



**AGENDA
FARRAGUT MUNICIPAL PLANNING COMMISSION**

**August 15, 2019
7:00 p.m. Farragut Town Hall**

For questions please e-mail Mark Shipley at mshipley@townoffarragut.org or Bart Hose at bhose@townoffarragut.org

- 1. Citizen Forum**
- 2. Approval of agenda**
- 3. Approval of minutes – July 18, 2019**
- 4. Discussion and public hearing on a revised site plan for drive-through lanes and building exterior modifications at the ORNL Federal Credit Union at 11405 Municipal Center Drive, 1 Acre, Zoned C-1/MUTC (Design Collaborative, Applicant)**
- 5. Discussion and public hearing on amending action taken by the Planning Commission on June 21, 1990 in relation to approval subject to's associated with final plat approval of Unit 4 of the Sweet Briar Subdivision (Town of Farragut, Applicant)**
- 6. Discussion and public hearing on a site plan for a generator and associated screening at the Summit View Nursing Home, 12823 Kingston Pike, 5 Acres, Zoned C-1 (Falconnier Design Company, Applicant)**
- 7. Discussion and public hearing on an amendment to the preliminary plat for the Enclave at Sheffield (Phase 4) to adjust the location of the sidewalks and minor property line adjustments (iLend Inc., Applicant)**
- 8. Discussion and public hearing on a final plat for Sassafras Meadows, 524 Dixon Road, 27.28 Acres, 4 Lots, Zoned R-1 (Lemay and Associates, Applicant)**
- 9. Discussion and public hearing on a grading plan for portions of the TN Knoxville/Furrow Property along Outlet Drive, Parcels 154.06, 154.07, 154.08, 154.09 and 154.10, Tax Map 130, roughly 24.07 Acres, Zoned C-2 (Land Development Solutions, Applicant)**
- 10. Discussion and public hearing on a grading plan for portions of 11153 and 11157 Kingston Pike, Zoned C-1 and FPD (Crossroads West Properties, Applicant)**

- 11. Discussion and public hearing on a preliminary plat for Phase I of Grigsby Park, Parcel 96 and 96.01, Tax Map 142, Grigsby Chapel Road across from the Wyndham Hall Subdivision, 4.636 Acres, 15 Lots, Zoned R-4 (Grigsby Park, LLC, Applicant)**
- 12. Discussion on options for amendments to the Farragut Zoning Ordinance in relation to providing for medium and high density multi-family zoning districts to be consistent with the Comprehensive Land Use Plan (Town of Farragut, Applicant)**
- 13. Approval of utilities**

Planning Commission Meeting Public Comment Protocol

The Planning Commission welcomes and invites citizens to participate in public meetings.

At the beginning of each meeting, there will be time reserved for public comment under the Citizen Forum agenda item. If you are interested in speaking, please fill out a blue comment card and turn it in to the Town Planner or staff member. This time is set aside specifically for comments on items that are not on the Planning Commission regular agenda for the meeting. Each speaker will be given five (5) minutes to speak on his/her topic.

During the regular agenda portion of the meeting there may be an allowance for public comment for each agenda item. The Chairman may recognize individuals for public comment based on the following guidelines:

1. The Chairman shall maintain and control the meeting to provide a professional and objective environment conducive to presentation and discussion of the agenda items;
2. Anyone interested in speaking should fill out a blue comment card stating which agenda item they would like to comment on and turn in to the Town Planner or a staff member;
3. Speakers shall come to the podium and identify themselves by name and address;
4. Public comment shall be limited to five (5) minutes per individual, time may be extended at the discretion of the Chairman; time is not transferable to other speakers;
5. Speakers should strive to avoid redundancy;
6. Comments shall address issues, not individuals or personalities;
7. Comments may support or oppose particular issues or measures, but the motives of those with differing views shall not be questioned or attacked;
8. Personal attacks and malicious comments shall not be tolerated;
9. An applicant, and/or their representative(s), for an item on the regular agenda shall be afforded the time necessary to present their request and respond to questions. The five (5) minute limitation shall not apply. However, the Chairman may ask an applicant to stay on point in order to facilitate the efficiency of the meeting.



**MINUTES
FARRAGUT MUNICIPAL PLANNING COMMISSION**

July 18, 2019

MEMBERS PRESENT

Rita Holladay, Chairman
Ed St. Clair, Vice-Chairman
Ron Williams, Mayor
Scott Russ
Noah Myers
Betty Dick
Rose Ann Kile
Jon Greene
Louise Povlin

MEMBERS ABSENT

Staff Representatives: Mark Shipley, Community Development Director
Bart Hose, Assistant Community Development Director
David Smoak, Town Administrator

Chairman Holladay called the meeting to order at 7 p.m.

1. Citizen Forum

Chairman Holladay and Vice-Chairman St. Clair noted that long time Planning Commission Chairman Robin Hill recently passed away. Chairman Holladay also reminded Commissioners of some upcoming training with MTAS. Mayor Williams welcomed Scott Russ as the new Planning Commissioner.

2. Approval of agenda

Motion was made by Mayor Williams to approve the agenda. Motion was seconded by Commissioner Myers and motion passed unanimously.

3. Approval of minutes – June 20, 2019

Commissioner Kile noted a typo on Agenda Item 10. Subject to this being corrected, a motion was made by Commissioner St. Clair to approve the minutes. Motion was seconded by Mayor Williams and motion passed unanimously with the exception of Commissioner Povlin who abstained due to being absent at the June meeting.

4. Election of Officers

A motion was made by Commissioner St. Clair to re-appoint Rita Holladay as Chairman. Motion was seconded by Mayor Williams and motion passed unanimously.

A motion was made by Commissioner Povlin to re-appoint Ed St. Clair as Vice-Chairman. Motion was seconded by Mayor Williams and motion passed unanimously.

For the position of Secretary, motions were made and seconded for both Rose Ann Kile and Jon Greene. By a vote of 5 to 3 Rose Ann Kile was selected.

5. Appointment of Youth Representative

A motion was made by Commissioner Povlin to nominate Melanie Cionfolo as the Planning Commission youth representative. Motion was seconded by Mayor Williams and the motion passed unanimously.

6. Discussion and public hearing on a site plan for a small cell support structure at 11473 Parkside Drive (MasTec/AT&T Mobility, Applicant)

Staff reviewed the project and recommended approval subject to the following:

- 1) Please ensure that no pedestrian facilities, other utilities, irrigation, or landscaping will be affected. If any areas are affected, please restore those to their pre-construction condition and ensure that all affected areas are completely stabilized (the Planning Commission may consider requiring a letter of credit to ensure that this occurs);
- 2) Please ensure that notification is provided to any affected entities prior to initiating work;
- 3) Please obtain a right of way permit from the Town. Please coordinate erosion control measures (if needed) with the Town staff. A pre-construction meeting will be required prior to initiating work. This will need to be coordinated with the Town's engineering staff;
- 4) Staff will ask the Town Attorney to prepare an agreement similar to the Zayo project for the shared use of a light pole;
- 5) Please coordinate old pole transport to Public Works with Public Works Director;
- 6) Please ensure that proper traffic control measures are in place and affected entities are notified; and
- 7) Please provide an as-built of the fiber line placement to the Town once the project is complete.

A motion was made by Commissioner Myers to follow staffs' recommendation. Motion was seconded by Commissioner Povlin and motion passed unanimously.

7. Discussion and public hearing on a site plan for drive-through lane and building exterior modifications at the ORNL Federal Credit Union at 11405 Municipal Center Drive, 1 Acre, Zoned C-1/MUTC (Design Collaborative, Applicant)

Staff reviewed the project and noted that the remaining comments included:

- 1) Please provide verification that the minimum masonry percentage is satisfied (or not at least not reduced) in relation to this project;
- 2) Please use discrete, earth tone colors on the ATM canopies and drive-through area. Staff does not support using bright colors in the drive-through area.

After a long discussion, a motion was made by Commissioner Myers to approve the site plan subject to the remaining staff comments being addressed and the designed blue corner of the building being re-visited with the Planning Commission at a future meeting due to it being incompatible with the colors promoted in the Mixed-Use Town Center area.

Motion was seconded by Mayor Williams. Motion passed 8-1, with Commissioner Povlin voting in opposition.

8. Discussion and public hearing on amendments to the C-1 Mixed-Use Town Center portion of the Farragut Zoning Ordinance as applied to drive-throughs and menu boards on existing developments with drive-throughs that pre-date the Mixed-Use Town Center land use designation (McDonald's USA, LLC, Applicant)

Staff reviewed this item and recommended approval of Resolution PC-19-07 which recommends approval of Ordinance 19-23. Some minor language modifications were noted by Commissioner Kile. A motion was made by Commissioner Povlin to approve Resolution PC-19-07 with the modifications suggested by Commissioner Kile being made. Motion was seconded by Mayor Williams and motion passed unanimously.

9. Discussion and public hearing on amendments to Chapters 2, 3, and 4 of the Farragut Zoning Ordinance related to the creation of the Outlet Drive Regional Entertainment and Employment District (OD-RE/E) that will replace the C-2-R/W District (RealtyLink, Applicant)

Staff reviewed this item and recommended approval of Resolution PC-19-09 which recommends approval of Ordinance 19-24. Some minor language modifications were noted by Commissioner Kile. A motion was made by Commissioner St. Clair to approve Resolution PC-19-09 with the modifications suggested by Commissioner Kile being made. Motion was seconded by Commissioner Kile and motion passed unanimously.

10. Discussion and public hearing on amendments to the Farragut Zoning Map for Parcels 154.06, 154.07, 154.08, 154.09, 154.10, 176.01, and 176.02, Tax Map 130 along the Outlet Drive corridor from C-2 and R-2 to OD-RE/E, Approximately 36 Acres (RealtyLink, Applicant)

Staff reviewed this item and recommended that Ordinance 19-25 be amended to exclude Parcel 176.01, Tax Map 130 due to the property being largely shown as open space on the future land use map. After a discussion, a motion was made by Commissioner St. Clair to approve Resolution PC-19-10 as submitted by the applicant. It was noted that the zoning change would not affect compliance with the Sinkhole Ordinance. Motion was seconded by Commissioner Kile and motion passed unanimously.

11. Discussion on a concept for Admirals Landing (a redevelopment of the Old Phillips 66 Gas Station), 11321 Kingston Pike, 1.19 Acres, Zoned C-1/MUTC (Doug Justus, Owner)

For discussion purposes only.

12. Discussion and public hearing on a resolution governing Planning Commission procedures as applied to the number of significant comments that remain on plans intended to come before the Commission and how to address approval subject to's that are not taken care of in a timely manner

Staff recommended approval of Resolution PC-19-08. A motion was made by Commissioner Povlin to approve Resolution PC-19-08 with a couple of very minor language changes. Motion was seconded by Chairman Holladay and motion passed unanimously.

13. Approval of utilities – TDS fiber extension along Station West Drive to service 11304 Station West Drive

Staff recommended approval subject to the following:

- 1) Please obtain a right of way permit from the Town. Please coordinate erosion control measures (if needed) with the Town staff;
- 2) Please restore any affected areas to their pre-construction condition and ensure that all affected areas are completely stabilized;
- 3) Please ensure that proper traffic control measures are in place and affected entities are notified; and
- 4) Please provide an as-built of the fiber line placement to the Town once the project is complete.

A motion was made by Commissioner Myers to follow staffs' recommendation. Motion was seconded by Commissioner Povlin and motion passed unanimously.

The meeting was adjourned at 9:55.

Rose Ann Kile, Secretary

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on a revised site plan for drive-through lane and building exterior modifications at the ORNL Federal Credit Union at 11405 Municipal Center Drive, 1 Acre, Zoned C-1/MUTC (Design Collaborative, Applicant)

INTRODUCTION AND BACKGROUND: This exterior renovation was discussed at last month's meeting. Some concerns were raised by the staff and commissioners about the color scheme used as part of the renovation and the fact that the building is situated within the Mixed-Use Town Center overlay area.

RECOMMENDATION: The main issue was a bright blue proposed on the southeast corner of the building and the drive through lanes. Commissioners ultimately voted to approve the site plan so the project could move forward with the exception of making the drive through lanes an earth tone to match earth tones that are being used on the building. Commissioners also asked that the sizable blue area on the southeast corner be re-visited and reduced perhaps in the form of a background color for the wall sign. These modifications would then need to be presented to the Planning Commission to ensure that the approval conditions had been satisfied.

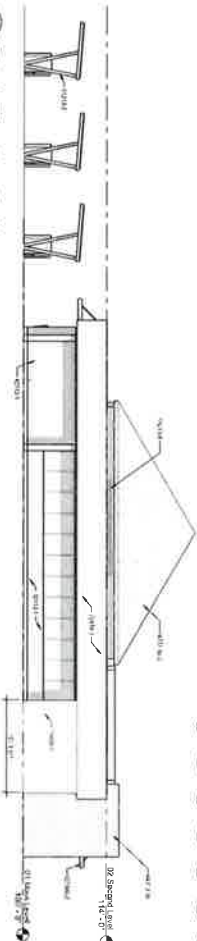
Included in your packet is a copy of the color rendering proposed last month and the revisions prepared by the applicant. Staff supports the revisions proposed.

from July meeting

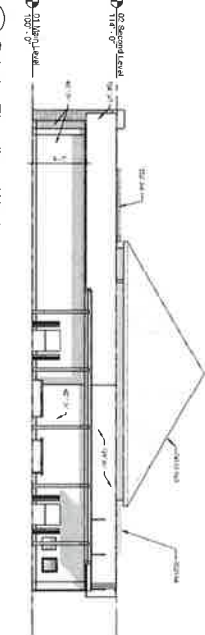




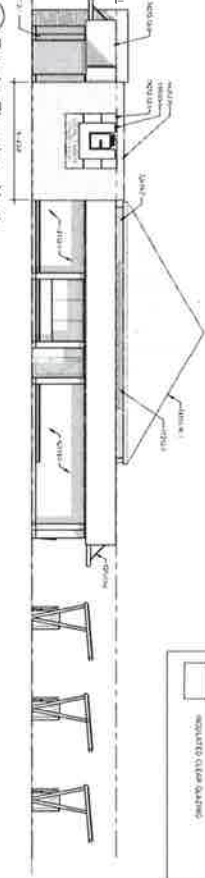
4 Exterior Elevation - South



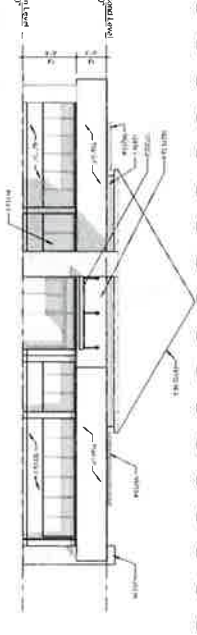
3 Exterior Elevation - West



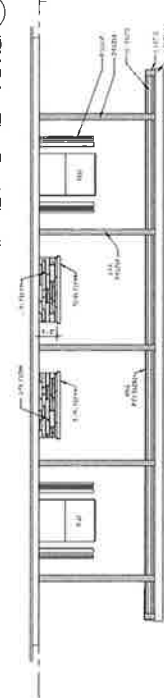
2 Exterior Elevation - North



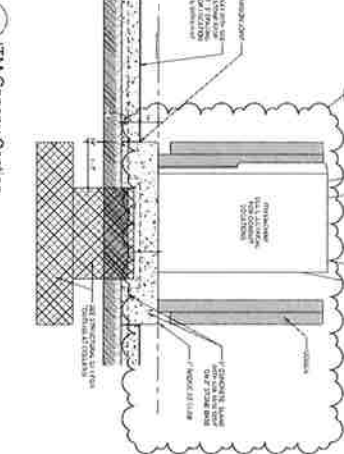
1 Exterior Elevation - East



5 ITM Drive-Thru Front Elevation



7 ITM Canopy Section



ELEVATION GRAPHIC LEGEND

- ASPH/CM - BRICK VENTILATOR
- ASPH/CM - STONE VENTILATOR
- ASPH/CM - STONE VENTILATOR

EXTERIOR ELEVATION KEYNOTES

1. ALL EXTERIOR ELEVATIONS SHALL BE CONFORMANT WITH THE LATEST EDITION OF THE 2018 INTERNATIONAL BUILDING CODE (IBC) AND THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC).
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10. ALL EXTERIOR ELEVATIONS SHALL BE CONFORMANT WITH THE LATEST EDITION OF THE 2018 INTERNATIONAL BUILDING CODE (IBC) AND THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC).

**ORNL
FEDERAL
CREDIT UNION**

FARRAGUT BRANCH
FARRAGUT, TENNESSEE

**DESIGN
COLLABORATIVE**

People first places

CERTIFICATION

LEED GREEN BUILDING CERTIFICATION

LEED GREEN BUILDING CERTIFICATION

DATE	PROJECT
06/10/2019	2018.0122
TITLE	
Exterior Elevations	

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on amending action taken by the Planning Commission on June 21, 1990 in relation to approval subject to's associated with final plat approval of Unit 4 of the Sweet Briar Subdivision (Town of Farragut, Applicant)

INTRODUCTION AND BACKGROUND: This agenda item was presented to the Planning Commission for information purposes only on January 18, 2018. It is now coming back to the Commission at the recommendation of the Town Attorney for the purpose of the Commission re-visiting action that was taken in 1990 in association with a final plat approval for Unit 4 of the Sweet Briar Subdivision. Specifically, and as noted in the June 21, 1990 FMPC Minutes that are included in your packet, the Planning Commission recommended approval of Unit 4 subject to four conditions which included tree planting along Lot 56, a paved parking lot with 32 parking spaces, a swimming pool with a minimum size of 20x50, and a soccer field. These conditions, with the exception of the tree planting, were collectively referred to as "recreational facilities" and were to be constructed on Lot 57, an open space lot in Unit 4 that contains roughly 3.91 acres.

After the approval, the developer, Claude (Jerry) McSpadden, proceeded with house construction in Unit 4 but did not address the conditions stipulated by the Planning Commission as part of their plat approval. When the last house lot in Unit 4 (Lot 37) was approved for a building permit in 1996, the Town staff was reminded of the Planning Commission approval conditions that had still not been satisfied by the developer. Though no building construction had yet been initiated, a stop work order was subsequently issued for Lot 37 in an effort to make the developer follow through with completing the conditions imposed by the Planning Commission in 1990.

Instead of addressing the Unit 4 conditions, the developer submitted a plat for the final phase of Sweet Briar (Unit 5) in 1997. The staff consulted with the Town Attorney (at that time), David Rodgers, about whether Unit 5 could be denied until the approval conditions for Unit 4 had been satisfied. The Town Attorney indicated that he felt Unit 5 could not be denied since the conditions were in relation to Unit 4. The stop work order that was originally issued on Lot 37 was rescinded but, in accordance with the Town's Municipal Code, the building permit was revoked due to Mr. McSpadden's failure to comply with the Planning Commission's approval conditions related to Unit 4.

Unit 5 was built out and Jerry McSpadden passed away a few years ago and both Lot 37 and Lot 57 have been maintained (periodic mowing) by his estate. An additional open space lot (Lot 76) that was platted as part of Unit 5 has also been maintained by Mr. McSpadden's estate.

DISCUSSION: As part of the administration of the probate estate of Dorothy McSpadden, the estate is now divesting itself of the remaining three lots (Lots 37, 57, and 76) that it owns in Sweet Briar. Only Lot 37 is a buildable lot for house construction. However, for clarification purposes, before a building

permit can be applied for and issued for Lot 37, the staff and the Town Attorney recommend that the Commission amend the conditions imposed at the June 21, 1990 meeting.

RECOMMENDATION: Obviously, there is no intention or expectation at this point for the “recreational facilities” referenced in 1990 to be constructed on Lot 57. Staff would recommend that the approval condition noted above for Unit 4 of Sweet Briar be removed. This in no way will affect Lot 57 and how it is platted as part of the recorded Unit 4 plat. Per the recorded plat, Lot 57 is only to be used for recreational purposes and permanent open space.

OFFICIAL MINUTES

Farragut Municipal Planning Commission
June 21, 1990

Members Present

Bob Hill
Robert Leonard
Art Akers
Russ Flanary
Mili Bass
Ed St. Clair
John Griess
Bill Henry

Members Absent

Staff Representatives

Chris Wood-Newman, TOF
Bill Hammon, TOF
Ruth Hawk, TSPO

Mayor Robert Leonard pre-empted the meeting with a press conference to announce the Tennessee Department of Transportation's plans for changes to the Campbell Station Road and Lovell Road interstate interchanges, which include a frontage road. Mayor Leonard told residents that he needed their support and attendance at a public hearing to be held on July 19, at which time an alternate plan will be presented to state officials by the Town of Farragut. Mayor Leonard stated that, because of the adverse impact upon Campbell Station Road, the Town opposes the proposed plan.

Chairman Bob Hill called the meeting to order at 7:45 p.m. Chairman Hill announced the resignation of Connie Rutenber, reading her letter of resignation, and praised her years of service on the planning commission and the planning commissions' loss and the Board of Mayor and Aldermen's gain.

Chairman Hill asked for an amendment to the agenda to elect a secretary to replace Connie Rutenber as secretary. A motion to amend the agenda and nominate Art Akers to serve as secretary was made by Commissioner St. Clair. The second was made by Commissioner Flanary. The motion passed unanimously.

Approval of Minutes.

A motion to approve the minutes of June 7, 1990, with the correction of "Rob" Hill to "Bob" Hill, was made by Commissioner Akers. The second was made by Commissioner Bass. The motion passed unanimously.

Public hearing on a request to amend the Farragut Subdivision

Regulations regarding lot identification.

Staff stated that this resolution (90-11) is to amend the subdivision regulations to help alleviate identification problems for the Town administration in dealing with such issues as drainage and overgrown lawns; that the subdivision regulations currently require lot identification and that only the stake and letter sizes have been changed.

A motion was made by Mayor Leonard to defer consideration of the matter until after Items 3 and 4 were heard, so that the two subdivisions being heard at this meeting would not have to comply with this change. The second was made by Commissioner Bass. That motion was amended by Chairman Hill to include the addition of the words, "30 days", to the resolution so that the amendment would read "in full force and effect 30 days from and after the date of passage of this Resolution". The second was made by Commissioner Bass. The motion passed.

Public hearing on a request for final approval of Unit 4, Sweet Briar Subdivision.

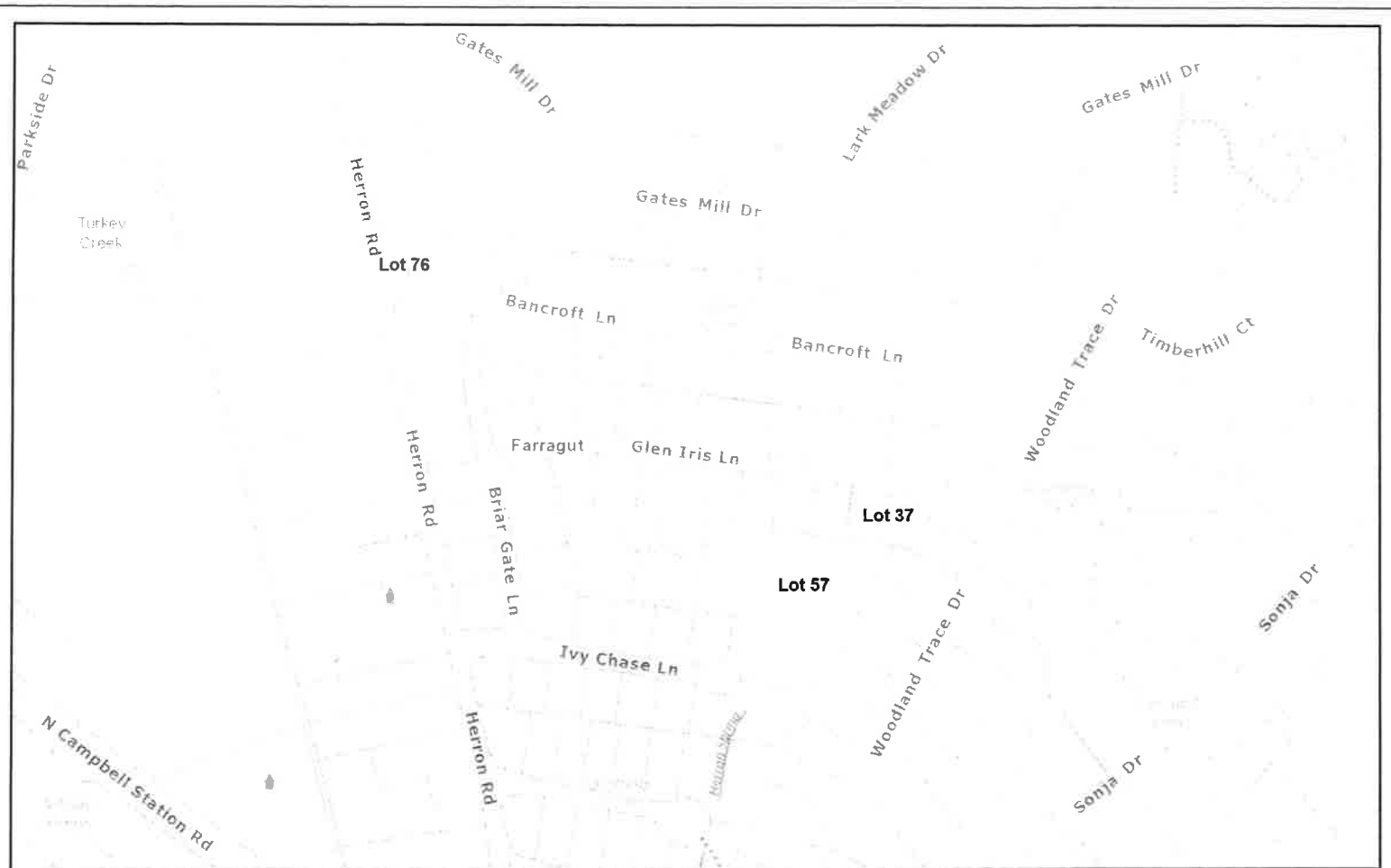
Staff stated that an additional 20' walkway has now been platted between Lots 43 and 44 and that a warranty deed to the Town has been executed transferring the recreational area in Unit 3. Staff recommended approval of the request, subject to the following: 1) The planting of trees along the north and east elevations of Lot 56 (rear and side); 2) Paved parking for 32 parking spaces; 3) A pool of a minimum of 50'x 20'; and, 4) A soccer field. All of these to be constructed by the completion of Phase 1, Unit 4 of the subdivision.

Chairman Hill requested that a complaint of Mr. John Hoffman, President of the Sweet Briar Homeowners' Association, regarding certain lots within the subdivision, be turned over to the the Town's building inspection/codes enforcement office.

A motion to grant the request for final approval of Unit 4, Sweet Briar Subdivision, subject to the aforementioned stipulations, was made by Commissioner Flanary. The second was made by Alderman Griess. The motion passed unanimously.

Public hearing on a request for final approval of Unit 4, Fort West Subdivision.

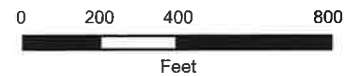
Staff recommended approval of this request, subject to the completion or bonding of improvements. A motion to grant the request for final approval of Unit 4, Fort West Subdivision, subject to the completion or bonding of improvements was made by



Sweet Briar Subdivision

Lots 37, 57, and 76

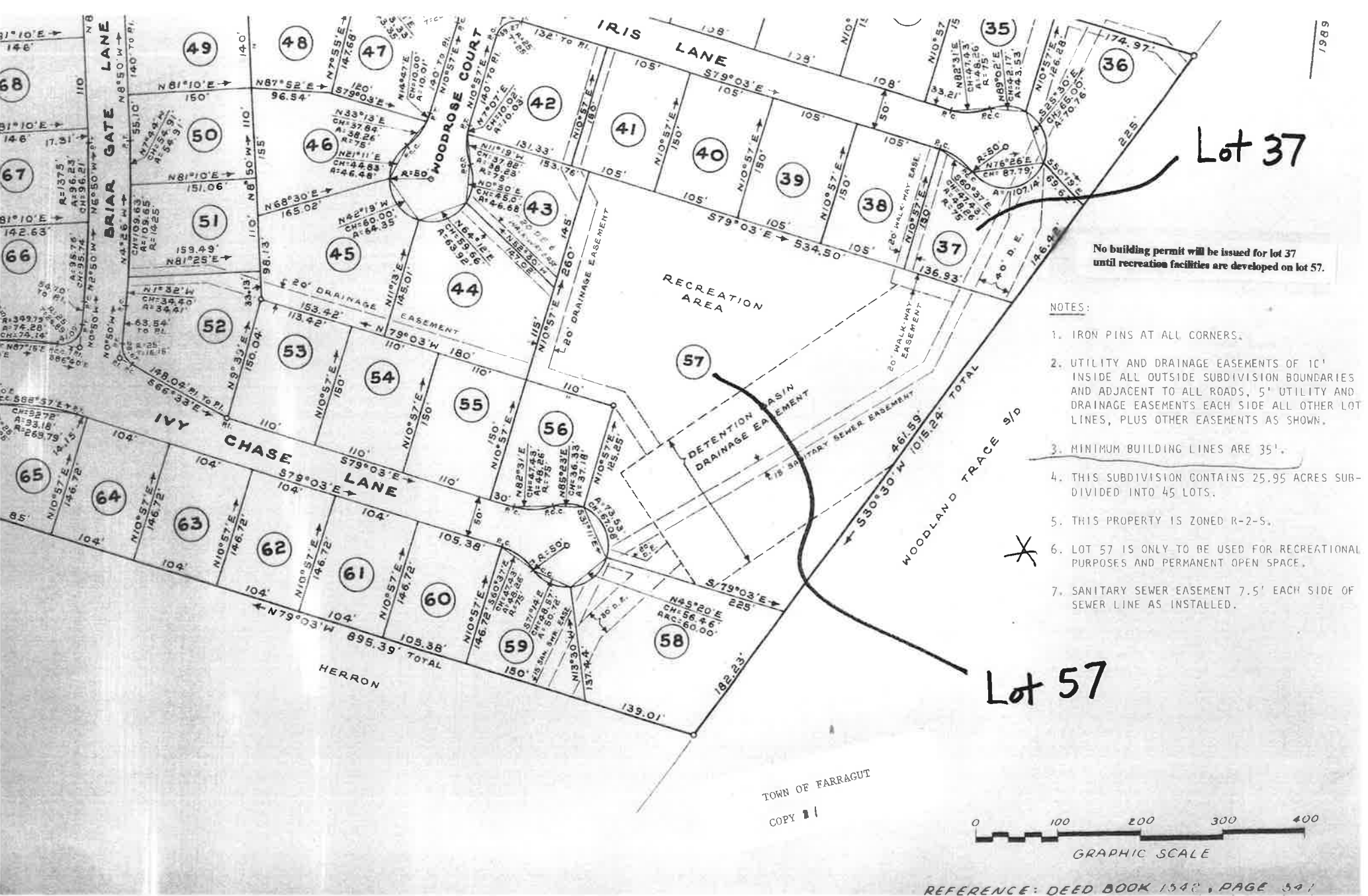
Notes



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Printed: 1/11/2018 11:47:10 AM



CERTIFICATE OF APPROVAL FOR RECORDING

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HERE HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS FOR FARRAGUT, TENNESSEE, WITH THE EXCEPTION OF SUCH VARIANCES, IF ANY, AS ARE NOTED IN THE MINUTES OF THE PLANNING COMMISSION AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE CLERK OF THE REGISTER OF DEEDS.

DATE

SECRETARY PLANNING COMMISSION

I HEREBY CERTIFY THAT I HAVE REVIEWED THE PLAT AND THE SEWER SYSTEM UTILIZED ON INDICATED ON THE PLAT SUBDIVISION PLAT INTENDED TO BE USED IN THE PLAT. I HAVE BEEN INSTALLED IN ACCORDANCE WITH CURRENT LOCAL AND STATE GOVERNMENT REQUIREMENTS.

MAN, PLAT, AND AGENT
AUTHORITIES ALLOWING A BIRTH

1-9-98
DATE

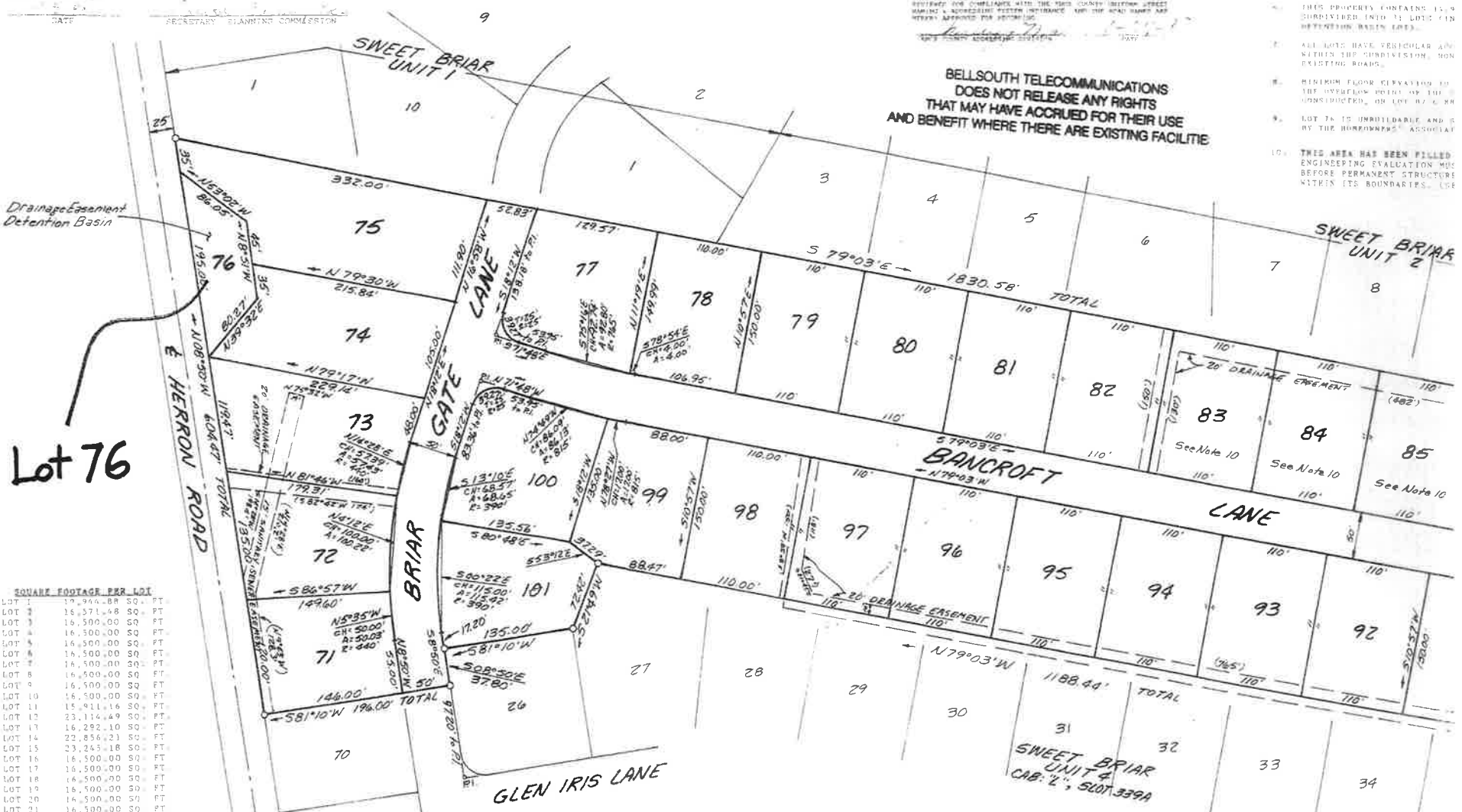
TELEPHONE NAME, TITLE AND AGENT
OF AUTHORIZED APPROVING AGENT

CERTIFICATE OF APPROVAL OF STREET NAME

THIS IS TO CERTIFY THAT THE SUBDIVISION SHOWN HEREIN HAS BEEN REVIEWED FOR COMPLIANCE WITH THE 1990 COUNTY ENGINEERING STREET MARKING & ADDRESSING SYSTEM REQUIREMENTS AND THE ROAD NAME AND NUMBER APPROVED FOR RECORDING.

BELLSOUTH TELECOMMUNICATIONS
DOES NOT RELEASE ANY RIGHTS
THAT MAY HAVE ACCRUED FOR THEIR USE
AND BENEFIT WHERE THERE ARE EXISTING FACILITIES

1. SANITARY SEWER EASEMENTS OF SIDE OF SEWER ARE INSTALLED (WHERE APPLICABLE)
2. THIS PROPERTY IS ZONED R-20
3. BUILDING SETBACK LINES ARE 10' FROM THE STREET OF RECORD
4. THIS PROPERTY CONTAINS 15.9 ACRES (15.9 ACRES) (15.9 ACRES) (15.9 ACRES)
5. ALL LOTS HAVE VARIANCES AND WITHIN THE SUBDIVISION, NON EXISTING ROADS.
6. MINIMUM FLOOR ELEVATION TO THE OVERFLOW POINT OF THE SUBDIVISION, OR 10' A.D. OR 10' A.D.
7. LOT 76 IS UNDEVELOPED AND IS BY THE HOMEOWNERS' ASSOCIATION
8. THIS AREA HAS BEEN FILLED. ENGINEERING EVALUATION MUST BE BEFORE PERMANENT STRUCTURE WITHIN ITS BOUNDARIES. USE



LOT	SQ. FT.	AC.
LOT 1	10,944.88	0.25
LOT 2	16,371.48	0.37
LOT 3	16,500.00	0.38
LOT 4	16,500.00	0.38
LOT 5	16,500.00	0.38
LOT 6	16,500.00	0.38
LOT 7	16,500.00	0.38
LOT 8	16,500.00	0.38
LOT 9	16,500.00	0.38
LOT 10	16,500.00	0.38
LOT 11	15,911.16	0.36
LOT 12	23,114.49	0.53
LOT 13	16,292.10	0.37
LOT 14	22,856.21	0.52
LOT 15	23,243.18	0.53
LOT 16	16,500.00	0.38
LOT 17	16,500.00	0.38
LOT 18	16,500.00	0.38
LOT 19	16,500.00	0.38
LOT 20	16,500.00	0.38
LOT 21	16,500.00	0.38
LOT 22	16,500.00	0.38
LOT 23	16,895.86	0.39
LOT 24	19,458.88	0.45
LOT 25	16,577.11	0.38
LOT 26	16,487.78	0.38
LOT 27	20,799.98	0.47
LOT 28	22,414.17	0.51
LOT 29	22,014.20	0.50
LOT 30	10,247.83	0.23

CERTIFICATION OF COMMON AREAS DEDICATION

AS OWNERS, IN RECORDING THIS PLAT, I HAVE DESIGNATED CERTAIN AREAS OF LAND SHOWN HEREIN AS COMMON AREAS INTENDED FOR USE BY THE HOMEOWNERS WITHIN THE PLAT. I HAVE BEEN INSTALLED IN ACCORDANCE WITH CURRENT LOCAL AND STATE GOVERNMENT REQUIREMENTS.

INST: 59069 CAB: P SLIDE: 136A
REC'D FOR REC 03/13/1998 15:46:59 KNOX CO. TN
RECORD FEE: \$ 10.00
MORTGAGE TAX: \$

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Bart Hose, Assistant Community Development Director

SUBJECT: Discussion and public hearing on a site plan for a generator and associated screening at the Summit View Nursing Home, 12823 Kingston Pike, 5 Acres, Zoned C-1 (Falconnier Design Company, Applicant)

INTRODUCTION AND BACKGROUND: The applicants are requesting site plan approval for the replacement of an existing generator and the installation of associated screening at the Summit View Nursing Home located at 12823 Kingston Pike. The replacement generator is significantly larger and taller than the existing unit on the site. The unit will be located in an existing service/mechanical/utility area located on the west side of the building along N. Hobbs Rd. The area is only partially screened at the present time.

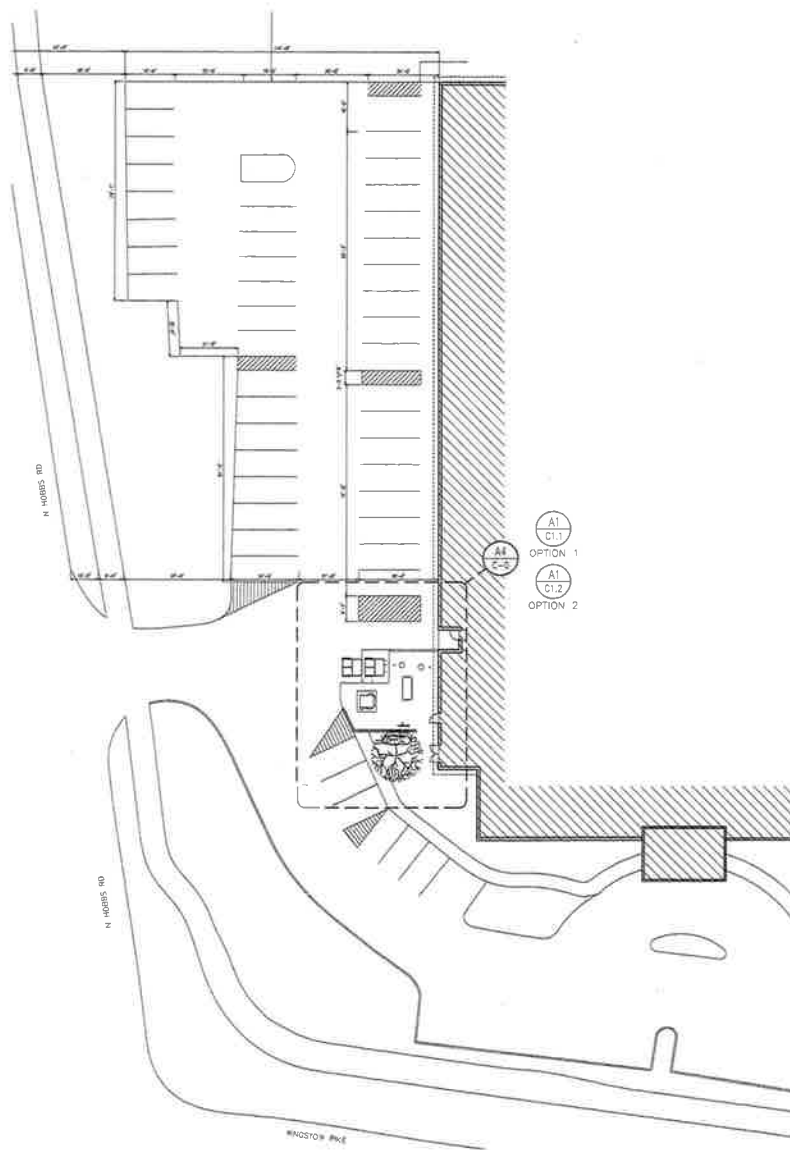
DISCUSSION: The applicants have submitted two site plan options for the project. The first involves fully screening the entire service area. This would include the new generator along with an existing transformer, two dumpsters, and several other utility/service elements. The second option includes only an additional screening wall for the new generator and would leave the dumpsters and transformer only partially screened from one direction. The new generator is approximately twelve feet tall and would project above the proposed screening wall in both options.

The staff has discussed the request with the applicants, and it was also discussed at the staff-developer meeting. There is a clear preference for the fully screened option. In addition, the staff is of the opinion that allowing the generator to extend above the screening wall is visually preferable to having a large twelve-foot high screen wall at this location. The staff feels that painting the upper portion of the generator to blend in with the building would be an acceptable alternative to increasing the wall's height. In addition, given the existing nature of site, the staff feels that the use of a mixture of architecturally compatible materials for the screening wall, as opposed to all brick, is a reasonable alternative.

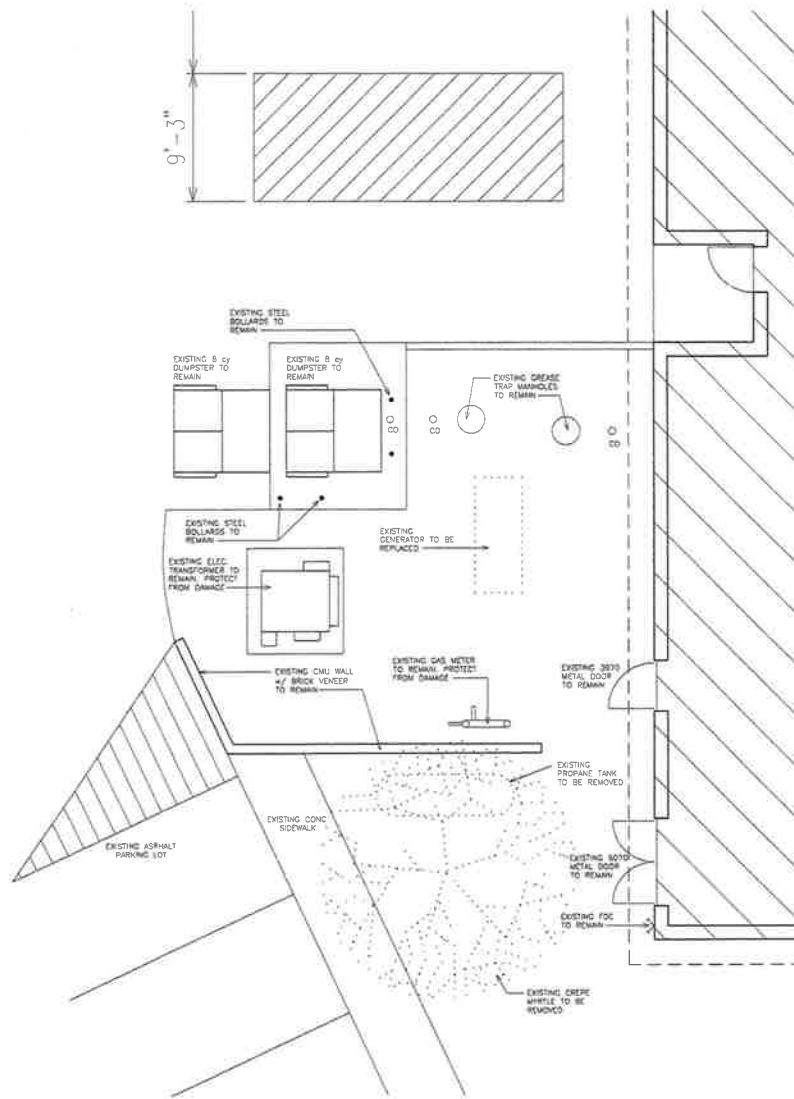
RECOMMENDATION: The staff recommends fully screening the service/mechanical/utility area as proposed, including both new and existing elements. The recommendation includes painting the portion of the generator that extends above the screening wall to blend with the existing building color. The recommendation also includes the use of architecturally compatible screening materials in the place of brick for the new/extended wall sections.







A1 EXISTING SITE PLAN
1" = 20'-0"



A4 EXISTING SITE PLAN DETAIL
1/4" = 1'-0"

Vreeland
Engineers, Inc.
3107 Shoberfield Ave
P.O. Box 19665
Knoxville, TN 37929
865-587-4401
1-800-582-4788
virelandengineers.com

FALCONNIER
DESIGN COMPANY
4622 Chomble Avenue
Knoxville, TN 37929
Phone 865-584-7568
Fax 865-584-9159
faldisco@gmail.com
© copyright 2019

PRELIMINARY REVIEW
NOT FOR CONSTRUCTION
07/15/19

NEW GENERATOR

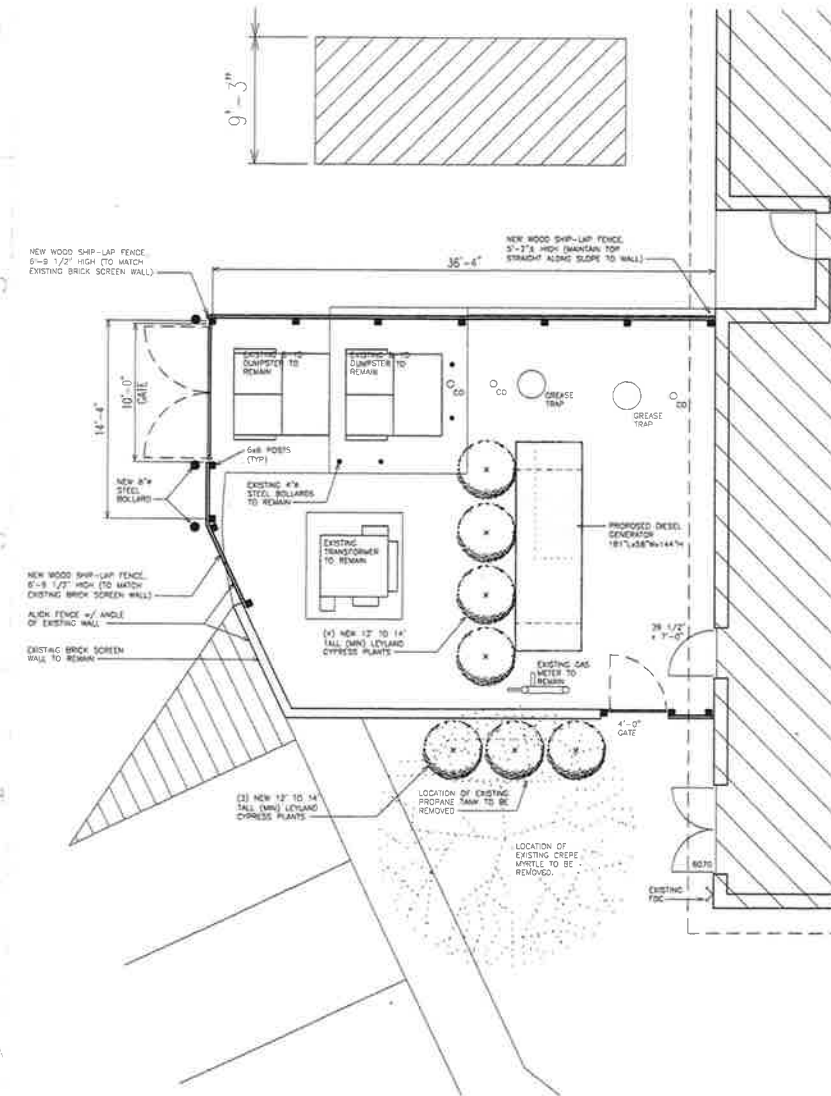
SUMMIT VIEW of FARRAGUT
12823 KINGSTON PIKE
FARRAGUT, TN 37934

EXISTING SITE
PLAN

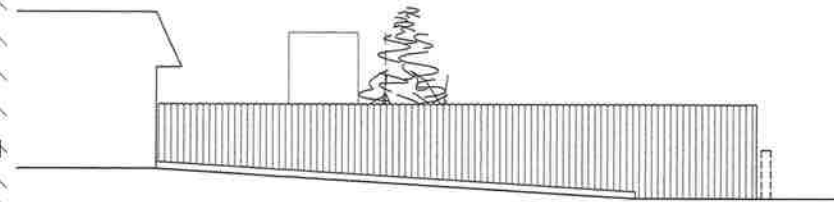
AS INSTRUMENTS OF SERVICE, THESE
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THEIR ARE THE PROPERTY OF VREELAND
ENGINEERS, INC. AND AS SUCH ARE PROTECTED
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REPRODUCTION OR USE OF THESE DRAWINGS
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WITHOUT WRITTEN CONSENT FROM VREELAND
ENGINEERS, INC. IS PROHIBITED. UNAUTHORIZED
USE WILL BE SUBJECT TO LEGAL ACTION.

DRAWN BY: CM/DHF
CHECKED BY: DAF
ISSUED: ~
REVISION(S):
Δ - Δ -
FILE: 2019-054

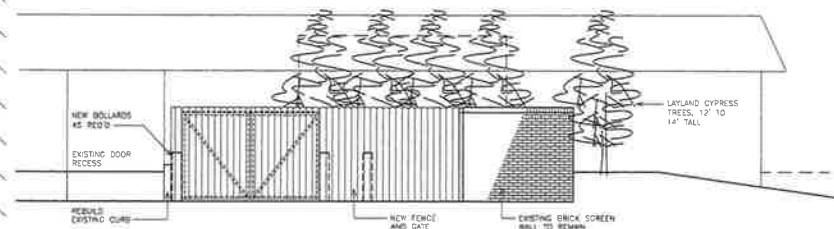
C-0



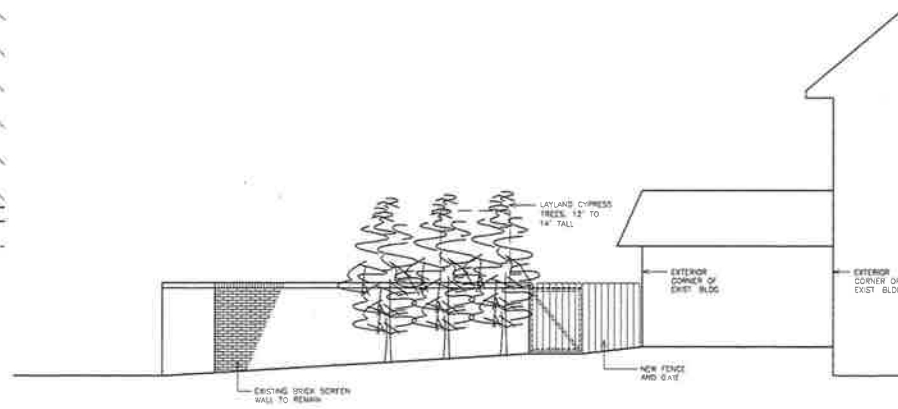
A1 PARTIAL SITE PLAN OPTION 1
1/8" = 1'-0"



D4 NORTH ELEVATION
1/4" = 1'-0"



C4 HOBBS ROAD ELEVATION
1/4" = 1'-0"



A4 KINGSTON PIKE ELEVATION
1/4" = 1'-0"

Vreeland Engineers, Inc.
3107 Shiloh Road
P.O. Box 10442
Knoxville, TN 37909
865-584-4411
1-800-362-4789
www.vreelandengineers.com

FALCONNIER DESIGN COMPANY
4622 Chondal Avenue
Knoxville, TN 37919
Phone 865.584.7868
Fax 865.584.3159
falconsco@gmail.com
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PRELIMINARY REVIEW
NOT FOR CONSTRUCTION
07/15/19

NEW GENERATOR

SUMMIT VIEW OF FARRAGUT
12823 KINGSTON PIKE
FARRAGUT, TN 37934

SITE PLANS
NEW EQUIPMENT
& SCREEN WALLS
OPTION 1

AS INSTRUMENTS OF SERVICE, THESE DRAWINGS AND THE WORK REPRESENTED BY THEM ARE THE PROPERTY OF DAVID A. FALCONNIER AND AS SUCH ARE PROTECTED BY STATE AND FEDERAL COPYRIGHT LAWS. REPRODUCTION OR USE OF THESE DRAWINGS OTHER THAN FOR THE PROJECT INTENDED WITHOUT WRITTEN CONSENT FROM DAVID A. FALCONNIER IS PROHIBITED. UNAUTHORIZED USE WILL BE SUBJECT TO LEGAL ACTION.

DRAWN BY: DM/GHF
CHECKED BY: DAF
ISSUED: -
REVISION(S):
1 -
2 -
3 -
4 -
5 -
6 -
7 -
8 -
9 -
10 -

FILE: 2019-054

C1.1

NEW GENERATOR

SUMMIT VIEW of FARRAGUT
12823 KINGSTON PIKE
FARRAGUT, TN 37934

SITE PLANS

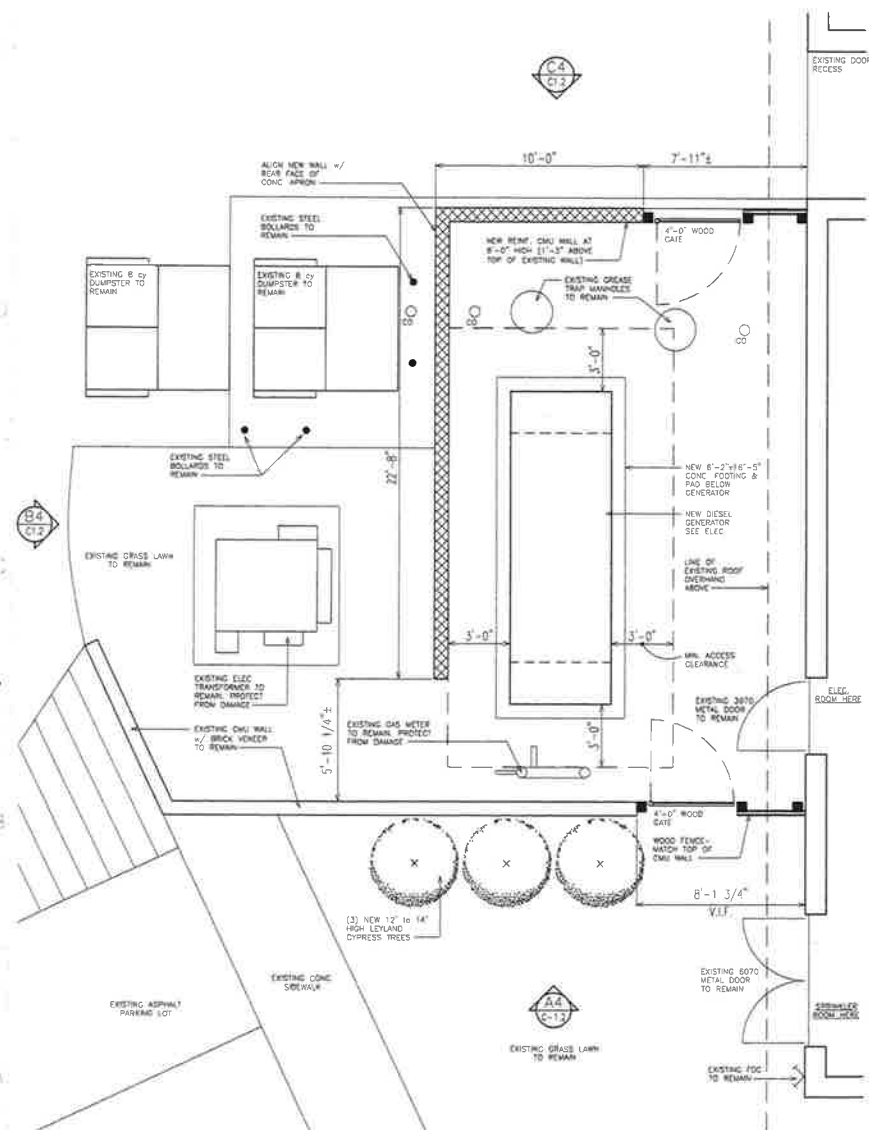
NEW EQUIPMENT
& SCREEN WALLS
OPTION 2

AS INSTRUMENTS OF SERVICE, THESE DRAWINGS AND THE DESIGN REPRESENTED BY THEM ARE THE PROPERTY OF DAMON A. FALCONNER AND AS SUCH ARE PROTECTED BY STATE AND FEDERAL COPYRIGHT LAWS. REPRODUCTION OR USE OF THESE DRAWINGS OTHER THAN FOR THE PROJECT INTENDED WITHOUT WRITTEN CONSENT FROM DAMON A. FALCONNER IS PROHIBITED. UNAUTHORIZED USE WILL BE SUBJECT TO LEGAL ACTION.

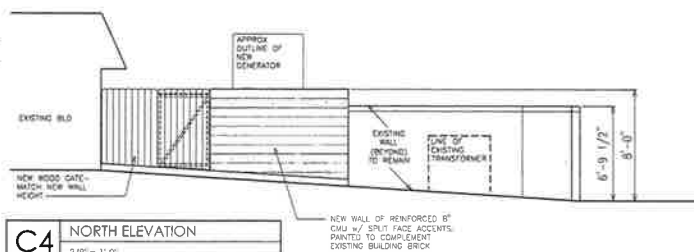
DRAWN BY:	DM/GHF
CHECKED BY:	DAF
ISSUED:	~
REVISION(S):	

File:	2019
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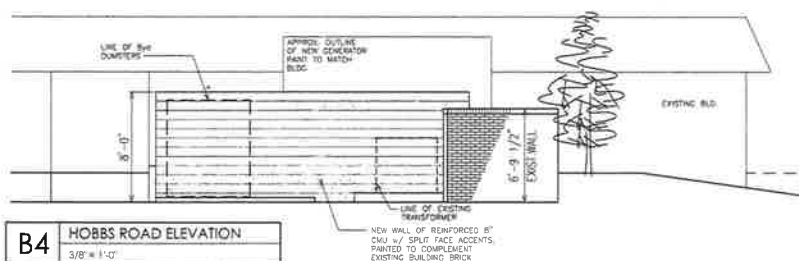
C1.2



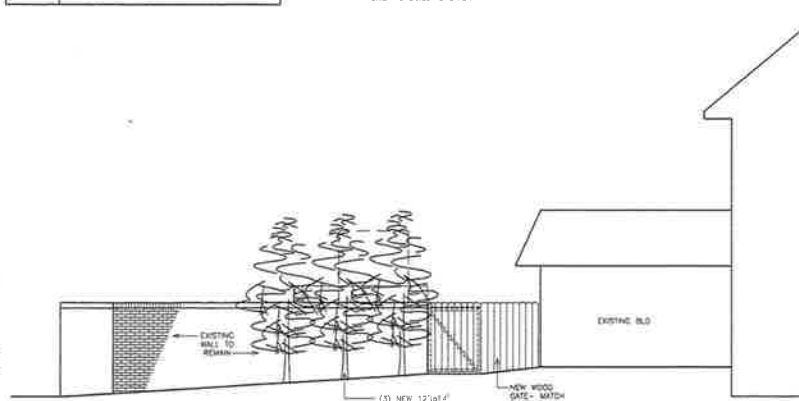
A1	PARTIAL SITE PLAN OPTION 2
	3/8" = 1'-0"



C4	NORTH ELEVATION
	3/8" = 1'-0"



B4	HOBBS ROAD ELEVATION
	3/8" = 1'-0"



A4	KINGSTON PIKE ELEVATION 3/8" = 1'-0"
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REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

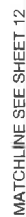
PREPARED BY: Bart Hose, Assistant Community Development Director

SUBJECT: Discussion and public hearing on an amendment to the preliminary plat for the Enclave at Sheffield (Phase 4) to adjust the location of the sidewalks and minor property line adjustments (iLend Inc., Applicant)

INTRODUCTION AND BACKGROUND: The applicants are requesting several minor amendments to the preliminary subdivision plat for the Enclave at Sheffield (Phase 4). As you know, the Enclave at Sheffield (Phase 4) is a small addition to the larger Sheffield Subdivision, located at the end of Thornbush Lane. It received preliminary approval in September of 2018 and includes 18 residential lots, 3 open-space lots, and two short cul-de-sacs in a “U” configuration extending from the end of Thornbush Lane.

DISCUSSION: The requested plat amendments involve changes to the planning sidewalks and several minor lot line adjustments. The applicants are requesting approval to relocate the proposed sidewalks along the internal streets from the outside of the “U” to the inside. They are also proposing to eliminate a short sidewalk connection segment along Thornbush Lane. These changes are apparently related to grading. Staff has discussed the changes and is not opposed to them. Relocating the sidewalks from one side of the roadways to the other will not affect walkability in the area. The staff also does not believe that eliminating the sidewalk link along Thornbush lane will unduly impact connectivity. Thornbush Lane is approximately 100 feet long, and the low traffic volume expected from the Enclave should allow pedestrians and bicyclists to utilize the roadway for access to sidewalks within the larger Sheffield development. In addition, the developers are providing a walking trail link to the Town’s existing trail located just to the north of the subdivision. The existing trail intersects with the Sheffield sidewalk system only a short distance from the intersection of Thornbush Lane with Inglecrest Lane and will provide an alternate connection point for those not wanting to use the roadway. Finally, the lot line adjustments are minor changes and no additional lots are being created.

RECOMMENDATION: The staff will recommend in favor of the proposed changes. A detailed recommendation with any needed conditions (subject to’s) will be provided at the meeting.



Developer:
Dave Wilkinson
6041 Executive Park Dr, Suite 250
Knoxville, TN 37923
Phone: (615) 245-8500



THE ENCLAVE AT SHEFFIELD
Thornbush Lane
Knox County, Tennessee
DAVE WILKINSON

3 REVISED 7-9-10
RELOCATED SIDEWALK

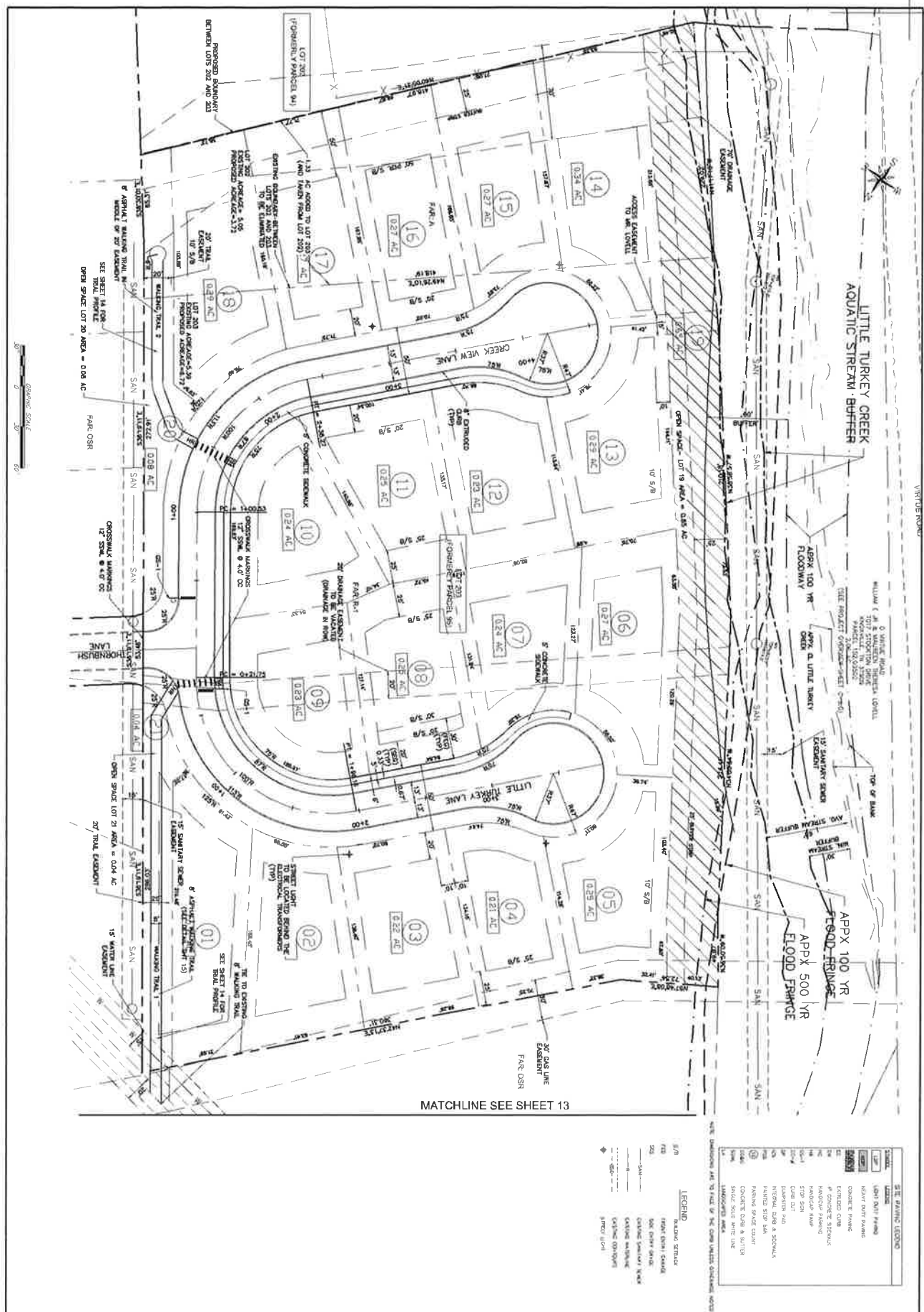
2 REVISED 10-27-10

1 REVISED 9-4-10

PROJ. NO. * 15-08
 FILE NO. * 15-08LC-6.0
 CASE DATE * 8/20/15

Site Paving Plan

QUEST NO: 13



REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Bart Hose, Assistant Community Development Director

SUBJECT: Discussion and public hearing on a final plat for Sassafras Meadows, 524 Dixon Road, 27.28 Acres, 4 Lots, Zoned R-1 (Lemay and Associates, Applicant)

INTRODUCTION AND BACKGROUND: Sassafras Meadows is a large lot subdivision located off Dixon Road. It includes four new building lots plus a fifth lot that contains the remaining acreage from the larger farm property. The entire property includes 47 acres and the four new building lots range in size from 5.1 acres to 6.68 acres. The development also includes an approximately 800-foot long road constructed to a more rural road standard due to the low traffic volume. The roadway serves the four new building lots and the developer is restricting the lots from further subdivision. The subdivision received preliminary plat approval in February of 2018.

RECOMMENDATION: The staff will be making a recommendation to grant final approval subject to letters of credit and other typical end of process items. A detailed recommendation with any needed conditions (subject to's) will be provided at the meeting.

Sassafras Meadows final plat Comments – July 24, 2019 (Review #1)

The comments below will be discussed at the July 30 Staff/Developer Meeting at 10:00.

Planning Comments: (Please contact Mark Shipley or Bart Hose at mshipley@townoffarragut.org or bhose@townoffarragut.org)

1. Will lot 4 be able to get a driveway access in without conflicting with the trail easement?
2. Please add a curve to the corner of the northern trail easement to better support future trail construction;
3. The noted setbacks are not correct for R-1. Is your intention to require more than required? If so, please clarify notes (i.e. platted setbacks vs zoning related);

Engineering Comments: (Please contact Darryl Smith or Matt Brazille at dsmith@townoffarragut.org or mbrazille@townoffarragut.org)

4. A street maintenance letter of credit will be calculated by the Town Engineer and will need to be provided prior to obtaining final signatures on the plat;
5. Please complete any remaining engineering field items; and

Fire Code Comments: (Please contact Dan Johnson at djohnson@townoffarragut.org)

6. Please provide a numbered note on the plat stating " All dwellings to be fire sprinkler protected in accordance with NFPA 13D and Town of Farragut requirements."

LEMAY AND ASSOCIATES

10816 Kingston Pike, 2nd Floor
Knoxville, TN 37934

Phone: 865-671-0183 – Fax: 865-671-0213

E-mail: rlemay@lemayassociates.com

DATE: August 5, 2019

TO: **Mr. Mark Shipley**
Town of Farragut

FROM: Richard LeMay, P.E.

RE: **Campbell Crossing**

(Response to comment sheet dated July 24, 2019)

1. Trail easement relocated.
2. Curves added to trail easement. Two locations.
3. Setback note revised.
4. Noted
5. Noted.
6. Note added for fire protection.

CERTIFICATE OF OWNERSHIP AND DEDICATION

I (we) hereby certify that I am (we are) the owner(s) of the property shown and described herein as indicated in Book Number _____ Page _____ County Register's Office, and that I (we) hereby submit this plan of subdivision with my (our) true consent, establish the minimum building setback lines, and dedicate all streets, alleys, walks, paths, and other open space to public or private use as indicated.

Date _____ Owner / Authorized Signature _____

CERTIFICATE OF APPROVAL FOR RECORDING

I hereby certify that the subdivision shown herein has been found to comply with the Subdivision Regulations for Farragut, Tennessee, with the exception of such variances, if any, as are noted in the minutes of the Planning Commission and that it has been approved for recording in the Office of the Knox County Register of Deeds.

Date _____ Secretary, Planning Commission _____

CERTIFICATE FOR STREET APPOINTMENT

I certify that streets, sidewalks, and other required improvements have been installed in an acceptable manner and according to town specifications, or that a security bond in the amount of \$ _____ has been posted with the Planning Commission to ensure completion of all required improvements in case of default. "Streets (are)" (are not) public streets maintained at public expense.

Date _____ Town Engineer _____

CERTIFICATE OF APPROVAL OF WATER SYSTEM

I hereby certify that the water system(s) outlined or indicated on the final subdivision plot are:

SASSAFRAS MEADOWS HAVE BEEN INSTALLED in accordance with current local and state government requirements, or a sufficient bond or other security has been filed to guarantee said installation.

Date _____ Name, Title, and Agency of Authorized Approving Agent _____

CERTIFICATE OF APPROVAL OF SEWER SYSTEM

I hereby certify that the sewer system(s) outlined or indicated on the final subdivision plot entitled **SASSAFRAS MEADOWS** have been installed in accordance with current local and state government requirements, or a sufficient bond or cash has been filed which will guarantee said installation.

Date _____ Name, Title, and Agency of Authorized Approving Agent _____

LINE	BEARING	DISTANCE
1	N 88° 11' 48" E	438.15'
2	N 88° 11' 48" E	438.15'
3	N 88° 11' 48" E	438.15'
4	N 88° 11' 48" E	438.15'
5	N 88° 11' 48" E	438.15'
6	N 88° 11' 48" E	438.15'
7	N 88° 11' 48" E	438.15'
8	N 88° 11' 48" E	438.15'
9	N 88° 11' 48" E	438.15'
10	N 88° 11' 48" E	438.15'
11	N 88° 11' 48" E	438.15'
12	N 88° 11' 48" E	438.15'
13	N 88° 11' 48" E	438.15'
14	N 88° 11' 48" E	438.15'
15	N 88° 11' 48" E	438.15'
16	N 88° 11' 48" E	438.15'
17	N 88° 11' 48" E	438.15'
18	N 88° 11' 48" E	438.15'
19	N 88° 11' 48" E	438.15'
20	N 88° 11' 48" E	438.15'

SITE NOTES

- CORNER MONUMENTS AS SHOWN HEREON
- VERIFY EXACT SIZE, DEPTH AND LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION
- A FIVE (5) FOOT UTILITY, DRAINAGE AND CONSTRUCTION EASEMENT ON EACH SIDE OF INTERIOR LOT LINES, A TEN (10) FOOT OF INTERIOR LOT LINES, A TEN (10) FOOT UTILITY, DRAINAGE AND CONSTRUCTION EASEMENT ON INSIDE OF ROAD RIGHTS-OF-WAY AND EXTERIOR LOT UNLESS EXCEPT UNDER BUILDINGS.
- DEED REFERENCE: INSTR. NO. 201209120018658 PLAT REFERENCE: P-95-C
- PROPERTY SHOWN ON C.L. 161, PARCEL 001
- TOTAL AREA: 27.37 ACRES
- TOTAL NUMBER OF LOTS: 4
- PROPERTY ZONED: R-1
- BUILDING SETBACKS: FRONT YARD = 30' SIDE YARD = TOTAL TWP SIDES: 40' MIN 15' ONE SIDE REAR YARD = 25'
- THE 20' WALKING TRAIL EASEMENT SHALL BE IN FAVOR OF THE TOWN OF FARRAGUT AND RESERVED FOR PUBLIC USE. THE TOWN OF FARRAGUT SHALL ACCEPT MAINTENANCE LIABILITY OF USE OF SAID EASEMENTS.
- ACCESS TO ALL LOTS SHALL BE FROM INTERIOR STREETS ONLY.
- THE HOMEOWNERS ASSOCIATION SHALL OWN AND MAINTAIN ALL OPEN SPACE.
- ALL DWELLINGS TO BE FIRE SPRINKLER PROTECTED IN ACCORDANCE WITH NFPA 13D AND TOWN OF FARRAGUT REQUIREMENTS.

CERTIFICATE OF ELECTRIC, GAS, AND TELEPHONE AVAILABILITY

This is to certify that every lot within this subdivision has available to it a source for the service identified by signature(s) below which service source is adequate to accommodate the reasonable needs of such lot as to such service within each subdivision.

Date _____ GAS-Name, Title, and Agency of Authorized Approving Agent _____

Date _____ ELECTRIC-Name, Title, and Agency of Authorized Approving Agent _____

Date _____ TELEPHONE-Name, Title, and Agency of Authorized Approving Agent _____

CERTIFICATION OF COMMON AREAS DEDICATION

SASSAFRAS MEADOWS
An owner, in recording this plat I have designated certain areas of land shown herein as common areas intended for use by the homeowners within said subdivision for:

potables. The above described areas are not dedicated for use by the general public, but are dedicated to the common use of the homeowners within the named subdivision.

"Dedication of Common Areas and Restrictions," applicable to the above named subdivision, is hereby incorporated and made part of this plat.

Date _____ Owner _____

CERTIFICATE OF APPROVAL OF STREET NAMES

This is to certify that the subdivision shown herein has been reviewed for compliance with the Knox County Uniform Street Naming and Addressing System Ordinance, and the road names are hereby approved for recording.

Knox County Addressing Division _____ Date _____

R.J. CROSSLAND
INSTR. NO. 20170609-0075219

ROCKWELL FARMS
HOMEOWNERS ASSOCIATION
INSTR. NO. 20080930-0022545

EXISTING WALKING TRAIL EASEMENT (TOP)
INSTR. NO. 200203150076162

③
7.08± AC.
(NOT INCLUDING EASMT)

50' BUILDING SETBACK FROM TOP OF DEPRESSION

④
7.08± AC.
(NOT INCLUDING EASMT)

50' BUILDING SETBACK FROM TOP OF DEPRESSION

DEPRESSION

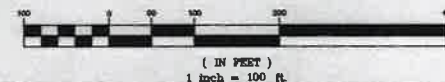
C. M. HANLON
INSTR. NO. 20141023-0024018

SASSAFRAS LANE ROW
1.03± AC.

①
9.21± AC.

SHEET 1
SHEET 2

GRAPHIC SCALE



LeMAY AND ASSOCIATES
CONSULTING ENGINEERS

10818 KINGSTON PIKE
KNOXVILLE, TENNESSEE 37934
PH: (865) 671-0183
FAX: (865) 671-0213

SASSAFRAS MEADOWS

SCALE: 1"= 100' APPROVED BY: REL. DRAWN BY: REL.

DATE: 02-17-2018 LAST REVISION DATE: 06-04-2019

DISTRICT 6* TOWN OF FARRAGUT
KNOX COUNTY* TENNESSEE

TAX MAP 161, PARCEL 001
DRAWING NO.: 5662

J. & N. HU
INSTR. NO. 20131011-0024046



CERTIFICATE OF SURVEY ACCURACY

I hereby certify that the plan shown and described herein is a true and correct survey in the accuracy required by the Tennessee Subdivision Regulations and that the measurements have been shown as shown herein, in the specification of the Subdivision Regulations. This is a Category 1 Land Survey and the ratio of precision is greater than or equal to 1:10,000.

Date: 8-5-19
[Signature]

OWNER / DEVELOPER

TUCKER MONTGOMERY
524 DIXON ROAD
KNOXVILLE, TN 37934
865-604-3478

FINAL PLAT SHEET 1 OF 2

SASSAFRAS MEADOWS

SCALE: 1"= 100' APPROVED BY: REL. DRAWN BY: REL.

DATE: 02-17-2018 LAST REVISION DATE: 06-04-2019

DISTRICT 6* TOWN OF FARRAGUT
KNOX COUNTY* TENNESSEE

TAX MAP 161, PARCEL 001
DRAWING NO.: 5662

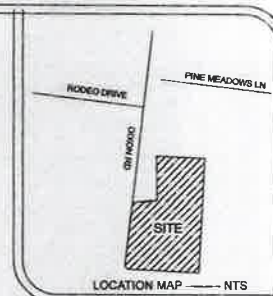
LEGEND

- IP(O) IRON PIV (OLD)
- IP(O) IRON PIV (NEW)

FORT WEST
OWNERS ASSOCIATION
DEED BOOK 1972 PAGE 979

LOCATION MAP NTS





PATEL MAHESH
PATEL VINA
INSTR. NO. 20181130003486

IR(O)	IRON ROD (OLD)
IR(N)	IRON ROD (NEW)

CERTIFICATE OF OWNERSHIP AND DECLARATION

I (we) hereby certify that I am (we are) the owner(s) of the property shown and described herein as evidenced

In Book Number _____ page _____ County Register's Office, and that I (we) hereby adopt this plan of subdivision with my (our) free consent, establish the following boundaries, easements, and servitudes, streets, alleys, walks, parks, and other open space to public or private use as noted.

Date _____ Officer / (Authorized Signature) _____

Date _____ General / (Authorizing Signature) _____

I hereby certify that the subdivision plat shown here has been found to comply with the Subdivision Regulations for Farragut, Tennessee, with the exception of such variances, if any, as are noted in the minutes of the Planning Commission and that it has been approved for recording in the Office of the Knox County Register of Deeds.

Date	Secretary, Planning Commission
------	--------------------------------

I certify that streets, sidewalks, and other required improvements have been installed in an acceptable manner and according to Town specifications, or that a security bond in the amount of \$_____ has been posted with the Planning Commission to ensure completion of all required improvements in case of default. Streets (are) (are not) public streets maintained at public expense.

Date _____ Town Engineer _____

I hereby certify that the water system(s) outlined or indicated on the final subdivision plat entitled

SASSAFRAS MEADOWS HAVE BEEN INSTALLED

installed in accordance with current local and state government requirements, or a sufficient bond or other surety has been filed to guarantee said installation.

Date _____

Name, Title, and Agency of
Authorized Approving Agent

OWNER / DEVELOPER

TUCKER MONTGOMERY
524 DIXON ROAD
KNOXVILLE, TN 37934

885-604-3478

SHEET 2 OF 2

SASSAFRAS MEADOWS

DATE: 02-18-2018	LAST REVISION DATE: 08-04-2019
------------------	--------------------------------

DISTRICT 8th TOWN OF FARRAGUT
KNOX COUNTYth TENNESSEE

TAX MAP 151, PARCEL 001

DRAWING NO.: 5562

2. CORNER MONUMENTS AS SHOWN HEREON

3. VERIFY EXACT SIZE, DEPTH AND LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.

4. A FIVE (5) FOOT UTILITY, DRAINAGE AND CONSTRUCTION EASEMENT EACH SIDE INTERIOR LOT LINES, A TEN (10) FOOT INTERIOR LOT LINES, A TEN (10) FOOT UTILITY, DRAINAGE AND CONSTRUCTION EASEMENT ON INSIDE OF ROAD RIGHTS-OF-WAY AND EXTERIOR LOT UNDESECTED UNDERLYING INTERFERENCES.

5. SEE SURVEYING INSTRUMENT NO. 25309-003-000000

6. PLAN REFERENCE: P-65-C

7. PROPERTY SHOWN ON CLT 161, PARCEL 001

8. TOTAL AREA: 27.22 ACRES

9. TOTAL NUMBER OF LOTS: 4

10. PROPERTY ZONED: R-1

11. BUILDING SETBACKS:
FRONT YARD = 35'
SIDE YARD = TOTAL LOT SIDES 40 MIN 15 ONE SIDE.
REAR YARD = 25'

12. THE 25' WALKING TRAIL EASEMENT SHALL BE IN FAVOR OF THE TOWNSHIP OF FARGGART AND RESERVED FOR PUBLIC USE. THE TOWNSHIP OF FARGGART SHALL ACCEPT MAINTENANCE LIABILITY FOR THE 25' WALKING TRAIL EASEMENT.

13. ACCESS TO ALL LOTS SHALL BE FROM INTERIOR STREETS ONLY.

14. THE HOMEOWNERS ASSOCIATION SHALL OWN AND MAINTAIN ALL OPEN SPACE.

15. ALL OWEMLINGS TO BE FIRE SPRINKLER PROTECTED IN ACCORDANCE WITH THE UNIFORM TOWNSHIP OF FARGGART REQUIREMENTS.

LINE	BEARING	DISTANCE
1.1	S 89° 55' 20" E	5.00
1.2	N 88° 00' 45" E	15.12
1.3	N 77° 42' 25" E	70.59
1.4	S 83° 18' 40" E	43.23
1.5	S 35° 30' 00" W	54.15
1.6	S 77° 03' 20" W	56.74
1.7	S 43° 18' 40" W	93.31
1.8	S 89° 00' 45" W	1.64
1.9	N 55° 30' 20" W	44.14
1.10	N 56° 32' 20" E	44.86
1.11	N 57° 38' 40" W	35.00
1.12	S 43° 18' 40" E	50.08
1.13	S 77° 03' 20" E	56.72
1.14	S 89° 00' 45" E	30.43
1.15	N 54° 30' 20" E	50.00
1.16	N 31° 55' 21" W	47.14
1.17	N 13° 45' 21" W	45.02
1.18	S 02° 16' 53" W	72.26
1.19	N 02° 16' 53" E	87.83

This is to certify that the subdivision shown herein has been reviewed for compliance with the Knox County Uniform Street Naming and Addressing System Ordinance, and the road names are hereby approved for recording.

Knox County Addressing Division	Date
---------------------------------	------

As owner, in recording this plat I have designated certain areas of land shown hereon as common areas intended for use by the homeowners within said subdivision for activities. The above described areas are not dedicated for use by the general public, but are dedicated to the common use of the homeowners within the named subdivision.

"Declaration of Covenants and Restrictions," applicable to the above named subdivision, is hereby incorporated and made part of this plot.

Copy	Owner
------	-------

LENGTH	ARC LENGTH
11.00	54.38
11.44	56.40
11.89	58.41
12.33	60.40
12.78	62.39
13.22	64.36
13.67	66.33
14.11	68.29
14.56	70.24
15.00	72.19
15.44	74.13
15.89	76.06
16.33	77.99
16.78	79.91
17.22	81.82
17.67	83.73
18.11	85.63
18.56	87.53
19.00	89.42
19.44	91.31
19.89	93.19
20.33	95.07
20.78	96.94
21.22	98.81
21.67	100.68
22.11	102.54
22.56	104.39
23.00	106.24
23.44	108.08
23.89	109.92
24.33	111.75
24.78	113.58
25.22	115.40
25.67	117.22
26.11	119.03
26.56	120.84
27.00	122.64
27.44	124.44
27.89	126.23
28.33	128.02
28.78	129.80
29.22	131.58
29.67	133.35
30.11	135.12
30.56	136.89
31.00	138.65
31.44	140.41
31.89	142.16
32.33	143.91
32.78	145.65
33.22	147.39
33.67	149.12
34.11	150.85
34.56	152.57
35.00	154.29
35.44	156.00
35.89	157.71
36.33	159.41
36.78	161.11
37.22	162.80
37.67	164.49
38.11	166.17
38.56	167.85
39.00	169.52
39.44	171.19
39.89	172.85
40.33	174.51
40.78	176.16
41.22	177.81
41.67	179.45
42.11	181.09
42.56	182.72
43.00	184.35
43.44	185.97
43.89	187.59
44.33	189.20
44.78	190.81
45.22	192.41
45.67	194.01
46.11	195.61
46.56	197.20
47.00	198.79
47.44	200.37
47.89	201.95
48.33	203.52
48.78	205.09
49.22	206.65
49.67	208.21
50.11	209.77
50.56	211.32
51.00	212.87
51.44	214.41
51.89	215.95
52.33	217.49
52.78	219.02
53.22	220.55
53.67	222.07
54.11	223.59
54.56	225.11
55.00	226.62
55.44	228.13
55.89	229.64
56.33	231.14
56.78	232.64
57.22	234.14
57.67	235.63
58.11	237.12
58.56	238.61
59.00	240.09
59.44	241.57
59.89	243.04
60.33	244.51
60.78	245.98
61.22	247.44
61.67	248.90
62.11	250.35
62.56	251.80
63.00	253.25
63.44	254.69
63.89	256.13
64.33	257.57
64.78	259.00
65.22	260.43
65.67	261.85
66.11	263.27
66.56	264.69
67.00	266.10
67.44	267.51
67.89	268.92
68.33	270.32
68.78	271.72
69.22	273.12
69.67	274.51
70.11	275.91
70.56	277.30
71.00	278.69

I hereby certify that the sewer systems outlined or indicated on the final subdivision plot entitled

SASSAFRAS MEADOWS HAVE BEEN INSTALLED
in accordance with current local and state government
requirements or a sufficient bond or cash has been
filed which will guarantee said installation.

Date _____



I hereby certify that the plan shown and described herein is a true and correct survey to the accuracy required by the Fairport Municipal Planning Commission and that the monuments have been placed as shown herein, to the specification of the Subdivision Regulations. This is a Category 1 Land Survey and the ratio of precision is greater than or equal to 1:10,000.

Date 8-5-19 RE Sullivan
 Registered Surveyor

10816 KINGSTON PIKE PH: (865) 671-0183
KNOXVILLE, TENNESSEE 37934 FAX: (865) 671-0213

PH: (865) 671-0183
34 FAX: (865) 671-0211

(IN FEET)
1 inch = 100 ft.

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on a grading plan for portions of the TN Knoxville/Furrow Property along Outlet Drive, Parcels 154.06, 154.07, 154.08, 154.09 and 154.10, Tax Map 130, roughly 24.07 Acres, Zoned C-2 (Land Development Solutions, Applicant)

INTRODUCTION AND BACKGROUND: This item involves a request to re-grade a number of parcels along Outlet Drive that were pre-graded over 10 years ago in association with construction of the eastern portion of the Outlet Drive extension.

This grading will essentially establish the grade and stormwater system that will serve the Top Golf establishment. The re-grading will establish two linear detention basins along Outlet Drive with a large retaining wall between the southern basin edges and the Top Golf development.

The sinkhole area in the northwest portion of the development will be left undisturbed and the trees within the Interstate right of way will also be protected.

RECOMMENDATION: Included in your packet is a copy of the applicable sheets from the grading plan and an image of how the proposed retaining walls will generally appear from Outlet Drive. Also included are the staffs' comments on the initial plan that was submitted. Staff will make a recommendation at the meeting based on whether the initial comments have been addressed.

7/31/19

Mark Shipley
Town of Farragut

RE: TN Knoxville/Furrow Property

Mark

The Town of Farragut comments date 7/25/19 have been addressed below.

1. Please ensure that all sheets reflect the town's max 2.5 to 1 standard and include language regarding protective measures for slopes in excess of 3 to 1;
All slopes on this site are a maximum of 2.5:1. Notes have been added to Sheets C000, C303 and C305
2. Please submit all related retaining wall plans (see retaining wall notes on page 1);
Noted
3. Please submit geotechnical evaluation and report regarding all sinkholes and related features on the property. Sinkhole lip elevation determination must be made by an expert in this practice per the Sinkhole Ordinance;
Noted. Geotechnical report included with this submission
4. Is the pond labeled on the lot to the west a pond or a sinkhole? Please provide required verification. The adjacent property to the west appears to have sizable sinkholes that partially migrate onto adjoining properties;
There are large sinkholes on the adjacent property but they will not be affected by our project
5. Until the R-2 Zoned property is rezoned, grading is not permitted within tree covered areas of required buffer strips. Work on the adjacent lot must also be authorized by the owner and any sinkhole areas must be identified and protected;
Noted. Grading is not planned until rezoning is accomplished
6. Staff will need to review the tree covered areas abutting the interstate and tree fencing will need to be shown on the plans along this interface and installed to the drip line of tree cover that predominantly exists within the interstate right of way;
Noted. Note added to Sheet T-1
7. An arborist review may be needed for select trees. This can be assessed in more detail when the pre-construction is meeting is conducted prior to the issuance of a grading permit;
Noted. Note added to Sheet T-1
8. Please show tree protection fencing on Sheet C302 adjacent to the double row of silt fence around the sinkhole lip;
Tree Protection Fencing added to sheet C302

9. Please ensure all sheets reflect the Town's maximum slope of 2.5:1 and include language regarding the need for protective measures on all slopes steeper than 3:1;
All slopes on this site are a maximum of 2.5:1. Notes have been added to Sheets C000, C303 and C305
10. Please use minimum 18-inch diameter pipe;
Pipes in the parking lots and outside the "Outfield" have been increased to 18" minimum. Pipes in the "Outfield" have been unchanged per Staff/Developer Agenda meeting. See Sheet C305
11. Use of HDPE pipe is allowable only where complete failure of the pipe would not create flooding or damage to facilities (like a detention basin), and no runoff would cross adjacent property lines or right of way. This is subject to engineering judgement, but it appears pipes north of curb inlet 3 to the detention basin should be Class III RCP;
The appropriate pipes have been changed to RCP. See Sheet C305
12. JB-1 and JB-2 are extremely deep (26' and 32.7', respectively), requiring Class IV (or possibly Class V) RCP;
Note added to Storm Pipe Schedule. See Sheet C305
13. At JB-2, consider using minimum pipe slopes to route runoff from upstream area drains, and use vertical drop in JB-2 to dissipate energy prior to entering detention basin. Assuming JB-1 is intended for a similar purpose when the project develops, a similar approach would seem reasonable;
"Outfield" drainage system will be refined as the Topgolf target storm system is designed. Vertical drops will be used as possible to help dissipate energy.
14. Is Detail 3 on sheet C309 necessary for preliminary grading plans? Should it be clarified as inlet protection for stone stabilized areas?
Added "stone stabilized" to the title Detail #3 (Sheet C309) for clarification
15. Please submit NOC;
A NOC will be submitted
16. Drainage fee will be calculated upon review of development plans; and
Noted
17. Please submit irrevocable letter of credit for erosion control of \$101,500.
Noted

Please contact me with any questions.

Sincerely,

Land Development Solutions

Chad Brown, P.E.

TOP GOLF
KNOXVILLE, TN



SEGMENTAL RETAINING WALL
STORM WATER POND
APPLICATIONS



TOP GOLF KNOXVILLE, TN



Variegated Tan - Brown – Keystone Segmental Block Retaining Wall
Straight Face Shape



TOP GOLF KNOXVILLE, TN



Tan – Keystone Segmental Block Retaining Wall
Radius Shaped Face



July 15, 2019
Revised: July 31, 2019

General Notes

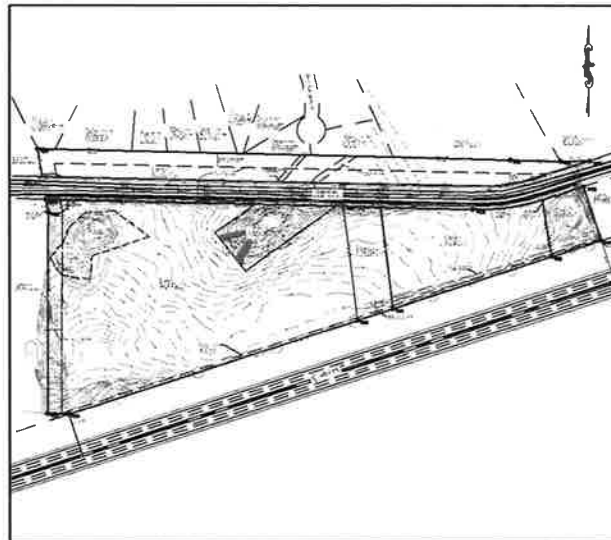
- [illegible]

Erosion Control Notes

- | |
|--|
| <p>Test distributed area = 1/40 acre.</p> <p>The contractor shall maintain all temporary erosion control devices indicating on the drawings and on machine during construction operations to comply with the Town of Portageville State of Tennessee Erosion Control Ordinance.</p> <p>Contractor shall maintain construction entrances to prevent dirt and mud from leaving on street. Pavement shall be kept clean and free dirt, mud and/or loose stone shall be cleaned off immediately.</p> <p>Contractor shall remove and dispose of all temporary erosion control devices after establishment of permanent vegetation.</p> <p>Erosion control devices shall be maintained during and after related with any modifications and/or repair made to the erosion control plans.</p> <p>Contractor shall post signs at each of all projects and street signs for erosion control projects to the town.</p> <p>Storm Water Pollution Prevention Plan (SWPPP) shall be submitted at least 14 days prior to construction. The SWPPP shall be approved by the town.</p> <p>It is hereby to ensure the long term implementation of all erosion devices that are 2-5/8" ID shall be tested and marked with graphics that do not require repainting. Warning and signage shall be approved by town staff. Erosion control devices shall be maintained during and after related with any modifications and/or repair made to the erosion control plans.</p> |
|--|

Retaining Wall Notes

- [illegible]



Sheet Index

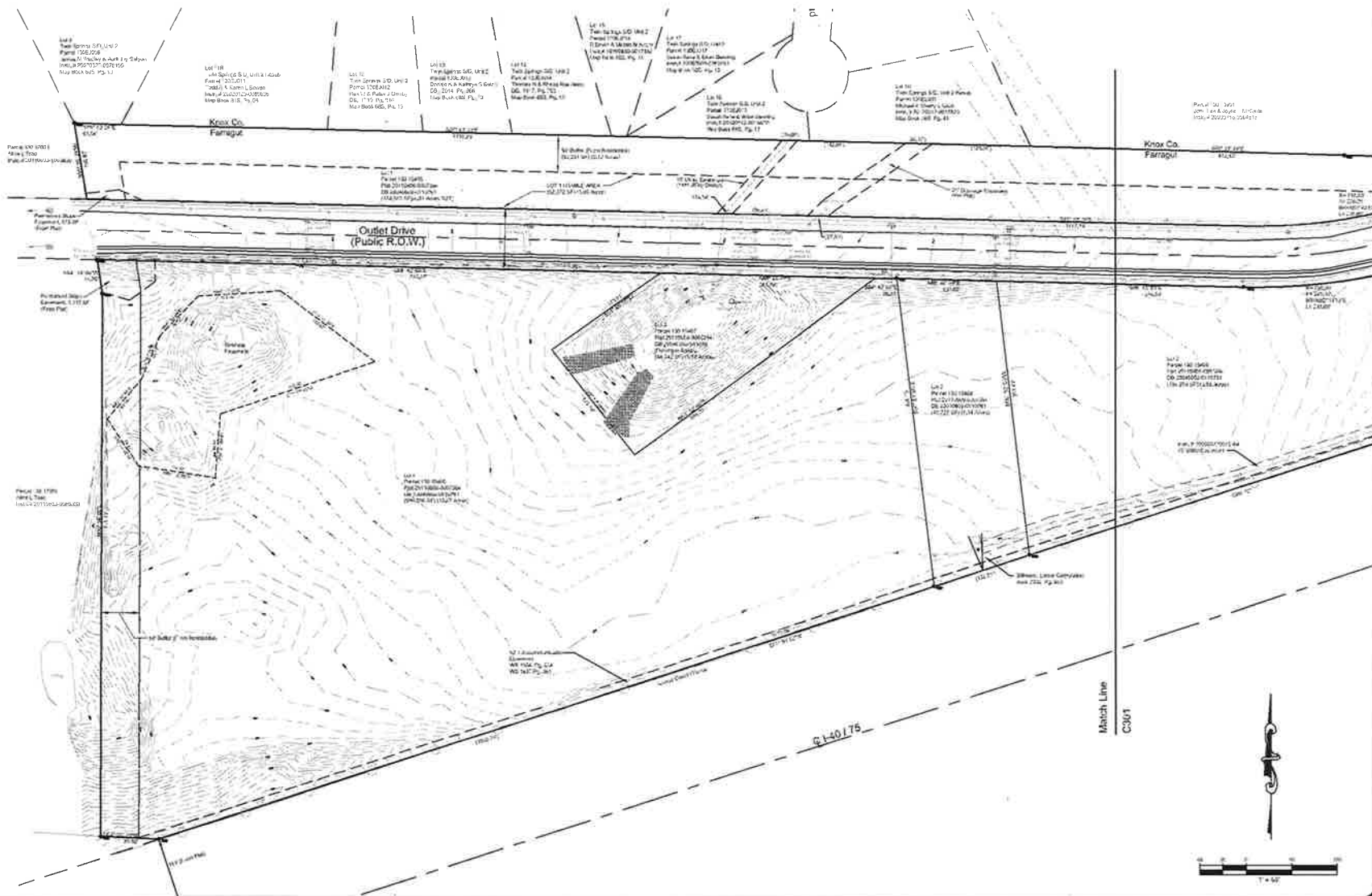
Sheet #	Sheet Name	Issue Date	Revision	Revision	Revision	Revision	Revision
	Cover Sheet	07-15-19	07-31-19				
C300	Site Survey	07-15-19					
C301	Site Survey	07-15-19					
C302	Initial Erosion Control Plan	07-15-19	07-31-19				
C303	Intermediate Erosion Control Plan	07-15-19	07-31-19				
C304	Intermediate Erosion Control Plan	07-15-19					
C305	Final Erosion Control Plan	07-15-19	07-31-19				
C306	Final Erosion Control Plan	07-15-19					
C307	SWPPP	07-15-19					
C308	Erosion Control Details	07-15-19					
C309	Erosion Control Details	07-15-19	07-31-19				
C310	Erosion Control Details	07-15-19					
C311	Erosion Control Details	07-15-19					
T-1	Tree Protection Plan	07-12-19	08-1-19				



LAND
DEVELOPMENT
SOLUTIONS

310 SIMMONS RD., SUITE K • KNOXVILLE, TENNESSEE 37922
PH. 865-671-2261

Sheet 1 of 14



Project: TN Knoxville Furrow Property
Outlet Drive
Farragut, Tennessee

LAND DEVELOPMENT SOLUTIONS
310 SIMMONS RD., SUITE K-KNOXVILLE, TENNESSEE 37922
PH: 865-471-2281

Site Survey

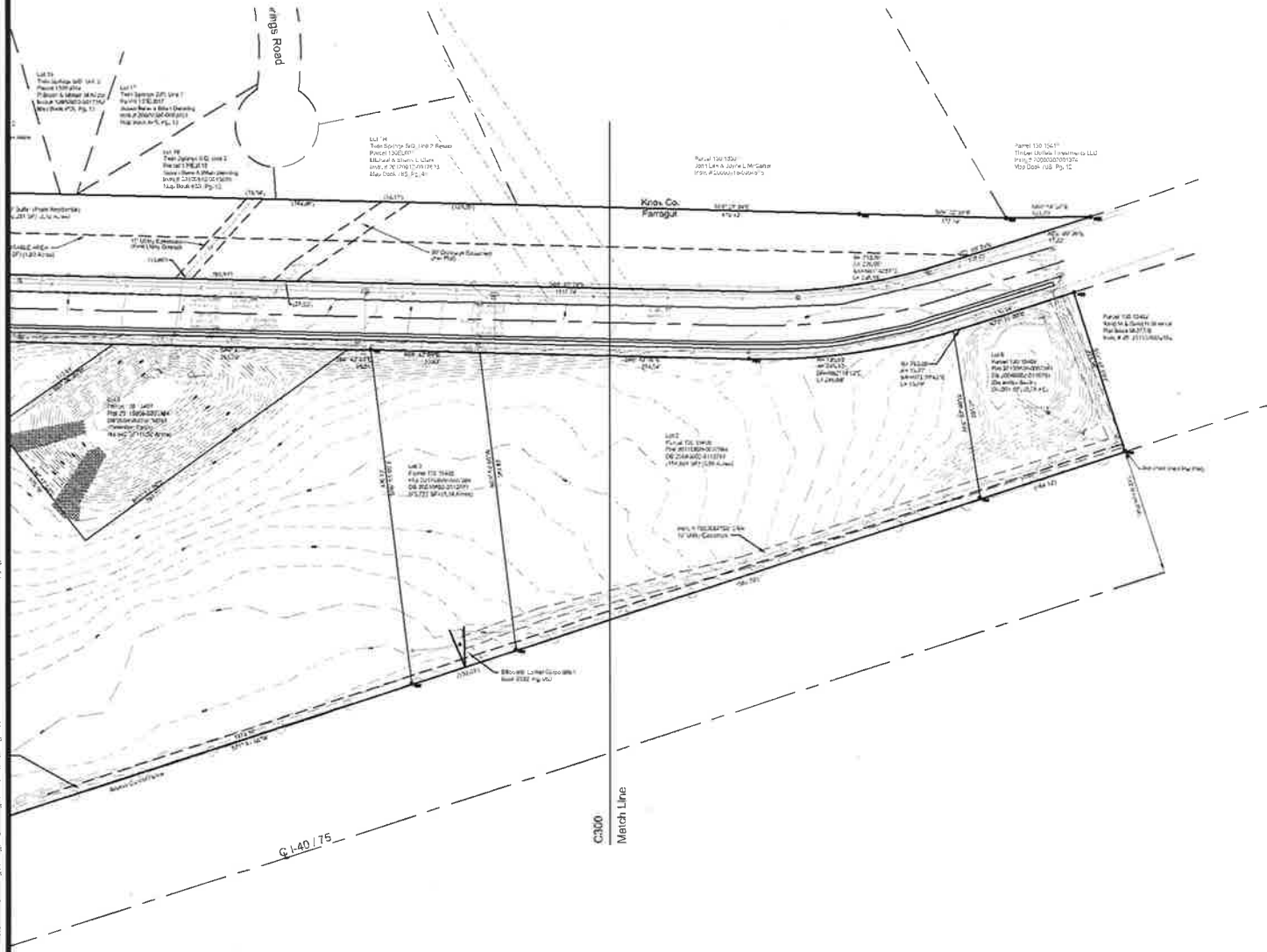
Drawing Description

No.	Date	Revised

Drawn By	CDB
Checked By	EJB
Appraised By	EJB
Job No.	219039
Scale	1"=50'
Date	7/15/19

C300

X:\Client\G.Farrington\G.F. Farrington - EC Plans.dwg, Jul 12, 2019 - 11:55am drawn - LGS Copyright 2019



Project:
TN Knoxville Furrow Property
Outlet Drive
Farrington, Tennessee

LAND DEVELOPMENT SOLUTIONS
310 SIMMONS RD., SUITE K-KNOXVILLE, TENNESSEE 37922
PH: 865-471-2281

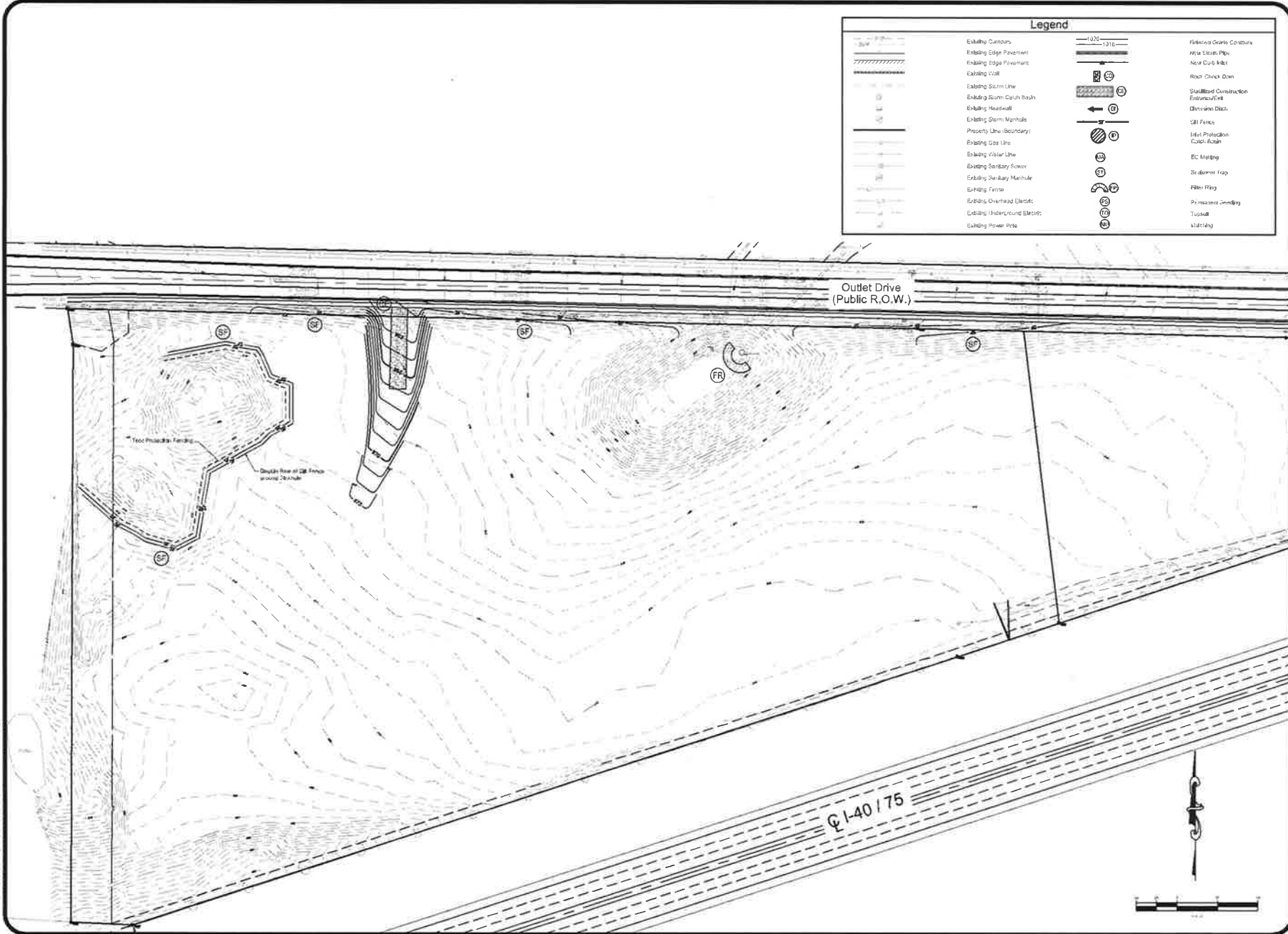
Site Survey

Drawing Description:

Rev.	Date	By	Appr.

Scale:	CDR
Other:	EJB
Revised:	EJB
File No.:	2190339
Date:	7-15-19

C301
Sheet 2 of 14



Legend			
	Existing Contours		1200
	Existing Edge Pavement		1310
	Existing Edge Pavement		
	Existing Wall		Rock Check Dam
	Existing Storm Line		Stabilized Construction Entrance/Exit
	Existing Storm Catch Basin		Division Ditch
	Existing Headwall		Silt Fence
	Existing Storm Manhole		Leaf Protection Catch Basin
	Property Line (Boundary)		EC Mating
	Existing Gas Line		Sediment Trap
	Existing Water Line		Filter Pipe
	Existing Sanitary Sewer		Permeable Landfill
	Existing Sanitary Manhole		Trench
	Existing Fence		Utility
	Existing Overhead Electric		
	Existing Underground Electric		
	Existing Power Pole		

Project: **TN Knoxville Furrow Property**
 Outlet Drive
 Farrington, Tennessee

LAND DEVELOPMENT SOLUTIONS
 310 SIMMONS RD. SUITE K-KNOXVILLE, TENNESSEE 37922
 PH: 606-471-2281

Initial Erosion Control Plan

Sheet	Revision	Description	Date
1	1	Initial Erosion Control Plan	8/1/2019

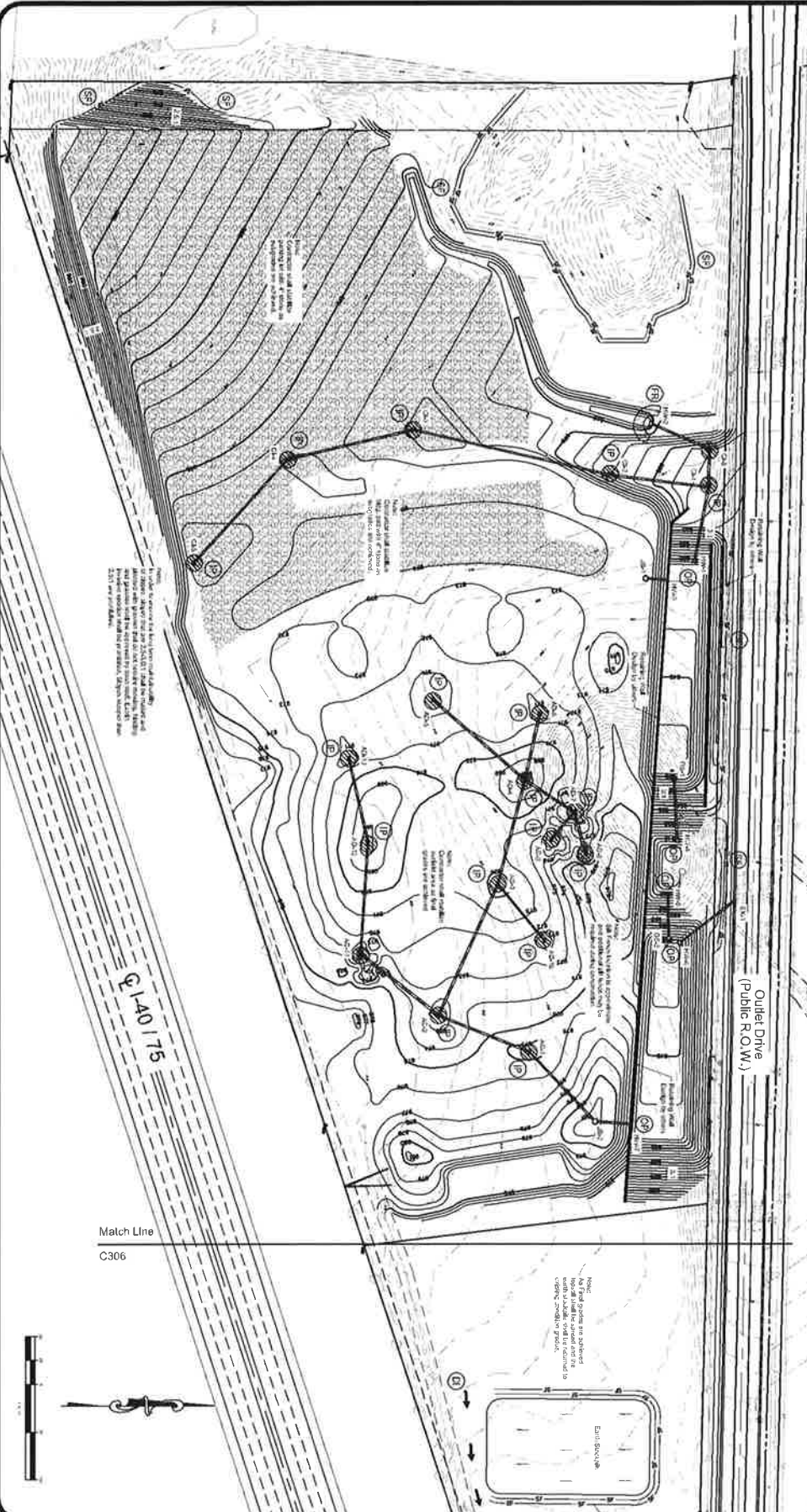
Drawn By: CDB
 Check By: EJB
 App'd By: EJB
 Date Rec'd: 2/19/2020
 1"=50' 2"=15'-10"

C302
 Sheet 1 of 18

Storm Structure Schedule

Retaining Wall Notes

Legend



Match
C306

0305

Document ID	C066
Owner/Author	EJB
Requester	EJB
Date Recd	2/19/2019
Date Recd	7-26-19
Date	2/26/19

No.	Date	Description
	2022	Memoirs for Times of Fall & Spring

Drawing Description:

Final Erosion Control Plan

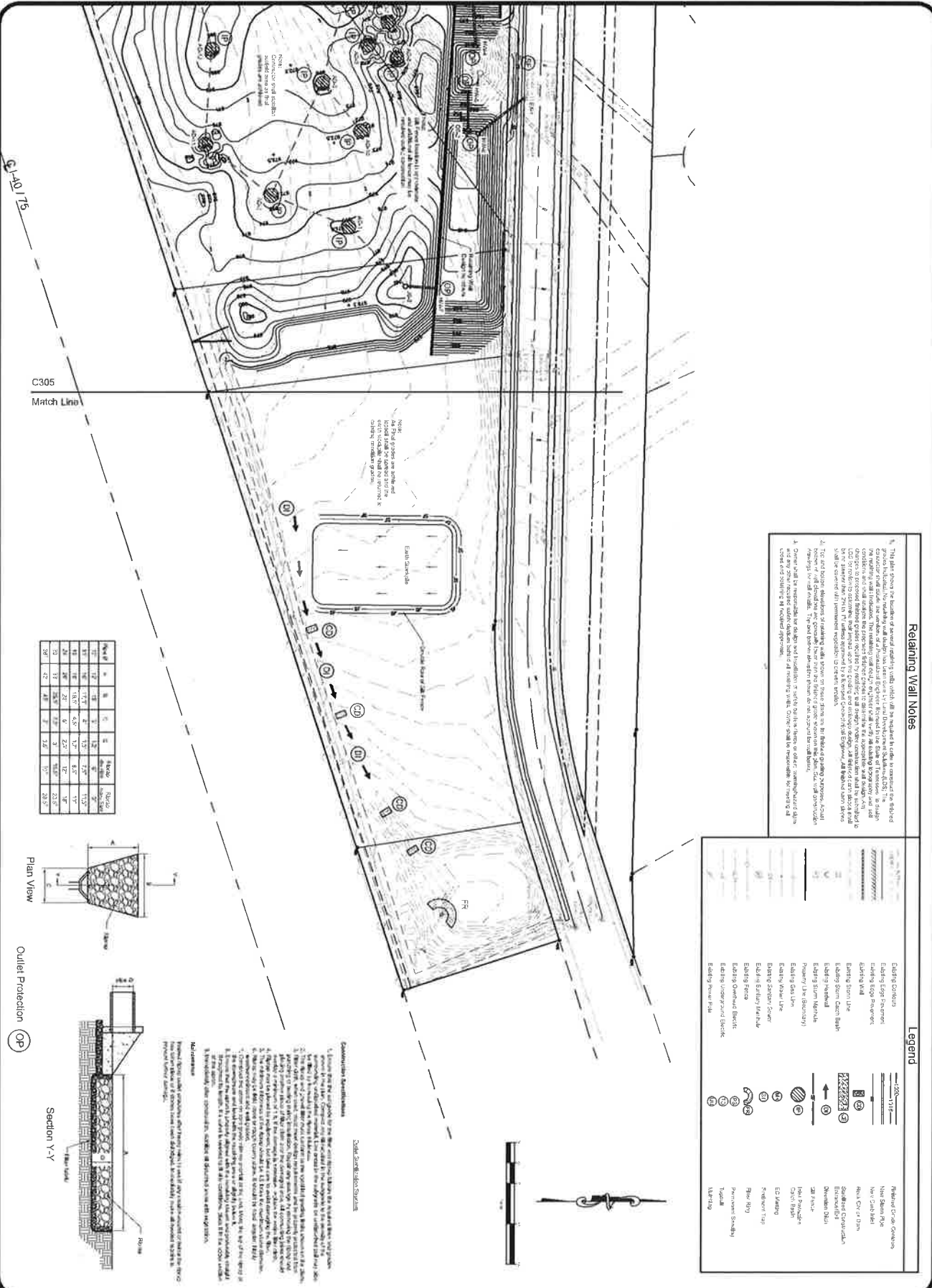


LAND
DEVELOPMENT
SOLUTIONS

310 SIMMONS RD. SUITE K-KNOXVILLE TENNESSEE 37922
Ph: 615-671-2281

Project: **TN Knoxville Furrow Property**
Outlet Drive

Farragut, Tennessee



Retaining Wall Notes

- [illegible]

Legend

[illegible]

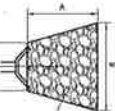
Trachea Swallowing Stupor

1. Explain that the purpose of the experiment is to determine the relationship between the rate of change of the concentration of a reactant and the rate of change of the concentration of a product in a chemical reaction.
 2. Explain that the purpose of the experiment is to determine the relationship between the rate of change of the concentration of a reactant and the rate of change of the concentration of a product in a chemical reaction.
 3. Explain that the purpose of the experiment is to determine the relationship between the rate of change of the concentration of a reactant and the rate of change of the concentration of a product in a chemical reaction.
 4. Explain that the purpose of the experiment is to determine the relationship between the rate of change of the concentration of a reactant and the rate of change of the concentration of a product in a chemical reaction.
 5. Explain that the purpose of the experiment is to determine the relationship between the rate of change of the concentration of a reactant and the rate of change of the concentration of a product in a chemical reaction.
- Keywords: rate of change, concentration, reactant, product, chemical reaction.

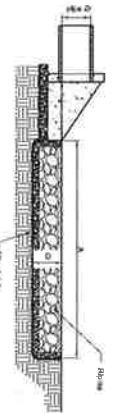
Also relevant to:

Figure 1. The effect of the concentration of the polymer solution on the surface free energy of the polymer film. The concentration of the polymer solution was 0.1, 0.2, 0.3, 0.4, 0.5, 0.6, 0.7, 0.8, 0.9, and 1.0 g/dL. The surface free energy of the polymer film was measured by the contact angle method.

Plan View



Section Y-Y



Age	Sex	Height	Weight	Height	Weight
yr		cm	kg	cm	kg
17	M	172	71	172	71
17	F	158	48	158	48
18	M	177	74	177	74
18	F	164	55	164	55
19	M	184	85	184	85
19	F	168	61	168	61
20	M	188	91	188	91
20	F	170	68	170	68
21	M	191	95	191	95
21	F	172	70	172	70
22	M	193	98	193	98
22	F	174	72	174	72
23	M	195	100	195	100
23	F	176	74	176	74
24	M	197	102	197	102
24	F	178	76	178	76
25	M	199	104	199	104
25	F	180	78	180	78
26	M	201	106	201	106
26	F	182	80	182	80
27	M	203	108	203	108
27	F	184	82	184	82
28	M	205	110	205	110
28	F	186	84	186	84
29	M	207	112	207	112
29	F	188	86	188	86
30	M	209	114	209	114
30	F	190	88	190	88
31	M	211	116	211	116
31	F	192	90	192	90
32	M	213	118	213	118
32	F	194	92	194	92
33	M	215	120	215	120
33	F	196	94	196	94
34	M	217	122	217	122
34	F	198	96	198	96
35	M	219	124	219	124
35	F	200	98	200	98
36	M	221	126	221	126
36	F	202	100	202	100
37	M	223	128	223	128
37	F	204	102	204	102
38	M	225	130	225	130
38	F	206	104	206	104
39	M	227	132	227	132
39	F	208	106	208	106
40	M	229	134	229	134
40	F	210	108	210	108
41	M	231	136	231	136
41	F	212	110	212	110
42	M	233	138	233	138
42	F	214	112	214	112
43	M	235	140	235	140
43	F	216	114	216	114
44	M	237	142	237	142
44	F	218	116	218	116
45	M	239	144	239	144
45	F	220	118	220	118
46	M	241	146	241	146
46	F	222	120	222	120
47	M	243	148	243	148
47	F	224	122	224	122
48	M	245	150	245	150
48	F	226	124	226	124
49	M	247	152	247	152
49	F	228	126	228	126
50	M	249	154	249	154
50	F	230	128	230	128
51	M	251	156	251	156
51	F	232	130	232	130
52	M	253	158	253	

Drawing Description

Final Erosion Control Plan



LAND
DEVELOPMENT
SOLUTIONS

310 SIMMONS RD. SUITE K-KNOXVILLE TENNESSEE 37922
PH. 865-671-2281

Project:

TN Knoxville Furrow Property
Outlet Drive

Farragut, Tennessee

C306

1000

CD8	219039
E1B	7-15-19
E1B	Date

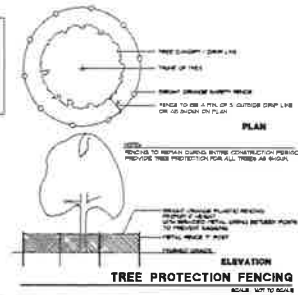


LEGEND

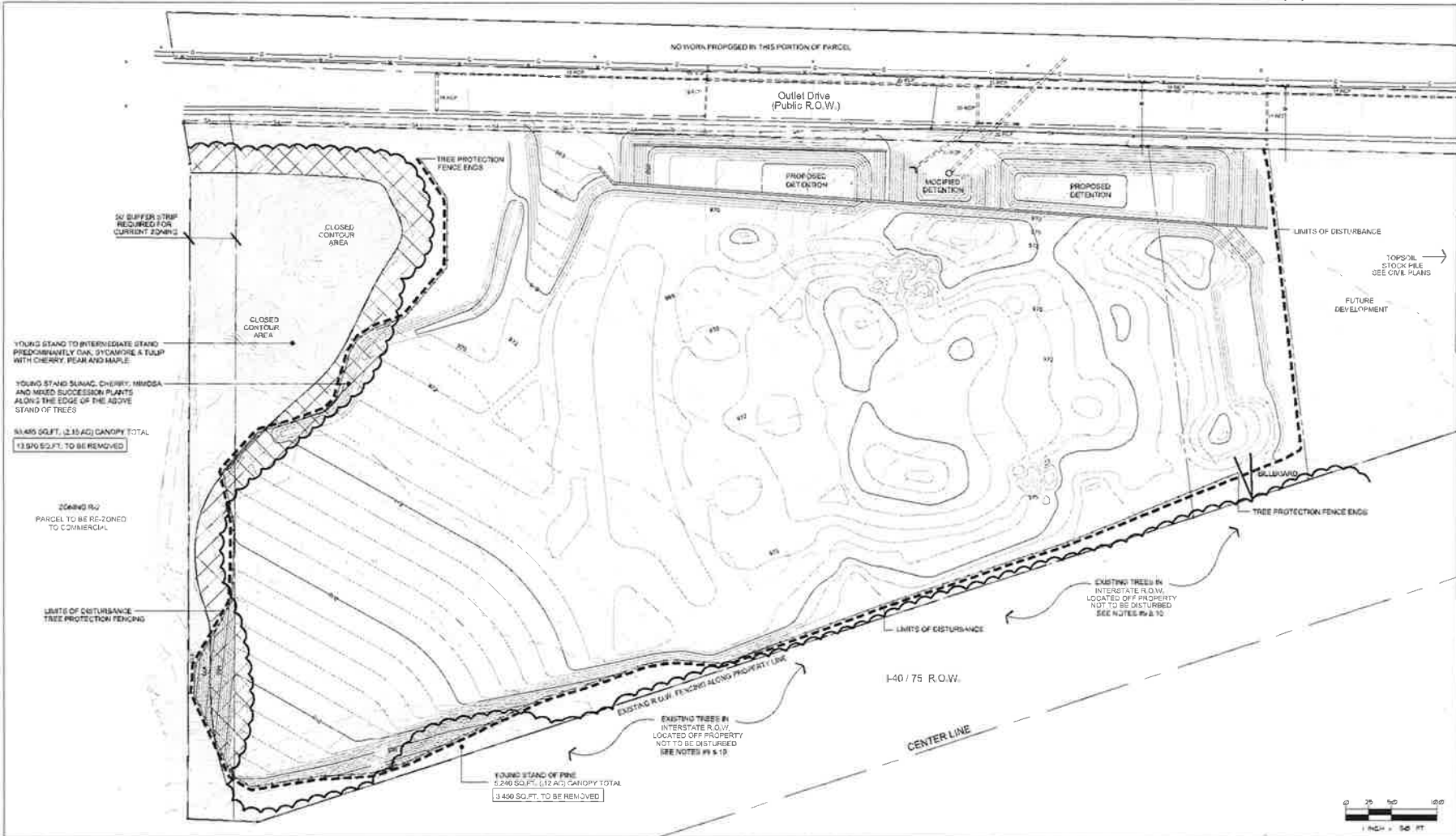
- MAJOR TREE PLANNING OUTLINE
- LEVEL OF MATURITY
- TREE TYPE (SAP, CANOPY)
- APPROXIMATE CANOPY COVERAGE
- PREDOMINANT SPECIES OF TREE
- AREA OF DISTURBANCE BOUNDARY
- TREE PROTECTION FENCING

[illegible]

AREA OF PRECUMINATELY YOUNG STAND OF TREES	RATE	NUMBER OF NEW REPLACEMENT TREES REQUIRED
61.52 ACRES	0 TREES PER ACRES	2
		TOTAL 2



OWNER / DEVELOPER:
IN KADYVILLE JUNIOR PROPERTY OUTLET DRIVE
ZONE: C-2 (FARRAGUT)
PARCELS: 5405, 5406, 5407, 5408, 5409, 5410



REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on a grading plan for portions of 11153 and 11157 Kingston Pike, Zoned C-1 and FPD (Crossroads West Properties, Applicant)

INTRODUCTION AND BACKGROUND: This item involves a request for a grading plan approval for a portion of the former Millworks development site (11157 Kingston Pike) and the property to the east (11153 Kingston Pike) which currently contains a billboard.

DISCUSSION: When the Millworks building was vacated several years ago the building gradually went into disrepair and a portion of the roof collapsed. Eventually the current property owner had the building demolished. Now, the property owner is trying to prepare the site for possible development.

Much of both 11153 and 11157 Kingston Pike are within the 100-year floodplain. There are also some jurisdictional wetlands on both properties. The work proposed must be compliant with both the Town's adopted Flood Damage Prevention Regulations and the Aquatic Buffer Ordinance which requires protection of wetlands and the establishment of a 25-foot buffer around the delineated wetlands.

The Town's Flood Damage Prevention Regulations do provide for some filling within the flood fringe. Fill is prohibited in the flood fringe one-half the linear distance between the exterior line of the floodway line and the exterior line of the 500-year floodplain line. This is reflected as a "no fill line" on plans where fill is proposed within the flood fringe.

RECOMMENDATION: Included in your packet are copies of different plan sheets for the grading plan submittal. Also included are the staff comments on the initial plans that were submitted. Staff will make a recommendation at the meeting based on whether the initial comments have been satisfactorily addressed.

11153-11157 Kingston Pike Comments – July 24, 2019 (Review #1)

The comments below will be discussed at the July 30 Staff/Developer Meeting at 11:00.

Planning Comments: (Please contact Mark Shipley or Bart Hose at mshipley@townoffarragut.org or bhose@townoffarragut.org)

1. Please verify grading notes are ADA compliant where applicable;
2. Town finished grade max. is 2.5 to 1 with appropriate measures, please correct on all sheets;
3. Please clarify the basis of this no fill line. Does it represent the Town's floodplain fill restriction of 1/2 the distance between the floodway and the 500-year floodplain boundary? If so, please also provide distances between the no fill line and the floodway boundary. If not, please relocate line to comply with Town standards;
4. Please provide 100-year base flood elevation cross-section(s) for property. Please provide this information on all applicable sheets;
5. Please note required finished floor elevation to comply with Town standards. Please provide this information on all applicable sheets;
6. Please note that should a variance be requested and approved for any Town related land use provisions the billboard will have to be removed;
7. Please provide an updated wetland evaluation and delineation from a wetland specialist;
8. Please provide a tree preservation/removal plan prepared by a qualified professional and which addresses all applicable requirements as provided for in the Tree Protection Ordinance;

Engineering Comments: (Please contact Darryl Smith or Matt Brazille at dsmith@townoffarragut.org or mbrazille@townoffarragut.org)

9. Please clarify frequency of EPSC inspections;
10. Phase 1 E&SC plan needs to coordinate the demolition of the existing foundation in conjunction with the installation of erosion control measures;
11. Please label existing contours more frequently;
12. Slopes can be no steeper than 2.5:1. Slopes between 2.5:1 and 3:1 requiring protective matting and grasses that do not require mowing;
13. Drainage fee will be calculated after the submission of development plans; and
14. Please submit irrevocable letter of credit for erosion control of \$12,500.

August 5, 2019

Mark Shipley
Town of Farragut

RE: 11153-11157 Kingston Pike
Comm. No. 190400
Response to comments dated July 24, 2019

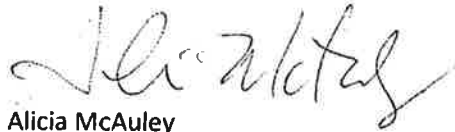
Planning Comments

1. Please verify grading notes are ADA compliant
 - a. ADA grading to be more defined in the final plan set for access and connection routes for final layout.
2. Town finished grade max is 2.5 to 1 with appropriate measures, please correct on all sheets.
 - a. Finished grade revised to be a maximum of 2.5 to 1 and noted to received proper matting
3. Please clarify the basis of this no fill line. Does it represent the Town's floodplain fill restriction of $\frac{1}{2}$ the distance between the floodway and the 500-year floodplain boundary? If so, please also provide distances between the no fill line and the floodway boundary. If not, please relocate line to comply with Town standards;
 - a. Exhibit provided to explain the location of the no fill line in relation to the 500 year and floodway limits. The $\frac{1}{2}$ distance was used to create the no fill line and an additional 10' no fill buffer is provided to ensure no encroachment during construction. See sheet C400
4. Please provide a 100-year base flood elevation cross-section(s) for property. Please provide this information on all applicable sheets.
 - a. 100-year base flood elevation provided on the overall site plan sheet C400
5. Please note required finished floor elevation to comply with Town standards. Please provide information on all applicable sheets
 - a. Required FFE elevations noted on sheet C400 in top right corner of plan and in building pads
6. Please note that should a variance be requested and approved for any Town related land use provisions the billboard will have to be removed.
 - a. Billboard documents provided showing ownership information. Billboard is not owned by developer.
7. Please provide an updated wetland evaluation and delineation from a wetland specialist.
 - a. Updated wetland review documents provided. Plan reflects latest delineation and buffer.
8. Please provide a tree preservation/removal plan prepared by a qualified professional and which addresses all applicable requirements as provided for in the Tree Protection Ordinance;
 - a. Proposed grading will not encroach upon existing tree line. Exhibit provided showing boundaries

Engineering Comments:

9. Please clarify frequency of EPSC inspections;
10. Phase 1 E&SC plan needs to coordinate the demolition of the existing foundation in conjunction with the installation of erosion control measures;
 - a. Existing pad already removed. Outline modified to be a contour along perimeter
11. Please label existing contours more frequently;
 - a. Additional existing contour labels provided
12. Slope can be no steeper than 2.5:1. Slopes between 2.5:1 and 3:1 requiring protective matting and grasses that do not require mowing;
 - a. Finished grade revised to be a maximum of 2.5 to 1 and noted to received proper matting
13. Drainage fee will be calculation after the submission of development plans
 - a. Noted
14. Please submit irrevocable letter of credit for erosion control of \$12,500
 - a. noted

Thank you,
MBI Companies, Inc

A handwritten signature in dark ink, appearing to read 'Alicia McAuley', written in a cursive style.

Alicia McAuley
Project Coordinator

11157 KINGSTON PIKE
KNOXVILLE, TN

VICINITY MAP:

GENERAL
0001 COVER SHEET

SURVEY
06 01 SITE SURVEY

GENERAL
0701 CIVIL LEGEND & NOTES

PLANS AND ELEVATIONS
0710 PLAN 1 DRAINAGE FACILITIES & SEDIMENT CONTROL PLAN
0720 PLAN 2 EROSION PREVENTION & SEDIMENT CONTROL PLAN
0730 DRAIN OUTLINE PLAN
0740 10% FINAL GRADING PLAN
0750 CIVIL DETAILS

NUMBER OF SHEETS: 2 TOTAL



0001

COVER SHEET

0001



GENERAL NOTES

1. THE PROJECT IS SITUATED IN THE NORTHWEST CORNER OF THE INTERSECTION OF THE PROJECT AND THE EXISTING ROAD. THE PROJECT AREA IS APPROXIMATELY 1.5 ACRES. THE PROJECT AREA IS BOUNDARY BY THE EXISTING ROAD TO THE NORTH, THE EXISTING ROAD TO THE EAST, THE EXISTING ROAD TO THE SOUTH, AND THE EXISTING ROAD TO THE WEST.
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DEMOLITION NOTES

1. ALL EXISTING STRUCTURES TO BE DEMOLISHED SHALL BE DEMOLISHED IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:
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CONSTRUCTION NOTES

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GRADING NOTES

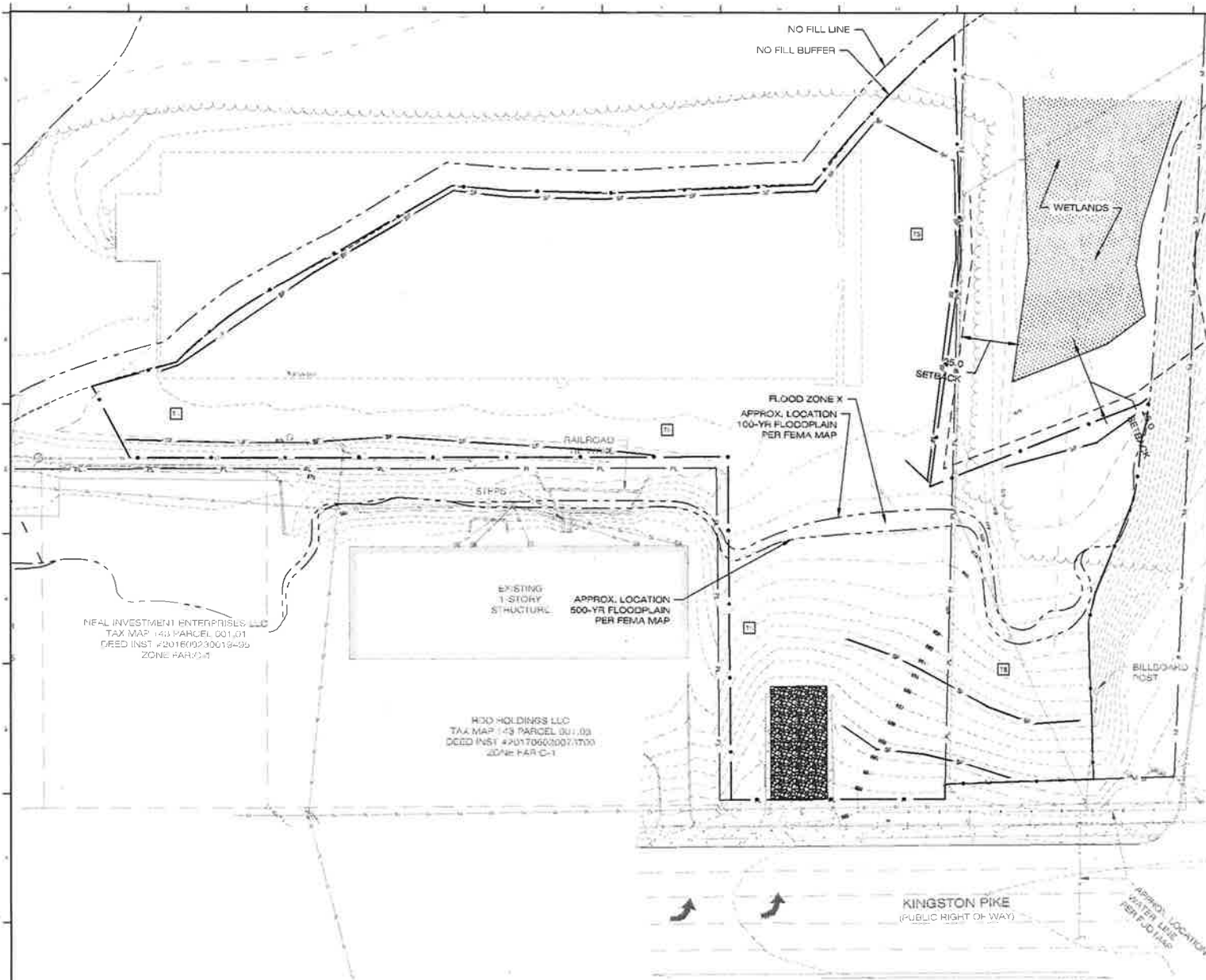
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ABBREVIATIONS

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EXISTING LEGEND

SYMBOL	DESCRIPTION
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GENERAL SHEET NOTES

SEE SHEET 1 FOR PRELIMINARY NOTES AND LAYOUT

EROSION CONTROL LEGEND

- CONSTRUCTION LANE
- BUILT FENCE, SEE DETAIL 2000
- CONSTRUCTION ENTRANCE SEE DETAIL 1000
- TEMPORARY STABILIZATION, SEE SEDIMENTATION TABLE BELOW

TEMPORARY SEED MIXTURES (TDOT)

GROUP	SEEDING DATE	GRASS SEEDS	PERCENT
D	APRIL 15 TO MAY 1	PERennial GRASS	50%
		WORMWOOD	50%
E	MAY 15 TO JUNE 1	SUNNYGRASS	50%
		WORMWOOD	50%
F	JUNE 15 TO JULY 1	WORMWOOD	50%
		WORMWOOD	50%



ENGINEER
 PROJECT NO.
 SHEET NO.
 DATE
 DRAWN BY
 CHECKED BY
 APPROVED BY

PROJECT INFORMATION
 PROJECT NO.
 SHEET NO.
 DATE
 DRAWN BY
 CHECKED BY
 APPROVED BY



SHAGAN RETAIL MASS GRADING
 PROJECT NO.
 SHEET NO.
 DATE
 DRAWN BY
 CHECKED BY
 APPROVED BY

PHASE 1 EROSION PREVENTION & SEDIMENT CONTROL PLAN
 PROJECT NO.
 SHEET NO.
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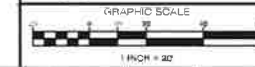
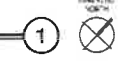
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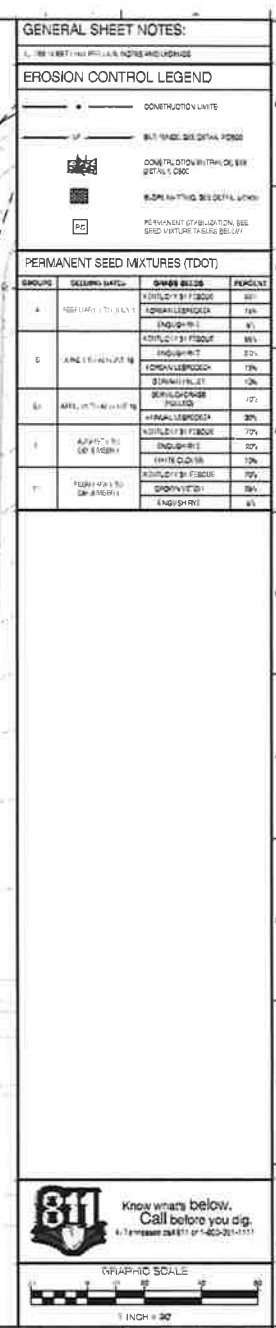
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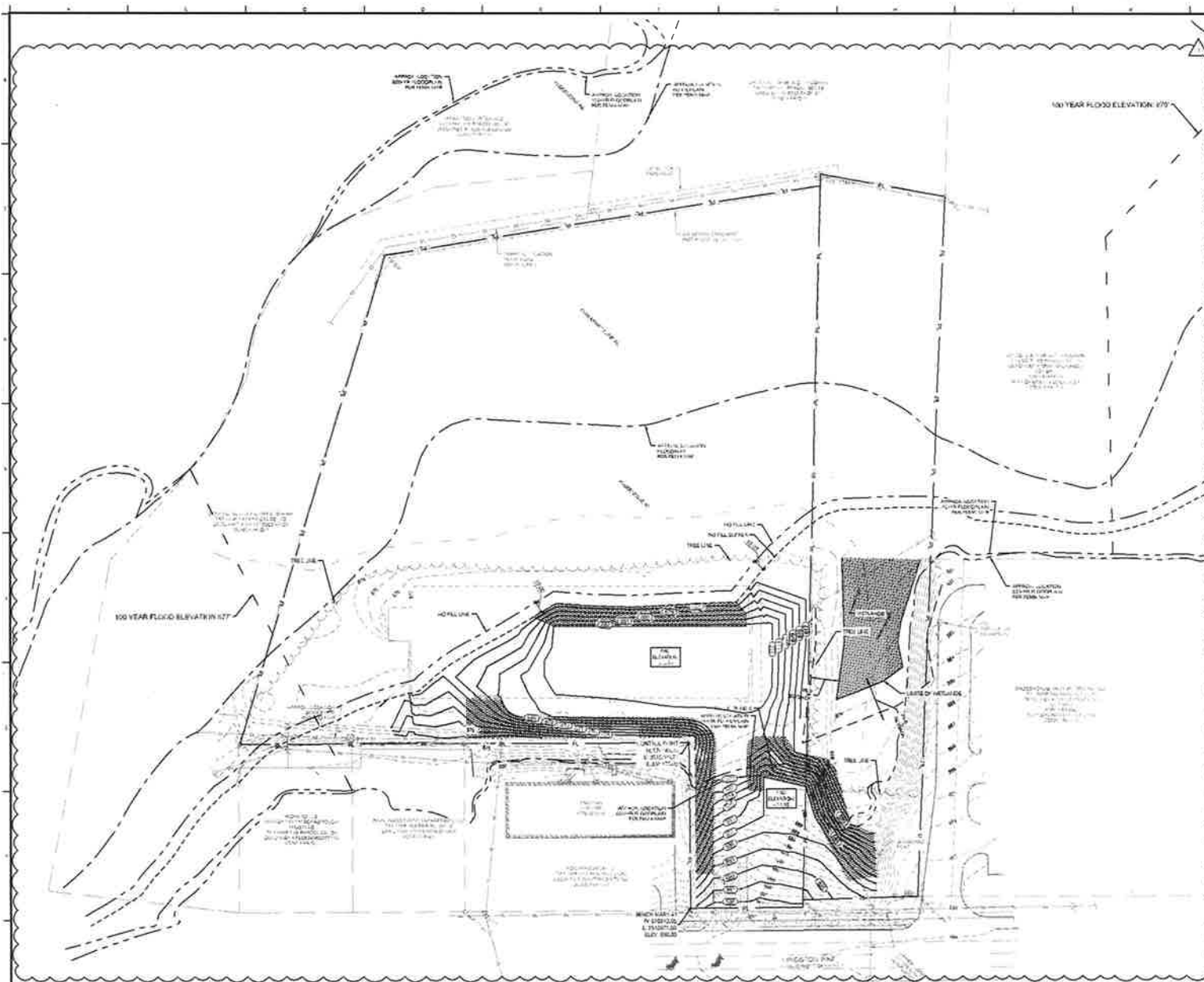
C100

PHASE 1 EROSION PREVENTION & SEDIMENT CONTROL PLAN

SCALE 1" = 20'



[illegible]



GENERAL SHEET NOTES

1. SEE SHEET 101 FOR ALL NOTES AND LEGENDS
 2. SEE SHEET 102 FOR ALL NOTES AND LEGENDS
 3. SEE SHEET 103 FOR ALL NOTES AND LEGENDS

EARTHWORK

1. SEE SHEET 104 FOR ALL NOTES AND LEGENDS
 2. SEE SHEET 105 FOR ALL NOTES AND LEGENDS
 3. SEE SHEET 106 FOR ALL NOTES AND LEGENDS

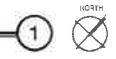
811 Know what's below. Call before you dig. In Toronto call 811 or 1-800-361-1111

GRAPHIC SCALE

1" = 40'

OVERALL GRADING PLAN

SCALE: 1" = 40'



MBI

SHAGAN RETAIL MASS GRADING

PROJECT ADDRESS

PROJECT NO.

DATE

BY

CHECKED BY

APPROVED BY

OVERALL GRADING PLAN

C400

MEETING DATE: August 15, 2019

AGENDA ITEM #11

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on a preliminary plat for Phase I of Grigsby Park, Parcel 96 and 96.01, Tax Map 142, Grigsby Chapel Road across from the Wyndham Hall Subdivision, 4.636 Acres, 15 Lots, Zoned R-4 (Grigsby Park, LLC, Applicant)

Consistent with Resolution PC-19-08, this agenda item is recommended for postponement because some critical design related information was not included.

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion on options for amendments to the Farragut Zoning Ordinance in relation to providing for medium and high-density multi-family zoning districts to be consistent with the Comprehensive Land Use Plan (Town of Farragut, Applicant)

INTRODUCTION AND BACKGROUND: This is a discussion item only and is being presented to obtain feedback and direction on how to address a current discrepancy between some of the uses noted on the Future Land Use Map in the Comprehensive Land Use Plan (CLUP) and zoning districts provided for in the Zoning Ordinance.

DISCUSSION: At the October 18, 2018 Planning Commission meeting, updates were approved in relation to the future land use map for the Watt Road Corridor. At the same time, the following text amendments were also approved in relation to the CLUP:

- Change the residential density in the Mixed-Use Neighborhood Land Use category from 6-10 dwelling units/acre to up to 8 dwelling units/acre. This would reflect the permitted density in the new Neighborhood/Convenience Commercial (NCC) Zoning District;
- Change the density permitted in the Medium Density Residential Land Use category from 6-12 dwelling units/acre to 6-8 dwelling units/acre;
- Create a new land use category for High Density Residential and establish the density as 9-12 dwelling units/acre (**NOTE:** The Mixed-Use Town Center Land Use allows up to 15 dwelling units/acre and would not be the same as High Density Residential).

The creation of the NCC Zoning District helped make the Zoning Ordinance be generally consistent with the Mixed-Use Neighborhood Land Use category. However, the Zoning Ordinance has not yet been updated to account for the changes that were made to the original Medium Density Residential Land Use where the density was changed from 6-12 dwelling units/acre to 6-8 dwelling units/acre.

Currently, the Zoning Ordinance provides for up to 12 dwelling units/acre in the R-6, Multi-Family Residential District, and the R-6, Open Space Multi-Family Residential District. Other than the Town Center District (TCD) and the NCC, these are the only zoning districts that provide for multi-family residential. Some possible options to consider at this point include the following:

- 1) Change the R-5, Two-Family Residential Zoning District, to a Medium Density Multi-Family Zoning District with up to 8 dwelling units/acre being permitted (*the R-5 District has not been used for many years and developments that have duplexes (which are single-family attached units) have recently been approved under the R-4 Zoning District. There are only two areas that are currently zoned R-5 and those are already built out. As a result, changing their zoning to R-4 would not create any issues*);

- 2) The new R-5 would need to take into consideration where and how a smaller multi-family project would be appropriate and transition with existing and/or envisioned development. This medium density multi-family district would likely include less permitted height than R-6 or R-6/OSMFR and feature other characteristics that would help with an appropriate transition where lower density residential may be situated nearby. The Derby Run Apartments between First Choice Automotive and the Kingsgate and Sugarwood Subdivisions would be considered medium density multi-family residential. The development density in Derby Run is 7.75 units/acre;
- 3) The R-6 and R-6/OSMFR would become the zoning districts for the high-density residential land use. Currently, the Lanesborough Apartments off Fretz Road and the Overlook at Campbell Station would be considered high density residential. Both developments exceed 9 units/acre.

If the above process seems appropriate, staff will put together some zoning ordinance text amendments for consideration at another workshop session in either September or October.