



**AGENDA
FARRAGUT MUNICIPAL PLANNING COMMISSION**

**September 19, 2019
7:00 p.m. Farragut Town Hall**

For questions please e-mail Mark Shipley at mshipley@townoffarragut.org or Bart Hose at bhose@townoffarragut.org

- 1. Citizen Forum**
- 2. Approval of agenda**
- 3. Approval of minutes – August 15, 2019**
- 4. Discussion and public hearing on a revised site plan for drive-through lanes and building exterior modifications at the ORNL Federal Credit Union at 11405 Municipal Center Drive, 1 Acre, Zoned C-1/MUTC (Design Collaborative, Applicant)**
- 5. Discussion and public hearing on a site plan for an 8-bay garage to be added within the parking lot at the northeastern portion of the Villages Luxury Senior Living facility, 230 Village Commons Boulevard, 23 Acres, Zoned S-1 (SITE Inc., Applicant)**
- 6. Discussion and public hearing on a request for a variance from the Subdivision Regulations for the requirement to construct a sidewalk along a collector street in association with a resubdivision plat for the property at 632 Red Mill Lane, 1.96 Acres, 2 Lots, Zoned R-1 (SITE Inc., Applicant)**
- 7. Discussion and public hearing on a request for a variance from the Driveways and Other Accessways Ordinance for the distance between driveways in association with a resubdivision plat for the property at 632 Red Mill Lane, 1.96 Acres, 2 Lots, Zoned R-1 (SITE Inc., Applicant)**
- 8. Discussion and public hearing on a final plat for Brookmere Phase I, Parcel 044, Tax Map 152, 430 Virtue Road, 39.54 Acres, 50 Houselots, 4 Open Space Lots, Zoned R-1/OSR (Ryan Lynch - Lynch Surveys, LLC, Applicant)**
- 9. Discussion on a request to rezone a portion of Parcel 069, Tax Map 142 (north of the old Ingles Shopping Center), from R-1 (Rural Single-Family Residential), R-2 (General Single-Family Residential), and B-1 (Buffer) to R-4 (Attached Single-Family Residential) and R-6 (Multi-Family Residential), 32.7 Acres (John Baker/Horne Properties, Applicant)**

11408 MUNICIPAL CENTER DRIVE | FARRAGUT, TN 37934 | 865.966.7057

WWW.TOWNOFFARRAGUT.ORG

It is the policy of the Town of Farragut not to discriminate on the basis of race, color, national origin, age, sex, or disability pursuant to Title VI of the Civil Rights Act of 1964, Public Law 93-112 and 101-336 in its hiring, employment practices and programs. To request accommodations due to disabilities, please call 865-966-7057 in advance of the meeting.

10. Discussion and public hearing on a request to rezone the property at 11221 Outlet Drive from C-2-R/W (Regional Commercial, Retail/Warehousing) to C-2 (Regional Commercial), 15.47 Acres (Town of Farragut, Applicant)

11. Approval of utilities

**Planning Commission Meeting
Public Comment Protocol**

The Planning Commission welcomes and invites citizens to participate in public meetings.

At the beginning of each meeting, there will be time reserved for public comment under the Citizen Forum agenda item. If you are interested in speaking, please fill out a blue comment card and turn it in to the Town Planner or staff member. This time is set aside specifically for comments on items that are not on the Planning Commission regular agenda for the meeting. Each speaker will be given five (5) minutes to speak on his/her topic.

During the regular agenda portion of the meeting there may be an allowance for public comment for each agenda item. The Chairman may recognize individuals for public comment based on the following guidelines:

1. The Chairman shall maintain and control the meeting to provide a professional and objective environment conducive to presentation and discussion of the agenda items;
2. Anyone interested in speaking should fill out a blue comment card stating which agenda item they would like to comment on and turn in to the Town Planner or a staff member;
3. Speakers shall come to the podium and identify themselves by name and address;
4. Public comment shall be limited to five (5) minutes per individual, time may be extended at the discretion of the Chairman; time is not transferable to other speakers;
5. Speakers should strive to avoid redundancy;
6. Comments shall address issues, not individuals or personalities;
7. Comments may support or oppose particular issues or measures, but the motives of those with differing views shall not be questioned or attacked;
8. Personal attacks and malicious comments shall not be tolerated;
9. An applicant, and/or their representative(s), for an item on the regular agenda shall be afforded the time necessary to present their request and respond to questions. The five (5) minute limitation shall not apply. However, the Chairman may ask an applicant to stay on point in order to facilitate the efficiency of the meeting.



**MINUTES
FARRAGUT MUNICIPAL PLANNING COMMISSION**

August 15, 2019

MEMBERS PRESENT

Rita Holladay, Chairman
Ed St. Clair, Vice-Chairman
Ron Williams, Mayor
Rose Ann Kile, Secretary
Scott Russ
Betty Dick
Jon Greene
Melanie Cionfolo, Youth Representative

MEMBERS ABSENT

Noah Myers
Louise Povlin

Staff Representatives: Mark Shipley, Community Development Director

Chairman Holladay called the meeting to order at 7 p.m.

1. Citizen Forum

Staff welcomed Melanie Cionfolo as the new youth representative.

2. Approval of agenda

Staff recommended that Agenda Items 4 and 11 be postponed.

A motion was made by Mayor Williams to follow staffs' recommendation. Motion was seconded by Commissioner St. Clair and motion passed unanimously.

3. Approval of minutes – July 18, 2019

Staff recommended approval.

A motion was made by Commissioner Kile to follow staffs' recommendation. Motion was seconded by Mayor Williams and motion passed unanimously.

4. Discussion and public hearing on a revised site plan for drive-through lanes and building exterior modifications at the ORNL Federal Credit Union at 11405 Municipal Center Drive, 1 Acre, Zoned C-1/MUTC (Design Collaborative, Applicant)

Postponed at the request of the applicant.

5. Discussion and public hearing on amending action taken by the Planning Commission on June 21, 1990 in relation to approval subject to's associated with final plat approval of Unit 4 of the Sweet Briar Subdivision (Town of Farragut, Applicant)

Staff recommended that the Planning Commission remove the conditions imposed on June 21, 1990 regarding approval of the final plat for Unit 4 of the Sweet Briar Subdivision in relation to recreational facilities to be constructed on Lot 57.

A motion was made by Commissioner St. Clair to follow staffs' recommendation. Motion was seconded by Commissioner Greene and motion passed unanimously.

6. Discussion and public hearing on a site plan for a generator and associated screening at the Summit View Nursing Home, 12823 Kingston Pike, 5 Acres, Zoned C-1 (Falconnier Design Company, Applicant)

Staff recommended that the service/mechanical/utility area (including the replacement generator) be screened to the Town's requirements as shown on the applicant's full screening option. Staff noted that the generator would be painted brown to match colors on the nursing home building.

A motion was made by Commissioner St. Clair to follow staffs' recommendation. Motion was seconded by Mayor Williams and motion passed unanimously.

7. Discussion and public hearing on an amendment to the preliminary plat for the Enclave at Sheffield (Phase 4) to adjust the location of the sidewalks and minor property line adjustments (iLend Inc., Applicant)

Staff recommended approval of the modifications to the preliminary plat.

A motion was made by Commissioner Greene to follow staffs' recommendation. Motion was seconded by Commissioner Dick and motion passed unanimously.

8. Discussion and public hearing on a final plat for Sassafras Meadows, 524 Dixon Road, 27.28 Acres, 4 Lots, Zoned R-1 (Lemay and Associates, Applicant)

Staff recommended approval subject to a street maintenance letter of credit being provided to the Town based on a dollar amount calculated by the Town Engineer and satisfactory completion of any remaining engineering field items.

A motion was made by Commissioner St. Clair to follow staffs' recommendation. Motion was seconded by Mayor Williams and motion passed unanimously.

9. Discussion and public hearing on a grading plan for portions of the TN Knoxville/Furrow Property along Outlet Drive, Parcels 154.06, 154.07, 154.08, 154.09 and 154.10, Tax Map 130, roughly 24.07 Acres, Zoned C-2 (Land Development Solutions, Applicant)

Staff recommended approval subject to the following:

- 1) Please add a dimension from the retaining wall to the Outlet Drive right of way to demonstrate setback compliance;
- 2) Please submit NOC;
- 3) Please submit irrevocable letter of credit for erosion control of \$101,500; and
- 4) Please schedule a pre-construction meeting to review trees that may need an arborist assessment to ensure survivability.

A motion was made by Commissioner St. Clair to follow staffs' recommendation. Motion was seconded by Mayor Williams and motion passed unanimously.

10. Discussion and public hearing on a grading plan for portions of 11153 and 11157 Kingston Pike, Zoned C-1 and FPD (Crossroads West Properties, Applicant)

Staff recommended approval subject to the following:

- 1) Please submit irrevocable letter of credit for erosion control of \$12,500.

A motion was made by Commissioner Kile to follow staffs' recommendation. Motion was seconded by Commissioner St. Clair and motion passed unanimously.

11. Discussion and public hearing on a preliminary plat for Phase I of Grigsby Park, Parcel 96 and 96.01, Tax Map 142, Grigsby Chapel Road across from the Wyndham Hall Subdivision, 4.636 Acres, 15 Lots, Zoned R-4 (Grigsby Park, LLC, Applicant)

Postponed due to incomplete submittal.

12. Discussion on options for amendments to the Farragut Zoning Ordinance in relation to providing for medium and high-density multi-family zoning districts to be consistent with the Comprehensive Land Use Plan (Town of Farragut, Applicant)

For discussion purposes only.

13. Approval of utilities

None.

The meeting was adjourned at 8:05.

Rose Ann Kile, Secretary

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on a revised site plan for drive-through lane and building exterior modifications at the ORNL Federal Credit Union at 11405 Municipal Center Drive, 1 Acre, Zoned C-1/MUTC (Design Collaborative, Applicant)

INTRODUCTION AND BACKGROUND: This item was postponed last month at the request of the applicant. As you may recall, at the July Planning Commission meeting, exterior renovations to the Farragut Branch of the ORNL Federal Credit Union were discussed. Some concerns were raised by the staff and commissioners about the color scheme used as part of the renovation and the fact that the building is situated within the Mixed-Use Town Center overlay area.

RECOMMENDATION: The main issue was a bright blue proposed on the southeast corner of the building and the drive through lanes. Commissioners ultimately voted to approve the site plan so the project could move forward with the exception of making the drive through lanes an earth tone to match earth tones that are being used on the building. Commissioners also asked that the sizable blue area on the southeast corner be re-visited and reduced perhaps in the form of a background color for the wall sign. These modifications would then need to be presented to the Planning Commission to ensure that the approval conditions had been satisfied.

Included in your packet is a copy of the color rendering now proposed by the applicant. This has taken out the blue color entirely. Staff supports the revisions proposed.

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on a site plan for an 8-bay garage to be added within the parking lot at the northeastern portion of the Villages Luxury Senior Living facility, 230 Village Commons Boulevard, 23 Acres, Zoned S-1 (SITE Inc., Applicant)

INTRODUCTION AND BACKGROUND: This agenda item involves the conversion of 10 surface parking spaces to an 8-bay garage building in the northeast portion of the parking lot. The staff comments were discussed with the applicant at the staff/developer meeting on September 3.

RECOMMENDATION: Included in your packet are revised plans for the 8-bay garage along with the staffs' initial comments. Staff will make a recommendation at the meeting based on whether the comments have been addressed.



Civil Engineers

September 9, 2019

Mark Shipley
Town of Farragut
11408 Municipal Center Dr.
Farragut, TN 37934

Re: Staff comments on the 8 Bay Garage for The Villages of Farragut

Dear Mark,

Please find attached revised plans per staff comments dated 8/27/19. We have provided responses to staff comments below.

1. Will having a surface space located so close to a building create a blind back-up condition?
RESPONSE: There will be limited parking spaces to the east and we do not anticipate the driveway will be connected to the adjacent property to the east.
2. Please modify the garage facades to comply with the Town's adopted masonry requirements as provided for in the Architectural Design Standards;
RESPONSE: Table for percentage masonry to be used on the garage building has been added to the plan. See sheet A1.13.
3. Provide new height and area calculations reflecting the proximity of new proposed garage structure.
RESPONSE: Shown on sheet A1.13
4. Identify construction type.
RESPONSE: Construction type shown on Cover Sheet C0.0 and Garage Plan sheet A1.13.

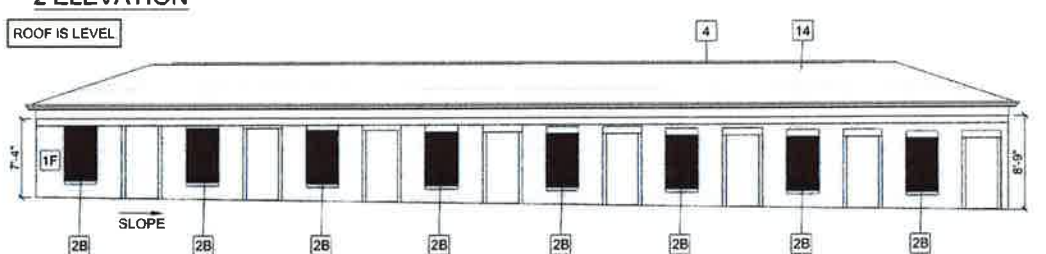
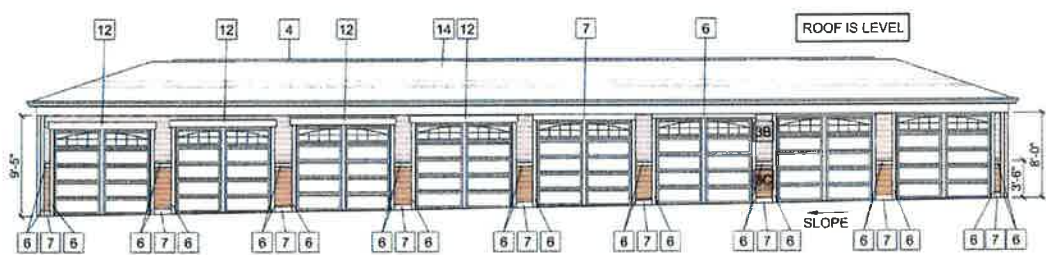
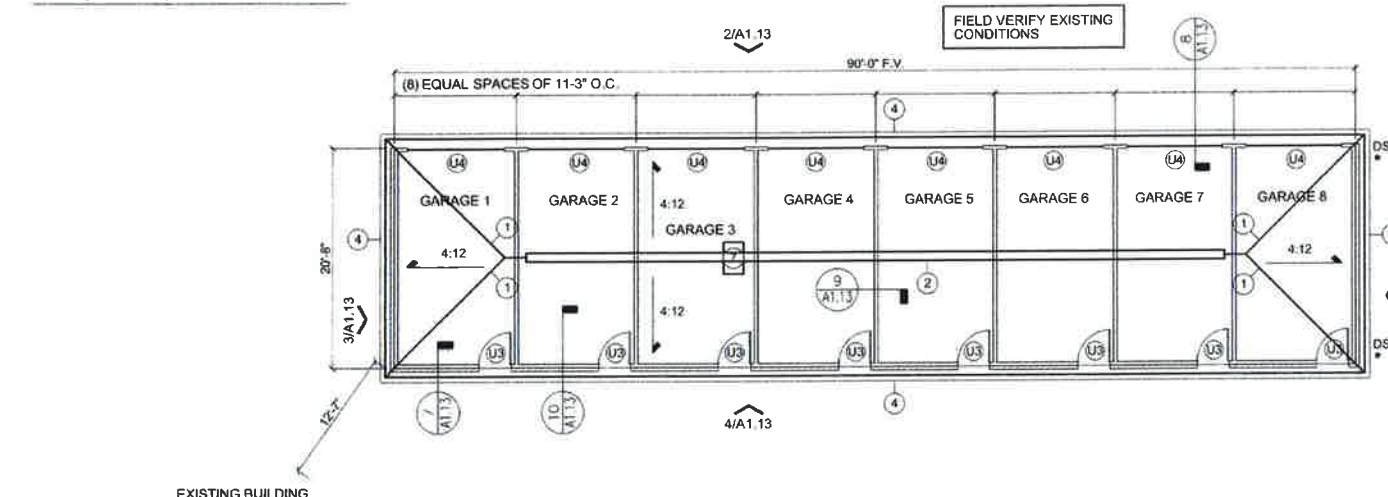
Please let us know if any of our responses are unclear or if you need additional information.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Annette Hommel', with a stylized flourish at the end.

Annette Hommel, P.E.

1 FLOOR PLAN/ROOF PLAN



DOOR SCHEDULE

DOORS	FRAMES	KEY	SCHEDULE	TRIM
NO. LOCATION	PAIR WIDTH HEIGHT THICK. MATERIAL TYPE RATING	MATERIAL HEAD JAMB	MASTER	NOTES INT/EXT
U3 REAR ACCESS	3'-0" 6'-8" 1 3/4" INSULATED METAL D9	WOOD D C	1	18,12,9,4 A/B
U4 EXTERIOR GARAGE	9'-0" 8'-0" 1 3/4" METAL D16	WOOD B A	25,24,23	A/B

FRAMES:



DOOR HARDWARE NOTES

- PASSAGE LEVER L100
- 1/2" MAX RISE THRESHOLD W/DOOR SWEEP TO THRESHOLD
- DEAD BOLT
18. ALUMINUM BUMPER STYLE THRESHOLD-SEE DETAIL L/A1.13
23. RATED GLASS
24. GARAGE DOOR OPENER
25. SWEEP TO GROUND

DOOR TRIM NOTES:

- SEE FINISH PLAN NOTES FOR ADDITIONAL TRIM REQUIREMENTS
- 2-1/4" CASING
 - 3-1/4" CASING
 - 2-1/4" BRICK MOLD
 - GYPSUM BOARD CASED OPENING
 - HOLLOW METAL
 - 4" HEADER

KEYING SCHEDULE:

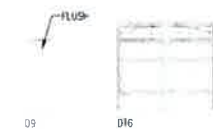
- UNIT, STAFF MASTER, INT./EXT. DR.
- STAFF MASTER
- STAFF MASTER W/ KEYFOB

HARDWARE GENERAL NOTES

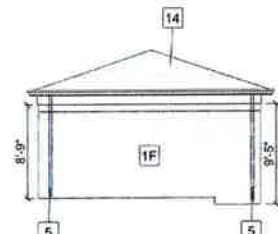
- UNLESS OTHERWISE NOTED, ALL HARDWARE FINISHES ARE BRONZE.
- UNLESS OTHERWISE NOTED, ALL DOORS AND FRAMES ARE PAINTED TO MATCH TRIM -SEE FINISH PLAN
- UNLESS OTHERWISE NOTED, ALL GLASS IN NON-RATED DOORS SHALL BE 1/4" TEMPERED GLASS
- UNLESS OTHERWISE NOTED, ALL EXTERIOR DOORS TO BE WEATHERSTRIPPED
- UNLESS OTHERWISE NOTED, ALL EXTERIOR DOORS AT EXTERIOR PERIMETER SHALL HAVE SECURITY COVER AT EXTERIOR DOORS STRIKE
- UNLESS OTHERWISE NOTED, ALL DOORS SHALL HAVE DOOR BUMPERS
- UNLESS OTHERWISE NOTED, ALL RATED DOORS AND TOILET DOORS SHALL HAVE CLOSERS

DOOR TYPES:

NOTE: DOOR, FRAME DRAWINGS AND NOTES ARE BASED ON INDUSTRY STANDARDS. INCLUSION OF THESE GRAPHIC SYMBOLS DOES NOT NECESSARILY MEAN THEY ARE INCLUDED IN THIS SPECIFIC PROJECT. REFER TO THE FLOOR PLANS FOR SPECIFIC DOORS REQUIRED.



3 ELEVATION



9 WALL SECTION AT DIVIDER WALL

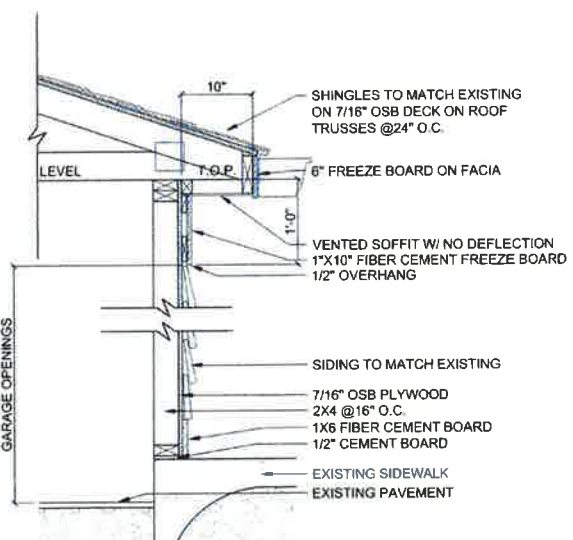
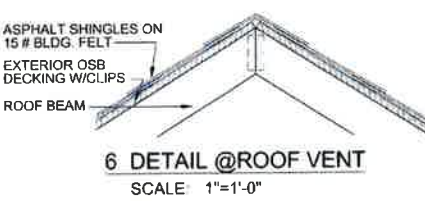


FLOOR/ROOF PLAN NOTES:

- RIDGE SEE DETAIL 6/A1.13
- ROOF VENT WITHIN 2'-0" OF RATED WALLS, CABLES AND RIDGE INTERSECTIONS
- GUTTER-LOCATE DOWNSPOUT AND SIZE AS REQUIRED FOR 100 YEAR STORM, LOCATE DOWNSPOUT AS SHOWN AS "DS" ON ROOF PLAN
- ATTIC ACCESS DOOR; 22-1/2"X34-1/2" ONE HOUR RATED, PROVIDE SUBMITTAL FOR APPROVAL

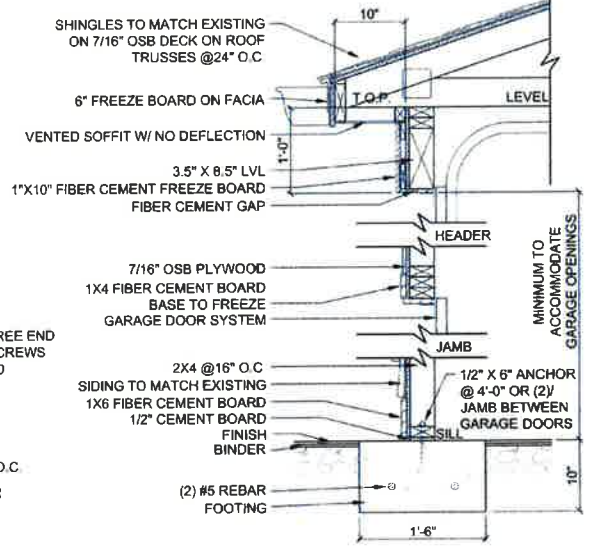
ELEVATION NOTES:

- PAINTED BRICK VENEER-COLOR TO BE SELECTED BY ARCHITECT
- FAUX WINDOW WITH SHUTTERS-COLORS TO BE SELECTED BY ARCHITECT
- FIBER CEMENT SIDING-COLOR B (SHERWIN WILLIAMS SW7632 MODERN GREY)
- FIBER CEMENT SIDING-COLOR C (SHERWIN WILLIAMS SW7534 OUTERBANKS)
- ROOF VENT
- DOWNSPOUT-PIPE TO DRAIN
- 1X4 FIBER CEMENT TRIM-SHERWIN WILLIAMS SW7101 FUTON
- 1X6 FIBER CEMENT TRIM-SHERWIN WILLIAMS SW7101 FUTON
- LIFETIME 8" WINDOW/DOOR HEADER WH SERIES WITH WIDTH EQUAL TO OPENING PLUS 1" EACH SIDE-PAINT TO MATCH WINDOWS
- SHINGLES AS SELECTED BY ARCHITECT
- UNLESS OTHERWISE NOTED, ALL TRIM IS SHERWIN WILLIAMS SW7101 FUTON



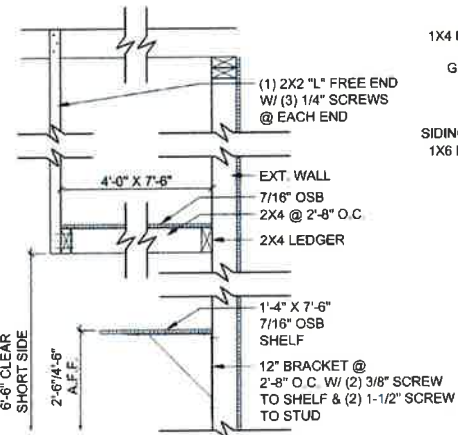
7 WALL SECTION AT SIDEWALK/CURB

SCALE: 1"=1'-0"



8 WALL SECTION AT GARAGE DOOR

SCALE: 1"=1'-0"



10 WALL SECTION AT SHELF

SCALE: 1"=1'-0"

PLAN REVIEW DATA:

- OCCUPANCY TYPE: 2012 IBC: UTILITY AND MISCELLANEOUS GROUP U (312.1)
- CONSTRUCTION TYPE: 2012 IBC: TYPE V-B
- BUILDING AREA PROPOSED AREA 1,868 SF

GOOD WORKS
UNLIMITED, LLC
Development, Design and Management of Senior Living Communities
2202 JEFFERSON COURT
FRANKLIN, TN 37064
615.790.7041 P/F

Inspireon
LLC
Planning
Architecture
Interiors
Construction
1753 Fickleness Circle
Franklin, TN 37064
615.790.7041 P/T



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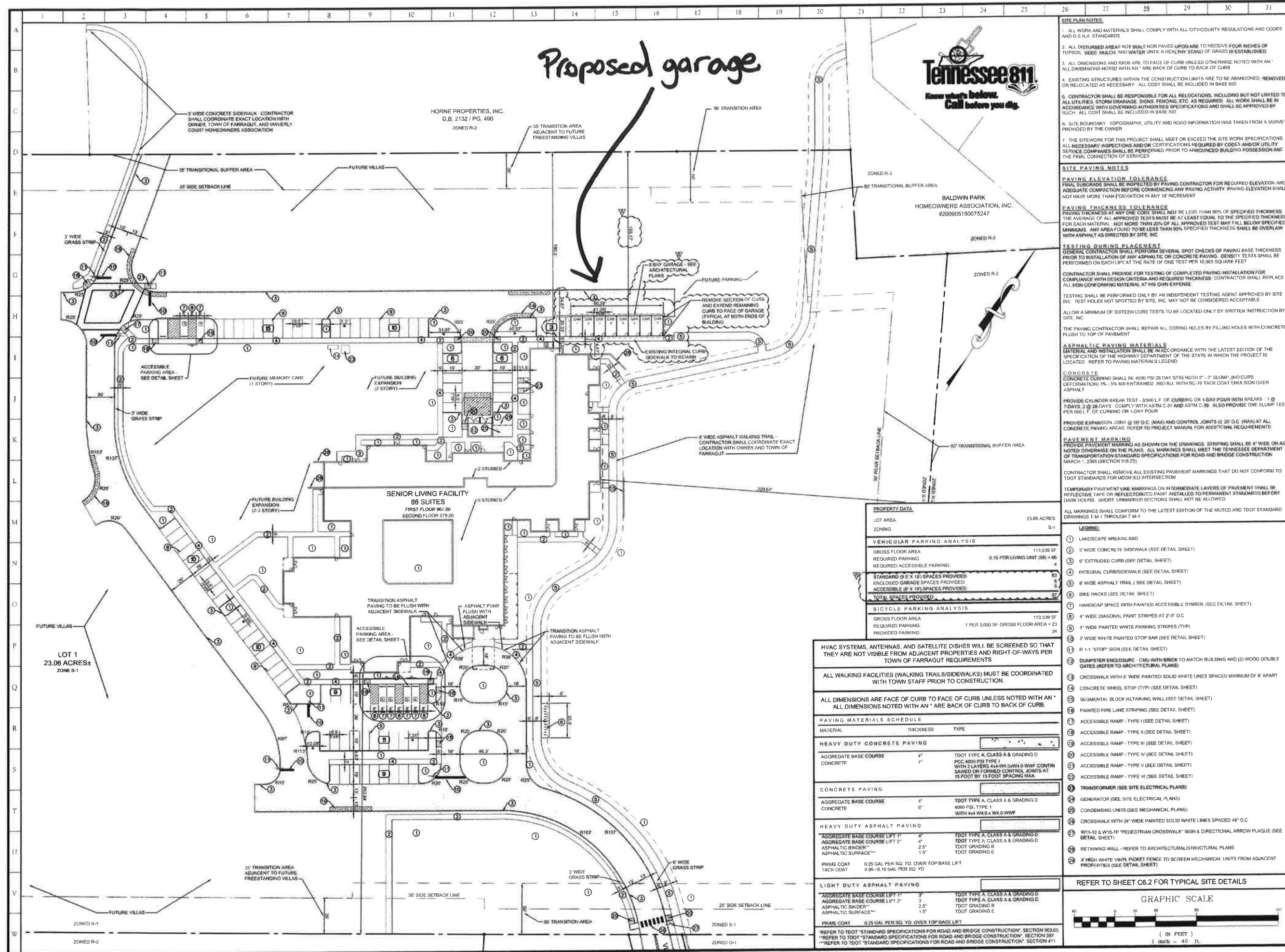
DATE	DESCRIPTION
7/10/19	ISSUE 16

THE Village
OF FARRAGUT
FARRAGUT, TENNESSEE 37934

DRAWING TITLE:
GARAGE PLAN

SCALE: 1/8"=1'-0"

A1.13



SITE PLAN NOTES

1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS
2. ALL DISTURBED AREAS NOT BUILT OR PAVED UPON ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED
3. ALL DIMENSIONS AND RADII ARE TO FACE OF CURB UNLESS OTHERWISE NOTED WITH AN "ALL DIMENSIONS NOTED WITH AN "ARE BACK OF CURB TO BACK OF CURB
4. EXISTING STRUCTURES WITHIN THE CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO ALL UTILITIES, STORM DRAINAGE, SIGNS, FENCING, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID
6. SITE BOUNDARY TOPOGRAPHY, UTILITY AND ROAD INFORMATION WAS TAKEN FROM A SURVEY PROVIDED BY THE OWNER
7. THE SITEWORK FOR THIS PROJECT SHALL MEET OR EXCEED THE SITE WORK SPECIFICATIONS AND NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR CITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANY COMMENCEMENT OF BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES

SITE PAVING NOTES

PAVING ELEVATION TOLERANCE
FINAL SUBGRADE SHALL BE INSPECTED BY PAVING CONTRACTOR FOR REQUIRED ELEVATION AND ADEQUATE COMPACTION BEFORE COMMENCING ANY PAVING ACTIVITY. PAVING ELEVATION SHALL NOT HAVE MORE THAN ± 1 " DEVIATION IN ANY 10' INCREMENT.

PAVING THICKNESS TOLERANCE
PAVING THICKNESS AT ANY ONE CORE SHALL NOT BE LESS THAN 90% OF SPECIFIED THICKNESS.
THE AVERAGE OF ALL APPROVED TESTS MUST BE AT LEAST EQUAL TO THE SPECIFIED THICKNESS.
FOR EACH MATERIAL, NOT MORE THAN 20% OF ALL APPROVED TEST MAY FALL BELOW SPECIFIED
MINIMUMS. ANY AREA FOUND TO BE LESS THAN 90% SPECIFIED THICKNESS SHALL BE OVERLAIN
WITH ASPHALT AS DIRECTED BY SITE INC.

TESTING DURING PLACEMENT
GENERAL CONTRACTOR SHALL PERFORM SEVERAL SPOT CHECKS OF PAVING BASE THICKNESS PRIOR TO INSTALLATION OF ANY ASPHALTIC OR CONCRETE PAVING. DENSITY TESTS SHALL BE PERFORMED ON EACH LIFT AT THE RATE OF ONE TEST PER 10,000 SQUARE FEET

CONTRACTOR SHALL PROVIDE FOR TESTING OF COMPLETED PAVING INSTALLATION FOR COMPLIANCE WITH DESIGN CRITERIA AND REQUIRED THICKNESS. CONTRACTOR SHALL REPLACE ALL NON-CONFORMING MATERIAL AT HIS OWN EXPENSE.

TESTING SHALL BE PERFORMED ONLY BY AN INDEPENDENT TESTING AGENT APPROVED BY SITE INC. TEST HOLES NOT SPOTTED BY SITE INC. MAY NOT BE CONSIDERED ACCEPTABLE

ALLOW A MINIMUM OF SIXTEEN CORE TESTS TO BE LOCATED ONLY BY WRITTEN INSTRUCTION BY SITE, INC.

THE PAVING CONTRACTOR SHALL REPAIR ALL CORING HOLES BY FILLING HOLES WITH CONCRETE
FLUSH TO TOP OF PAVEMENT

ASPHALTIC PAVING MATERIALS

MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE SPECIFICATION OF THE HIGHWAY DEPARTMENT OF THE STATE IN WHICH THE PROJECT IS LOCATED. REFER TO PAVING MATERIALS LEGEND.

CONCRETE CURBING SHALL BE 4000 PSI 28 DAY STRENGTH 2" - 3" SLUMP, (NO CURB DEFORMATION) 3% - 5% AIR ENTRAINED. INSTALL WITH RC-70 TACK COAT EMULSION OVER ASPHALT

PROVIDE CYLINDER BREAK TEST - 3/500 L.F. OF CURBING OR 1-DAY POUR WITH BREAKS - 1 @ 1-DAYS, 2 @ 28-DAYS. COMPLY WITH ASTM C-31 AND ASTM C-39. ALSO PROVIDE ONE SLUMP TEST PER 500 L.F. OF CURBING OR 1-DAY POUR.

PROVIDE EXPANSION JOINT @ 50' O.C. (MAX) AND CONTROL JOINTS @ 25' O.C. (MAX) AT ALL CONCRETE PAVING AREAS. REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.

PAVEMENT MARKING
 PROVIDE PAVEMENT MARKING AS SHOWN ON THE DRAWINGS. STRIPING SHALL BE 4" WIDE OR AS NOTED OTHERWISE ON THE PLANS. ALL MARKINGS SHALL MEET THE TENNESSEE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION MARCH 1, 2006 (SECTION 918.23)

CONTRACTOR SHALL REMOVE ALL EXISTING PAVEMENT MARKINGS THAT DO NOT CONFORM TO
TDOT STANDARDS FOR MODIFIED INTERSECTION

TEMPORARY PAVEMENT LINE MARKINGS ON INTERMEDIATE LAYERS OF PAVEMENT SHALL BE REFLECTIVE TAPE OR REFLECTORIZED PAINT INSTALLED TO PERMANENT STANDARDS BEFORE DARK HOURS. SHORT, UNMARKED SECTIONS SHALL NOT BE ALLOWED.

ALL MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE MUTCD AND TDOT STANDARD DRAWINGS T-M-1 THROUGH T-M-4

LEGEND:

① LANDSCAPE

- ② 5" WIDE CONCRETE SIDEWALK (SEE DETAIL SHEET)
- ③ 8" EXTRUDED CURB (SEE DETAIL SHEET)
- ④ INTEGRAL CURBSIDEWALK (SEE DETAIL SHEET)
- ⑤ 6" WIDE ASPHALT TRAIL (SEE DETAIL SHEET)
- ⑥ BIKE RACKS (SEE DETAIL SHEET)
- ⑦ HANDICAP SPACE WITH PAINTED ACCESSIBLE SYMBOL (SEE DETAIL SHEET)
- ⑧ 4" WIDE DIAGONAL PAINT STRIPES AT 2'-0" O.C.
- ⑨ 4" WIDE PAINTED WHITE PARKING STRIPES (TYP)
- ⑩ 2' WHITE PAINTED STOP BAR (SEE DETAIL SHEET)
- ⑪ R 1-1 "STOP" SIGN (SEE DETAIL SHEET)
- ⑫ DUMPSTER ENCLOSURE - CMU WITH BRICK TO MATCH BUILDING AND (2) WOOD DOUBLE GATES (REFERS TO ARCHITECTURAL PLANS)
- ⑬ CROSSWALK WITH 8" WIDE PAINTED SOLID WHITE LINES SPACED MINIMUM OF 8' APART
- ⑭ CONCRETE WHEEL STOP (TYP) (SEE DETAIL SHEET)
- ⑮ SEGMENTAL BLOCK RETAINING WALL (SEE DETAIL SHEET)
- ⑯ PAINTED FIRE LANE STRIPES (SEE DETAIL SHEET)
- ⑰ ACCESSIBLE RAMP - TYPE I (SEE DETAIL SHEET)
- ⑱ ACCESSIBLE RAMP - TYPE II (SEE DETAIL SHEET I)
- ⑲ ACCESSIBLE RAMP - TYPE III (SEE DETAIL SHEET)
- ⑳ ACCESSIBLE RAMP - TYPE IV (SEE DETAIL SHEET)
- ㉑ ACCESSIBLE RAMP - TYPE V (SEE DETAIL SHEET)
- ㉒ ACCESSIBLE RAMP - TYPE VI (SEE DETAIL SHEET)
- ㉓ TRANSFORMER (SEE SITE ELECTRICAL PLANS)
- ㉔ GENERATOR (SEE SITE ELECTRICAL PLANS)
- ㉕ CONDENSING UNITS (SEE MECHANICAL PLANS)
- ㉖ CROSSWALK WITH 24" WIDE PAINTED SOLID WHITE LINES SPACED 48" O.C.
- ㉗ W11-12 & W16-7P "PEDESTRIAN CROSSWALK" SIGN & DIRECTIONAL ARROW PLAQUE (SEE DETAIL SHEET)
- ㉘ RETAINING WALL - REFER TO ARCHITECTURAL/STRUCTURAL PLANS
- ㉙ # HIGH WHITE VINYL PICKET FENCE TO SCREEN MECHANICAL UNITS FROM ADJACENT PROPERTIES (SEE DETAIL SHEET)

REFER TO SHEET C6.2 FOR TYPICAL SITE DETAILS

GRAPHIC SCALE

(IN FEET)

1 inch = 40 ft.



SITF
INCORPORATED

Sire Layout Plan

Villages of Farragut
230 Village Commons Boulevard
Farragut, Tennessee

Site Layout Plan

ACH DATE: 12/19/16 FILE: 1921-Layou

	DRAWN BY:
	CHECKED BY:

Page 1 of 30

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on a request for a variance from the Subdivision Regulations for the requirement to construct a sidewalk along a collector street in association with a resubdivision plat for the property at 632 Red Mill Lane, 1.96 Acres, 2 Lots, Zoned R-1 (SITE Inc., Applicant)

INTRODUCTION AND BACKGROUND: This item involves a minor resubdivision plat that divides an existing roughly 2-acre lot into two lots. Since Red Mill Lane is classified as a local collector on the Major Road Plan, the act of subdividing requires the construction of a pedestrian facility along the street frontage.

DISCUSSION: Due to the minor nature of the subdivision requested, the applicant has asked for approval of a variance from the Subdivision Regulations to not construct a pedestrian facility along Red Mill Lane. Though a pedestrian facility along Red Mill Lane would be desired, historically the Town has approved variance requests where the scale of the subdivision was out of proportion to the action being required.

In legal terms this is known as the “rough proportionality test.” The measure being required must be proportional to the impact of the action. Re-subdividing one lot into two would be a minor impact in relation to constructing over 350 feet of sidewalk. Certainly, if lot 2 were further subdivided or rezoned to permit more density, the pedestrian facility requirement would more readily apply.

RECOMMENDATION: The staff recommends approval of the requested variance due to the minor nature of the resubdivision.



Civil Engineers

September 9, 2019

Mark Shipley
Town of Farragut
11408 Municipal Center Dr.
Farragut, TN 37934

Re: Staff comments on the Minor Plat for 632 Red Mill Ln

Dear Mark,

Please find attached revised plans per staff comments dated 8/27/19. We have provided responses to staff comments below.

1. This subdivision creates two lots and affects the entire parcel, not a part of it. Please revise Note #3;
RESPONSE: Note 3 has been revised.
2. If the driveway access is being restricted to the location shown on the plat, the plat should clearly note it as such;
RESPONSE: Note 7 has been added to show restriction of driveway location as depicted on the drawing.
3. Windlass Road is shown as a future connection on the Major Road Plan. ROW and future alignment should be discussed;
RESPONSE: It is our understanding from Town Staff that we are required to dedicate this right-of-way per the major road plan with the platting of this property. Right-of-way dedication for Windlass is shown.
4. Please dash in the right of way being dedicated as part of this plat;
RESPONSE: ROW dedication area for Windlass Rd has been hatched for clarity. Per the major road plan, Red Mill Ln is a local collector requiring a 50' easement. 25' from centerline is provided with no additional ROW dedication required.
5. A variance must be approved by the Planning Commission if the applicant does not plan to construct a pedestrian facility along the Red Mill Lane frontage as part of this plat. This would only apply due to the minor nature of the subdivision requested at this time;
6. The proposed driveway location is within 200 feet of the existing driveway to the southeast and will require a variance from the distance between driveways requirement for a collector street in the Driveways and Other Accessways Ordinance;

Please let us know if any of our responses are unclear or if you need additional information.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Annette Hommel', is written over a horizontal line.

Annette Hommel, P.E.

NOTE:
THE UNDERGROUND UTILITIES SHOWN, IF ANY, HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED.
THE SURVEYOR HAS NOT PHYSICALLY LOCATED ALL UNDERGROUND UTILITIES. VERIFY EXACT SIZE AND LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES WITH THE PROPER LOCAL AUTHORITIES BEFORE EXCAVATION OR CONSTRUCTION.



This is to certify that all property taxes and assessments due on this property have been paid.

Signed: _____ Date: _____
Knox County Trustee

CERTIFICATE OF APPROVAL FOR RECORDING

I hereby certify that the subdivision plat shown here has been found to comply with the Subdivision Regulations for Farragut, Tennessee, with the exception of such variances, if any, as are noted in the minutes of the Planning Commission and that it has been approved for recording in the Office of the County of Register of Deeds.

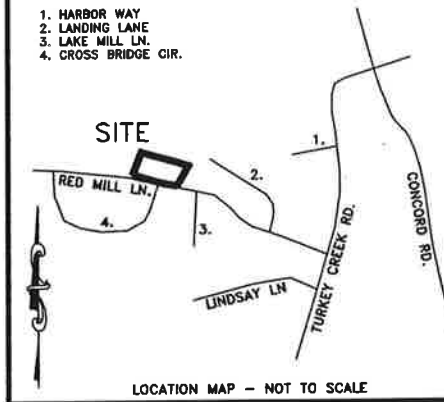
Secretary, Planning Commission Date

CERTIFICATE OF APPROVAL OF STREET NAMES

This is to certify that the subdivision shown hereon has been reviewed for compliance with the Knox County Uniform Street Naming & Addressing System Ordinance, and the road names are hereby approved for recording.

Knox County Addressing Division Date

1. HARBOR WAY
2. LANDING LANE
3. LAKE MILL LN.
4. CROSS BRIDGE CIR.



LOCATION MAP - NOT TO SCALE

THIS IS TO CERTIFY THAT THIS SURVEY MEETS THE MINIMUM STANDARDS FOR THE STATE OF TENNESSEE.

CERTIFICATE OF SURVEY ACCURACY

I hereby certify that the plan shown and described hereon is a true and correct survey to the accuracy required by the Farragut Municipal Planning Commission and that the monuments have been placed as shown hereon, to the specification of the Subdivision Regulations. This is a Category I Land Survey and the ratio of precision of the unadjusted survey is equal to or greater than 1:10,000.

Surveyor / No. 1301 Date

SURVEYOR:
HOWARD T. DAWSON, RLS 1301
SITE INCORPORATED
10215 TECHNOLOGY DR.
KNOXVILLE, TN 37932
PH: (865) 777-4160

CERTIFICATE OF OWNERSHIP AND DEDICATION

I (we) hereby certify that I am (we are) the owner(s) of the property shown and described hereon as evidenced in Book Number _____ page _____ County Registers Office, and that I (we) hereby adopt this plan of subdivision with my (our) free consent, establish the minimum building restriction lines, and dedicate all streets, alleys, walks, parks, and other open space to public or private use as noted.

Signature Date

Signature Date

OWNER:
SHARON A. SCARBROUGH
632 RED MILL LANE
KNOXVILLE, TN 37934

CERTIFICATE OF ELECTRIC, GAS & TELEPHONE AVAILABILITY

This is to certify that every lot within this subdivision has available to it a source for the service identified by signature(s) below which service source is adequate to accommodate the reasonable needs of such lot as to such service within such subdivision.

Date GAS- Name, Title, and Agency of Authorized Approving Agent

Date ELECTRIC- Name, Title, and Agency of Authorized Approving Agent

Date TELEPHONE- Name, Title, and Agency of Authorized Approving Agent

CERTIFICATE OF WATER AND SEWER AVAILABILITY

I hereby certify that every lot within this subdivision will have available to it water and sewer service that is adequate to accommodate the reasonable needs of such lots.

Date Name, Title, and Agency of Authorized Approving Agent

LEGEND OF SYMBOLS

- UTILITY POLE
- OVERHEAD UTILITY LINES
- BUILDING
- FENCE
- IRON PIN - OLD (FOUND)
- IRON PIN - NEW (SET)
- PROPERTY LINE
- 90°00'00"E SURVEYED BEARING AND DISTANCE

NOTES

1. A FIVE (5) FOOT UTILITY, DRAINAGE AND CONSTRUCTION EASEMENT ON EACH SIDE OF INTERIOR LOT LINES, A TEN (10) FOOT UTILITY, DRAINAGE AND CONSTRUCTION EASEMENT ON INSIDE OF ROAD RIGHTS-OF-WAY AND EXTERIOR LOT LINES.
2. PROPERTY IS ZONED "R-1". MINIMUM BUILDING SETBACKS ARE TO CONFORM TO CURRENT REQUIREMENTS OF THE TOWN OF FARRAGUT ZONING ORDINANCE.
3. PROPERTY IS KNOWN AND DESIGNATED AS:
-TAX MAP 153, PART OF PARCEL 004.00
-DEED REFERENCE: DEED BK. 2166, PG. 1182
4. GRID NORTH IS BASED ON THE TDOT GNSS REFERENCE NETWORK.
5. THE PURPOSE OF THIS PLAT IS TO CREATE THE 2 LOTS SHOWN HEREON.
6. PER FLOOD INSURANCE RATE MAP (FIRM) 47093C0376 LAST REVISED AUGUST 5, 2013, THE PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD ZONE.
7. DRIVEWAY LOCATION FOR LOT 2 IS HEREBY RESTRICTED TO THE LOCATION AS SHOWN HEREON.

GRID NORTH
NAD83(2011)



10215 Technology Drive, Suite 304
Knoxville, TN 37932
(865) 777-4160
www.site-incorporated.com



Final Plat of Subdivision of the

Sharon A. Scarbrough Property

Red Mill Lane near Cross Bridge Cir.

Civil District No. 6 of Knox County, Tennessee

Town of Farragut

REVISIONS

NO.	DATE	COMMENTS

ORIGINAL ISSUE: 07/16/2019

SITE PROJECT#: ---

FILE: 190051

PLAT

NOTE: DATA COLLECTION AND DRAFTING SERVICES PROVIDED BY SMOKY MOUNTAIN LAND SURVEYING CO., INC.
SMLS DWG NO. 190051

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Bart Hose, Assistant Community Development Director

SUBJECT: Discussion and public hearing on a request for a variance from the Driveways and Other Accessways Ordinance for the distance between driveways in association with a resubdivision plat for the property at 632 Red Mill Lane, 1.96 Acres, 2 Lots, Zoned R-1 (SITE Inc., Applicant)

INTRODUCTION AND BACKGROUND: As noted in the previous item, this request involves a minor two-lot resubdivision plat. The property contains an existing house and is located on Red Mill Lane, which is classified as a local collector on the Town's Major Road Plan.

DISCUSSION: Under the Town's access control standards, the minimum required distance between a new access point (driveway) and an intersection along a collector street is 200 feet. The standards also require a minimum of 200 feet between driveways along such streets. Given the location of existing driveways and intersections on and around the property a variance will be necessary to provide a driveway access to lot number 2. The applicants have proposed limiting access for the lot to a single driveway that would be located across from and aligned with Cross Bridge Circle. The current access drive to lot 1, and the existing homesite, would remain unchanged.

RECOMMENDATION: The staff recommends approval of the requested variance and proposed location of the driveway access for lot 2 due to the residential and minor nature of the proposed resubdivision.

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Bart Hose, Assistant Community Development Director

SUBJECT: Discussion and public hearing on a final plat for Brookmere Phase I, Parcel 044, Tax Map 152, 430 Virtue Road, 39.54 Acres, 50 Houselots, 4 Open Space Lots, Zoned R-1/OSR (Ryan Lynch - Lynch Surveys, LLC, Applicant)

INTRODUCTION AND BACKGROUND: The request involves a final plat for Phase I of Brookmere Subdivision, a large development located off Virtue Road. The plat includes 50 house lots and 4 open-space lots, along with a greenway connection that parallels Turkey Creek for the length of the property. A significant portion of the open-space area is located within the Turkey Creek floodplain. The development also included bridge crossings for both the main entrance road and the greenway. These crossings resulted in minor changes to FEMA defined floodplains in the immediate area and related flood map revisions have been applied thru FEMA's official revision process.

RECOMMENDATION: Included in your packet is a copy of the submitted final plat along with staff comments. Staff will make a recommendation at the meeting based on whether staffs' comments have been satisfactorily addressed.

Brookmere Phase 1 – Staff Comments (August 27, 2019)

1. The trail should be constructed (at least to the bridge locations on each side of the creek) if this phase is complete. It's currently listed on the plat as "proposed." This would include the stream crossing that is part of the CLOMR/LOMR;
2. The open space and area notes should all clearly note that they apply to this phase and it should be understood that future phases will have to account for and document all phases;
3. There is no legend to identify the various lines being used on this plat and the labeling on the plat is sporadic. Please add a legend and/or improve line labeling on the plat;
4. A permanent aquatic buffer should be platted for Turkey Creek. There were also wetland areas shown on the preliminary plat that will require similar buffers;
5. The side drainage crossing the open-space lot and lot 1 should have an easement platted;
6. This is a final plat, everything should be complete, including setting pins before it is recorded (see plat note #1);
7. Please show in a shaded pattern the additional right of way being dedicated with this plat;
8. The floodplain/zone lines are changing as per the active CLOMR/LOMR. The construction affecting the floodplain lines and FIRM should be complete if this is a final plat covering the affected area. The staff has discussed this with the State's NFIP coordinator, and the developer should submit all necessary documentation to FEMA to move the CLOMR to LOMR status. It is our understanding that FEMA will provide a case number and receipt notification based on said submittal. The revised floodplains and related information as per the LOMR should be shown on the plat. This should include minimum floor elevations (per Town standards) for all lots affected by the new flood zones;
9. Please complete all engineering field related punchlist items;
10. Please provide any applicable letters of credit as required by the Town Engineer;
11. Please provide a letter of credit for the Virtue Road cost share agreement;
12. Please provide the corrected as-built plat in a JPEG format;

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion on a request to rezone a portion of Parcel 069, Tax Map 142 (north of the old Ingles Shopping Center), from R-1 (Rural Single-Family Residential), R-2 (General Single-Family Residential), and B-1 (Buffer) to R-4 (Attached Single-Family Residential) and R-6 (Multi-Family Residential), 32.7 Acres (John Baker/Horne Properties, Applicant)

INTRODUCTION AND BACKGROUND: This item is for discussion purposes only. Parcel 069, Tax Map 142 is a 41-acre tract north of the Ingles development. The property is mostly zoned R-1 with lesser portions of the property zoned B-1 and R-2. The owner is requesting to rezone 25 acres from B-1, R-1, and R-2 to R-6 and 7.7 acres from R-1 and R-2 to R-4. The remaining 7.35 acres would remain R-1.

The R-6 portion is contained along the southern portion of the property and would include a multi-family development. To the north, the R-4 portion would include a single-family attached development. The applicant's goal is to transition development density internally from the Ingles development to the south to the single-family detached development at Baldwin Park.

Though not necessarily relevant to the rezoning, the applicant has provided staff with a general concept of what could be developed if the rezoning were approved. The concept includes roughly 200 dwelling units on the 25-acre tract proposed for the R-6 Zoning District. This would result in a density of 8 dwelling units per acre. On the 7.7 acres proposed for the R-4 Zoning District, the concept includes 10 duplex buildings (20 dwelling units). This would result in a density of 2.6 dwelling units per acre.

DISCUSSION: The development density shown on the applicant's concept plan is well below the density permitted in both the R-6 and the R-4 Zoning Districts. The R-6 District allows up to 12 units per acre and the R-4 allows up to 6 units per acre.

When reviewing a rezoning request, however, staff would focus on whether the land itself and surrounding conditions (existing nearby developments, roads, utilities, etc.) are conducive to the requested zoning districts. In making such a determination, staff would first look to the adopted Future Land Use Map (FLUM).

The property in question is shown on the FLUM as Medium Density Residential. As you may recall from the workshop discussion last month, the Planning Commission approved text amendments last year related to the Medium Density Residential land use. Originally, this land use provided for 6-12 dwelling units per acre. The Commission determined that this should be broken into two density ranges. The Medium Density Residential land use would be up to 8 dwelling units per acre and a new land use for High Density Residential would provide for up to 12 dwelling units per acre.

In addition to the density, the main differences between the two would be the size of building footprints and the height of the buildings. For example, the Derby Run apartment development would be considered a medium density multi-family project. It has a development density of 7.75 units per acre and building footprints around 3,500 square feet. The height is two story.

By comparison, the Lanesborough apartment development would be considered a high-density multi-family project. It has a development density of over 9 units per acre and, although the height of the buildings is two story, the building footprints are much larger and are roughly 10,000 square feet.

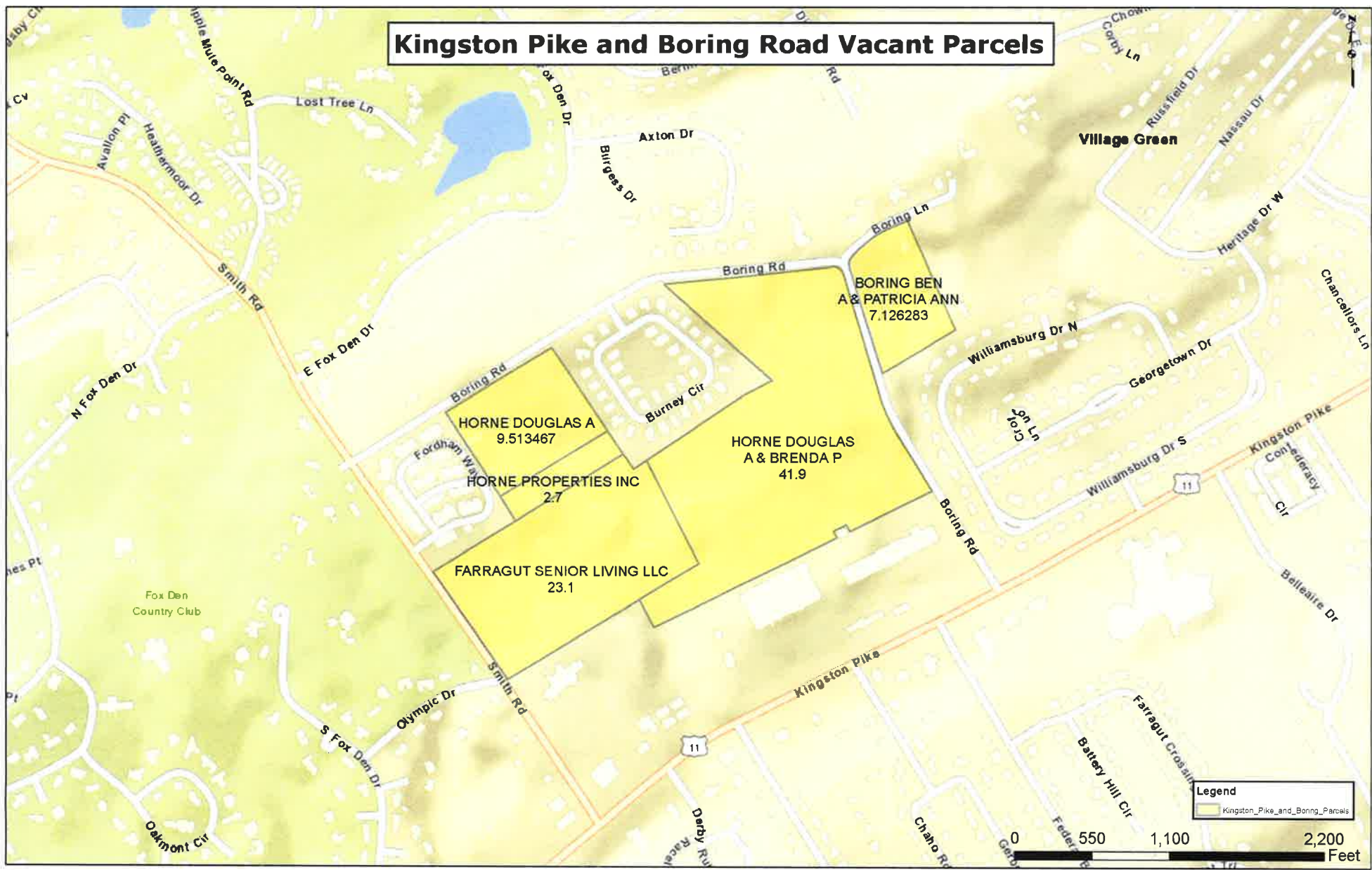
As stated last month, the Zoning Ordinance has not yet been updated to reflect the changes that were made to the Medium Density Residential land use. The available multi-family residential zoning districts (R-6 and R-6/OSMFR) allow up to 12 dwelling units per acre. There is not currently a zoning district that would provide for smaller multi-family developments with densities of up to 8 dwelling units per acre.

Staff noted at the workshop discussion last month that they would pursue the development of a medium density multi-family zoning district and try to have some language to review in October. Since the applicant appears to be proposing no more than 8 units per acre, staff would recommend that any action taken on this rezoning request be concurrent with the development of a medium density multi-family zoning district.

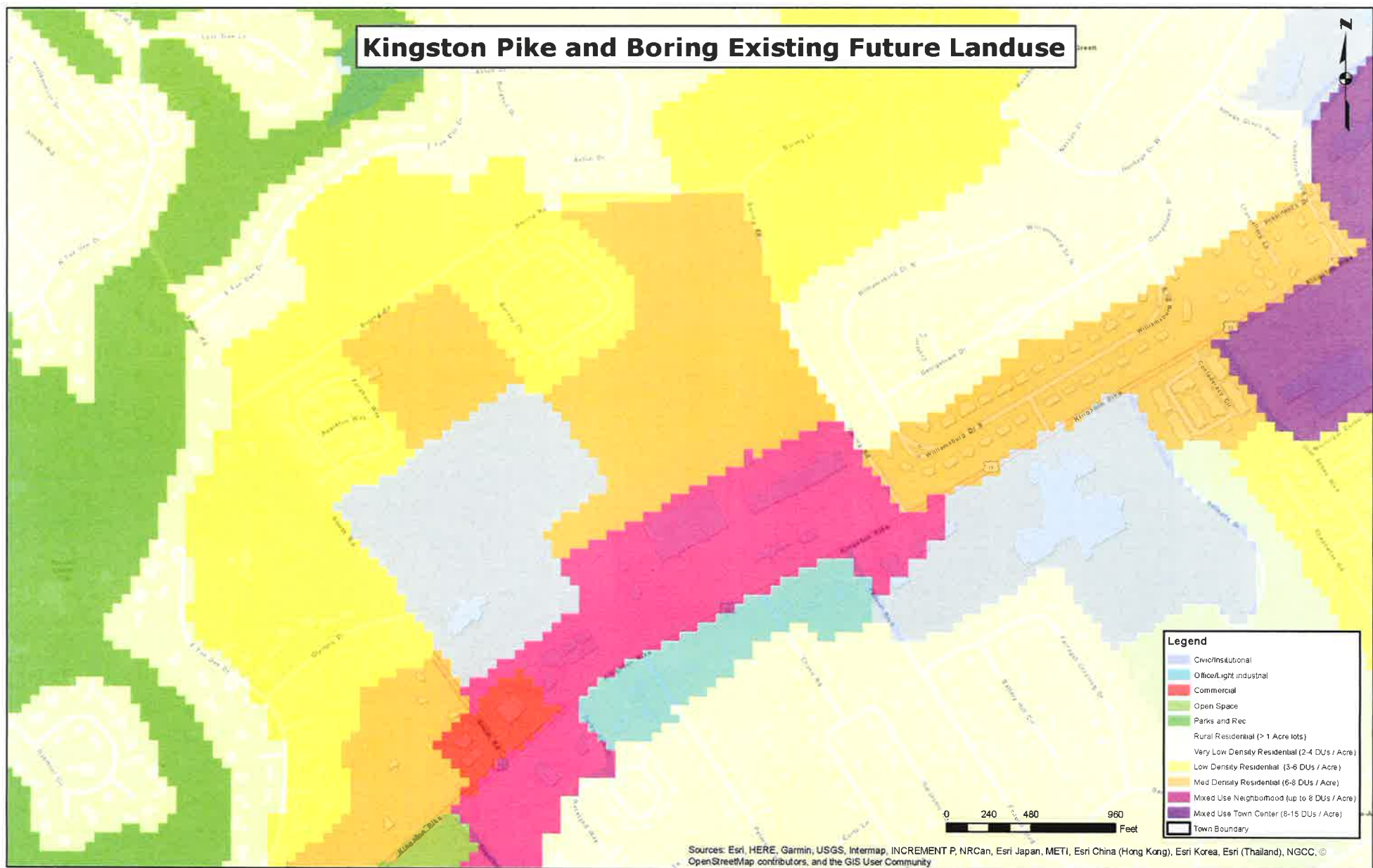
Though the future land use map does show Medium Density Residential for the property, a consideration for any multi-family residential rezoning outside of the Mixed Use Town Center land use area, is whether this could compromise the marketability of multi-family residential in the Town Center where the additional density from a multi-family development would likely be needed to sustain the non-residential component of the Town Center.

The Overlook at Campbell Station apartment development includes 267 dwelling units and is moving closer to completion. The Tapestry apartment development just outside the Town has over 200 dwelling units. And, over 200 dwelling units were conditionally approved in the PCD development at S. Watt Road and Kingston Pike. In an effort to address this consideration, the applicant has provided some market related information for the Knoxville metro area and this is included in your packet.

Another discussion item concerning this rezoning is the adequacy of existing infrastructure that could serve the additional dwelling units. The property fronts along Boring Road which is a very substandard road. Any rezoning that would provide for more development density than is currently permitted would have to be conditioned on Boring Road being improved to the standards of a local collector street. A traffic impact study would be required before the Planning Commission makes a recommendation on the rezoning.

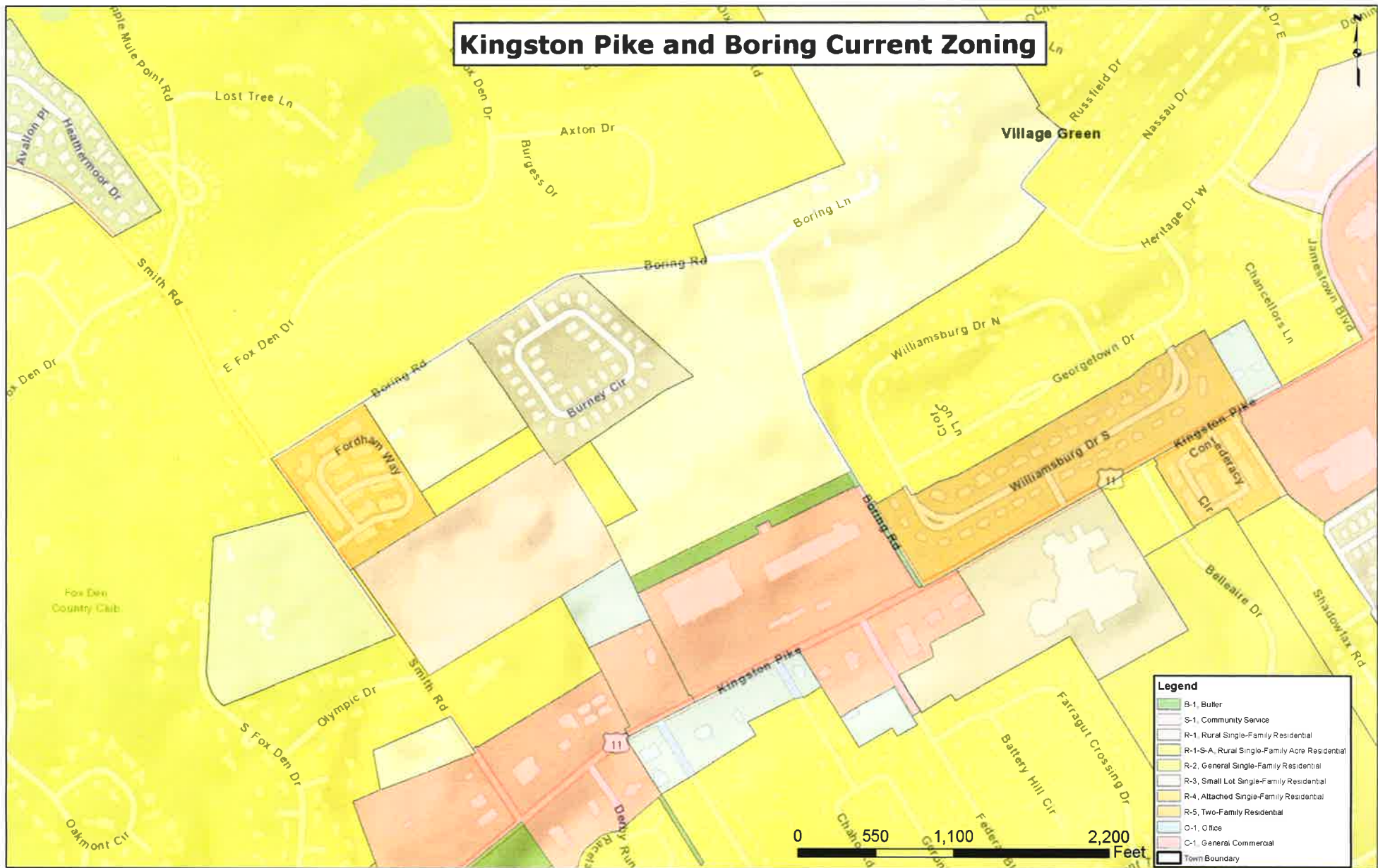


Parcel/Area in Acreages



Document Path: G:\Farragut\Map Documents\2019\Kingston Pike and Boring Existing Future Landuse.mxd

Kingston Pike and Boring Current Zoning



Executive Summary:

1. Employment and population growth in the Knoxville metro remain strong
2. Apartment inventory growth in year end 2018 remains below national rates (0.3% vs. 1.6% nationwide)
3. As a result, Knoxville's occupancy rates among the highest in the country (96.8%)
 - Farragut's submarket enjoys higher occupancy still (97.0%)
 - Submarket demand (206 units) well exceed supply (36 units)
4. Rent growth too has benefited from the lack of supply as the Knoxville metro grew rents at 4.1% in the year ending 2018, with the southwest submarket recorded a superior rate of 4.7%
5. Farragut has some of the strongest demographics in the metro (median incomes of \$103k vs. \$49k in the metro)
 - Home values are also more than double the metro average (\$445k vs. 182k)
6. Farragut is the fastest growing municipal district in the Knoxville metro (2.1% vs. 1.1% in the metro)
 - Population growth (household formation) in Farragut has well exceeded supply
7. The Overlook at Farragut was the first apartment complex built in Farragut since 1998
 - The extremely high occupancy and rent growth at Lanesborough is indicative of high renter demand in an underserved sector

Market Fundamentals



Existing Units	50,169
Sampled Units	24,989
Percent Sampled	49.80%
SUPPLY	
Quarterly Supply	150 units
Annual Supply	477 units
Annual Inventory Change	0.30%
Five-Year Supply	2,795 units
Five-Year Peak in Annual Supply	830 units
Five-Year Trough in Annual Supply	116 units
Five-Year Average Annual Supply	493 units
DEMAND	
Quarterly Demand	-213 units
Annual Demand	618 units
Five-Year Demand	3,357 units
Five-Year Annual Demand Peak	1,414 units
Five-Year Annual Demand Trough	208 units
Five-Year Average Annual Demand	703 units
OCCUPANCY	
Current Rate	96.80%
Quarterly Change	0
Annual Change	1.0
Five-Year Peak	96.80%
Five-Year Trough	94.10%
Five-Year Average	95.50%
Five-Year Average Annual Change	0.5
RENT	
Monthly Rent	\$882
Rent Per Square Foot	\$0.95
Quarterly Change	-1.30%
Annual Change	4.1%
Five-Year Peak in Annual Change	5.30%
Five-Year Trough in Annual Change	0.40%
Five-Year Average Annual Change	3.20%
REVENUE CHANGE	
Quarterly Change	-1.30%
Annual Change	5.10%
Five-Year Peak in Annual Change	6.40%
Five-Year Trough in Annual Change	0.20%
Five-Year Average Annual Change	3.70%
ONE YEAR FORECAST	
Annual Supply	1,137 units
Annual Demand	536 units
Occupancy	95.70%
Annual Occupancy Change	-1.1
Annual Rent Change	3.20%
Annual Revenue Change	2.10%
Annual Job Change	4,000

ECONOMY

The Knoxville metro has recorded year-over-year job growth since 2nd quarter 2010. During that period job growth averaged 1.3% annually. Job growth levels have cooled in recent quarters. According to the Bureau of Labor Statistics, the metro posted a net gain of 1,200 jobs in the year-ending November 2018, with those additions growing the existing employment base 0.3%. Job gains over the past year were most pronounced in the Trade/Transportation/Utilities sector. Employment gains over the past year took Knoxville's total job count as of November 2018 some 33,400 positions (or 9.0%) above the 1st quarter 2008 level. Over the past decade, the metro's job growth peak came in 2014, when 10,200 jobs were added.

SUPPLY

Supply volumes in Knoxville have been modest-to-moderate over the past four years, as annual completions ranged from roughly 400 units to 800 units, growing inventory an average of 1.1% over that period. In 2018, the metro added 477 units, growing inventory 0.3%. That annual completion level was below the four-year average of nearly 600 units. Completions are expected to pick up in the coming year, with 1,137 units scheduled for delivery, growing inventory 2.3%. That would be the market's highest delivery volume since 2012. Identified projects and permit volumes suggest that construction should remain modest in the long-term, with periodic mild peaks and valleys.

OCCUPANCY

Knoxville's smaller size and concentration of student housing adds a degree of volatility to occupancy trends. However, occupancy has followed a generally upward trend, with occupancy rates averaging 95.7% over the past four years. In 2018's 4th quarter, apartment occupancy in Knoxville remained flat quarter-over-quarter but was up 1.0 point year-over-year. The resulting rate of 96.8% was above the four-year average and ranked #6 among the 65 key South region markets and landed in the #26 spot across the core 150 metros nationally. Viewed by product age niches, each of Knoxville's segments posted occupancy around 95.5% to 97.5%, with the lightest reading of 97.7% recorded in units built from 2000 to 2009. The weakest showing, though still solid, was in the 1990s product, at 95.6%.

RENT

Rent growth in Knoxville has remained above historical norms over much of the past three years. Annual increases measured roughly 3% to 4% over much of that time. Those levels were above the market's 15-year average rent growth of 2.2%. Same-store rents in Knoxville fell 1.3% in 4th quarter 2018, taking annual rent growth to 4.1%. That annual performance was nearly 1.0 point above the five-year average (3.2%). Knoxville's recent annual rent growth performance claimed the #23 spot in the South region and ranked #43 nationally. Looking at results among Knoxville's product age lines, rent performance varied. Units built in the 2000s recorded the strongest annual rent growth of 7.6%. On the other hand, operators of units built before 1970 reported net change of just 0.1% annually. As of 4th quarter 2018, rental rates in Knoxville averaged \$882 per month, or \$0.946 per square foot.

Knoxville, TN

Apartment Performance

Effective rent decreased 1.3% from \$892 in 3Q18 to \$882 in 4Q18, which resulted in an annual growth rate of 4.1%. Annual effective rent growth is forecast to be 3.2% in 2019, and average 1.5% from 2020 to 2022. Annual effective rent growth has averaged 1.8% since 2Q96.

The market's annual rent growth rate was above the national average of 3.3%. Out of the 150 markets ranked by Axiometrics nationally, Knoxville, TN was 136th for quarterly effective rent growth, and 43rd for annual effective rent growth for 4Q18.

The market's occupancy rate decreased from 97.0% in 3Q18 to 96.8% in 4Q18, but was up from 95.9% a year ago. The market's occupancy rate was above the national average of 95.5% in 4Q18. For the forecast period, the market's occupancy rate is expected to be 95.7% in 2019, and average 95.5% from 2020 to 2022. The market's occupancy rate has averaged 95.4% since 2Q96.

Market Survey Results and Forecasts

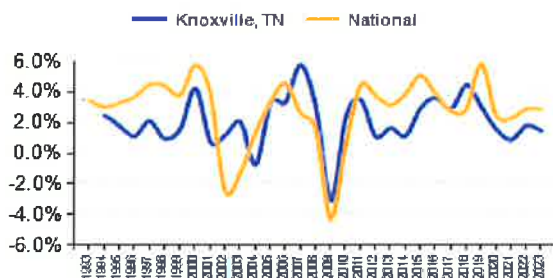
	Sequential				Month	Annual						
	1Q18	2Q18	3Q18	4Q18	Dec-18	2016	2017	2018	2019F	2020F	2021F	2022F
Effective Rent Per Unit	\$865	\$882	\$894	\$882	\$870	\$819	\$843	\$881	\$907	\$921	\$929	\$946
Per Sq. Ft	\$0.93	\$0.95	\$0.96	\$0.95	\$0.94	\$0.88	\$0.90	\$0.94	\$0.97	\$0.99	\$1.00	\$1.02
Effective Rent Growth - Annually	4.5%	5.3%	4.7%	4.1%	3.0%	3.5%	1.9%	4.1%	3.2%	1.0%	1.6%	2.0%
Effective Rent Growth - Quarterly	1.5%	2.0%	1.3%	-1.3%								
Occupancy Rate	96.1%	96.4%	96.9%	96.8%	96.5%	95.8%	95.7%	96.6%	95.8%	94.9%	95.0%	95.7%
Occupancy Change - Annually	1.1%	0.9%	0.6%	0.6%	0.6%	0.0%	-0.2%	0.6%	-1.1%	-0.8%	0.7%	0.4%
Occupancy Change - Quarterly	0.2%	0.3%	0.5%	-0.1%								
Economic Concessions												
Concession Value	\$23.00	\$18.00	\$17.00	\$23.00	\$44.00	\$39.50	\$33.25	\$20.25				
As a % of Asking Rent	2.7%	2.1%	1.9%	2.6%	5.0%	4.9%	4.0%	2.3%				

Market Rank

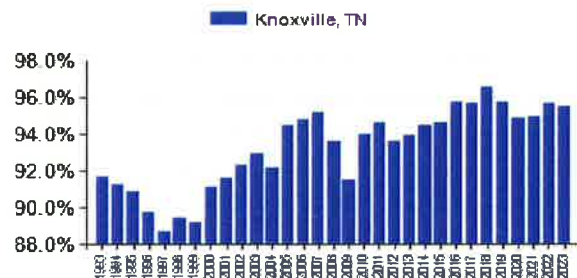
4Q18	Market	National	Rank	4Q18 Annual Results						
Effective Rent Per Unit	\$882	\$1,350	110	By Bedroom Type	%	Area	Occ	ERG	Erent	ERSF
Effective Rent Growth - Annually	3.5%	3.3%	67	Studio/One bedroom	38.4%	685	97.0%	4.5%	\$774	\$1.13
Effective Rent Growth - Quarterly	-1.3%	-0.6%	136	Two bedroom	50.0%	1,032	96.5%	3.3%	\$887	\$0.86
Occupancy Rate	96.8%	95.5%	26	Three + bedrooms	11.6%	1,258	96.6%	4.6%	\$1,067	\$0.85
Occupancy change - Annually	0.9%	0.3%	21							
Occupancy change - Quarterly	-0.1%	-0.3%	31	By Year Built						
				<= 1980	41.0%	838	97.0%	3.3%	\$755	\$0.90
Concession Value	\$23.00	\$43.00	120	1981-1990	15.4%	886	96.5%	5.4%	\$767	\$0.87
Built Average	1991	1990	64	1991-2000	18.0%	995	95.5%	5.1%	\$909	\$0.91
				2001-2010	11.1%	1,092	97.1%	6.7%	\$1,013	\$0.93
				2011-Current	14.5%	997	97.3%	0.8%	\$1,110	\$1.11

*Ranking based on Axio Top 150 Markets

Annual Effective Rent Growth



Annual Occupancy Rate



Knoxville, TN

Demand and Supply

According to the Bureau of Labor Statistics, job growth in Knoxville, TN was 0.3% in November 2018, reflecting 1,200 jobs added during a 12-month period. The metro job growth figure was below the national number of 1.6%.

Axiometrics forecasts Knoxville, TN's job growth to be 1.2% in 2019, with 4,830 jobs added. Job growth is expected to average 0.3% from 2020 to 2022, with an average of 1,299 jobs added each year.

On the supply side, permits for 712 multifamily units were issued in the 12 months ending in October 2018, down -204 units from the prior year's sum. In terms of total residential housing, 3,999 units were permitted in the 12 months ending October 2018, an increase of 113 units from the prior year's total.

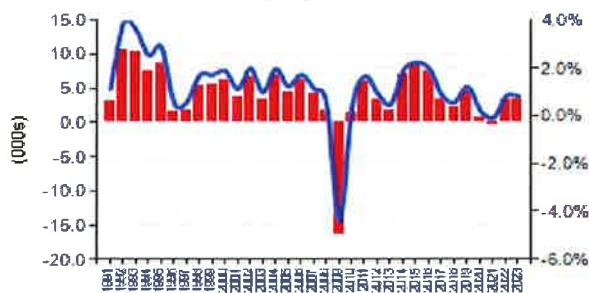
Market Employment and Permitting

	Annual			November-18		Annual Forecast				
	2015	2016	2017	Market	National	2018	2019F	2020F	2021F	2022F
Employment (000s)	384.8	392.4	395.7	404.2	151,232.0	398.0	402.9	403.7	403.4	406.8
Job Gain (000s)	8.4	7.6	3.3	1.2	2,449.0	2.3	4.8	0.9	(0.3)	3.4
Job Growth (%)	2.2%	2.0%	0.8%	0.3%	1.6%	0.6%	1.2%	0.2%	-0.1%	0.8%
Total Residential Permitting	2,807	3,387	3,886	3,774	913,537	4,009	2,222	1,736	2,222	2,724
Relative Change	22.5%	20.7%	14.7%	3.2%	3.9%	3.2%	-44.6%	-21.9%	28.0%	22.6%
Single Family Units Permitted	2,339	2,667	2,964	3,030	578,782					
Relative Change	45.6%	14.0%	11.1%	9.2%	5.5%					
Multifamily Units Permitted	464	710	916	698	312,635					
Relative Change	-31.8%	53.0%	29.0%	-20.2%	0.7%					
Multifamily as a % of Total	16.5%	21.0%	23.6%	18.5%	34.2%					
Demand/Supply Ratio										
Job Gain / Total Residential Units Permitted	3.7	2.7	1.0	0.3	2.8	0.6	1.2	0.4	(0.2)	1.5
Job Gain / Single Family Units Permitted	5.2	3.2	1.2	0.4	4.5					
Job Gain / Multifamily Units Permitted	12.4	16.3	4.7	1.4	7.9					

Multifamily Absorption and Supply

	Annual			4Q18		Annual Forecast				
	2015	2016	2017	Market	National	2018	2019F	2020F	2021F	2022F
Total Units Absorbed	1,358	712	303	803	292,412	618	536	331	1,146	1,117
New Supply	796	612	468	544	300,796	477	1,137	781	817	943
Inventory Growth	1.7%	1.3%	0.9%	0.9%	1.6%	0.3%	2.3%	1.5%	1.6%	1.8%

Annual Employment Growth



MF Supply and Inventory Growth



Knoxville, TN

Southwest Knoxville

Apartment Performance

Effective rent decreased 1.6% from \$943 in 3Q18 to \$925 in 4Q18. The submarket's annual rent growth rate of 4.7% was above the market average of 4.1%. Out of the 4 submarkets in the market, the Southwest Knoxville submarket ranked 3rd for quarterly effective rent growth and 2nd for annual effective rent growth for 4Q18. Annual effective rent growth is forecast to be 3.1% in 2019, and average 1.0% through 2020 to 2022. The annual effective rent growth has averaged 1.6% per year since 2Q96.

The submarket's occupancy rate decreased from 97.8% in 3Q18 to 97.0% in 4Q18, and was up from 95.9% a year ago. The submarket's occupancy rate was above the market average of 96.8% in 4Q18. For the forecast period, the submarket's occupancy rate is expected to decrease to 95.3% in 2019 and average 95.3% from 2020 to 2022. The submarket's occupancy rate has averaged 95.7% since 2Q96.

New Supply

Based on Axiometrics identified supply of properties under construction, the submarket is expected to deliver 34 units in 2018 of which all have been delivered. Overall market deliveries increased from 470 units in 2017 to 475 in 2018, and the total is expected to rise to 1,137 units in 2019.

During the last 12 months, 327 units were absorbed in lease-up properties across the market with 127 of them in this submarket. The average absorption rate for lease-up properties in the market was 12 units per property, per month. The submarket's average absorption was faster at 16 units per property, per month. The submarket's average asking rent for new lease-up properties was \$1,443 per unit, or \$1.24 per square foot. When factoring in concessions, new lease-up properties in this submarket on average achieved an effective rent of \$1,443 per unit, or \$1.24 per square foot.

Submarket Survey Results and Forecasts

	Sequential				Month	Annual							
	1Q18	2Q18	3Q18	4Q18	Dec-18	2015	2016	2017	2018	2019F	2020F	2021F	2021F
Effective Rent Per Unit	\$902	\$928	\$940	\$925	\$919	\$842	\$863	\$880	\$924	\$946	\$957	\$961	
<i>Per Sq. Ft.</i>	\$0.96	\$0.99	\$0.99	\$0.97	\$0.97	\$0.88	\$0.90	\$0.93	\$0.98	\$0.99	\$1.01	\$1.01	
<i>Effective Rent Growth - Annually</i>	4.4%	6.3%	4.7%	4.7%	3.1%	4.6%	0.9%	2.1%	4.7%	3.1%	0.7%	0.8%	
<i>Effective Rent Growth - Quarterly</i>	1.9%	2.9%	1.3%	-1.6%									
Occupancy Rate	95.8%	96.3%	97.8%	97.0%	96.8%	95.1%	95.8%	95.5%	96.7%	95.6%	94.7%	94.8%	
<i>Occupancy Change - Annually</i>	1.1%	0.9%	1.4%	0.9%	1.4%	1.1%	-0.4%	0.0%	0.9%	-1.8%	-0.6%	0.7%	
<i>Occupancy Change - Quarterly</i>	-0.1%	0.5%	1.5%	-0.8%									
Economic Concessions													
<i>Concession Value</i>	\$32.00	\$27.00	\$29.00	\$33.00	\$52.00	\$31.75	\$30.50	\$32.25	\$30.25				
<i>As a % of Asking Rent</i>	3.7%	3.1%	3.1%	3.5%	5.6%	4.0%	3.7%	3.7%	3.3%				

Submarket Profile

	Submkt	Market	Rank	Pipeline Delivery Schedule					
Effective Rent Per Unit	\$925	\$882	2/4	2016	2017	2018	2019	Total	
Effective Rent Growth - Annually	4.7%	3.5%	2/4	38	250	34	460	782	
Effective Rent Growth - Quarterly	-1.6%	-1.3%	3/4	612	470	475	1,137	2,694	
Occupancy Rate	97.0%	96.8%	3/4	Pipeline Lease Up Trend					
Occupancy change - Annually	0.9%	0.9%	1/4	Units Absorbed		Asking Rent		Effective Rent	
Occupancy change - Quarterly	-0.8%	-0.1%	4/4	Totals	PPM	Level	Per Ft.	Level	Per Ft.
Concession Value	\$33.00	\$23.00	1/4	127	16	\$1,443	\$1.24	\$1,443	\$1.24
Build Average	1994	1991	1/4	327	12	\$1,348	\$1.10	\$1,306	\$1.07
				Submarket					
				Market					

Housing Supply / Demand Analysis

Apartment occupancy reached 95% in Q4 2003

Year	Total Population	Annual Pop. Growth	Annual Pop. Growth Rate	Total Households	Annual Household Growth	All Housing Annual Supply Growth	Annual Housing Shortfall	Cumulative Household Growth	Cumulative All Housing Supply Growth	Cumulative Housing Shortfall
2010	20,723	86			-			-	-	
2011	20,852	129	0.6%	8,341	100		(100)			
2012	21,099	247	1.2%	8,440	99	83	(16)	99	83	(16)
2013	21,356	257	1.2%	8,542	103	103	0	202	186	(16)
2014	21,659	303	1.4%	8,664	121	111	(10)	323	297	(26)
2015	21,909	250	1.2%	8,764	100	106	6	423	403	(20)
2016	22,255	346	1.6%	8,902	138	157	19	561	560	(1)
2017	22,729	474	2.1%	9,092	190	154	(36)	751	714	(37)
2018F	23,184	455	2.0%	9,273	182	99	(83)	933	813	(120)
2019F	23,531	348	1.5%	9,413	139	100	(39)	1,072	913	(158)
2020F	23,884	353	1.5%	9,554	141	102	(39)	1,213	1,015	(197)
2021F	24,243	358	1.5%	9,697	143	104	(40)	1,356	1,119	(237)

Definitions: "Housing shortfall" is based on the difference between household growth and total housing supply

Annual household growth is based on annual population growth and an average household size of 2.5

Supply growth forecast assumes that building permits increase at the current T12 YOY rate of 1.5%.

Sources: Population growth - US Census Population Estimates (2017)

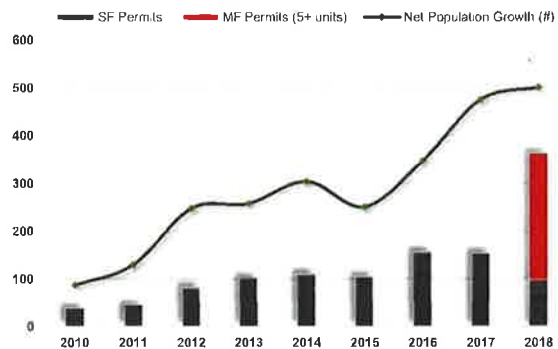
Population growth forecast - ESRI and/or State estimates

Building permits - US Census Bureau (March 2019)

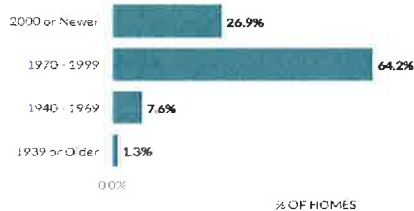
Average household size - ESRI (2017)

Year	MF Permits (5+ units)	Single Family Permits	Net Population Growth (#)	Deficit
2010	0	39	86	-47
2011	0	45	129	-84
2012	0	83	247	-164
2013	0	103	257	-154
2014	0	111	303	-192
2015	0	106	250	-144
2016	0	157	346	-189
2017	0	154	474	-320
2018	263	99	455	-93
	263	897	2,547	-1,387
2.5 per household	1,160		1,019	141

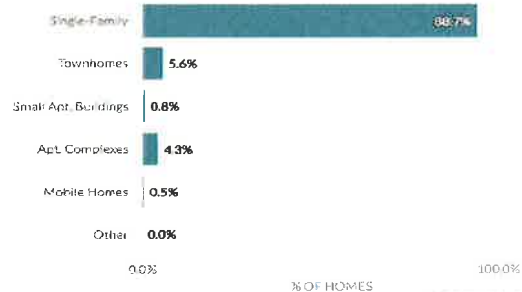
Housing Supply - Town of Farragut



AGE OF HOMES



TYPES OF HOMES



All Incorporated Places (City/Village/Town)

Source: 2017 Population Estimates, US Census Bureau

<https://www.census.gov/data/datasets/2016/demo/popest/total-cities-and-towns.html>

STNAME Tennessee
MSA Knoxville, TN

City	Pop 2016	Rank16	# Pop Chg 2016	Rank16	% Pop Chg 2016	Rank16	Pop 2017	Rank17	# Pop Chg 2017	Rank17	% Pop Chg 2017	Rank17
Farragut town	22,255	4	346	2	1.6%	1	22,729	4	474	2	2.1%	1
Philadelphia city	689	28	6	13	0.9%	3	702	28	13	12	1.9%	2
Greenback city	1,118	23	9	11	0.8%	6	1,138	23	20	10	1.8%	3
Lenoir City city	9,059	6	75	4	0.8%	5	9,199	6	140	5	1.5%	4
Maynardville city	2,322	14	11	9	0.5%	10	2,353	14	31	8	1.3%	5
Maryville city	28,405	3	274	3	1.0%	2	28,765	3	360	3	1.3%	6
Loudon town	5,692	10	23	5	0.4%	12	5,760	10	68	7	1.2%	7
Luttrell town	1,045	24	3	16	0.3%	17	1,057	24	12	13	1.1%	8
Plainview city	2,072	17	(4)	20	-0.2%	25	2,095	17	23	9	1.1%	9
Knoxville city	185,385	1	974	1	0.5%	9	187,347	1	1,962	1	1.1%	10
Clinton city	10,010	5	12	8	0.1%	22	10,103	5	93	6	0.9%	11
Norris city	1,626	20	(4)	20	-0.2%	26	1,638	20	12	13	0.7%	12
Vonore town	1,501	21	10	10	0.7%	7	1,512	21	11	14	0.7%	13
Oak Ridge city	28,946	2	(12)	23	0.0%	23	29,096	2	150	4	0.5%	14
Oliver Springs town	3,239	13	4	15	0.1%	20	3,255	13	16	11	0.5%	15
Lake City city	1,767	19	15	7	0.9%	4	1,774	19	7	15	0.4%	16
Rockwood city	5,418	11	17	6	0.3%	16	5,434	11	16	11	0.3%	17
Townsend city	444	30	2	17	0.5%	11	445	30	1	17	0.2%	18
Kingston city	5,805	9	11	9	0.2%	19	5,812	9	7	15	0.1%	19
Rockford city	854	27	(1)	18	-0.1%	24	855	27	1	17	0.1%	20
Louisville city	4,138	12	5	14	0.1%	21	4,142	12	4	16	0.1%	21
Harriman city	6,157	8	12	8	0.2%	18	6,158	8	1	17	0.0%	22
Friendsville city	918	25	3	16	0.3%	15	917	25	(1)	18	-0.1%	23
Jacksboro town	1,936	18	(8)	21	-0.4%	28	1,932	18	(4)	19	-0.2%	24
Rutledge town	1,354	22	8	12	0.6%	8	1,350	22	(4)	19	-0.3%	25
Oakdale town	209	31	(2)	19	-0.9%	30	208	31	(1)	18	-0.5%	26
Jellico city	2,229	15	(9)	22	-0.4%	27	2,215	15	(14)	21	-0.6%	27
Wartburg city	908	26	3	16	0.3%	14	902	26	(6)	20	-0.7%	28
Sunbright city	539	29	2	17	0.4%	13	535	29	(4)	19	-0.7%	29
Caryville town	2,186	16	(17)	24	-0.8%	29	2,164	16	(22)	22	-1.0%	30
La Follette city	6,888	7	(76)	25	-1.1%	31	6,807	7	(81)	23	-1.2%	31

Sort

3/29/2019

HOME PRICES

Farragut, TN -

- \$181,700** Knoxville, TN - Metro Median Home Sales Price (NAR, Q3 2018)
- \$172,100** Knoxville, TN - MSA Median Home Sales Price (ESRI, 2017)
- \$445,100** Farragut, TN - City Median Home Listing Price (Zillow, Jul 2018)
- \$439,100** Zip Code 37934 - Median Home Listing Price (Zillow, Jul 2018)

Median home sales prices are annual averages

Median Home Sales Prices Near the Site (Source: Trulia)



Sources:

[Trulia.com](https://www.trulia.com)

[Zillow.com](https://www.zillow.com)

[National Assoc. of Realtors \(NAR\)](https://www.nar.realtor)

ESRI

Farragut town

Farragut town, Tennessee (4725760)

4725760

2017/2022 Snapshot

Total Population (2017)	22,347
Total Households (2017)	8,196
Population Annual Growth Rate (2010-2017)	1.1%
Household Annual Growth Rate (2010-2017)	0.9%
Population Annual Growth Rate (2017-2022, projected)	1.1%
Household Annual Growth Rate (2017-2022, projected)	1.0%
Median Household Income (2017)	\$103,564
Average Household Income (2017)	\$131,301
Per Capita Income (2017)	\$48,649
Median Net Worth (2017)	\$470,293
Median Disposable Income (2017)	\$82,349
College Educated Population (2017)	63%
Average Household Size (2017)	2.71
Total Households (2010)	7,666

2017 Households by Income

Total Households	8,196	
<\$15,000	306	4%
\$15,000 - \$24,999	379	5%
\$25,000 - \$34,999	384	5%
\$35,000 - \$49,999	519	6%
\$50,000 - \$74,999	1,049	13%
\$75,000 - \$99,999	1,241	15%
\$100,000 - \$149,999	1,961	24%
\$150,000 - \$199,999	1,096	13%
\$200,000+	1,261	15%

2017 Population by Age

Total Population	22,347	
0 - 4	980	4%
5 - 19	4,599	21%
20 - 34	2,498	11%
35 - 49	4,167	19%
50 - 64	5,585	25%
65 - 84	4,011	18%
85 +	506	2%
Median Age	46.8	

2017 Housing Summary

Total Housing Units	8,451
Owner Occupied Housing Units	82%
Renter Occupied Housing Units	15%
Vacant Housing Units	3%
Median Home Value (Owner Occupied)	\$337,219

2017 Business Summary

Total Employees (Daytime Employment)	9,401
Total Businesses	847

Source: U.S. Bureau of the Census, 2010 Census of Population and Housing. Esri forecasts for 2017 and 2022.

Farragut town

Farragut town, Tennessee (4725760)

4725760

2017-2022 Projected Annual Average Population Growth Rate by Age

Total Population	22,347	
0 - 4	4	0.4%
5 - 19	-20	-0.4%
20 - 34	22	0.9%
35 - 49	6	0.1%
50 - 64	13	0.2%
65 - 84	203	5.1%
85 +	16	3.2%

2017 Households (Age 25-34) by Income

HH Income Base	567	
<\$15,000	18	3%
\$15,000-\$24,999	24	4%
\$25,000-\$34,999	31	5%
\$35,000-\$49,999	42	7%
\$50,000-\$74,999	89	16%
\$75,000-\$99,999	123	22%
\$100,000-\$149,999	127	22%
\$150,000-\$199,999	68	12%
\$200,000+	45	8%
Median HH Income	\$89,064	
Average HH Income	\$109,331	

2017 Employed Population 16+ by Occupation

Total Civilian Labor Force (Age 16+)	10,952	
White Collar	8,343	76.2%
Management/Business/Financial	3,377	30.8%
Professional	2,415	22.1%
Sales	1,523	13.9%
Administrative Support	1,028	9.4%
Services	1,277	11.7%
Blue Collar	967	8.8%
Farming/Forestry/Fishing	16	0.1%
Construction/Extraction	141	1.3%
Maintenance/Repair	174	1.6%
Production	303	2.8%
Transportation/Moving	333	3.0%

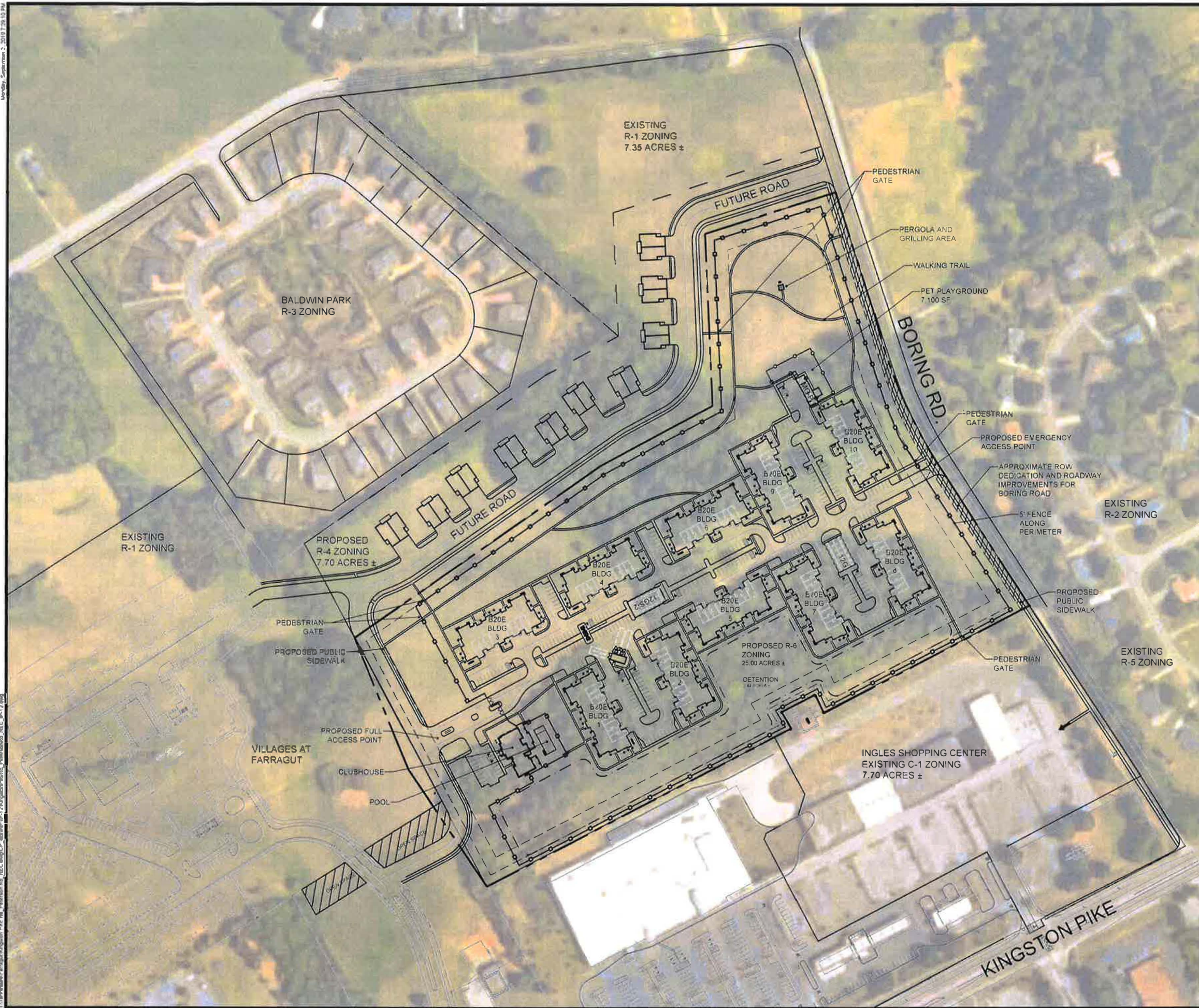
Source: U.S. Bureau of the Census, 2010 Census of Population and Housing. Esri forecasts for 2017 and 2022.



SPRINGS AT FARRAGUT

FARRAGUT, TN

CONTINENTAL
PROPERTIES



VICINITY MAP
SCALE: NTS

SITE INFORMATION	
MULTIFAMILY AREA	25.00 ACRES
TOTAL AREA	25.00 ACRES
DENSITY	8.00 DU/ACRE
BUILDING / LANDSCAPE SETBACKS	NORTH 50:20 SOUTH 50:20 EAST 50:20 WEST 50:20
BUILDING INFORMATION	
CLUBHOUSE	4 340 SF
RESIDENT BUILDINGS	QUANTITY HEIGHT
820S (20 DUPLEXING)	10 2-STORY / 35'
TOTAL RESIDENT BUILDINGS	10
GENERAL HOME MIX	HOMES PERCENTAGE
STUDIO	20 10%
1-BEDROOM	60 40%
2-BEDROOM	60 40%
3-BEDROOM	20 10%
TOTAL HOMES	200 100%
PROPERTY BOUNDARY	AERIAL

MEETING DATE: September 19, 2019

AGENDA ITEM #10

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on a request to rezone the property at 11221 Outlet Drive from C-2-R/W (Regional Commercial, Retail/Warehousing) to C-2 (Regional Commercial), 15.47 Acres (Town of Farragut, Applicant)

Postponed.