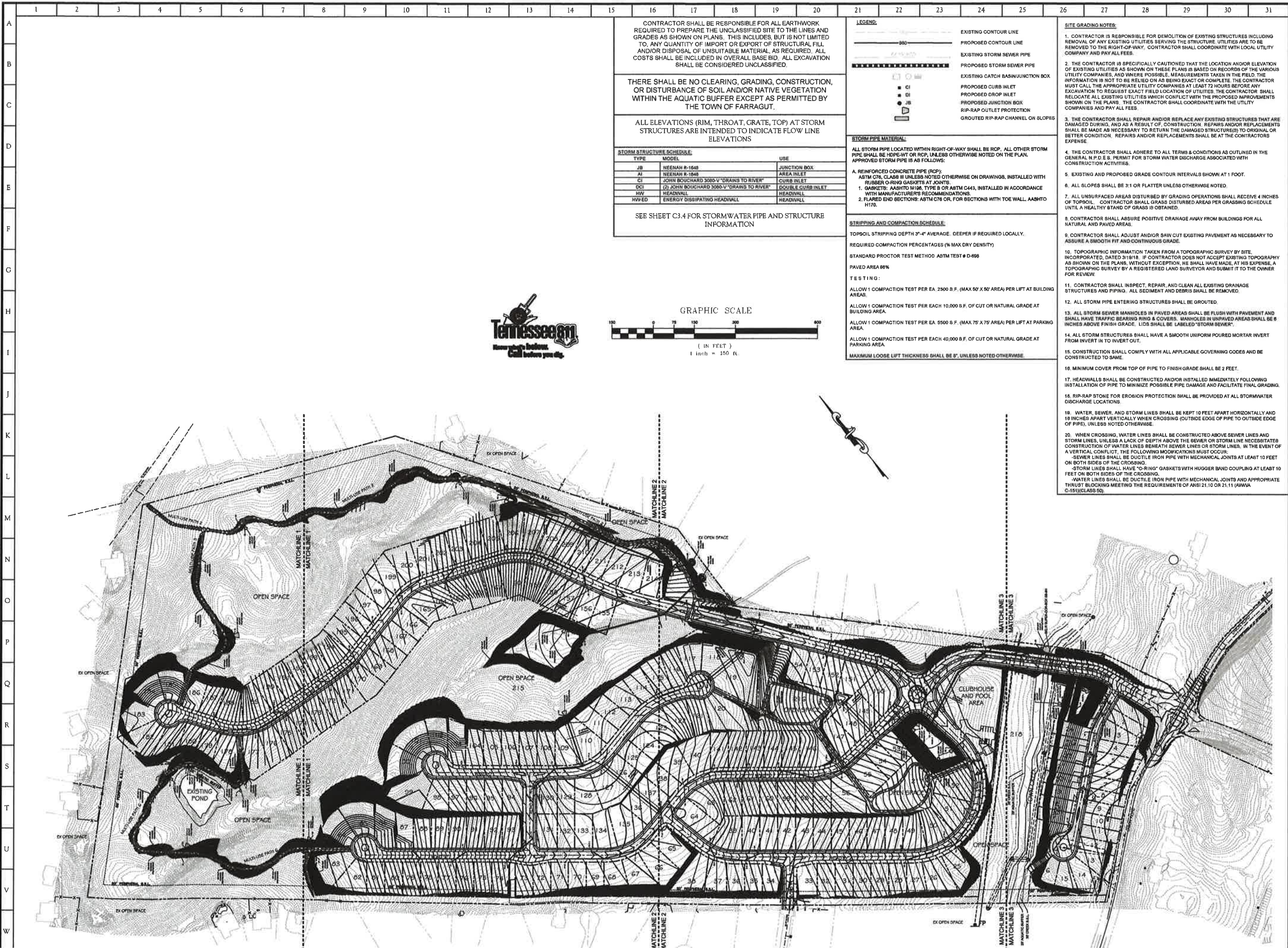
MAR 11 2019

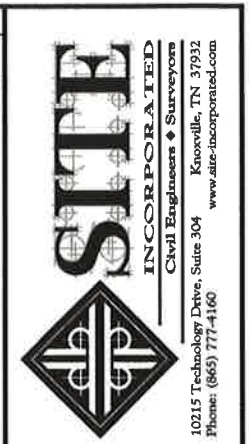
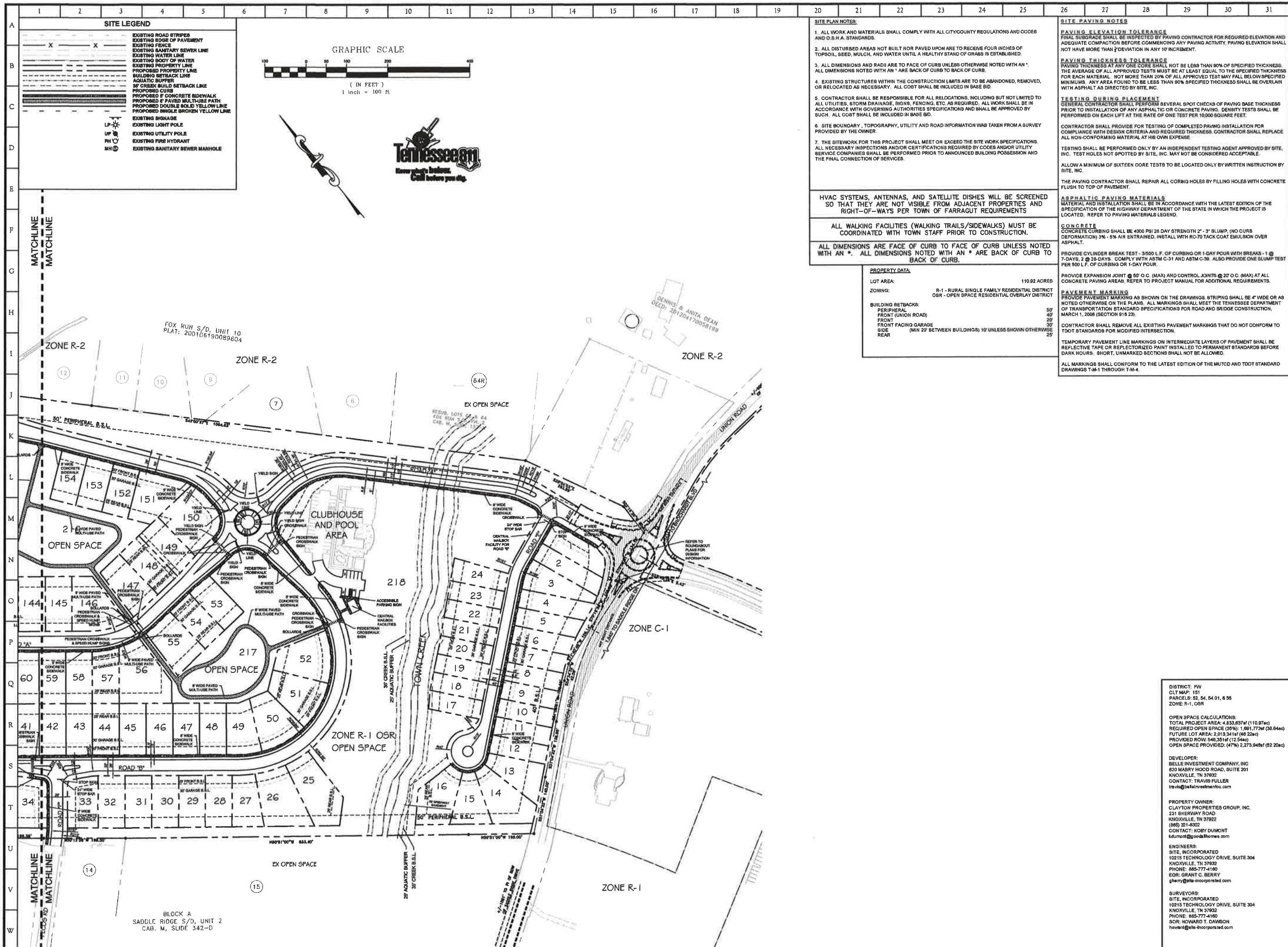
TOWN OF FARRAGUT

NO.	DATE	REVISIONS
1	01/22/19	Revised per Town Comments
2	02/11/19	Revised per Town Comments
3	03/11/19	Revised per Town Comments

DRAWN BY: RME DATE: 01/22/19
CHECKED BY: JRA FILE: 1901-SWPPP-OVER

C2.1





Site Layout Plan - South

Ivey Farms

12733, 12737, 12743, & 12751 Union Road
Farragut, Tennessee 37934
Belle Investment Company, Inc.

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MAR 11 2019

TOWN OF FARRAGUT

C4.1

SHEET 33 of 47

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion on a preliminary plat for the Ivey Village Subdivision, a portion of Parcel 58, Tax Map 151, 6.78 Acres, 34 Lots, Zoned NCC, OS-P, and FPD (SITE Incorporated/Annette Hommel, Applicant)

INTRODUCTION AND BACKGROUND: This item involves a workshop discussion of a preliminary plat of the proposed development of the northern portion of the property formerly known as the Swan Property abutting Kingston Pike and Union Road. Last year that property was rezoned from R-2, R-1, and FPD to NCC, OS-P, and FPD. Most of the developable portion of the property is zoned Neighborhood/Convenience Commercial (NCC).

The NCC is a new zoning district that was approved last year and that provides for a scaled down version of the General Commercial (C-1) District with the opportunity to use residential as a transitional portion of a larger development, provided its' overall role in the build out of the entire development and relationship to the surrounding area is specifically addressed as part of a transition area plan.

DISCUSSION: The transitional space within the NCC District is key to blending non-residential development with existing lower density residential. The specific language provided for in the NCC District with regards to the transition area plan is as follows:

A transition area plan shall be provided as part of any site plan submittal where a proposed development abuts residentially zoned property. This plan shall specifically demonstrate how the selected transition element(s) and overall development will be compatible with an adjacent residential district. Some key considerations would include an assessment of the surrounding plan of development, how buildings are arranged on the applicant's site, the size of buildings on different portions of the applicant's site, and the placement of structures or other design elements that may create a nuisance in terms of noise, light, smell, or other negative conditions. The planning commission shall refer to the Neighborhood Building Design Transitions section of the Farragut Architectural Design Standards for guidance on evaluating an applicant's proposed transition area plan. Where an applicant does not demonstrate compatibility, the planning commission shall have the authority to deny the site plan.

In the NCC different options are available as transitions. In the case of this property, the transitional space would be on the northern portion along the Union Road frontage. Union Road is a major collector street that will likely be improved in the very near future. Two large single-family detached subdivisions, Fox Run and Saddle Ridge, access the north side of Union Road. A planned single-family detached development of the Ivey Farm Property would also access Union Road from the north.

An objective of rezoning the Swan Property to NCC was to provide an opportunity to create a transitional space that would encourage integration between what is developed on the Swan Property with the existing

(and proposed) single-family detached developments on the north side of Union Road. Of the transitional options available, the applicant has selected a layout with 34 attached single-family dwelling units served by a public street that will ultimately connect into the remainder of the development on the Swan property. As proposed, the garages would face the public street. This street would act more as an alley (the applicant will be requesting a variance on the street width and right of way width) with the actual front of the units on the opposite side facing mostly a 5-foot sidewalk that is proposed approximately 10 feet from the front of the units. The design is intended to prevent garage doors and driveways from being seen from Union Road or the remainder of the Swan Property.

Since this is a workshop item only, some discussion points include, but may not necessarily be limited to:

- 1) Is a single-family attached development a good transitional use in this location and in relation to the surrounding context?
- 2) Does the general arrangement of the development appear to be acceptable?
- 3) Based on the acreage included in this portion of the Swan Property development (7.16 acres), the proposed density would be 4.7 units per acre. This is well under the maximum density (8 units per acre) that could be permitted in the NCC but is over the density of some other attached single-family projects. For example, the Townhomes of Wentworth (between KP and Wentworth) and Park Place (behind the Town Hall) have a density of 2.9 units per acre. Waverly Court (off Smith Road) has a density of 4.3 units per acre. Based on the language provided in the NCC, a question for consideration is whether the overall development (including its proposed density) will be compatible (as a transitional form) with the nearby single-family detached developments on the north side of Union Road;
- 4) A question raised during the staff/developer meeting was whether some additional parking spaces may be needed internally given the tightness of the development. The applicant is aware of this and is exploring options;
- 5) Union Road is a Major Collector Street and a pedestrian facility is required along the frontage unless an alternate, but comparable, facility is approved by the Planning Commission. Staff has highlighted the applicant's proposed pedestrian network. More commonly, in an attached development, the sidewalk is along the street with the units accessed through an alley in the rear of the unit. The front of the building is brought up closer to the street and sidewalk to engage this public space. This design would treat the sidewalk along the front of the buildings which would face opposite the accessing street as the public engagement space along with the walking trail that will be constructed along the eastern portion of the Swan Property connecting Kingston Pike to Union Road;
- 6) A question for the Commission is whether this arrangement would create the public engagement space that might otherwise be achieved in a more traditional design. Though there are topographic considerations, some adjustments to consider is whether more separation could be achieved between the pedestrian facility and the units, whether a sidewalk connection could be extended to the south in the middle portion of the development and, for improved connectivity to the south, extending a sidewalk along each side of Road B to better tie into the development to the south and to the sidewalk to the west that does not extend east to Road B;
- 7) Staff has recommended that the applicant explore the development of a space that could become a focal point in the general area. This may include, for example, a small pocket park, community garden, or other gathering space potentially with seating, a pavilion, etc., near the walking trail that connects Kingston Pike to Union Road;
- 8) Though the transition area plan requires evidence of how the transitional component is integrated with the remainder of the development and surrounding area, the focus at this time should be only on how the infrastructure will tie in and whether it will provide for the desired effect since it is

unknown how the remainder of the property will develop. Staff had numerous concerns with the hypothetical development of the non-residential portion of this project.

Included in your packet are select sheets from the site development plans and the Neighborhood Building Design section of the ADS. This item is for workshop purposes only.

NEIGHBORHOOD SITE DESIGN TRANSITIONS

Neighborhood transitions address the relationship between new or redeveloping commercial, office, mixed-use or multi-family residential uses and adjacent low-scale residential neighborhoods.

Site design adjacent to an existing or future residential neighborhood should provide a compatible transition that minimizes potential negative impacts while promoting positive connections. Designs that incorporate compatible uses and designs, and which link commercial and mixed-use areas with the adjacent residential neighborhoods are generally preferred as illustrated in "Strategies to Promote a Compatible Transition to Adjacent Neighborhood/Agricultural Land" on page 32. Note that guidelines for scale transitions related to building design are provided in "Neighborhood Building Design Transitions" on page 52.

1.40 Design a commercial or mixed-use site to be compatible with adjacent neighborhoods.

- Place and orient buildings to minimize potential negative impacts on an adjacent residential neighborhood.
- Avoid orienting the rear of buildings toward an adjacent residential neighborhood.
- Avoid creating an impassible barrier between a commercial or mixed-use site and an adjacent neighborhood.
- Avoid orienting blank rear walls towards an adjacent residential neighborhood.
- Do not locate mechanical or service areas directly adjacent to a residential neighborhood.
- See "Strategies to Promote a Compatible Transition to Adjacent Neighborhood/Agricultural Land" on page 32 for more information.



Do not incorporate continuous walls, fences or landscaping that prevents pedestrian or bicycle connections across a landscaped buffer area.



Do not incorporate continuous walls, fences or landscaping that prevents pedestrian or bicycle connections across a landscaped buffer area.

1.41 Design landscape buffer areas to provide shared amenities.

Amenities shared between a commercial or mixed-use development and an adjacent residential neighborhood may include:

- Picnic areas
- Exercise areas
- Playgrounds
- Water features, including landscaped stormwater management facilities
- Other landscape features

1.42 Provide pedestrian, bike and vehicular connections to adjacent neighborhoods.

- Where possible, extend paths or small vehicular lanes to connect with streets and paths in an adjacent neighborhood.
- Design pedestrian and vehicular circulation systems to consider potential future connections to adjacent neighborhoods.
- Incorporate breaks in a landscape buffer to allow for pedestrian and bicycle connections.
- Do not incorporate continuous walls, fences or landscaping that prevents pedestrian or bicycle connections across a landscaped buffer area.

Farragut Zoning Ordinance Buffer Requirements

The Farragut Zoning Ordinance establishes buffer requirements for development located adjacent to existing residential or agricultural zones. Buffer requirements include landscaped setbacks to protect sensitive residential areas.

In some cases, flexibility in the application of buffer requirements may be provided for projects that provide a more active linkage between a new development and an adjacent residential area while meeting the intent of these guidelines.

See "Town of Farragut Zoning Ordinance" on page 2 for more information on the relationship between zoning requirements and design guidelines.

Strategies to Promote a Compatible Transition to Adjacent Neighborhood/Agricultural Land

Where new development in Farragut adjoins an existing neighborhood or agricultural land, it has typically incorporated a landscape buffer area to minimize potential negative impacts. In some cases, however, other strategies may provide a compatible transition while encouraging pedestrian and bicycle connections between neighborhoods and adjacent shops, services or employment centers. Three such strategies are illustrated below.

Note that the edges of a new development may incorporate a variety of strategies, including a typical landscape buffer or some combination of the strategies illustrated below. Where a landscape buffer is used, it should incorporate breaks for pedestrian and bicycle connections.

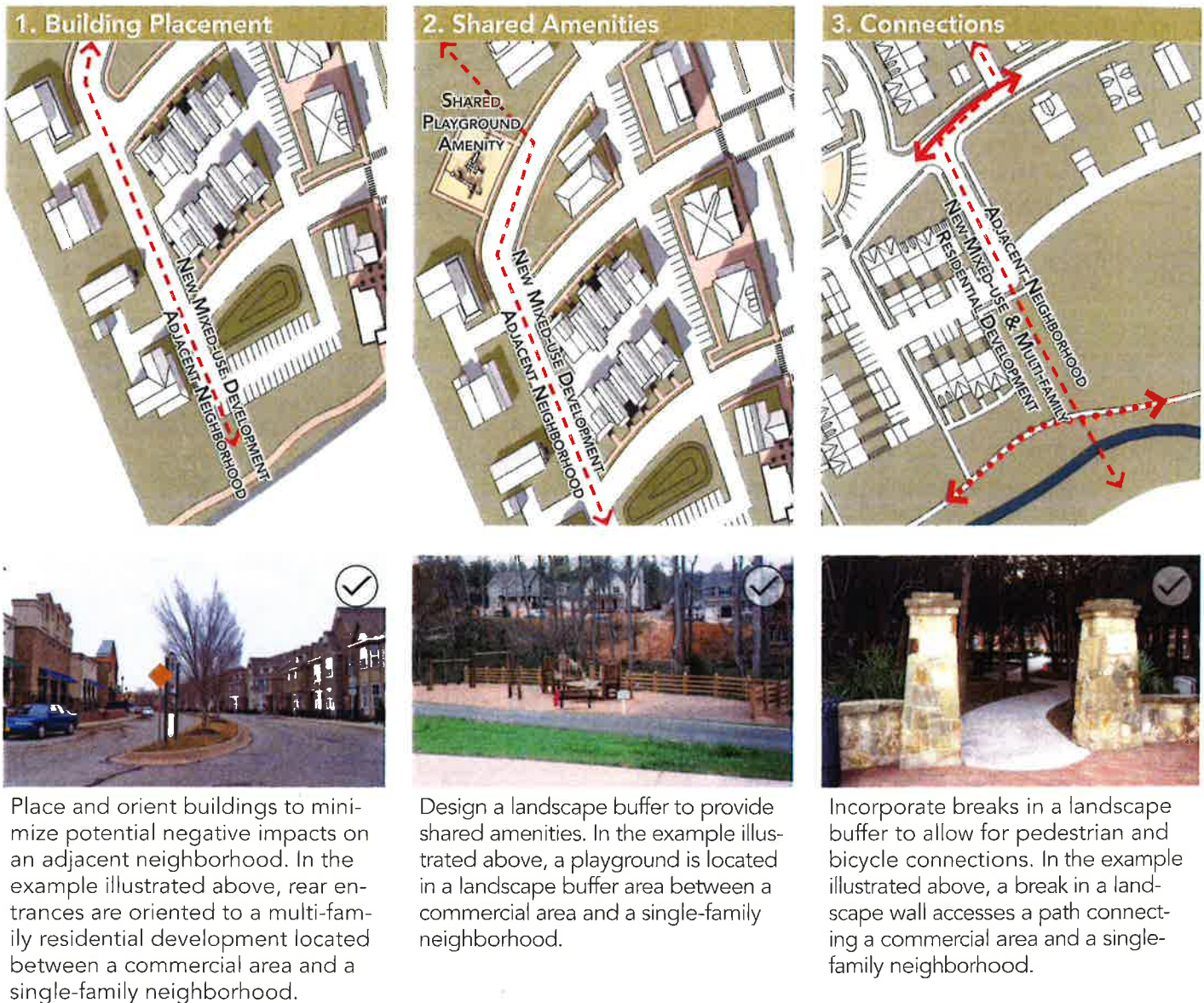


Figure 15: Strategies to Promote a Compatible Transition to Adjacent Neighborhood/Agricultural Land

NEIGHBORHOOD BUILDING DESIGN TRANSITIONS

Neighborhood transitions address the relationship between new or redeveloping commercial, office, mixed-use or multi-family residential uses and adjacent low-scale residential neighborhoods. The design of buildings adjacent to an existing or future residential neighborhood should provide a compatible transition that minimizes potential negative impacts while promoting visual connections. Where possible, buildings located near an adjacent neighborhood should have a lower-scale residential character to provide a compatible transition. Such buildings could include town houses or small village-scale commercial, office or retail buildings that incorporate residential building design features including pitched roofs and high levels of façade articulation.

Note that guidelines for scale transitions related to site design are provided in "Neighborhood Site Design Transitions" on page 31. Also see "Farragut Zoning Ordinance Buffer Requirements" on page 31 for information on zoning regulations related to neighborhood transitions.



Incorporate residential design features, such as pitched roofs and balconies adjacent to a residential neighborhood.

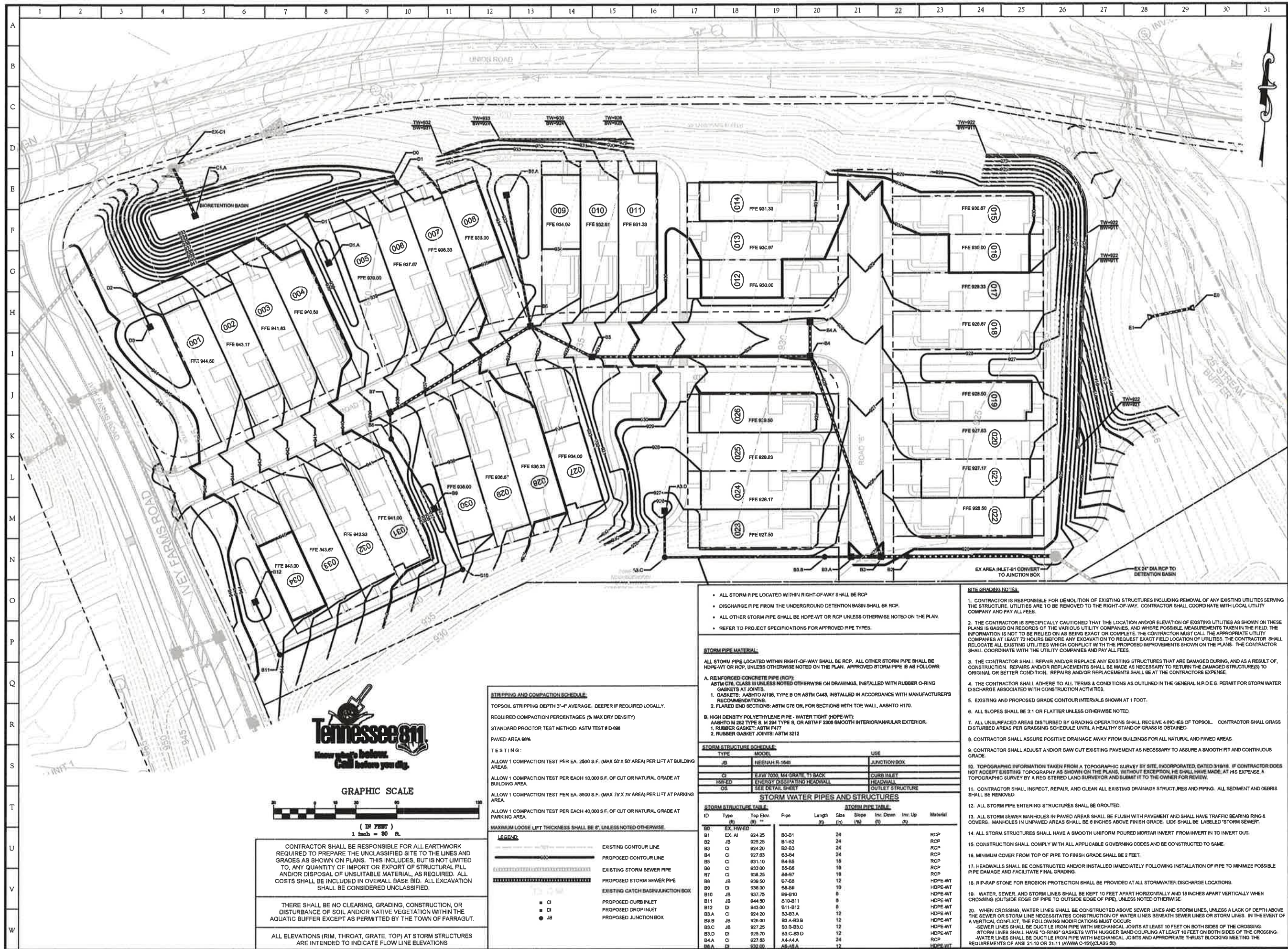
2.25 Provide a compatible scale transition adjacent to a residential neighborhood.

- a. Step down building heights adjacent to a residential neighborhood.
- b. Provide a high level of façade articulation.
- c. Consider breaking a larger building into a series of smaller buildings that better relate to the scale of the adjacent residential neighborhood.

2.26 Incorporate residential design features adjacent to a residential neighborhood.

Such features may include:

- a. Pitched roof forms
- b. Front porches
- c. Balconies
- d. Small groupings of vertical windows



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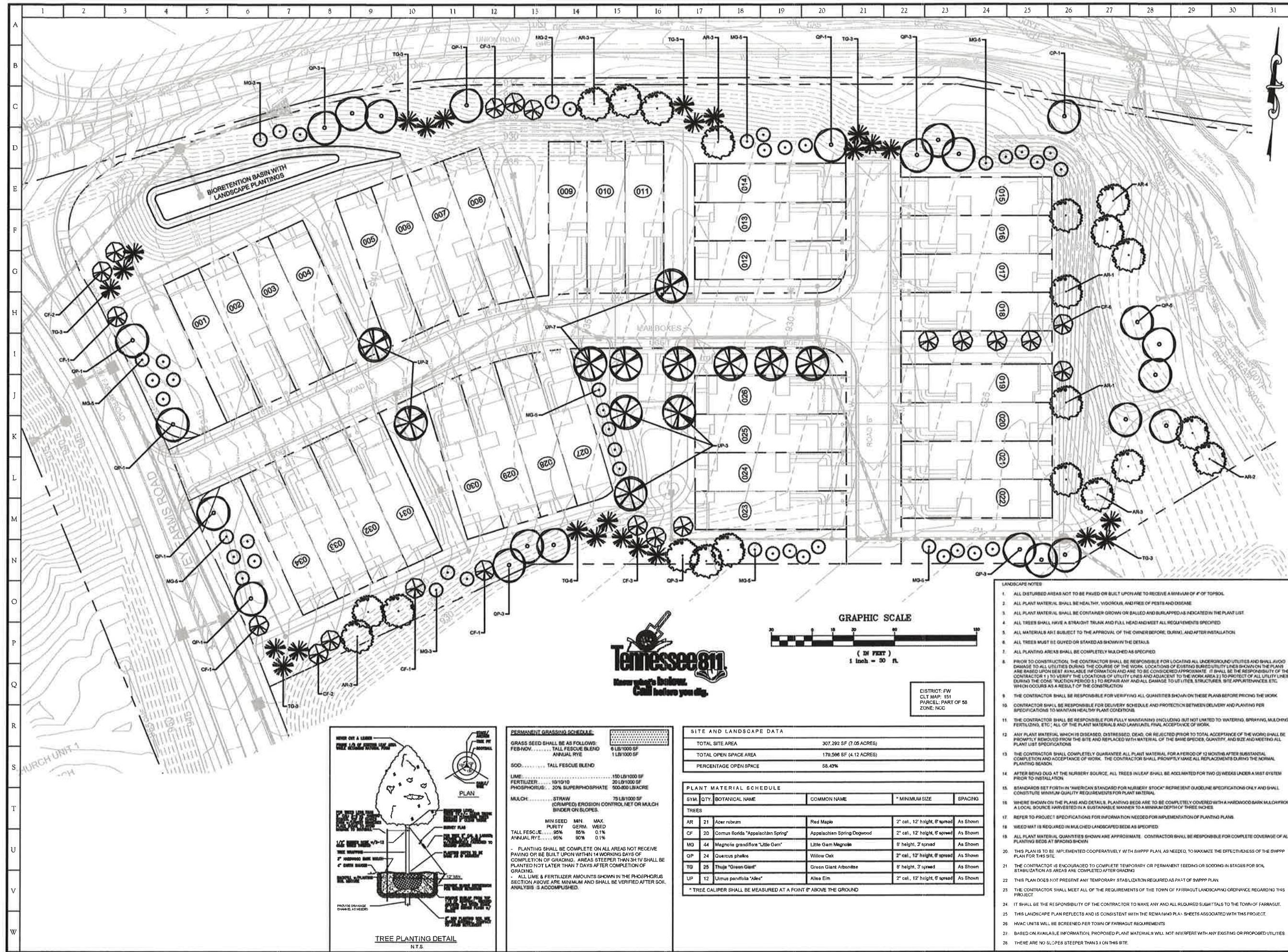
Site Grading and Drainage Plan
Ivey Village
12639 Kingston Pike
Farragut, Tennessee 37934
Clayton Properties Group, LLC.

NO.	DATE	COMMENTS
1	02/18/19	Revised per Town Comments

DRAWN BY:	ACH	DATE:	12/17/18
CHECKED BY:	GGB	FILE:	18-00000000

NO.	DATE	COMMENTS
1	02/18/19	Revised per Town Comments

C3.0
SHEET 7 OF 19

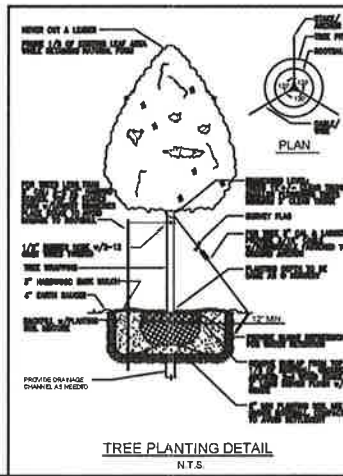


SITE INCORPORATED
Civil Engineers & Surveyors
10215 Technology Drive, Suite 304
Knoxville, TN 37932
Phone: (865) 777-4160
www.site-incorporated.com



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Streetscape Plan
Ivey Village
12639 Kingston Pike
Farragut, Tennessee 37934
Clayton Properties Group, LLC.



PERMANENT GRASSING SCHEDULE

GRASS SEED SHALL BE AS FOLLOWS:

FEB-NOV	TALL FESCUE BLEND	5 LB/1000 SF
ANNUAL RYE		1 LB/1000 SF

SOD: TALL FESCUE BLEND

LIME	100 LB/1000 SF
FERTILIZER	20 LB/1000 SF
PHOSPHORUS	20% SUPERPHOSPHATE 500-800 LB/ACRE

MULCH: STRAW (CRIMPED) EROSION CONTROL NET OR MULCH BINDER ON SLOPES

MIN SEED PURITY	95%	MIN GERMINATION	85%	MAX WEED	0.1%
TALL FESCUE	95%	ANNUAL RYE	95%		0.1%

PLANTING SHALL BE COMPLETE ON ALL AREAS NOT RECEIVE PAVING OR BE BUILT UPON WITHIN 14 WORKING DAYS OF COMPLETION OF GRADING. AREAS STEEPER THAN 3:1 V SHALL BE PLANTED NOT LATER THAN 7 DAYS AFTER COMPLETION OF GRADING.

ALL LIME & FERTILIZER AMOUNTS SHOWN IN THE PHOSPHORUS SECTION ABOVE ARE MINIMUM AND SHALL BE VERIFIED AFTER SOIL ANALYSIS IS ACCOMPLISHED.

SITE AND LANDSCAPE DATA

TOTAL SITE AREA	307,292 SF (7.05 ACRES)
TOTAL OPEN SPACE AREA	179,586 SF (4.12 ACRES)
PERCENTAGE OPEN SPACE	58.43%

DISTRICT: FW
CLT MAP: 151
PARCEL: PART OF 58
ZONE: NCC

PLANT MATERIAL SCHEDULE

SYM	QTY	BOTANICAL NAME	COMMON NAME	* MINIMUM SIZE	SPACING
AR	21	Acer rubrum	Red Maple	2" cal., 12' height, 8' spread	As Shown
CF	20	Cornus florida 'Appalachian Spring'	Appalachian Spring Dogwood	2" cal., 12' height, 8' spread	As Shown
MG	44	Magnolia grandiflora 'Little Gem'	Little Gem Magnolia	8' height, 7' spread	As Shown
QP	24	Quercus phellos	Willow Oak	2" cal., 12' height, 8' spread	As Shown
TO	25	Thuja 'Green Giant'	Green Giant Arborvitae	8' height, 7' spread	As Shown
UP	12	Ulmus parviflora 'Ade'	Alice Elm	2" cal., 12' height, 8' spread	As Shown

* TREE CALIPER SHALL BE MEASURED AT A POINT 6" ABOVE THE GROUND

- LANDSCAPE NOTES**
- ALL DISTURBED AREAS NOT TO BE PAVED OR BUILT UPON ARE TO RECEIVE A MINIMUM OF 4" OF TOPSOIL.
 - ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, AND FREE OF PESTS AND DISEASE.
 - ALL PLANT MATERIAL SHALL BE CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE PLANT LIST.
 - ALL TREES SHALL HAVE A STRAIGHT TRUNK AND FULL HEAD AND MEET ALL REQUIREMENTS SPECIFIED.
 - ALL MATERIALS ARE SUBJECT TO THE APPROVAL OF THE OWNER BEFORE, DURING, AND AFTER INSTALLATION.
 - ALL TREES MUST BE GUIED OR STAKED AS SHOWN IN THE DETAILS.
 - ALL PLANTING AREAS SHALL BE COMPLETELY MULCHED AS SPECIFIED.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. LOCATIONS OF EXISTING BURRED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION OF UTILITY LINES AND ADJACENT TO THE WORK AREA TO PROTECT OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD TO REPAIR ANY AND ALL DAMAGE TO UTILITY LINES, STRUCTURES, SITE APPEARANCES, ETC. WHICH OCCURS AS A RESULT OF THE CONSTRUCTION.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY SCHEDULE AND PROTECTION BETWEEN DELIVERY AND PLANTING PER SPECIFICATIONS TO MAINTAIN HEALTHY PLANT CONDITIONS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR FULLY MAINTAINING INCLUDING BUT NOT LIMITED TO WATERING, SPRAYING, MULCHING, FERTILIZING, ETC., ALL OF THE PLANT MATERIALS AND ANNUAL FINAL ACCEPTANCE OF WORK.
 - ANY PLANT MATERIAL WHICH IS DISEASED, DISTRESSED, DEAD, OR REJECTED PRIOR TO TOTAL ACCEPTANCE OF THE WORK SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS.
 - THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF 12 MONTHS AFTER SUBSTANTIAL COMPLETION AND ACCEPTANCE OF WORK. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS DURING THE NORMAL PLANTING SEASON.
 - AFTER BEING CURED AT THE NURSERY SOURCE, ALL TREES IN LEAF SHALL BE ACCLIMATED FOR TWO (2) WEEKS UNDER A MIST SYSTEM PRIOR TO INSTALLATION.
 - STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
 - WHERE SHOWN ON THE PLANS AND DETAILS, PLANTING BEDS ARE TO BE COMPLETELY COVERED WITH A HARDWOOD BARK MULCH FROM A LOCAL SOURCE HARVESTED IN A SUSTAINABLE MANNER TO A MINIMUM DEPTH OF THREE INCHES.
 - REFER TO PROJECT SPECIFICATIONS FOR INFORMATION NEEDED FOR IMPLEMENTATION OF PLANTING PLANS.
 - WEED MAT IS REQUIRED IN MULCHED LANDSCAPED BEDS AS SPECIFIED.
 - ALL PLANT MATERIAL QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT BRADING SHOWN.
 - THIS PLAN IS TO BE IMPLEMENTED COOPERATIVELY WITH SWPPP PLAN, AS NEEDED, TO MAXIMIZE THE EFFECTIVENESS OF THE SWPPP PLAN FOR THIS SITE.
 - THE CONTRACTOR IS ENCOURAGED TO COMPLETE TEMPORARY OR PERMANENT SEEDING OR SODDING IN STAGES FOR SOIL STABILIZATION AS AREAS ARE COMPLETED AFTER GRADING.
 - THIS PLAN DOES NOT PRESENT ANY TEMPORARY STABILIZATION REQUIRED AS PART OF SWPPP PLAN.
 - THE CONTRACTOR SHALL MEET ALL OF THE REQUIREMENTS OF THE TOWN OF FARRAGUT LANDSCAPING ORDINANCE REGARDING THIS PROJECT.
 - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAKE ANY AND ALL REQUIRED SUBMITTALS TO THE TOWN OF FARRAGUT.
 - THIS LANDSCAPE PLAN REFLECTS AND IS CONSISTENT WITH THE REMAINING PLANS SHEETS ASSOCIATED WITH THIS PROJECT.
 - HVAC UNITS WILL BE SCREENED PER TOWN OF FARRAGUT REQUIREMENTS.
 - BASED ON AVAILABLE INFORMATION, PROPOSED PLANT MATERIALS WILL NOT INTERFERE WITH ANY EXISTING OR PROPOSED UTILITIES.
 - THERE ARE NO SLOPES STEEPER THAN 3:1 ON THIS SITE.

CHECKED BY: ACH DATE: 12/17/18

FILE: 1975- Streetscape

NO.	DATE	COMMENTS
1	02/16/19	Revised per Town Comments

REVISIONS

DRAWN BY: ACH

C6.0

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on approval of a request for a fiber optic extension from Outlet Drive and Snyder Road to the Overlook Apartments off N. Campbell Station Road (Source Broadband Services, Applicant)

INTRODUCTION AND BACKGROUND: As described in the summary and shown on the application and plans included in your packet, this item involves a request to extend a fiber optic line along Outlet Drive to N. Campbell Station Road and then north on the east side of N. Campbell Station Road to the Overlook Apartments that are under construction just north of the Holiday Inn Express.

The fiber will be installed on the overhead utility lines along Outlet Drive and then will be bored underground in a 3-inch conduit to a depth of at least 3 feet within the rights of ways of Snyder Road and N. Campbell Station Road and will be extended into the Overlook Apartments. All vaults will be flush mounted.

DISCUSSION: Staff noted to the applicant that the Town was in the process of adding a left turn lane along Snyder Road for southbound turns onto N. Campbell Station Road. The applicant has adjusted their plans to cross Snyder Road just west of its intersection with Outlet Drive so that the underground conduit will be on the north side of Snyder Road. Though the map appears to show two lines (dark line and red line), staff confirmed with the applicant that the 48-count fiber will be installed within the 3 inch conduit. The red line on the plans is for highlighting purposes. The dark lines on the plans are where the actual conduit and fiber are being located.

RECOMMENDATION: Staff will make a recommendation at the meeting.

COMCAST CABLE
5720 ASHVILLE HWY
KNOXVILLE, TN 37924

CAMBELLS OVERLOOK APARTMENTS 820 N CAMPBELL STATION RD.

COMCAST has signed with Ram properties owners of Campbell's Overlook to provide video, phone and internet service for the ²⁶⁷~~293~~ unit apartment complex.

In order to provide service Comcast will be placing 3" conduit along the public utility ROW down Outlet Dr and Snyder Rd in order to pull a 48 count Fiber Optic line to

Provide service to the property. Source Broadband will be the Contractor placing the conduit which will be directional bore and will be at minimum depth of 36". Source Broadband

Will be responsible for traffic control if needed and all restoration due to work being completed. Source will also work the city of Farragut with any issues that may arise during the construction.

Estimate start of this work would be one week after planning commission meeting. The underground work being completed will take a minimum of 7 working days. Once this construction is complete

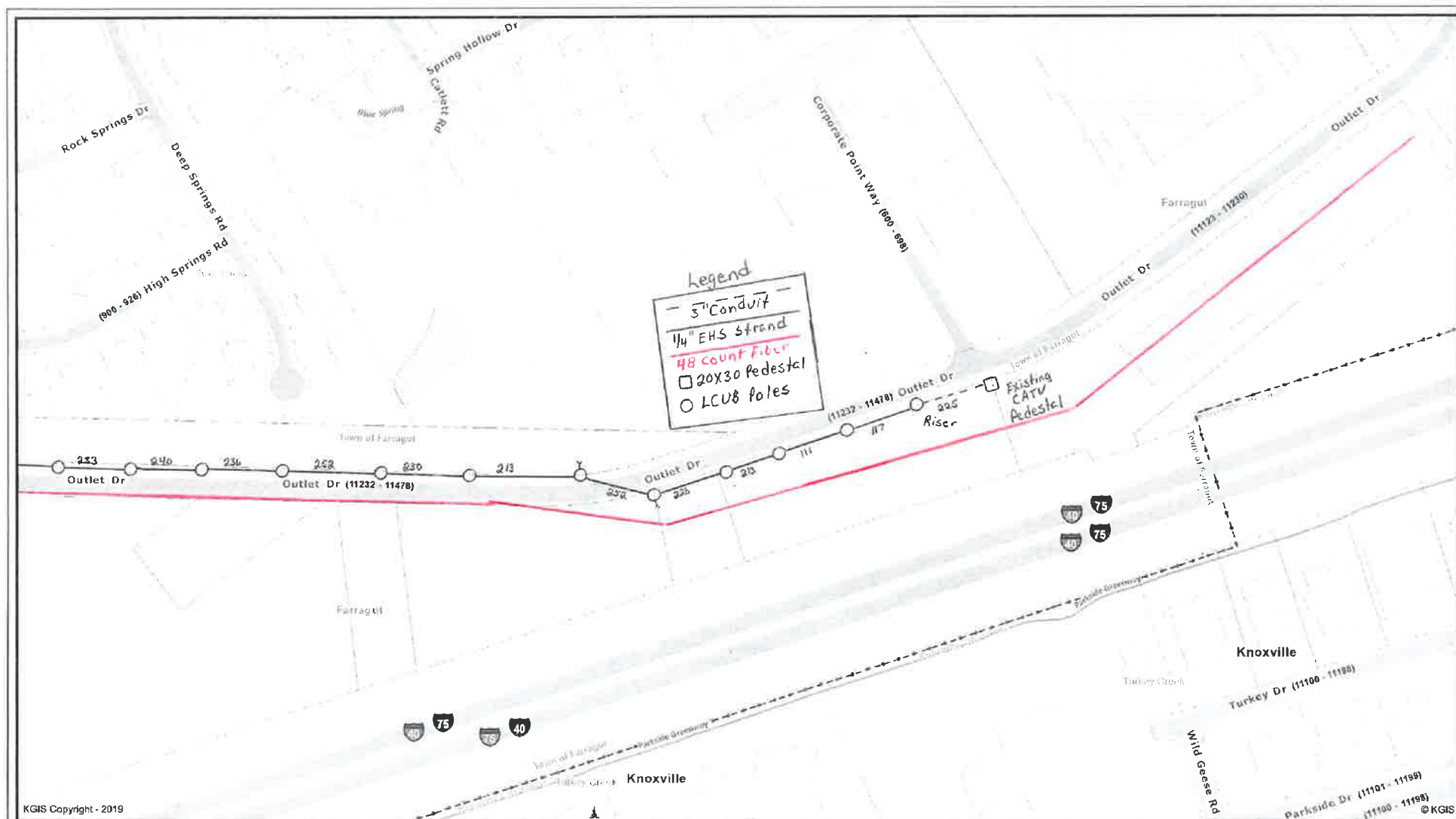
The Fiber optic line will be able to expand our service in that area. We look forward in to working with the City of Farragut during this project.

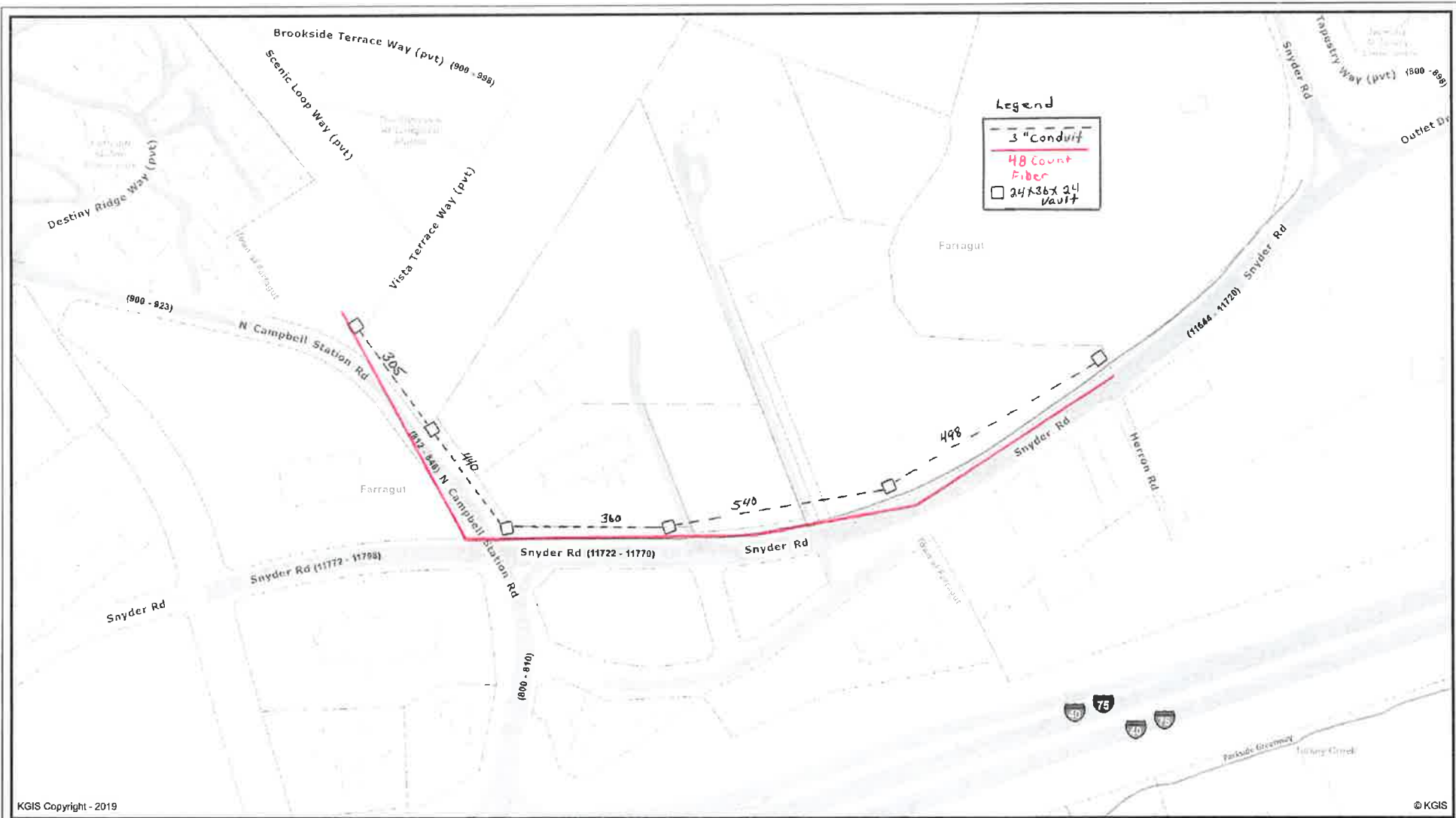
Thank you

Jimmy Gardner
Construction Coordinator Bridgewater/South Knox
Comcast/Knoxville
865-437-0333



Expiration Date of Permit





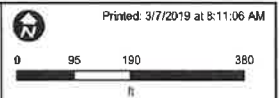
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map

Knoxville - Knox County - KUB Geographic Information System

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Farragut

er Rd

(800 - 898)

Outlet Dr

Outlet Dr (11232 - 11478)

LCUB pole

LCUB pole

LCUB pole

Riser

502'

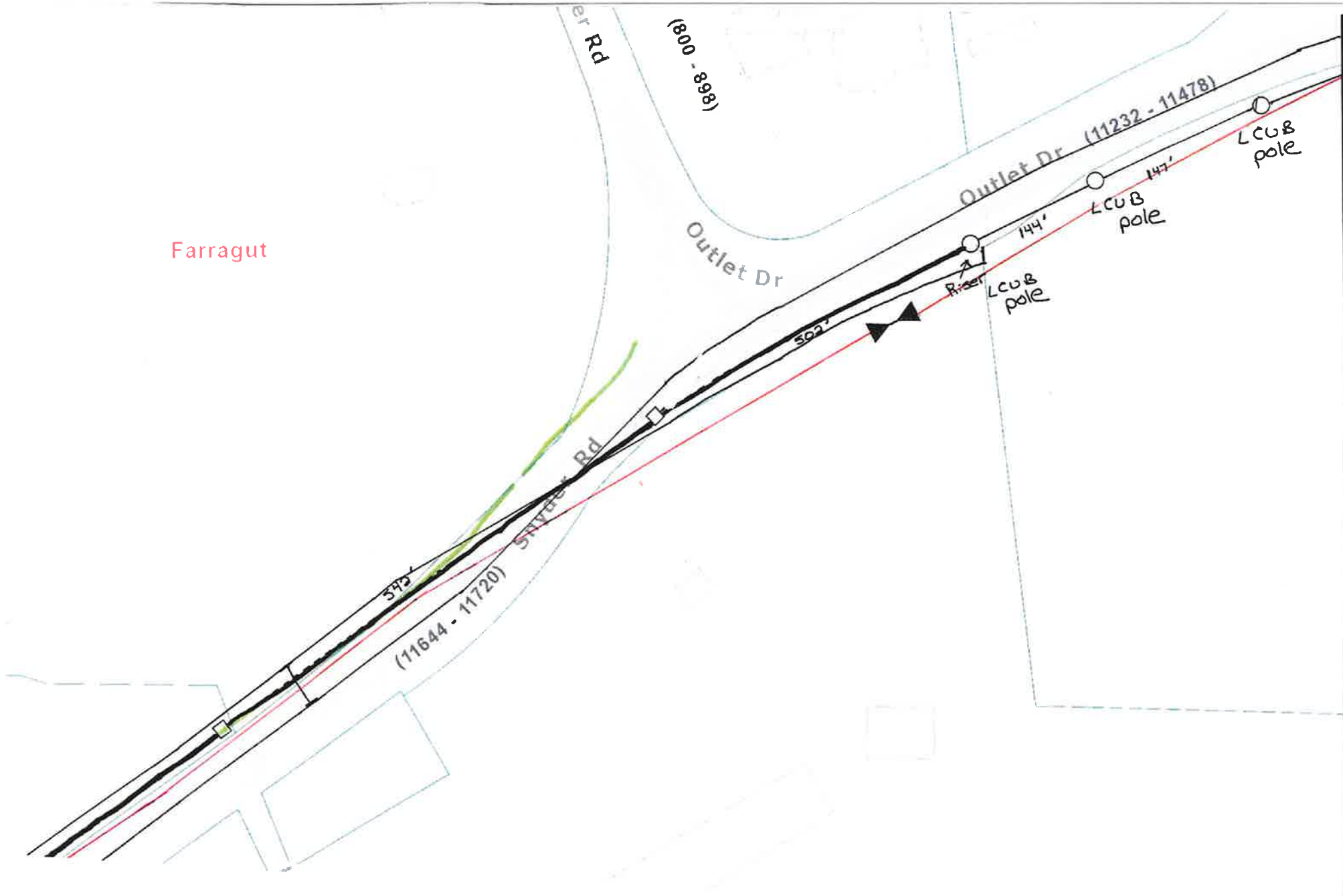
144'

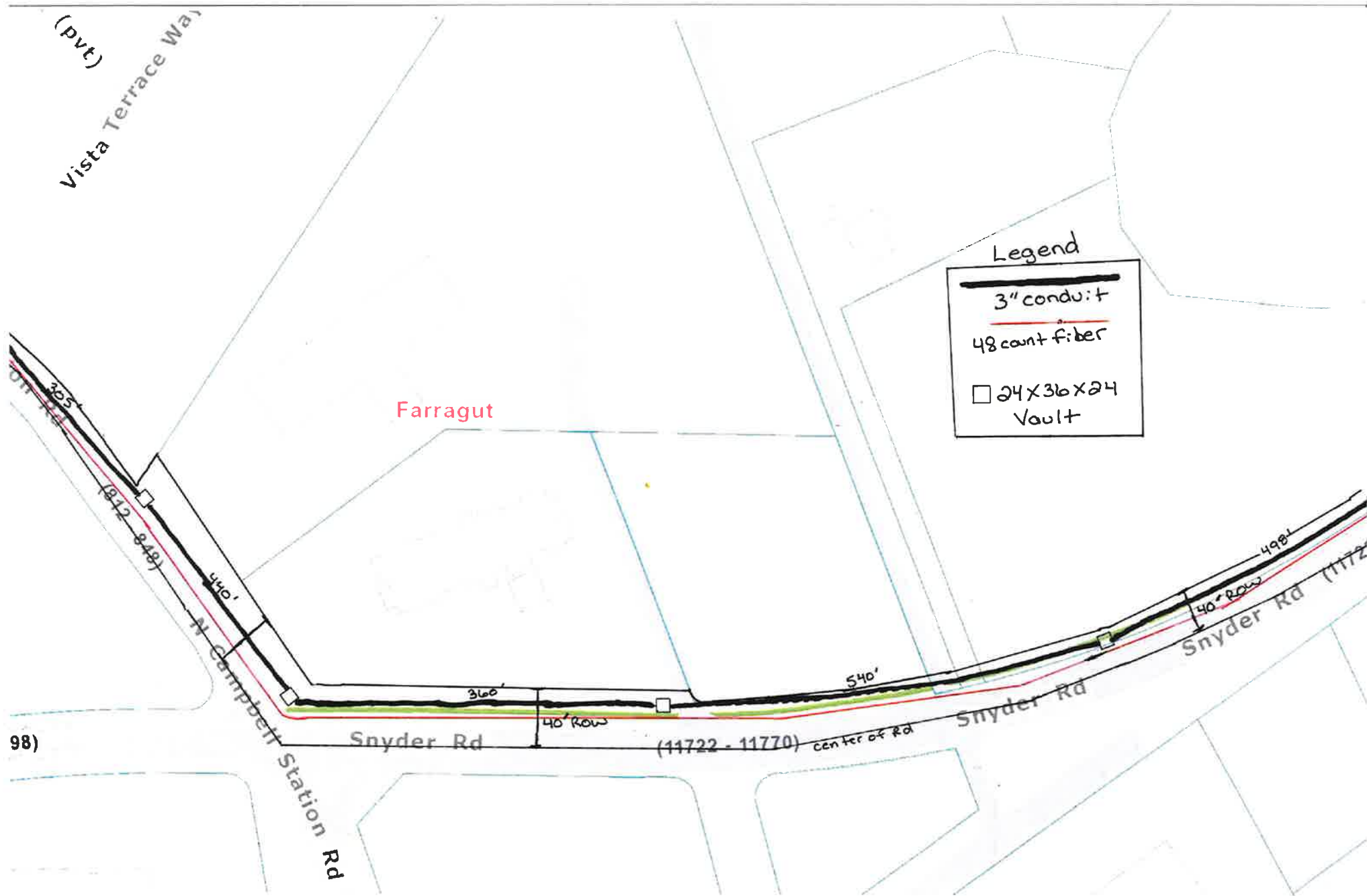
147'

(11644 - 11720)

Shyde Rd

545'





REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion on proposed amendments to the future land use map recommended by the Comprehensive Land Use Plan Steering Committee related to the Outlet Drive and Snyder Road corridors (Town of Farragut, Applicant)

INTRODUCTION AND BACKGROUND: Over one year ago the Planning Commission authorized the formation of a steering committee, the Comprehensive Land Use Plan Steering Committee (CLUPSC), to more actively focus on the implementation of strategies identified in the Comprehensive Land Use Plan Update 2012 (CLUP). The CLUPSC was formed and, as part of a focus to look at planning for the remaining vacant parcels of the Town (Strategy 8 in the CLUP), the CLUPSC identified certain priority areas of the Town where particular attention could be placed on future development and re-development.

Of the priority areas identified, the Watt Road corridor was selected first since it is a gateway area, provides access to a large Town park, and has notable undeveloped property with nearby residents. After gathering input, namely from residents near the Watt Road corridor, the committee made recommendations for amendments to the Future Land Use Map (FLUM). The FLUM is the basis for land use decision making. Consequently, a key first step in implementing a vision is to ensure that the FLUM is current with the community's vision. Those amendments were unanimously approved by the Planning Commission at their meeting on October 18, 2018.

DISCUSSION: Staff reconvened the CLUPSC in November 2018 to determine if, and in what capacity, they would wish to continue. They expressed an interest in continuing to work on the priority areas. Staff provided an overview of those areas and the CLUPSC wanted to look at the Outlet Drive corridor next since it is a gateway and has interstate visibility. One characteristic related to the Outlet Drive corridor is that it does not have any nearby Town residents and is relatively simple in terms of assessing future land use.

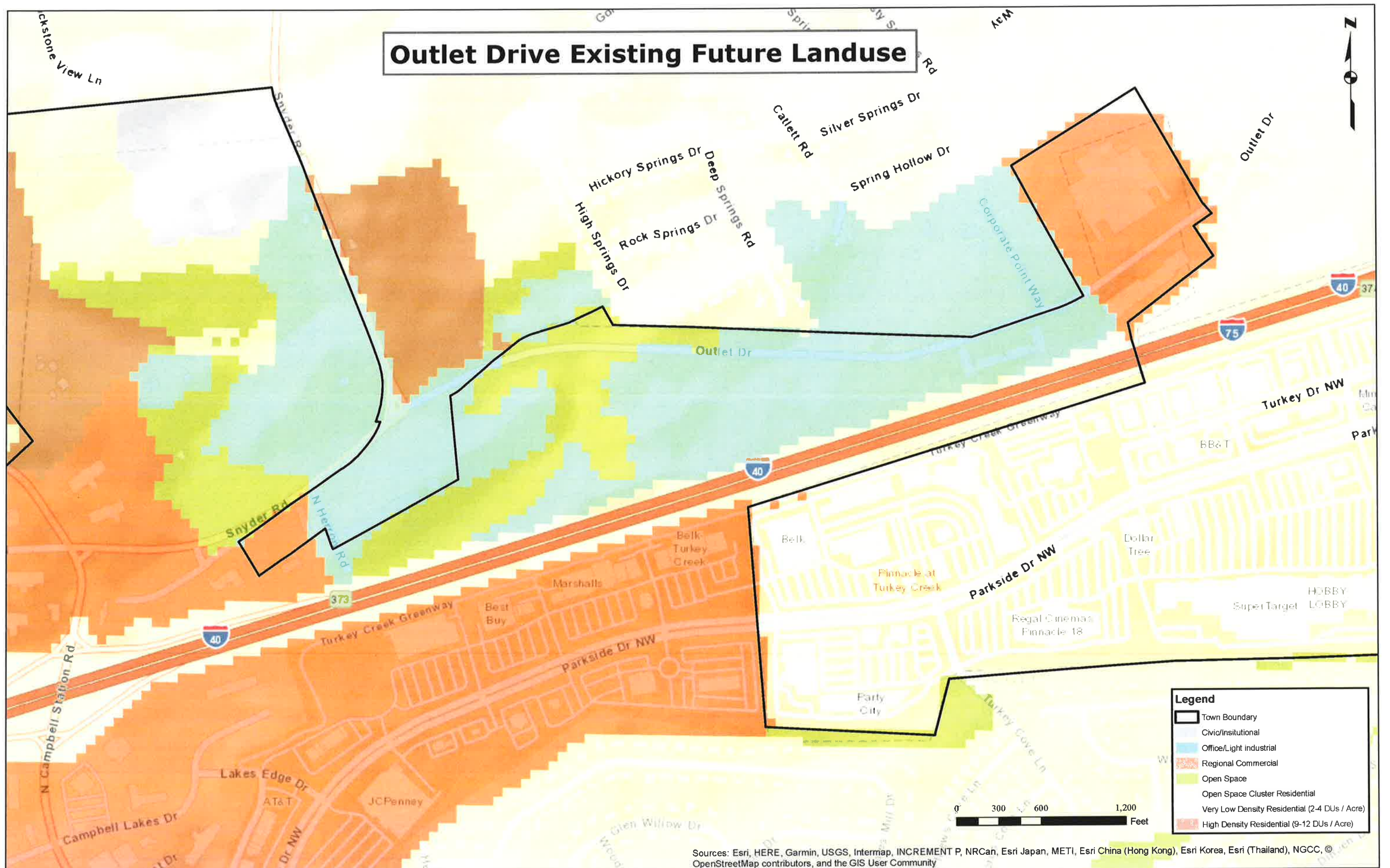
When the CLUP was updated in 2012 much of the area along the Outlet Drive corridor was identified as an employment center to help sustain the businesses along Parkside Drive on the south side of the interstate. Most of the existing land use along Outlet Drive are outside the Town limits and feature predominantly metal buildings that are a combination of office and light warehousing. Consequently, much of the Town's portion of the corridor was identified for an office and light industrial land use.

Due to changing markets, the development and approval of Architectural Design Standards, the Town's reliance on sales tax, and the transportation challenges of accessing Parkside Drive in a timely manner from Outlet Drive, the CLUPSC is recommending for consideration by the Planning Commission to change the areas identified along Outlet Drive as office/light industrial to regional commercial. Much of the property is already zoned Regional Commercial (C-2) and this recommendation would bring the FLUM into compliance with current zoning and, perhaps, a more up to date vision for the corridor.

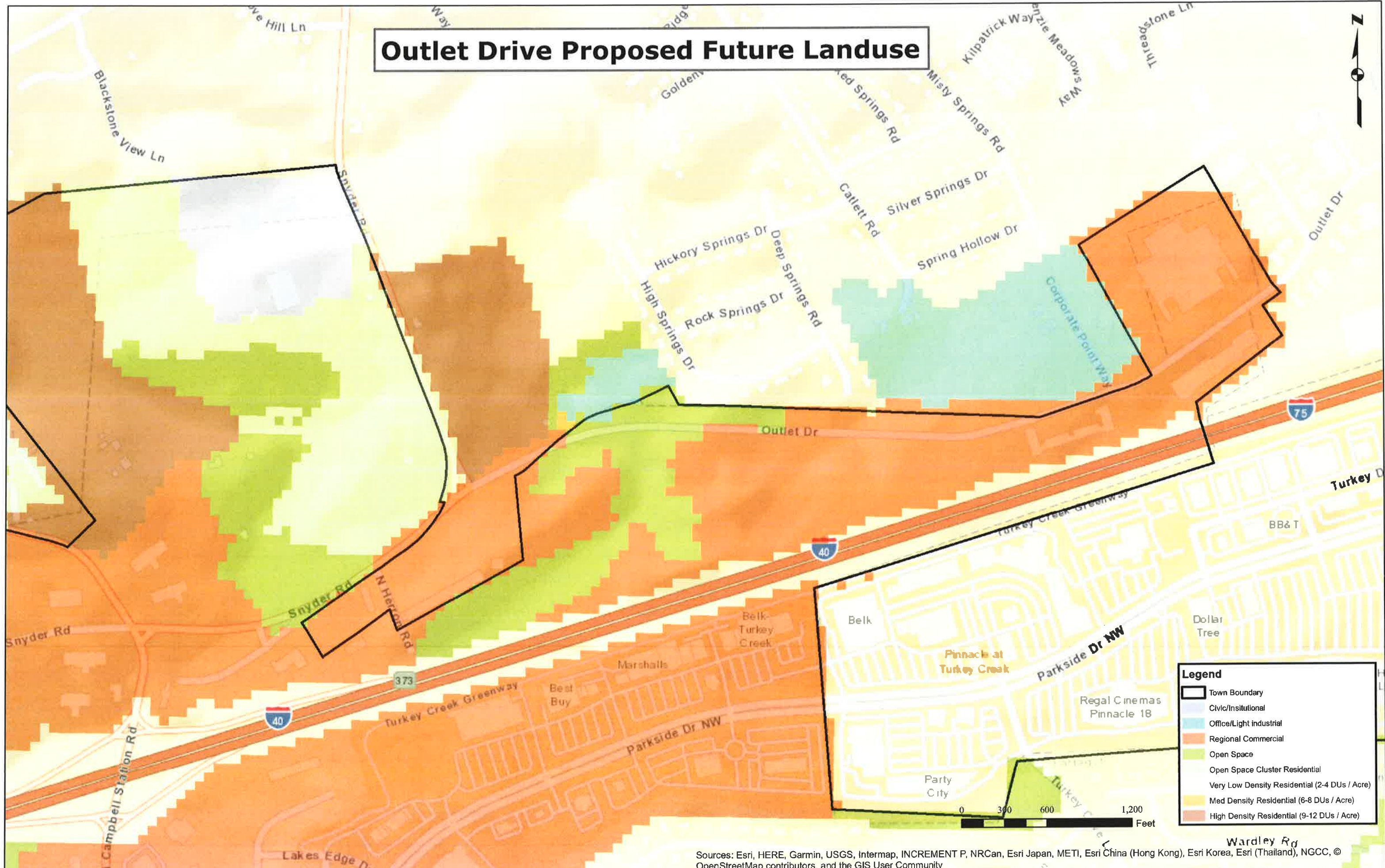
Other proposed changes to the FLUM for the Outlet Drive corridor would bring the map in line with new developments in the general area (e.g. the Overlook and Tapestry Apartment projects) and land use designations that should be more suitable for the land and existing infrastructure (e.g. some new open space is included in either wetlands or sinkholes and an area identified for office/light industrial along Snyder Road just south of the Knoxville Christian School is proposed to be open space cluster).

During the Outlet Drive discussion, the CLUPSC asked the staff to widen the scope of the review area to also include the section of Snyder Road west of N. Campbell Station Road. This area has three tracts with interstate visibility. The easternmost tract (south of the Snyder Road mini-warehouses) is currently shown as regional commercial on the FLUM and a tract to the north fronting N. Campbell Station Road and a tract to the west of the mini-warehouses are shown as office/light industrial. For reasons similar to the Outlet Drive corridor, the CLUPSC is recommending that the large tract west of the mini-warehouses be changed on the FLUM from office/light industrial to regional commercial. The property is zoned C-2 so this change to the future land use map would be consistent with current zoning. Due to physical constraints, the property to the immediate west would be retained as open space cluster with steep slopes and a sinkhole being classified as open space. The tract to the north of the Snyder Road mini-warehouses would be changed from office/light industrial to open space cluster given the existing infrastructure in that portion of N. Campbell Station Road.

Included in your packet are maps and general information concerning the CLUPSC's recommendations. This is only for workshop discussion purposes.



Outlet Drive Proposed Future Landuse

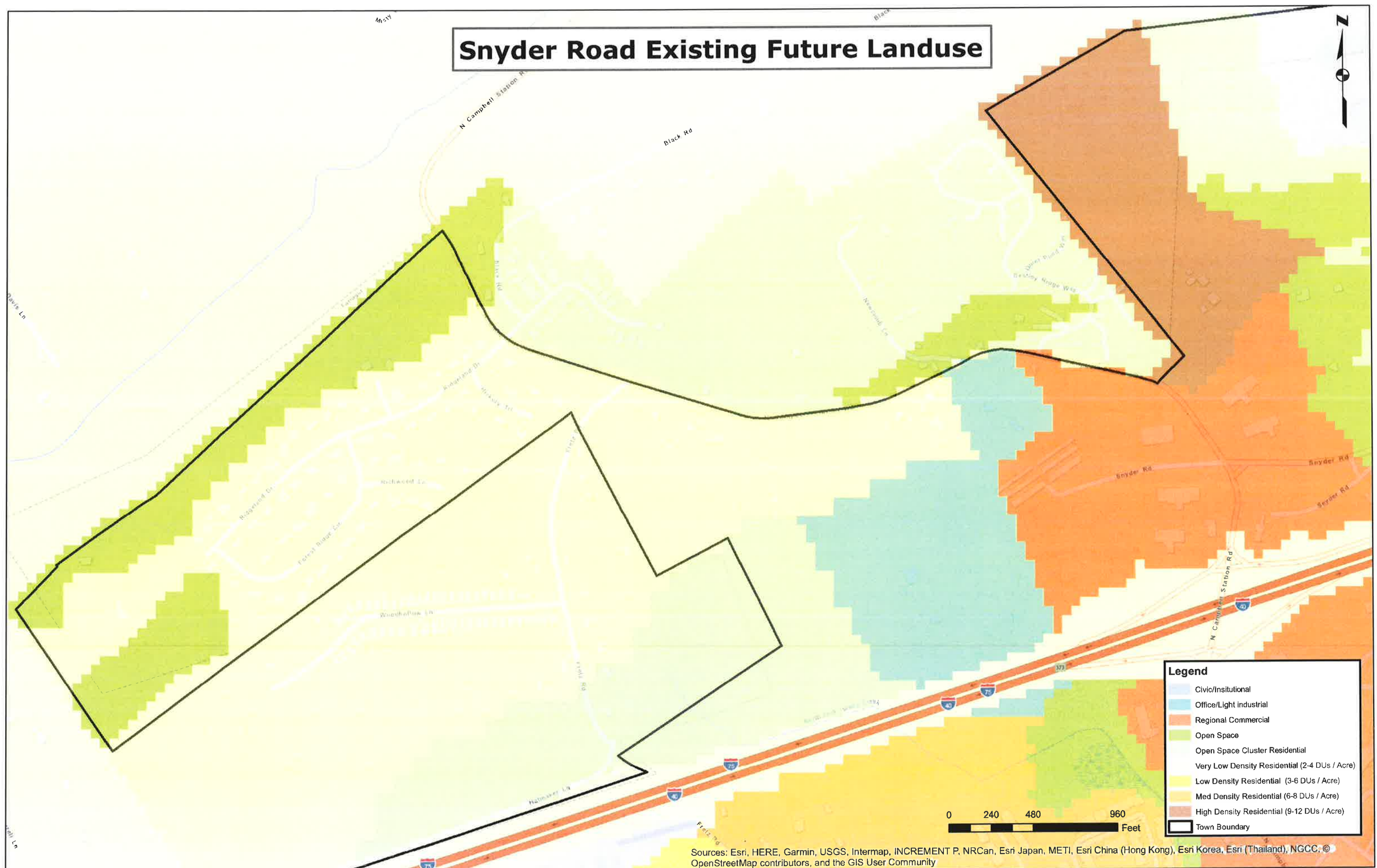


Legend

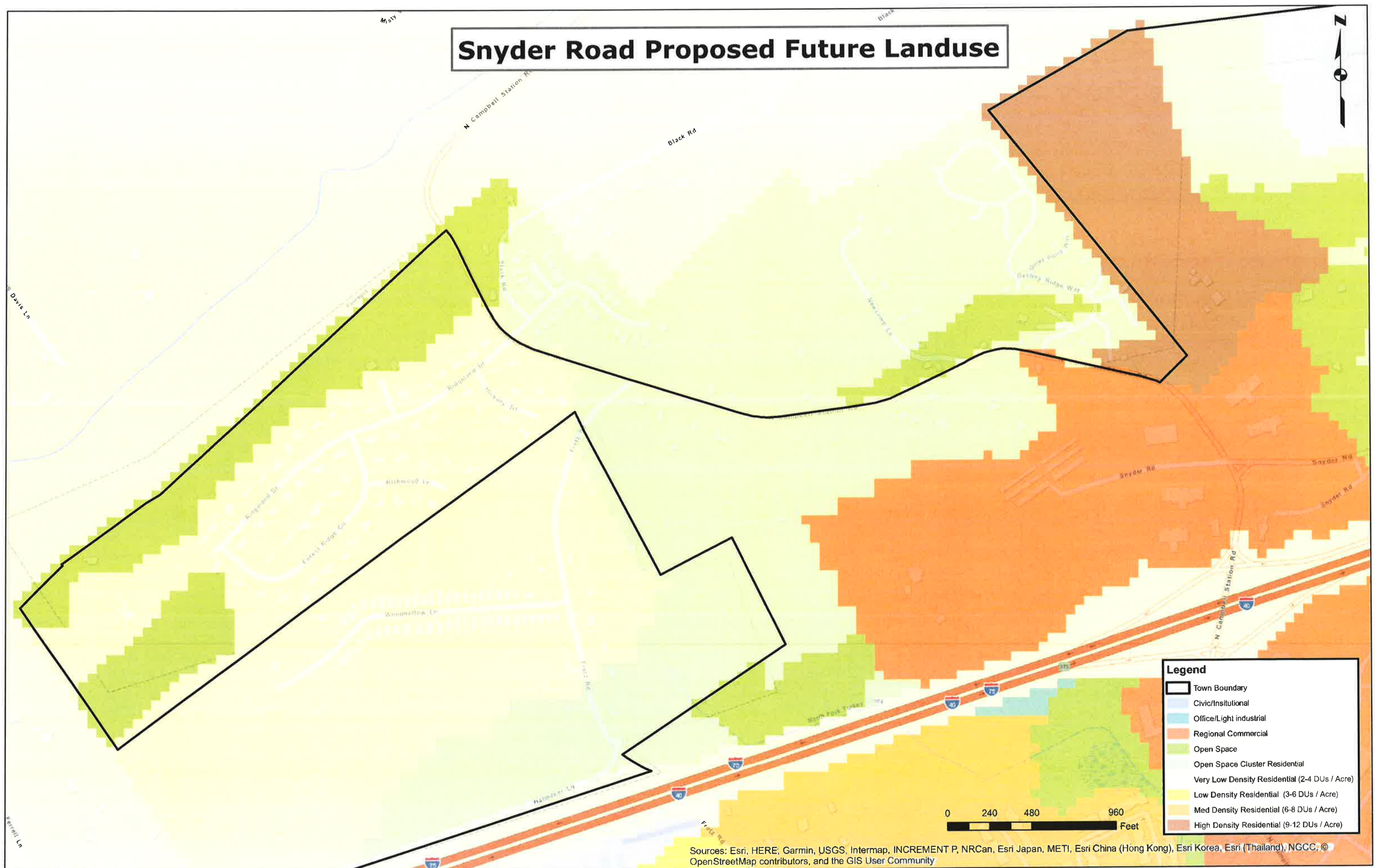
- Town Boundary
- Civic/Institutional
- Office/Light Industrial
- Regional Commercial
- Open Space
- Open Space Cluster Residential
- Very Low Density Residential (2-4 DUs / Acre)
- Med Density Residential (6-8 DUs / Acre)
- High Density Residential (9-12 DUs / Acre)

Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, © OpenStreetMap contributors, and the GIS User Community

Snyder Road Existing Future Landuse



Snyder Road Proposed Future Landuse



Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, © OpenStreetMap contributors, and the GIS User Community

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion on proposed amendments to the Farragut Zoning Ordinance to remove references to elderly and group housing and clustered housing units since the terms are no longer used in the ordinance

INTRODUCTION AND BACKGROUND: This item represents a “housekeeping” matter to remove some language from the Farragut Zoning Ordinance that refers to terms or uses that are no longer used or provided for resulting from previous amendments to the Zoning Ordinance. Those terms or uses include clustered housing units, elderly housing, elderly and group housing, group housing, and group housing facilities. The sections affected by the inclusion of these obsolete terms or uses include the following:

1. Chapter 2. Definitions – the term “House trailer” includes a reference to “Clustered Housing Units;”
2. Chapter 3. Specific District Regulations – Section XI. Multi-family residential district (R-6) refers to “group housing facilities” under the General Description subsection;
3. Chapter 3. Specific District Regulations – Section XII. General commercial district (C-1) includes, under the permitted uses, “17. Elderly housing as regulated in Chapter 4;”
4. Chapter 3. Specific District Regulations – Section XV. Regional commercial district (C-2) includes, under the permitted uses, “18. Group housing as regulated in Chapter 4;”
5. Chapter 3. Specific District Regulations – Section XXVIII. Open space multi-family residential overlay (OSMFR) includes, under the permitted uses, “3. Elderly and group housing as regulated in Chapter 4.”

Though this is for discussion purposes, staff recommends ordinances be prepared to remove the above terms of uses from the Zoning Ordinance.