



**AGENDA
FARRAGUT MUNICIPAL PLANNING COMMISSION**

**October 17, 2019
7:00 p.m. Farragut Town Hall**

For questions please e-mail Mark Shipley at mshipley@townoffarragut.org or Bart Hose at bhose@townoffarragut.org

- 1. Citizen Forum**
- 2. Approval of agenda**
- 3. Approval of minutes – September 19, 2019**
- 4. Discussion and public hearing on a final plat for the Enclave at Sheffield, 6.72 Acres, 21 Lots, Zoned R-1/OSR (iLend, Applicant)**
- 5. Discussion and public hearing on a site plan for renovations to the Smart Bank at 11216 Kingston Pike, 1 Acre, Zoned C-1/MUTC (Barber McMurry, Applicant)**
- 6. Discussion and public hearing on a resubdivision plat for the Furrow Family Partnership, Parcels 154.05-154.10, Tax Map 130 along Outlet Drive, 20.06 Acres, Zoned OD-RE/E (Land Development Solutions, Applicant)**
- 7. Discussion and public hearing on a site plan for the Top Golf, 11400 Outlet Drive, 15.73 Acres, Zoned OD-RE/E (Land Development Solutions, Applicant)**
- 8. Discussion and public hearing on a site plan for Admiral Landing, 11321 Kingston Pike, 1.19 Acres, Zoned C-1/MUTC (Urban Engineering, Applicant)**
- 9. Discussion and public hearing on a preliminary plat for Grigsby Park, Phase I, Parcel 96 and a portion of Parcel 96.01, Tax Map 142, 4.636 Acres, 15 units, Zoned R-4 and FPD (Grigsby Park, LLC, Applicant)**
- 10. Discussion on an amendment to the Farragut Zoning Ordinance to provide for a Medium Density Multi-Family Zoning District (Town of Farragut, Applicant)**
- 11. Approval of utilities**

Planning Commission Meeting Public Comment Protocol

The Planning Commission welcomes and invites citizens to participate in public meetings.

At the beginning of each meeting, there will be time reserved for public comment under the Citizen Forum agenda item. If you are interested in speaking, please fill out a blue comment card and turn it in to the Town Planner or staff member. This time is set aside specifically for comments on items that are not on the Planning Commission regular agenda for the meeting. Each speaker will be given five (5) minutes to speak on his/her topic.

During the regular agenda portion of the meeting there may be an allowance for public comment for each agenda item. The Chairman may recognize individuals for public comment based on the following guidelines:

1. The Chairman shall maintain and control the meeting to provide a professional and objective environment conducive to presentation and discussion of the agenda items;
2. Anyone interested in speaking should fill out a blue comment card stating which agenda item they would like to comment on and turn in to the Town Planner or a staff member;
3. Speakers shall come to the podium and identify themselves by name and address;
4. Public comment shall be limited to five (5) minutes per individual, time may be extended at the discretion of the Chairman; time is not transferable to other speakers;
5. Speakers should strive to avoid redundancy;
6. Comments shall address issues, not individuals or personalities;
7. Comments may support or oppose particular issues or measures, but the motives of those with differing views shall not be questioned or attacked;
8. Personal attacks and malicious comments shall not be tolerated;
9. An applicant, and/or their representative(s), for an item on the regular agenda shall be afforded the time necessary to present their request and respond to questions. The five (5) minute limitation shall not apply. However, the Chairman may ask an applicant to stay on point in order to facilitate the efficiency of the meeting.



**MINUTES
FARRAGUT MUNICIPAL PLANNING COMMISSION**

September 19, 2019

MEMBERS PRESENT

Rita Holladay, Chairman
Ed St. Clair, Vice-Chairman
Ron Williams, Mayor
Rose Ann Kile, Secretary
Louise Povlin
Scott Russ
Betty Dick
Jon Greene
Noah Myers
Melanie Cionfolo, Youth Representative

MEMBERS ABSENT

None

Staff Representatives: Bart Hose, Assistant Community Development Director

Chairman Holladay called the meeting to order at 7 p.m.

1. Citizen Forum

Two residents spoke regarding Pecos Road and its planned connection to the Ivey Farm Subdivision being developed on the property immediately to the east.

2. Approval of agenda

Staff noted that Agenda Item 5 had been withdrawn by the applicant. Staff then recommended that Agenda Item 10 be postponed.

A motion was made by Mayor Williams to follow staffs' recommendation. Motion was seconded by Commissioner Myers and motion passed unanimously.

3. Approval of minutes – August 15, 2019

Staff recommended approval.

A motion was made by Mayor Williams to follow staffs' recommendation. Motion was seconded by Commissioner Dick and motion passed with Commissioner Myers and Vice-Mayor Povlin abstaining.

4. **Discussion and public hearing on a revised site plan for drive-through lanes and building exterior modifications at the ORNL Federal Credit Union at 11405 Municipal Center Drive, 1 Acre, Zoned C-1/MUTC (Design Collaborative, Applicant)**
Staff recommended approval of the revised site plan and building elevations.

A motion was made by Commissioner St. Clair to follow staffs' recommendation. Motion was seconded by Vice-Mayor Povlin and motion passed unanimously.

5. **Discussion and public hearing on a site plan for an 8-bay garage to be added within the parking lot at the northeastern portion of the Villages Luxury Senior Living facility, 230 Village Commons Boulevard, 23 Acres, Zoned S-1 (SITE Inc., Applicant)**
Withdrawn at the request of the applicant.

6. **Discussion and public hearing on a request for a variance from the Subdivision Regulations for the requirement to construct a sidewalk along a collector street in association with a resubdivision plat for the property at 632 Red Mill Lane, 1.96 Acres, 2 Lots, Zoned R-1 (SITE Inc., Applicant)**
Staff recommended approval of the requested variance. Staff noted that requiring the owner to construct almost 400 feet of sidewalk and related improvements for a minor two lot subdivision would not be proportional.

A motion was made by Commissioner Kile to follow staffs' recommendation. Motion was seconded by Commissioner Dick and motion passed unanimously.

7. **Discussion and public hearing on a request for a variance from the Driveways and Other Accessways Ordinance for the distance between driveways in association with a resubdivision plat for the property at 632 Red Mill Lane, 1.96 Acres, 2 Lots, Zoned R-1 (SITE Inc., Applicant)**
Staff recommended approval of the requested variance, noting that the proposed driveway for lot 2 would be aligned with Cross Bridge Circle and that access to the lot would be restricted to that location by plat note. Staff also recommended approval of the minor resubdivision plat subject to all required certificates being signed.

A motion was made by Vice-Mayor Povlin to follow staffs' recommendation regarding the variance request. Motion was seconded by Commissioner St. Clair and motion passed unanimously. A motion was then made by Vice-Mayor Povlin to follow staffs' recommendation regarding the minor resubdivision plat. Motion was seconded by Commissioner Dick and motion passed unanimously.

8. **Discussion and public hearing on a final plat for Brookmere Phase I, Parcel 044, Tax Map 152, 430 Virtue Road, 39.54 Acres, 50 Houselots, 4 Open Space Lots, Zoned R-1/OSR (Ryan Lynch - Lynch Surveys, LLC, Applicant)**
Staff recommended approval subject to the following:

- 1) Please show all additional ROW lines and easements being dedicated to support the construction of the Virtue Road project. ROW lines and easements should reflect the proposed ROW location upon completion of the project;

- 2) Plat note #1 does not comply with the Town's requirements for final plat approval. Setting monuments (iron pins) at all corners and other points is listed as a prerequisite for final approval. Please address and correct the issue;
- 3) Please revise all CLOMR/LOMR related FIRM notes to reference changes to all mapped flood zones (100 yr. and 500 yr.) and not just the Floodway. Please also ensure that all buildable lots affected by flood zones have a minimum FFE noted on the plat. In addition, please note that the developer will be required to submit to FEMA necessary documentation and as-builts upon completion to finalize the LOMR;
- 4) Please complete all items on staff's field punchlist. All disturbed areas must be stabilized;
- 5) Please submit an irrevocable letter of credit in the sum of \$240,000 for the completion of asphalt roadway surfaces, sidewalks, and walking trail completion;
- 6) Please submit an irrevocable letter of credit in the sum of \$110,000 for maintenance of roadways, sidewalk, trail, and detention & drainage structures;
- 7) Please submit an irrevocable letter of credit in the sum of \$24,000 for the completion of landscaping per the approved landscape plan for phase 1;
- 8) Please include a copy of the recorded covenants and restrictions; and
- 9) An as-built, in a PDF format, is required for the final plat and all required improvements once finalized.

The staff then noted that the applicants were in the process of addressing these items but that they had also proposed posting a letter of credit (LOC) to cover the setting of required monuments (corner iron pins). Staff explained that the Commission has not typically accepted LOCs for corner pins but that they could if they chose to. Staff also noted that the Knoxville/Knox County MPC was apparently accepting LOCs for such required improvements. The staff then recommended that the amount and terms of any such letter of credit be subject to approval by the Town's staff.

The Commission discussed the request and the corner pin issue. They decided it was appropriate to accept a LOC in this instance.

A motion was made by Commissioner St. Clair to follow staffs' recommendation, including with respect to the requested LOC for the required monuments. The Motion was seconded by Commissioner Myers and it passed unanimously.

9. **Discussion on a request to rezone a portion of Parcel 069, Tax Map 142 (north of the old Ingles Shopping Center), from R-1 (Rural Single-Family Residential), R-2 (General Single-Family Residential), and B-1 (Buffer) to R-4 (Attached Single-Family Residential) and R-6 (Multi-Family Residential), 32.7 Acres (John Baker/Horne Properties, Applicant)**

For discussion purposes only.

10. **Discussion and public hearing on a request to rezone the property at 11221 Outlet Drive from C-2-R/W (Regional Commercial, Retail/Warehousing) to C-2 (Regional Commercial), 15.47 Acres (Town of Farragut, Applicant)**

Postponed at the request of applicant.

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11. Approval of utilities

None.

The meeting was adjourned at 8:50.

Rose Ann Kile, Secretary

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Bart Hose, Assistant Community Development Director

SUBJECT: Discussion and public hearing on a final plat for the Enclave at Sheffield subdivision, 6.72 Acres, 21 Lots, Zoned R-1/OSR (iLend, Applicant)

INTRODUCTION AND BACKGROUND: As you know, the Enclave at Sheffield (Phase 4) is a small addition to the larger Sheffield Subdivision, located at the end of Thornbush Lane. It originally received preliminary approval in September of 2018 and several minor amendments were subsequently approved in August of this year. The subdivision includes 18 residential lots, 3 open-space lots, and two short cul-de-sacs in a “U” configuration extending from the end of Thornbush Lane.

RECOMMENDATION: Included in your packet is a copy of the final plat and staffs’ initial comments. The staff will be making a recommendation to grant approval subject to all certificates being signed, letters of credit, and other typical end of process items. A more detailed recommendation with any other needed conditions (subject to’s) will be provided at the meeting if necessary.

NOTES:

1. THE LOCATION OF UNDERGROUND UTILITIES WAS NOT VERIFIED BY EXCAVATION AND SHOULD BE VERIFIED BY THE PROPER UTILITY AUTHORITY AS NECESSARY.
2. A FIVE (5) FOOT UTILITY, DRAINAGE AND CONSTRUCTION EASEMENT ON EACH SIDE OF INTERIOR LOT LINES, A TEN (10) FOOT UTILITY, DRAINAGE AND CONSTRUCTION EASEMENT ON INSIDE OF ROAD RIGHTS-OF-WAY AND EXTERIOR LOT LINES.
3. SANITARY SEWER EASEMENT 7.5 FT EACH SIDE OF CENTERLINE OF EXISTING SEWER PIPE.
4. FOR PORTIONS OF THE PROPERTY LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA REFER TO FIRM MAP 47083C 0352 F, DATED MAY 2, 2002.
5. A PORTION OF LOT 18 (OPEN SPACE) IS WITHIN THE 100-YEAR FLOOD ZONE "F", AS SHOWN ON FEMA FIRM COMMUNITY PANEL NUMBER 47083C 0352 A.
6. THIS PROPERTY IS ZONED AS R022.
7. SINGLE FAMILY RESIDENTIAL FRONT SETBACK 30 FT. SIDE YARD: 5 FT. REAR YARD: 25 FT. EXTERIOR BOUNDARY SETBACK: 30 FT. OSA, OPEN SPACE RESIDENTIAL OVERLAY.
8. TOTAL LOTS: (20) BUILDING LOTS: (15) OPEN SPACE LOTS: (5) TOTAL ACRES: 6.72 ACRES.
9. THE 10 FT WALKWAY EASEMENT SHALL BE IN FAVOR OF THE TOWN OF FARRAGUT AND RESERVED FOR PUBLIC USE. THE TOWN OF FARRAGUT SHALL ACCEPT MAINTENANCE AND LIABILITY OF USE OF SAID EASEMENT.
10. OPEN SPACE FOR LOTS 202R & 203R REMAIN PART OF THE ORIGINAL SHEFFIELD, UNIT 1.
11. THERE SHALL BE NO CLEARING, GRADING, CONSTRUCTION OR DISTURBANCE OF SOIL AND/OR NATIVE VEGETATION WITHIN THE AQUATIC BUFFER (LOT 18 OPEN SPACE) EXCEPT AS PERMITTED BY THE TOWN OF FARRAGUT.
12. INCURSES / EGRESS EASEMENT SHALL BE IN FAVOR OF PARCEL 035.02 AND IS WITH THE DRAINAGE AND SANITARY EASEMENT AS SHOWN.

RELEASE OF EASEMENTS CERTIFICATE

EXCEPT AS NOTED OR SHOWN ON THIS PLAN, THE FOLLOWING PARTIES HEREBY CONSENT TO THE RELEASE OF ALL RIGHTS THAT MAY HAVE ACCRUED FOR THEIR USE AND BENEFIT (1) IN THE UTILITY, DRAINAGE AND CONSTRUCTION EASEMENTS ALONG THE ORIGINAL LOT LINES OR (2) PRIOR EASEMENTS IDENTIFIED HEREIN WHICH ARE ELIMINATED BY THIS PLAN ON THE CONDITION THAT NEW UTILITY, DRAINAGE AND CONSTRUCTION EASEMENTS ARE PROVIDED ALONG THE NEW PROPERTY LINES OR AS FACILITIES ARE INSTALLED OR SHOWN HEREON. THE ABOVE PROVISIONS NOT WITHSTANDING, PRIOR EASEMENTS OR PRIOR UTILITY PLACEMENTS ARE NOT RELEASED UNLESS SPECIFICALLY NOTED HEREIN. EXISTING EASEMENTS OR PLACEMENTS SHOWN HEREON WILL NOT BE ADVERSELY AFFECTED BY THE DEVELOPMENT AS HEREIN PROPOSED.

FIRST UTILITY DISTRICT
SEWER AND WATER
LCUB
ELECTRIC SERVICE
KNOXVILLE UTILITY BOARD
GAS
TDS TELECOM
TELEPHONE
CHARTER
CABLE
TOWN OF FARRAGUT

CERTIFICATE FOR STREET APPROVAL:

I CERTIFY THAT STREETS, SIDEWALKS, AND OTHER REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED IN AN ACCEPTABLE MANNER AND ACCORDING TO TOWN SPECIFICATIONS, OR THAT A SECURITY BOND IN THE AMOUNT OF \$10,000 HAS BEEN POSTED WITH THE PLANNING COMMISSION TO ASSURE COMPLETION OF ALL REQUIRED IMPROVEMENTS IN CASE OF DEFAULT. STREETS ARE PUBLIC STREETS MAINTAINED AT PUBLIC EXPENSE.

TOWN ENGINEER
DATE: _____
LICENSE NO.: _____

CERTIFICATE OF ELECTRIC, GAS AND TELEPHONE AVAILABILITY

I HEREBY CERTIFY THAT EVERY LOT WITHIN THIS SUBDIVISION HAS AVAILABLE TO IT A SOURCE FOR THE SERVICE (IDENTIFIED BY SIGNATURES BELOW WHICH SERVICE SOURCE IS ADEQUATE TO ACCOMMODATE THE REASONABLE NEEDS OF SUCH LOTS AS TO SUCH SERVICE WITHIN SUCH SUBDIVISION.

KNOXVILLE UTILITIES BOARD
DATE: _____
LENDOR CITY UTILITIES BOARD
DATE: _____
TDS TELECOM
DATE: _____

CERTIFICATE OF WATER AND SEWER AVAILABILITY

I HEREBY CERTIFY THAT EVERY LOT WITHIN THIS RESUBDIVISION HAS AVAILABLE TO IT, WATER AND SEWER SERVICE THAT IS ADEQUATE TO ACCOMMODATE THE REASONABLE NEEDS OF SUCH LOTS.

FIRST UTILITY DISTRICT
DATE: _____

CERTIFICATION OF APPROVAL OF STREET NAMES

I CERTIFY THAT THE SUBDIVISION SHOWN HEREON HAS BEEN REVIEWED FOR COMPLIANCE WITH THE KNOX COUNTY UNIFORM STREET NAMING AND ADDRESSING SYSTEM ORDINANCE, AND THE ROAD NAMES ARE HEREBY APPROVED FOR RECORDING.

KNOX COUNTY ADDRESSING DIVISION
DATE: _____

SHEFFIELD, UNIT 1

CLT: 152NA011
DEED: #20131001 0022113
PLAT: #20070208 0064228

LOVELL
MAP 152, PARCEL 035.02
DEED: #19960808 0039941
PLAT: #19960723 0045551

LOT LINES

PL	DISTANCE	BEARING
PL1	26.65'	S68°23'52"E
PL3	41.40'	S56°04'59"W
PL4	41.42'	S48°42'50"W
PL5	84.33'	S45°31'45"W
PL6	34.10'	S39°12'41"W
PL7	45.72'	S42°38'17"W
PL8	11.79'	S42°27'01"W
PL9	82.08'	S42°35'58"W
PL10	4.88'	S42°35'58"W
PL11	70.75'	S42°35'58"W
PL12	8.27'	N41°16'08"W
PL13	65.31'	S38°30'01"E
PL14	20.40'	S40°05'21"E
PL15	69.38'	S38°30'00"W
PL16	20.38'	N42°37'13"E

RIGHT-OF-WAY

CHORD	BEARING	CHORD	RADIUS	ARC
C1	N05°21'42"W	27.34'	25.00'	28.93'
C11	S38°30'48"E	41.65'	129.92'	92.92'
C2	N18°01'25"W	90.95'	129.92'	76.49'
C3	N19°18'58"E	75.59'	129.92'	15.47'
C4	N09°36'39"E	15.46'	129.92'	66.58'
C12	S43°01'21"W	49.93'	30.03'	75.00'
C5	N30°20'55"E	30.03'	75.00'	20.09'
C6	N17°52'26"E	25.53'	75.00'	25.86'
C7	N37°29'23"E	45.17'	47.00'	48.26'
C8	S77°36'25"E	34.53'	47.00'	58.22'
C9	S08°17'05"W	70.50'	47.00'	79.41'
C10	S68°19'48"W	18.97'	47.00'	19.16'
C11	S68°24'47"W	45.04'	35.00'	45.75'
L4	N43°01'21"E	21.85'		
L5	N43°01'21"E	84.34'		
C12	S37°17'11"W	15.07'	29.92'	16.00'
C13	S03°28'53"E	91.75'	79.92'	97.73'
L6	N38°30'48"W	72.10'		
L7	N38°30'48"W	46.58'		
L8	S43°04'34"W	14.14'	71.29'	122.45'
L9	S43°04'34"W	63.68'		
C15	N34°58'41"E	21.09'	75.00'	21.16'
C16	N17°21'15"E	24.48'	75.00'	24.50'
C17	N49°48'22"E	50.75'	47.00'	53.81'
G18	S70°51'36"E	54.79'	47.00'	58.50'
C19	S13°37'26"W	20.76'	47.00'	68.11'
C20	S79°14'17"W	12.75'	47.00'	12.77'
C21	S60°33'00"W	45.04'	75.00'	45.75'
L10	N43°04'34"E	16.12'		
L11	N43°04'34"E	61.70'		
C22	S47°33'48"W	18.80'	121.29'	19.00'
C23	S67°54'35"W	66.29'	121.29'	67.15'
C24	N79°13'16"W	86.96'	121.29'	88.94'
L12	S54°12'48"E	26.13'		
C26	N82°01'59"W	23.33'	25.00'	24.28'

SPCS NAD83

NOTE:

THE BASIS FOR THE NORTH MERIDIAN OF THIS SURVEY IS THE SPCS ZONE 4100, NAD83(2011) ESTABLISHED BY GPS OBSERVATION.

LEGEND:

- IRON PINS AT ALL CORNERS
- IRON PIN - FOUND
- IRON PIPE - FOUND
- IRON PIN - SET
- UTILITY FEATURE
- PROPERTY LINE
- - - RIGHT-OF-WAY
- - - R/W CENTERLINE
- - - BUILDING SETBACK
- - - EASEMENT
- - - 500 YR FLOOD FRINGE
- - - 100 YR FLOOD FRINGE
- - - TVA FLOWAGE EASEMENT
- - - STREAM/FLOODWAY BOUNDARY

CERTIFICATE OF OWNERSHIP AND GENERAL DEDICATION

WE HEREBY CERTIFY THAT WE ARE THE OWNERS OF THE PROPERTY SHOWN AND DESCRIBED HEREON AS ENTERED BY INSTRUMENT NUMBER 200012080050190 AS RECORDED IN THE OFFICE OF THE COUNTY REGISTER OF KNOX COUNTY, AND THAT I HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY FREE CONSENT, ELIMINATING THE MINIMUM BUILDING RESTRICTION LINES, AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS AND OTHER OPEN SPACE TO PUBLIC OR PRIVATE USE AS NOTED.

SIGNATURE _____ DATE _____
SIGNATURE _____ DATE _____

OWNER:
DAVID WILKINSON
1209 HWY 85 CONNECTOR
BROOKS, GA 30205
(678)248-8599

CLT REF: MAP152N, GROUP A, PARCEL 095.
REFERENCE DEED INST #20181120 0031994

RB Bailey.US

224 ILLINOIS AVENUE
GAY, TENNESSEE 37830-4863
(865) 482-5280

FILE: 2394PLR1	FINAL PLAT OF
REVISION: 1	THE ENCLAVE @ SHEFFIELD
DRAWN BY: R. A. BAILEY	LOCATED AT THORNBUSH LANE
	FARRAGUT, KNOX COUNTY, DISTRICT 6, TENNESSEE
DATE: 09 OCT 19	SCALE: 1" = 60'
	SHT: 1 OF: 1
	2394

CERTIFICATE OF CLASS AND ACCURACY OF SURVEY:

I HEREBY CERTIFY THAT THE PLAN SHOWN HEREON IS A TRUE AND CORRECT SURVEY TO THE ACCURACY REQUIRED BY THE KNOX COUNTY PLANNING COMMISSION AND THAT THE MONUMENTS HAVE BEEN PLACED AS SHOWN HEREON, TO THE SPECIFICATIONS OF THE SUBDIVISION REGULATIONS. THIS IS A CATEGORY 1 LAND SURVEY AND THE HAND OF THE SURVEYOR OF THE UNADJUSTED SURVEY IS EQUAL TO OR GREATER THAN 1:10,000.

RICHARD A. BAILEY
TECH. REG. NO. 1756
REF. INST: #30011080037287

CERTIFICATE OF APPROVAL FOR RECORDING

I HEREBY CERTIFY THAT THE SUBDIVISION PLAN SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS FOR FARRAGUT, TN, WITH THE EXCEPTION OF SUCH VIOLATIONS, IF ANY, AS ARE NOTED IN THE MINUTES OF THE PLANNING COMMISSION AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE KNOX COUNTY REGISTER OF DEEDS.

SIGNED: _____ DATE: _____

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on a site plan for renovations to the Smart Bank at 11216 Kingston Pike, 1 Acre, Zoned C-1/MUTC (Barber McMurry, Applicant)

INTRODUCTION AND BACKGROUND: This item involves an exterior renovation to what used to be the Foothills Bank and Trust. The renovation consists of a new entry, replacing the shingle roof with new standing seam metal panels, revising the parking layout and drive thru aisle, and adding a new area for wall mounted signage.

DISCUSSION: This building is within the MUTC portion of the Town where the architectural aspects of the building are to reflect a higher standard. This specific request would not appear to be an issue with this expectation.

RECOMMENDATION: Included in your packet are revised plans. Staff will make a recommendation at the meeting based on whether the comments have been addressed.

TOWN OF FARRAGUT REVIEW DOCUMENTS

SMART BANK RENOVATION

11216 KINGSTON PIKE KNOXVILLE, TN 37934 10.07.2019 190700



REGULATORY INFORMATION

PROJECT SCOPE
AN EXTERIOR RENOVATION TO THE EXISTING SMART BANK BUILDING. THE PROJECT SCOPE INCLUDES: EXTERIOR WALLS, ROOF, FLOORING, PAINT, AND LANDSCAPE. THE PROJECT DOES NOT INCLUDE: INTERIOR WALLS, ROOF, FLOORING, PAINT, AND LANDSCAPE.

RECONSTRUCTION CLASSIFICATION

RECONSTRUCTION CLASSIFICATION

APPLICABLE CODES: TOWN OF FARRAGUT
2018 INTERNATIONAL BUILDING CODE (IBC)
2018 INTERNATIONAL PLUMBING CODE (IPC)
2018 INTERNATIONAL MECHANICAL CODE (IMC)
2018 INTERNATIONAL ELECTRICAL CODE (IEC)
2018 INTERNATIONAL FIRE CODE (IFC)
2018 INTERNATIONAL SAFETY CODE (ISC)
2018 INTERNATIONAL SUSTAINABILITY CODE (ISC)

BUILDING CLASSIFICATIONS
B1 OCCUPANCY CLASSIFICATION
B2 CONSTRUCTION CLASSIFICATION
B3 OCCUPANCY CLASSIFICATION
B4 CONSTRUCTION CLASSIFICATION
B5 OCCUPANCY CLASSIFICATION
B6 CONSTRUCTION CLASSIFICATION
B7 OCCUPANCY CLASSIFICATION
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B9 OCCUPANCY CLASSIFICATION
B10 CONSTRUCTION CLASSIFICATION

REQUIRED FIRE PROTECTION
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VICINITY MAP



DRAWING INDEX

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BARBER McMURRY
architects since 1915

505 Walker St Suite 200 Knoxville, TN 37902
1.865.934.1915 1.865.544.0242

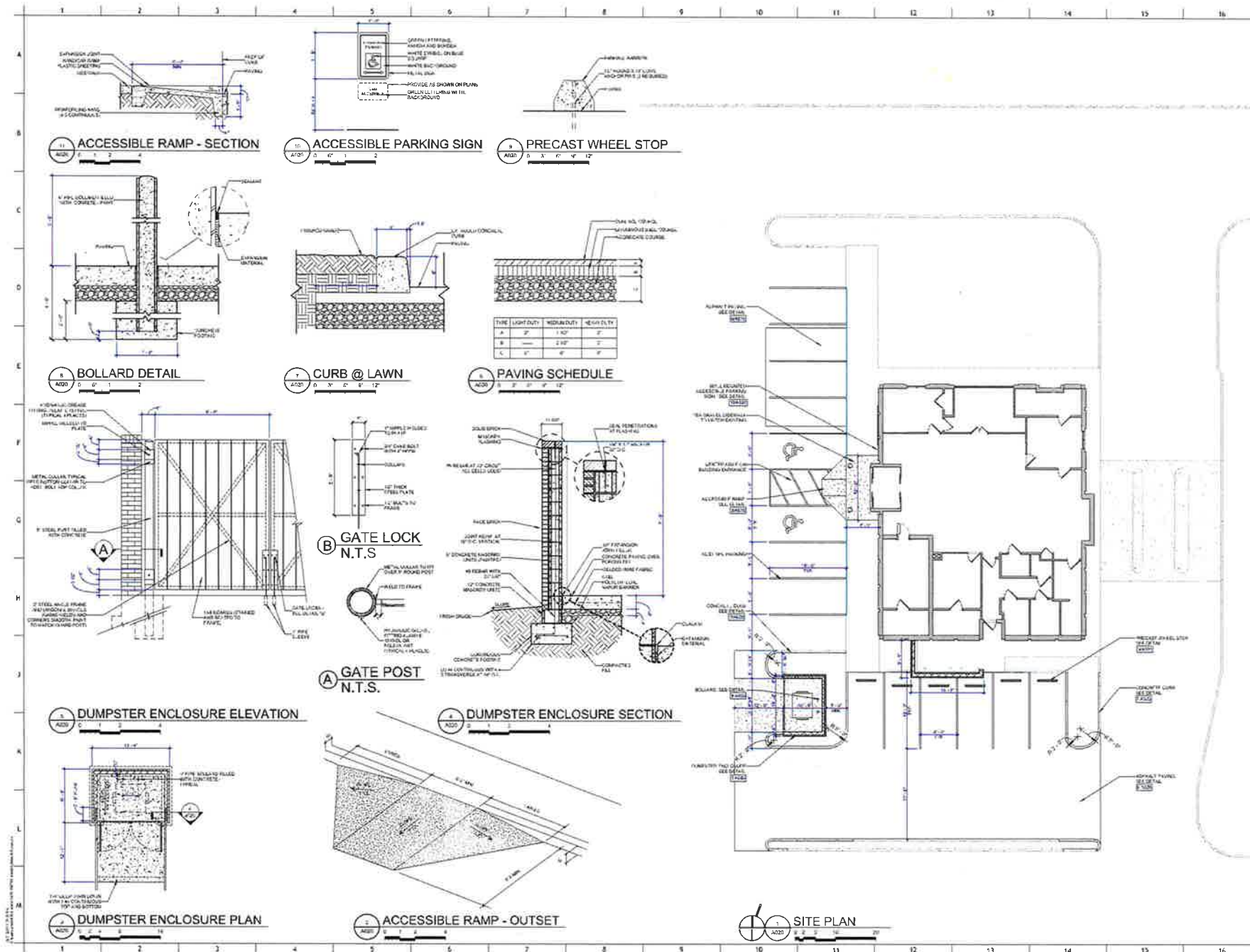
NOT FOR CONSTRUCTION
FOR TOWN OF FARRAGUT REVIEW

LANDSCAPE ARCHITECT
CAROL R. JOHNSON ASSOCIATES
324 S. GAY STREET
KNOXVILLE, TN 37902
1.865.572.2752

STRUCTURAL ENGINEER
CHAD STEWART & ASSOCIATES, INC.
800 S. GAY STREET, SUITE 1625
KNOXVILLE, TN 37929
1.865.329.9920

MECHANICAL ENGINEER
FACILITY SYSTEMS CONSULTANTS
713 CENTRAL STREET, SUITE 101
KNOXVILLE, TN 37902
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ELECTRICAL ENGINEER
FACILITY SYSTEMS CONSULTANTS
713 CENTRAL STREET, SUITE 101
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1.865.246.1084



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505 Market St Suite 300 Knoxville, TN 37902
1.865.546.1915 1.865.546.0242

LEADER: V. L. HARRIS

NOT FOR CONSTRUCTION
FOR TOWN OF KNOXVILLE REVIEW

PROJECT NUMBER
190700

PROJECT NAME
SMART BANK RENOVATION

OWNER
SMART BANK

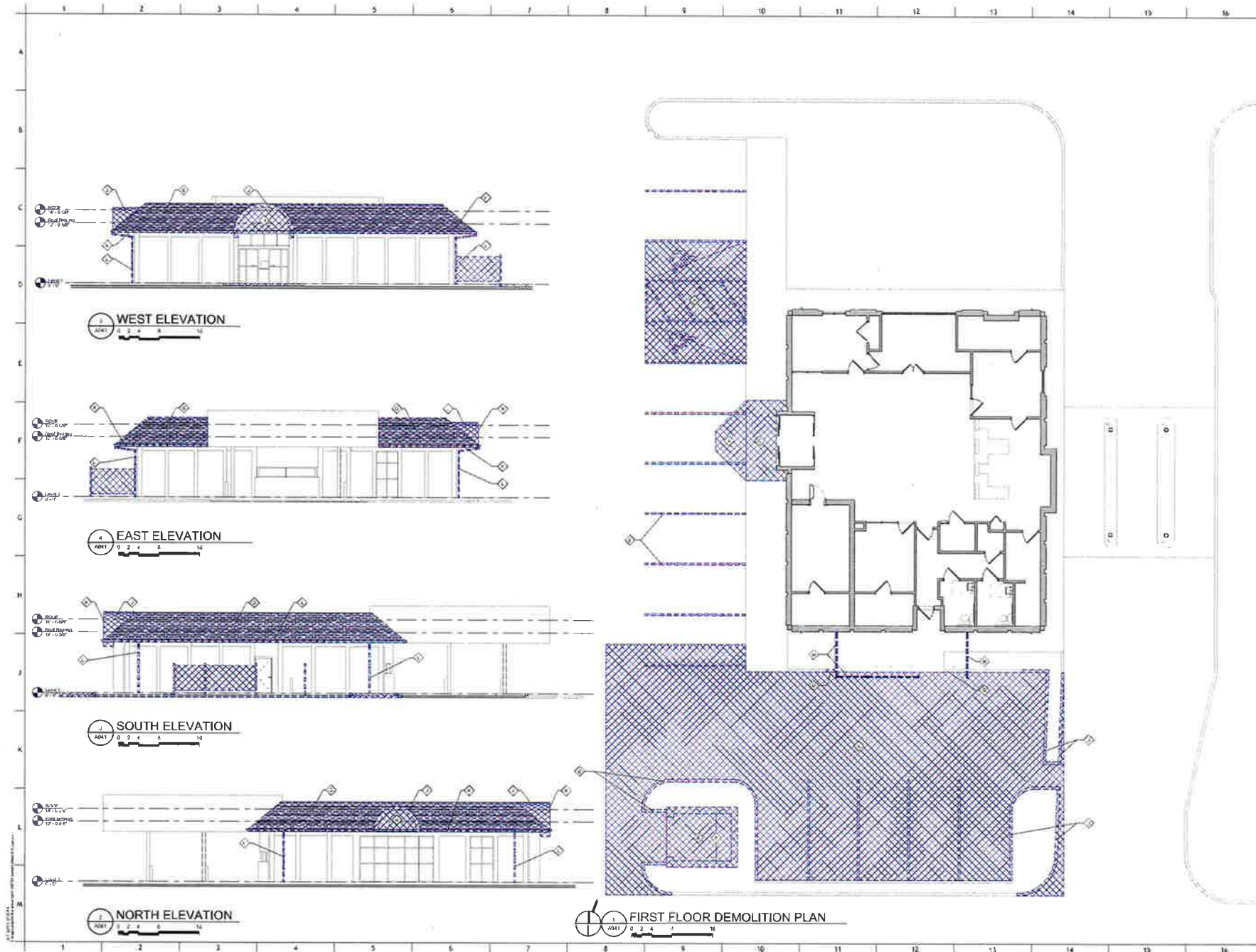
PROJECT ADDRESS
11216 KINGSTON PIKE
KNOXVILLE, TN 37934

CONSULTANTS

PARTNER-IN-CHARGE	KLH
PROJECT MANAGER	AJH
DRAWN BY	AJH
REVIEWED BY	KLH
DATE	10.27.20
REVISIONS	

A020

SITE PLAN AND DETAILS



oma

BARBER Mc MURRY
architects since 1915

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1.865.544.1915 / 865.544.9242



NOT FOR CONSTRUCTION
FOR TOWN OF PADMONT REVIEW

PROJECT NUMBER

190700

PROJECT NAME

SMART BANK RENOVATION

OWNER

SMART BANK

PROJECT ADDRESS

11216 KINGSTON PIKE
KNOXVILLE, TN 37934

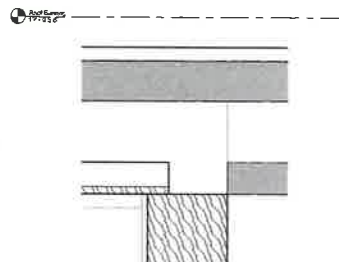
CONSULTANTS

**DEMO PLAN
KEYNOTES**

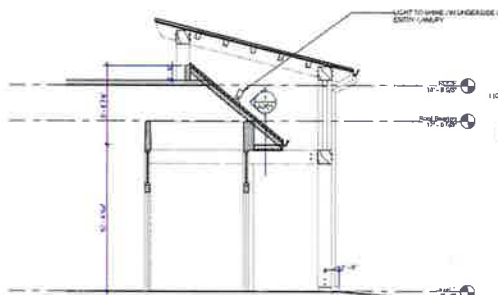
- ◇ ASPHALT PAVEMENT TO BE REMOVED
- ◇ CONCRETE PAVING TO BE REMOVED
- ◇ PRECAST CONCRETE TO BE REMOVED
- ◇ CONCRETE CURB TO BE REMOVED
- ◇ FINISH EXTERIOR TO BE REMOVED
- ◇ CLIMBER ENCLOSURE TO BE REMOVED
- ◇ ASPHALT SPRINKLES TO BE REMOVED
- ◇ CORNER TO BE REMOVED
- ◇ GUARD RAIL L&L V&L TO BE REMOVED
- ◇ GUTTER TO BE REMOVED
- ◇ DOWNSPOUT TO BE REMOVED
- ◇ TERRAZZO TO BE REMOVED

PARTNER IN CHARGE	RLH
PROJECT MANAGER	ADH
DESIGNER	ADH
REVIEWED BY	RLH
REVIEW DATE	10/27/2019
REVISIONS	

A041
DEMOLITION PLAN AND ELEVATIONS



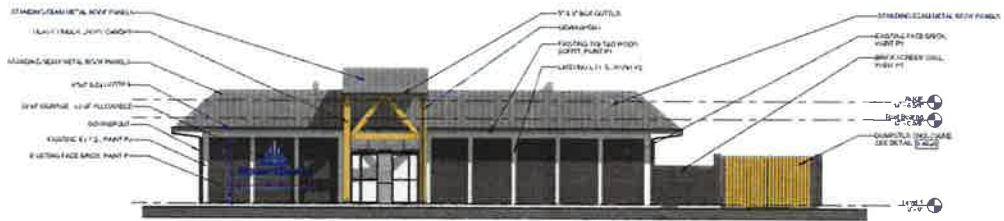
2 TIMBER BEAM DETAIL
A301 0 2 4 6 8 10



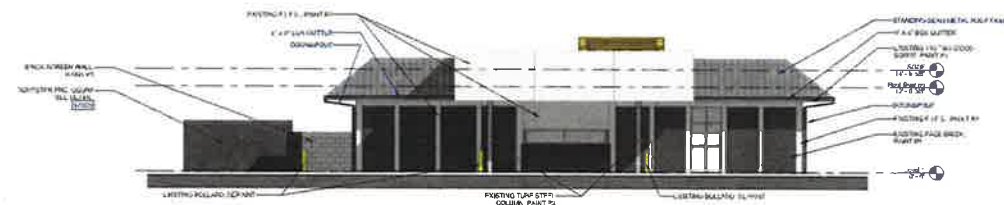
3 CANOPY SECTION
A301 0 2 4 6 8 10



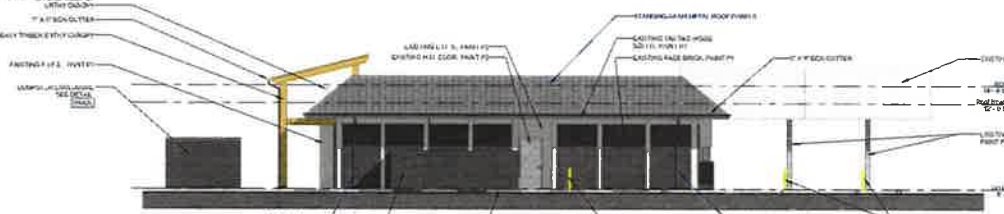
4 ENTRANCE CANOPY
NOT TO SCALE
A301



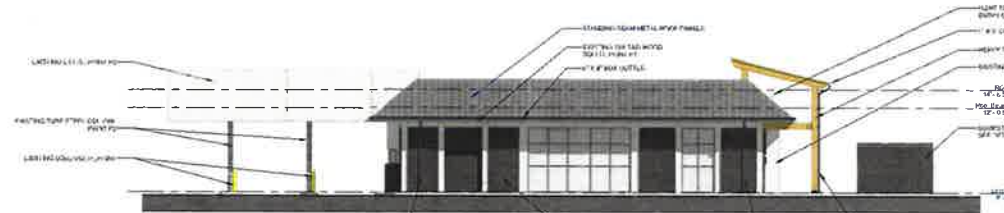
WEST ELEVATION
A301 0 2 4 6 8 10



EAST ELEVATION
A301 0 2 4 6 8 10



SOUTH ELEVATION
A301 0 2 4 6 8 10



NORTH ELEVATION
A301 0 2 4 6 8 10



NOT FOR CONSTRUCTION
FOR TOWN OF FARRAGUT REVIEW

PROJECT NUMBER
190700
PROJECT NAME
SMART BANK RENOVATION
OWNER
SMART BANK

PROJECT ADDRESS
11216 KINGSTON PIKE
KNOXVILLE, TN 37934

CONSULTANTS
GENERAL NOTES
1. CONDITIONS WITH REFERENCE TO OWNERS AND DETAILS ON OTHER SHEETS
2. MODIFICATIONS AND DETAILS ON THE SHEET
3. DIMENSIONS AND TO BE IN ACCORDANCE WITH THE CITY OF KNOXVILLE
4. PROVIDE MATERIALS TO BE USED IN CONSTRUCTION
5. PROVIDE ALL INFORMATION REQUIRED FOR THE PROJECT

PARTNER-IN-CHARGE
PROJECT MANAGER
REVIEWED BY
DATE
REVISIONS

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

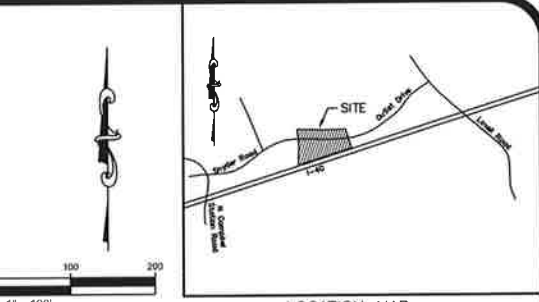
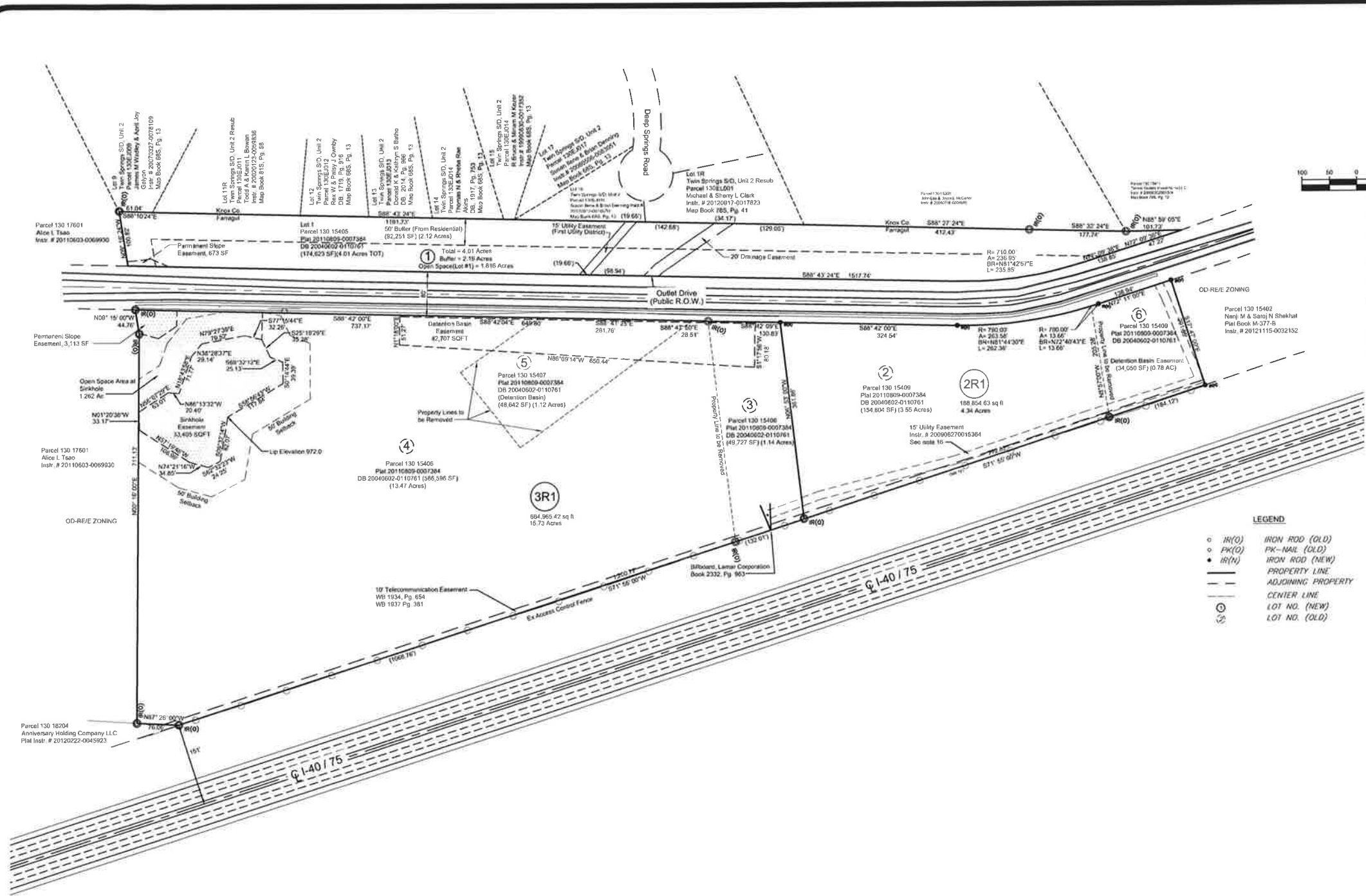
PREPARED BY: Bart Hose, Assistant Community Development Director

SUBJECT: Discussion and public hearing on a resubdivision plat for the Furrow Family Partnership, Parcels 154.05-154.10, Tax Map 130 along Outlet Drive, 20.06 Acres, Zoned OD-RE/E (Land Development Solutions, Applicant)

INTRODUCTION AND BACKGROUND: This item involves a minor three lot resubdivision plat and is related to the Top Golf project. The plat eliminates and reconfigures six existing lots of record into three lots. This includes two new lots on the south side of Outlet Drive and an existing open-space buffer lot (Lot 1) located on the north side of the road. The larger of the proposed lots located on the south side of Outlet Drive, lot 3R1, totals 15.73 acres and is the planned site of the Top Golf development. The lot also includes a large sinkhole area in its northwest corner that is being preserved as open-space. The second lot, Lot 2R1, totals 4.34 acres and planned for additional related commercial development.

RECOMMENDATION: Included in your packet is a copy of the plat. The staff will be making a recommendation to grant final approval subject to all certificates being signed, letters of credit, and other typical end of process items. A more detailed recommendation with any other needed conditions (subject to's) will be provided at the meeting if necessary.

X:\Chao\TG Farragut\ - Plat 24x36.dwg Oct 07, 2019 - 8:37am cbrown - LDS Copyright 2019



- Clt map 130, parcels 154.05, 154.06, 154.07, 154.08, 154.09 and 154.10.
 - Purpose of this plat is to combine lots 2 and 6 into lot 2R1 and lots 3, 4 and 5 into lot 3R1. Lot 1 is not modified by this plat.
 - No. of lots - 3
 - Iron pins found (IPF) shown on plat. All others set unless noted otherwise on plat.
 - A five (5) foot utility, drainage, and construction easement on each side of interior lot lines, a ten (10) foot utility, drainage, and construction easement on inside of road rights-of-way and exterior lot lines is reserved.
 - Sanitary Sewer Easement of 15', 7.5' each side of sewer as installed (where applicable).
 - Lot 1 is zoned C-2, Lots 2R1 and 3R1 are zoned OD-RE/E.
 - This subdivision contains 20.06 acres and is subdivided into 2 commercial lots (lots 2R1, and 3R1). Lot 1 has remained unchanged and contains 4.01 acres.
 - Building setback lines:
 - Front Yard - a, where parking lot is between building and street - 75'
 - b, where only a driveway aisle is between the building and street - 55'
 - c, where neither a parking lot nor driveway is between the building and street - 20'Side Yard - 20'
 - Rear Yard - 35'
 - 50' Buffer strip when adjoining a residential zone
- Bearings are referenced to town of Farragut Grid.
 - Deed reference - Instr. No. 20040602-0110761.
 - Minimum floor elevation for any structure within 100' of the sinkhole is 972.0
 - Town of Farragut north is based on bearing of S44°42'33"W between TOF control point no. 005 and 006. (Distances have not been reduced to grid)
 - Proposed slope easements and proposed temporary construction easements taken from construction plans entitled "Outlet Drive Extension" prepared for Knox county by Cannon & Cannon, Inc dated May 14, 2010.
 - Utility easement will terminate once the powerline and poles are removed. Bond has been placed with the Town of Farragut to insure powerline removal.
 - Open Space Dedication:
 - Open Space Required 2.757 Ac
 - Open Space Required 1.816 Ac
 - Portion of Lot 1 Outside Buffer Area 1.262 Ac
 - Portion at Sinkhole 3.078 Ac
 - Total Area

RELEASE OF EASEMENT(S) CERTIFICATION

Except as noted or shown on this plat, the following parties hereby consent to the release of all rights that may have accrued for their use and benefit in the utility, drainage, and construction easements along the original lot lines or prior easements identified hereon which are eliminated by this plat, on the condition that new utility, drainage, and construction easements are provided along the new property lines or as otherwise shown hereon. The above provisions notwithstanding prior easements or prior utility placements are not released unless specifically noted hereon. Existing easements or placements shown hereon will not be adversely affected by the development

Signature (sewer) _____ Date _____

Signature (water) _____ Date _____

Signature (electricity) _____ Date _____

Signature (telephone) _____ Date _____

Signature (cable) _____ Date _____

Signature (Town of Farragut) _____ Date _____

OWNER

Furrow Family Partnership L P
PO Box 32676
Knoxville, TN 37930

CERTIFICATE OF OWNERSHIP AND DEDICATION

I (We) hereby certify that I am (we are) the owner(s) of the property shown and described hereon as evidenced in Book Number _____ page _____ County Registers Office, and that I (we) hereby adopt this plan of subdivision with my (our) free consent, establish the minimum building restriction lines, and dedicate all streets, alleys, walks, and other open space to public or private use as noted.

_____, 20_____, Owner

CERTIFICATION OF COMMON AREAS DEDICATION

As Owner, in recording this plat I have designated certain areas of land shown hereon as common areas intended for use by the homeowners within Furrow Family Partnership Resubdivision of Lots 2-6.

For recreation and related activities. The above described areas are not dedicated for use by the general public, but are dedicated to the common use of the homeowners within the named subdivision.

"Declarations of Covenants and Restrictions", applicable to the above named subdivision, is hereby incorporated and made a part of this plat.

Date _____ Owner

CERTIFICATE OF APPROVAL OF WATER SYSTEM

I hereby certify that it has been certified to us that the water system(s) outlined or indicated on the final subdivision plat entitled Furrow Family Partnership Resubdivision of Lots 2-6 have been installed in accordance with current local and state government requirements.

Date _____ Name, Title, and Agency of Approving Agent

CERTIFICATE OF APPROVAL OF SEWER SYSTEM

I hereby certify that it has been certified to us that the sewer systems outlined or indicated on the final subdivision plat entitled Furrow Family Partnership Resubdivision of Lots 2-6 have been installed in accordance with current local and state government requirements.

Date _____ Name, Title, and Agency of Authorized Approving Agent

CERTIFICATION FOR STREET APPROVAL

I certify that streets, sidewalks and other required improvements have been installed in an acceptable manner and according to town specifications, or that a security bond in the amount of _____ has been posted with the planning commission to assure completion of all required improvements in case of default. Streets (are) (are not) public streets maintained at public expense.

Date _____ Town Engineer License No. _____

CERTIFICATE OF APPROVAL OF STREET NAMES

This is to certify that the subdivision shown hereon has been reviewed for compliance with the Knox County Uniform Street Naming & Addressing System Ordinance, and the road names are hereby approved for recording.

Knox County Addressing Division Date _____

CERTIFICATE OF APPROVAL FOR RECORDING

I hereby certify that the subdivision plat shown here has been found to comply with the Subdivision Regulations for Farragut, Tennessee, with the exception of such variances, if any, as are noted in the minutes of the Planning Commission and that it has been approved for recording in the Office of the County Register of Deeds.

Date _____ Secretary, Planning Commission

CERTIFICATE OF SURVEY ACCURACY

I hereby certify that the plan shown and described hereon is a true and correct survey to the accuracy required by the Farragut Municipal Planning Commission and that the monuments have been placed as shown hereon, to the specification of the Subdivision Regulations. This is a Category 1 Land Survey and the ratio of precision of the unadjusted survey is equal to or greater than 1: 10,000

Date _____
Eddie D Miller
310 Simmons Suite K
Knoxville, TN 37922
Registered Surveyor

No. 2033

CERTIFICATE OF ELECTRIC, GAS AND TELEPHONE AVAILABILITY

This is to certify that every lot within this subdivision has available to it a source for the service identified by signature(s) below which service source is adequate to accommodate the reasonable needs of such lot as to such service within such subdivision.

Date GAS - Name, Title, and Agency of Authorized Approving Agent

Date ELECTRIC - Name, Title, and Agency of Authorized Approving Agent

Date TELEPHONE - Name, Title, and Agency of Authorized Approving Agent

Project: FINAL PLAT OF FURROW FAMILY PARTNERSHIP ON OUTLET DRIVE Knoxville, Tennessee

LAND DEVELOPMENT SOLUTIONS

310 SIMMONS RD., SUITE K-KNOXVILLE, TENNESSEE 37922 PH. 865-671-2281

RESUBDIVISION OF LOTS 2-6

Drawing Description:

Revision	Date	Description
No.		

Drawn By _____

Checked _____

Approved _____

Job No. 219039

1"=100 Scale 10-07-19 Date

PLAT Sheet No. _____

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Bart Hose, Assistant Community Development Director

SUBJECT: Discussion and public hearing on a site plan for the Top Golf, 11400 Outlet Drive, 15.73 Acres, Zoned OD-RE/E (Land Development Solutions, Applicant)

INTRODUCTION AND BACKGROUND: This item involves a site plan for the Top Golf development located on Outlet Drive. The project includes an approximately 48,000 square foot two level building, golf driving/target range, associated parking and drainage improvements. The building complex includes hitting bays for the golf target range along with other entertainment facilities including an event space, a lounge, bars on two levels and outdoor seating areas. Architectural renderings, signage and landscaping plans have also been submitted.

The landscaping plan has already been reviewed and approved by the Visual Resources Review Board. The signage will have to be reviewed and approved separately in accordance with the Town's applicable requirements. The site improvements will involve substantial grading and a stepped series of two retaining walls will be located along a substantial portion of the Outlet Drive frontage. Design plans and construction details for these walls will need to be submitted and approved by the Planning Commission prior to construction.

The applicant will bring a color and materials board for the building and be prepared to answer any questions, including lighting that may be specific to this use.

RECOMMENDATION: Included in your packet is a copy of the site plan, other select plan sheets, and staffs' initial comments (in Bluebeam format) with the applicant's response. Staff will make a recommendation at the meeting based on whether staffs' comments have been satisfactorily addressed.

2019-28-TopGolf - Farragut Submission 9-16-19.pdf Markup Summary

Will need to have a finalized drawing for the final approved set of site plan documents. (1)



Subject: Callout
Page Label: 41
Author: mshipley
Date: 9/24/2019 6:32:47 PM
Status:
Color: ■
Layer:
Space:

Will need to have a finalized drawing for the final approved set of site plan documents.

Stamped Plans included with this submittal.

The tree cover in this area will need to be reviewed during the pre-construction meeting to assess if any trees can be saved with ce

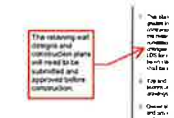


Subject: Callout
Page Label: 32
Author: mshipley
Date: 9/24/2019 6:21:15 PM
Status:
Color: ■
Layer:
Space:

The tree cover in this area will need to be reviewed during the pre-construction meeting to assess if any trees can be saved with certain measures applied.

Noted. This area will be reviewed during Pre-construction meeting

The retaining wall designs and construction plans will need to be submitted and approved before construction. (1)

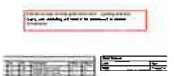


Subject: Callout
Page Label: 26
Author: bhose
Date: 9/24/2019 2:39:13 PM
Status:
Color: ■
Layer:
Space:

The retaining wall designs and construction plans will need to be submitted and approved before construction.

Noted. Retaining wall design & construction plans will be submitted

Standards also include glare elimination. Lighting direction, angle, and shielding will need to be addressed to assure compliance. (

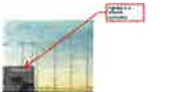


Subject: Text Box
Page Label: 43
Author: bhose
Date: 9/24/2019 10:53:27 AM
Status:
Color: ■
Layer:
Space:

Standards also include glare elimination. Lighting direction, angle, and shielding will need to be addressed to assure compliance.

Additional sheets were added to Sheet 3 (sheet 45 of 45) of the Photometric Package, as well as additional spec sheets to the resubmittal package. This includes details of the GameChanger 500 fixture (note the GameChanger 1000 is NOT proposed on this project). A comparison document of this bar LED system is compared to the previous lighting package (metal halide), explaining how glare is reduced. The fixtures are aimed downwards toward the front half of the outfield - this can be shown by the higher foot candle readings on the photometric plan in the half of the outfield closer to the light sources. Additionally, a shield is proposed in order to further

Signage is a different application (1)



Subject: Callout
Page Label: 35
Author: mshipley
Date: 9/24/2019 6:28:49 PM
Status:
Color: ■
Layer:
Space:

Signage is a different application

Noted. Signage application to be completed

Provide location of fire sprinkler PIV (1)

Provide location of
fire sprinkler PIV

Subject: Text Box
Page Label: 9
Author: Dan Johnson
Date: 9/19/2019 9:34:44 AM
Status:
Color: ■
Layer:
Space:

Provide location of fire sprinkler PIV

PIV to be located on the
front of the building.
See Sheet 10 of 45

Provide FDC (1)



Subject: Callout
Page Label: 9
Author: Dan Johnson
Date: 9/19/2019 9:00:30 AM
Status:
Color: ■
Layer:
Space:

Provide FDC

FDC to be located on the
front of the building.
See Sheet 10 of 45

Provide calculated fire flow for building utilizing IFC appendix B & C (1)

Provide calculated fire flow
for building utilizing IFC
appendix B & C

Subject: Text Box
Page Label: 9
Author: Dan Johnson
Date: 9/19/2019 9:33:07 AM
Status:
Color: ■
Layer:
Space:

Provide calculated fire flow for building utilizing IFC
appendix B & C

Calculations included in
supplemental data

Provide all weather surface capable of supporting fire apparatus (1)



Subject: Callout
Page Label: 7
Author: Dan Johnson
Date: 9/19/2019 9:22:53 AM
Status:
Color: ■
Layer:
Space:

Provide all weather surface capable of supporting
fire apparatus

The outfield area is composed of
compacted earth, 8" compacted
gravel and Astro Turf cover.

Please update to the requirements specific to this district (1)



Subject: Callout
Page Label: 43
Author: mshipley
Date: 9/24/2019 6:41:06 PM
Status:
Color: ■
Layer:
Space:

Please update to the requirements specific to this
district

Sheet 45 of 45 has been revised to include
the lighting standards specific to this zoning
district.

Please submit Geotech. report on sinkhole/Karst for documentation purposes. (1)



Subject: Callout
Page Label: 22
Author: bhose
Date: 9/24/2019 9:43:31 AM
Status:
Color: ■
Layer:
Space:

Please submit Geotech. report on sinkhole/Karst
for documentation purposes.

Geotech report included in
supplemental data

Please see comments on the lighting plan sheets. An additional comment is to ensure that the plan clearly identifies and includes



Subject: Text Box
Page Label: 1
Author: mshipley
Date: 9/25/2019 8:12:54 AM
Status:
Color: ■
Layer:
Space:

The plan identifies and includes cut sheet details for the proposed lighting. The second sheet shows the parking lot fixture, of which there are 10 proposed per the site plan on the first sheet. The third sheet shows the teeline fixtures meant to illuminate the outfield, of which there are 16 proposed per the site plan on the first sheet and table on the third sheet.

Please revise to include the lighting specific to this zoning district. (1)



Subject: Callout
Page Label: 42
Author: mshipley
Date: 9/24/2019 6:37:38 PM
Status:
Color: ■
Layer:
Space:

Please revise to include the lighting specific to this zoning district.

Sheet 44 of 45 has been revised to include the lighting standards specific to this zoning district.

Please remove or clarify these red lines. (1)



Subject: Callout
Page Label: 2
Author: bhose
Date: 9/24/2019 8:43:22 AM
Status:
Color: ■
Layer:
Space:

Please remove or clarify these red lines.

Lines have been removed on Sheets 2 & 3 of 45

Include concrete washout location and details. (1)



Subject: Text Box
Page Label: 25
Author: Lori Saal
Date: 9/24/2019 3:01:32 PM
Status:
Color: ■
Layer:
Space:

Include concrete washout location and details.

Concrete washout location included on Sheet 5 of 45. Detail included on Sheet 18 of 45

Coordinate with fire truck detail on sheet C3.2 (1)



Subject: Callout
Page Label: 5
Author: Dan Johnson
Date: 9/19/2019 9:21:09 AM
Status:
Color: ■
Layer:
Space:

Coordinate with fire truck detail on sheet C3.2

Noted. This area has been coordinated with Sheet 7 of 45

Consider where a connection may occur in the future (1)



Subject: Callout
Page Label: 6
Author: mshipley
Date: 9/24/2019 6:13:14 PM
Status:
Color: ■
Layer:
Space:

Consider where a connection may occur in the future

Noted. The exact location of the future connection is still under review by the owner

Color and symbol does not match legend. (1)



Subject: Cloud+
Page Label: 2
Author: bhose
Date: 9/24/2019 8:38:37 AM
Status:
Color: ■
Layer:
Space:

Color and symbol does not match legend.

Symbols and colors have been revised

Are there any issues with birds being caught in the netting system? (1)



Subject: Callout
Page Label: 37
Author: mshipley
Date: 9/24/2019 6:30:17 PM
Status:
Color: ■
Layer:
Space:

Are there any issues with birds being caught in the netting system?

The owner will address this comment at the Planning Commission.

Applicants will need to ensure that all landscaping sheets correspond to the sheets and plan approved by the VRRB. (1)

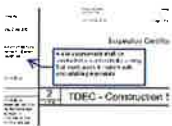


Subject: Text Box
Page Label: 17
Author: bhose
Date: 9/24/2019 9:33:15 AM
Status:
Color: ■
Layer:
Space:

Applicants will need to ensure that all landscaping sheets correspond to the sheets and plan approved by the VRRB.

Noted. Landscaping shall correspond to the VRRB approved plans.

A site assessment shall be conducted at each outfall draining 5 or more acres to waters with unavailable parameters (1)

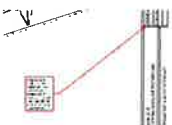


Subject: Callout
Page Label: 27
Author: Lori Saal
Date: 9/24/2019 3:05:15 PM
Status:
Color: ■
Layer:
Space:

A site assessment shall be conducted at each outfall draining 5 or more acres to waters with unavailable parameters

This item has been discussed with Lori Saal and the current wording is sufficient.

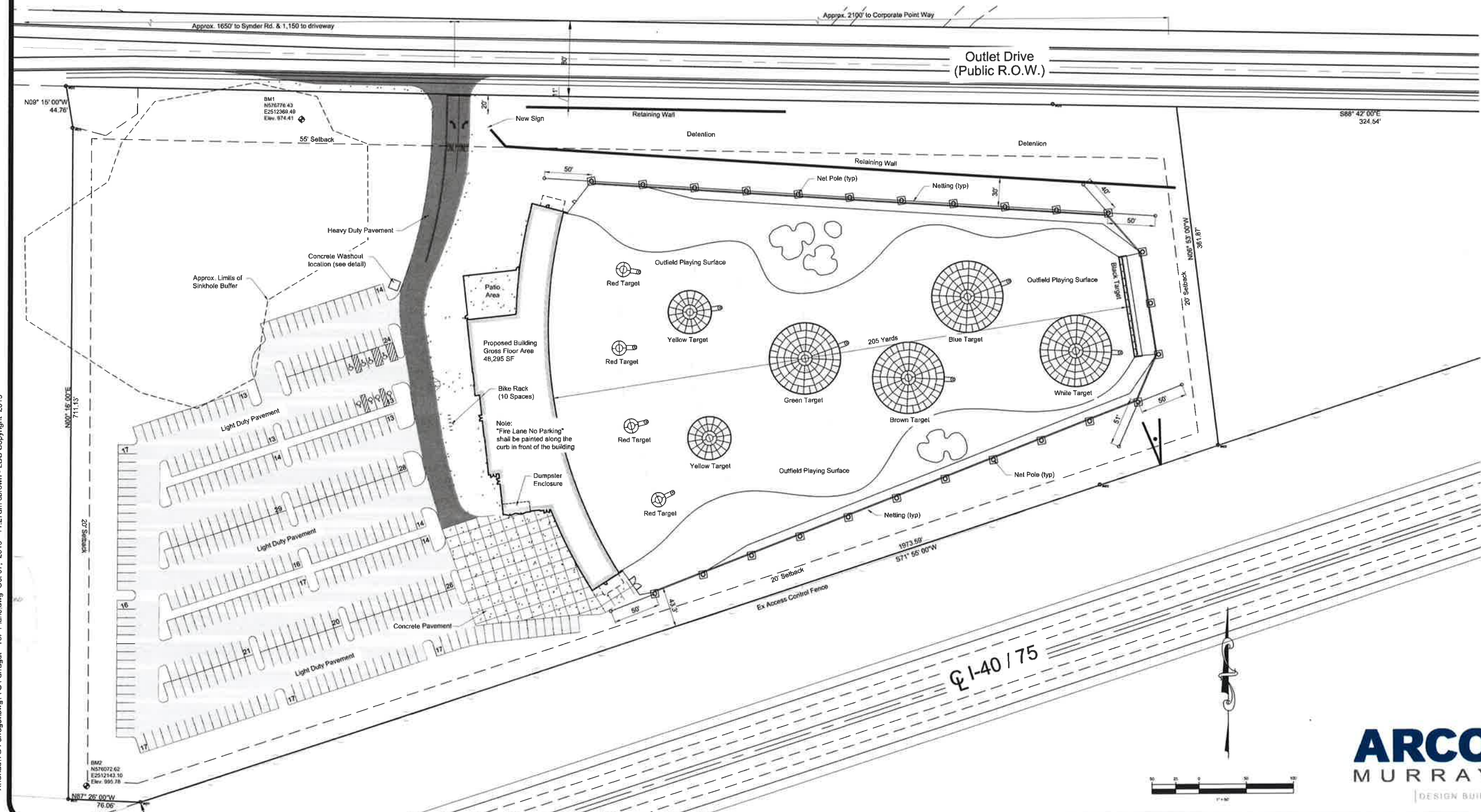
A signed and sealed drawing will be required for the final revised set of sheets. Concept drawings will not work for the final approval (1)



Subject: Callout
Page Label: 41
Author: mshipley
Date: 9/24/2019 6:34:25 PM
Status:
Color: ■
Layer:
Space:

A signed and sealed drawing will be required for the final revised set of sheets. Concept drawings will not work for the final approved set.

Noted. Stamped Plans have been included in this submittal



Legend

	New Building
	New Edge Pavement
	New Concrete Curb
	New Concrete Sidewalk
	Outfield Turf Limits
	New Light Duty Paving
	New Heavy Duty Paving
	New Concrete Paving
	New Parking Striping

TOPGOLF
11400 Outlet Drive
Farragut, Tennessee

**LAND
DEVELOPMENT
SOLUTIONS**

Drawing Description:

General
Site Plan

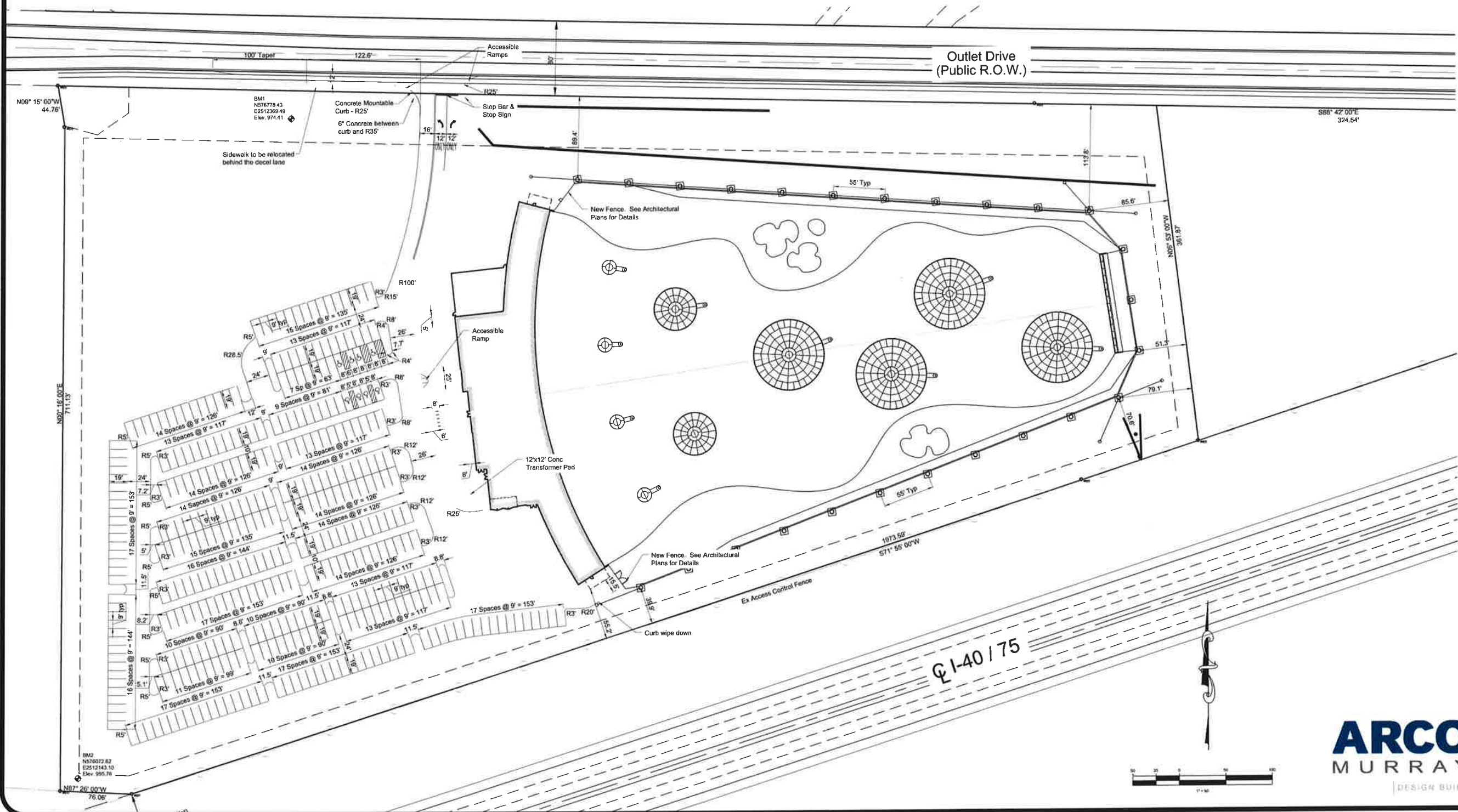
NO.	Date	Revision
1	10-07-19	Revisions per Town of Farmington



Drawn By	CDB
Checked	EJB
Approved	EJB
Job No	219039
1"=50' Scale	9-16-19 Date

C3.0

X:\Chad\TG Farragut\dwg\TG Farragut - ToF Plans.dwg Oct 07, 2019 - 11:28am c.brown - LDS Copyright 2019



TOPGOLF
11400 Outlet Drive
Farragut, Tennessee

LAND
DEVELOPMENT
SOLUTIONS



310 SIMMONS RD., SUITE K-KNOXVILLE, TENNESSEE 37922
PH. 865-671-2281

Site Plan - Dimensions

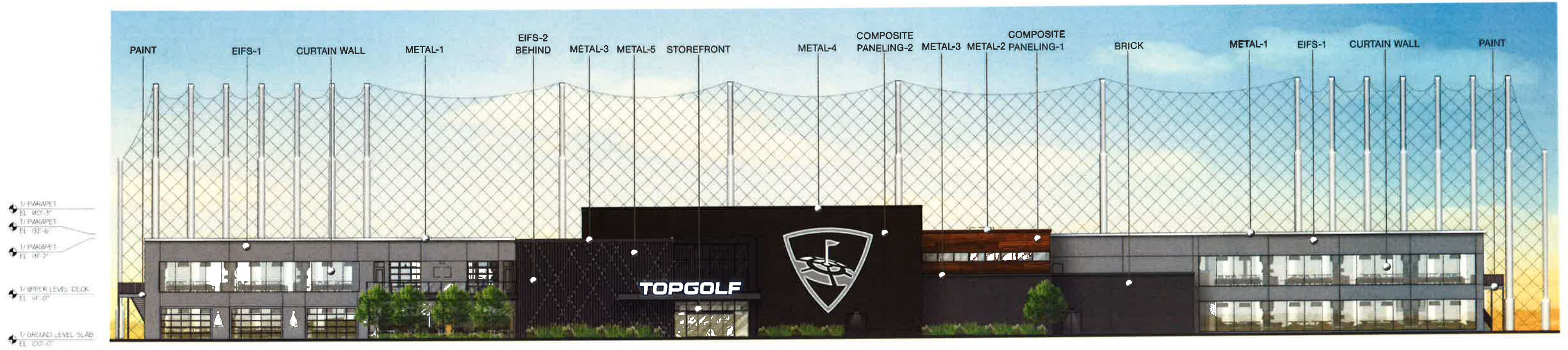
Drawing Description:

No.	Date	Revision
1	10/07/18	Revisions per Town of Farragut

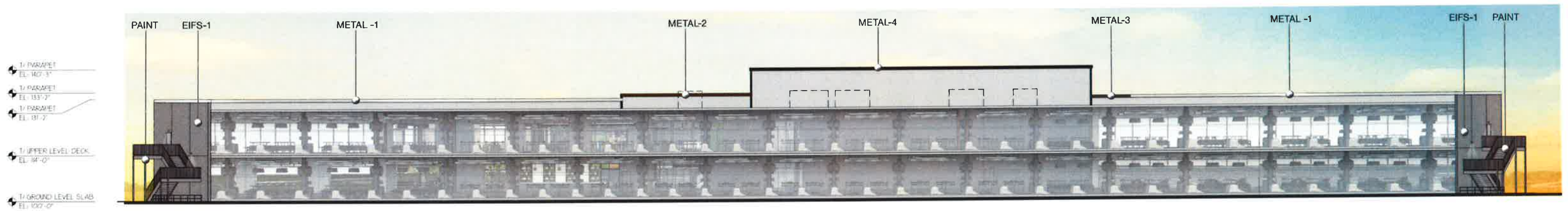


Drawn By	CDB
Checked	EJB
Approved	EJB
Job No.	219039
1"=50'	9-16-19
Scale	Date

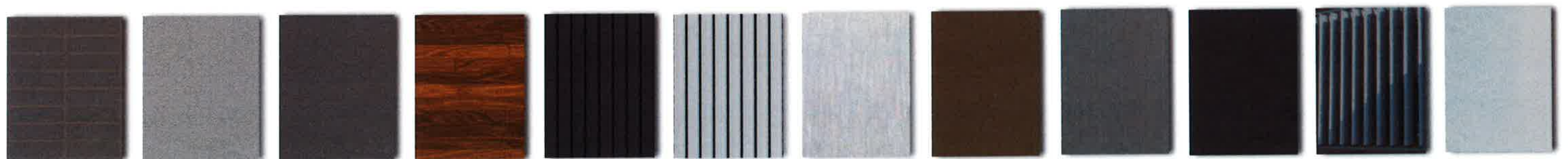
C3.1



Front Elevation



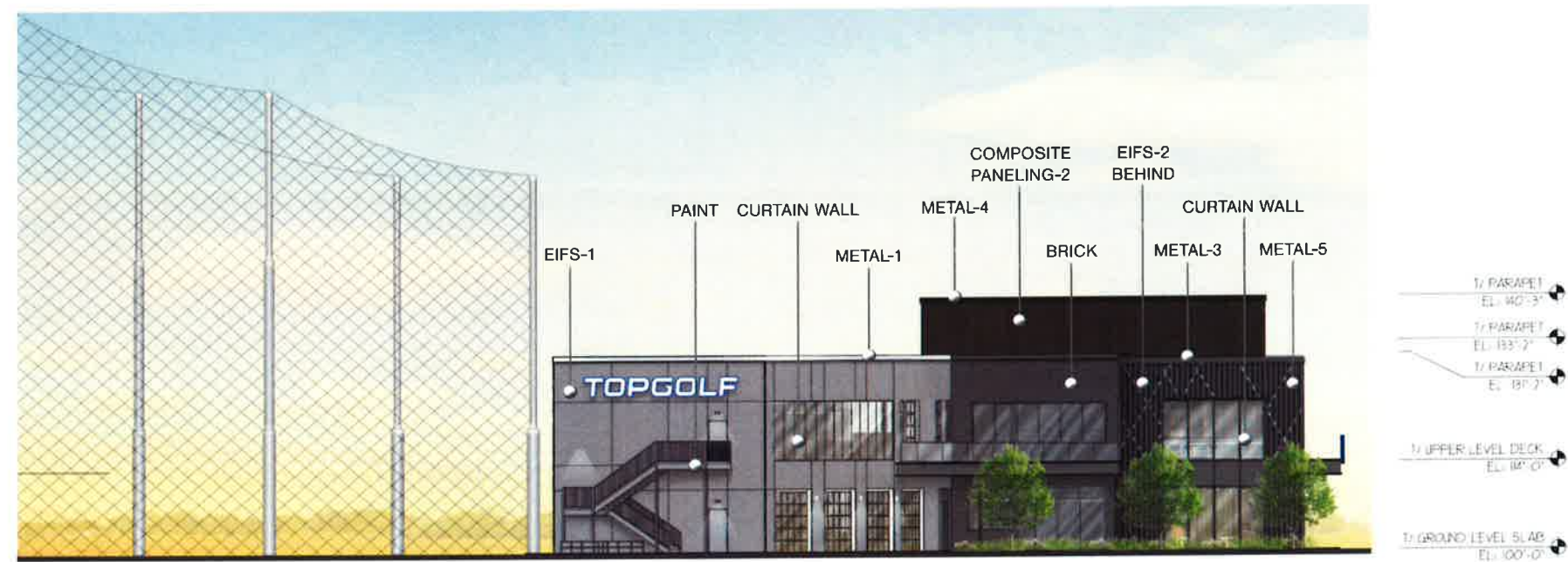
Rear Elevation



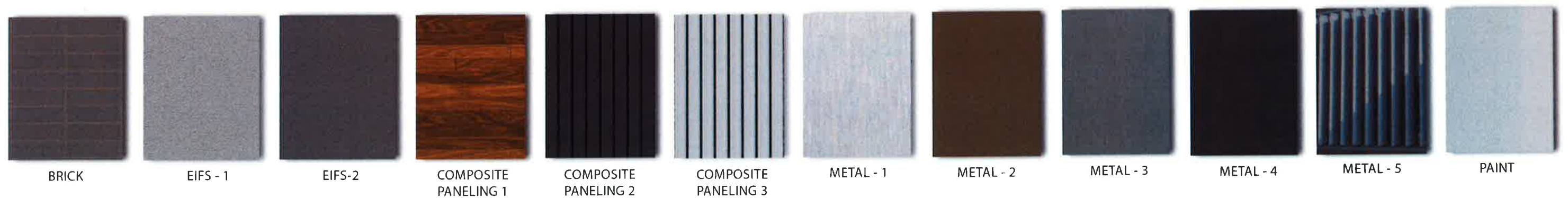
BRICK EIFS - 1 EIFS-2 COMPOSITE PANELING 1 COMPOSITE PANELING 2 COMPOSITE PANELING 3 METAL - 1 METAL - 2 METAL - 3 METAL - 4 METAL - 5 PAINT



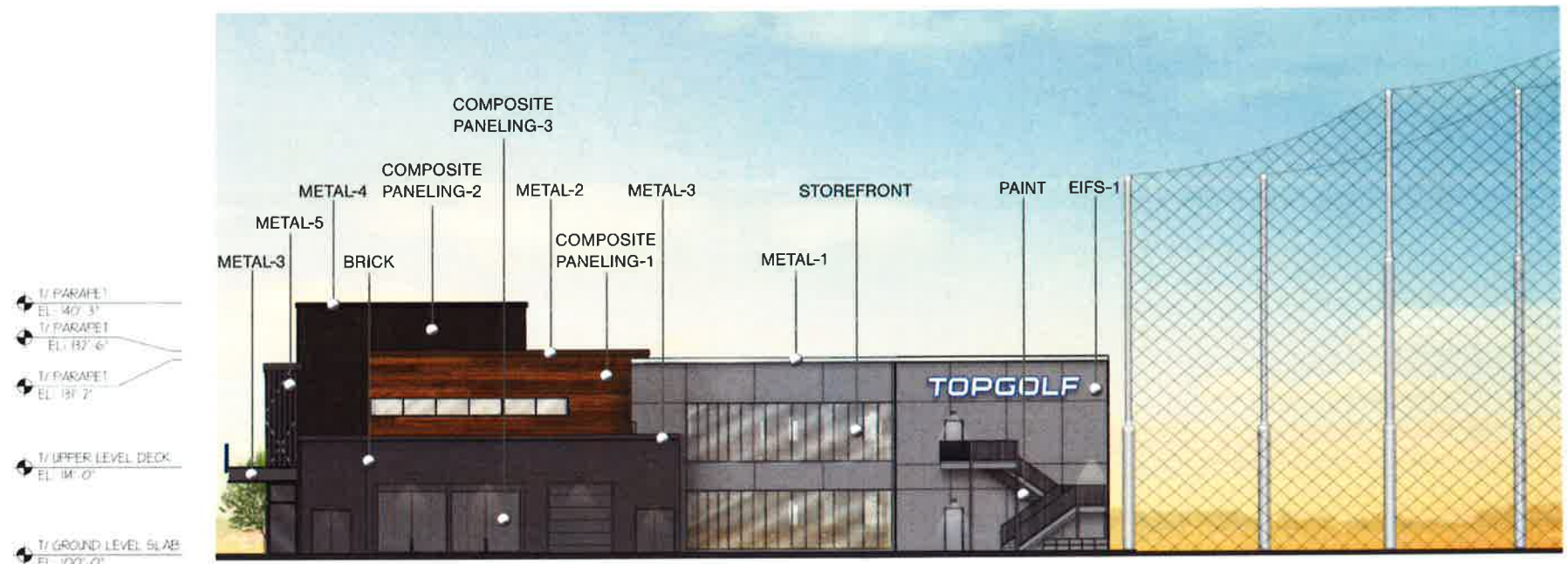
Exterior Elevations



Left Elevation



Exterior Elevations



Right Elevation



BRICK



EIFS - 1



EIFS-2



COMPOSITE
PANELING 1



COMPOSITE
PANELING 2



COMPOSITE
PANELING 3



METAL - 1



METAL - 2



METAL - 3



METAL - 4



METAL - 5

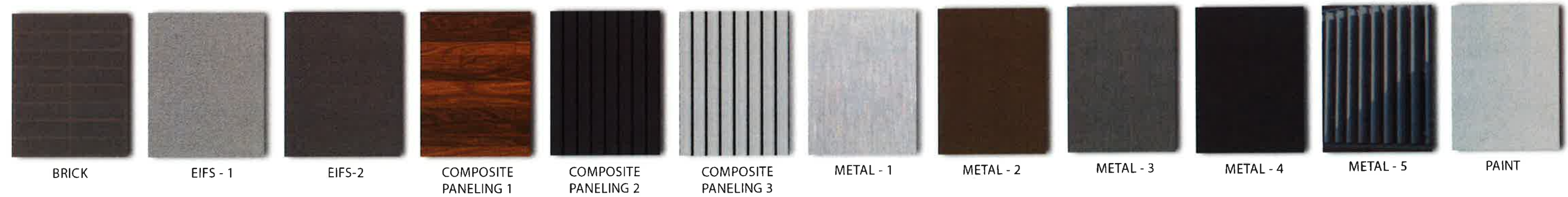


PAINT

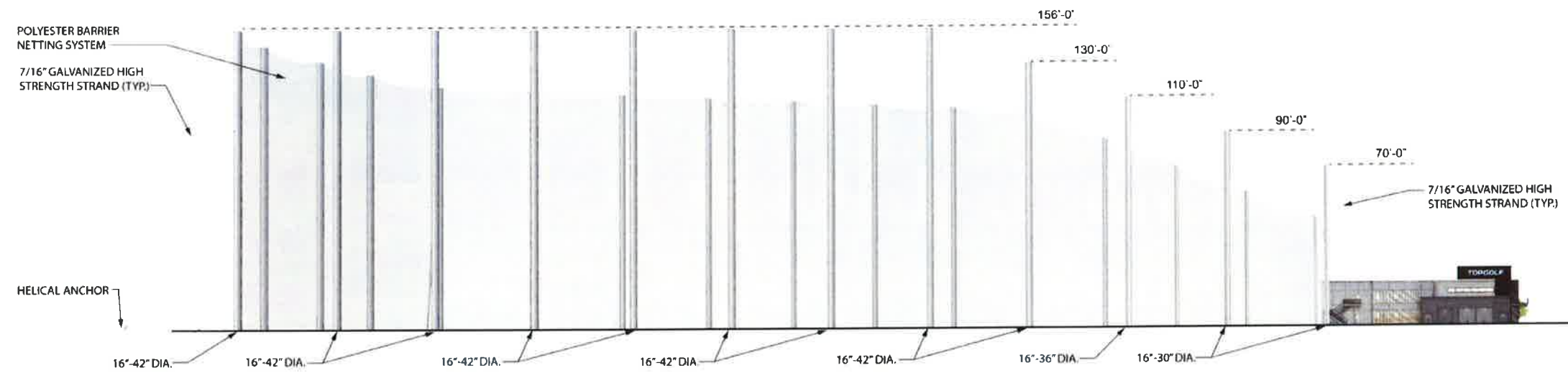


Exterior Elevations

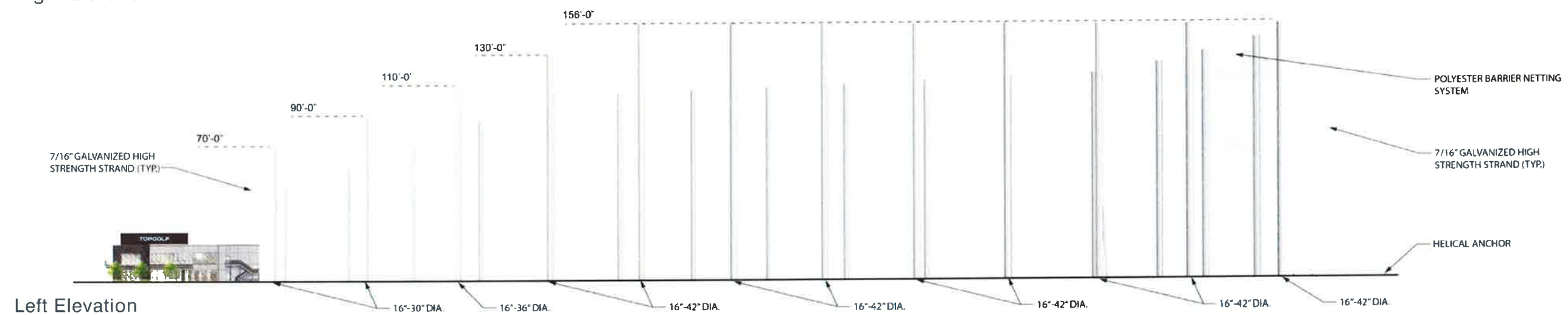
KNOXVILLE ELEVATION MATERIAL PERCENTAGES	
FRONT ELEVATION	
MATERIAL	PERCENTAGE
BRICK	11%
EIFS-1	25%
METAL-5 LOUVERS	10%
COMPOSITE PANELING-1	3%
COMPOSITE PANELING-2	18%
GLAZING	29%
LEFT ELEVATION	
MATERIAL	PERCENTAGE
BRICK	9%
EIFS-1	35%
METAL-5 LOUVERS	11%
COMPOSITE PANELING-2	11%
GLAZING	28%
RIGHT ELEVATION	
MATERIAL	PERCENTAGE
BRICK	14%
EIFS-1	33%
METAL 5 LOUVERS	2%
COMPOSITE PANELING-1	10%
COMPOSITE PANELING-2	9%
COMPOSITE PANELING-3	5%
GLAZING	17%



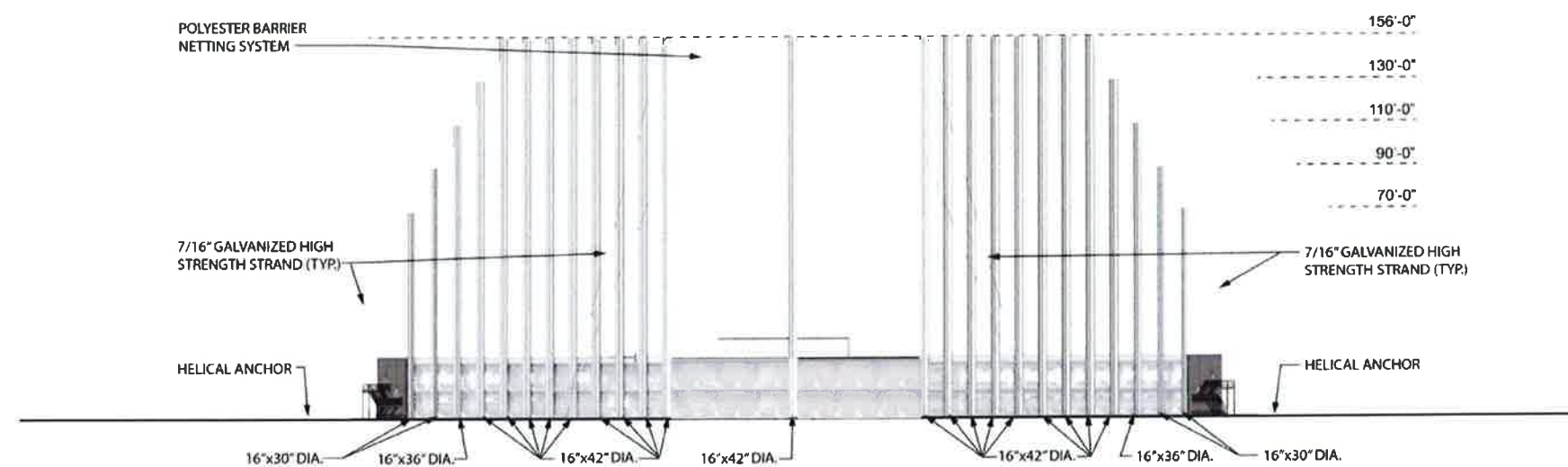
Elevation Material Percentages



Right Elevation



Left Elevation



Rear Elevation



POLYESTER BARRIER NETTING SYSTEM

NETTING COMPONENT:

- COLOR: BLACK
- POLYESTER NETTING: 1" MESH SIZE
- LONG STITCH KNOT LESS JOIN
- RESIN DYE AND BONDING TREATMENT
- 116.7 LB. AVERAGE SINGLE MESH BREAK STRENGTH

ATTACHMENT TWINE/HANGING TWINE:

- #48 BRAIDED POLYESTER TWINE
- 375 LB. TENSILE STRENGTH
- DYE TREATED

PERIMETER BORDER ROPE & RIB-LINE/VERTICALS:

- 3/8" BRAIDED SYNTHETIC COVER
- PARALLEL SYNTHETIC CORE
- 3,500 LB. TENSILE STRENGTH



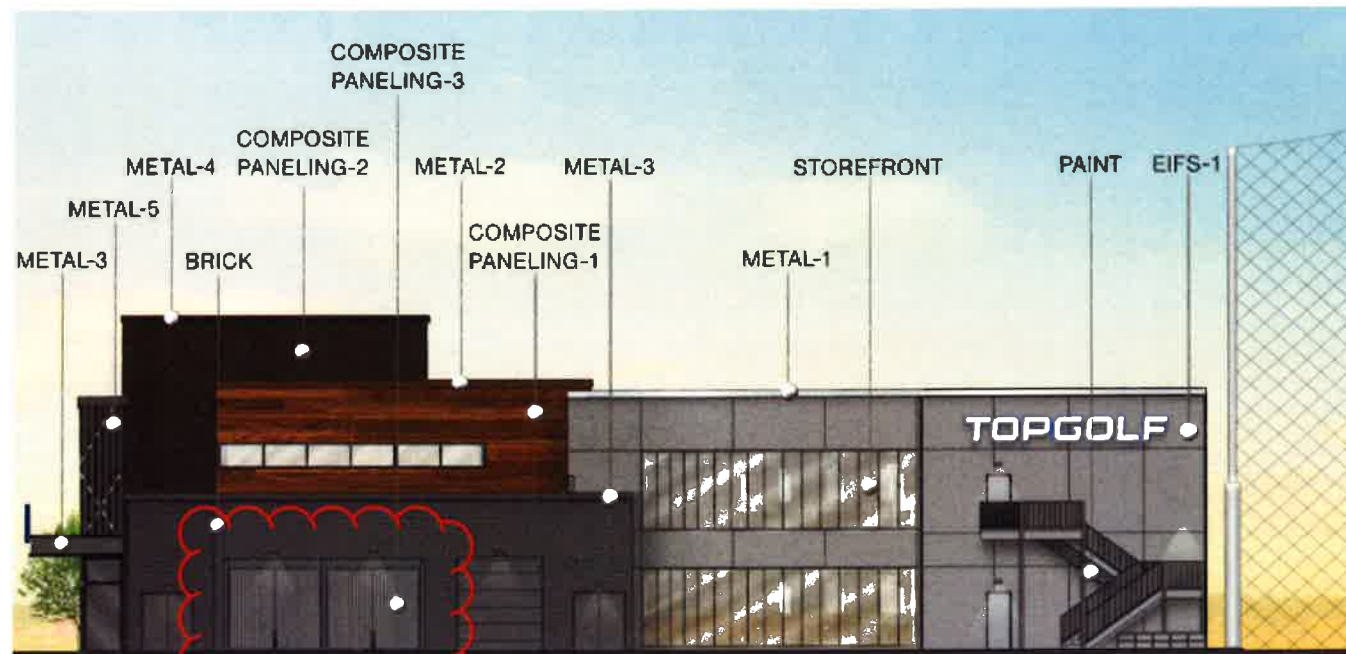
NETTING POLE
LIGHT GRAY



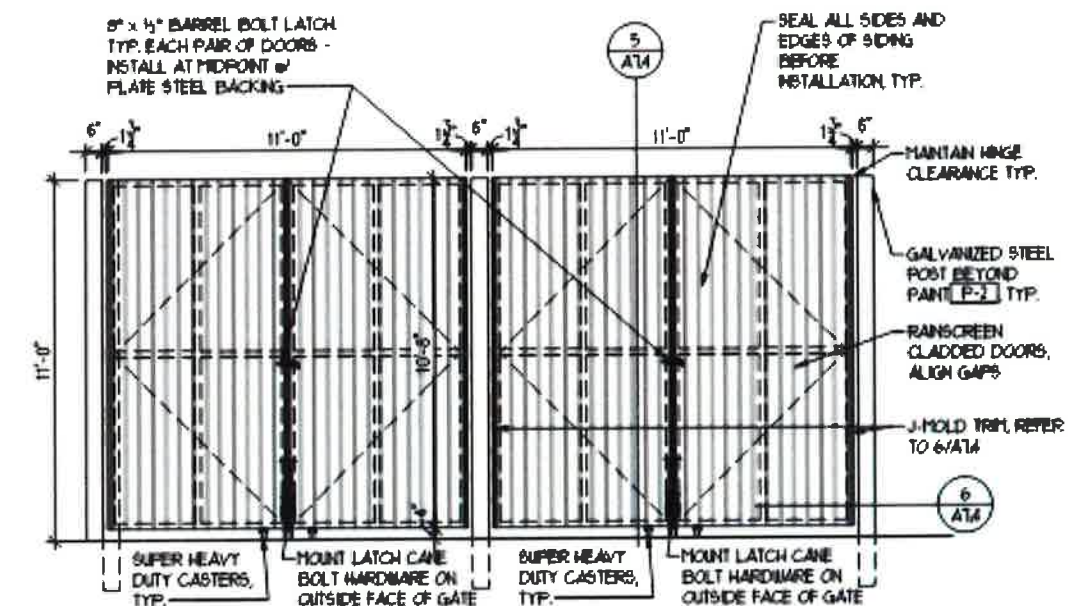
Net Pole Elevations

Topgolf

- 1/ PARAPET
EL. 140'-3"
- 1/ PARAPET
EL. 132'-6"
- 1/ PARAPET
EL. 131'-2"
- 1/ UPPER LEVEL DECK
EL. 141'-0"
- 1/ GROUND LEVEL SLAB
EL. 100'-0"

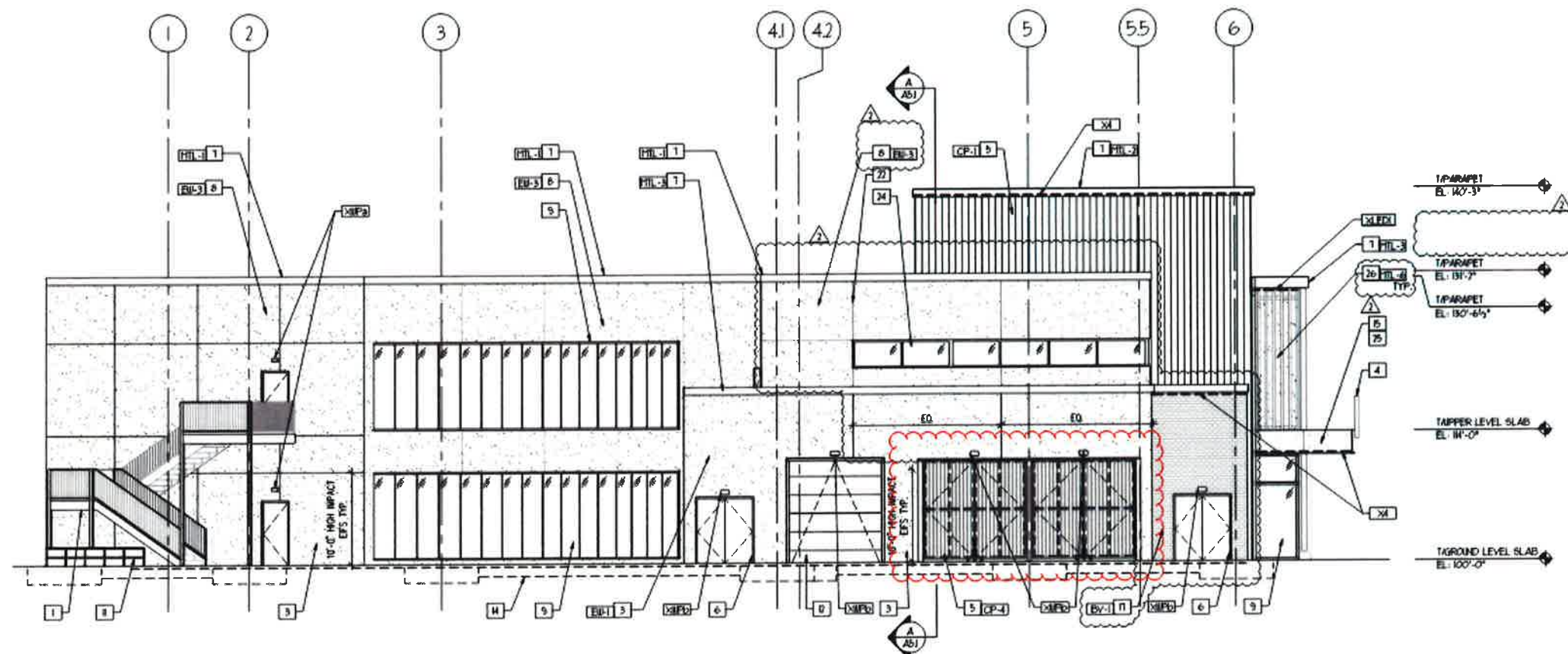
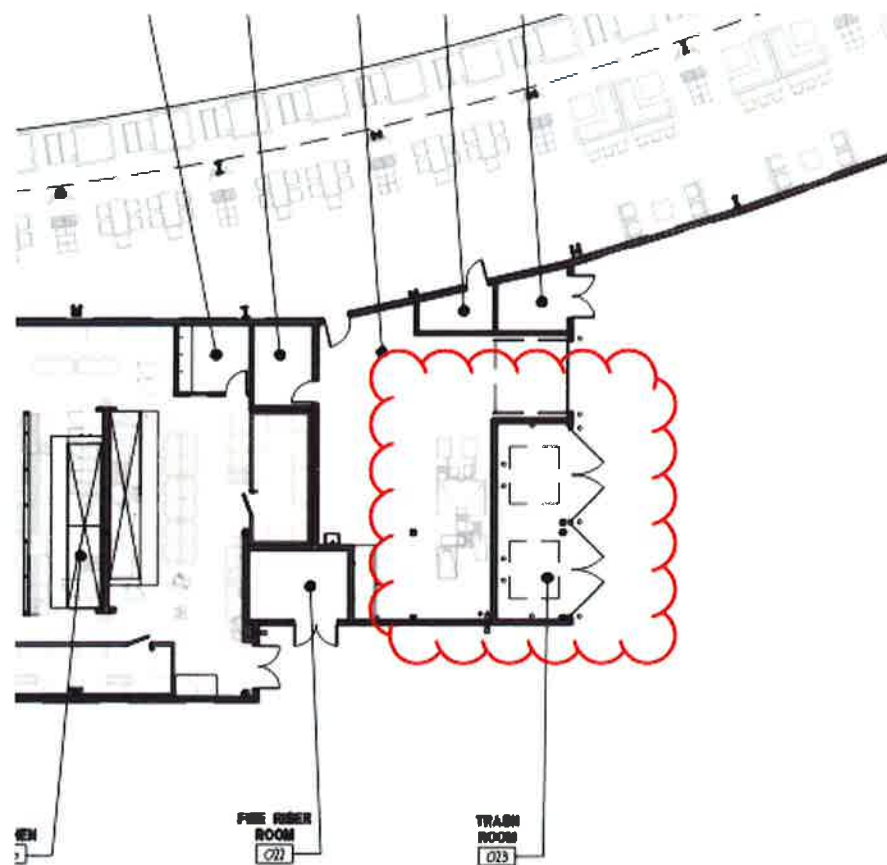


Right Elevation

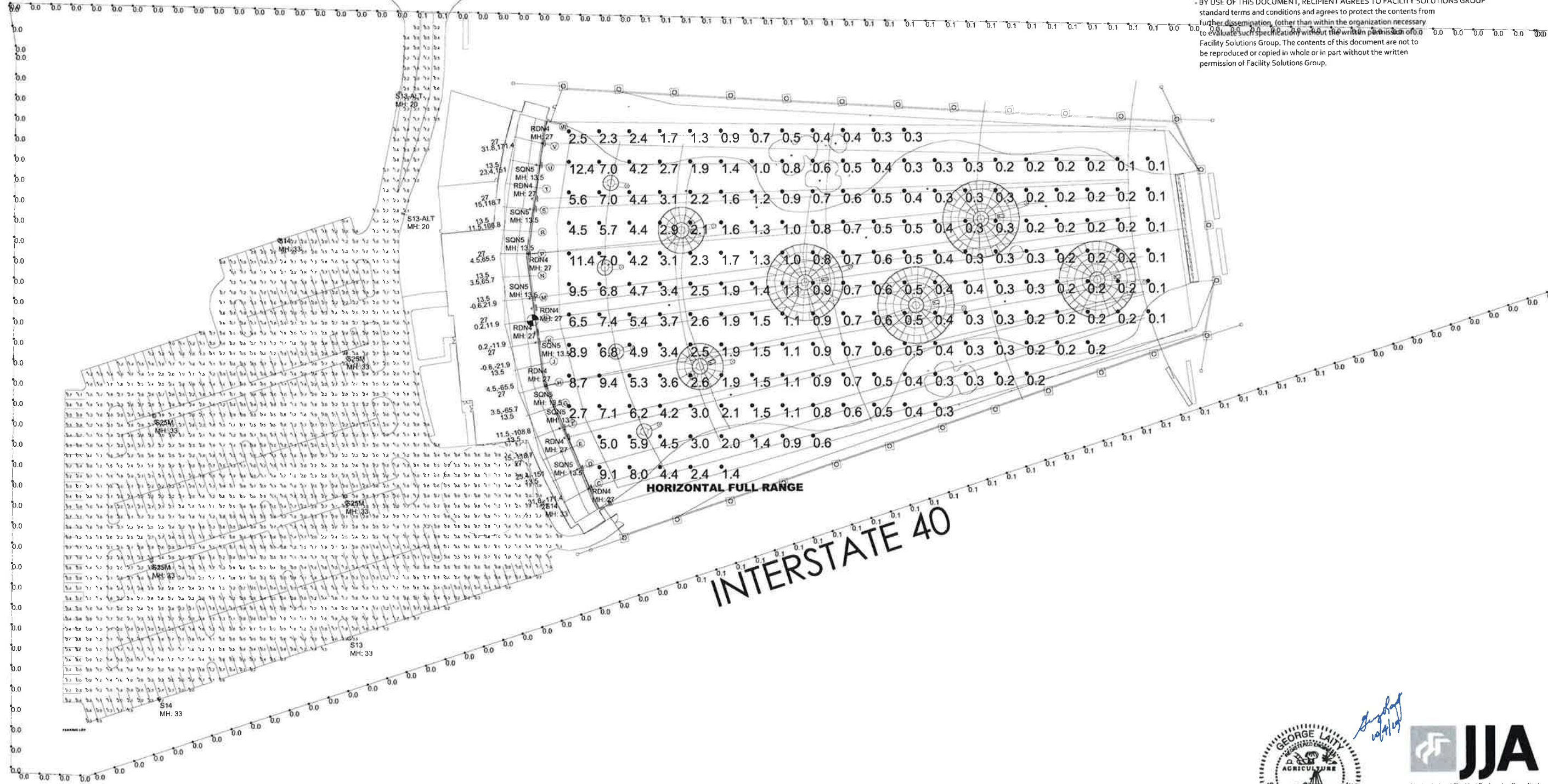


2 EXTERIOR ELEVATION - TRASH ENCLOSURE

14'0\"/>



SNYDER RD



Plan View:WHOLE SITE
Scale: 1 inch= 50 Ft.

The designer and associates are responsible for the visual aspects of this production, and all specifications provided relate solely to the appearance of the lighting and not matters of electrical or structural soundness and / or safety. The implementation of this design must comply with the most stringent applicable International, EEC, local safety and fire codes. This designer and associates are not qualified to determine life safety or ADA compliance, electrical or structural appropriateness of the design and will not assume responsibility for damages resulting through improper engineering and/or implantation in the handling of this lighting design. The designer agrees to make prompt correcting alterations to any specification found to be incompatible with proper fire and safety precautions.

THIS PLAN HAS BEEN PREPARED BY FACILITY SOLUTIONS GROUP, and Information should be considered proprietary and confidential. This document is prepared for a specific site and incorporates calculations and layout recommendations based on data supplied by outside sources at time of conception. Example: Client, Contractors, Field Surveys, Vendors, Lab Tested or computer generated IES Files. Changes in area geometry, color schemes, mounting heights, and object density within the plan may produce illumination values different from the averages reflect herein.

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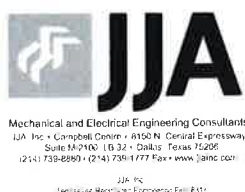
Due to changing lighting ordinances it is the contractors responsibility to submit the site photometrics and luminaire specs to the local inspector before ordering to ensure this plan complies with local lighting ordinances

THIS LIGHTING DESIGN IS BASED ON INFORMATION SUPPLIED BY OTHERS. CHANGES IN ELECTRICAL SUPPLY, AREA GEOMETRY AND OBJECTS WITHIN THE LIGHTED AREA MAY PRODUCE ILLUMINATION VALUES DIFFERENT FROM THE PREDICTED RESULTS SHOWN ON THIS LAYOUT.

THIS LAYOUT IS BASED ON IES FILES THAT WERE LAB TESTED OR COMPUTER GENERATED. ACTUAL RESULTS MAY VARY

Calculated by: J. JAQUES
Checked by:
Date: 10/3/2009

TOP GOLF KNOXVILLE, TN-REVISED
PARKING LOT, DRIVING RANGE, AND PROPERTY LINE
REVISED LIGHTING LAYOUT W/LED IN PARKING LOT
USING 1-7-19 QUALITE FIELD LAYOUT & 33 FT MTG HT IN PARKING LOT



REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

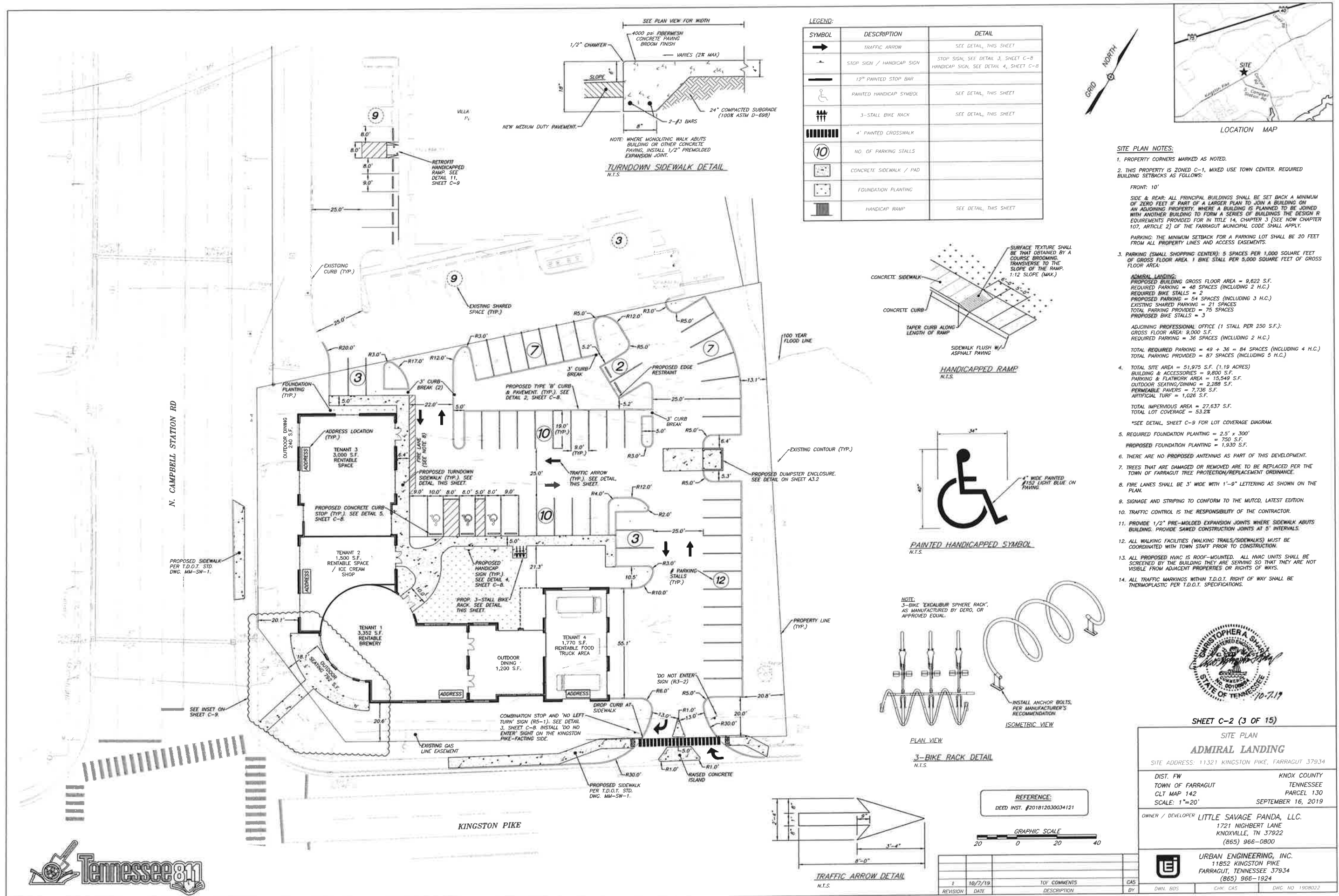
PREPARED BY: Bart Hose, Assistant Community Development Director

SUBJECT: Discussion and public hearing on a site plan for Admiral Landing, 11321 Kingston Pike, 1.19 Acres, Zoned C-1/MUTC (Urban Engineering, Applicant)

INTRODUCTION AND BACKGROUND: This item involves a site plan for the redevelopment of the former Phillips 66 gasoline station located at the northeast corner of the Kingston Pike and N. Campbell Station Road. As you know, the Planning Commission discussed the development concept at its July meeting. The project includes an approximately 9600 square foot building complex with associated parking. As proposed, the building would be divided into three tenant spaces with the largest space being occupied by a brewery/ restaurant concept utilizing a system of revolving food trucks for kitchen services. The plan is heavily dependent on shared parking and access agreements with the adjoining property to the north. The shared parking and access provisions will allow the developers to eliminate two of the existing driveway cuts on the property. Access will be provided by a right-in/right-out drive on Kingston Pike and via the existing access drive in front of the LCUB building on N. Campbell Station Road.

DISCUSSION: As noted, the developers envision utilizing food trucks for the proposed brewery's kitchen services. The food trucks will be located within a semi-enclosed space at the east end of the building and all billing will be completed thru a central point of service system for the business as a whole. As proposed, the food trucks will essentially act as revolving kitchens for the brewery/restaurant. This arrangement has presented some building and fire code compliance issues that the applicants are working to resolve.

RECOMMENDATION: Included in your packet is a copy of the site plan, other select plan sheets, and staffs' initial comments (in Bluebeam format). Staff will make a recommendation at the meeting based on whether staffs' comments have been satisfactorily addressed.

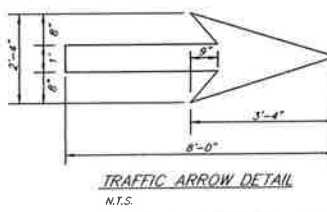
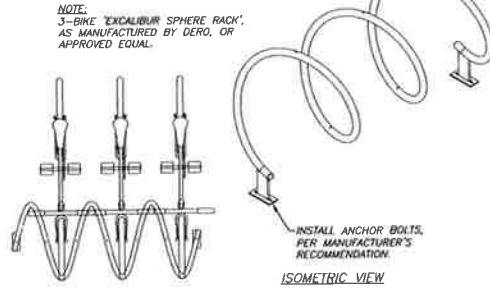
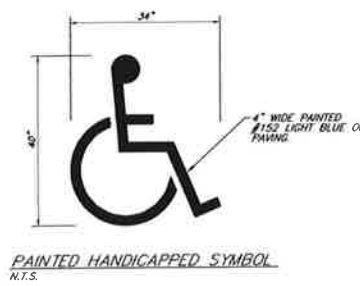
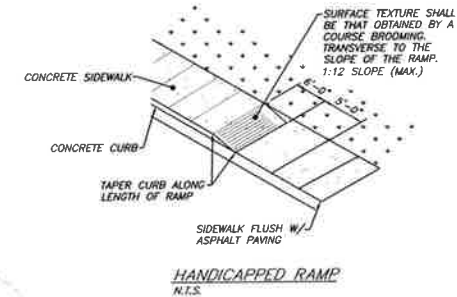


LEGEND:

SYMBOL	DESCRIPTION	DETAIL
→	TRAFFIC ARROW	SEE DETAIL, THIS SHEET
STOP SIGN / HANDICAP SIGN	STOP SIGN, SEE DETAIL 3, SHEET C-8 HANDICAP SIGN, SEE DETAIL 4, SHEET C-8	
12" PAINTED STOP BAR		
PAINTED HANDICAP SYMBOL	SEE DETAIL, THIS SHEET	
3-STALL BIKE RACK	SEE DETAIL, THIS SHEET	
4" PAINTED CROSSWALK		
NO. OF PARKING STALLS		
CONCRETE SIDEWALK / PAD		
FOUNDATION PLANTING		
HANDICAP RAMP	SEE DETAIL, THIS SHEET	



- SITE PLAN NOTES:**
1. PROPERTY CORNERS MARKED AS NOTED.
 2. THIS PROPERTY IS ZONED C-1, MIXED USE TOWN CENTER. REQUIRED BUILDING SETBACKS AS FOLLOWS:
FRONT: 10'
SIDE & REAR: ALL PRINCIPAL BUILDINGS SHALL BE SET BACK A MINIMUM OF ZERO FEET IF PART OF A LARGER PLAN TO JOIN A BUILDING ON AN ADJOINING PROPERTY. WHERE A BUILDING IS PLANNED TO BE JOINED WITH ANOTHER BUILDING TO FORM A SERIES OF BUILDINGS THE DESIGN REQUIREMENTS PROVIDED FOR IN TITLE 14, CHAPTER 3 [SEE NOW CHAPTER 107, ARTICLE 2] OF THE FARRAGUT MUNICIPAL CODE SHALL APPLY.
PARKING: THE MINIMUM SETBACK FOR A PARKING LOT SHALL BE 20 FEET FROM ALL PROPERTY LINES AND ACCESS EASEMENTS.
 3. PARKING (SMALL SHOPPING CENTER): 5 SPACES PER 1,000 SQUARE FEET OF GROSS FLOOR AREA. 1 BIKE STALL PER 5,000 SQUARE FEET OF GROSS FLOOR AREA.
ADJACENT BUILDING:
PROPOSED BUILDING GROSS FLOOR AREA = 9,622 S.F.
REQUIRED PARKING = 48 SPACES (INCLUDING 2 H.C.)
REQUIRED BIKE STALLS = 2
PROPOSED PARKING = 54 SPACES (INCLUDING 3 H.C.)
EXISTING SHARED PARKING = 21 SPACES
TOTAL PARKING PROVIDED = 75 SPACES
PROPOSED BIKE STALLS = 3
ADJOINING PROFESSIONAL OFFICE (1 STALL PER 250 S.F.):
GROSS FLOOR AREA = 9,000 S.F.
REQUIRED PARKING = 36 SPACES (INCLUDING 2 H.C.)
TOTAL REQUIRED PARKING = 49 + 36 = 84 SPACES (INCLUDING 4 H.C.)
TOTAL PARKING PROVIDED = 87 SPACES (INCLUDING 5 H.C.)
 4. TOTAL SITE AREA = 51,975 S.F. (1.19 ACRES)
BUILDING & ACCESSORIES = 9,800 S.F.
PARKING & PLANTWORK AREA = 15,549 S.F.
OUTDOOR SEATING/DINING = 2,288 S.F.
PERMEABLE PAVERS = 7,736 S.F.
ARTIFICIAL TURF = 1,026 S.F.
TOTAL IMPERVIOUS AREA = 27,637 S.F.
TOTAL LOT COVERAGE = 53.2%
*SEE DETAIL SHEET C-9 FOR LOT COVERAGE DIAGRAM.
 5. REQUIRED FOUNDATION PLANTING = 2.5' x 300' = 750 S.F.
PROPOSED FOUNDATION PLANTING = 1,930 S.F.
 6. THERE ARE NO PROPOSED ANTENNAS AS PART OF THIS DEVELOPMENT.
 7. TREES THAT ARE DAMAGED OR REMOVED ARE TO BE REPLACED PER THE TOWN OF FARRAGUT TREE PROTECTION/REPLACEMENT ORDINANCE.
 8. FIRE LANES SHALL BE 3' WIDE WITH 1'-9" LETTERING AS SHOWN ON THE PLAN.
 9. SIGNAGE AND STRIPING TO CONFORM TO THE MUTCD, LATEST EDITION.
 10. TRAFFIC CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR.
 11. PROVIDE 1/2" PRE-MOLDED EXPANSION JOINTS WHERE SIDEWALK ABUTS BUILDING. PROVIDE SAWED CONSTRUCTION JOINTS AT 5' INTERVALS.
 12. ALL WALKING FACILITIES (WALKING TRAILS/SIDEWALKS) MUST BE COORDINATED WITH TOWN STAFF PRIOR TO CONSTRUCTION.
 13. ALL PROPOSED HVAC IS ROOF-MOUNTED. ALL HVAC UNITS SHALL BE SCREENED BY THE BUILDING THEY ARE SERVING SO THAT THEY ARE NOT VISIBLE FROM ADJACENT PROPERTIES OR RIGHTS OF WAYS.
 14. ALL TRAFFIC MARKINGS WITHIN T.D.O.T. RIGHT OF WAY SHALL BE THERMOPLASTIC PER T.D.O.T. SPECIFICATIONS.



REFERENCE:
DEED INST. #201812030034121



REVISION	DATE	TOF COMMENTS	CAS
1	10/7/19		



SHEET C-2 (3 OF 15)

SITE PLAN
ADMIRAL LANDING

SITE ADDRESS: 11321 KINGSTON PIKE, FARRAGUT 37934

DIST. FW TOWN OF FARRAGUT
CLT MAP 142
SCALE: 1"=20'

KNOX COUNTY
TENNESSEE
PARCEL 130
SEPTEMBER 16, 2019

OWNER / DEVELOPER
LITTLE SAVAGE PANDA, LLC.
1721 NIGHBERT LANE
KNOXVILLE, TN 37922
(865) 966-0800

URBAN ENGINEERING, INC.
11852 KINGSTON PIKE
FARRAGUT, TENNESSEE 37934
(865) 966-1924

DWG. BDS
CHK. CAS
DWG. NO. 1908022

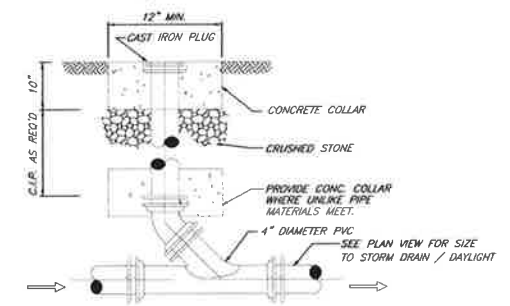




LOCATION MAP

PERMEABLE PAVER NOTES:

- 1) THE LOCATIONS OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED ON FIELD LOCATION OF VISIBLE STRUCTURES SUCH AS CATCH BASINS, MANHOLES, WATER VALVES, ETC., AND COMPILING INFORMATION FROM PLANS SUPPLIED BY VARIOUS UTILITY COMPANIES AND GOVERNMENT AGENCIES. THE CONTRACTORS SHALL NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES AND ALSO CALL TENN ONE-CALL PRIOR TO ANY EXCAVATION WORK, TO VERIFY INFORMATION SHOWN AND DETERMINE THE LAYOUT OF THE IRRIGATION SYSTEM AND IF ADDITIONAL IMPROVEMENTS MAY EXIST.
- 2) PERMEABLE PAVERS SHALL BE AQUABRIK OR EQUIVALENT AND SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
- 3) PVC AGGREGATE DRAINS SHALL BE 6" PERFORATED HDPE (SDR 17) UNLESS OTHERWISE NOTED.
- 4) INSTALL POST CURB / EDGE RESTRAINT FULL DEPTH (TO SUBGRADE).
- 5) ALL PIPING UNDER OR WITHIN 3' OF PROPOSED ASPHALT OR CONCRETE SHALL BE BACKFILLED WITH STONE.



TYPICAL CLEANOUT DETAIL (STORM)
N.T.S.



SHEET C-4 (5 OF 15)

PAVER AND DRAINAGE PLAN
ADMIRAL LANDING

SITE ADDRESS: 11321 KINGSTON PIKE, FARRAGUT 37934

DIST. FW TOWN OF FARRAGUT CLT MAP 142 SCALE: 1"=20'
KNOX COUNTY TENNESSEE PARCEL 130 SEPTEMBER 16, 2019

OWNER / DEVELOPER: LITTLE SAVAGE PANDA, LLC.
1721 NICHBERT LANE
KNOXVILLE, TN 37922
(865) 966-0800



URBAN ENGINEERING, INC.
11852 KINGSTON PIKE
FARRAGUT, TENNESSEE 37934
(865) 966-1924

REFERENCE:
DEED INST. #201812030034121

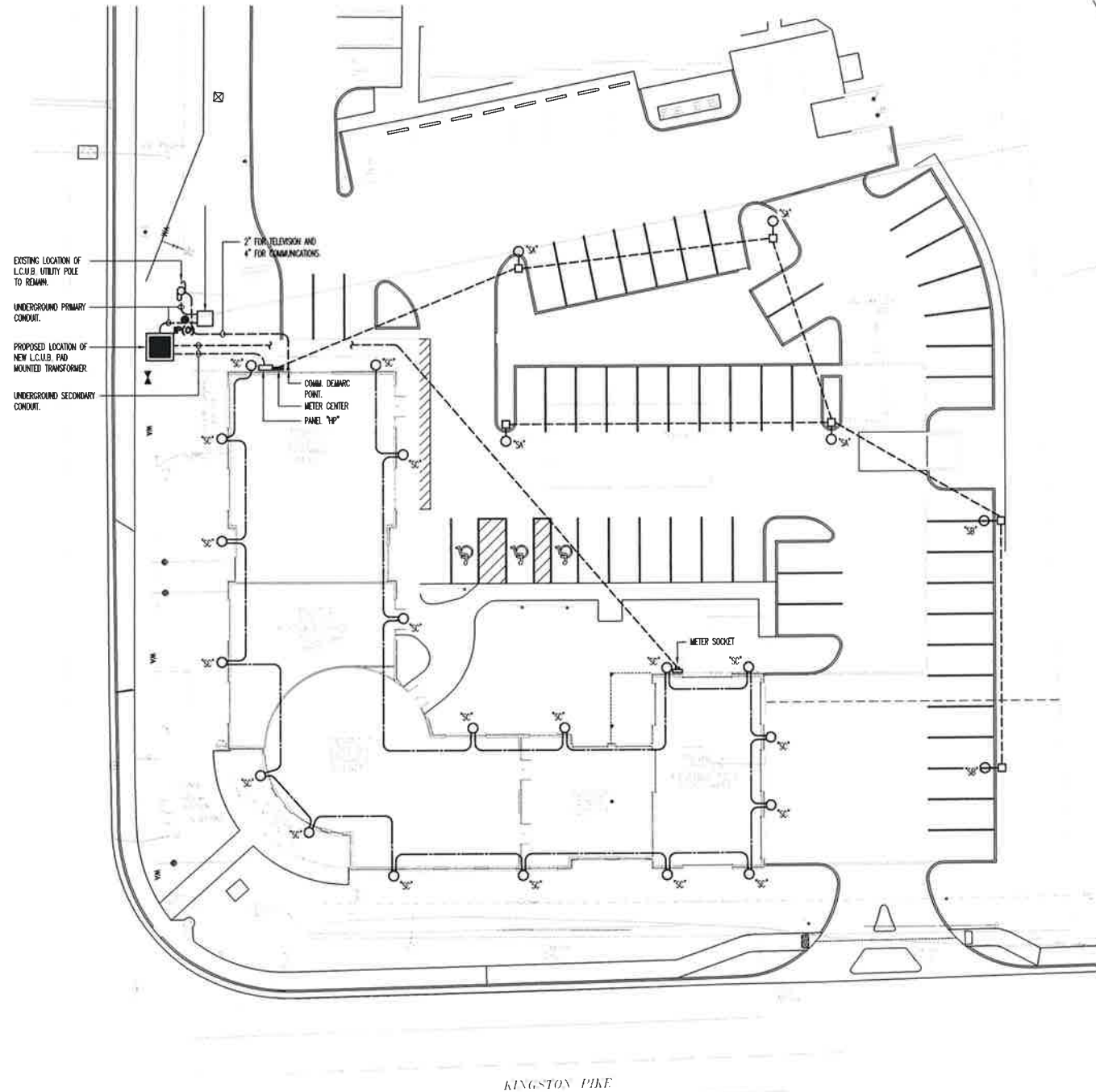


REVISION	DATE	TOF COMMENTS	BY
1	10/7/19		CAS

DWN: BDS	CHK: CAS	DWG. NO: 1908022
----------	----------	------------------

Date: 9/12/2019 12:03:31 PM
Checked By: Chester
Drawn By: Author
File: C:\Users\Local\OneDrive\19031.00_Admiral's Landing\19031.00.dwg

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SITE ELECTRICAL PLAN
SCALE: 1" = 20'

SITE LIGHTING FIXTURE SCHEDULE						
SYM	CATALOG NUMBER	LAMPS			MOUNTING	DESCRIPTION
		NO	WATTS	TYPE		
SA	ANTIQUE STREET LAMPS - FIXTURE - (1)EHL16-RT-63LED-525MA-4K- GCF-R5-10S-?? HAPCO - POLE - AOC25D6-TFO	1	110	LED	25' POLE	ONE POLE MOUNTED EURO STYLE AREA LIGHTING WITH FULLCUTOFF TYPE 5 DISTRIBUTION 6,650 LUMEN, 4,000 KELVIN, 66 CRI
SB	ANTIQUE STREET LAMPS - FIXTURE - (1)EHL16-RT-63LED-525MA-4K- GCF-R3-10S-?? HAPCO - POLE - AOC25D6-TFO	1	110	LED	25' POLE	ONE POLE MOUNTED EURO STYLE AREA LKIGHTING WITH FULLCUTOFF TYPE 3 DISTRIBUTION 6,650 LUMEN, 4,000 KELVIN, 66 CRI
SC	ANP LIGHTING - MBVF12-MO10LD-N-N-40K-RTC-E3-WM40	1	9	LED	WALL 12'	RIM DOME W/HOOK MOUNT 850 LUMEN 4,000 KELVIN, 80 CRI

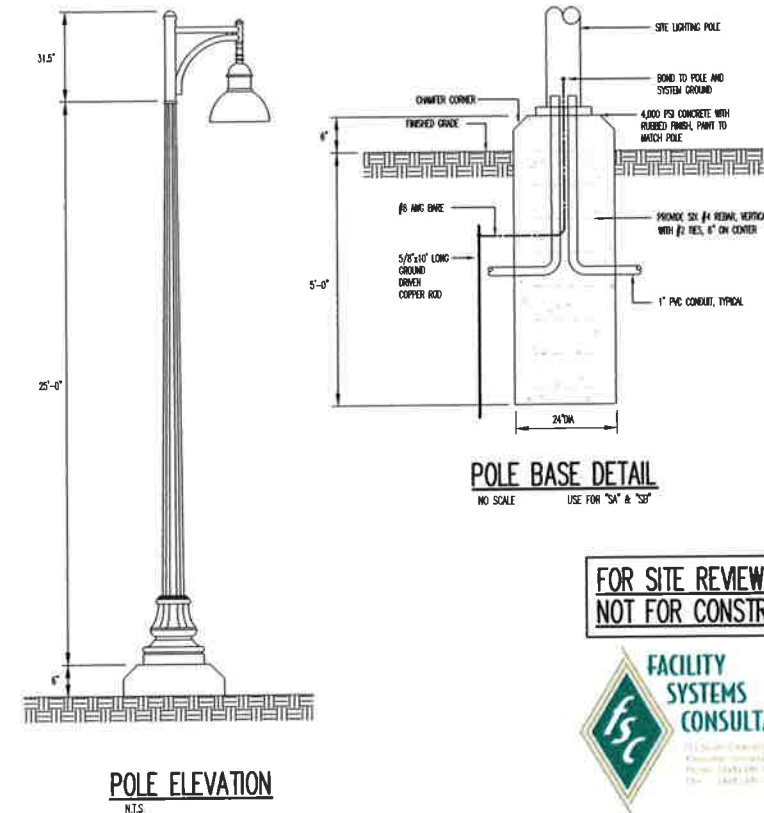
NOTES:
1. FINISH SHALL BE SELECTED BY ARCHITECT NOTED BY ?? IN MODEL NO
2. PROVIDE CONCRETE BASE PER DETAIL

ELECTRICAL ABBREVIATIONS

ABBREVIATIONS	DESCRIPTION
A	AMPERE
AT	ABOVE FINISHED FLOOR - MEASURED FROM FLOOR TO CENTER OF DEVICE, EXCEPT AS OTHERWISE SPECIFICALLY NOTED.
ATG	ABOVE FINAL GRADE
C	CONDUIT
F	FUSE
G	GROUND
KCM	Kcmil (THOUSAND CIRCULAR MILS)
NEC	NATIONAL ELECTRICAL CODE
UNO	UNLESS NOTED OTHERWISE

LEGEND

SYMBOL	DESCRIPTION
	METER, PROVIDE AND INSTALL IN ACCORDANCE WITH LOCAL UTILITY COMPANY REQUIREMENTS.
	PANELBOARD, MOUNT TOP 6'-0" AFF, REFER TO PANELBOARD SCHEDULES FOR REQUIREMENTS.
	HOME RUN TO PANEL WITH CIRCUIT SHOWN, CROSS MARKS INDICATE NUMBER OF CURRENT CARRYING CONDUCTORS WHERE MORE THAN TWO, NOT INCLUDING GROUND, MINIMUM #12 AWG.
	OVERHEAD WIRING
	UNDERGROUND WIRING
	HID, INCANDESCENT, LED, OR COMPACT FLUORESCENT LIGHTING FIXTURE; 'A' INDICATES TYPE, REFER TO LIGHTING FIXTURE SCHEDULE.
	'S' CORRESPONDS TO CONTROLLING SWITCH.
	LAMP POST STYLE FIXTURE, REFER TO SITE LIGHT FIXTURE SCHEDULE.
	JUNCTION BOX, SIZE AND USE AS REQUIRED.



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414 Clinch Ave. Knoxville, TN 37902
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Admiral's Landing

11321 Kingston Pike
Knoxville, TN



Project Phase: Schematic Design

Issue Date: 09.16.19		
Revisions		
No.	Description	Date

Job Number: 19031.00
SITE ELECTRICAL PLAN

ES1.0
SHEET 12 OF 15

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1 Exterior Materials Legend

NTS



ARCHITECTURAL BRICK COLOR 1



ARCHITECTURAL BRICK COLOR 2

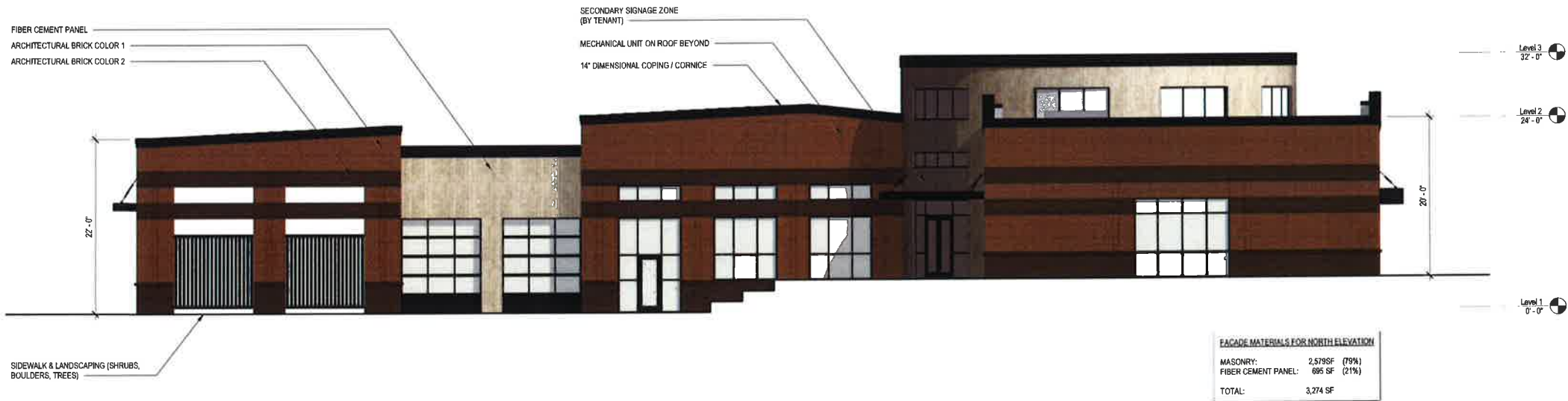


FIBER CEMENT



BRONZE COPING, CANOPY, & STOREFRONT COLOR

2 North
1/8" = 1'-0"



FACADE MATERIALS FOR NORTH ELEVATION			
MASONRY:	2,579 SF	(79%)	
FIBER CEMENT PANEL:	695 SF	(21%)	
TOTAL:	3,274 SF		

3 South
1/8" = 1'-0"



FACADE MATERIALS FOR SOUTH ELEVATION			
MASONRY:	2,360 SF	(76%)	
FIBER CEMENT PANEL:	762 SF	(24%)	
TOTAL:	3,122 SF		

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Admiral's Landing

11321 Kingston Pike
Knoxville, TN 37934



Project Phase: Schematic Design

Issue Date: 09.16.19

Revisions

No.	Description	Date

Job Number: 19031.00

Elevations

A3.1

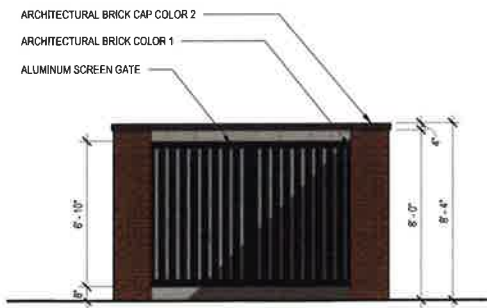
SHEET 14 OF 15

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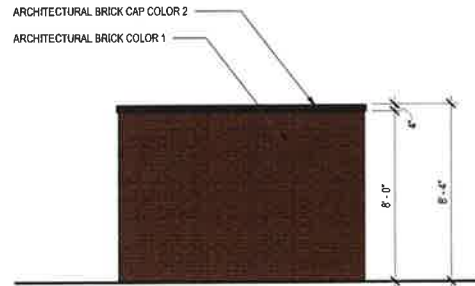
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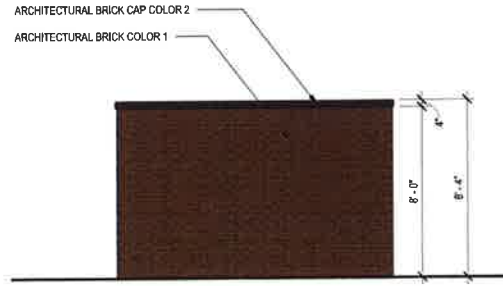
5 East
1/8" = 1'-0"



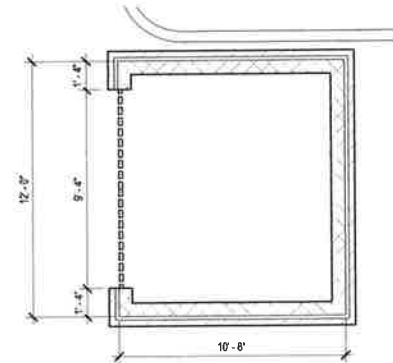
4 Dumpster Enclosure Front Elevation
1/4" = 1'-0"



3 Dumpster Enclosure Side Elevation
1/4" = 1'-0"

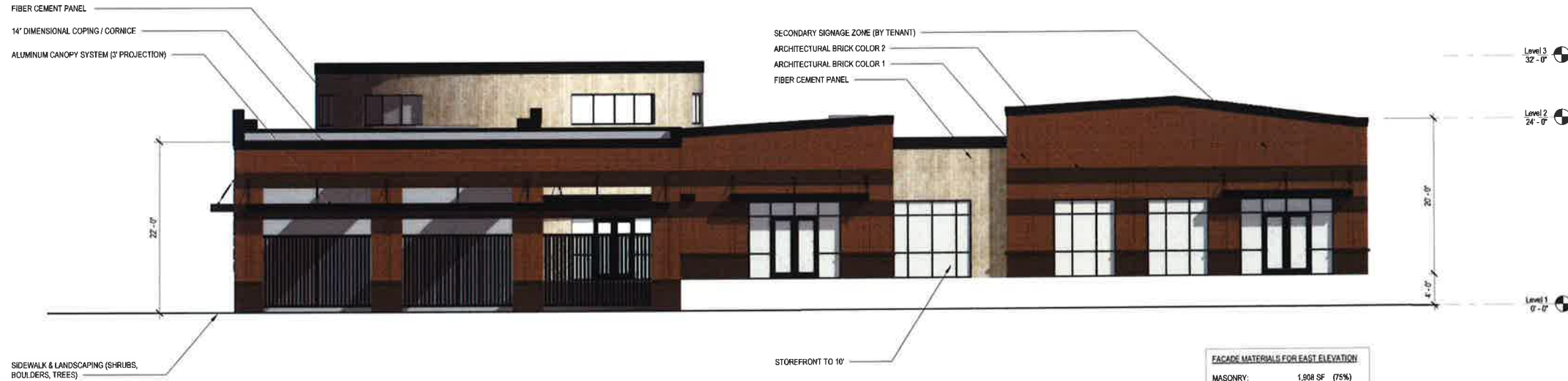


2 Dumpster Enclosure Back Elevation
1/4" = 1'-0"



1 Level 1 - Dumpster Enclosure
1/4" = 1'-0"

6 West
1/8" = 1'-0"



FACADE MATERIALS FOR EAST ELEVATION	
MASONRY:	1,839 SF (77%)
FIBER CEMENT PANEL:	545 SF (23%)
TOTAL:	2,384 SF

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Admiral's Landing

11321 Kingston Pike
Knoxville, TN 37934



Project Phase: Schematic Design

Issue Date: 09.16.19

Revisions

No.	Description	Date

Job Number: 19031.00

Elevations

A3.2

SHEET 15 OF 15

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on a preliminary plat for Grigsby Park, Phase I, Parcel 96 and a portion of Parcel 96.01, Tax Map 142, 4.636 Acres, 15 units, Zoned R-4 and FPD (Grigsby Park, LLC, Applicant)

INTRODUCTION AND BACKGROUND: This item involves a request for approval of a preliminary plat for the first phase of Grigsby Park attached single-family development. The project is on the opposite side of the Wyndham Hall Subdivision off Grigsby Chapel Road. This phase would terminate to the south of the Grigsby Chapel walking trail that bisects the property.

DISCUSSION: Originally, for curb appeal internal to the development, the applicant was exploring one-way alleys. After reviewing this at the staff/developer meeting on October 1, it was determined that, for practical reasons and to lessen the area of disturbance, the alleys would be removed. The property is topographically challenging for alleys and it was thought that residents would have a more enjoyable back yard if the alleys were removed.

RECOMMENDATION: Due to the number of changes that need to be made to the plans for the removal of the alleys, the applicant is requesting a postponement until the November meeting. This will be addressed under the approval of agenda item.

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion on an amendment to the Farragut Zoning Ordinance to provide for a Medium Density Multi-Family Zoning District (Town of Farragut, Applicant)

INTRODUCTION: This item is for discussion purposes only. At last month's Planning Commission meeting, a rezoning request was reviewed as a workshop item. Part of the request involved rezoning 25 acres of a portion of the property north of the Ingles from B-1, R-1, and R-2 to R-6 (Multi-Family Residential).

The R-6 portion of the rezoning would be contained along the southern portion of the property. Though not necessarily relevant to the rezoning, the applicant provided a general concept of what could be developed if the rezoning were approved. The concept included roughly 200 dwelling units on the 25-acre tract proposed for the R-6 Zoning District. This would result in a density of 8 dwelling units per acre.

DISCUSSION: The development density shown on the applicant's concept plan was well below the density permitted in the R-6 Zoning District. The R-6 District allows up to 12 units per acre.

When reviewing a rezoning request, staff focuses on whether the land itself and surrounding conditions (existing nearby developments, roads, utilities, etc.) are conducive to the requested zoning district(s). In making such a determination, staff first refers to the adopted Future Land Use Map (FLUM) in the Comprehensive Land Use Plan (CLUP).

The property that was the subject of the rezoning is shown on the FLUM as Medium Density Residential. Originally, this land use provided for a density of 6-12 dwelling units per acre. The Medium Density Residential land use was subsequently amended several months ago by the Planning Commission as part of amendments to the map and text of the CLUP. The Medium Density Residential land use was broken into two density ranges. Medium Density Residential would now be up to 8 dwelling units per acre. A new land use, High Density Residential, would be used for portions of the Town where density in excess of 8 dwelling units per acre may be appropriate.

In addition to density, some other differences between medium vs. high density residential, in general, would be the size of building footprints, the height of the buildings, and potentially changes to the roof pitch and other architectural elements that could differentiate the appearance between the two. From the staffs' perspective, a medium density multi-family project would appear more as a hybrid between an attached single-family or townhome building and a larger more traditional looking apartment development. For example, the Derby Run apartment development behind First Choice Automotive would be considered a medium density multi-family project. It has a development density of 7.75 units per acre, building footprints that do not exceed 7,500 square feet, and building heights that are two story.

By comparison, the Lanesborough and Overlook apartment developments would be considered high-density multi-family where the density is in excess of 9 units per acre and the buildings are larger and, in some ways, have a more commercial look. Though Lanesborough is two story, the typical higher density

multi-family development would exceed two stories and have building footprints in excess of 12,000 square feet.

As stated at the August and September Planning Commission meetings, the Zoning Ordinance has not yet been updated to reflect the changes that were made to the Medium Density Residential land use. The available multi-family residential zoning districts (R-6 and R-6/OSMFR) allow up to 12 dwelling units per acre. There is no existing zoning district that would provide for smaller multi-family developments with densities that do not exceed 8 dwelling units per acre.

Based on preliminary feedback provided by the Commission, staff has taken the existing R-6 Zoning District provisions and included (in your packet) some proposed modifications (shown in RED). Discussion items or sections that may warrant some additional consideration have been highlighted in BLUE.

This marked up version of R-6 is intended to generate discussion and demonstrate how a medium density zoning district would be different from the district(s) we currently have for multi-family developments. Some specific discussion items include:

1. Should the R-5 Zoning District (currently two-family residential) be replaced with the Medium Density Multi-Family Residential District or should the existing R-5 be retained and a new district created for medium density residential?
2. Should attached single-family be permitted in a medium density residential district? As long as the density and scale are appropriate does it matter whether it is restricted only to apartments? Having an opportunity for a mixture allows more development options and improves transitions;
3. Setbacks may need to be re-visited to account for a less separated transition to a higher density multi-family development (this could come into consideration in a town center master planned project);
4. Buffer strips vs. transitional spaces may need to be discussed. Staff does not support multi-family projects that isolate themselves from their surroundings. These projects should be integrated into the surrounding area while still protecting existing residential developments;
5. Some uses (e.g. schools, churches, agriculture) that are currently provided for in the R-6 District are proposed to be removed from the draft Medium Density Multi-Family Residential District. If such uses are desired, other zoning districts that are available would be more appropriate;
6. The key difference between medium vs. high density multi-family residential is scale. How can the district language best provide for such distinctions? Medium density multi-family would be limited to two stories and potentially a maximum footprint with reductions in permitted footprint size for buildings proposed closer to properties zoned for lower density residential. Another consideration would be architectural and site differences such as roof pitches, offsets, enhanced landscaping, coverages, etc. For comparison purposes some sample building footprints are as follows:

High Density Residential (clearly more than 8 units per acre)

1. The Overlook at Campbell Station – range from 10,000-14,500 square feet (3 stories plus a basement on some buildings; density just under 12 units per acre);
2. Tapestry at Snyder Road – range from 11,000 – 13,500 (3-4 stories; unsure about density but zoned for up to 18 units per acre);
3. Apartments at Northshore Town Center – range from 7,500 – 15,000 square feet (3-4 stories; unsure about density);
4. Lanesborough at Fretz Road – range from 9,000 – 10,700 square feet (2 stories; density 9.94 units per acre);

Medium Density Residential (up to 8 units per acre)

1. Derby Run Apartments – up to roughly 6,000 square feet (2 stories; density 7.75 units per acre);
2. Sequoyah Village (in Sequoyah Hills) – roughly 7,500 square feet is the largest footprint (2 stories; unsure about density but less than 8 units per acre);

Attached Single-Family (less than 6 units per acre)

1. Ramsgate off Grigsby Chapel Road – range from 7,900 – 10,290 square feet (1.5 stories; 5.1 units per acre);
2. Waverly Court off Smith Road – range from 8,400 – 13,500 square feet (1.5 stories; 4 units per acre);
3. Townhomes of Wentworth – range from 6,300- 15,000 square feet (1.5 stories; 3 units per acre)

Sec. XI. – **Medium Density** multi-family residential district (R-5 ~~6~~).

A. *General description.* Consistent with adopted plans and policies of the Town, this district is intended primarily to provide for ~~smaller footprint multi-family and attached single-family the development of multi-family developments such as apartments, that would correspond to the Medium Density land use designation in the Comprehensive Land Use Plan, as amended. This district shall serve as a transition area between more intense land uses.~~ In comparison to higher density residential, this district would provide for the development of smaller scale buildings that would serve as a transition from higher intensity developments, such as high-density multi-family residential, office, commercial, and/or major roads to less intense developments, such as attached and detached single-family residential. These areas should be free from severe natural environmental limitations. ~~Access shall be to a~~ and provide access to a street having a designated classification of arterial, or a street which is not interior to **an existing lower density residential** subdivision and which directly accesses a street having a designated classification of arterial. The street on which the development accesses must also meet the minimum design standards established in the Farragut Subdivision Regulations.

B. *Permitted uses and structures.*

1. Apartment buildings ~~(should single-family attached also be permitted under certain conditions – such as a master plan that mixes single-family attached with multi-family?)~~
2. Recreational facilities and open spaces which are developed as an integral part of the development.
3. Day care facilities as regulated in Chapter 4.
4. ~~Schools, public and private, and churches and other places of worship provided the following development criteria are met:~~
 - a. ~~Access shall be directly to a street having a designated classification of local collector or greater, or a local street which is not interior to a subdivision. The street on which the school or church accesses must meet the minimum design standards established in the Farragut Subdivision Regulations.~~
 - b. ~~There shall be a minimum lot size of five acres.~~
 - c. ~~There shall be a buffer strip which meets the following minimum development criteria:~~
 - 1) ~~The buffer strip shall be a minimum of 25 feet in width on all side and rear property lines;~~
 - 2) ~~Existing, mature vegetation shall be preserved and incorporated into the buffer strip;~~
 - 3) ~~No grading shall occur in the buffer strip; and~~
 - 4) ~~Detention basins, measured from top-of-slope to top-of-slope, and associated structures shall not be located within any buffer strips.~~
 - d. ~~The following setback requirements are met:~~
 - 1) ~~Front yard. All buildings and structures, excluding signs, shall be set back from the nearest point of any right-of-way no less than 50 feet. For the purposes of this ordinance, the interstate highway right-of-way shall be considered a side or rear lot line.~~
 - 2) ~~Side and rear yards.~~
 - a) ~~All buildings shall be set back a minimum of 50 feet. Setbacks shall be measured from the nearest point of any property line; and~~
 - b) ~~All accessory structures, excluding signs and fences, shall be set back a minimum of 30 feet. Setbacks shall be measured from the nearest point of any property line.~~

- ~~e. The maximum coverage for the total building area shall not exceed 35 percent and the total lot coverage shall not exceed 60 percent.~~
- ~~f. A site plan and landscape plan shall be submitted as regulated in Chapter 4.~~
- ~~5. Agricultural crops, but not nursery sales or the raising of farm animals or poultry, provided there is a minimum lot size of five acres.~~
- ~~6. Agricultural accessory uses and structures, provided there is a minimum lot size of five acres.~~
- 4. **Customary** accessory uses and structures.
- 5. Customary Home Occupations as regulated in Chapter 4.
- 6. Signs as regulated in the [Farragut] Municipal Code.
- 7. Utility uses.

C. *Minimum development requirements.*

- 1. The development shall conserve, in so far as practical, natural and manmade features on the site, including, but not limited to, trees, historic features, and wetlands.
- 2. A survey of the natural features shall be completed where appropriate. Natural features shall include, but are not limited to, wetlands, rock formations, trees, sink holes, streams, topographic features, and endangered species habitats. Development shall comply with the Tree Protection Ordinance [now chapter 113 of the Farragut Municipal Code].
- 3. Access ways and parking areas shall be designed to reduce the grading of the site and preserve the natural topography as much as practical. Site design should preserve large, existing trees when possible and reduce the clearing necessary for building sites. The maximum slope created as a result of a proposed development shall not be greater than **2.5:1** ~~3:4~~ (run/rise). Terracing may be permitted per the Town Engineer's approval.
- 4. **Access shall be to a street having a designated classification of arterial, or a street which is not interior to an existing lower density residential subdivision and which directly accesses a street having a designated classification of arterial.**
~~Developments shall directly access a street having a designated classification of arterial, or a street which is not interior to a subdivision and which directly accesses a street having a designated classification of arterial. The street on which the development accesses must meet the minimum design standards established in the Farragut Subdivision Regulations.~~
- 5. Internal access and circulation shall provide for adequate ingress/egress of firefighting equipment, service deliveries, furniture moving vans, and refuse collection vehicles.
- 6. Internal pedestrian access and circulation shall be provided where deemed appropriate by the planning commission.
- 7. Parking areas and sidewalks shall be lighted for night use where appropriate. All lighting shall comply with Town of Farragut lighting provisions.
- 8. A site plan of the development shall be submitted as regulated in Chapter 4.
- 9. The approved plan shall be in compliance with the Farragut Comprehensive Land Use Plan, the Pedestrian and Bicycle Plan, **the Architectural Design Standards**, and all other adopted plans and ordinances of the Town of Farragut.
- 10. If common recreational facilities and/or open spaces are developed as part of a development, details must be included in the site plan submittal. These common areas which may include driveways, parking areas, walkways, and steps should be lighted for night use where appropriate. The means of preserving and maintaining the common open space and other common property shall be assured as part of the development.
- 11. A landscape plan for the development shall be submitted as regulated in Chapter 4.

D. *Area regulations.*

1. *Setback requirements.*

- a. *Front yard.* All buildings (principle and accessory) shall be set back a minimum of 50 feet from front property lines (should it be less since these buildings would be a smaller footprint?). Parking shall be set back a minimum of 20 feet from front property lines. Detention basin structures, subdivision walls, entrance pillars, and certain utility structures shall be set back a minimum of ten feet from front property lines. Electrical substations, utility offices, or any other utility building shall meet the required 50-foot front yard setback.

- b. *Side/rear yard.* All principle buildings that are positioned along a side or rear property line shall be set back a minimum of 35 feet from the nearest side or rear property line(s). (should there be a lesser setback if the adjoining property is zoned for higher density multi-family, office, or commercial?)

Where surface parking is arranged along a side or rear property line, all principle buildings and parking lots shall be set back a minimum of 50 feet from the nearest side or rear property line(s). (should there be a lesser setback if the adjoining property is zoned for higher density multi-family, office, or commercial?)

- c. *Accessory structures.* Where the adjacent property is zoned non-multi-family residential or agricultural, accessory structures shall be set back from the nearest point of any side or rear property line a minimum of 100 feet.

Where the adjacent property is zoned for higher density multi-family, non-residential or non-agricultural, accessory structures shall be set back from the nearest point of any side or rear property line a minimum of 35 feet.

2. *Buffer strips.* (a question here is whether the transition area concept should be applied rather than the traditional buffer strip concept – the newer zoning districts use the transition concept because it provides for protection with integration)

- a. *Front yard.* A buffer strip is not required in a front yard but the development must provide for a landscape design that, at a minimum, would include plant material distributed within the area 20 feet from the front property line(s). The landscape design shall be approved by the Visual Resources Review Board.

- b. *Side/rear yard.* Whenever a principle building is positioned along a side or rear property line and the adjacent property is zoned non-multi-family residential or agricultural, there shall be a buffer strip a minimum of 35 feet in width. If the area within this buffer strip is not wooded, the area shall be planted to the requirements of a 50-foot buffer strip as provided for in the landscaping requirements of Chapter 4.

Whenever a surface parking lot is arranged along a side or rear property line and abuts property zoned non-multi-family residential or agricultural, there shall be a buffer strip a minimum of 50 feet in width as provided for in the landscaping requirements of Chapter 4.

- c. Whenever a side or rear property line abuts property that is zoned for higher density multi-family, non-residential or non-agricultural, there shall be a buffer strip a minimum of 25 feet in width as provided for in the landscaping requirements of Chapter 4.
- d. Other than an approved fence or masonry screen wall used for buffering purposes or a utility or pedestrian facility that bisects a buffer strip in a perpendicular manner, no structures are permitted within a required buffer strip.
- e. Existing, mature vegetation shall be preserved and incorporated into the buffer strips.
- f. Detention basins, measured from top-of-slope to top-of-slope, and associated structures shall not be located within any buffer strips.

3. *Maximum lot coverage.* Total lot coverage: 50 percent (should this be the same as high density multi-family?), except as provided for elsewhere in this ordinance.

4. *Minimum distance between buildings.* There shall be a minimum of 20 feet between all freestanding buildings, as measured from the closest point between two buildings.
5. *Land area.* Minimum lot size of five acres.
6. *Density.* Maximum overall density shall not exceed 8 12 units per acre. This density of 8 12 units per acre is a maximum number only and is permitted only if all requirements of the Town of Farragut have been met.
7. *Building footprint.* From the staffs' perspective, this is a critical component that distinguishes medium density residential from more commercialized looking high density residential. Staff would recommend that a maximum footprint be established with smaller footprints being required for buildings on the outer portion of the development where the adjoining property is zoned for or developed as lower density residential.

E. *Height regulations.*

1. *No principal buildings shall exceed 2 stories in height. Generally, the roof pitch shall not be less than (this needs to be discussed because roof pitch can visually impact a building's scale and make it appear more residential than commercial.....). Whenever the adjacent property is zoned residential or agricultural, no buildings to be constructed within 100 feet of a periphery property line shall exceed the maximum height permitted for principal dwelling units in the adjacent zoning district(s).*

When abutting all other zoning districts or where buildings are greater than 100 feet from a periphery property line such buildings shall not exceed three stories, or 45 feet in height.

2. No accessory structures, other than a clubhouse or comparable amenities building, shall exceed 15 feet in height. A clubhouse or comparable amenities building shall not exceed 25 feet in height.

F. *Parking.* Parking shall be provided as regulated in Chapter 4. All overflow parking shall be centrally located or uniformly distributed throughout the development.

G. *Building facade requirements.* Building facade requirements shall be in accordance with Farragut Architectural Design Standards, as amended.

H. *Outdoor open space.* Functional public spaces are encouraged as part of site development. Some specific design objectives would be as follows: 1. Locate and orient outdoor open space (e.g., plazas, courtyards, patios, outdoor seating and benches, small park spaces or landscaped features) to provide a focal point to be actively used; and 2. Provide landscape enhancements (e.g., bioswales, rain gardens, planters, flower gardens) to add visual interest, screen parking areas, and complement outdoor open spaces.

I. *Connectivity.* Development shall provide for context appropriate pedestrian and vehicular connectivity. This shall include providing connections within the property and to abutting properties, pedestrian connections into the development from the public street(s), and the construction of pedestrian facilities along the public street(s) frontages.

J. *Low Impact Development.* In terms of stormwater management for new developments, at least 25 percent of the development's total area shall be designed so that its runoff will be accommodated through Low Impact Development (LID) measures which would rely on infiltration, evapotranspiration, or capture/reuse of stormwater runoff. Such measures may include, but are not limited to, permeable pavers, rain gardens, bioswales, vegetated roofs, rainwater capture systems and/or a combination thereof. The use of LID measures to meet this requirement shall be demonstrated on the drainage plan and in the drainage calculations for the development and the applicable LID measures specified as part of the site and landscape plan submittals.

H. *Low impact development requirements.* The development shall incorporate a minimum of one of the following Low Impact Development (LID) practices into the design:

1. ~~25 percent of the parking lot being constructed with permeable pavers;~~
2. ~~Stormwater runoff draining to rain gardens;~~
3. ~~A building(s) being constructed with a vegetated roof, commonly referred to as a green roof;~~
4. ~~Stormwater draining to bioswales/bioretention facilities; or~~
5. ~~Rainwater being harvested for irrigation or gray water uses.~~

(Ord. No. 86-16, 4-1986; Ord. of 2-2006; Ord. No. 06-34, § 7, 1-11-2007; Ord. No. 12-03, § 9, 2-23-2012; Ord. No. 14-11, § 1, 9-9-2014; Ord. No. 16-05, § 2, 3-24-2016; Ord. No. 17-04, § 1, 4-27-2017; Ord. No. 19-19, § 2, 6-17-2019)













Mansion Apartment



Getting to Small Footprint Densities | Responding to Market Demand

