



**AGENDA  
FARRAGUT MUNICIPAL PLANNING COMMISSION**

**June 20, 2019  
7:00 p.m. Farragut Town Hall**

For questions please e-mail Mark Shipley at [mshipley@townoffarragut.org](mailto:mshipley@townoffarragut.org) or Bart Hose at [bhose@townoffarragut.org](mailto:bhose@townoffarragut.org)

- 1. Citizen Forum**
- 2. Approval of agenda**
- 3. Approval of minutes – May 16, 2019**
- 4. Discussion and public hearing on right of way permits for fiber optic cable to be installed along portions of N. and S. Watt Road, Old Stage Road, McFee Road, Boyd Station Road, Virtue Road, Parkside Drive, Grigsby Chapel Road, Fretz Road, and Smith Road (MCImetro Access Transmission Services, Inc., Applicant)**
- 5. Discussion and public hearing on a site plan for small cell support structures at 633 Herron Road and 11473 Parkside Drive (MasTec/AT&T Mobility, Applicant)**
- 6. Discussion and public hearing on a final plat for Easton Park, Unit 2, Turkey Creek Road west of Briarstone Lane, 23 Lots, 8.4 Acres, Zoned R-3 (HFTC, GP, Applicant)**
- 7. Discussion and public hearing on amendments to Chapters 2, 3, and 4 of the Farragut Zoning Ordinance related to regional recreational entertainment venues consistent with recent amendments to the Farragut Future Land Use Map for the Outlet Drive corridor**
- 8. Discussion and public hearing on amendments to the Farragut Zoning Map in relation to portions of the Outlet Drive corridor being rezoned from C-2, Regional Commercial, to C-2-R/W, Regional Commercial, Retail/Warehousing consistent with recent amendments to the Farragut Future Land Use Map for the Outlet Drive corridor**
- 9. Discussion on amendments to the C-1 Mixed-Use Town Center portion of the Farragut Zoning Ordinance as applied to drive-throughs and menu boards on existing developments with drive-throughs that pre-date the Mixed-Use Town Center land use designation (McDonald's USA, LLC, Applicant)**
- 10. Appointment of Stormwater Advisory Committee representative**

**11. Discussion on Planning Commission procedures as applied to the number of significant comments that remain on plans intended to come before the Commission and how to address approval subject to's that are not taken care of in a timely manner**

**12. Approval of utilities**

**Planning Commission Meeting  
Public Comment Protocol**

The Planning Commission welcomes and invites citizens to participate in public meetings.

At the beginning of each meeting, there will be time reserved for public comment under the Citizen Forum agenda item. If you are interested in speaking, please fill out a blue comment card and turn it in to the Town Planner or staff member. This time is set aside specifically for comments on items that are not on the Planning Commission regular agenda for the meeting. Each speaker will be given five (5) minutes to speak on his/her topic.

During the regular agenda portion of the meeting there may be an allowance for public comment for each agenda item. The Chairman may recognize individuals for public comment based on the following guidelines:

1. The Chairman shall maintain and control the meeting to provide a professional and objective environment conducive to presentation and discussion of the agenda items;
2. Anyone interested in speaking should fill out a blue comment card stating which agenda item they would like to comment on and turn in to the Town Planner or a staff member;
3. Speakers shall come to the podium and identify themselves by name and address;
4. Public comment shall be limited to five (5) minutes per individual, time may be extended at the discretion of the Chairman; time is not transferable to other speakers;
5. Speakers should strive to avoid redundancy;
6. Comments shall address issues, not individuals or personalities;
7. Comments may support or oppose particular issues or measures, but the motives of those with differing views shall not be questioned or attacked;
8. Personal attacks and malicious comments shall not be tolerated;
9. An applicant, and/or their representative(s), for an item on the regular agenda shall be afforded the time necessary to present their request and respond to questions. The five (5) minute limitation shall not apply. However, the Chairman may ask an applicant to stay on point in order to facilitate the efficiency of the meeting.



**MINUTES  
FARRAGUT MUNICIPAL PLANNING COMMISSION**

**May 16, 2019**

**MEMBERS PRESENT**

Rita Holladay, Chairman  
Ed St. Clair, Vice-Chairman  
Ed Whiting, Secretary  
Ron Williams, Mayor  
Louise Povlin, Alderman  
Noah Myers  
Betty Dick  
Rose Ann Kile  
Jon Greene

**MEMBERS ABSENT**

Nick LiMandri

**Staff Representatives:** Mark Shipley, Community Development Director  
Bart Hose, Assistant Community Development Director  
Trevor Hobbs, Assistant to the Town Administrator  
Darryl Smith, Town Engineer  
Matt Brazille, Assistant Town Engineer

Chairman Holladay called the meeting to order at 7 p.m.

**1. Citizen Forum**

Staff reminded everyone to please read the Public Comment Protocol on the back of the agendas for anyone that may wish to make comments at the meeting.

**2. Approval of agenda**

*Motion was made by Commissioner Povlin to approve the agenda as listed. Motion was seconded by Mayor Williams and motion passed unanimously.*

**3. Approval of minutes – April 18, 2019**

*Commissioner Kile noted a correction to a typo on Page 3. Staff indicated that this would be corrected. A motion was then made by Mayor Williams to approve the minutes as corrected. Motion was seconded by Commissioner Povlin and motion passed unanimously.*

**4. Discussion and public hearing on a final plat for the resubdivision of Lot 1R1 and part of Lot 3R1, Parcels 069 and 069.01, Tax Map 142 (Kingston Pike and Farragut Commons Boulevard), 5.79 Acres, Zoned O-1 and C-1 (SITE, Inc., Annette Hommel, Applicant)**

Staff recommended approval subject to the following comments being address as verified in writing by the Town staff:

- 1) It is staffs' understanding that the owner of Farragut Senior Living and the Villages wishes to place a sign for the Villages on lot 1RR1 as proposed. Please be advised that the lot will need to be formally combined with the larger Villages site to avoid an off-site sign condition;
- 2) The open space areas shown do not meet the minimum 10% standard for the proposed lots. Please revise the plat to document open space compliance;
- 3) Please locate all zoning district boundary lines on the proposed lots;
- 4) The 20' foot sidewalk easement shown along Kingston Pike on lot 1RR2 does not fully correspond to the location of the sidewalk as shown on the plat. Please revise;
- 5) Please include the remaining acreage of any affected lots/parcels (i.e. parcel 069);
- 6) Please note that the owners will need to provide all necessary letters-of-credit guaranteeing planned improvements and their maintenance;
- 7) The surveyor will need to sign and date his seal;
- 8) Please explain the 5'x5' sign easement located on lot 1RR2? The sign appears to be on the same lot as the business. In addition, the Town does not allow for off premise signs, so it could not be used for a sign for another business;
- 9) Plat indicates walking trail easement is 12' wide, adjacent to right of way. Typically, these easements are measured at 10' from center of new walking trails;
- 10) Please verify that all curb ramps on this new right of way are ADA compliant;
- 11) Please submit detention basin location, volume and capacity verification;
- 12) Please submit irrevocable letter of credit for completion of roadway surface for \$25,000; and
- 13) Please submit two- year irrevocable letter of credit for maintenance of roadway, greenway and drainage facilities for \$33,000.

*Motion was made by Commissioner St. Clair to approve the plat subject to the staffs' recommendation. Motion was seconded by Commissioner Kile and motion passed unanimously.*

**5. Discussion and public hearing on fiber installations along the west side of S. Campbell Station Road from Kingston Pike to Municipal Center Drive and along the south side of Municipal Center Drive to Park Place Boulevard (TDS Telecom, Applicant)**

Staff recommended approval subject to the following comments being address as verified in writing by the Town staff:

- 1) Please install using boring. No open trenching;
- 2) Please bore to the side of any sidewalks;
- 3) Please obtain a right of way permit from the Town. Please coordinate erosion control measures with the Town staff;
- 4) Please restore any affected areas to their pre-construction condition and ensure that all affected areas are completely stabilized;
- 5) Please ensure that proper traffic control measures are in place and affected entities are notified; and

- 6) Please provide an as-built of the fiber line placement to the Town once the project is complete.

*Motion was made by Commissioner Myers to approve the plat subject to the staffs' recommendation. Motion was seconded by Commissioner Kile and motion passed unanimously.*

**6. Discussion and public hearing on preliminary road design plans for improvements to Union Road (Town of Farragut, Applicant)**

Staff reviewed this item and recommended approval.

*After a long discussion, a motion was made by Commissioner Povlin to approve the preliminary road design plans for improvements to Union Road with the frontage of the Trout property having a reduced grass strip width of 3 feet. A portion of the Dean property frontage may also have a 3-foot grass strip width where constrained by physical features such as a spring and the creek. Motion was seconded by Commissioner St. Clair and motion passed unanimously.*

**7. Discussion and public hearing on the FY20-24 CIP (Town of Farragut, Applicant)**

Staff reviewed this item and recommended approval.

*Motion was made by Commissioner Povlin to recommend approval of the FY20-24 CIP with Phase 2 of the Virtue Road improvements being moved out one year. Motion was seconded by Commissioner St. Clair and motion passed unanimously.*

**8. Discussion and public hearing on proposed amendments to the Farragut Zoning Ordinance related to short term rentals (Town of Farragut, Applicant)**

Staff recommended approval of Resolution PC-19-05 which recommends approval of Ordinance 19-20.

*Motion was made by Commissioner St. Clair to approve Resolution PC-19-05. Motion was seconded by Mayor Williams and motion passed unanimously.*

**9. Discussion and public hearing on amending the maximum lot coverage formula as applied in the R-1/OSR Zoning District (Town of Farragut, Applicant)**

Staff recommended approval of Resolution PC-19-06 which recommends approval of Ordinance 19-21.

*Motion was made by Commissioner Myers to approve Resolution PC-19-06. Motion was seconded by Commissioner Kile and motion passed unanimously.*

**10. Appointment of sign ordinance update representative**

*Motion made by Chairman Holladay to nominate Betty Dick as the Planning Commission representative on the sign ordinance update committee. Motion was seconded by Commissioner Povlin and motion passed unanimously.*

**11. Approval of utilities**

None.

**FMPC Minutes**  
**May 16, 2019**  
**Page 4**

The meeting adjourned at 10:37 p.m.

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Edwin K. Whiting, Secretary

## REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

**PREPARED BY:** Mark Shipley, Community Development Director

**SUBJECT:** Discussion and public hearing on right of way permits for fiber optic cable to be installed along portions of N. and S. Watt Road, Old Stage Road, McFee Road, Boyd Station Road, Virtue Road, Parkside Drive, Grigsby Chapel Road, Fretz Road, and Smith Road (MCImetro Access Transmission Services, Inc., Applicant)

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**INTRODUCTION:** This item involves a significant fiber installation project that affects numerous portions of the Town. As shown in the attached maps, the project will use a combination of overhead and underground installation. All underground installation will use directional boring. The fiber will be placed within a conduit bored to a depth of at least 36 inches and existing structures, such as sidewalks, will be avoided. The applicant has included an anticipated build sequence for the work requested. Traffic control will have to be coordinated with the Town's engineering department. A representative will be at the meeting to describe each section of the project and what will be involved.

**RECOMMENDATION:** The staffs' comments along with the applicant's reply are included in your packet. Staff will make a recommendation at the meeting based on whether the comments have been addressed. Staff will recommend a letter of credit be provided to ensure that all affected areas will be restored to their pre-construction condition. The dollar amount will be provided in consultation with the Town Engineer.

## Mark Shipley

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**From:** Clay Watson <cwatson@fg-inc.net>  
**Sent:** Thursday, May 30, 2019 2:00 PM  
**To:** Mark Shipley  
**Cc:** Bart Hose; Darryl Smith; Matt Brazille; Bud Mckelvey; Tom Hale; David Smoak; Trevor Hobbs; Michael Sides; Majka, Stanley M (Mike)  
**Subject:** RE: staff developer comments

Hey Mark,

Please see my comments in blue below. Thank you for setting the meeting Tuesday I believe it will be very beneficial.

Thanks,

**CLAY WATSON**  
Permit Coordinator



FORESITE GROUP, INC. [www.fg-inc.net](http://www.fg-inc.net)  
2101 Magnolia Avenue, Suite 100 Birmingham, AL 35205  
o | 205.397.0370 ext. 437 f | 844.272.0997 c | 205.777.1601

*Foresite Group Disclaimer: Private and confidential as detailed [here](#).  
If you cannot access hyperlink, please e-mail sender.*

**From:** Mark Shipley <mshipley@townoffarragut.org>  
**Sent:** Thursday, May 30, 2019 9:39 AM  
**To:** Clay Watson <cwatson@fg-inc.net>  
**Cc:** Bart Hose <bhose@townoffarragut.org>; Darryl Smith <dsmith@townoffarragut.org>; Matt Brazille <mbrazille@townoffarragut.org>; Bud Mckelvey <bmckelvey@townoffarragut.org>; Tom Hale <tomhale@kramer-rayson.com>; David Smoak <DSmoak@townoffarragut.org>; Trevor Hobbs <thobbs@townoffarragut.org>  
**Subject:** staff developer comments  
**Importance:** High

Hope you are doing well. In preparation for next Tuesday's staff/developer meeting at 9:30 am, some questions regarding the fiber optic installation would be the following (at least from my perspective):

- 1) Please verify that, in all locations where fiber is proposed underground, the installation will involve no open cutting. All underground installation must use directional boring so that surface disruption is minimized to the greatest extent possible  
[We are updating our Prints to reflect Directional Bore.](#)
- 2) Some of the application's reference trenching and plowing. These are not permitted installation techniques and the applications must be corrected accordingly;  
[We are updating our prints to show Directional Bores for all underground Placement.](#)
- 3) A letter of credit will likely be required by the Planning Commission to ensure that any affected areas are restored to their pre-construction condition;  
[I am working on getting this for the Tuesday meeting.](#)
- 4) Please verify that no pedestrian facilities, other utilities, or landscaping will be affected;

These have been avoided on current plans based on our internal standards, If you have specific concerns please let us know.

- 5) Please verify that all new installations will be within existing rights of ways or utility easements that are platted; We utilized GIS Data to create our ROW lines. Is this something we can pull and verify at the Tuesday meeting?
- 6) Please provide traffic control plans for the different stages of the project; Do you want typicals for this? Or designed for each plan sets?
- 7) For purposes of illustrating the project, please identify the sections that will use overhead utilities and those where underground installation will be applied. This is a very large project and a breakdown of installation, phasing, etc., will be necessary for the Planning Commission's consideration on June 20. This is currently denoted by Blue Dashed line (Aerial) and Orange DB (Underground) They also have descriptions of placement type.

There may be other comments from next Tuesday's meeting. Please let me know if you have any questions. Thanks.

#### Farragut Build Sequence:

Following is our proposed construction sequence for the One Fiber build in the City of Farragut. If all permits were released at one time, we would have a maximum of four drills operating inside Farragut at one time. All timelines are weather and conditions permitting.

Parkside Drive from the city limit to N. Campbell Station Rd. - Work will begin 10 days after permit received. Work is expected to be completed within 16 work days. For example: Permit received on June 14, work begins on June 24 and would be completed by July 17.

Lakes Edge Dr.- Presuming the permit for Lakes Edge and Campbell Lakes Dr is received at least 10 days prior to the completion of the work on Parkside Dr. and using the above example dates, the work on Lakes Edge will begin at the intersection of Parkside Drive and Lakes Edge on July 18 and should be finished on Campbell Lakes Dr on July 24.

Fretz Rd - Fretz Rd. would be completed in two days. If permit was received on June 14, work would begin June 24 in front of 717 Fretz Rd., and end in front of 721 Fretz Rd on June 25.

Grigsby Chapel Rd. - Work would begin at near 11739 Grigsby Chapel Rd. 10 days after permit received and will take approximately 10 work days. Permit received on June 14, work would begin on June 24 and be completed on July 9 at the intersection of Grigsby Chapel and Smith Rd.

N. Watt Rd. – Work would begin 10 days after permit received and take 13 work days to complete. Permit received on June 14, work would begin on June 24 near the city boundary and would end in front of 110 S. Watt Rd. on approximately July 12.

Old Stage Rd/McFee Rd/Kingston Pike – Presuming permit received at least 10 days prior to the completion of the Fretz Rd drilling, work would begin at the intersection of Everett Rd and Kingston Pike on June 25 and reach the end of the drilling on Old Stage Rd on approximately July 10. Drilling would begin on McFee Rd. on July 11 at the intersection of McFee Rd and Old Stage Rd and be completed in front of 340 McFee Rd on approximately July 19.

Virtue Rd/Evans Rd - Presuming the permit was received at least 10 days prior to the completion of the work on Grigsby Chapel Rd., the work would begin near 521 Virtue Rd. on July 10 and be completed at the intersection of Boyd Station and Virtue Rd. on approximately July 24.

## APPLICATION FOR RIGHT-OF-WAY USE PERMIT



**APPLICATION FOR RIGHT-OF-WAY USE PERMIT**

Applicant Stanley M Majka Company/Contractor MCImetro Access Transmission Services, Inc.

Address 2250 Lakeside Blvd Richardson, TX

Phone 205.397.0370 ext. 437 Cell Phone (205) 777.1601 Email Cwatson@fg-inc.net

Construction Location Start: 11170 Parkside Dr End: 11686 Parkside Dr

Purpose Fiber Optic Cable - Direct Burial in ROW

Type of Construction Utility Construction: Horizontal Directional Drilling (HDD)

Excavation Width 4" Excavation Depth 36"

Within Pavement: Yes \_\_\_\_\_ No X \_\_\_\_\_

Paving Contractor MasTec

Address 3009 Industrial Parkway W Knoxville, TN Proposed Start Date 3/5/2019

Phone (615) 278-8130 Projected Completion Date 3/20/2019

**REQUIREMENTS OF PERMIT HOLDER**

A right-of-way permit is required before starting any activity in a public right-of-way within the corporate limits of the Town of Farragut. Anyone undertaking such activity shall comply with the following criteria:

1. Permit holder must comply with the Farragut Municipal Code (Title 16, Chapter 1) which provides for proper restorations within the public right-of-way. All backfill methods and materials must comply with this ordinance.
2. Permit holder must comply with the Soil Erosion and Sedimentation Control Ordinance (Title 14, Chapter 2). Permit holder will be required to keep sediment, debris, mud, etc., from the street by properly cleaning the street during construction and after construction is complete in order to avoid a hazardous traffic situation.
3. All work within the pavement or near the traveled way will require the use of traffic control measures in accordance with the Manual of Uniform Traffic Control Devices. The use of these guidelines is strictly a minimum requirement and additional measures may be required by the Town prior to or during construction. These measures may include additional signing, flagmen, police officers, restricted construction hours, etc.

*I hereby acknowledge that I have read the above information and agree to comply with the requirements of the Ordinances referenced.*

\_\_\_\_\_  
Signature of Permit Holder

\_\_\_\_\_  
Date

**TO BE COMPLETED BY TOWN PERSONNEL**

Starting Date \_\_\_\_\_ Completion Date \_\_\_\_\_

Sketch Attached \_\_\_\_\_ Certificate of Insurance \_\_\_\_\_

Special Conditions/Requirements \_\_\_\_\_

Approved / Not Approved By \_\_\_\_\_ Permit Fee \_\_\_\_\_

(Circle One)

Title \_\_\_\_\_

Date \_\_\_\_\_

Expiration Date of Permit \_\_\_\_\_



**APPLICATION FOR RIGHT-OF-WAY USE PERMIT**

Applicant Stanley M Majka Company/Contractor MCImetro Access Transmission Services, Inc.  
Address 2250 Lakeside Blvd Richardson, TX

Phone 205.397.0370 ext. 437 Cell Phone (205) 777.1601 Email Cwatson@fg-inc.net

Construction Location Start: 11686 Parkside Dr End: 11777 Grigsby Chapel Rd

Purpose Fiber Optic Cable - Install aerial fiber and 6.6M strand along existing pole route

Type of Construction Utility Construction: Install aerial fiber and 6.6M strand along existing pole route.

Excavation Width N/A Excavation Depth N/A

Within Pavement: Yes        No   X  

Paving Contractor MasTec

Address 3009 Industrial Parkway W Knoxville, TN Proposed Start Date 3/5/2019

Phone (615) 278-8130 Projected Completion Date 3/20/2019

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\_\_\_\_\_  
Signature of Permit Holder

3/5/2019  
\_\_\_\_\_  
Date

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Starting Date \_\_\_\_\_ Completion Date \_\_\_\_\_  
Sketch Attached \_\_\_\_\_ Certificate of Insurance \_\_\_\_\_  
Special Conditions/Requirements \_\_\_\_\_

Approved / Not Approved By \_\_\_\_\_ Permit Fee \_\_\_\_\_  
(Circle One) Title \_\_\_\_\_  
Date \_\_\_\_\_ Expiration Date of Permit \_\_\_\_\_



**APPLICATION FOR RIGHT-OF-WAY USE PERMIT**

Applicant Stanley M Majka Company/Contractor MCImetro Access Transmission Services, Inc.

Address 2250 Lakeside Blvd Richardson, TX

Phone 205.397.0370 ext. 437 Cell Phone (205) 777.1601 Email Cwatson@fg-inc.net

Construction Location Start: 11598 Grigsby Chapel Rd End: 721 Fretz Rd

Purpose Fiber Optic Cable - Install aerial fiber and 6.6M strand along existing pole route

Type of Construction Utility Construction: Install aerial fiber and 6.6M strand along existing pole route.

Excavation Width N/A Excavation Depth N/A

Within Pavement: Yes        No   X  

Paving Contractor MasTec

Address 3009 Industrial Parkway W Knoxville, TN Proposed Start Date 3/5/2019

Phone (615) 278-8130 Projected Completion Date 3/20/2019

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\_\_\_\_\_  
Signature of Permit Holder

\_\_\_\_\_  
Date

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Starting Date \_\_\_\_\_ Completion Date \_\_\_\_\_

Sketch Attached \_\_\_\_\_ Certificate of Insurance \_\_\_\_\_

Special Conditions/Requirements \_\_\_\_\_

Approved / Not Approved By \_\_\_\_\_ Permit Fee \_\_\_\_\_

(Circle One)

Title \_\_\_\_\_

Date \_\_\_\_\_

Expiration Date of Permit \_\_\_\_\_



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Address 2250 Lakeside Blvd Richardson, TX

Phone 205.397.0370 ext. 437 Cell Phone (205) 777.1601 Email Cwatson@fg-inc.net

Construction Location Start: 717 Fretz Rd Rd End: 727 Fretz Rd

Purpose Fiber Optic Cable - Direct Burial in ROW

Type of Construction Utility Construction: Horizontal Directional Drilling (HDD)

Excavation Width 4" Excavation Depth 36"

Within Pavement: Yes \_\_\_\_\_ No X

Paving Contractor MasTec

Address 3009 Industrial Parkway W Knoxville, TN Proposed Start Date 3/5/2019

Phone (615) 278-8130 Projected Completion Date 3/20/2019

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3/5/2019

Signature of Permit Holder

Date

**TO BE COMPLETED BY TOWN PERSONNEL**

Starting Date \_\_\_\_\_ Completion Date \_\_\_\_\_

Sketch Attached \_\_\_\_\_ Certificate of Insurance \_\_\_\_\_

Special Conditions/Requirements \_\_\_\_\_

Approved / Not Approved By \_\_\_\_\_ Permit Fee \_\_\_\_\_

(Circle One)

Title \_\_\_\_\_

Date \_\_\_\_\_ Expiration Date of Permit \_\_\_\_\_



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Applicant Stanley M Majka Company/Contractor MCImetro Access Transmission Services, Inc.

Address 2250 Lakeside Blvd Richardson, TX

Phone 205.397.0370 ext. 437 Cell Phone (205) 777.1601 Email Cwatson@fg-inc.net

Construction Location Start: 11777 Grisby Chapel Rd End: 501 Smith Rd

Purpose Fiber Optic Cable - Direct Burial in ROW

Type of Construction Horizontal Directional Drilling (HDD)

Excavation Width 4" Excavation Depth 36"

Within Pavement: Yes        No   X  

Paving Contractor MasTec

Address 3009 Industrial Parkway W Knoxville, TN Proposed Start Date 3/5/2019

Phone (615) 278-8130 Projected Completion Date 3/20/2019

**REQUIREMENTS OF PERMIT HOLDER**

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*I hereby acknowledge that I have read the above information and agree to comply with the requirements of the Ordinances referenced.*

3/5/2019

Signature of Permit Holder

Date

**TO BE COMPLETED BY TOWN PERSONNEL**

Starting Date                      Completion Date                     

Sketch Attached                      Certificate of Insurance                     

Special Conditions/Requirements                     

Approved / Not Approved By                      Permit Fee                     

(Circle One)

Title                     

Date                     

Expiration Date of Permit

## APPLICATION FOR RIGHT-OF-WAY USE PERMIT



**APPLICATION FOR RIGHT-OF-WAY USE PERMIT**

Applicant Stanley M Majka Company/Contractor MCImetro Access Transmission Services, Inc.  
Address 2250 Lakeside Blvd Richardson, TX

Phone 205.397.0370 ext. 437 Cell Phone (205) 777.1601 Email Cwatson@fg-inc.net

Construction Location Start: 13033 Fleenor Rd End: 424 N Watt Rd

Purpose Fiber Optic Cable - Direct Burial in ROW

Type of Construction Utility Construction: Horizontal Directional Drilling (HDD)

Excavation Width 4" Excavation Depth 36"

Within Pavement: Yes        No   X  

Paving Contractor MasTec

Address 3009 Industrial Parkway W Knoxville, TN Proposed Start Date 5/14/2019

Phone (615) 278-8130 Projected Completion Date 5/29/2019

**REQUIREMENTS OF PERMIT HOLDER**

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*I hereby acknowledge that I have read the above information and agree to comply with the requirements of the Ordinances referenced.*

\_\_\_\_\_  
Signature of Permit Holder

\_\_\_\_\_  
Date

**TO BE COMPLETED BY TOWN PERSONNEL**

Starting Date \_\_\_\_\_ Completion Date \_\_\_\_\_  
Sketch Attached \_\_\_\_\_ Certificate of Insurance \_\_\_\_\_  
Special Conditions/Requirements \_\_\_\_\_

Approved / Not Approved By \_\_\_\_\_ Permit Fee \_\_\_\_\_  
(Circle One) Title \_\_\_\_\_  
Date \_\_\_\_\_ Expiration Date of Permit \_\_\_\_\_



**APPLICATION FOR RIGHT-OF-WAY USE PERMIT**

Applicant Stanley M Majka Company/Contractor MCImetro Access Transmission Services, Inc.  
Address 2250 Lakeside Blvd Richardson, TX

Phone 205.397.0370 ext. 437 Cell Phone (205) 777.1601 Email Cwatson@fg-inc.net  
Construction Location Start: 12827 OLD STAGE RD END: 110 S WATT RD

Purpose Fiber Optic Cable - Install aerial fiber and 6.6M strand along existing pole route

Type of Construction Utility Construction: Install aerial fiber and 6.6M strand along existing pole route.

Excavation Width N/A Excavation Depth N/A

Within Pavement: Yes        No   X  

Paving Contractor MasTec

Address 3009 Industrial Parkway W Knoxville, TN Proposed Start Date 5/14/2019

Phone (615) 278-8130 Projected Completion Date 5/29/2019

**REQUIREMENTS OF PERMIT HOLDER**

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Special Conditions/Requirements \_\_\_\_\_

Approved / Not Approved By \_\_\_\_\_ Permit Fee \_\_\_\_\_  
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**APPLICATION FOR RIGHT-OF-WAY USE PERMIT**

Applicant Stanley M Majka Company/Contractor MCImetro Access Transmission Services, Inc.  
Address 2250 Lakeside Blvd Richardson, TX

Phone 205.397.0370 ext. 437 Cell Phone (205) 777.1601 Email Cwatson@fg-inc.net

Construction Location Start: 12335 WILLOW RIDGE LN End: 12827 Old Stage Rd

Purpose Fiber Optic Cable - Direct Burial in ROW

Type of Construction Utility Construction: Horizontal Directional Drilling (HDD)

Excavation Width 4" Excavation Depth 36"

Within Pavement: Yes \_\_\_\_\_ No X

Paving Contractor MasTec

Address 3009 Industrial Parkway W Knoxville, TN Proposed Start Date 5/10/19

Phone (615) 278-8130 Projected Completion Date 5/25/19

**REQUIREMENTS OF PERMIT HOLDER**

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5/10/19

Signature of Permit Holder

Date

**TO BE COMPLETED BY TOWN PERSONNEL**

Starting Date \_\_\_\_\_ Completion Date \_\_\_\_\_

Sketch Attached \_\_\_\_\_ Certificate of Insurance \_\_\_\_\_

Special Conditions/Requirements \_\_\_\_\_

Approved / Not Approved By \_\_\_\_\_ Permit Fee \_\_\_\_\_

(Circle One)

Title \_\_\_\_\_

Date \_\_\_\_\_

Expiration Date of Permit \_\_\_\_\_



**APPLICATION FOR RIGHT-OF-WAY USE PERMIT**

Applicant Stanley M Majka Company/Contractor MCImetro Access Transmission Services, Inc.  
Address 2250 Lakeside Blvd Richardson, TX

Phone 205.397.0370 ext. 437 Cell Phone (205) 777.1601 Email Cwatson@fg-inc.net  
Construction Location Start: 12604 KINGSTON PIKE End: 120 COACH RD

Purpose Fiber Optic Cable - Direct Burial in ROW

Type of Construction Utility Construction: Horizontal Directional Drilling (HDD)

Excavation Width 4" Excavation Depth 36"

Within Pavement: Yes \_\_\_\_\_ No X \_\_\_\_\_

Paving Contractor MasTec

Address 3009 Industrial Parkway W Knoxville, TN Proposed Start Date 6/12/19

Phone (615) 278-8130 Projected Completion Date 6/27/19

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6/12/19

\_\_\_\_\_  
Signature of Permit Holder

\_\_\_\_\_  
Date

**TO BE COMPLETED BY TOWN PERSONNEL**

Starting Date \_\_\_\_\_ Completion Date \_\_\_\_\_

Sketch Attached \_\_\_\_\_ Certificate of Insurance \_\_\_\_\_

Special Conditions/Requirements \_\_\_\_\_

Approved / Not Approved By \_\_\_\_\_ Permit Fee \_\_\_\_\_

(Circle One)

Title \_\_\_\_\_

Date \_\_\_\_\_

Expiration Date of Permit \_\_\_\_\_



## APPLICATION FOR RIGHT-OF-WAY USE PERMIT

Applicant Stanley M Majka Company/Contractor MCImetro Access Transmission Services, Inc.  
Address 2250 Lakeside Blvd Richardson, TX

Phone\_205.397.0370 ext. 437 \_ Cell Phone\_(205) 777.1601 \_ Email\_Cwatson@fg-inc.net\_\_\_\_\_

Construction Location Start: 101 CARNOUSTIE PT End: 120 COACH RD

### Purpose Fiber Optic Cable - Direct Burial in ROW

Type of Construction Utility Construction: Horizontal Directional Drilling (HDD)

Excavation Width 4" Excavation Depth 36"

Within Pavement: Yes \_\_\_\_\_ No X

Paving Contractor MasTec

Address 3009 Industrial Parkway W Knoxville, TN Proposed Start Date 6/12/19

Phone (615) 278-8130 Projected Completion Date 6/27/19

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6/12/19

Signature of Permit Holder

Date \_\_\_\_\_

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Starting Date \_\_\_\_\_ Completion Date \_\_\_\_\_

Sketch Attached ☐ Certificate of Insurance ☐

Special Conditions/Requirements

Approved / Not Approved By \_\_\_\_\_ Permit Fee \_\_\_\_\_

(Circle One)

Title

Date \_\_\_\_\_

Expiration Date of Permit

## APPLICATION FOR RIGHT-OF-WAY USE PERMIT



**APPLICATION FOR RIGHT-OF-WAY USE PERMIT**

Applicant Stanley M Majka Company/Contractor MCImetro Access Transmission Services, Inc.  
Address 2250 Lakeside Blvd Richardson, TX

Phone 205.397.0370 ext. 437 Cell Phone (205) 777.1601 Email Cwatson@fg-inc.net

Construction Location Start: 200 MCCFEE RD End: 347 MCFEE RD

Purpose Fiber Optic Cable - Direct Burial in ROW

Type of Construction Utility Construction: Horizontal Directional Drilling (HDD) Excavation Width 4"

Excavation Depth 36"

Within Pavement: Yes \_\_\_\_\_ No X

Paving Contractor MasTec

Address 3009 Industrial Parkway W Knoxville, TN Proposed Start Date 5/10/19

Phone (615) 278-8130 Projected Completion Date 5/25/19

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5/10/19

Signature of Permit Holder

Date

**TO BE COMPLETED BY TOWN PERSONNEL**

Starting Date \_\_\_\_\_ Completion Date \_\_\_\_\_

Sketch Attached \_\_\_\_\_ Certificate of Insurance \_\_\_\_\_

Special Conditions/Requirements \_\_\_\_\_

Approved / Not Approved By \_\_\_\_\_ Permit Fee \_\_\_\_\_

(Circle One) Title \_\_\_\_\_

Date \_\_\_\_\_ Expiration Date of Permit \_\_\_\_\_



**APPLICATION FOR RIGHT-OF-WAY USE PERMIT**

Applicant Stanley M Majka Company/Contractor MCI metro Access Transmission Services, Inc.  
Address 2250 Lakeside Blvd Richardson, TX

Phone 205.397.0370 ext. 437 Cell Phone (205) 777.1601 Email Cwatson@fg-inc.net  
Construction Location Start: 347 MCFEE RD End: 12640 ALLEN KIRBY RD

Purpose Fiber Optic Cable - Install aerial fiber and 6.6M strand along existing pole route

Type of Construction Utility Construction: Install aerial fiber and 6.6M strand along existing pole route.

Excavation Width N/A Excavation Depth N/A

Within Pavement: Yes        No   X  

Paving Contractor MasTec

Address 3009 Industrial Parkway W Knoxville, TN Proposed Start Date 5/14/2019

Phone (615) 278-8130 Projected Completion Date 5/29/2019

**REQUIREMENTS OF PERMIT HOLDER**

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5/14/2019

\_\_\_\_\_  
Signature of Permit Holder

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Date

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Special Conditions/Requirements \_\_\_\_\_

Approved / Not Approved By \_\_\_\_\_ Permit Fee \_\_\_\_\_

(Circle One)

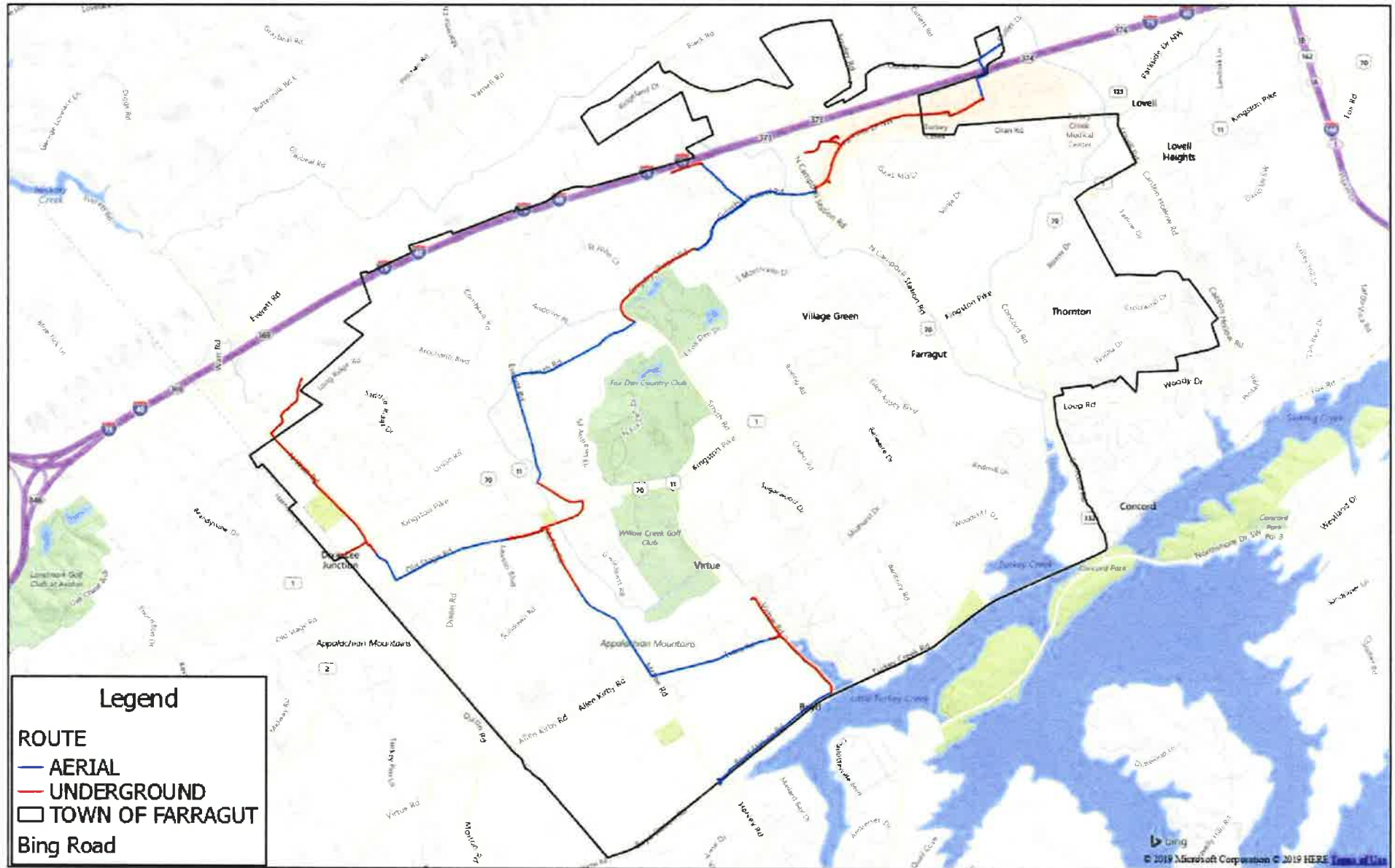
Title \_\_\_\_\_

Date \_\_\_\_\_

Expiration Date of Permit \_\_\_\_\_

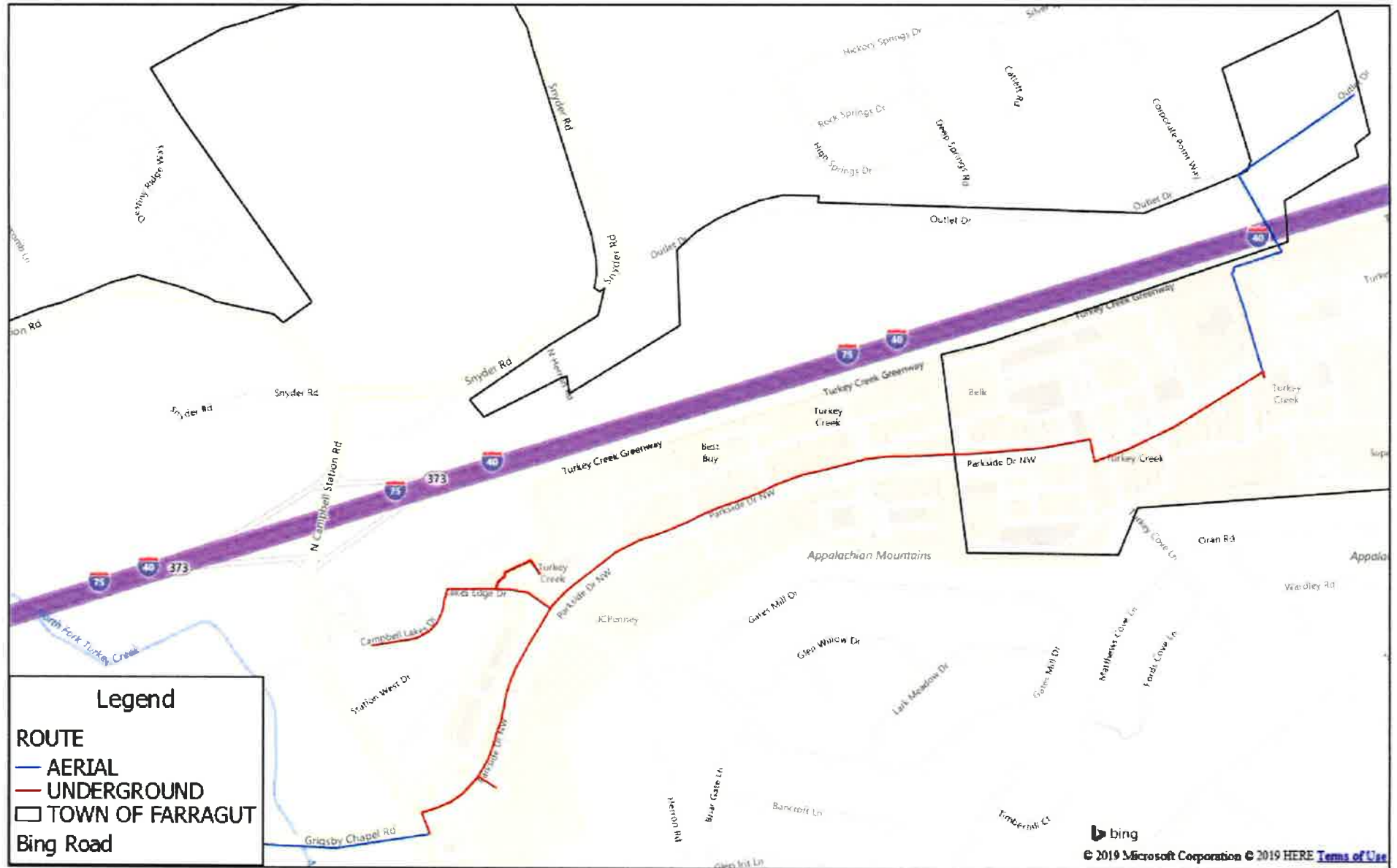
## APPLICATION FOR RIGHT-OF-WAY USE PERMIT

# TOWN OF FARRAGUT

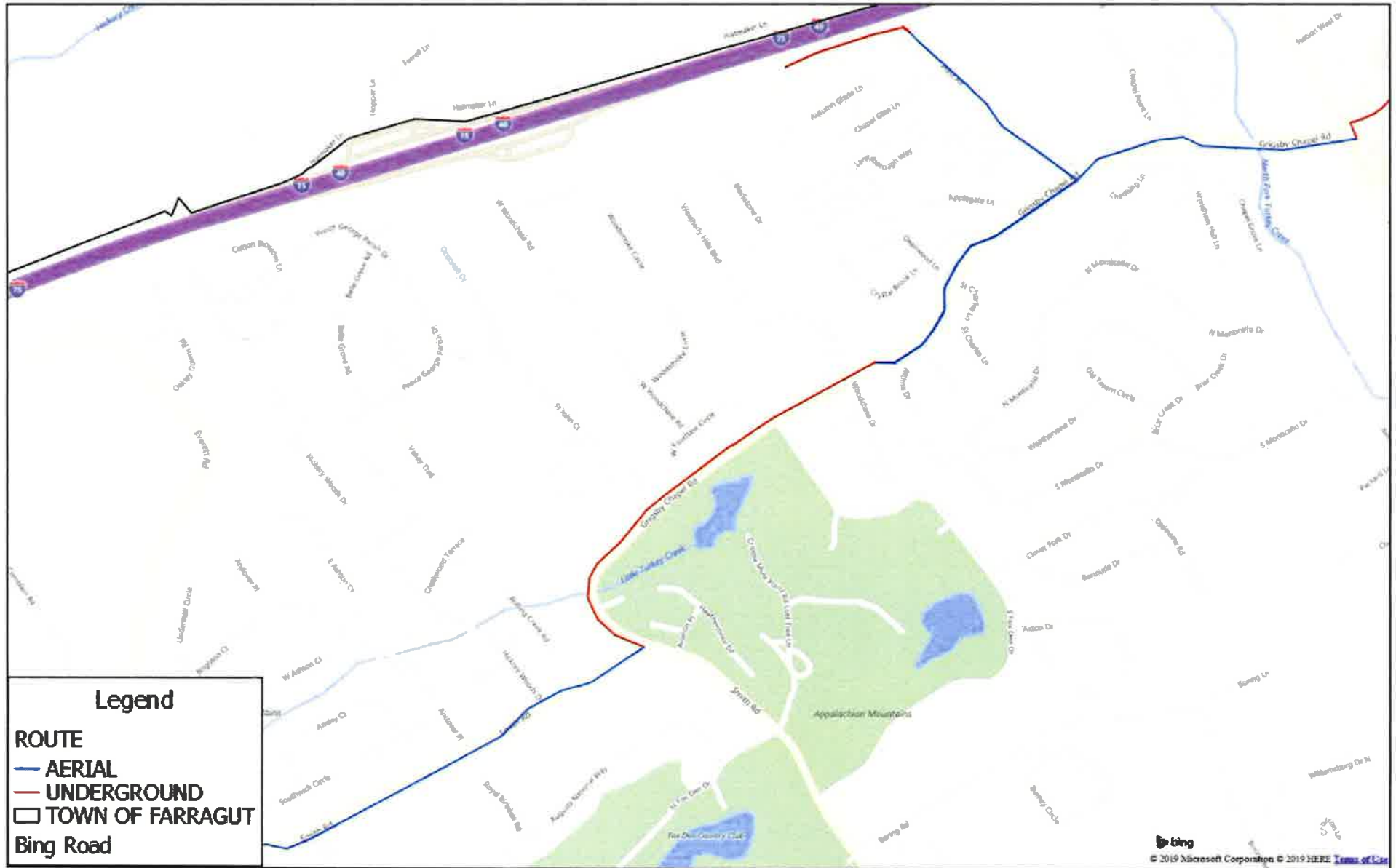


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# TOWN OF FARRAGUT



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**TOWN OF FARRAGUT**

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TOWN OF FARRAGUT



Confidentiality Statement: Verizon/MCI/metro Confidential and Proprietary. May Contain Trade Secrets, or Sensitive Commercial or Financial Information. Any Unauthorized Review, Use, Disclosure, Distribution, or Copying is Prohibited.

# TOWN OF FARRAGUT



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## REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

**PREPARED BY:** Mark Shipley, Community Development Director

**SUBJECT:** Discussion and public hearing on a site plan for small cell support structures at 633 Herron Road and 11473 Parkside Drive (MasTec/AT&T Mobility, Applicant)

---

**INTRODUCTION AND BACKGROUND:** As presented, this item involves a request for approval of three small cell support structures in the Herron Road/Parkside Drive area. One of the requested structures is not within the Town limits and will need to be addressed with the City of Knoxville.

The two structures within the Town are proposed at 633 Herron Road (at the end of Herron Road on the west side of the road) and 11473 Parkside Drive (on the west side of the eastern access point off Parkside Drive to the Best Buy building and shops).

**DISCUSSION:** The staffs' comments are included in your packet. Also included are the applicant's response to staff comments. Some of the significant comments that remain include the need for a plan for fiber installation to service the structures, whether the structure proposed at the end of Herron Road can be moved to Parkside Drive, and the need to use existing light poles (or in the case of Herron Road, power poles) for the small cell support structures. Similar to the Zayo project a couple of years ago, this would involve replacing the light poles with new poles that can accommodate the additional weight.

**RECOMMENDATION:** Staff will make a recommendation at the meeting. Given the provisions in State Law, should the application still be incomplete, staff will recommend denial and the applicant will need to rectify the remaining items that render the application incomplete. Those items will be included in the staff comments that will be provided to the Planning Commission.

## Mark Shipley

---

**From:** Kevin Youngblood <Kevin.Youngblood@mastec.com>  
**Sent:** Friday, June 7, 2019 2:04 PM  
**To:** Mark Shipley  
**Cc:** Bart Hose  
**Subject:** RE: small cell support structure comments  
  
**Importance:** High

Mark,  
I'm still awaiting some answers, but I've addressed the concerns to the best of my ability at this point. Relocating the Herron Road location is still in discussion.

- 1) Please address how fiber optics are being extended to each small cell support structure;
  - a. All fiber is planned to be delivered underground, delivered to a pull-box, and then underground to the pole itself. Pull boxes are typically placed within 6' of the proposed pole.
- 2) Will any of the work associated with either location affect nearby pedestrian facilities, utilities, or landscaping?
  - a. No, we will not adversely affect any facilities or utilities. Where landscaping is affected, we will restore the grounds to 100% prior to leaving the site.
- 3) Please ensure the placement does not create a visibility obstruction and verify that the structure will be within the existing right of way;
  - a. We have requested a revision to our drawings to reflect the road ROW at both locations.
- 4) Staff will need to discuss use of right of way agreement (if applicable per state law) with Town Attorney;
  - a. We understand the desire to review internally, if local agreements adhere to the state legislation, there should be no conflict.
- 5) With regards to the Herron Road location, could the structure be installed along Parkside Drive instead per the recommended hierarchy in the Town's telecommunications provisions? Herron Road is in an area zoned residential and the street is a collector vs. the commercial zoning and arterial street designation associated with the nearby Parkside Drive;
  - a. I have communicated this to AT&T & we are awaiting further information.
- 6) Similar to the Zayo project a couple of years ago, can an existing light pole along Parkside Drive be replaced and used for the small cell support structures so that no additional pole(s) is(are) placed along Parkside Drive;
  - a. We have attempted to acquire pole designs to replace the fiberglass poles versus new pole placements. At this time, this would apply to TNKNX\_768 only. We are in the process of having our drawings revised to reflect this design.
- 7) It appears from the drawings that all structures related to the installation are within or mounted onto the pole. Is this correct?
  - a. This is correct. Unless a jurisdiction or power entity deems otherwise, all equipment is either on or in the proposed pole. Some areas have restrictions on placing meters onto poles. If that is the case, a meter pedestal may be required.
- 8) As part of any right of way permit a letter of credit may be required to ensure any areas affected are restored to the pre-construction condition.
  - a. This can be provided based on an agreed contract amount & any other pertinent information.

Regards,

## Kevin Youngblood

Project Manager II – cRAN SAQ-TNKY

MasTec Network Solutions

Office: 615-648-8087

Mobile: 615-624-3988



**From:** Mark Shipley <mshipley@townoffarragut.org>

**Sent:** Friday, June 7, 2019 12:56 PM

**To:** Kevin Youngblood <Kevin.Youngblood@mastec.com>

**Cc:** Bart Hose <bhose@townoffarragut.org>

**Subject:** [External] FW: small cell support structure comments

**Importance:** High

**Attention:** This email was sent from someone outside of MasTec. Please use caution when opening attachments or clicking on links in emails which are unexpected or arrive from unknown senders.

I wasn't sure if you had any input on the comments below. I have these on the Planning Commission agenda for June 20 but will need to know answers to each question below by June 11 please. Thank you.

**From:** Mark Shipley

**Sent:** Thursday, May 30, 2019 10:22 AM

**To:** Kevin Youngblood <[Kevin.Youngblood@mastec.com](mailto:Kevin.Youngblood@mastec.com)>

**Cc:** Bart Hose <[bhose@townoffarragut.org](mailto:bhose@townoffarragut.org)>; Tom Hale <[tomhale@kramer-rayson.com](mailto:tomhale@kramer-rayson.com)>; David Smoak <[DSmoak@townoffarragut.org](mailto:DSmoak@townoffarragut.org)>; Trevor Hobbs <[thobbs@townoffarragut.org](mailto:thobbs@townoffarragut.org)>; Bud Mckelvey <[bmckelvey@townoffarragut.org](mailto:bmckelvey@townoffarragut.org)>; Darryl Smith <[dsmith@townoffarragut.org](mailto:dsmith@townoffarragut.org)>

**Subject:** small cell support structure comments

**Importance:** High

Kevin,

Hope you are doing well. Below are my comments on the two proposed small cell support structures in the Town at 633 Herron Road and 11473 Parkside Drive. As you know, the application for 11313 Parkside Drive would not appear to apply since this location appears to be within the City of Knoxville.

- 1) Please address how fiber optics are being extended to each small cell support structure;
- 2) Will any of the work associated with either location affect nearby pedestrian facilities, utilities, or landscaping?
- 3) Please ensure the placement does not create a visibility obstruction and verify that the structure will be within the existing right of way;
- 4) Staff will need to discuss use of right of way agreement (if applicable per state law) with Town Attorney;
- 5) With regards to the Herron Road location, could the structure be installed along Parkside Drive instead per the recommended hierarchy in the Town's telecommunications provisions? Herron Road is in an area zoned residential and the street is a collector vs. the commercial zoning and arterial street designation associated with the nearby Parkside Drive;
- 6) Similar to the Zayo project a couple of years ago, can an existing light pole along Parkside Drive be replaced and used for the small cell support structures so that no additional pole(s) is(are) placed along Parkside Drive;
- 7) It appears from the drawings that all structures related to the installation are within or mounted onto the pole. Is this correct?
- 8) As part of any right of way permit a letter of credit may be required to ensure any areas affected are restored to the pre-construction condition.

RECEIVED

MAY 23 2019

TOWN OF FARRAGUT

**APPLICATION PROCEDURES  
FOR  
SMALL CELL SUPPORT STRUCTURES  
AND  
DISTRIBUTED ANTENNA SYSTEMS (DAS)**

**I. PURPOSE**

The purpose of the Small Cell Support Structure and Distributed Antenna Systems application is to provide for a review of the process and a checklist associated with applications for Small Cell Support Structure and Distributed Antenna Systems.

**II APPLICATION AND APPROVAL PROCESS**

Staff shall review all Applications for new Small Cell Support Structures within 30 days of Application filing to determine if an Application is complete. During this time frame, the Staff may request a third party consultant review to verify certain applicable information.

Staff shall issue comments to the Applicant within this 30 day time frame so that the Applicant can address any identified deficiencies. Once staff comments have been addressed the Staff shall notify the Applicant in writing that the Application is complete. As applicable, the Staff or the Planning Commission shall then either approve, approve with conditions, or deny the Application within sixty (60) days of the date the Application is determined to be complete. If the Town does not make a final decision within the required sixty (60) days, the Application shall be deemed to be approved as submitted.

The summary and outline presented here is intended as a general guide and does not represent an inclusive set of details or requirements. Applicants should consult early and informally with the Planning Commission staff for advice and assistance. This will enable the applicant to become thoroughly familiar with the Farragut Zoning Regulations and all other applicable regulations and requirements.

**APPLICATION FOR CONSIDERATION OF SMALL CELL SUPPORT  
STRUCTURES AND DISTRIBUTED ANTENNA SYSTEMS (DAS)  
TOWN OF FARRAGUT, TENNESSEE**

|                                        |
|----------------------------------------|
| FOR OFFICE USE ONLY<br>FEE PAID: _____ |
|----------------------------------------|

APPLICANT NAME: MasTec/AT&T Mobility

Address: 1975 Joe B Jackson Pkwy City/State/Zip: Murfreesboro, TN 37127

Phone Number: 615-648-8087 Fax Number: \_\_\_\_\_

E-Mail Kevin.Youngblood@mastec.com

ALL OWNERS INVOLVED MUST SIGN AND/OR NAMES MUST BE LISTED

| <u>NAME</u> | <u>ADDRESS (Street/City/Zip)</u> | <u>PROPERTY OWNED</u> |
|-------------|----------------------------------|-----------------------|
| _____       | _____                            | _____                 |
| _____       | _____                            | _____                 |
| _____       | _____                            | _____                 |

NAME OF PROFESSIONAL PREPARER: Kevin Youngblood

Address: 1975 Joe B Jackson Pkwy City/State/Zip: Murfreesboro, TN 37127

Phone Number: 615-648-8087 Email: kevin.youngblood@mastec.com

I HEREBY CERTIFY THAT THE ABOVE INFORMATION IS ACCURATE AND COMPLETE AND I AM THE APPLICANT OR THE LEGAL REPRESENTATIVE OF ALL OWNERS AND DEVELOPERS INVOLVED IN THIS REQUEST.

Kevin Youngblood  
NAME (SIGNATURE)

5/17/2019  
DATE

## CERTIFICATION

I hereby certify that the submitted Small Cell Support Structures and Distributed Antenna Systems (DAS) plan includes and addresses all items identified in the application checklist.

1. TNKNX\_700 - 11313 Parkside Dr Unit #ATT, Farragut, Tennessee 37934
2. TNKNX\_713 - 633 Herron Rd. Unit #ATT, Knoxville, Tennessee 37934
3. TNKNX\_768 - 11473 Parkside Dr. Unit #ATT, Knoxville, Tennessee 37934

Name and location of Small Cell Support Structure and Distributed Antenna Systems

Kevin Youngblood

Name of plan preparer (please print)

Kevin Youngblood  
Signature of plan preparer

5/17/2019

Date

# Town of Farragut

## Checklist for Small Cell Support Structures or DAS

Project: TNKNX 713

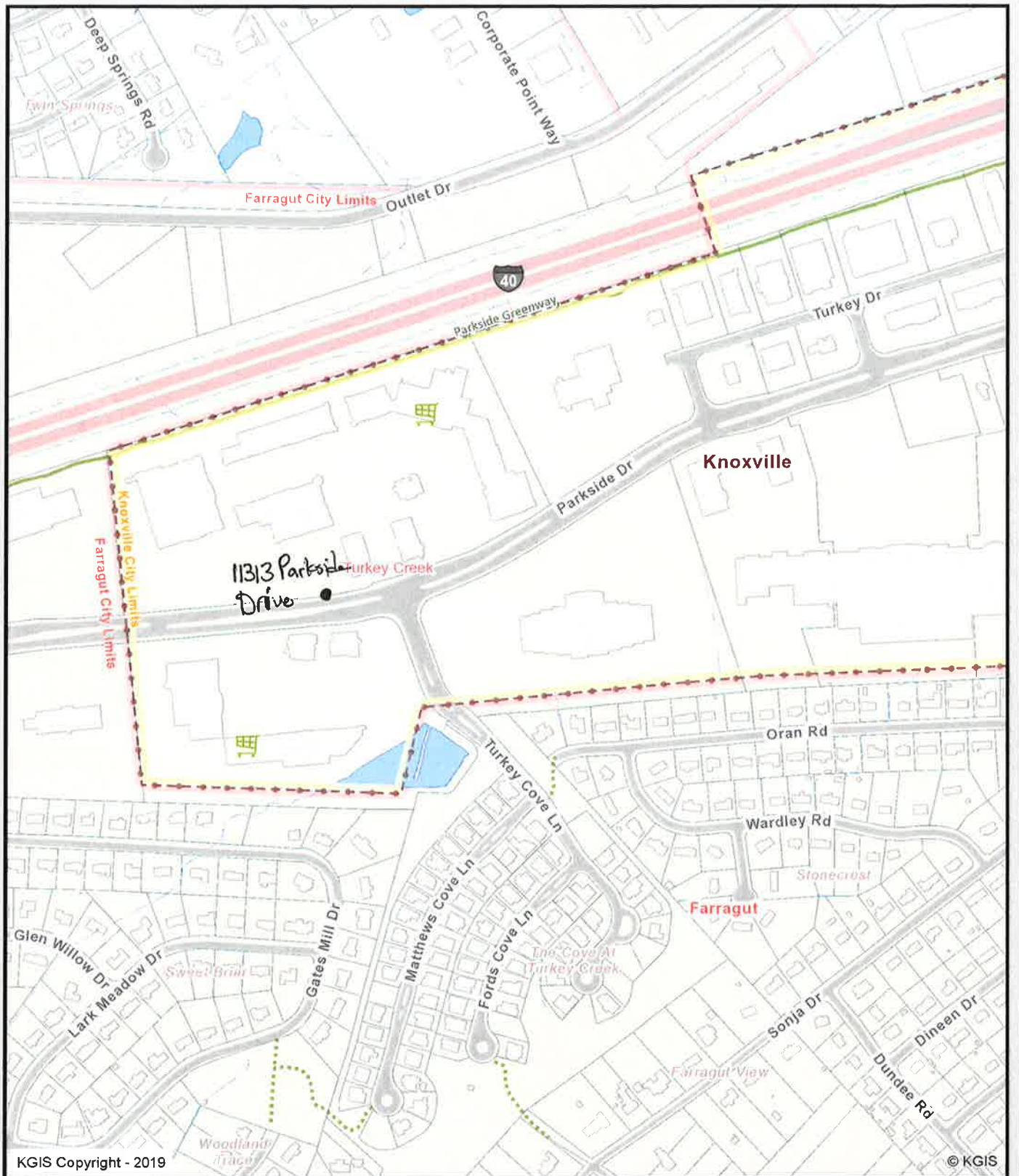
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  | Applicant<br>Yes-No-N/A | Town Staff<br>Verification | Town Staff Comments |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------|----------------------------|---------------------|
| 1. A completed site plan application and filing fee. Applications are limited to three (3) Structures per Application.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           | Yes                     |                            |                     |
| 2. A development site plan, signed and sealed by a professional engineer registered in Tennessee, showing the proposed location of each Small Cell Support Structure and any existing Small Cell Support Structures within five hundred (500) feet of each proposed location. This plan shall specifically identify, for each location, existing Utility Poles within five-hundred (500) feet and their predominant physical characteristics (type, material, height, color, etc.). The plan shall address whether an existing Utility Pole is proposed to be used to accommodate a Small Cell Support Structure or whether a new Monopole is being requested. The plan shall also address if an existing Utility Pole is being replaced in order to accommodate a Small Cell Support Structure. | Yes                     |                            |                     |
| 3. A map and plan for how fiber optics are being extended to the Small Cell Support Structure/DAS and, where applicable, the Non-Tower Wireless Communications Facility. Fiber optics shall be placed underground in areas with primarily underground utilities and an additional Right of Way Permit from the Town shall be obtained for any work conducted within the Right of Way. Any fiber optics proposed outside the Right of Way or not within existing platted utility easements shall require an easement to be platted and presented to the Staff and the Planning Commission for approval.                                                                                                                                                                                           | No                      |                            | Need                |
| 4. For Non-Tower Wireless Communications Facilities proposed on buildings or other structures that are not within the Right of Way, the development site plan shall include the proposed Small Cell Support Structures, their physical characteristics, and Stealth Technology applications that would be proposed based on the proposed location and context.                                                                                                                                                                                                                                                                                                                                                                                                                                   | NA                      |                            |                     |

Project: TNKNX 713

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                | Applicant<br>Yes-No-N/A | Town Staff<br>Verification | Town Staff Comments |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------|----------------------------|---------------------|
| 5. An indication of existing improvements, such as pedestrian facilities, accesses, landscaping, and Underground Utilities, that are within twenty-five (25) feet of the proposed Small Cell Support Structure(s) and any other information that may be pertinent to or impact the decision on where to place the structure and its related equipment.                                                                                                                                                                                                                                         | Yes                     |                            |                     |
| 6. A map and other documentation which demonstrates the coverage area for each proposed Small Cell Support Structure. This shall include a statement of the telecommunications objective(s) for each proposed Small Cell Support Structure location, whether the proposed facility is necessary to prevent or fill a gap or capacity shortfall in the Applicant or provider's service area, whether it is the least obtrusive means of doing so, and whether there are any alternative sites or other applications that would have fewer aesthetic impacts while providing comparable service. | No                      |                            |                     |
| 7. A statement by an authorized representative that the Applicant or provider holds all applicable licenses or other approvals required by the FCC, and any other agency of state or federal government with authority to regulate telecommunications facilities that are required in order for the Applicant to construct the proposed facility.                                                                                                                                                                                                                                              | Yes                     |                            |                     |
| 8. A statement by an authorized representative that the Applicant or provider is in compliance with all conditions required for such license and approvals.                                                                                                                                                                                                                                                                                                                                                                                                                                    | Yes                     |                            |                     |
| 9. A full description of the number and dimensions of all Small Cell Support Structures to be installed including, but not limited to, all underground structures, antennae, the height of above ground structures and any equipment cabinets or buildings associated with the installation.                                                                                                                                                                                                                                                                                                   | Yes                     |                            |                     |
| 10. Where structures are permitted above ground, a vertical profile sketch or drawing of the structures, signed and sealed by a professional engineer registered in Tennessee, indicating the height of the structure and the placement and physical dimensions of all antenna and                                                                                                                                                                                                                                                                                                             | Yes                     |                            |                     |

Project: TNKNX\_713

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      | Applicant<br>Yes-No-N/A | Town Staff<br>Verification | Town Staff Comments |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------|----------------------------|---------------------|
| equipment enclosures.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |                         |                            |                     |
| <b>11.</b> For Non-Tower Wireless Communications Facilities to be mounted on existing Utility Poles or replacement Utility Poles, the profile sketch shall be provided to verify compliance with the height parameters provided for in this Ordinance.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               | Yes                     |                            |                     |
| <b>12.</b> Written approval from the property owner(s) stating that the applicant or provider has permission to apply to construct a facility on their property (e.g. on an existing building with a Non-Tower Wireless Communication Facility in the form of a Small Cell Support Structure). In the case of non-Town owned Utility Poles, the utility provider shall acknowledge permission for the Applicant to apply to use their Pole(s) for Small Cell Support Structures. Monopoles within the Right-of-Way or proposed on Town-owned Utility Poles shall be considered by the Staff and Planning Commission, as representatives of the Town, as part of the Application review. Final approval to use Town-owned property for Small Cell Support Structures shall be acknowledged in writing by the duly-authorized representative of the Town. A lease agreement or a franchise agreement with the Town will typically be required as a condition of Staff or Planning Commission approval. | NA                      |                            |                     |
| <b>13.</b> Photographs of view shed from each proposed Small Cell Support Structure location taken in at least four directions.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      | No<br>3 directions      |                            |                     |

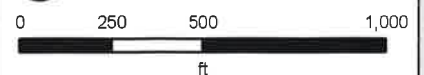


## Letter Portrait

### Knoxville - Knox County - KUB Geographic Information System



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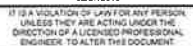
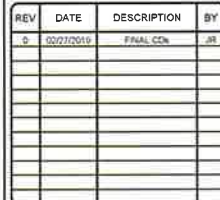


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633 HERRON RD  
FARRAGUT, TN 37934

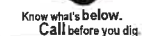
# TOWN OF FARRAGUT



**T-1**

THE FACILITY IS NOT FOR HUMAN HABITATION. A TECHNICIAN WILL VISIT THE SITE AS REQUIRED FOR ROUTINE MAINTENANCE. THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT DISTURBANCE OR EFFECT ON DRAINAGE. NO SANITARY SEWER SERVICE, POTABLE WATER OR TRASH DISPOSAL IS REQUIRED AND NO COMMERCIAL SIGNAGE IS NEW. THE SITE LOCATION IS SUBJECT TO MOVING UP TO 10' FROM PROPOSED LOCATION AS NEEDED TO KEEP WITHIN PUBLIC ROW, AVOID EXISTING UTILITY LINES AND AVOID LINE-OF-SIGHT OBSTRUCTIONS WITH BOTH FOOT AND AUTOMOTIVE TRAFFIC. CONTRACTOR SHALL NOTIFY ENGINEER OF RECORD PRIOR TO ANY CHANGES.

CONTRACTOR SHALL VERIFY ALL PLANS & EXISTING DIMENSIONS & CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE ARCHITECT OR ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME



MAY 23 2019

TOWN OF FARRAGUT

## GENERAL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SURVEY MONUMENTS AND/OR VERTICAL CONTROL BENCHMARKS WHICH ARE DISTURBED OR DAMAGED BY CONSTRUCTION. A LAND SURVEYOR MUST FIELD LOCATE, REFERENCE, AND/OR PRESERVE ALL HISTORICAL OR CONTROLLING MONUMENTS PRIOR TO ANY EARTHWORK. IF DAMAGED, SUCH MONUMENTS SHALL BE REPLACED WITH APPROPRIATE MONUMENTS BY A LAND SURVEYOR, A CORNER RECORD OR RECORD OF SURVEY, AS APPROPRIATE, SHALL BE FILED AS REQUIRED BY THE PROFESSIONAL LAND SURVEYORS ACT.
2. IMPORTANT NOTICE: CONTRACTOR SHALL CALL LOCAL UNDERGROUND LOCATE SERVICE THREE WORKING DAYS BEFORE ANY CONSTRUCTION.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES WITHIN PROPOSED EXCAVATIONS AND MUST MAINTAIN MINIMUM VERTICAL AND HORIZONTAL CLEARANCES AS CALLED FOR BY LOCAL CODES AND/OR ORDINANCES.
4. CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ANY EXISTING STRUCTURES OR LANDSCAPING DAMAGED DURING CONSTRUCTION.
5. CONTRACTOR SHALL REPLACE OR REPAIR ALL TRAFFIC SIGNAL LOOPS, CONDUIT, AND LANE STRIPING DAMAGED DURING CONSTRUCTION.
6. THIS PROJECT WILL BE INSPECTED BY ENGINEERING AND FIELD ENGINEERING DIVISION.
7. ANY MANHOLES OR COVERS INSTALLED AS PART OF THIS PROJECT SHALL BE LABELED COMMUNICATIONS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTATION OF AN EROSION CONTROL PLAN WHICH MEETS ALL APPLICABLE REQUIREMENTS OF STATE AND LOCAL AGENCIES HAVING JURISDICTION.
9. THE CONTRACTOR SHALL MAINTAIN MATERIALS AND EQUIPMENT ON SITE FOR UNFORESEEN SITUATIONS INCLUDING DAMAGE TO UNDERGROUND WATER, SEWER, AND STORM DRAIN FACILITIES WHICH COULD GENERATE FLOWS ABLE TO CAUSE EROSION AND SEDIMENT POLLUTION.

## SPECIAL NOTES

1. INDEMNIFICATION CLAUSE: THE CONTRACTOR AGREES AND SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY OF THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTIES. THESE REQUIREMENTS SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND CONDITIONS. THE CONTRACTOR FURTHER AGREES TO DEFEND INDEMNITY AND HOLD OWNER, REPRESENTATIVES, AND ENGINEERS HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF THE WORK ON THIS PROJECT.
2. PRIOR TO START OF CONSTRUCTION AND THROUGH PROJECT COMPLETION, THE CONTRACTOR SHALL REMAIN IN FULL COMPLIANCE WITH CURRENT FEDERAL, STATE, AND LOCAL OCCUPATIONAL HEALTH AND SAFETY REGULATIONS.
3. ALL WORK SHALL CONFORM TO THE LATEST STANDARD "SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION" AS ADOPTED BY THE CITY, COUNTY OR STATE AND AS MODIFIED BY STANDARD PLANS AND ADDENDUMS.
4. ALL UTILITIES AND OTHER FACILITIES DEPICTED ON THE PLANS ARE BASED ON A SEARCH OF AVAILABLE RECORDS AND FIELD OBSERVATIONS. THE CONTRACTOR SHALL VERIFY PRIOR TO CONSTRUCTION START AND USE EXTREME CARE AND PROTECTIVE MEASURES TO AVOID DAMAGE TO ANY FACILITIES WHETHER OR NOT INDICATED ON THESE PLANS. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL FACILITIES WITHIN THE LIMITS OF WORK, WHETHER OR NOT DEPICTED ON THESE PLANS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFICATION OF ANY CITY, COUNTY OR STATE ENGINEER INSPECTION DEPARTMENT A MINIMUM TWO DAYS PRIOR TO COMMENCEMENT OF ACTIVITY REQUIRING THEIR INVOLVEMENT.
6. THE EXPIRATION OF THE PERMIT FOR THIS PROJECT SHALL BE SPECIFIED BY THE LOCAL AUTHORITY HAVING JURISDICTION.
7. ALL UNDERGROUND CONDUITS PLACED AS PART OF THIS PROJECT MUST HAVE A MINIMUM COVER OF 48 INCHES UNLESS OTHERWISE APPROVED.
8. THE CONTRACTOR SHALL TUNNEL ALL CURB AND GUTTERS AND BORE ALL CONCRETE DRIVEWAYS AND WALKWAYS AT THE DIRECTION OF THE CITY, COUNTY OR STATE ENGINEER HAVING JURISDICTION.
9. ALL PAVEMENT CUT OR DAMAGED AS PART OF THIS PROJECT SHALL BE REPLACED AT THE DIRECTION OF THE CITY, COUNTY OR STATE ENGINEER HAVING JURISDICTION.
10. ALL SHRUBS, PLANTS OR TREES DAMAGED OR DISTURBED DURING THE COURSE OF THE WORK SHALL BE REPLANTED AND/OR REPLACED SO AS TO RESTORE THE WORK SITE TO ITS ORIGINAL CONDITION.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROCESSING OF ALL APPLICANT PERMIT FORMS ALONG WITH REQUIRED LIABILITY INSURANCE FORMS CLEARLY DEMONSTRATING OWNER, OWNER REPRESENTATIVES, ENGINEER, AND CITY, COUNTY OR STATE ARE ALSO INSURED WITH THE REQUIRED LIABILITY INSURANCE FOR THIS CONSTRUCTION PROJECT.
12. ALL SUBSURFACE STRUCTURES INCLUDING BUT NOT LIMITED TO VAULTS, PEDESTALS, AND CONDUITS SHALL BE AS SPECIFIED IN THESE PLANS OR AS SPECIFIED BY THE ENGINEER. ANY DEVIATIONS SHALL BE APPROVED BY THE ENGINEER IN WRITING PRIOR TO INSTALLATION.
13. THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL EXISTING UTILITIES, INCLUDING BUT NOT LIMITED TO SEWER, LATERALS AND WATER SERVICES, BOTH VERTICAL AND HORIZONTAL, PRIOR TO COMMENCING IMPROVEMENT OPERATIONS.
14. THE CONTRACTOR IS RESPONSIBLE FOR COMPLETION OF EXPLORATION EXCAVATIONS CONDUCTED FOR THE PURPOSE OF LOCATING EXISTING FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO PLANS AS REQUIRED.
15. LOCATIONS OF EXISTING UTILITIES ON THESE PLANS ARE BASED UPON EXISTING RECORDS VERIFIED WHERE POSSIBLE WITH FIELD TIES. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF LOCATIONS SHOWN, BOTH HORIZONTAL AND VERTICALLY. PRIOR TO CONSTRUCTION, SUBSTANTIAL VARIANCES FROM THE PLANS SHALL BE COMMUNICATED TO THE ENGINEER TO FACILITATE CHANGES TO CONSTRUCTION DRAWINGS AS REQUIRED.

## EROSION AND SEDIMENT CONTROL NOTES

TEMPORARY EROSION/SEDIMENT CONTROL PRIOR TO COMPLETION OF FINAL IMPROVEMENTS SHALL BE INSTALLED BY CONTRACTOR OR QUALIFIED PERSON AS INDICATED BELOW:

1. ALL REQUIREMENTS OF THE CITY, COUNTY AND STATE "STORM WATER STANDARDS" MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING/IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP), WATER QUALITY TECHNICAL REPORT (WQTR), AND/OR WATER POLLUTION CONTROL PLAN (WPCP).
2. A GRAVEL BAG SILT BASIN SHALL BE INSTALLED IMMEDIATELY UPSTREAM OF STORM DRAIN INLETS AS INDICATED ON DETAILS.
3. FOR INLETS LOCATED AT SUMPS ADJACENT TO TOP OF SLOPES, THE CONTRACTOR SHALL INSURE WATER DRAINING TO THE SUMP IS DIRECTED INTO THE INLET AND A MINIMUM OF 1'00" FREEBOARD EXISTS AND IS MAINTAINED ABOVE THE TOP OF THE INLET. IF FREEBOARD IS NOT PROVIDED BY GRADING SHOWN ON THESE PLANS, THE CONTRACTOR SHALL PROVIDE IT VIA TEMPORARY MEASURES, I.E. GRAVEL BAGS OR DIKES.
4. THE CONTRACTOR OR QUALIFIED PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF SILT AND MUD ON ADJACENT STREET(S) AND STORM DRAIN SYSTEM DUE TO CONSTRUCTION ACTIVITY.
5. THE CONTRACTOR OR QUALIFIED PERSON SHALL CHECK AND MAINTAIN ALL LINED AND UNLINED DITCHES AFTER EACH RAINFALL.
6. THE CONTRACTOR SHALL REMOVE SILT AND DEBRIS AFTER EACH MAJOR RAINFALL.
7. THE CONTRACTOR SHALL MAINTAIN EQUIPMENT AND WORKERS FOR EMERGENCY WORK AT ALL TIMES DURING THE RAINY SEASON. MATERIALS NECESSARY FOR EMERGENCY MEASURES SHALL BE STOCKPILED ON SITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.
8. THE CONTRACTOR IS RESPONSIBLE FOR RESTORING ALL EROSION/SEDIMENT CONTROL DEVICES TO WORKING ORDER TO THE SATISFACTION OF THE CITY/COUNTY/STATE ENGINEER OR RESIDENT ENGINEER FOLLOWING ANY RUN-OFF PRODUCING RAINFALL.
9. THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION/SEDIMENT CONTROL MEASURES AS REQUIRED BY THE RESIDENT ENGINEER DUE TO UNCOMPLETED GRADING OPERATIONS OR UNFORESEEN CIRCUMSTANCES.
10. THE CONTRACTOR SHALL BE RESPONSIBLE AND TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ON TO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.
11. ALL EROSION/SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED GRADING PLAN SHALL BE INCORPORATED HEREON. ALL EROSION/SEDIMENT CONTROL FOR INTERIM CONDITIONS SHALL BE DONE TO THE SATISFACTION OF THE RESIDENT ENGINEER.
12. UPON COMPLETION OF WORK EACH DAY, GRADED AREAS AROUND THE PROJECT PERIMETER MUST DRAIN AWAY FROM THE FACE OF THE SLOPE.
13. ALL REMOVABLE PROTECTIVE DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN RAIN IS IMMINENT.
14. GRADING, INCLUDING CLEARING AND GRUBBING SHALL ONLY BE CONDUCTED IN AREAS WHERE THE CONTRACTOR OR QUALIFIED PERSON CAN PROVIDE EROSION/SEDIMENT CONTROL MEASURES.

## ROW GROUND CONSTRUCTION NOTES:

1. THE CONTRACTOR SHALL REMOVE/CLEAN ALL DEBRIS, NAILS, STAPLES, OR NON-USED VERTICALS OFF THE POLE.
  2. ALL WORK SHALL BE IN ACCORDANCE WITH MUNICIPAL, COUNTY, STATE, AND FEDERAL STANDARDS AND REGULATIONS.
  3. THE CONTRACTOR SHALL CALL LOCAL UNDERGROUND LOCATE SERVICE THREE WORKING DAYS BEFORE ANY CONSTRUCTION IS STARTED.
  4. ALL EXISTING LANDSCAPING SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION.
  5. ALL EQUIPMENT SHALL BE BONDED.
  6. IF A METERING CABINET IS INSTALLED, A MINIMUM 3' CLEARANCE IS REQUIRED AT DOOR OPENING.
  7. IF A METERING CABINET IS INSTALLED, THE CONTRACTOR SHALL CAULK THE CABINET BASE AT THE PAD.
- STANDARD GROUNDING NOTES:
1. GROUND SHALL BE TESTED AT 25 OHMS OR LESS.
  2. GROUND RODS SHALL BE 5/8"x8', ATTACHMENT TO GROUND RODS SHALL BE EXOTHERMIC WELD OR UL LISTED DIRECT BURY CLAMP BELOW GRADE.
  3. BURIED GROUND AND BONDING WIRE SHALL BE #6 AWG.
  4. MOLDING SHALL BE STAPLED EVERY 1' AND AT EACH END.
- STANDARD CONDUIT NOTES:
1. SCHEDULE 40 CONDUIT SHALL BE USED UNDERGROUND.
  2. SCHEDULE 80 CONDUIT SHALL BE USED FOR RISERS.
  3. RISERS SHALL BE ATTACHED TO POLE WITH STANDARD U-CLAMPS AND LAG SCREWS.
  4. RISER U-CLAMPS TO BE INSTALLED EVERY 5'.
  5. FOR UG POWER INSTALLATIONS, 2" SDR-11 RED CONDUIT SHALL BE UTILIZED.
  6. GROUND WIRE MOLDING STAPLES MAY BE UTILIZED FOR ATTACHING CONDUIT LESS THAN 1" DIAMETER.
  7. ALL CONDUIT SHALL BE PROOFED WITH A MANDREL AND EQUIPPED WITH A PULL ROPE OR MULE TAPE.
- STANDARD TRENCHING NOTES:
1. A MINIMUM OF 2'-0" OF COVER SHALL BE MAINTAINED OVER ALL ELECTRICAL CONDUITS.
  2. A MINIMUM OF 4'-0" OF COVER SHALL BE MAINTAINED OVER ALL COMMUNICATIONS CONDUITS.
  3. IN STREETS, SLURRY TO GRADE AND MILL DOWN 1'-1/2" FOR AC CAP.
  4. IN DIRT, SLURRY TO 18" FROM GRADE AND FILL WITH 95% COMPACTION NATIVE SOIL FOR BALANCE.
  5. WARNING TAPE SHALL BE INSTALLED 1'-0" ABOVE ALL CONDUITS, #18 WARNING TAPE SHALL BE INSTALLED ABOVE GROUND RING.

## ROW UTILITY POLE CONSTRUCTION NOTES:

1. BOLT THREADS SHALL NOT PROTRUDE MORE THAN 1-1/2".
2. HOLES LEFT IN POLE DUE TO REARRANGEMENT OF CLIMBERS SHALL BE FILLED.
3. CLIMB STEPS ADJACENT TO CONDUIT SHALL HAVE EXTENDED STEPS.
4. CABLE SHALL NOT IMPEDE 15' CLEAR SPACE OFF POLE FACE (12'00').
5. 90° SHORT SWEEPS SHALL BE USED UNDER ANTENNA ARM. CABLES MUST TRANSITION ON THE INSIDE OR BOTTOM OF ARMS. (NO CABLE SHALL BE INSTALLED ON TOP OF ARMS.)
6. CABLE CLAMPS SHALL BE UTILIZED TO SECURE CABLE TO ARMS; 2" CARRIER CABLE ID TAGS SHALL BE PLACED ON BOTH SIDES OF ARMS.
7. UTILIZE A 90° CONNECTOR AT CABLE CONNECTION TO ANTENNA.
8. 1/2" CABLE TO BE UTILIZED UNLESS NOTED OTHERWISE.
9. VOIDS AROUND CABLES AT CONDUIT OPENINGS SHALL BE FILLED WITH FOAM SEALANT TO PREVENT WATER INTRUSION.



MasTec



DRAWN BY: JR  
DATE: 02/27/2019

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NODE ID: TNKNX\_713  
633 HERRON RD  
FARRAGUT, TN 37934  
KNOX COUNTY

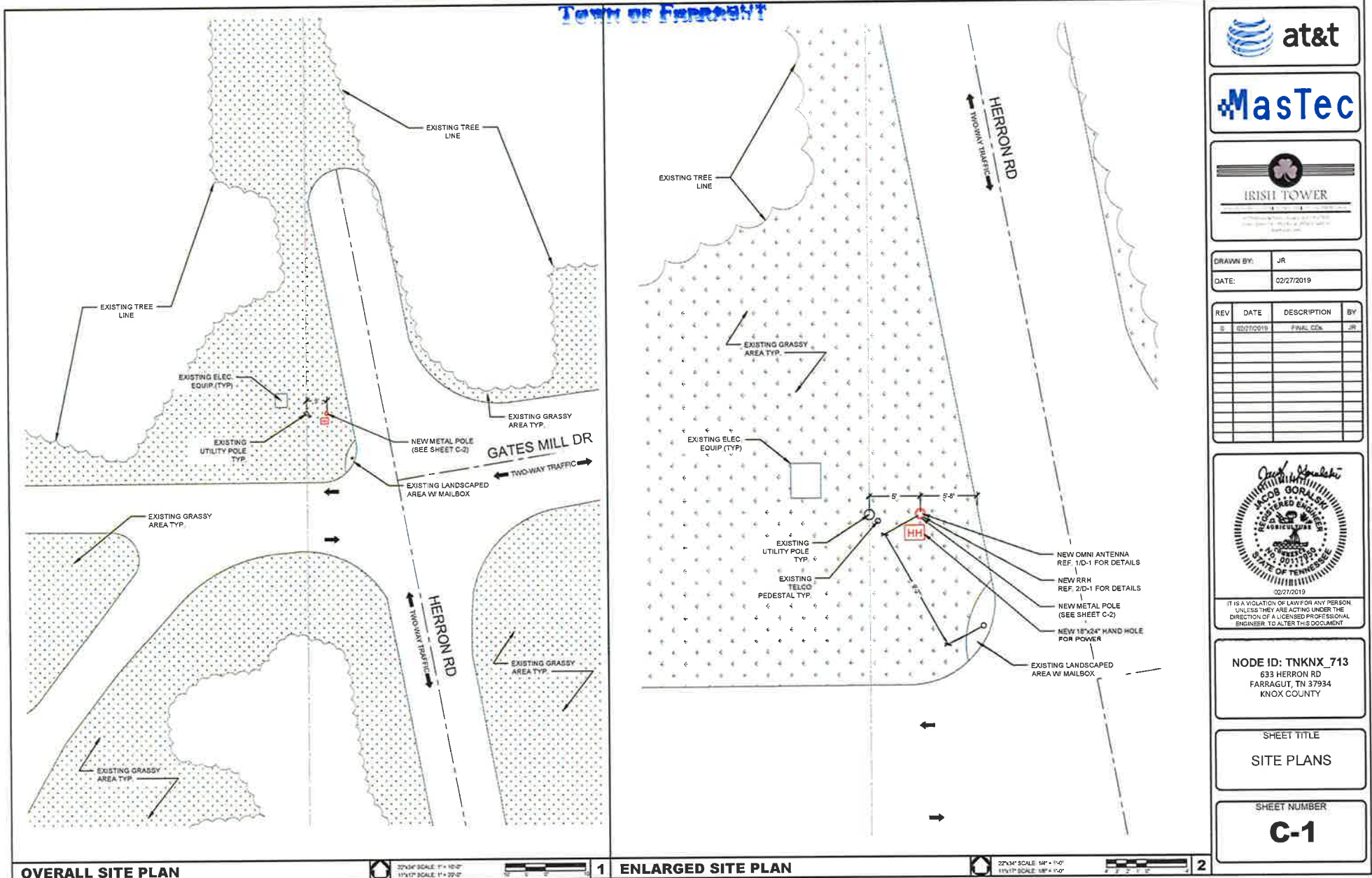
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SHEET NUMBER  
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RECEIVED

MAY 23 2019

Town of Farragut



# RECEIVED

MAY 23 2019

TOWN OF FARRAGUT



EXISTING SITE STRUCTURE

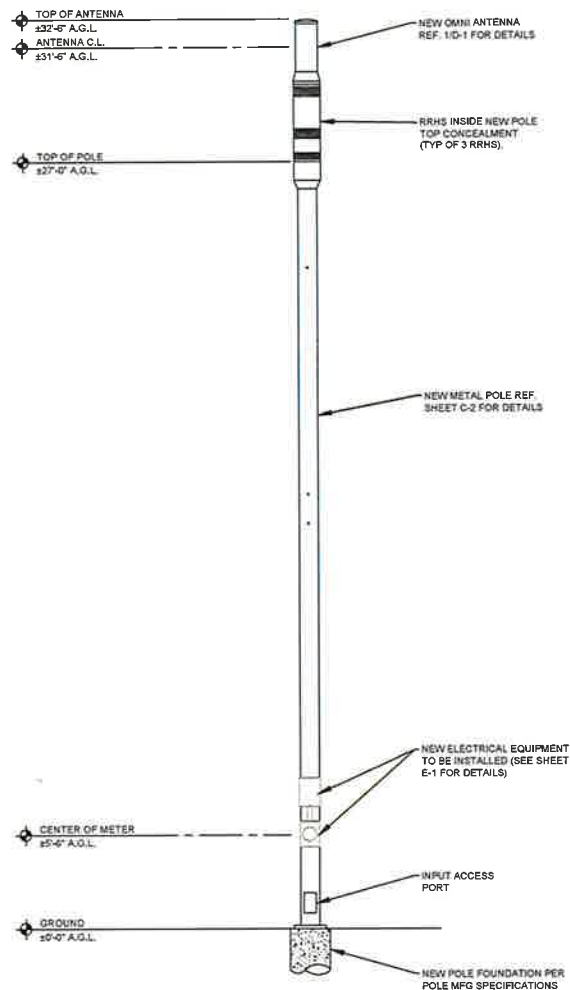
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PROPOSED SITE STRUCTURE

2

NEW STRUCTURE ELEVATION



NOTE:  
1. POLE AND EQUIPMENT TO MATCH EXISTING DECORATIVE STRUCTURE COLOR AND REQUIREMENTS.  
2. ALL RF EQUIPMENT CONCEALED WITHIN STRUCTURE.

STRUCTURAL NOTE:  
1. PROJECT OWNER IS RESPONSIBLE FOR PROVIDING A GLOBAL/LOCAL STRUCTURAL ANALYSIS OF EQUIPMENT ANCHORS, SUPPORTS AND DESIGN/DETAILING OF ANY STRUCTURAL MODIFICATIONS/REINFORCEMENT REQUIRED THEREOF.

2. THIS DOCUMENT IS FOR PERMITTING ONLY AND IS NOT INTENDED FOR CONSTRUCTION UNLESS ACCOMPANIED BY A PE STAMPED/SIGNED STRUCTURAL ASSESSMENT/ANALYSIS REPORT AS PROVIDED BY THE PROJECT OWNER.

NOTE:  
REFER TO STRUCTURAL ANALYSIS REPORT (SEPARATE DOCUMENT) FOR ADDITIONAL STRUCTURAL INFORMATION.



DRAWN BY: JR  
DATE: 02/27/2019

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IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

NODE ID: TNKNX\_713  
633 HERRON RD  
FARRAGUT, TN 37934  
KNOX COUNTY

SHEET TITLE  
STRUCTURE AND  
ELEVATION DETAILS

SHEET NUMBER  
**C-2**

20'x40' SCALE: 3/4" = 1'-0"  
11'x17' SCALE: 3/8" = 1'-0"

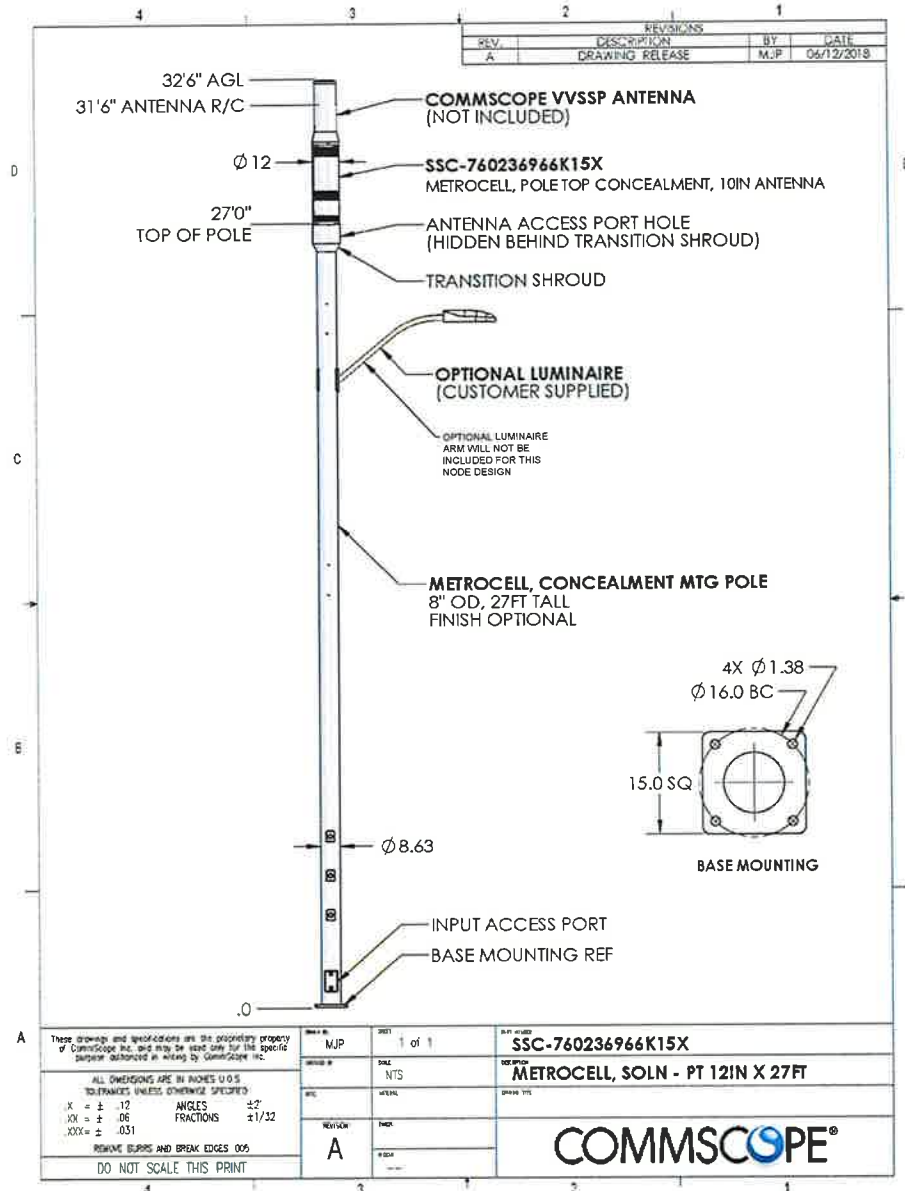


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# RECEIVED

MAY 23 2019

TOWN OF FARRAGUT



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NODE ID: TNKNX\_713  
633 HERRON RD  
FARRAGUT, TN 37934  
KNOX COUNTY

SHEET TITLE  
STRUCTURE  
DETAILS

SHEET NUMBER  
**C-3**

PROPOSED SITE STRUCTURE

# RECEIVED

MAY 23 2019

## WVSP-360S-F TOWN OF FARRAGUT COMMSCOPE®



10-port small cell antenna, 4x 1695-2690, 4x 3400-3800 and 2x 5150-5925 MHz, 360° Horizontal Beamwidth, fixed tilt.

### Electrical Specifications

| Frequency Band, MHz                  | 1695-1920 | 1920-2180 | 2300-2690 | 3400-3800 | 5150-5925 |
|--------------------------------------|-----------|-----------|-----------|-----------|-----------|
| Gain, dBi                            | 9.3       | 10.3      | 10.6      | 8.5       | 5.1       |
| Beamwidth, Horizontal, degrees       | 360       | 360       | 360       | 360       | 360       |
| Beamwidth, Vertical, degrees         | 21.9      | 19.1      | 15.6      | 39.0      | 22.4      |
| Beam Tilt, degrees                   | 7         | 7         | 7         | 0         | 0         |
| USLS (First Lobe), dB                | 14        | 14        | 12        | 19        | 9         |
| Isolation, dB                        | 25        | 25        | 25        | 25        | 25        |
| Isolation, Intersystem, dB           | 28        | 28        | 28        | 25        | 28        |
| VSWR, Return Loss, dB                | 15   14.0 | 15   14.0 | 15   14.0 | 15   14.0 | 15   14.0 |
| PIM, 3rd Order, 2 x 20 W, dBc        | -153      | -153      | -150      |           |           |
| Input Power per Port, maximum, watts | 125       | 125       | 125       | 50        | 10        |
| Polarization                         | ±45°      | ±45°      | ±45°      | ±45°      | ±45°      |
| Impedance                            | 50 ohm    | 50 ohm    | 50 ohm    | 50 ohm    | 50 ohm    |

### Electrical Specifications, BASTA\*

| Frequency Band, MHz                    | 1695-1920 | 1920-2180 | 2300-2690 | 3400-3800 | 5150-5925 |
|----------------------------------------|-----------|-----------|-----------|-----------|-----------|
| Gain by all Beam Tilts, average, dBi   | 8.8       | 9.9       | 10.2      | 7.8       | 4.4       |
| Gain by all Beam Tilts Tolerance, dB   | ±0.8      | ±0.7      | ±0.6      | ±0.6      | ±1.1      |
| Beamwidth, Vertical Tolerance, degrees | ±2        | ±2.3      | ±1.5      | ±5.7      | ±6.5      |

\* Commscope® supports NARX recommendations on Base Station Antenna Standards (BASTA). To learn more about the benefits of BASTA, download the [substation Time to Save the RAN on BASTA](#).

### General Specifications

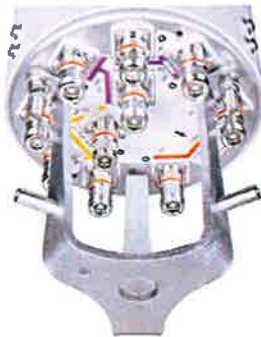
|                          |                                                     |
|--------------------------|-----------------------------------------------------|
| Operating Frequency Band | 1695 - 2690 MHz   3400 - 3800 MHz   5150 - 5925 MHz |
| Antenna Type             | Small Cell                                          |
| Band                     | Multiband                                           |
| Performance Note         | Outdoor usage                                       |

### Mechanical Specifications

|                                  |                                                                                  |
|----------------------------------|----------------------------------------------------------------------------------|
| RF Connector Quantity, total     | 10                                                                               |
| RF Connector Quantity, high band | 10                                                                               |
| RF Connector Interface           | 4.3-10 Female                                                                    |
| Grounding Type                   | RF connector inner conductor and body grounded to reflector and mounting bracket |
| Radiator Material                | Low loss circuit board                                                           |
| Radiation Material               | Fiberglass, UV resistant                                                         |
| Reflector Material               | Aluminum                                                                         |
| RF Connector Location            | Bottom                                                                           |
| Wind Loading, frontal            | 90.2 N @ 150 km/h<br>20.2 lbf @ 150 km/h                                         |
| Wind Speed, maximum              | 242 km/h   150 mph                                                               |

|                                  |                    |
|----------------------------------|--------------------|
| Dimensions                       |                    |
| Length                           | 606.3 mm   23.8 in |
| Outer Diameter                   | 226.3 mm   8.9 in  |
| Net Weight, without mounting kit | 7.9 kg   17.4 lb   |

|                   |                    |
|-------------------|--------------------|
| Packed Dimensions |                    |
| Length            | 850.0 mm   33.5 in |
| Width             | 320.0 mm   12.6 in |
| Depth             | 200.0 mm   7.9 in  |
| Shipping Weight   | 9.6 kg   21.2 lb   |



### ANTENNA DETAILS

On the right side, you see a picture of the Radio 2203 mounted on a trip pole. The picture below shows the back part of the Radio 2203, the support system in which the wall mount and pole mount are integrated.



### Technical Specifications Radio 2203

#### FREQUENCY BANDS

Bands: 3GPP Bands B1 (W/L), B3 (L), B3C (W/L), B6 (W/L), B66A (W/L), B5 (W/L), B2/B25 (W/L), B12 (L), B13 (L) and B7 (L)

#### HW CAPACITY

Carrier capacity WCDMA: Up to 4 carriers  
Carrier capacity LTE: Up to 40 MHz  
ISW: B1, B3 and B66A 45 MHz, B2/B25 and B7 40 MHz, B3C, B5, B5, B12 and B13 Full band

#### MIMO

Yes, 2T2R  
Output power: Up to 2 x 5 W

#### INTERFACE SPECIFICATIONS

Antenna Ports: 2 x 4.3-10 (f)  
CPR: 2 x 2.5/5/10 Gbps (exchangeable SFP modules)  
Optical indicators: 6  
External alarms: 2  
Field ground: 1

#### MECHANICAL SPECIFICATIONS

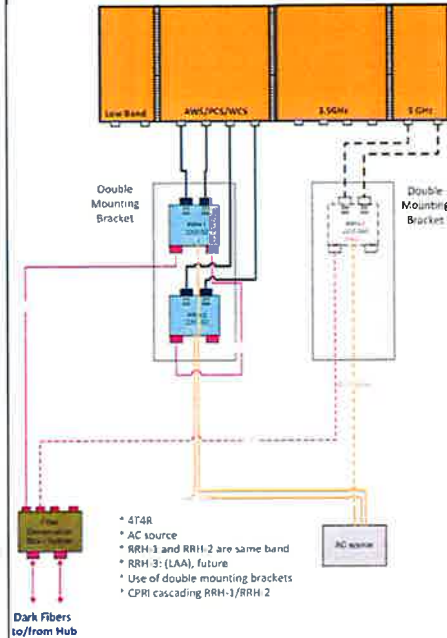
W x H x D: 200 mm x 200 mm x 100 mm, including mounting bracket and esthetic front cover  
Weight: ~4.6 kg  
Volume: 4 l  
Mounting: Wall and pole mount

#### ELECTRICAL SPECIFICATIONS

Power Supply: -48 VDC or 100 - 250 VAC

#### ENVIRONMENTAL SPECIFICATIONS

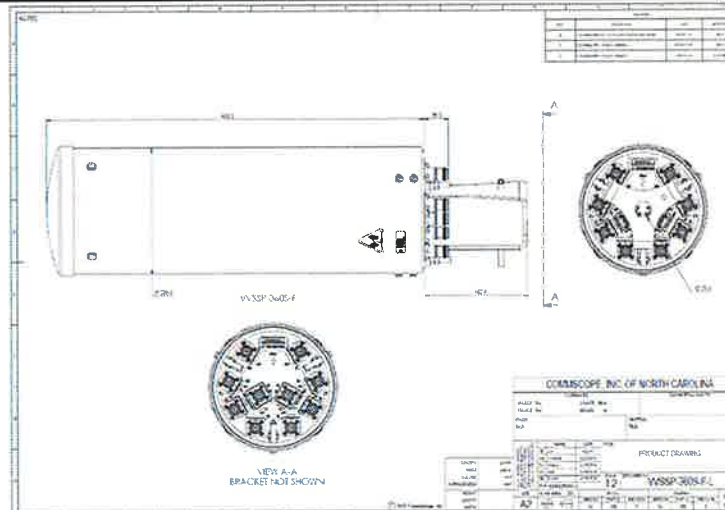
Normal operating temp: -40 °C to +55 °C (cold start at -40 °C)  
Relative Humidity: 5 - 100%  
Environment: Outdoor class with IP65



### RADIO DETAILS

### 2 RF DIAGRAM

### 3



DRAWN BY: JR  
DATE: 02/27/2019

| REV | DATE       | DESCRIPTION | BY |
|-----|------------|-------------|----|
| 0   | 02/27/2019 | FINAL CDN   | JR |



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NODE ID: TNKNX\_713  
633 HERRON RD  
FARRAGUT, TN 37944  
KNOX COUNTY

SHEET TITLE  
RF DETAILS

SHEET NUMBER  
**D-1**

### 1 ANTENNA DETAILS

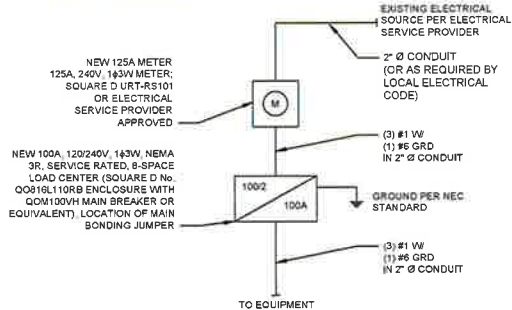
### 4

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TOWN OF FARRAGUT

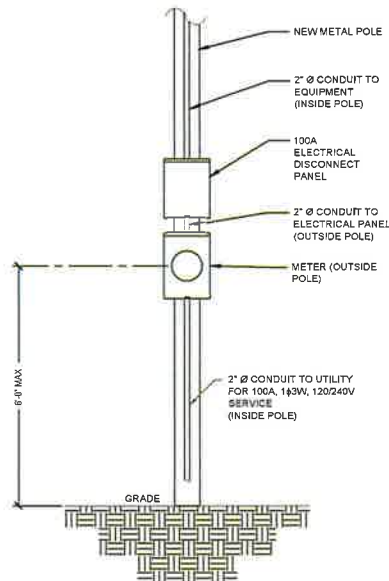
NOTE:  
ONE LINE DIAGRAM SHOWS  
ELECTRICAL REQUIREMENTS  
PER NEC CODE. SERVING  
ELECTRIC UTILITY MAY IMPOSE  
ADDITIONAL REQUIREMENTS.  
COORDINATE WITH UTILITY.



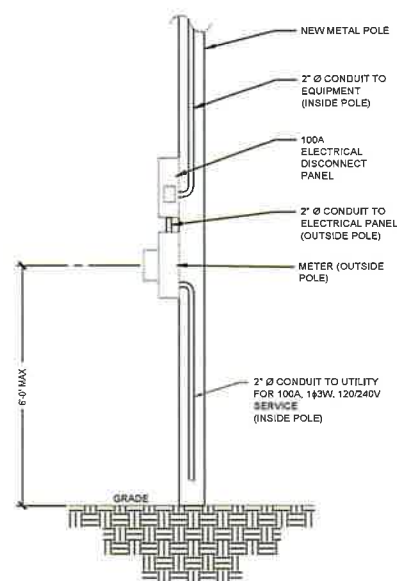
ONE LINE DIAGRAM

1 NOT USED

2

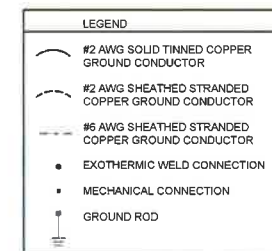
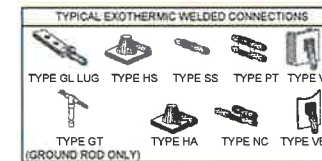
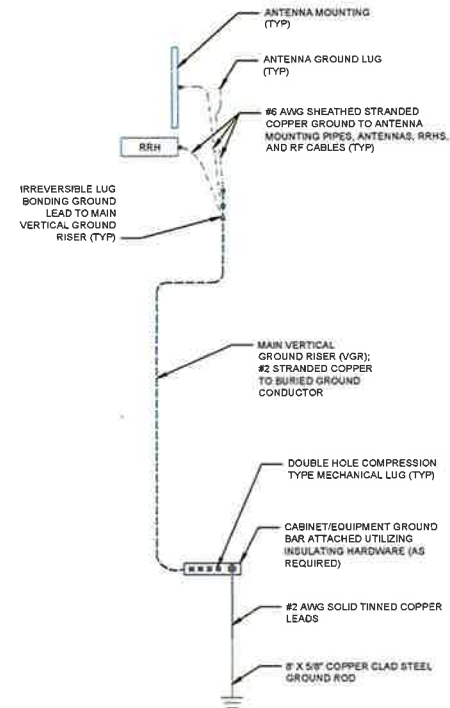


METER & CONDUIT DETAIL



3

GROUNDING PLAN



DRAWN BY: JR  
DATE: 02/27/2019

| REV | DATE       | DESCRIPTION | BY |
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| 0   | 02/27/2019 | FINAL CON   | JR |
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IT IS A VIOLATION OF THE PROFESSIONAL ENGINEER ACT, CHAPTER 55, OF THE TENNESSEE CODE, TO ALTER THIS DOCUMENT.

NODE ID: TNKNX\_713  
633 HERRON RD  
FARRAGUT, TN 37934  
KNOX COUNTY

SHEET TITLE  
ELECTRICAL &  
GROUNDING  
DETAILS

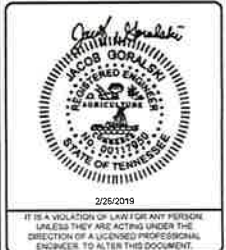
SHEET NUMBER  
**E-1**

4



11473 PARKSIDE DR  
FARRAGUT, TN 37934

## Town of Fiddletown



T-1

THE FACILITY IS NOT FOR HUMAN HABITATION. A TECHNICIAN WILL VISIT THE SITE AS REQUIRED FOR ROUTINE MAINTENANCE. THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT DISTURBANCE OR EFFECT ON DRAINAGE. NO SANITARY SEWER SERVICE, POTABLE WATER, OR TRASH DISPOSAL IS REQUIRED AND NO COMMERCIAL DRAINAGE IS NEW. THE SITE LOCATION IS SUBJECT TO MOVING UP TO 15' FROM PROPOSED LOCATION AS NEEDED TO KEEP WITH PUBLIC ROW. AVOID EXISTING UTILITY LINES, AND AVOID LINE-OF-SIGHT OBSTRUCTIONS WITH BOTH FOOT AND AUTOMOTIVE TRAFFIC. CONTRACTOR SHALL NOTIFY ENGINEER OF RECORD PRIOR TO ANY CHANGE.

| SHEET NO: | SHEET TITLE                  |
|-----------|------------------------------|
| T-1       | TITLE SHEET                  |
| T-2       | GENERAL NOTES                |
| C-1       | SITE PLANS                   |
| C-2       | ELEVATION DETAILS            |
| C-3       | STRUCTURE DETAILS            |
| D-1       | RF DETAILS                   |
| E-1       | ELECTRICAL & GRADING DETAILS |

NOTE: DRAWINGS ARE SCALED TO 11X17

CONTRACTOR SHALL VERIFY ALL PLANS & EXISTING DIMENSIONS & CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE ARCHITECT OR ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.



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## GENERAL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SURVEY MONUMENTS AND/OR VERTICAL CONTROL BENCHMARKS WHICH ARE DISTURBED OR DAMAGED BY CONSTRUCTION. A LAND SURVEYOR MUST FIELD LOCATE, REFERENCE, AND/OR PRESERVE ALL HISTORICAL OR CONTROLLING MONUMENTS PRIOR TO ANY EARTHWORK. IF DAMAGED, SUCH MONUMENTS SHALL BE REPLACED WITH APPROPRIATE MONUMENTS BY A LAND SURVEYOR, A CORNER RECORD OR RECORD OF SURVEY, AS APPROPRIATE, SHALL BE FILED AS REQUIRED BY THE PROFESSIONAL LAND SURVEYORS ACT.
2. IMPORTANT NOTICE: CONTRACTOR SHALL CALL LOCAL UNDERGROUND LOCATE SERVICE THREE WORKING DAYS BEFORE ANY CONSTRUCTION.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES WITHIN PROPOSED EXCAVATIONS AND MUST MAINTAIN MINIMUM VERTICAL AND HORIZONTAL CLEARANCES AS CALLED FOR BY LOCAL CODES AND/OR ORDINANCES.
4. CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ANY EXISTING STRUCTURES OR LANDSCAPING DAMAGED DURING CONSTRUCTION.
5. CONTRACTOR SHALL REPLACE OR REPAIR ALL TRAFFIC SIGNAL LOOPS, CONDUIT, AND LANE STRIPING DAMAGED DURING CONSTRUCTION.
6. THIS PROJECT WILL BE INSPECTED BY ENGINEERING AND FIELD ENGINEERING DIVISION.
7. ANY MANHOLES OR COVERS INSTALLED AS PART OF THIS PROJECT SHALL BE LABELED COMMUNICATIONS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTATION OF AN EROSION CONTROL PLAN WHICH MEETS ALL APPLICABLE REQUIREMENTS OF STATE AND LOCAL AGENCIES HAVING JURISDICTION.
9. THE CONTRACTOR SHALL MAINTAIN MATERIALS AND EQUIPMENT ON SITE FOR UNFORESEEN SITUATIONS INCLUDING DAMAGE TO UNDERGROUND WATER, SEWER, AND STORM DRAIN FACILITIES WHICH COULD GENERATE FLOWS ABLE TO CAUSE EROSION AND SEDIMENT POLLUTION.

## SPECIAL NOTES

1. INDEMNIFICATION CLAUSE: THE CONTRACTOR AGREES AND SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY OF THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTIES. THESE REQUIREMENTS SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND CONDITIONS. THE CONTRACTOR FURTHER AGREES TO DEFEND INDEMNITY AND HOLD OWNER, REPRESENTATIVES, AND ENGINEERS HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF THE WORK ON THIS PROJECT.
2. PRIOR TO START OF CONSTRUCTION AND THROUGH PROJECT COMPLETION, THE CONTRACTOR SHALL REMAIN IN FULL COMPLIANCE WITH CURRENT FEDERAL, STATE, AND LOCAL OCCUPATIONAL HEALTH AND SAFETY REGULATIONS.
3. ALL WORK SHALL CONFORM TO THE LATEST STANDARD "SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION" AS ADOPTED BY THE CITY, COUNTY OR STATE AND AS MODIFIED BY STANDARD PLANS AND ADDENDUMS.
4. ALL UTILITIES AND OTHER FACILITIES DEPICTED ON THE PLANS ARE BASED ON A SEARCH OF AVAILABLE RECORDS AND FIELD OBSERVATIONS. THE CONTRACTOR SHALL VERIFY PRIOR TO CONSTRUCTION START AND USE EXTREME CARE AND PROTECTIVE MEASURES TO AVOID DAMAGE TO ANY FACILITIES WHETHER OR NOT INDICATED ON THESE PLANS. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL FACILITIES WITHIN THE LIMITS OF WORK, WHETHER OR NOT DEPICTED ON THESE PLANS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFICATION OF ANY CITY, COUNTY OR STATE ENGINEER INSPECTION DEPARTMENT A MINIMUM TWO DAYS PRIOR TO COMMENCEMENT OF ACTIVITY REQUIRING THEIR INVOLVEMENT.
6. THE EXPIRATION OF THE PERMIT FOR THIS PROJECT SHALL BE SPECIFIED BY THE LOCAL AUTHORITY HAVING JURISDICTION.
7. ALL UNDERGROUND CONDUITS PLACED AS PART OF THIS PROJECT MUST HAVE A MINIMUM COVER OF 48 INCHES UNLESS OTHERWISE APPROVED.
8. THE CONTRACTOR SHALL TUNNEL ALL CURB AND GUTTERS AND BORE ALL CONCRETE DRIVEWAYS AND WALKWAYS AT THE DIRECTION OF THE CITY, COUNTY OR STATE ENGINEER HAVING JURISDICTION.
9. ALL PAVEMENT CUT OR DAMAGED AS PART OF THIS PROJECT SHALL BE REPLACED AT THE DIRECTION OF THE CITY, COUNTY OR STATE ENGINEER HAVING JURISDICTION.
10. ALL SHRUBS, PLANTS OR TREES DAMAGED OR DISTURBED DURING THE COURSE OF THE WORK SHALL BE REPLANTED AND/OR REPLACED SO AS TO RESTORE THE WORK SITE TO ITS ORIGINAL CONDITION.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROCESSING OF ALL APPLICANT PERMIT FORMS ALONG WITH REQUIRED LIABILITY INSURANCE FORMS CLEARLY DEMONSTRATING OWNER, OWNER REPRESENTATIVES, ENGINEER, AND CITY, COUNTY OR STATE ARE ALSO INSURED WITH THE REQUIRED LIABILITY INSURANCE FOR THIS CONSTRUCTION PROJECT.
12. ALL SUBSURFACE STRUCTURES INCLUDING BUT NOT LIMITED TO VAULTS, PEDESTALS, AND CONDUITS SHALL BE AS SPECIFIED IN THESE PLANS OR AS SPECIFIED BY THE ENGINEER. ANY DEVIATIONS SHALL BE APPROVED BY THE ENGINEER IN WRITING PRIOR TO INSTALLATION.
13. THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL EXISTING UTILITIES, INCLUDING BUT NOT LIMITED TO SEWER LATERALS AND WATER SERVICES, BOTH VERTICAL AND HORIZONTAL, PRIOR TO COMMENCING IMPROVEMENT OPERATIONS.
14. THE CONTRACTOR IS RESPONSIBLE FOR COMPLETION OF EXPLORATION EXCAVATIONS CONDUCTED FOR THE PURPOSE OF LOCATING EXISTING FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO PLANS AS REQUIRED.
15. LOCATIONS OF EXISTING UTILITIES ON THESE PLANS ARE BASED UPON EXISTING RECORDS VERIFIED WHERE POSSIBLE WITH FIELD TIES. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF LOCATIONS SHOWN, BOTH HORIZONTAL AND VERTICALLY, PRIOR TO CONSTRUCTION. SUBSTANTIAL VARIANCES FROM THE PLANS SHALL BE COMMUNICATED TO THE ENGINEER TO FACILITATE CHANGES TO CONSTRUCTION DRAWINGS AS REQUIRED.

## EROSION AND SEDIMENT CONTROL NOTES

TEMPORARY EROSION/SEDIMENT CONTROL PRIOR TO COMPLETION OF FINAL IMPROVEMENTS SHALL BE INSTALLED BY CONTRACTOR OR QUALIFIED PERSON AS INDICATED BELOW:

1. ALL REQUIREMENTS OF THE CITY, COUNTY AND STATE "STORM WATER STANDARDS" MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING/IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP), WATER QUALITY TECHNICAL REPORT (WQTR), AND/OR WATER POLLUTION CONTROL PLAN (WPCP).
2. A GRAVEL BAG SILT BASIN SHALL BE INSTALLED IMMEDIATELY UPSTREAM OF STORM DRAIN INLETS AS INDICATED ON DETAILS.
3. FOR INLETS LOCATED AT SUMPS ADJACENT TO TOP OF SLOPES, THE CONTRACTOR SHALL INSURE WATER DRAINING TO THE SUMP IS DIRECTED INTO THE INLET AND A MINIMUM OF 1'00" FREEBOARD EXISTS AND IS MAINTAINED ABOVE THE TOP OF THE INLET. IF FREEBOARD IS NOT PROVIDED BY GRADING SHOWN ON THESE PLANS THE CONTRACTOR SHALL PROVIDE IT VIA TEMPORARY MEASURES, I.E. GRAVEL BAGS OR DIKES.
4. THE CONTRACTOR OR QUALIFIED PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF SILT AND MUD ON ADJACENT STREET(S) AND STORM DRAIN SYSTEM DUE TO CONSTRUCTION ACTIVITY.
5. THE CONTRACTOR OR QUALIFIED PERSON SHALL CHECK AND MAINTAIN ALL LINED AND UNLINED DITCHES AFTER EACH RAINFALL.
6. THE CONTRACTOR SHALL REMOVE SILT AND DEBRIS AFTER EACH MAJOR RAINFALL.
7. THE CONTRACTOR SHALL MAINTAIN EQUIPMENT AND WORKERS FOR EMERGENCY WORK AT ALL TIMES DURING THE RAINY SEASON. MATERIALS NECESSARY FOR EMERGENCY MEASURES SHALL BE STOCKPILED ON SITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.
8. THE CONTRACTOR IS RESPONSIBLE FOR RESTORING ALL EROSION/SEDIMENT CONTROL DEVICES TO WORKING ORDER TO THE SATISFACTION OF THE CITY/COUNTY/STATE ENGINEER OR RESIDENT ENGINEER FOLLOWING ANY RUN-OFF PRODUCING RAINFALL.
9. THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION/SEDIMENT CONTROL MEASURES AS REQUIRED BY THE RESIDENT ENGINEER DUE TO UNCOMPLETED GRADING OPERATIONS OR UNFORESEEN CIRCUMSTANCES.
10. THE CONTRACTOR SHALL BE RESPONSIBLE AND TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.
11. ALL EROSION/SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED GRADING PLAN SHALL BE INCORPORATED HEREON. ALL EROSION/SEDIMENT CONTROL FOR INTERIM CONDITIONS SHALL BE DONE TO THE SATISFACTION OF THE RESIDENT ENGINEER.
12. UPON COMPLETION OF WORK EACH DAY, GRADED AREAS AROUND THE PROJECT PERIMETER MUST DRAIN AWAY FROM THE FACE OF THE SLOPE.
13. ALL REMOVABLE PROTECTIVE DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN RAIN IS IMMINENT.
14. GRADING, INCLUDING CLEARING AND GRUBBING SHALL ONLY BE CONDUCTED IN AREAS WHERE THE CONTRACTOR OR QUALIFIED PERSON CAN PROVIDE EROSION/SEDIMENT CONTROL MEASURES.

## TOWN OF FARRAGUT ROW GROUND CONSTRUCTION NOTES:

1. NON-USED VERTICALS OFF THE POLE.
  2. ALL WORK SHALL BE IN ACCORDANCE WITH MUNICIPAL, COUNTY, STATE, AND FEDERAL STANDARDS AND REGULATIONS.
  3. THE CONTRACTOR SHALL CALL LOCAL UNDERGROUND LOCATE SERVICE THREE WORKING DAYS BEFORE ANY CONSTRUCTION IS STARTED.
  4. ALL EXISTING LANDSCAPING SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION.
  5. ALL EQUIPMENT SHALL BE BONDED.
  6. IF A METERING CABINET IS INSTALLED, A MINIMUM 3' CLEARANCE IS REQUIRED AT DOOR OPENING.
  7. IF A METERING CABINET IS INSTALLED, THE CONTRACTOR SHALL CAULK THE CABINET BASE AT THE PAD.
- STANDARD GROUNDING NOTES:
1. GROUND SHALL BE TESTED AT 25 OHMS OR LESS.
  2. GROUND RODS SHALL BE 5/8"x8". ATTACHMENT TO GROUND RODS SHALL BE EXOTHERMIC WELD OR U/L LISTED DIRECT BURY CLAMP BELOW GRADE.
  3. BURIED GROUND AND BONDING WIRE SHALL BE #6 AWG.
  4. MOLDING SHALL BE STAPLED EVERY 1' AND AT EACH END.
- STANDARD CONDUIT NOTES:
1. SCHEDULE 40 CONDUIT SHALL BE USED UNDERGROUND.
  2. SCHEDULE 80 CONDUIT SHALL BE USED FOR RISERS.
  3. RISERS SHALL BE ATTACHED TO POLE WITH STANDARD U-CLAMPS AND LAG SCREWS.
  4. RISER U-CLAMPS TO BE INSTALLED EVERY 5'.
  5. FOR UG POWER INSTALLATIONS, 2" SDR-11 RED CONDUIT SHALL BE UTILIZED.
  6. GROUND WIRE MOLDING STAPLES MAY BE UTILIZED FOR ATTACHING CONDUIT LESS THAN 1" DIAMETER.
  7. ALL CONDUIT SHALL BE PROOFED WITH A MANDREL AND EQUIPPED WITH A PULL ROPE OR MULE TAPE.
- STANDARD TRENCHING NOTES:
1. A MINIMUM OF 2'-0" OF COVER SHALL BE MAINTAINED OVER ALL ELECTRICAL CONDUITS.
  2. A MINIMUM OF 4'-0" OF COVER SHALL BE MAINTAINED OVER ALL COMMUNICATIONS CONDUITS.
  3. IN STREETS, SLURRY TO GRADE AND MILL DOWN 1-1/2" FOR AC CAP.
  4. IN DIRT, SLURRY TO 18" FROM GRADE AND FILL WITH 95% COMPACTION NATIVE SOIL FOR BALANCE.
  5. WARNING TAPE SHALL BE INSTALLED 1'-0" ABOVE ALL CONDUITS. #18 WARNING TAPE SHALL BE INSTALLED ABOVE GROUND RING.

## ROW UTILITY POLE CONSTRUCTION NOTES:

1. BOLT THREADS SHALL NOT PROTRUDE MORE THAN 1-1/2".
2. HOLES LEFT IN POLE DUE TO REARRANGEMENT OF CLIMBERS SHALL BE FILLED.
3. CLIMB STEPS ADJACENT TO CONDUIT SHALL HAVE EXTENDED STEPS.
4. CABLE SHALL NOT IMPEDE 15' CLEAR SPACE OFF POLE FACE (12:00).
5. 90° SHORT SWEEPS SHALL BE USED UNDER ANTENNA ARM. CABLES MUST TRANSITION ON THE INSIDE OR BOTTOM OF ARMS. (NO CABLE SHALL BE INSTALLED ON TOP OF ARMS.)
6. CABLE CLAMPS SHALL BE UTILIZED TO SECURE CABLE TO ARMS; 2" CARRIER CABLE ID TAGS SHALL BE PLACED ON BOTH SIDES OF ARMS.
7. UTILIZE A 90° CONNECTOR AT CABLE CONNECTION TO ANTENNA.
8. 1/2" CABLE TO BE UTILIZED UNLESS NOTED OTHERWISE.
9. VOIDS AROUND CABLES AT CONDUIT OPENINGS SHALL BE FILLED WITH FOAM SEALANT TO PREVENT WATER INTRUSION.



DRAWN BY: JR  
DATE: 2/6/2019

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| 1   | 2/6/2019 | FINAL CON   | JR |
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2/6/2019  
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

NODE ID: TNKNX\_768  
11473 PARKSIDE DR  
FARRAGUT, TN 37934  
KNOX COUNTY

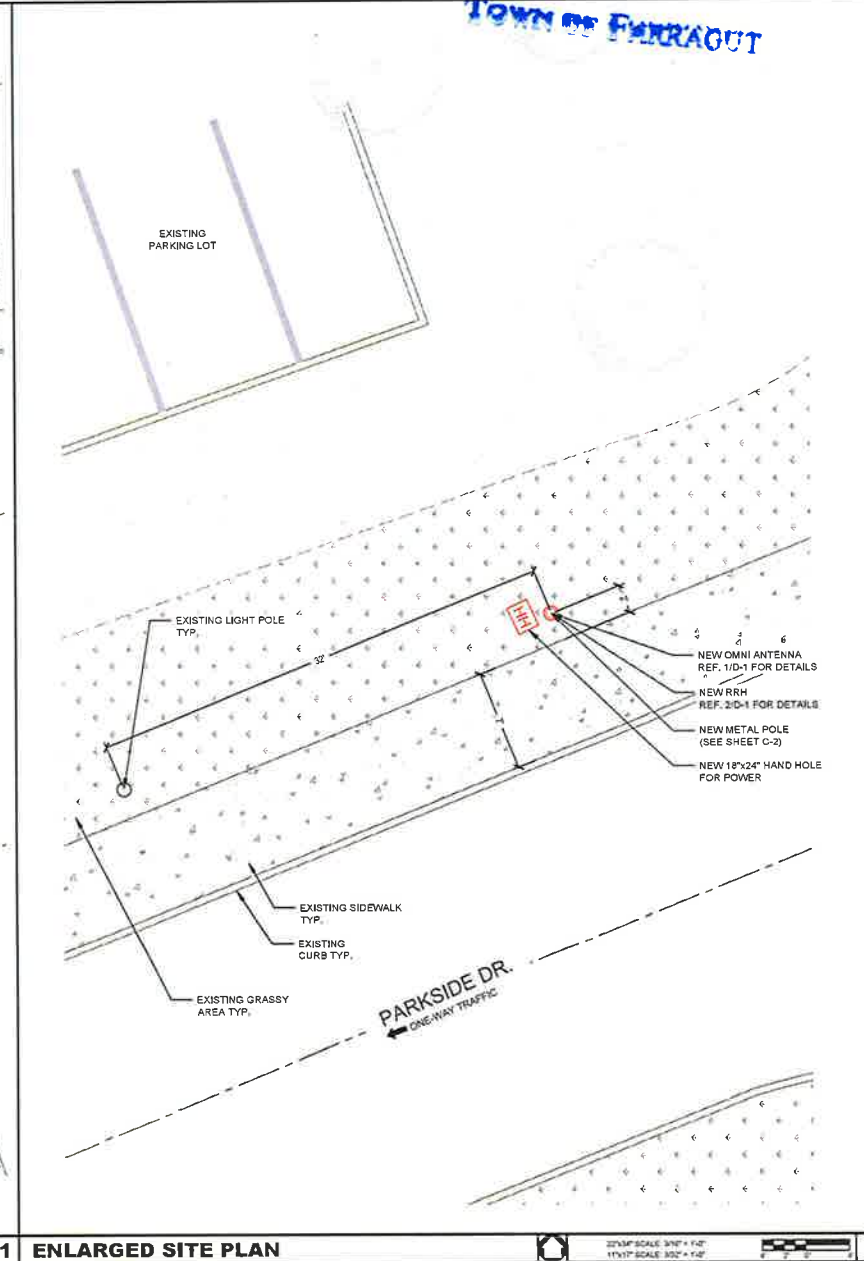
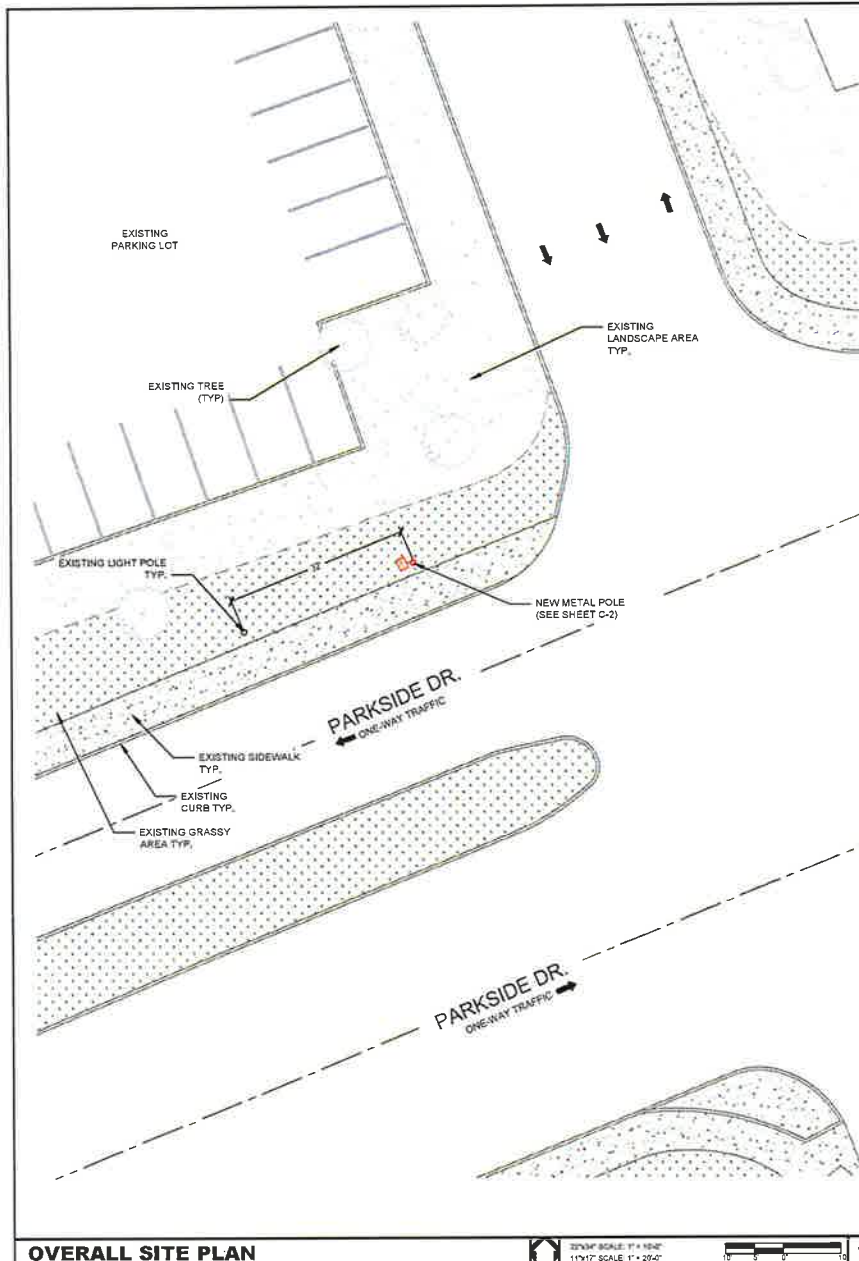
SHEET TITLE  
GENERAL  
NOTES

SHEET NUMBER

**T-2**

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OVERALL SITE PLAN

22'x34' SCALE: 1" = 10'-0"  
11'x17' SCALE: 1" = 20'-0"



1

ENLARGED SITE PLAN

22'x34' SCALE: 3/4" = 1'-0"  
11'x17' SCALE: 3/8" = 1'-0"



2



DRAWN BY: JR  
DATE: 2/26/2019

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NODE ID: TNKNX\_768  
11473 PARKSIDE DR  
FARRAGUT, TN 37934  
KNOX COUNTY

SHEET TITLE  
SITE PLANS

SHEET NUMBER  
**C-1**

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TOWN OF FARRAGUT



EXISTING SITE STRUCTURE

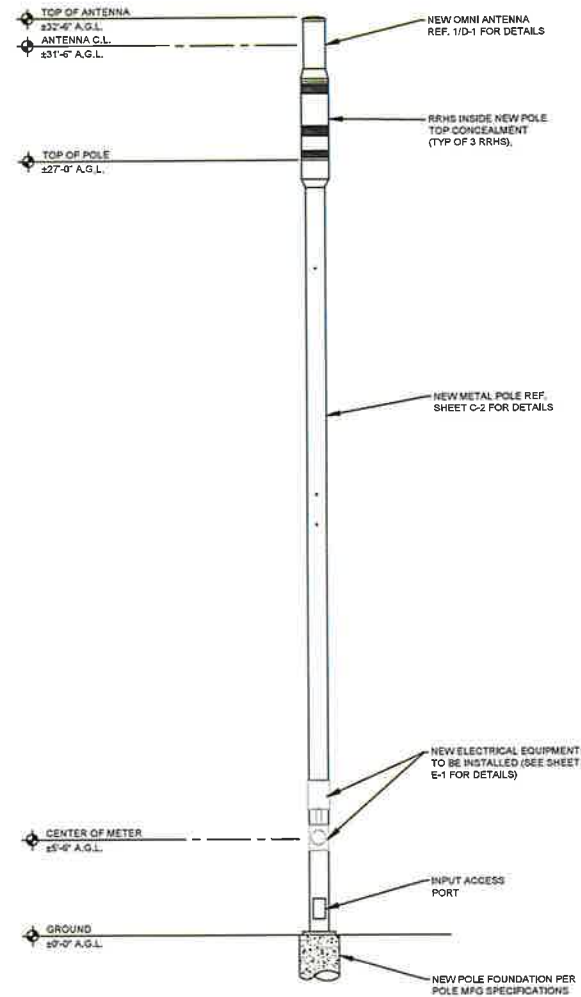
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PROPOSED SITE STRUCTURE

2

NEW STRUCTURE ELEVATION



NOTE:  
1. POLE AND EQUIPMENT TO MATCH EXISTING  
DECORATIVE STRUCTURE COLOR AND REQUIREMENTS.  
2. ALL RF EQUIPMENT CONCEALED WITHIN STRUCTURE.

STRUCTURAL NOTE:  
1. PROJECT OWNER IS RESPONSIBLE FOR PROVIDING A  
GLOBAL/LOCAL STRUCTURAL ANALYSIS OF EQUIPMENT  
ANCHORS, SUPPORTS AND DESIGN/DETAILING OF ANY  
STRUCTURAL MODIFICATIONS/REINFORCEMENT REQUIRED  
THEREON.

2. THIS DOCUMENT IS FOR PERMITTING ONLY AND IS  
NOT INTENDED FOR CONSTRUCTION UNLESS ACCOMPANIED  
BY A PE STAMPED/SIGNED STRUCTURAL  
ASSESSMENT/ANALYSIS REPORT AS PROVIDED BY THE  
PROJECT OWNER.

NOTE:  
REFER TO STRUCTURAL ANALYSIS REPORT (SEPARATE  
DOCUMENT) FOR ADDITIONAL STRUCTURAL INFORMATION.



DRAWN BY: JR  
DATE: 2/26/2019

| REV | DATE      | DESCRIPTION | BY |
|-----|-----------|-------------|----|
| 0   | 2/26/2019 | FINAL CD    | JR |
|     |           |             |    |
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IT IS A VIOLATION OF LAW FOR ANY PERSON,  
UNLESS THEY ARE ACTING UNDER THE  
DIRECTION OF A LICENSED PROFESSIONAL  
ENGINEER, TO ALTER THIS DOCUMENT.

NODE ID: TNKNX\_768  
11473 PARKSIDE DR  
FARRAGUT, TN 37934  
KNOX COUNTY

SHEET TITLE  
STRUCTURE AND  
ELEVATION DETAILS

SHEET NUMBER  
**C-2**

25'X34' SCALE: 3/4" = 1'-0"  
11'X17' SCALE: 3/8" = 1'-0"



3

# RECEIVED

MAY 23 2019

Town of FARRAGUT

VVSSP-360S-F

COMMSCOPE®



10-port small cell antenna, 4x 1695-2690, 4x 3400-3800 and 2x 5150-5925 MHz 360° Horizontal Beamwidth, fixed tilt.

## Electrical Specifications

| Frequency Band, MHz                  | 1695-1920  | 1920-2180  | 2300-2690  | 3400-3800  | 5150-5925  |
|--------------------------------------|------------|------------|------------|------------|------------|
| Gain, dB                             | 9.3        | 10.3       | 10.6       | 8.5        | 5.1        |
| Beamwidth, Horizontal, degrees       | 360        | 360        | 360        | 360        | 360        |
| Beamwidth, Vertical, degrees         | 21.9       | 19.1       | 15.6       | 39.0       | 22.4       |
| Beam Tilt, degrees                   | 7          | 7          | 7          | 0          | 0          |
| USLS (First Lobe), dB                | 14         | 14         | 12         | 19         | 9          |
| Isolation, dB                        | 25         | 25         | 25         | 25         | 25         |
| Isolation, intersystem, dB           | 28         | 28         | 28         | 28         | 28         |
| VSWR   Return Loss, dB               | 1.5   14.0 | 1.5   14.0 | 1.5   14.0 | 1.5   14.0 | 1.5   14.0 |
| PAE, 3rd Order, 2 x 20 W, dBc        | -153       | -153       | -150       |            |            |
| Input Power per Port, maximum, watts | 125        | 125        | 125        | 50         | 10         |
| Polarization                         | ±45°       | ±45°       | ±45°       | ±45°       | ±45°       |
| Impedance                            | 50 ohm     | 50 ohm     | 50 ohm     | 50 ohm     | 50 ohm     |

## Electrical Specifications, BASTA\*

| Frequency Band, MHz                    | 1695-1920 | 1920-2180 | 2300-2690 | 3400-3800 | 5150-5925 |
|----------------------------------------|-----------|-----------|-----------|-----------|-----------|
| Gain by all Beam Tilt, average, dBi    | 8.8       | 9.9       | 10.2      | 7.8       | 4.4       |
| Gain by all Beam Tilt Tolerance, dBi   | ±0.8      | ±0.7      | ±0.6      | ±0.6      | ±1.1      |
| Beamwidth, Vertical Tolerance, degrees | ±2        | ±2.3      | ±1.5      | ±5.7      | ±6.5      |

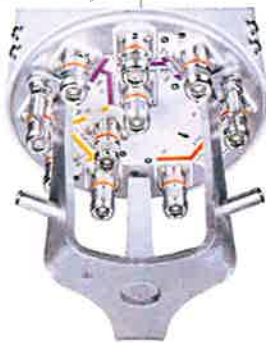
\* Commscope® supports NSM recommendations on Base Station Antenna Standards (BASTA). To learn more about the benefits of BASTA, [download the whitepaper Time to Repe the Rules BASTA](#).

## General Specifications

|                          |                                                     |
|--------------------------|-----------------------------------------------------|
| Operating Frequency Band | 1695 - 2690 MHz   3400 - 3800 MHz   5150 - 5925 MHz |
| Antenna Type             | Small Cell                                          |
| Form                     | Flathead                                            |
| Performance Note         | Outdoor usage                                       |

## Mechanical Specifications

|                                  |                                                                                  |
|----------------------------------|----------------------------------------------------------------------------------|
| RF Connector Quantity, total     | 10                                                                               |
| RF Connector Quantity, high      | 10                                                                               |
| RF Connector Interface           | 4.2-10 Female                                                                    |
| Grounding Type                   | RF connector inner conductor and body grounded to reflector and mounting bracket |
| Radial Mount                     | Low loss circuit board                                                           |
| Radome Material                  | Fiberglass, UV resistant                                                         |
| Reflector Material               | Aluminum                                                                         |
| RF Connector Location            | Bottom                                                                           |
| Wind Loading, Rental             | 90.0 ft @ 150 km/h<br>20.2 ft @ 190 km/h                                         |
| Wind Speed, maximum              | 241 km/h   150 mph                                                               |
| Dimensions                       |                                                                                  |
| Length                           | 500.0 mm   23.6 in                                                               |
| Outer Diameter                   | 200.0 mm   7.9 in                                                                |
| Net Weight, without mounting kit | 7.0 kg   15.4 lb                                                                 |
| Packed Dimensions                |                                                                                  |
| Length                           | 650.0 mm   25.6 in                                                               |
| Width                            | 320.0 mm   12.6 in                                                               |
| Depth                            | 200.0 mm   7.9 in                                                                |
| Shipping Weight                  | 9.5 kg   21.2 lb                                                                 |



Commscope® is a registered trademark of Commscope, Inc. All other trademarks are the property of their respective owners. The information shown on this page is for informational purposes only and does not constitute an offer of any product or service.



## Technical Specifications Radio 2203

### FREQUENCY BANDS

Bands: 3GPP Bands B1 (W/L), B3 (L), B3C (W/L), B6 (W/L), B6A (W/L), B5 (W/L), B2/B5 (W/L), B12 (L), B13 (L) and B7 (L)

### HW CAPACITY

Carrier capacity WCDMA: Up to 4 carriers  
Carrier capacity LTE: Up to 40 MHz  
B1, B3 and B6A 45 MHz, B2/B5 and B7 40 MHz, B3C, B6, B5, B12 and B13 Full band

### MIMO:

Yes, 2T2R  
Output power: Up to 2 x 5 W

### INTERFACE SPECIFICATIONS

Antenna Ports: 2 x 4 2x1 (F)  
CPRI: 2 x 2 5.9/10 Gbps (exchangeable SFP modules)  
Optical indicators: 2  
External alarms: 2  
Field ground: 1

### MECHANICAL SPECIFICATIONS

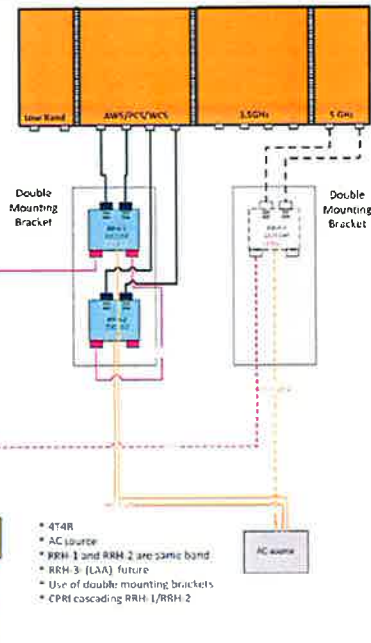
W x H x D: 200 mm x 200 mm x 190 mm, including mounting bracket and aesthetic front cover  
Weight: < 4.5 kg  
Volume: 4 l  
Mounting: Wall and pole mount

### ELECTRICAL SPECIFICATIONS

Power Supply: 48 VDC or 100 - 250 VAC

### ENVIRONMENTAL SPECIFICATIONS

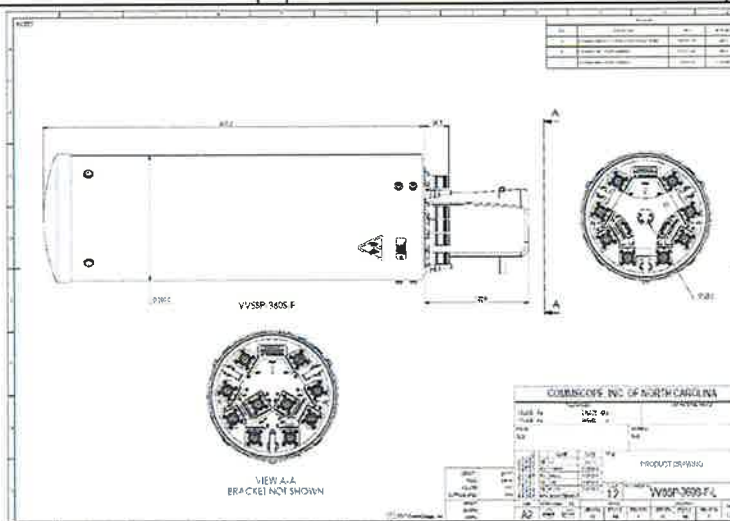
Normal operating temp: -40 °C to +55 °C (cold start at +40 °C)  
Relative Humidity: 5 - 100%  
Environment: Outdoor class with IP65



## RADIO DETAILS

## 2 RF DIAGRAM

## 3



DRAWN BY: JR  
DATE: 2/26/2019

| REV | DATE      | DESCRIPTION | BY |
|-----|-----------|-------------|----|
| 0   | 2/26/2019 | FINAL CDN   | JR |



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NOTE ID: TNKNX\_768  
11473 PARKSIDE DR  
FARRAGUT, TN 37944  
KNOX COUNTY

SHEET TITLE

RF DETAILS

SHEET NUMBER

D-1

## ANTENNA DETAILS

## 1 ANTENNA DETAILS

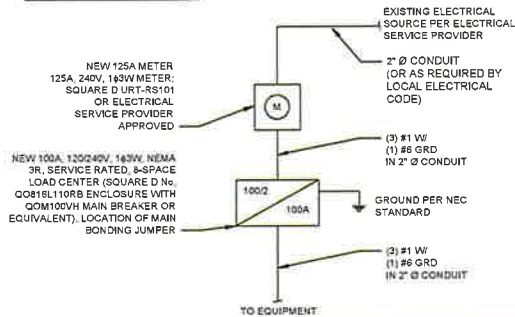
## 4

# RECEIVED

MAY 23 2019

## TOWN OF FARRAGUT

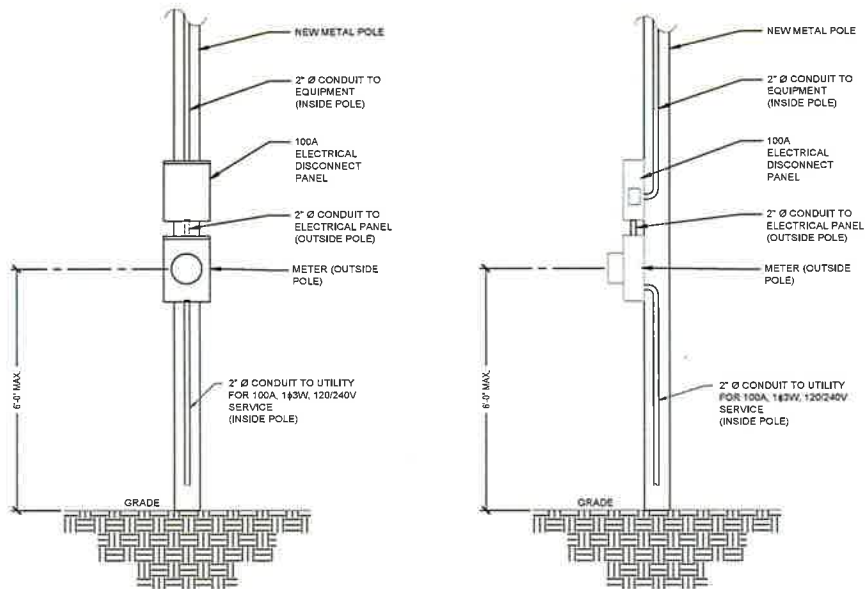
NOTE:  
ONE LINE DIAGRAM SHOWS  
ELECTRICAL REQUIREMENTS  
PER NEC CODE. SERVING  
ELECTRIC UTILITY MAY IMPOSE  
ADDITIONAL REQUIREMENTS.  
COORDINATE WITH UTILITY.



ONE LINE DIAGRAM

1 NOT USED

2



METER & CONDUIT DETAIL

3

GROUNDING PLAN



DRAWN BY: JR  
DATE: 2/26/2019

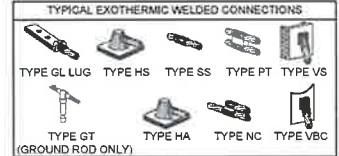
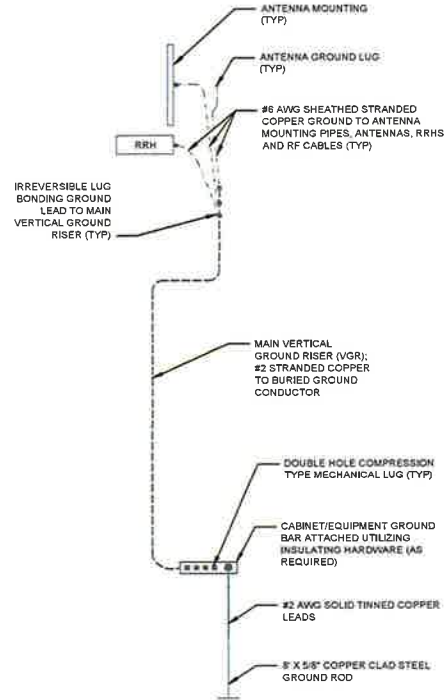
| REV | DATE      | DESCRIPTION | BY |
|-----|-----------|-------------|----|
| 0   | 2/26/2019 | FINAL CON   | JR |
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NOTE ID: TKNX\_768  
11473 PARKSIDE DR  
FARRAGUT, TN 37934  
KNOX COUNTY

SHEET TITLE  
ELECTRICAL &  
GROUNDING  
DETAILS

SHEET NUMBER  
**E-1**



| LEGEND |                                                  |
|--------|--------------------------------------------------|
|        | #2 AWG SOLID TINNED COPPER GROUND CONDUCTOR      |
|        | #2 AWG SHEATHED STRANDED COPPER GROUND CONDUCTOR |
|        | #6 AWG SHEATHED STRANDED COPPER GROUND CONDUCTOR |
|        | EXOTHERMIC WELD CONNECTION                       |
|        | MECHANICAL CONNECTION                            |
|        | GROUND ROD                                       |

3

GROUNDING PLAN

4

## **REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION**

**PREPARED BY:** Mark Shipley, Community Development Director

**SUBJECT:** Discussion and public hearing on a final plat for Easton Park, Unit 2, Turkey Creek Road west of Briarstone Lane, 23 Lots, 8.4 Acres, Zoned R-3 (HFTC, GP, Applicant)

---

**INTRODUCTION AND BACKGROUND:** This item involves a request for final plat approval of the remainder of the Easton Park Subdivision off Turkey Creek Road. The final plat for Unit 1 was approved on August 16, 2018 and recorded in November of 2018. Now, the applicant is requesting approval for Unit 2 which includes two cul-de-sacs, 22 houselots, and 1 open space lot.

**RECOMMENDATION:** Included in your packet is a copy of the staffs' latest comments. Staff will make a recommendation at the meeting based on whether the remaining comments have been satisfactorily addressed.

- 1) Please verify the stormwater system as necessary for the Town's Engineering Department;
- 2) An as-built, in a JPEG format, is required for all required improvements once finalized;
- 3) The required buffer strip and detention basin plantings must be installed (a completion letter of credit could cover this for now until later in the Fall when it is more appropriate to plant trees);
- 4) Please include a copy of the recorded covenants and restrictions;
- 5) Please include in the plat notes that the maximum permitted building coverage is 30% and the maximum permitted lot coverage is 40%.
- 6) Please complete all items on staff's punchlist. All disturbed areas must be stabilized;
- 7) Please submit an irrevocable letter of credit for completion of sidewalks. Staff will calculate a dollar amount;
- 8) Please submit irrevocable letter of credit for \$15,000 for Maintenance of roadways (Sunrise View and Spectacular View) and greenway; and
- 9) Please submit verification of detention basin, including volume, capacity and location.

UNIT 2 OPEN SPACE CALCULATIONS  
 TOTAL PROJECT AREA: 8.40 ACRES  
 REQUIRED OPEN SPACE (10%): 0.84 ACRES (36,590 SF)  
 PROPOSED ROW: 0.61 ACRES  
 BUFFER STRIP & DETENTION  
 AREA EXCLUDED FROM OPEN SPACE: 0.88 ACRES (38,455 SF)  
 \*OPEN SPACE PROVIDED: 0.95 (41,385 SF 11.3%)  
 \*OPEN SPACE PROVIDED DOES NOT INCLUDE  
 BUFFER STRIP OR DETENTION AREA  
 \*\*ADDITIONAL REQUIRED OPEN SPACE FOR UNIT 1  
 IS ACCOUNTED FOR WITH THE RECORDING OF  
 THIS PLAT. SEE ADDITIONAL COMBINED OPEN  
 SPACE CALCULATIONS FOR FULL DEVELOPMENT  
 TO RIGHT\*\*

\*\*TOTAL FOR UNIT 1 AND 2\*\*  
 OPEN SPACE CALCULATIONS  
 TOTAL PROJECT AREA: 15.45 ACRES  
 REQUIRED OPEN SPACE (10%): 1.55 ACRES (67,300 SF)  
 FUTURE LOT AREA: 10.67 ACRES  
 PROPOSED ROW: 2.29 ACRES  
 BUFFER STRIP & DETENTION  
 AREA EXCLUDED FROM OPEN SPACE: 1.07 ACRES (46,132 SF)  
 \*OPEN SPACE PROVIDED: 1.80 ACRES (80,875 SF 10.4%)  
 \*OPEN SPACE PROVIDED DOES NOT INCLUDE  
 BUFFER STRIP OR DETENTION AREA\*

COMMON AREA  
 BRIARSTONE SUBD., PH. 1  
 PLAT: 201507130002657  
 OWNER: KNOX TWO LLC  
 DEED: 201701270046459  
 PARCEL ID: 153B034

#### CERTIFICATE OF STREETS APPROVAL

I certify that streets, sidewalks, and other required improvements have been installed to an acceptable manner and according to Town specifications, or that a security bond in the amount of \$\_\_\_\_\_ has been posted with the Planning Commission to assure completion of all required improvements in case of default. Streets (are) (are not) public streets maintained at public expense.

Town Engineer \_\_\_\_\_ Date \_\_\_\_\_  
 License No. \_\_\_\_\_

This is to certify that all property taxes and assessments due on this property have been paid.

Signed \_\_\_\_\_ Date \_\_\_\_\_  
 Knox County Trustee

#### CERTIFICATE OF APPROVAL FOR RECORDING

I hereby certify that the subdivision plat shown here has been found to comply with the Subdivision Regulations for Farragut, Tennessee, with the exception of such variances, if any, as are noted in the minutes of the Planning Commission and that it has been approved for recording in the Office of the County of Register of Deeds.

Secretary, Planning Commission \_\_\_\_\_ Date \_\_\_\_\_

#### CERTIFICATE OF APPROVAL OF STREET NAMES

This is to certify that the subdivision shown hereon has been reviewed for compliance with the Knox County Uniform Street Naming & Addressing System Ordinance, and the road names are hereby approved for recording.

Knox County Addressing Division \_\_\_\_\_ Date \_\_\_\_\_

#### RELEASE OF EASEMENT(S) CERTIFICATION

Except as noted or shown on this plat, the following parties hereby consent to the release of all rights that may have occurred for their use and benefit: (1) in the utility, drainage, and construction easements along the original lot lines or (2) in prior easements identified hereon which are being eliminated by this plat, on the condition that new utility, drainage, and construction easements are provided along the new property lines or as facilities are otherwise installed or shown hereon. The above provisions notwithstanding, prior easements or prior utility placements are not released unless specifically noted hereon. Existing easements or placements shown hereon will not be adversely affected by the development as herein proposed.

Signature (sewer) \_\_\_\_\_ Date \_\_\_\_\_  
 Signature (water) \_\_\_\_\_ Date \_\_\_\_\_  
 Signature (electricity) \_\_\_\_\_ Date \_\_\_\_\_  
 Signature (gas) \_\_\_\_\_ Date \_\_\_\_\_  
 Signature (telephone) \_\_\_\_\_ Date \_\_\_\_\_  
 Signature (cable) \_\_\_\_\_ Date \_\_\_\_\_  
 Signature (Town of Farragut) \_\_\_\_\_ Date \_\_\_\_\_

#### LEGEND OF SYMBOLS

- WV = WATER VALVE
- FD = FIRE HYDRANT
- W = WATER LINE
- JB = JUNCTION BOX
- AI = AREA INLET
- CI = CURB INLET
- ST = STORM DRAIN PIPE
- = SANITARY MANHOLE
- = SEWER LINE
- GM = GAS METER
- DV = GAS VALVE
- = GAS LINE
- U = UTILITY POLE
- = OVERHEAD UTILITY LINES
- ET = ELECTRIC TRANSFORMER

(NOT INCLUDED)



Vicinity Map

#### CERTIFICATE OF SURVEY ACCURACY

I hereby certify that the plan shown and described hereon is a true and correct survey to the accuracy required by the Farragut Municipal Planning Commission, and that the monuments have been placed as shown hereon, to the specification of the Subdivision Regulations. This is a Category I Land Survey and the ratio of precision of the unadjusted survey is equal to or greater than 1:10,000.

Surveyor / No. 1301 \_\_\_\_\_ Date \_\_\_\_\_

#### CERTIFICATE OF OWNERSHIP AND DEDICATION

I (we) hereby certify that I am (we are) the owner(s) of the property shown and described hereon as evidenced in Book Number \_\_\_\_\_ Page \_\_\_\_\_ County Registers Office, and that I (we) hereby adopt this plan of subdivision with my (our) free consent, establish the minimum building restriction lines, and dedicate all streets, alleys, walks, paths, and other open space to public or private use as noted.

Signature \_\_\_\_\_ Date \_\_\_\_\_  
 Signature \_\_\_\_\_ Date \_\_\_\_\_

#### CERTIFICATE OF ELECTRIC, GAS & TELEPHONE AVAILABILITY

This is to certify that every lot within this subdivision has available to it a source for the service identified by signature(s) before which service source is adequate to accommodate the reasonable needs of such lot as to such service within such subdivision.

Date \_\_\_\_\_ GAS - Name, Title, and Agency of Authorized Approving Agent  
 Date \_\_\_\_\_ ELECTRIC - Name, Title, and Agency of Authorized Approving Agent  
 Date \_\_\_\_\_ TELEPHONE - Name, Title, and Agency of Authorized Approving Agent

#### CERTIFICATE OF WATER AND SEWER AVAILABILITY

I hereby certify that every lot within this subdivision will have available to it water and sewer service that is adequate to accommodate the reasonable needs of such lots.

Date \_\_\_\_\_ Name, Title, and Agency of Authorized Approving Agent

SURVEYOR: HOWARD T. DAWSON, RLS 1301  
 SITE INCORPORATED  
 10215 TECHNOLOGY DR.  
 KNOXVILLE, TN 37932  
 PH (865) 777-4160



THIS IS TO CERTIFY THAT THIS SURVEY MEETS THE MINIMUM STANDARDS FOR THE STATE OF TENNESSEE.

NOTE: DATA COLLECTION AND DRAFTING SERVICES PROVIDED BY SMOKEY MOUNTAIN LAND SURVEYING CO., INC.  
 SMLS DWG NO. 160078R3



NOTES  
 1. SEE SHEET 2 FOR PLAT NOTES AND LINE AND CURVE TABLES

#### Final Plat of

Easton Park, Unit 2  
 Turkey Creek Road near Briarstone Lane  
 District 6 - Knox County, TN ~ Town of Farragut  
 CLT Map 152 Parcel 059.11

#### Owner

HFTC, GP  
 2561 Willow Point Way  
 Knoxville, TN 37931

#### Revisions

| No. | Date | Comments |
|-----|------|----------|
|     |      |          |
|     |      |          |
|     |      |          |

#### Sheet Information

|             |      |        |        |
|-------------|------|--------|--------|
| Plot Book   | SSR  | Page   | SD1755 |
| Plot Column | SSR  | Page   | SD1725 |
| CLT Map     | 152  | Parcel | 059.11 |
| Drawing     | MID  | File   | 1076   |
| Client File | 1117 | Draw   | 80458  |
| Drawn by    |      |        |        |

TOWN OF FARRAGUT

JAN 31 2019

RECEIVED

BRISTOL SUBD., RESUB.  
PLAT: 201606210074720  
OWNER: CHRISTINE H. LORENZ  
DEED: 201608300014146  
PARCEL ID: 15318015

COMMON AREA  
BRISTOL SUBD., PH. 1  
PLAT: 201507130002657  
OWNER: KNOX TWO LLC  
DEED: 201701270046459  
PARCEL ID: 15318034

RICHARD L. & WANDA H.  
SCARBROUGH (TRUSTEES)  
DEED REF: 200705180094415

NOTES

1. NOTIFY TENNESSEE ONE-CALL SYSTEM AT 1-800-351-1111 AND AN INDIVIDUAL UTILITY AUTHORITY BEFORE ANY EXCAVATION FOR EXACT LOCATION OF ALL UNDERGROUND UTILITIES.
2. A FIVE (5) FOOT UTILITY, DRAINAGE AND CONSTRUCTION EASEMENT ON EACH SIDE OF INTERIOR LOT LINES, A TEN (10) FOOT UTILITY, DRAINAGE AND CONSTRUCTION EASEMENT ON INSIDE OF ROAD RIGHTS-OF-WAY AND EXTERIOR LOT LINES.
3. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THIS SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
4. 5/8" IRON PINS SET AT ALL CORNERS UNLESS NOTED OTHERWISE.
5. PROPERTY IS ZONED "R-3", MINIMUM BUILDING SETBACKS ARE TO CONFORM TO CURRENT REQUIREMENTS OF THE TOWN OF FARRAGUT ZONING ORDINANCE. SETBACK REQUIREMENTS NOTE FOR CURRENT ZONING IS KNOWN AND DESIGNATED AS:
  - TAX MAP 152, PARCEL 059.11
  - DEED REFERENCES: 201608300014165
  - LOT 31, RESUB. FINAL PLAT OF LOT 15P BRIAR STONE S/D AND LOT 3 GEORGE W. AND PATRICIA SMITH PROPERTY
  - PLAT REFERENCE: 201606210074720
6. GRID NORTH IS BASED ON A BEARING OF N32°14'18"E FROM TOWN OF FARRAGUT CONTROL POINT # 23R TO POINT # 24 AND IS NAD83 HORIZONTAL DATUM. DISTANCES HAVE NOT BEEN REDUCED TO GRID. THE PURPOSE OF THIS PLAT IS TO CREATE THE 23 LOTS SHOWN HEREON AND TO DEDICATE EASEMENTS AND RIGHT-OF-WAYS AS SHOWN. - NOTE - SHADED AREA SHOWN IS NOT INCLUDED IN THIS PLAT.
7. PER FLOOD INSURANCE RATE MAP (FIRM) 47093C0356F AND 47096C0357G LAST REVISED MAY 2, 2007 AND AUGUST 5, 2013 RESPECTIVELY, THE PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD ZONE.
8. 15' UTILITY EASEMENT, 7.5' EACH SIDE, OF ALL WATER AND SANITARY SEWER LINES AS INSTALLED.
9. 20' DRAINAGE EASEMENT, 10' EACH SIDE, OF ALL STORM SEWER LINES AS INSTALLED.
10. SEE SHEET 1 FOR CERTIFICATION STAMPS.
11. ALL RESIDENCES ARE REQUIRED TO BE FIRE SPRINKLER PROTECTED.
12. IF THE SCARBROUGH PROPERTY IS FURTHER SUBDIVIDED OR DEVELOPED EASTON PARK ROAD SHALL BE EXTENDED THROUGH SAID PROPERTY TO CONNECT WITH DUNLIN LANE IN THE BRIARSTONE SUBDIVISION PER AGREEMENT AND RESTRICTION OF RECORD UNDER INST. NO.
13. LOTS 2, 15, AND 36 ARE TO BE OWNED AND MAINTAINED BY THE EASTON PARK HOMEOWNERS ASSOCIATION AS PROVIDED FOR IN THE RECORDED COVENANTS AND RESTRICTIONS.

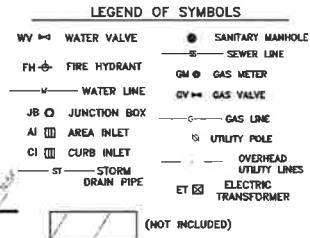
NOTE: DATA COLLECTION AND DRAFTING SERVICES PROVIDED BY SMOKEY MOUNTAIN LAND SURVEYING CO., INC.  
SMLS DWS NO. 160078R.3



Final Plat of  
Easton Park, Unit 2  
Turkey Creek Road near Briarstone Lane  
District 6 - Knox County, TN -- Town of Farragut  
CLT Map 152 Parcel 059.11

Owner  
HFTC, GP  
2561 Willow Point Way  
Knoxville, TN 37931

| Revisions |               | Sheet Information |      |
|-----------|---------------|-------------------|------|
| #         | Date/Comments | Rev/Rev           | Page |
| 1         | 01/11/2018    | 1                 | 1    |
| 2         | 01/11/2018    | 2                 | 2    |
| 3         | 01/11/2018    | 3                 | 3    |
| 4         | 01/11/2018    | 4                 | 4    |
| 5         | 01/11/2018    | 5                 | 5    |
| 6         | 01/11/2018    | 6                 | 6    |
| 7         | 01/11/2018    | 7                 | 7    |
| 8         | 01/11/2018    | 8                 | 8    |
| 9         | 01/11/2018    | 9                 | 9    |
| 10        | 01/11/2018    | 10                | 10   |
| 11        | 01/11/2018    | 11                | 11   |
| 12        | 01/11/2018    | 12                | 12   |
| 13        | 01/11/2018    | 13                | 13   |
| 14        | 01/11/2018    | 14                | 14   |
| 15        | 01/11/2018    | 15                | 15   |
| 16        | 01/11/2018    | 16                | 16   |
| 17        | 01/11/2018    | 17                | 17   |
| 18        | 01/11/2018    | 18                | 18   |
| 19        | 01/11/2018    | 19                | 19   |
| 20        | 01/11/2018    | 20                | 20   |
| 21        | 01/11/2018    | 21                | 21   |
| 22        | 01/11/2018    | 22                | 22   |
| 23        | 01/11/2018    | 23                | 23   |
| 24        | 01/11/2018    | 24                | 24   |
| 25        | 01/11/2018    | 25                | 25   |
| 26        | 01/11/2018    | 26                | 26   |
| 27        | 01/11/2018    | 27                | 27   |
| 28        | 01/11/2018    | 28                | 28   |
| 29        | 01/11/2018    | 29                | 29   |
| 30        | 01/11/2018    | 30                | 30   |
| 31        | 01/11/2018    | 31                | 31   |
| 32        | 01/11/2018    | 32                | 32   |
| 33        | 01/11/2018    | 33                | 33   |
| 34        | 01/11/2018    | 34                | 34   |
| 35        | 01/11/2018    | 35                | 35   |
| 36        | 01/11/2018    | 36                | 36   |
| 37        | 01/11/2018    | 37                | 37   |
| 38        | 01/11/2018    | 38                | 38   |
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| 42        | 01/11/2018    | 42                | 42   |
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| 51        | 01/11/2018    | 51                | 51   |
| 52        | 01/11/2018    | 52                | 52   |
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| 68        | 01/11/2018    | 68                | 68   |
| 69        | 01/11/2018    | 69                | 69   |
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| 96        | 01/11/2018    | 96                | 96   |
| 97        | 01/11/2018    | 97                | 97   |
| 98        | 01/11/2018    | 98                | 98   |
| 99        | 01/11/2018    | 99                | 99   |
| 100       | 01/11/2018    | 100               | 100  |



SETBACK REQUIREMENTS FOR "R-3" ZONE

- Front yard

a. If the street is classified as an arterial on the Major Road Plan, all principal buildings shall be set back from the nearest point of any right-of-way a minimum of 50 feet.

b. If the street is classified as a major collector on the Major Road Plan, all principal buildings shall be set back from the nearest point of any right-of-way a minimum of 40 feet.

c. If the street is classified as a minor collector on the Major Road Plan, all principal buildings shall be set back from the nearest point of any right-of-way a minimum of 30 feet.

d. If the street is classified as a local street on the Major Road Plan, all principal buildings shall be set back from the nearest point of any right-of-way a minimum of 20 feet.

e. All agricultural structures, including fences, shall be set back a minimum of 35 feet.

f. All utility structures, including fences, shall be set back from the nearest point of any right-of-way a minimum of 25 feet, except as provided elsewhere in this ordinance or the (Farragut) Municipal Code. Detention basin structures, subdivision walls, and entrance pillars shall be set back from the nearest point of any right-of-way a minimum of 10 feet.

- Side yard

a. All principal buildings shall be set back a minimum of ten feet.

b. All agricultural structures, including fences, shall be set back a minimum of 35 feet.

c. All utility structures, including fences, shall be set back a minimum of 25 feet.

- Rear yard

a. All principal buildings shall be set back a minimum of 25 feet, except when the rear yard abuts a required buffer strip and then all principal buildings shall be set back a minimum of 20 feet.

b. All agricultural structures, including fences, shall be set back a minimum of 35 feet.

c. All utility structures, including fences, shall be set back a minimum of 25 feet.

| LINE | BEARING     | DISTANCE |
|------|-------------|----------|
| GL1  | N82°22'41"E | 25.92    |
| GL2  | N82°22'41"E | 25.92    |
| GL3  | N82°22'41"E | 25.92    |
| GL4  | N82°22'41"E | 25.92    |
| GL5  | N82°22'41"E | 25.92    |
| GL6  | N82°22'41"E | 25.92    |
| GL7  | N82°22'41"E | 25.92    |
| GL8  | N82°22'41"E | 25.92    |
| GL9  | N82°22'41"E | 25.92    |
| GL10 | N82°22'41"E | 25.92    |
| GL11 | N82°22'41"E | 25.92    |
| GL12 | N82°22'41"E | 25.92    |
| GL13 | N82°22'41"E | 25.92    |
| GL14 | N82°22'41"E | 25.92    |
| GL15 | N82°22'41"E | 25.92    |
| GL16 | N82°22'41"E | 25.92    |
| GL17 | N82°22'41"E | 25.92    |
| GL18 | N82°22'41"E | 25.92    |

| LINE | BEARING     | DISTANCE |
|------|-------------|----------|
| GL1  | N82°22'41"E | 25.92    |
| GL2  | N82°22'41"E | 25.92    |
| GL3  | N82°22'41"E | 25.92    |
| GL4  | N82°22'41"E | 25.92    |
| GL5  | N82°22'41"E | 25.92    |
| GL6  | N82°22'41"E | 25.92    |
| GL7  | N82°22'41"E | 25.92    |
| GL8  | N82°22'41"E | 25.92    |
| GL9  | N82°22'41"E | 25.92    |
| GL10 | N82°22'41"E | 25.92    |
| GL11 | N82°22'41"E | 25.92    |
| GL12 | N82°22'41"E | 25.92    |
| GL13 | N82°22'41"E | 25.92    |
| GL14 | N82°22'41"E | 25.92    |
| GL15 | N82°22'41"E | 25.92    |
| GL16 | N82°22'41"E | 25.92    |
| GL17 | N82°22'41"E | 25.92    |
| GL18 | N82°22'41"E | 25.92    |

| CURVE | LENGTH  | RADIUS  | CHORD  | CHORD BEARING | TANGENT |
|-------|---------|---------|--------|---------------|---------|
| GC1   | 28.39'  | 44.00'  | 27.99' | S54°55'26"E   | 14.71'  |
| GC2   | 45.49'  | 84.00'  | 44.07' | N28°16'26"E   | 23.32'  |
| GC3   | 121.11' | 84.00'  | 95.96' | S09°10'01"W   | 54.64'  |
| GC4   | 30.02'  | 175.00' | 29.01' | S03°40'27"W   | 10.02'  |
| GC5   | 67.29'  | 84.00'  | 65.47' | N13°10'58"W   | 35.55'  |
| GC6   | 38.72'  | 60.00'  | 38.05' | N54°22'28"W   | 20.00'  |

THIS IS TO CERTIFY THAT THIS SURVEY MEETS THE MINIMUM STANDARDS FOR THE STATE OF TENNESSEE.

SURVEYOR:  
HOWARD T. DAWSON, RLS 1301  
SITE INCORPORATED  
10215 TECHNOLOGY DR.  
KNOXVILLE, TN 37932  
PH: (865) 777-4160



**MEETING DATE:** June 20, 2019

**AGENDA ITEM #7**

## **REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION**

**PREPARED BY:** Mark Shipley, Community Development Director

**SUBJECT:** Discussion and public hearing on amendments to Chapters 2, 3, and 4 of the Farragut Zoning Ordinance related to regional recreational entertainment venues consistent with recent amendments to the Farragut Future Land Use Map for the Outlet Drive corridor

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**INTRODUCTION AND BACKGROUND:** This item has been postponed at the request of the applicant.

**MEETING DATE:** June 20, 2019

**AGENDA ITEM #8**

## **REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION**

**PREPARED BY:** Mark Shipley, Community Development Director

**SUBJECT:** Discussion and public hearing on amendments to the Farragut Zoning Map in relation to portions of the Outlet Drive corridor being rezoned from C-2, Regional Commercial, to C-2-R/W, Regional Commercial, Retail/Warehousing consistent with recent amendments to the Farragut Future Land Use Map for the Outlet Drive corridor

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**INTRODUCTION AND BACKGROUND:** This item has been postponed at the request of the applicant.

## REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

**PREPARED BY:** Mark Shipley, Community Development Director  
Bart Hose, Assistant Community Development Director

**SUBJECT:** Discussion on amendments to the C-1 Mixed-Use Town Center portion of the Farragut Zoning Ordinance as applied to drive-throughs and menu boards on existing developments with drive-throughs that pre-date the Mixed-Use Town Center land use designation (McDonald's USA, LLC, Applicant)

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**INTRODUCTION AND BACKGROUND:** As you know, McDonalds is in the process of remodeling their Farragut store. The project also includes site improvements/changes that were initially approved in August 2018. They are working with a small existing site and internal traffic circulation is a concern. The circulation issue is particularly troublesome during peak times and is related to the orientation of the drive-thru lane within the existing parking lot. Unfortunately, the site was originally developed in 1985 when drive-thru traffic only accounted for approximately 30% of their customers. Today, drive-thru traffic accounts for most of their business. They would like to install a split side-by-side ordering station to deal with the traffic issue. This configuration will move traffic through the drive-thru lane and parking lot more efficiently and improve lot safety. Existing and proposed conditions are shown on drawings included in your packet.

**DISCUSSION:** Providing for the redevelopment of small existing sites within the Mix-Use Town Center planning area is a consideration. The Town's Land Use Plan speaks to incremental change and improvements, and there are preexisting sites that, in some cases, present redevelopment issues. This is particularly true with respect to some existing food establishments with drive-thru lanes.

The staff has prepared a possible change to the C-1 Mixed-Use Town Center zoning district to allow for greater drive-thru lane design flexibility where existing sites are being redeveloped. The proposal would add the following language to Chapter 3., Section XII. General Commercial District (C-1), Subsection F. Mixed-Use Town Center, Part 2. Permitted Principal and Accessory Uses and Structures, Subpart b. "Restaurants, tea rooms, cafes, coffee houses, bistros, or other similar establishments ..." (see Subpart b. attached).

Add the following.

7. The Planning Commission may approve alternative drive-thru lane configurations and minor modifications to the requirements of parts 1 – 6 above where an existing permitted establishment is being remodeled/redeveloped without a change of use. In granting such approvals, the planning commission shall consider and ensure that they are based on the following:
  - The physical nature of the preexisting site;
  - The extent of the redevelopment project;

- A finding that the proposed alternative design and/or modifications serve a related public purpose, such as improved traffic flow; and
- That the alternative design/modification is consistent with the general intent of these standards and represents the minimum modification necessary given the nature of the site and project.

RECEIVED

MAY 17 2019

APPLICATION TO AMEND ORDINANCE TEXT  
TOWN OF FARRAGUT, TENNESSEE

TOWN OF FARRAGUT

FOR OFFICE USE ONLY

Fee Paid: \$250

APPLICANT NAME: McDonald's USA, LLC

Address: 110 N Carpenter St

City/State/Zip: Chicago, IL 60607

Phone Number: 865-322-1954

Fax Number:

E-mail: Fred.Cox@us.mcd.com

CHANGE REQUESTED

Amend Zoning Ordinance, Sign Ordinance, or Municipal Code text as follows:

Mixed Use Town Center 2.b.2 The drive-through is limited to one lane ", but can have two order points".

2.b.4 The drive-through is limited to "two menu boards"

The proposed amendment is necessary due to the following changed or changing conditions: (be specific)

As part of McDonald's proposed remodel, we would like to install a side by side ordering station. When this store was constructed in 1985, the drive-through was an approximate 30/70 split with indoor dining. Today the drive-through accounts for the majority of customers. Allowing a double ordering point in the single drive-through lane will provide greater efficiency in the drive-through and thereby improved customer experience and lot safety.

May 15, 2019

APPLICANT SIGNATURE  
Fred Cox - McDonald's USA, LLC

DATE

OR

I HEREBY CERTIFY THAT I AM THE LEGAL REPRESENTATIVE FOR THE APPLICANT INVOLVED IN THIS REQUEST.

Fred Cox - McDonald's USA LLC 5-15-19  
NAME (SIGNATURE) DATE

7835 Boruff Rd Corryton TN 37721 865-322-1954  
Street Address City/State/Zip Telephone Number

F. *Mixed Use Town Center.*

1. *General Description and Purpose.*

In the Town's adopted Comprehensive Land Use Plan (CLUP), Strategy 1 describes the community's desire to Bring About a Downtown. Also included in the CLUP are land use descriptions related to the intent, uses, and character of what is described as a Mixed Use Town Center (MUTC). The CLUP also includes a future land use map which identifies locations for a MUTC.

The purpose of this section is to ensure that properties zoned C-1 that are within (i.e., at least half of the existing parcel) the area shown as Mixed Use Town Center are developed and redeveloped in a manner that is consistent with the CLUP.

Where a property is zoned C-1 and is shown to be within the area identified as MUTC on the Future Land Use Map, the following provisions shall apply.

2. *Permitted Principal and Accessory Uses and Structures.* (If a use is not listed below it shall not be permitted unless it is approved by the Board of Zoning Appeals as a Special Exception and the proposed use is consistent with the CLUP as it relates to the MUTC.)

a. Generally recognized retail sales. This excludes all outdoor sales or storage (unless part of an approved Farmers Market or similar seasonal pedestrian oriented use) and any "big box" entities where the total gross square footage exceeds 25,000 square feet.

b. Restaurants, tea rooms, cafes, coffee houses, bistros, or other similar establishments serving food or beverage that is primarily consumed within the principal building or in designated outdoor seating areas associated with the principal building. A drive-through lane may be permitted provided the following criteria are satisfied:

1. The property is a minimum of two acres and is a lot of record that has existing frontage on a street classified as a major arterial on the Major Road Plan;
2. The drive-through is limited to one lane;
3. The drive-through is located to the rear of the building or behind the building so that it is not visible from any abutting public rights-of-way;
4. The drive-through is limited to one menu board which shall be permitted provided all of the following criteria are satisfied:
  - a) The menu board and any associated apparatus shall be architecturally compatible with the principal building;
  - b) The menu board and any associated apparatus shall be screened with opaque materials (which may include evergreen plant material) so that, throughout the year, they are not visible from adjacent properties and/or rights of ways;
  - c) The screening plan for such menu board and associated apparatus shall be reviewed as part of the site and landscape plan review with the applicable standards in the Architectural Design Standards (ADS) also being applied; and
  - d) The menu board shall not exceed 36 square feet in size and 6 feet in overall height.
5. The entrance and exit to the drive-through leads to a parking area or service drive. The drive-through lane shall not be directly connected to a public street; and
6. The design shall minimize vehicle/pedestrian conflicts. The drive-through lane shall not separate parking lots from rear building pedestrian access doors or other pedestrian access ways.

Current DT equipment



Example of Proposed new ODMB, Pre Browse, Welcome Gateway and Order Point





## SINGLE 55"

Modular Range

Hot-dipped galvanized frame

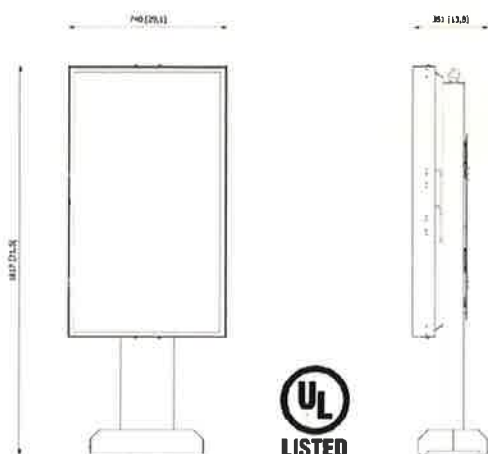
Aluminum panels

Modular Mounting Structure

Allows for various screen sizes with panel/mount replacement

Option for crane in or manual 2 person assembly

Currently designed for the Samsung OHF panel but mounting hardware can be modified for alternate screen specifications in future





## DOUBLE 55"

Modular Range

Hot-dipped galvanized frame

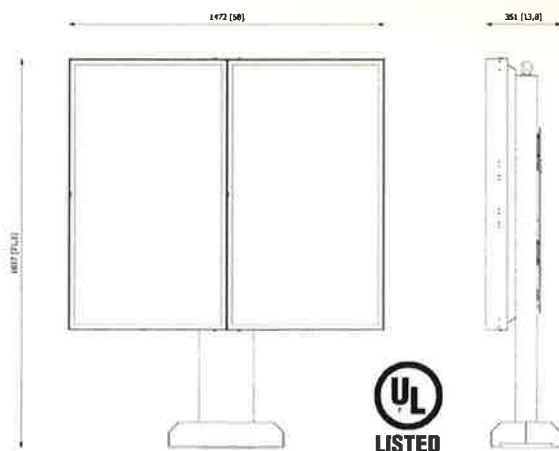
Aluminum panels

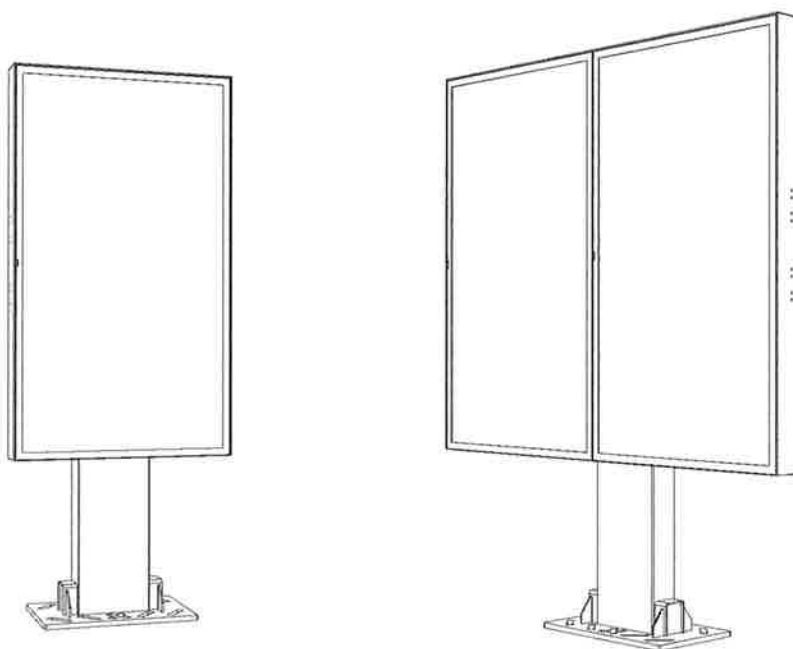
Modular Mounting Structure

Allows for various screen sizes with panel/mount replacement

Option for crane in or manual 2 person assembly

Currently designed for the Samsung OHF panel but mounting hardware can be modified for alternate screen specifications in future





## 55" Outdoor digital menuboard

02-55-2S/D Outdoor Menu Board  
Permitting Unit Information

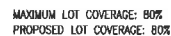
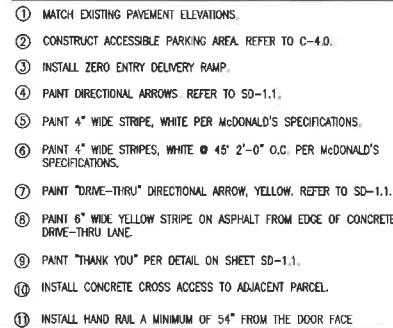
Version 1.0

Coates ODMB  
Single screen unit



Area of display





MCDONALD'S IS PROPOSING TO REMODEL AN EXISTING STORE LOCATED AT 11205 KINGTON PIKE IN FAIRGATE TENNESSEE. THE EXISTING SITE IS APPROXIMATELY 10 ACRES AND THE PROPOSED LIMITS OF DISTURBANCE IS APPROXIMATELY 02 ACRES. THERE IS NO PROPOSED INCREASE TO OVERALL IMPROVED AREA. THEREFORE NO STORMWATER MEASURES ARE REQUIRED. THE WORK THAT IS PROPOSED TO TAKE PLACE IS AS FOLLOWS:

- \* CORRECT ACCESSIBLE PARKING AND SIDEWALK SLOPES TO BE COMPLIANT WITH THE LATEST ACCESSIBILITY REQUIREMENTS AND PROVIDE ADEQUATE ACCESS TO THE PUBLIC ENTRANCES OF THE BUILDING.
- \* THE DRIVE TRUCK WILL BE RENOVATED TO MEET CURRENT MCDONALD'S CRITERIA. IN ORDER TO MEET THE STANDARD, THE CURBING AND PAVEMENT WILL BE REMOVED AND REINSTALLED IN A NEW LOCATION. THEREFORE THE EXISTING DRIVE TRUCK EQUIPMENT WILL BE REMOVED AND REPLACED WITH THE FOLLOWING:
  - \*\* MENU BOARD AND CANOPY
  - \*\* DRIVE TRUCK ENTRY IDENTIFICATION AND CLEARANCE BAR
- \*\* EXTERIOR BUILDING RENOVATION
  - \* MAINTAIN ROAD. THE BUILDING WILL BE RENOVATED TO MEET THE NEW MCDONALD'S STANDARD. SEAL COAT THE ENTIRE ASPHALT PARKING LOT AND RE-STRIPE ALL PARKING STALLS AND DIRECTIONAL ARROWS, AS AN ALTERNATE FOR THE OPERATOR, THE CONTRACTOR WILL PROVIDE SIGNAGE TO INDICATE TO THE DRIVER WHERE TO TURN OFF THE DRIVE CLOSURE. 1" THICK ASPHALT SURFACE. IT WILL THEN BE UP TO THE OPERATOR AS TO WHICH OF THESE TWO OPTIONS WILL BE USED. (NO SUBGRADE WILL BE DISTURBED WITH EITHER OPTION.)
  - \* CLEAN AND MODIFY EXISTING STORM DRAIN AND SURROUNDING AREA AS NECESSARY TO PREVENT EROSION AND MINOR FLOODING FROM OCCURRING DURING FLOOD UP TO 10% VULNERABILITY.
  - \* REMOVE THE EXISTING POLE SIGN AND INSTALL A NEW SITE IDENTIFICATION SIGN. (THIS WORK IS TO BE REVIEWED AND COMPLETED UNDER A SEPARATE PERMIT SET.)

1. THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON THE PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL ON HIS INITIATIVE AND AT NO EXTRA COSTS HAVE LOCATED ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPE, OTHER OBSTRUCTIONS OR FROM ANY DELAY DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NON-SUBSCRIBING UTILITIES. THE CONTRACTOR(S) SHALL CONTACT TOL 811 FOR ASSISTANCE IN LOCATING EXISTING UTILITIES. CALL AT LEAST 48 HOURS PRIOR TO ANY DIGGING.
2. THE LOCATIONS OF ALL UTILITIES SHOWN ON THESE PLANS ARE BASED ON THE AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UTILITIES WITH THE UTILITY OWNERS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
3. PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION OF ANY ITEM SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED ALL PLANS AND ANY OTHER DOCUMENTATION FROM ALL OF THE PERMITTING AND ANY OTHER REGULATORY AUTHORITIES. FAILURE OF THE CONTRACTOR TO FOLLOW THIS PROCEDURE SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATION OF THE WORK. MANDATED BY ANY REGULATORY AUTHORITY. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
4. THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES AND RIGHT-OF-WAYS, PUBLIC OR PRIVATE, PRIOR TO WORKING IN THESE AREAS. ACCESS SHALL BE LIMITED UNTIL PERMISSION IS GRANTED.
5. CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
6. CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL INSIDE OR OUTSIDE CONTRACT LIMITS DUE TO CONSTRUCTION OPERATIONS.
7. THE GENERAL CONTRACTOR SHALL KEEP THE AREA OUTSIDE THE "CONSTRUCTION LIMITS" BROOM CLEAN AT ALL TIMES AND REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.
8. BEFORE COMMENCEMENT OF WORK, THE CONTRACTOR SHALL REVIEW ALL PLANS AND SPECIFICATIONS AND THE JOB SITE. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER WHO PREPARED THE PLANS OF ANY DISCREPANCIES THAT MAY REQUIRE MODIFICATIONS TO THESE PLANS OR OF ANY FIELD CONFLICTS.
9. ALL PERMITS RELATIVE TO THE PROJECT MUST BE OBTAINED, PRIOR TO CONSTRUCTION. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
10. ALL WORK IN RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH "THE CURRENT EDITION OF THE STATE DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIALS SPECIFICATIONS".
11. CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR FURTHER AGREES TO REMAIN INDIVIDUALLY AND HOLD THE OWNER AND DESIGN PROFESSIONAL HARMLESS OF ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, ACCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR DESIGN PROFESSIONAL.
12. SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE "C" AS DEFINED BY HUD F.I.R.M. COMMUNITY PANEL NUMBER 47060302466, WITH AN EFFECTIVE DATE OF AUGUST 5, 2013.
13. CLT MAP: 143  
PARCEL #: 143 00118
14. PROPERTY SIZE: 1.0 ACRES  
DISTURBED AREA: 0.2 ACRES
15. PAVEMENT SPECIFICATIONS: CONTRACTOR TO REFER TO SOILS REPORT FOR SITE SPECIFIC PAVEMENT SPECIFICATIONS. McDONALD'S ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTION TEST AND/OR A CORE SAMPLE IF TESTS PROVE CORRECT, PER ABOVE SPECIFICATION, TESTS WILL BE AT McDONALD'S EXPENSE, OTHERWISE, GENERAL CONTRACTOR WILL BE CHARGED.
16. ALL SITE CONCRETE IS TO BE TREATED WITH WATER REPELLENT CONCRETE SEALER TO PROTECT THE SURFACES FROM SPALLING AND DAMAGE FROM CHEMICAL ATTACK OF CHLORIDE SALTS. SEALER SHOULD BE SILANE/SILOXANE WATER REPELLENT. RECOMMENDATIONS INCLUDE: PROSOCCO-SALTGUARD OR V-SEAL 102 WINTERGUARD.
17. THERE SHALL BE NO CLEARING, GRADING, CONSTRUCTION, OR DISTURBANCE OF SOIL AND/OR NATIVE VEGETATION WITHIN THE AQUATIC BUFFER EXCEPT AS PERMITTED BY THE TOWN OF FAIRBURY.

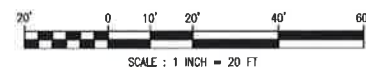
| ZONING REQUIREMENTS:                                     |           |          |          |          |
|----------------------------------------------------------|-----------|----------|----------|----------|
| SITE ZONING: C-1 - GENERAL COMMERCIAL DISTRICT (MUTC)    |           |          |          |          |
|                                                          | FRONT     | RIGHT    | LEFT     | REAR     |
| BUILDING SETBACKS:                                       | EXISTING  | EXISTING | EXISTING | EXISTING |
| REQUIRED PARKING:                                        |           |          |          |          |
| 1 SPACE/100 SF GFA + 1 SPACE/200 SF OUTDOOR SEATING AREA |           |          |          |          |
| 3,999 SF / 100 = 40 SPACES REQUIRED                      |           |          |          |          |
|                                                          |           |          |          |          |
| ANGLE:                                                   | 90°       | 60°      | 45°      | ADA      |
| STALL SIZE:                                              | 9' x 18'  | 9' x 18' | 9' x 18' | 8' x 18' |
| aisle dimension:                                         | 24'       | 18'      | 18'      | 18'      |
| SPACES SHOWN:                                            | 2         | 46       | 0        | 2        |
| MIN. REQUIREMENT:                                        | 40 SPACES |          |          |          |
| MAX. REQUIREMENT:                                        | =         |          |          |          |
| TOTAL SPACES PROVIDED: 50 SPACES                         |           |          |          |          |

**CURB & CUTTER**  
REFER TO SD-1.2

**CONCRETE SIDEWALK**  
REFER TO SD-1.2

**CONCRETE PAVEMENT**  
REFER TO SD-1.2

**DENOTES AREA TO BE PAVED WITH  
CONCRETE OR ASPHALT PAVEMENT.  
PROVIDE COSTS FOR EACH MATERIAL TO  
THE McDONALD'S AEA. REFER TO SD-1.2  
FOR PAVEMENT DETAILS.**



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|                                    |       |                    |                                                       |                    |                           |
|------------------------------------|-------|--------------------|-------------------------------------------------------|--------------------|---------------------------|
| SHEET NO                           | TITLE | DRAWN BY<br>NPM    | STOISSUE DATE                                         | REVIEWED BY<br>JAC | DATE ISSUED<br>11/19/2016 |
|                                    |       |                    | SITE ADDRESS<br>11005 ANNESTON PKW FARRAGUT, TN 37004 |                    |                           |
| DEPA # 70675<br>C-3.0<br>SITE PLAN |       | PREPARED BY<br>JAC |                                                       |                    |                           |



## REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

**PREPARED BY:** Mark Shipley, Community Development Director  
Bart Hose, Assistant Community Development Director

**SUBJECT:** Discussion on Planning Commission procedures as applied to the number of significant comments that remain on plans intended to come before the Commission and how to address approval subject to's that are not taken care of in a timely manner

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**INTRODUCTION AND BACKGROUND:** The Town and staff would like the Commission to consider adopting policies regarding the approval of plans and plats with "subject to" items remaining. As you know, the Planning Commission typically approves both plans and plats with significant numbers of "subject to" conditions and corrections. These "subject to" conditions run the gambit from simple editorial corrections to significant design changes. The Town and staff would like the Commission to consider placing limitations of the use of "subject to" approvals. In addition, we would also like the Commission to consider placing some type of time limitation (void date) on any future "subject to" conditions so they do not have to be tracked and followed up on for an indefinite period of time.

The proliferation of subject to approvals creates several problems or issues that the Commission should consider. These include:

- The current practice may encourage applicantes to submit plans and plats that are incomplete and/or not ready for submission simply to meet the agenda deadline. This complicates review activities and may also create a competitive disadvantage for developers and designers that strive to meet our standards.
- The need to process and review project plans multiple times. The Town's staff typically reviews project plans at least three times. In many instances, the plans and plats are initially submitted with numerous errors and/or are incomplete. This represents a potential misallocation of staff time.
- The Planning Commission is often put in a position of approving projects without complete information or finds itself agreeing to proposed design changes during a meeting without them having first been fully vetted by the Town's staff.

**DISCUSSION:** The staff has prepared the following draft policy language for discussion purposes only. We would like input from the Commission on the issue and how it might want to proceed, if at all. Ideally, if deemed desirable, the Commission should adopt any such policy through a resolution.

### **Possible Policy, For Discussion Purposes Only**

The Planning Commission shall generally not grant plan or plat approvals subject to significant design changes, missing plan/plat elements, or large numbers of corrections, modifications, or unresolved issues. Items that appear before the planning commission for action should be as complete as professionally practicable and ready for approval as presented. Where Planning Commission input and guidance is needed to advance a project, such input should be provided in a non-actionable (workshop) setting and considered as non-binding upon any final action. In support of this policy, the Town's staff is empowered to reject submittals and/or where required by State Law to place an item on the Commission's agenda after initial review and with a firm recommendation of denial.

Where the Planning Commission finds that a site plan submittal is inadequate and not ready for approval it may defer action until a subsequent meeting or simply deny approval and reject the submittal.

Where the Planning Commission finds that subdivision plat or related concept plan is inadequate and not ready for approval it may defer action until a subsequent meeting provided that the owner/applicant has waived the provisions of TCA 13-4-304, or simply deny approval and reject the submittal. The Planning Commission shall, however, deny approval of all such inadequate plat submittals where the owner/applicant has not waived the provisions of TCA 13-4-304.

This policy is not intended to apply to minor corrections that are limited in scope and number, or to submittal items such as letters of credit, drainage fees and NOC's, and TDOT permits that are not typically obtained prior to plan/plat approval. As such, the planning commission may grant approval subject to the following:

- Minor editorial corrections, such as spelling corrections, etc.;
- The addition of minor clarifying plan/plat notations or informational notes;
- The posting of letters-of-credit, required fees, etc.

In instances where the Planning Commission does choose to grant approval subject to conditions, all such conditions shall be satisfied within 180 days or the conditioned approval shall be considered void and the request denied.