



**AGENDA
FARRAGUT MUNICIPAL PLANNING COMMISSION**

**November 21, 2019
7:00 p.m. Farragut Town Hall**

For questions please e-mail Mark Shipley at mshipley@townoffarragut.org or Bart Hose at bhose@townoffarragut.org

- 1. Citizen Forum**
- 2. Approval of agenda**
- 3. Approval of minutes – October 17, 2019**
- 4. Discussion and public hearing on a request for a residential driveway access onto Boyd Station Road for the property at 1024 McFee Road (Lisa and Robert Gibson, Applicant)**
- 5. Discussion and public hearing on a request for a residential driveway access onto Everett Road for a proposed dwelling unit at 750 Everett Road (Jill Bagga, Applicant)**
- 6. Discussion and public hearing on a final plat for the Mary E. Smith property, Parcel 79, Tax Map 142, 17.82 Acres, 2 Lots, Zoned R-2 (LeMay and Associates, Applicant)**
- 7. Discussion and public hearing on an amendment to the walking trail easement associated with the preliminary plat for the Campbell Crossing Subdivision, 1107 N. Campbell Station Road, 10.17 Acres, 22 Lots (LeMay and Associates, Applicant)**
- 8. Discussion and public hearing on a preliminary plat for Grigsby Park, Phase I, Parcel 96 and a portion of Parcel 96.01, Tax Map 142, 4.636 Acres, 17 units, Zoned R-4 and FPD (Grigsby Park, LLC, Applicant)**
- 9. Discussion and public hearing on a plat and site plan for parking lot and infrastructure improvements at 11242 Kingston Pike, .27 Acres (SITE, Incorporated, Applicant)**
- 10. Discussion and public hearing on a resolution affirming that the reuse of the property at 817 Virtue Road for residential purposes is in keeping with the CLUP**
- 11. Approval of utilities**

Planning Commission Meeting Public Comment Protocol

The Planning Commission welcomes and invites citizens to participate in public meetings.

At the beginning of each meeting, there will be time reserved for public comment under the Citizen Forum agenda item. If you are interested in speaking, please fill out a blue comment card and turn it in to the Town Planner or staff member. This time is set aside specifically for comments on items that are not on the Planning Commission regular agenda for the meeting. Each speaker will be given five (5) minutes to speak on his/her topic.

During the regular agenda portion of the meeting there may be an allowance for public comment for each agenda item. The Chairman may recognize individuals for public comment based on the following guidelines:

1. The Chairman shall maintain and control the meeting to provide a professional and objective environment conducive to presentation and discussion of the agenda items;
2. Anyone interested in speaking should fill out a blue comment card stating which agenda item they would like to comment on and turn in to the Town Planner or a staff member;
3. Speakers shall come to the podium and identify themselves by name and address;
4. Public comment shall be limited to five (5) minutes per individual, time may be extended at the discretion of the Chairman; time is not transferable to other speakers;
5. Speakers should strive to avoid redundancy;
6. Comments shall address issues, not individuals or personalities;
7. Comments may support or oppose particular issues or measures, but the motives of those with differing views shall not be questioned or attacked;
8. Personal attacks and malicious comments shall not be tolerated;
9. An applicant, and/or their representative(s), for an item on the regular agenda shall be afforded the time necessary to present their request and respond to questions. The five (5) minute limitation shall not apply. However, the Chairman may ask an applicant to stay on point in order to facilitate the efficiency of the meeting.



**MINUTES
FARRAGUT MUNICIPAL PLANNING COMMISSION**

October 17, 2019

MEMBERS PRESENT

Rita Holladay, Chairman
Ed St. Clair, Vice-Chairman
Ron Williams, Mayor
Rose Ann Kile, Secretary
Louise Povlin
Scott Russ
Betty Dick
Jon Greene
Noah Myers
Melanie Cionfolo, Youth Representative

MEMBERS ABSENT

None

Staff Representatives: Bart Hose, Assistant Community Development Director

Chairman Holladay called the meeting to order at 7 p.m.

1. Citizen Forum

Two residents spoke regarding Pecos Road and its planned connection to the Ivey Farm Subdivision being developed on the property immediately to the east. Staff also reminded Commissioners of an upcoming training session on October 31 at the Town Hall related to planning, zoning, and property rights.

2. Approval of agenda

Staff noted that Agenda Item 9 had been postponed by the applicant and recommended that it be removed from the agenda.

A motion was made by Commissioner Povlin to follow staffs' recommendation. Motion was seconded by Mayor Williams and motion passed unanimously.

3. Approval of minutes – September 19, 2019

Staff recommended approval.

A motion was made by Commissioner St. Clair to follow staffs' recommendation. Motion was seconded by Mayor Williams and motion passed unanimously.

4. Discussion and public hearing on a final plat for the Enclave at Sheffield, 6.72 Acres, 21 Lots, Zoned R-1/OSR (iLend, Applicant)

Staff reviewed this item and recommended approval subject to the following comments being addressed:

- 1) Please complete all remaining engineering field items;
- 2) Please obtain required signatures;
- 3) Please provide a completion letter of credit for sidewalks and landscaping in the amount of \$35,000;
- 4) Please provide a 2-year maintenance letter of credit for the roadway, sidewalks, greenway and drainage infrastructure in the amount of \$20,000; and
- 5) Please provide a replacement erosion control letter of credit. The amount will be determined by the Town Engineer based on the condition of the site when the plat is ready to be signed.

A motion was made by Commissioner St. Clair to follow staffs' recommendation. Motion was seconded by Commissioner Povlin and motion passed unanimously.

5. Discussion and public hearing on a site plan for renovations to the Smart Bank at 11216 Kingston Pike, 1 Acre, Zoned C-1/MUTC (Barber McMurry, Applicant)

Staff reviewed this item and recommended approval subject to the following comments being addressed:

- 1) Zoning notes on cover sheet reference Knox County not Town of Farragut, please correct sheet and anywhere else it may appear on plans;
- 2) The site is being remodeled, including changes to the parking and circulation. The parking isle width and three of the parking spaces on the south side of the building do not meet minimum standards for full sized car parking (the spaces are affected by a brick screening wall bump-out). Since the existing screen wall is being removed, the new screen wall must be constructed so as to not lessen parking space dimensions; and
- 3) The landscape plan approval will have to be applied for separately via MGO (it is not part of the site plan approval process).

A motion was made by Commissioner Myers to follow staffs' recommendation. Motion was seconded by Commissioner Povlin and motion passed unanimously with the exception of Commissioner Kile that abstained.

6. Discussion and public hearing on a resubdivision plat for the Furrow Family Partnership, Parcels 154.05-154.10, Tax Map 130 along Outlet Drive, 20.06 Acres, Zoned OD-RE/E (Land Development Solutions, Applicant)

Staff reviewed this item and recommended approval subject to the following comments being addressed:

- 1) Note 12, Minimum floor elevation ..., should be revised to also reference Town's Sinkhole Ordinance. E.g. "Other provisions may apply, see Town Ordinance"; and
- 2) Please obtain required signatures.

A motion was made by Commissioner St. Clair to follow staffs' recommendation. Motion was seconded by Mayor Williams and motion passed unanimously.

7. Discussion and public hearing on a site plan for the Top Golf, 11400 Outlet Drive, 15.73 Acres, Zoned OD-RE/E (Land Development Solutions, Applicant)

Staff reviewed this item and recommended approval subject to the following comments being addressed:

- 1) All site plan sheets (including lighting) must be properly signed and sealed. These plans are for construction purposes;
- 2) All external lighting will have to be field verified by the Town staff and the footcandle compliance verified by an electrical engineer prior to the issuance of a Certificate of Occupancy;
- 3) A drainage permit fee of \$11,330 must be paid prior to the issuance of a grading permit;
- 4) Erosion control letter of credit for \$101,500 (from grading plan approval) is needed;
- 5) Please provide the NOC; and
- 6) When the final retaining wall designs are determined those will need to be presented to the Planning Commission. This will not hold up site plan approval or the issuance of a grading permit.

After a brief discussion, a representative from Top Golf asked if staff comment #6 could be handled by the Town staff unless there was a concern over the retaining wall designs.

A motion was made by Commissioner Povlin to follow staffs' recommendation with the exception of eliminating comment #6 and authorizing the retaining wall designs to be approved by Town staff. Staff could then update the Commission on the final designs. Motion was seconded by Mayor Williams and motion passed unanimously.

8. Discussion and public hearing on a site plan for Admiral Landing, 11321 Kingston Pike, 1.19 Acres, Zoned C-1/MUTC (Urban Engineering, Applicant)

Staff reviewed this item and recommended approval subject to the following comments being addressed:

- 1) Light pole height cannot exceed 28 feet, please revise;
- 2) The corner sidewalk to the main tenant space is still the only pedestrian connection to this site from the fronting sidewalks. Are there other opportunities? Limiting pedestrian access from the public sidewalks to only the main tenant space could impact the other tenant spaces when the main space is not open and could hinder the Town's walkability goals for the town center area. The potential for sidewalk connections is impacted by the proposed location of a transformer just to the NW of the building;
- 3) One parking lot terminal island does not meet the minimum 5-foot width requirement, please correct and ensure all islands and similar features meet minimum standards;
- 4) Please provide an architectural view from above for portion of the building proposed to house the food trucks;

- 5) Please ensure that the Access and Parking Easement Agreement references the site plan that will ultimately be approved for this project;
- 6) Please provide location of fire line feed from water main;
- 7) Please ensure that all ADA ramps have compliant elevations;
- 8) Please provide an erosion control letter of credit for \$10,000;
- 9) A drainage permit fee of \$824 must be paid prior to the issuance of a grading permit;
- 10) Please provide a copy of the NOC.

A motion was made by Commissioner Povlin to follow staffs' recommendation. Motion was seconded by Commissioner Myers and motion passed unanimously.

9. Discussion and public hearing on a preliminary plat for Grigsby Park, Phase I, Parcel 96 and a portion of Parcel 96.01, Tax Map 142, 4.636 Acres, 15 units, Zoned R-4 and FPD (Grigsby Park, LLC, Applicant)

Postponed.

10. Discussion on an amendment to the Farragut Zoning Ordinance to provide for a Medium Density Multi-Family Zoning District (Town of Farragut, Applicant)

For discussion purposes only.

11. Approval of utilities

None.

The meeting was adjourned at 8:32.

Rose Ann Kile, Secretary

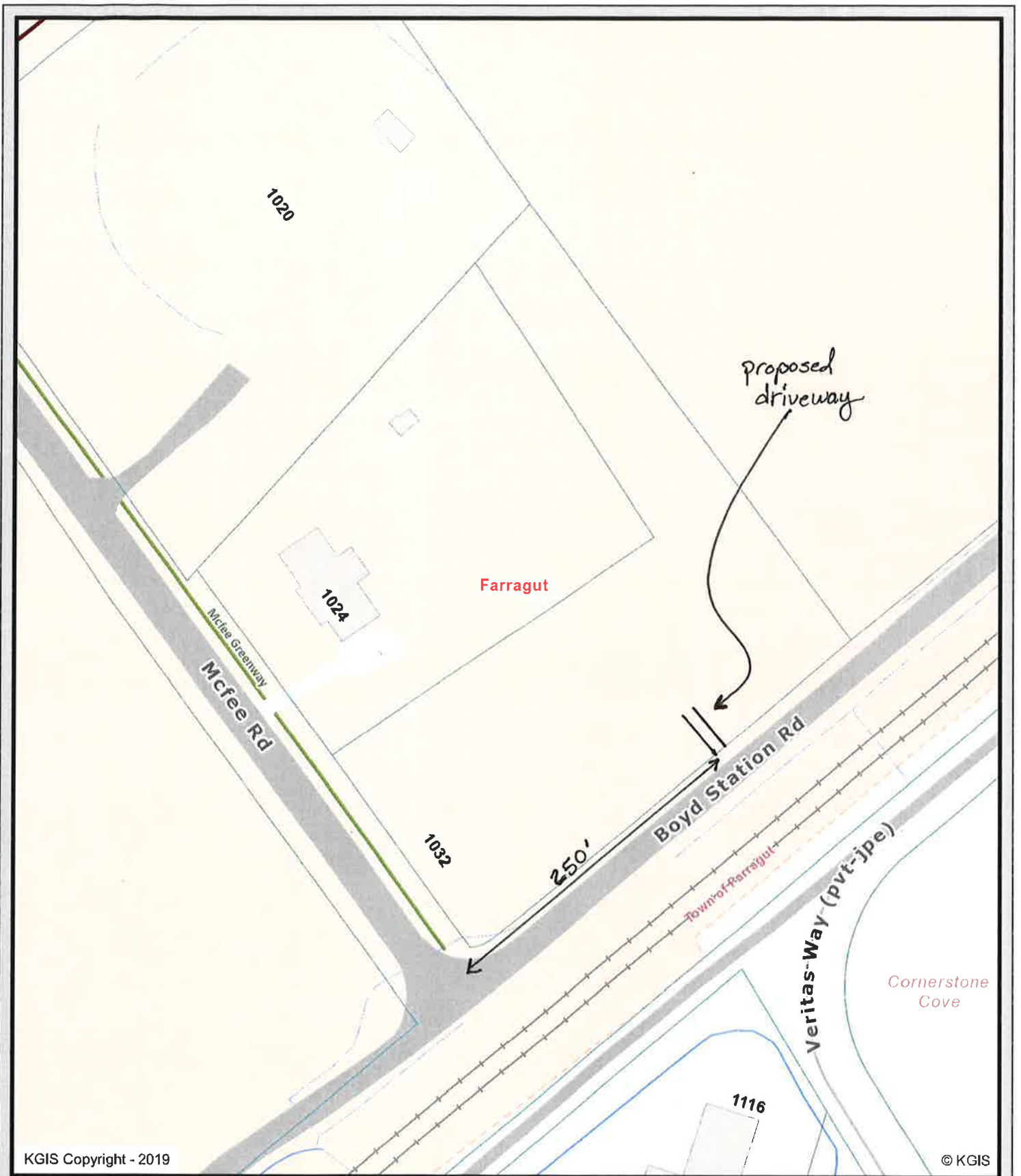
REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Bart Hose, Assistant Community Development Director

SUBJECT: Discussion and public hearing on a request for a residential driveway access onto Boyd Station Road for the property at 1024 McFee Road (Lisa and Robert Gibson, Applicant)

INTRODUCTION AND BACKGROUND: This item involves an access permit request for a secondary residential driveway off Boyd Station Road for a property located at 1024 McFee Road. The applicant's property actually consists of two parcels. The first contains their existing home and fronts on McFee Road. The second parcel is vacant and fronts on Boyd Station Road. The proposed driveway would provide access to the second parcel from Boyd Station Road. As you know, Boyd Station Road is classified as a Major Collector and both the Planning Commission, and the Board of Mayor and Alderman, must review and approve all access requests on Collectors and other non-local roads.

RECOMMENDATION: Illustrations depicting the proposed driveway location are included in your packet. The Town's Planning and Engineering staff have reviewed the proposed location and can recommend approval of the access point and permit. The applicants will need to pave and drain the proposed driveway, at least across the ROW area, to prevent gravel or other material from washing on to the road.

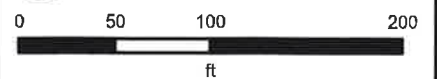


Letter Portrait

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REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Bart Hose, Assistant Community Development Director

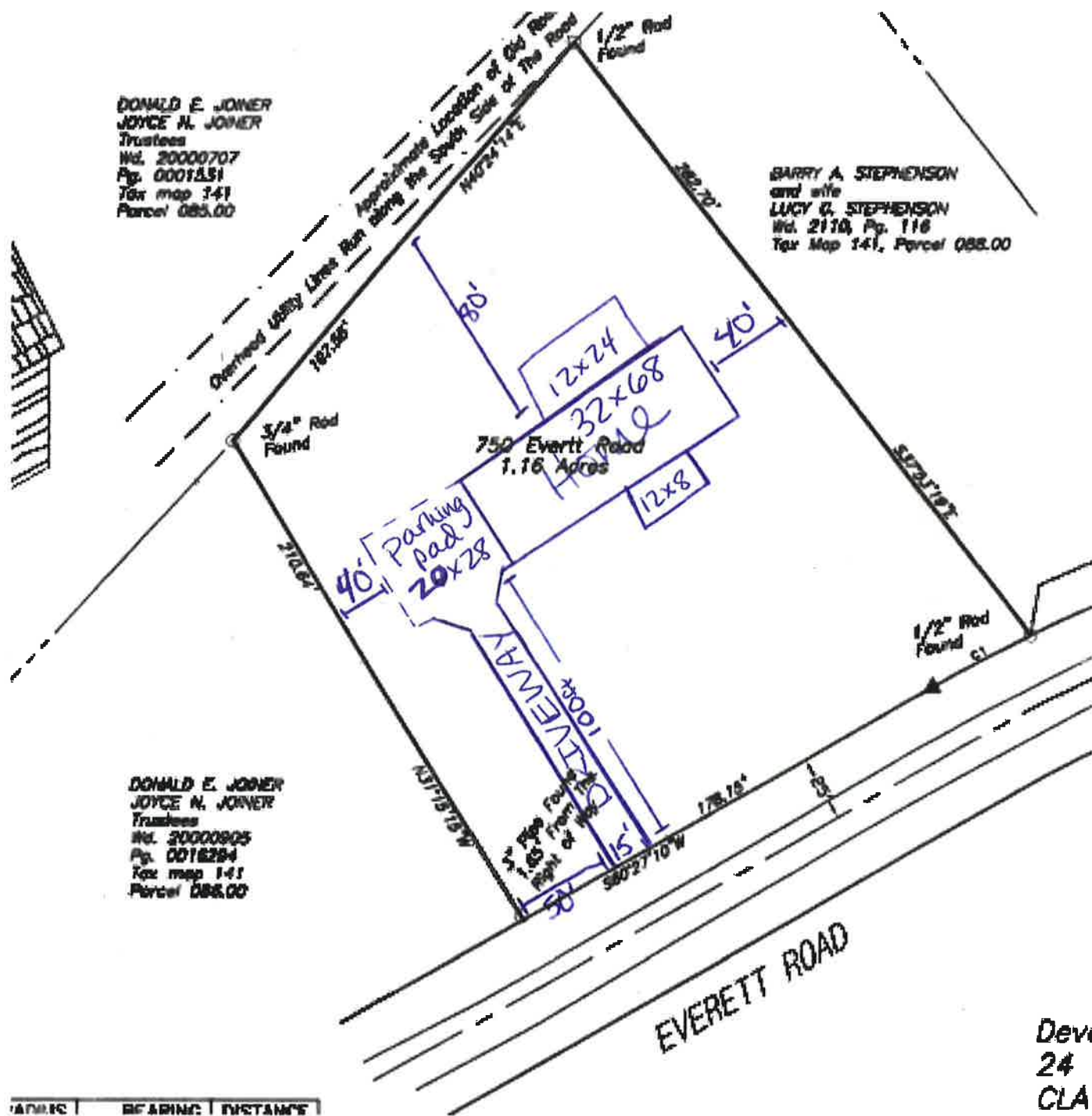
SUBJECT: Discussion and public hearing on a request for a residential driveway access onto Everett Road for a proposed dwelling unit at 750 Everett Road (Jill Bagga, Applicant)

INTRODUCTION AND BACKGROUND: This item involves an access permit request for a residential driveway at 750 Everett Road. As you know, Everett Road is classified as a Major Collector and both the Planning Commission, and the Board of Mayor and Alderman, must review and approve all access requests on Collectors and other non-local roads.

RECOMMENDATION: Illustrations depicting the proposed driveway location are included in your packet. The Town's Planning and Engineering staff have reviewed the proposed location and can recommend approval of the access point and permit. The applicant will need to pave and drain the proposed driveway, at least across the ROW area, to prevent gravel or other material from washing on to the road.

Site Plan for 750 Everett Road Knoxville, TN 37934

Driveway and Home Location



REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Bart Hose, Assistant Community Development Director

SUBJECT: Discussion and public hearing on a final plat for the Mary E. Smith property, Parcel 79, Tax Map 142, 17.82 Acres, 2 Lots, Zoned R-2 (LeMay and Associates, Applicant)

INTRODUCTION AND BACKGROUND: This item involves a minor two lot subdivision of a 17.82-acre tract located on Boring Road, with additional frontage on East Fox Den Drive. The property is zoned R-2 and the proposed subdivision would create one smaller (2.98 acre) residential lot on Boring Road and a third, larger, 14.86-acre tract with frontage on both Boring and East Fox Den Drive.

The applicant is also requesting a variance from the Subdivision Regulations so as not to be required to construct a pedestrian facility along Boring Road. As you know, Boring Road is classified as a Local Collector on the Major Road Plan and the construction of pedestrian facilities is typically required for subdivisions along such roads.

DISCUSSION: There are two issues related to this proposed subdivision. The first involves access to the smaller lot on Boring Road. As noted, Boring Road is classified as a Local Collector and the Town's access controls require a minimum separation distance of 200 feet between driveways and between driveways and intersecting streets. The applicant will need to be aware that the access for Lot 2 will need to line up with the access to the Baldwin Park Subdivision when the driveway access permit is requested through the Planning Commission and the Board of Mayor and Aldermen.

The second issue involves the requested variance from the normal requirement to construct a pedestrian facility (sidewalk) along Boring Road. In this case, the owner would be required to construct over 1300 linear feet of sidewalk for a two-lot subdivision. The impact of creating one new residential lot, in addition to the existing tract, would be minor and out of proportion to the requirement to construct this distance of sidewalk.

RECOMMENDATION: Included in your packet is a copy of the revised plat. Initial staff comments were minor. Staff supports the variance request and will make a recommendation on the plat at the meeting based on whether the initial comments have been addressed.

CERTIFICATE OF OWNERSHIP AND DEDICATION

I (we) hereby certify that I am (we are) the owner(s) of the property shown and described herein as evidenced in Book Number _____ Page _____ County Register's Office, and that I (we) hereby adopt this plan of subdivision with my (our) free consent, establish the minimum building restriction lines, and dedicate all streets, alleys, walks, parks, and other open space to public or private use as noted.

Date _____ Owner / Authorized Signature _____

CERTIFICATE OF APPROVAL FOR RECORDING

I hereby certify that the subdivision plat shown here has been found to comply with the Subdivision Regulations for Planning, Tennessee, with the exception of such variances. If any, as are noted in the minutes of the Planning Commission and that it has been approved for recording in the Office of the Knox County Register of Deeds.

Date _____ Secretary, Planning Commission _____

CERTIFICATE FOR STREET APPROVAL

I certify that streets, sidewalks, and other required improvements have been installed in an acceptable manner and according to town specifications, or that a security bond in the amount of \$ _____ has been posted with the Planning Commission to ensure completion of all required improvements in case of default. Streets (are) (are not) public streets mentioned at public expense.

Date _____ Town Engineer _____

CERTIFICATE OF APPROVAL OF WATER SYSTEM

I hereby certify that the water system(s) outlined or indicated on the final subdivision plat entitled

_____ HAVE BEEN INSTALLED in accordance with current local and state government requirements, or a sufficient bond or other surety has been filed to guarantee said installation.

Date _____ Name, Title, and Agency of Authorized Approving Agent _____

CERTIFICATE OF ELECTRIC, GAS, AND TELEPHONE AVAILABILITY

This is to certify that every lot within the subdivision has available to it a source for the service identified by abovementioned, below which service source is adequate to accommodate the reasonable needs of such lot as to such service within such subdivision.

Date _____ GAS-Name, Title, and Agency of Authorized Approving Agent _____

Date _____ ELECTRIC-Name, Title, and Agency of Authorized Approving Agent _____

Date _____ TELEPHONE-Name, Title, and Agency of Authorized Approving Agent _____

CERTIFICATION OF COMMON AREAS DEDICATION

As owner, in recording this plat I have designated certain areas of land shown herein as common areas intended for use by the homeowners within said subdivision for activities. The above described areas are not dedicated for use by the general public, but are dedicated to the common use of the homeowners within the named subdivision.

"Declaration of Covenants and Restrictions," applicable to the above named subdivision, is hereby incorporated and made part of this plat.

Date _____ Owner _____

CERTIFICATE OF APPROVAL OF STREET NAMES

This is to certify that the subdivision shown herein has been reviewed for compliance with the Knox County Uniform Street Naming and Addressing System Ordinance, and the road names are hereby approved for recording.

Knox County Addressing Division _____ Date _____

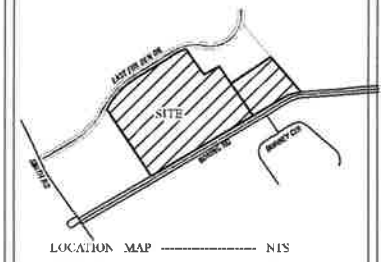
CERTIFICATE OF APPROVAL OF SEWER SYSTEM

I hereby certify that the sewer systems outlined or indicated on the final subdivision plat entitled

_____ HAVE BEEN INSTALLED in accordance with current local and state government requirements or a sufficient bond or cash has been filed which will guarantee said installation.

Date _____ Name, Title, and Agency of Authorized Approving Agent _____

DEED INSTRUMENT # 201807020076052

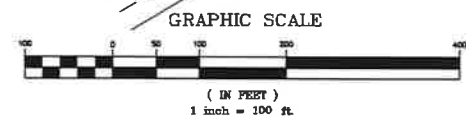


LEGEND

- IRON (IRON ROAD (OLD))
- IRON (IRON ROAD (NEW))
- IRON (IRON ROAD (NEW))

SITE NOTES

- CORNER MONUMENTS AS SHOWN HEREON
- VERIFY EXACT SIZE, DEPTH AND LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION
- A FIVE (5') FOOT UTILITY, DRAINAGE AND CONSTRUCTION EASEMENT ON EACH SIDE OF INTERIOR LOT LINES, A TEN (10') FOOT UTILITY, DRAINAGE AND CONSTRUCTION EASEMENT ON INSIDE OF ROAD RIGHTS-OF-WAY AND EXTERIOR LOT LINES, EXCEPT UNDER BUILDINGS
- DEED REFERENCE: INSTR NO 20160703076052
- PROPERTY SHOWN ON CLT 142 PARCEL 78
- TOTAL AREA: 17.5± ACRES
- TOTAL NUMBER OF LOTS: 2
- PROPERTY ZONED: R-2
- BUILDING SETBACKS: PERIPHERAL = 50' (BUFFER STRIP INCLUDED)
FRONT YARD = 30'
SIDE = 30' & equal on two sides of at least 30 feet, but not less than ten feet on any one side
REAR YARD = 25'
- BUFFER STRIPS: 25' (MIN) ON SIDE & REAR PROPERTY LINES
- MAXIMUM LOT COVERAGE: 35%
- HEIGHT REGULATIONS: NOT TO EXCEED 2-1/2 STORES OR 35' HIGH
- THE PURPOSE OF THIS PLAT IS TO COMBINE 1 LOT INTO THREE LOTS



VARIANCE REQUEST:
NO SIDEWALK INSTALLATION

LeMAY AND ASSOCIATES
CONSULTING ENGINEERS

10816 KINGSTON PIKE KNOXVILLE, TENNESSEE 37934 PH: (865) 671-0183 FAX: (865) 671-0123



CERTIFICATE OF SURVEY ACCURACY

I hereby certify that the plan shown and described herein is a true and correct survey to the accuracy required by the Farmland Municipal Planning Commission and that the monuments have been placed on shown herein to the specification of the Subdivision Regulations. This is a Category 1 Land Survey and the ratio of precision is greater than or equal to 1:10,000.

Date _____ Registered Surveyor No. 758

OWNER / DEVELOPER

SMITH MARY E
11406 LINDSEY LN
KNOXVILLE, TN 37934
(865) 671-8044

FINAL PLAT RESUBDIVISION OF

MARY E. SMITH PROPERTY

SCALE: 1" = 100'	APPROVED BY: REL	DRAWN BY: REL
DATE: 9-27-2019	LAST REVISION DATE: 11-13-2019	
DISTRICT 6 * TOWN OF FARRAGUT	KNOX COUNTY * TENNESSEE	
LAX MAP 142, PARCEL 75	SHEET: 1 OF 1	DRAWING NO.: 5822

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Bart Hose, Assistant Community Development Director

SUBJECT: Discussion and public hearing on an amendment to the walking trail easement associated with the preliminary plat for the Campbell Crossing Subdivision, 1107 N. Campbell Station Road, 10.17 Acres, 22 Lots (LeMay and Associates, Applicant)

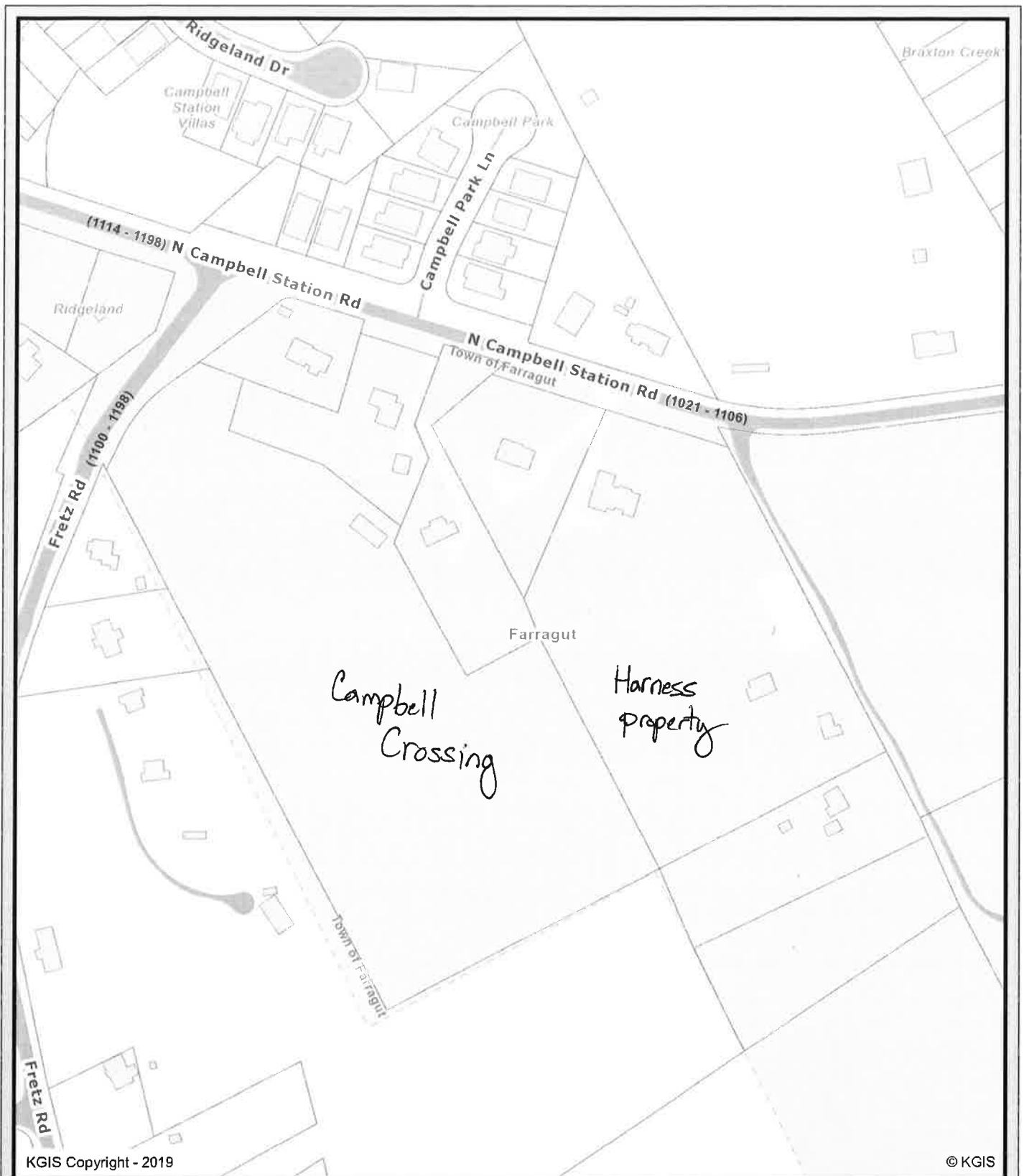
INTRODUCTION AND BACKGROUND: This item involves a preliminary plat amendment to omit a section of the proposed walking trail easement associated with the Campbell Crossing Subdivision near the intersection of N. Campbell Station Road and Fretz Road. Specifically, the applicant is proposing to eliminate a thru connection from the proposed subdivision's internal circulation system to N. Campbell Station Road. As currently approved, a 20-foot walking trail easement is shown between Lots 17, 18, and 23 and then along the southeastern portion of Lot 22 which contains an existing dwelling unit on property that is owned by the developer. The applicant is asking to remove the easement along Lot 22.

At the staff/developer meeting on November 5, staff suggested that, in lieu of requesting to remove the easement to N. Campbell Station Road, the applicant should consider a walking trail connection at a point more interior to the subdivision which would stub into the 5-acre Harness tract. Should the Harness tract be resubdivided at some point a trail could be extended through that property to N. Campbell Station Road. This would result in the trail terminating further from the Fretz Road intersection.

After the staff/developer meeting, the applicant explored the lower connection point but, due to topography and tree preservation, has decided to proceed with the original easement omission along Lot 22.

RECOMMENDATION: Included in your packet is a copy of the submitted plat/easement amendment. Staff does not support the request to remove the walking trail easement along Lot 22. Though the trail would terminate into N. Campbell Station Road relatively close to the Fretz Road intersection, such trail connection would provide a short loop for residents and would be consistent with the Town's objectives to extend walking trails throughout its jurisdiction.

Should the applicant's request be denied, the trail construction along Lot 22 will need to be coordinated with any improvements that may occur in association with a left turn lane on the south side of N. Campbell Station at the Fretz Road intersection. The turn lane project will include a sidewalk along the affected portion of N. Campbell Station Road and will be constructed along much of the applicant's N. Campbell Station Road frontage.



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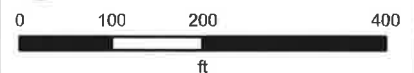
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REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on a preliminary plat for Grigsby Park, Phase I, Parcel 96 and a portion of Parcel 96.01, Tax Map 142, 4.636 Acres, 17 units, Zoned R-4 and FPD (Grigsby Park, LLC, Applicant)

INTRODUCTION AND BACKGROUND: This item involves a request for approval of a preliminary plat for the first phase of the Grigsby Park attached single-family development. The project is located off Grigsby Chapel Road, across from Wyndham Hall Subdivision. This first phase would terminate to the south of the Grigsby Chapel walking trail that bisects the property.

DISCUSSION: The applicant was initially exploring the use of one-way alleys and rear entry garages to improve curb appeal within the development. After reviewing this at the staff/developer meeting on October 1, it was determined that, for practical reasons and to lessen the area of disturbance, the alleys would be removed. The property is topographically challenging for alleys and it was thought that residents would have a more useable and enjoyable back yard if the alleys were removed.

RECOMMENDATION: Included in your packet is a copy of the applicable sheets related to this project. Staff will update the Commission on whether the initial comments have been addressed and will make a recommendation at the meeting. Staff will also recommend that a letter of credit be required for a handful of trees that were removed during the land disturbance permit process and that were in excess of the tree sizes that were permitted for removal. The land disturbance contractor also crossed the Town's walking trail with a bobcat to access the property and damaged a small section and a small area on the Westside Unitarian Universalist Church property. These repairs will also need to be covered under the letter of credit.



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37802-4878
PHONE: 865-984-3906
FAX: 865-981-2815
www.sterling-us.com

LOTS 1-17

FARRAGUT, TN

PRELIMINARY SUBDIVISION PLAT
GRIGBSY PARK
PHASE 1
GRIGBSY PARK, LLC

DATE	BY	REVISIONS
8/2/19	SD	Revised per Town of Farragut review
10/16/19	SD	Revised per Town of Farragut review
11/11/19	SD	Revised per Town of Farragut review

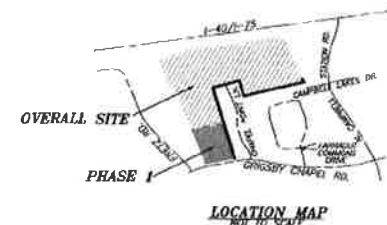


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SHEET

PS

DESIGNED: **SDJ**
DRAWN: **SDC**
CHECKED: **CMR**
DATE: **6/12/19**
SCALE: **1" = 40'**
DRAWING: **6028A-PS**
PROJECT NO: **SEI#6028**



LEGEND:

- POB POINT OF BEGINNING
- EP EXISTING IRON PIPE
- EP EXISTING IRON PIPE
- NR NEW IRON PIPE
- N&D NAL & DISK
- A= ARC LENGTH
- R= RADIUS
- D= CENTRAL ANGLE (DEG)
- B= CHORD BEARING
- C= CHORD LENGTH
- Ac ACRES
- SF SQUARE FEET
- WDB WARRANTY DEED BOOK
- MRB MISC. RECORD BOOK
- PC PAGE
- RR RAILROAD
- TYP TYPICAL
- R/W RIGHT-OF-WAY
- CB CATCH BASIN
- CL CENTERLINE
- Q= POLE GUY ANCHOR
- OMH MANHOLE (EXISTING)
- OSM MANHOLE (STORM SEWER)
- OPH OVERFLOW STRUCTURE
- UP LIGHT POLE (LP)
- PP POWER POLE (PP)
- Q TREE
- BOUNDARY LINE
- ROAD RIGHT-OF-WAY LINE
- ZONING LINE
- PARCEL LINE
- EASEMENT LINE
- ROAD CENTERLINE
- EDGE OF GRAVEL/ROAD
- CONCRETE CURB
- SEWER
- C CORRUGATED METAL PIPE (CMP)
- FENCE LINE
- BUFFER LINE
- ELECTRIC LINE (OVERHEAD)
- T&E T&E POWER LINE
- PVC PIPE LINE
- SEWER LINE (EXISTING)
- RETAINING/HEAD WALL
- FLOODWAY LINE
- 100 YEAR FLOOD LINE
- LAKE/RIVER/CREEK LINE
- EXISTING INTERMEDIATE CONTOUR
- 900 EXISTING INDEX CONTOUR

CLIENT:
GRIGBSY PARK, LLC
TRAVIS FULLER
620 HARRY HOOD, SUITE 201
KNOXVILLE, TN 37901
865-806-0385

OWNERS:
LARRY & GARY ASHER, SALVADORE A. GAUDIANO &
RANDY C. EDGEMON
8874 KINGSTON PIKE, SUITE 200
KNOXVILLE, TN 37934
865-690-8967
DISTRICT FW, KNOX COUNTY
WDB 2165 PG 966
TAX MAP 130 PARCEL 115.01 (5.009 Ac)

DIVERSIFIED HOLDINGS, INC.
8874 KINGSTON PIKE, SUITE 200
865-690-8967
DISTRICT FW, KNOX COUNTY
WDB 2300 PG 302
TAX MAP 130 PARCEL 118.01 (15.985 Ac)
WDB 2165 PG 969
TAX MAP 142 PARCEL 96.01 (9.95 Ac)
WDB 2168 PG 541
TAX MAP 142 PARCEL 96.00 (1.48 Ac)

40' 20' 0 40' 80'
1" = 40'

SURVEYOR'S CERTIFICATION:

I hereby certify that this is a Category 1 survey, the ratio of precision of the unadjusted survey is 1:10,000, or greater as shown herein, and this survey was done in compliance with current Tennessee Minimum Standards of Practice.

11-11-19
Tennessee RLS 7 1928

REMAINING LANDS OF
DIVERSIFIED HOLDINGS, INC.
TAX MAP 142 PARCEL 96.01
PAR: R-4
(GREATER THAN 5 AC.)

PROPERTY AND ROAD
RIGHTS EXTENDED FOR
FUTURE PHASES

TAX MAP 142 PARCEL 96.00
PAR: R-4
COMMON
2.594 Ac.

CHAPEL POINT
HOMESOWNERS ASSOCIATION INC.
WDB 2278 PG 978
TAX MAP 142C "D" PARCEL 5
PAR: R-4

WESTSIDE UNITARIAN
UNIVERSALIST CHURCH
WDB 2151 PG 886
TAX MAP 142 PARCEL 11
PAR: R-1

PHASE 1 DEVELOPMENT INFORMATION:

PHASE 1 ACREAGE: 4.636 Ac.
PHASE 1 COMMON/OPEN AREA: 2.594 Ac. (55.95%)
PHASE 1 ALLOWABLE DENSITY: 4,636*6= 27 UNITS
PHASE 1 PROPOSED DENSITY: 17 UNITS

OVERALL DEVELOPMENT INFORMATION:

TOTAL PROPERTY ACREAGE: 32.157 Ac.
TOTAL DEVELOPMENT ACREAGE: 24.878 Ac.
TOTAL COMMON/OPEN AREA: 17.261 Ac. (69.38%)
ALLOWABLE DENSITY: 24.878*6= 149 UNITS
PROPOSED DENSITY: 59 UNITS

SURVEYOR'S NOTES:

- 1/2" new iron rods will be set at all interior lot corners.
- There shall be easements 5 feet on each side of all as-built water utility lines, and 7 1/2 feet on each side of as-built sewer utility lines. Drainage, utility and construction easements shall be 5 feet on each side of all interior lot lines, except under buildings (i.e., zero lot lines), and 10 feet on the inside of all exterior lot lines and street rights of way. All final easement locations shall be clearly identified on Final Plat.
- Front Building setback shall be 20 feet from back of curb, unless otherwise noted in restrictions. All other setbacks shall be in accordance with the Zoning Ordinance.
- Topographic Survey based on photogrammetric data provided by others. 2 foot Contour interval shown.
- No Instruments of Record reflecting easements, rights of way, and/or ownership were furnished to the Surveyor, except as shown herein. The Surveyor has made no attempt to access the public records for any easements. Subject to any easements, regulations or restrictions in effect at the time of this survey. No title opinion is expressed or implied.
- The Surveyor has made no attempt to locate underground utilities, underground foundations, underground encroachments or underground improvements, except as shown herein. Actual location of all underground utilities should be verified through Tennessee 1 Col (1-800-351-1111) or the utility provider prior to any excavation or construction.
- Located in Flood Zone "X" (description of flood zone), according to Flood Insurance Rate Map 47093C02430, dated 8/5/2013.
- There shall be no clearing, grading, construction, or disturbance of soil and/or native vegetation within the aquatic buffer or wooded buffer areas except as permitted by the Town of Farragut.

LINE TABLE

No.	Bearing	Len.
L1	N72°24'01"E	15.53'
L2	N75°18'22"E	8.50'
L3	N73°38'32"E	39.70'
L4	N71°08'27"E	26.34'
L5	N69°55'30"E	10.31'
L6	N72°40'39"W	16.70'
L7	N45°53'40"E	30.57'
L8	N54°49'57"E	17.64'
L9	N70°57'11"E	25.35'
L10	S77°38'58"E	15.16'
L11	N71°24'01"E	24.67'
L12	N75°02'15"E	13.04'
L13	S74°43'49"E	11.11'
L14	N73°01'35"E	28.99'
L15	N59°59'53"E	25.16'
L16	N22°00'57"E	8.08'
L17	N30°48'39"E	8.84'
L18	N68°54'58"E	10.66'
L19	N60°55'42"E	20.19'
L20	N68°46'36"E	12.76'

LINE TABLE

No.	Bearing	Len.
L21	N71°07'31"E	13.78'
L22	N54°58'57"E	18.55'
L23	N71°11'03"E	14.06'
L24	N75°08'54"E	20.37'
L25	N32°28'36"W	22.71'
L26	N32°22'38"W	15.27'
L27	N32°20'36"W	12.73'
L28	N32°20'36"W	25.27'
L29	N32°20'36"W	2.73'
L30	N32°20'36"W	25.27'
L31	N32°20'36"W	2.21'
L32	N32°20'36"W	25.36'
L33	N32°20'36"W	2.06'
L34	N32°20'36"W	25.78'
L35	N32°20'36"W	0.15'
L36	N32°20'36"W	50.03'
L37	N32°20'36"W	56.72'
L38	S12°20'36"E	23.46'
L39	S12°20'36"E	1.32'
L40	S12°20'36"E	8.21'

LINE TABLE

No.	Bearing	Len.
L41	S32°20'36"E	28.00'
L42	S32°20'36"E	1.59'
L43	S32°20'36"E	28.00'
L44	S32°20'36"E	3.02'
L45	S32°20'36"E	6.63'
L46	N40°32'51"E	132.46'
L47	S40°32'51"W	119.90'
L48	S40°32'51"W	114.62'
L49	S40°32'51"W	113.82'
L50	N57°39'24"E	114.12'
L51	S57°39'24"W	113.68'
L52	S57°39'24"W	113.67'
L53	S57°39'24"W	113.67'
L54	S57°39'24"W	113.67'
L55	S57°39'24"W	113.67'
L56	S57°39'24"W	113.68'
L57	S57°39'24"W	116.32'
L58	S57°39'24"W	125.44'
L59	S57°39'24"W	119.13'
L60	N57°39'24"E	131.34'

LINE TABLE

No.	Bearing	Len.
L61	S57°39'24"W	134.18'
L62	N57°39'24"E	124.17'
L63	S57°35'27"W	124.17'

CURVE TABLE

No.	Len.	Radius	Delta	Bearing	Chord
C1	34.21'	20.00'	88°00'	N18°43'03"E	30.19'
C2	84.85'	125.00'	38°33'	N48°43'35"W	83.23'
C3	20.22'	125.00'	8°16'	N72°48'23"W	20.20'
C4	3.61'	175.00'	1°11'	N76°51'01"W	3.61'
C5	8.92'	175.00'	2°55'	N74°48'00"W	8.91'
C6	26.03'	175.00'	8°32'	N69°04'33"W	26.03'
C7	8.34'	175.00'	2°44'	N63°26'45"W	8.34'
C8	20.19'	175.00'	6°37'	N58°46'34"W	20.19'
C9	10.67'	175.00'	3°30'	N53°43'29"W	10.67'
C10	17.37'	175.00'	5°41'	N49°08'05"W	17.36'
C11	11.64'	175.00'	3°49'	N44°23'11"W	11.63'
C12	18.30'	175.00'	6°00'	N39°29'07"W	18.30'
C13	8.86'	175.00'	3°14'	N34°32'31"W	8.86'
C17	28.15'	175.00'	9°13'	N28°58'06"W	28.12'

CURVE TABLE

No.	Len.	Radius	Delta	Bearing	Chord
C18	8.10'	175.00'	2°39'	N21°02'01"W	8.10'
C19	10.97'	175.00'	3°35'	N17°54'46"W	10.96'
C20	15.00'	175.00'	4°55'	N13°39'46"W	14.99'
C21	37.18'	175.00'	12°10'	N9°07'17"W	37.11'
C22	74.10'	125.00'	37°58'	S19°21'41"E	73.02'
C23	18.42'	125.00'	8°27'	S36°33'51"E	18.40'
C24	8.25'	125.00'	3°47'	S42°40'33"E	8.25'
C25	31.31'	125.00'	14°21'	S51°44'35"E	31.23'
C26	3.99'	125.00'	1°50'	S50°50'04"E	3.99'
C27	36.42'	125.00'	16°41'	S80°05'43"E	36.28'
C28	158.40'	175.00'	51°52'	S51°30'38"E	153.06'
C29	29.92'	20.00'	85°42'	S68°25'55"E	27.20'



STERLING
ENGINEERING, INC.
CIVIL ENGINEERING
CONSULTING
LAND SURVEYING
LAND PLANNING

1020 WILLIAM BLOUNT DRIVE
MARYVILLE, TENNESSEE
37802 8401
P.O. BOX 4878
MARYVILLE, TENNESSEE
37802 4878
PHONE: 865-984-3905
FAX: 865-981-2815
www.sterling-us.com

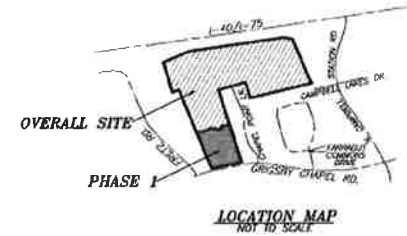
PHASE 1

FARRAGUT, TN

LAYOUT AND TRANSPORTATION

GRIGSBY PARK

GRIGSBY PARK, LLC



LEGEND:

- EXR EXISTING IRON ROD
- NR NEW IRON ROD
- A= ARC LENGTH
- R= RADIUS
- D= CENTRAL ANGLE (DELTA)
- B= CHORD BEARING
- C= CHORD LENGTH
- AC ACRES
- SF SQUARE FEET
- WDB WARRANTY DEED BOOK
- PG PAGE
- C= CENTERLINE
- P= POLE GUY ANCHOR
- OM= MANHOLE (EXISTING)
- OS= OVERFLOW STRUCTURE
- LP= LIGHT POLE (LP)
- PP= POWER POLE (PP)
- BL= BOUNDARY LINE
- GRIGSBY PARK PROJECT BOUNDARY
- ROAD RIGHT-OF-WAY LINE
- POWING LINE
- PARCEL LINE
- EASEMENT LINE
- BUILDING SETBACK LINE
- ROAD CENTERLINE
- EDGE OF GRAVEL/ROAD
- CONCRETE CURB
- PARKING/LANE STRIPES (EXISTING)
- CORRUGATED METAL PIPE (CMP)
- FENCE LINE
- BUTTER LINE
- ELECTRIC LINE (OVERHEAD)
- TW= TWIN POWER LINE
- PVC= PVC PIPE LINE
- SEWER LINE (EXISTING)
- SEWER LINE (DESIGN)
- WATER LINE (EXISTING)
- WATER LINE (DESIGN)
- RETAINING/HEAD WALL
- FLOODWAY LINE
- 100 YEAR FLOOD LINE
- LAKE/RIVER/CREEK LINE
- EXISTING INTERMEDIATE CONTOUR
- EXISTING INDEX CONTOUR

SEE DETAIL "C" ON SHEET CR.2 FOR STOP BAR AND CROSSWALK PAVEMENT MARKINGS

NOTES:

- There shall be no clearing, grading, construction, or disturbance of soil and/or native vegetation within the aquatic buffer except as permitted by the Town of Farragut.
- Front building setbacks shall be 20' from back of curb.
- Building footprints shown hereon represent 28' wide x 79' deep single-family attached units.
- All proposed dwellings as shown hereon will be sprinkler protected in accordance with NFPA and Town of Farragut requirements.
- Areas shown as common hereon will also function as community open spaces, all to be maintained by the Association.
- This development includes areas of "unimproved A zones" without base flood elevations defined. The elevations of all units shall be set no less than four (4) feet above the adjacent grade in these areas.

- COMMON AREA (2.292 Ac.)
- 50' AQUATIC BUFFER (0.302 Ac.)

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PHASE 1 ACREAGE: 4.636 Ac.
PHASE 1 COMMON/OPEN AREA: 2.594 Ac. (55.95%)
PHASE 1 ALLOWABLE DENSITY: 4.636/27= 27 UNITS
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TOTAL COMMON/OPEN AREA: 17.261 Ac. (69.39%)
ALLOWABLE DENSITY: 24.878/149= 166 UNITS
PROPOSED DENSITY: 59 UNITS

CHAPLAIN POINT
HOMESOWNERS ASSOCIATION INC.
WDB 8278 PG 978
TAX MAP 148C "D" PARCEL 6
PAR: R-4

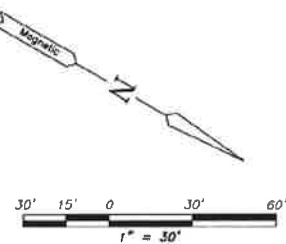
WESTSIDE UNITARIAN
UNIVERSALIST CHURCH
WDB 2151 PG 298
TAX MAP 142 PARCEL 11
PAR: R-1

GRIGSBY PARK DRIVE
(50' PUBLIC R/W)

TAX MAP 142
PARCEL 96.01

TAX MAP 142
PARCEL 96.00

GRIGSBY PARK DRIVE
TO BE EXTENDED FOR
FUTURE PHASE(S)



CIVIL ENGINEER

Sterling Engineering, Inc.
Darick Jones, PE
1020 William Blount Drive
Maryville, TN 37801
865-984-3905

LAND SURVEYOR

Sterling Engineering, Inc.
Christopher Rosser, RLS
1020 William Blount Drive
Maryville, TN 37801
865-984-3905

BUILDING DESIGN

Stephen Davis Home Designs, LLC
Stephen Davis
117 Huxley Road, Suite 3
Knoxville, TN 37922
865-694-1477

ENVIRONMENTAL/GEOTECHNICAL

GEOServices, LLC
Brian Williamson, PE
2581 Willow Point Way
Knoxville, TN 37931
865-539-8242

718 FRETZ ROAD/GRIGSBY CHAPEL ROAD
TOTAL PROPERTY ACREAGE: 32.157 Ac.

ZONED:

C-2 - REGIONAL COMMERCIAL (2.5 STORIES)
O-S-P - OPEN SPACE/PARK
R-4 - ATTACHED SINGLE-FAMILY RESIDENTIAL

CLIENT:

GRIGSBY PARK, LLC
TRAVIS FULLER
620 MABRY HOOD ROAD, SUITE 201
KNOXVILLE, TN 37932
865-806-0385

OWNERS:

LARRY & GARY ASHER, SALVADORE A. GAUDIANO &
RANDY C. EDMONSON
8874 KINGSTON PIKE, STE 200
KNOXVILLE, TN 37934
865-690-8967
DISTRICT FW, KNOX COUNTY
WDB 2165 PG 986
TAX MAP 130 PARCEL 115.01 (5.009 Ac)

DIVERSIFIED HOLDINGS, INC.

8874 KINGSTON PIKE, STE 200
KNOXVILLE, TN 37934
865-690-8967
WDB 2300 PG 302
TAX MAP 130 PARCEL 116.01 (15.965 Ac)
WDB 2165 PG 989
TAX MAP 142 PARCEL 96.01 (0.95 Ac)
WDB 2168 PG 541
TAX MAP 142 PARCEL 96.00 (1.48 Ac)

DATE	BY	REVISIONS
8/25/19	SDJ	Revised per Town of Farragut review
10/16/19	SDJ	Revised per Town of Farragut review
11/11/19	SDJ	Revised per Town of Farragut review



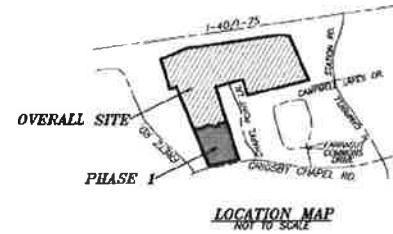
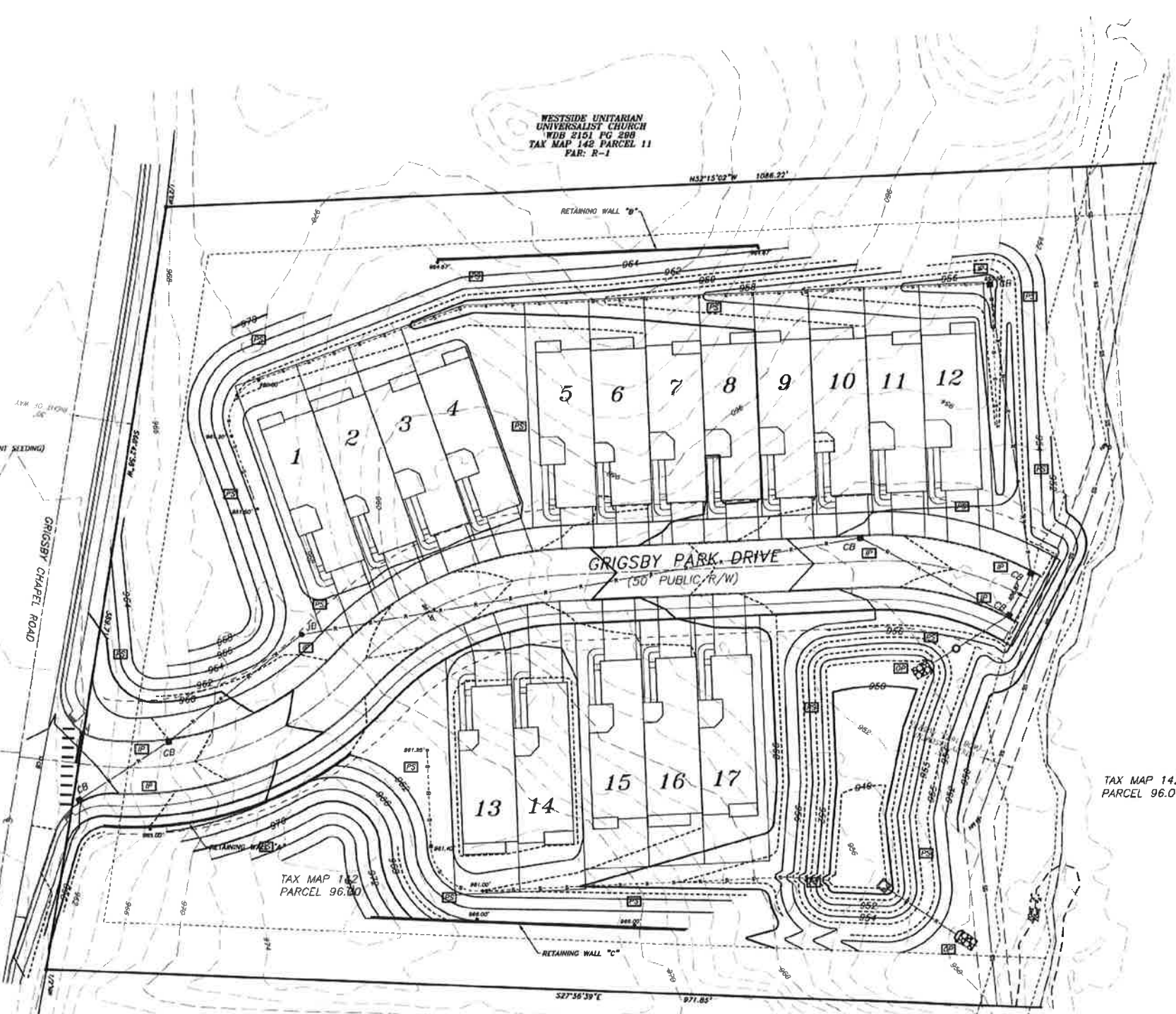
SHEET
CP.1

DESIGNED: **RDR**
DRAWN: **RDR**
CHECKED: **SDJ**
DATE: **6/17/19**
SCALE: **1" = 30'**
DRAWING:
6028A-CP.1
PROJECT NO:
SEI#6028A

LEGEND:

EXISTING IRON ROD
NEW IRON ROD
ARC LENGTH
RADIUS
CENTRAL ANGLE (DELTA)
CHORD BEARING
CHORD LENGTH
ACRES
SQUARE FEET
WARRANTY DEED BOOK
PAGE
CENTERLINE
POLE GUY ANCHOR
MANHOLE (EXISTING)
OVERFLOW STRUCTURE
LIGHT POLE (LP)
POWER POLE (PP)

BOUNDARY LINE
GRIGSBY PARK PROJECT BOUNDARY
ROAD RIGHT-OF-WAY LINE
ZONING LINE
PARCEL LINE
EASEMENT LINE
BUILDING SETBACK LINE
ROAD CENTERLINE
EDGE OF GRAVEL/ROAD
CONCRETE CURB
PAVING/LANE STRIPES (EXISTING)
CORRUGATED METAL PIPE (CMP)
FENCE LINE
BUFFER LINE
ELECTRIC LINE (OVERHEAD)
TVA POWER LINE
PVC PIPE LINE
SEWER LINE (EXISTING)
SEWER LINE (DESIGN)
WATER LINE (EXISTING)
WATER LINE (DESIGN)
RETAINING/HIGH WALL
FLOODWAY LINE
100 YEAR FLOOD LINE
LAKE/RIVER/CREEK LINE
EXISTING INTERMEDIATE CONTOUR
EXISTING INDEX CONTOUR
INLET PROTECTION
OUTLET PROTECTION
DISTURBED AREA STABILIZATION (PERMANENT SEEDING)



CIVIL ENGINEER

Sterling Engineering, Inc.
Darick Jones, PE
1020 William Blount Drive
Maryville, TN 37801
865-984-3905

LAND SURVEYOR

Sterling Engineering, Inc.
Christopher Rosser, RLS
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BUILDING DESIGN

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Stephen Davis
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Knoxville, TN 37922
865-694-4477

ENVIRONMENTAL/GEOTECHNICAL

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Brian Williamson, PE
2561 Willow Point Way
Knoxville, TN 37931
865-539-8242

718 FRETZ ROAD/GRIGSBY CHAPEL ROAD
TOTAL PROPERTY ACREAGE: 32.157 AC.

ZONED:

C-2 - REGIONAL COMMERCIAL (2.5 STORIES)
O-S-P - OPEN SPACE/PARK
R-4 - ATTACHED SINGLE-FAMILY RESIDENTIAL

CLIENT:

GRIGSBY PARK, LLC
TRAVIS FULLER
620 MABRY HOOD ROAD, SUITE 201
KNOXVILLE, TN 37932
865-806-0385

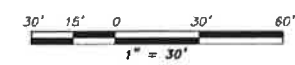
OWNERS:

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RANDY C. EDGEMON
8874 KINGSTON PIKE, STE 200
KNOXVILLE, TN 37934
865-690-8967

DISTRICT FW, KNOX COUNTY
WDB 2165 PG 965
TAX MAP 130 PARCEL 115.01 (5.009 AC)

DIVERSIFIED HOLDINGS, INC.
8874 KINGSTON PIKE, STE 200
KNOXVILLE, TN 37934
865-690-8967

WDB 2300 PG 502
TAX MAP 130 PARCEL 116.01 (15.965 AC)
WDB 2165 PG 969
TAX MAP 142 PARCEL 96.01 (9.95 AC)
WDB 2168 PG 541
TAX MAP 142 PARCEL 96.00 (1.48 AC)



SINCE 1979

STERLING
ENGINEERING, INC.

CIVIL ENGINEERING
CONSULTING
LAND SURVEYING
LAND PLANNING

1020 WILLIAM BLOUNT DRIVE
MARYVILLE, TENNESSEE
37802-9401
P.O. BOX 4878
MARYVILLE, TENNESSEE
37802-4878
PHONE: 865-984-3905
FAX: 865-981-2815
www.sterling-inc.com

PHASE 1

FINAL STRUCTURAL CONTROL PLAN

GRIGSBY PARK

GRIGSBY PARK, LLC

FARRAGUT, TN

DATE	BY	REVISIONS
8/24/19	SDJ	Revised per Town of Farragut review
10/16/19	SDJ	Revised per Town of Farragut review
11/11/19	SDJ	Revised per Town of Farragut review

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SHEET

CE.4

DESIGNED: **RDR**
DRAWN: **RDR**
CHECKED: **SDJ**
DATE: **6/17/19**
SCALE: **1" = 30'**
DRAWING: **6028A-CE**
PROJECT NO: **SEI#6028A**



20 WILLIAM BLOUNT DRIVE
MARYVILLE, TENNESSEE
37802-8401
P.O. BOX 4878
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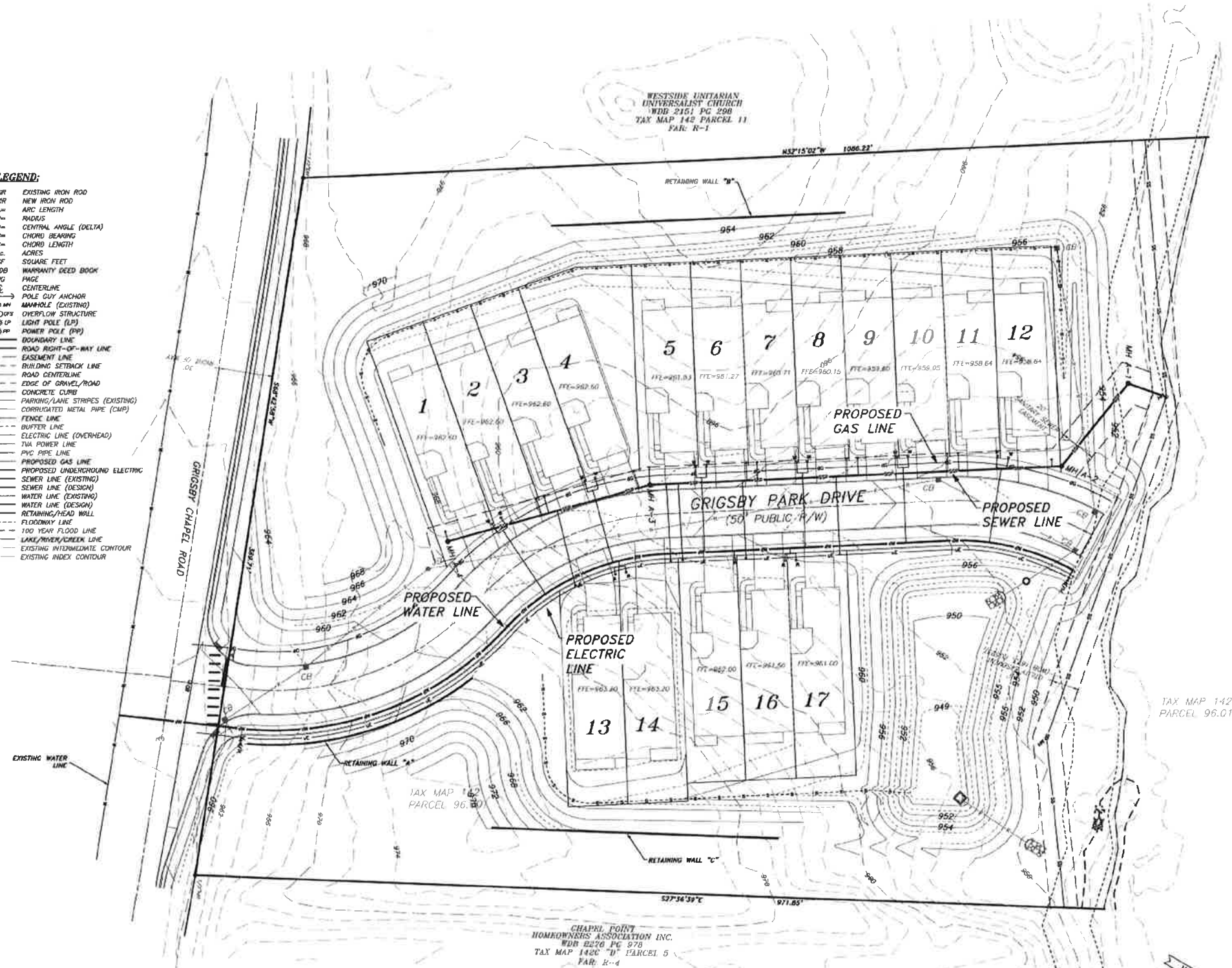
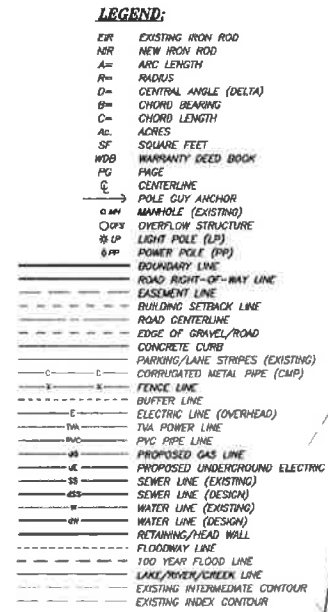
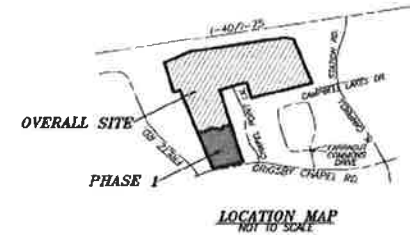
PHASE I

FARRAGUT, TN

GRIGSBY PARK
GRIGSBY PARK, LLC

[illegible]

SHEET	
CU	
DESIGNED:	RDR
DRAWN:	SDJ
CHECKED:	
DATE:	5/30/19
SCALE:	1" = 30'
TITLE:	
AWARDING:	6028A-CP
PROJECT NO:	SEI#6028A



NOTES:

2. A minimum 1" water meter outlet sizing shall be provided to facilitate fire protection installation.

CIVIL ENGINEER

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Derick Jones, PE
1020 William Blount Drive
Maryville, TN 37801
865-984-3905

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O:S-P - OPEN SPACE/PARK
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CLIENTS

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620 MABRY HOOD ROAD, SUITE 201
KNOXVILLE, TN 37932
865-806-0385

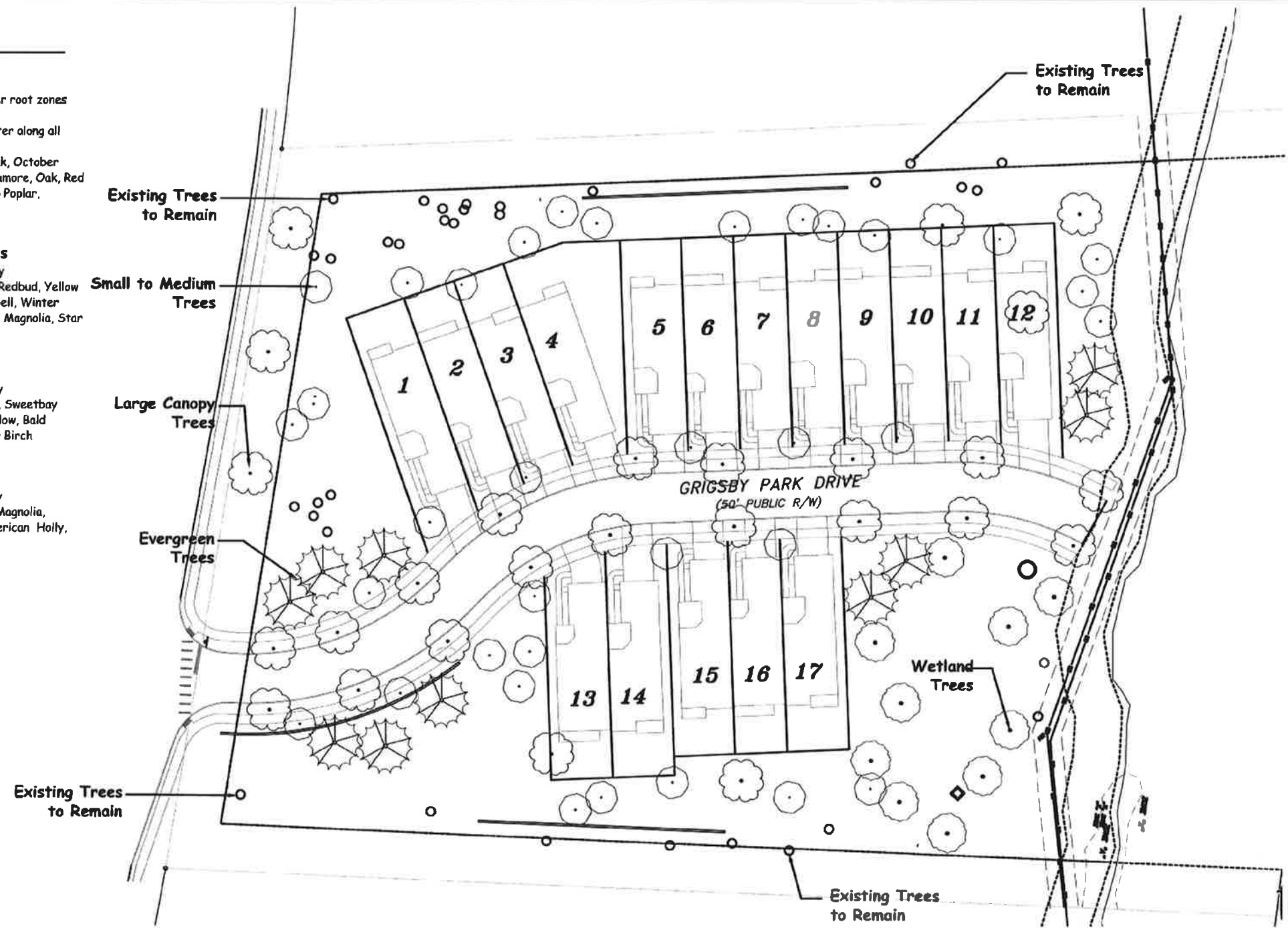
OWNERS:
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RANDY C. EDMONSON
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WDB 2165 PG 969
TAX MAP 142 PARCEL 96.01 (9.95 Ac)
WDB 2168 PG 541
TAX MAP 142 PARCEL 96.00 (1.48 Ac)

Legend

- Large Canopy Trees**
 - use in areas with larger root zones and canopy space
 - space 50' - 75' on center along all streets and alleys
 - May include Willow Oak, October Glory Maple, Elm, Sycamore, Oak, Red Maple, Blackgum, Tulip Poplar, Hornbeam, Ash
- Small to Medium Trees**
 - tree locations may vary
 - may include Dogwood, Redbud, Yellow Wood, Carolina Silverbell, Winter Kink Hawthorn, Saucer Magnolia, Star Magnolia
- Wetland Trees**
 - tree locations may vary
 - may include Sweetgum, Sweetbay Magnolia, Weeping Willow, Bald Cypress, PawPaw, River Birch
- Evergreen Trees**
 - tree locations may vary
 - may include Southern Magnolia, Canadian Hemlock, American Holly, Nellie R. Stevens Holly



Streets aping otes

Grigsby Chapel will provide visual enhancements throughout the neighborhood by planting trees. A mixture of species will be used to increase diversity, wildlife habitat, and seasonal color. Native trees will be preferred but not required. Final location, species, and size may vary based on the Tree Replacement Plan.

- Large canopy trees will be planted approximately 50' - 75' on center along all streets and alleys where there is adequate root zone and canopy space.
- Small to Medium shade and flowering trees will be used in front of buildings, between driveways, and in areas with limited root zone and canopy space.
- Evergreen trees will be placed where space allows and where aesthetically appropriate.

The long term goal for Grigsby Park will be to create a Level 1 arboretum along Grigsby Park Drive and Grigsby Chapel Greenway. The arboretum will include at least 30 species of trees, labeled, and approved by the TN Urban Forestry Council. Phase 1 should include at least 15-20 different tree species.

CIVIL ENGINEER
Sterling Engineering, Inc.
Dorick Jones, PE
1020 William Blount Drive
Maryville, TN 37801
865-884-3905

LANDSCAPE ARCHITECT
Beasley Landscape Architects
Patrik Beasley, PLA
2618 Maple Street
Knoxville, TN 37917
865-441-4428

LAND SURVEYOR
Sterling Engineering, Inc.
Christopher Rooser, RLS
1020 William Blount Drive
Maryville, TN 37801
865-884-3905

BUILDING DESIGN
Stephen Davis Home Designs, LLC
Stephen Davis
117 Hazley Road, Suite 3
Knoxville, TN 37922
865-894-4477

ENVIRONMENTAL/GEOTECHNICAL
GEOservices, LLC
Brian Williamson, PE
2561 Willow Point Way
Knoxville, TN 37931
865-536-6242

718 FRETZ ROAD/GRIGSBY CHAPEL ROAD
TOTAL PROPERTY ACREAGE: 32.187 Ac.

ZONING:
C-2 - REGIONAL COMMERCIAL (2.5 STORIES)
O-S-P - OPEN SPACE/PARK
R-4 - ATTACHED SINGLE-FAMILY RESIDENTIAL

CLIENT:
GRIGSBY PARK, LLC
TRAVIS FULLER
620 HARRY HOOD ROAD, SUITE 201
KNOXVILLE, TN 37932
865-808-0389

OWNERS:
LARRY & GARY ASHER, SALVATORE A. GAUDINO &
RANDY C. EDGEMON
8874 KINGSTON PIKE, STE 200
KNOXVILLE, TN 37934
865-890-8987
DISTRICT 17, KNOX COUNTY
WDB 2163 PG 899
TAX MAP 150 PARCEL 118.01 (5.000 Ac)

DIVERSIFIED HOLDINGS, INC.
8874 KINGSTON PIKE, STE 200
KNOXVILLE, TN 37934
865-890-8987
WDB 2300 PG 302
TAX MAP 150 PARCEL 118.01 (15.000 Ac)
WDB 2163 PG 899
TAX MAP 143 PARCEL 86.01 (8.95 Ac)
WDB 2168 PG 541
TAX MAP 143 PARCEL 86.00 (1.46 Ac)

STERLING
SINCE 1979
CIVIL ENGINEERING
CONSULTING
LAND SURVEYING
LAND PLANNING
1020 WILLIAM BLOUNT DRIVE
MARYVILLE, TENNESSEE
37802-8401
P.O. BOX 4878
MARYVILLE, TENNESSEE
37802-4878
PHONE: 865-984-3905
FAX: 865-981-2815
www.sterling-us.com

PHASE 1

STREETSCAPE PLAN

GRIGSBY PARK

GRIGSBY PARK, LLC

FARRAGUT, TN

REVISIONS	DATE	BY	DESCRIPTION
1	10-22	PB	tree to be added

Beasley
LANDSCAPE ARCHITECTS

Copyright 2019 Sterling Engineering, Inc.

SHEET

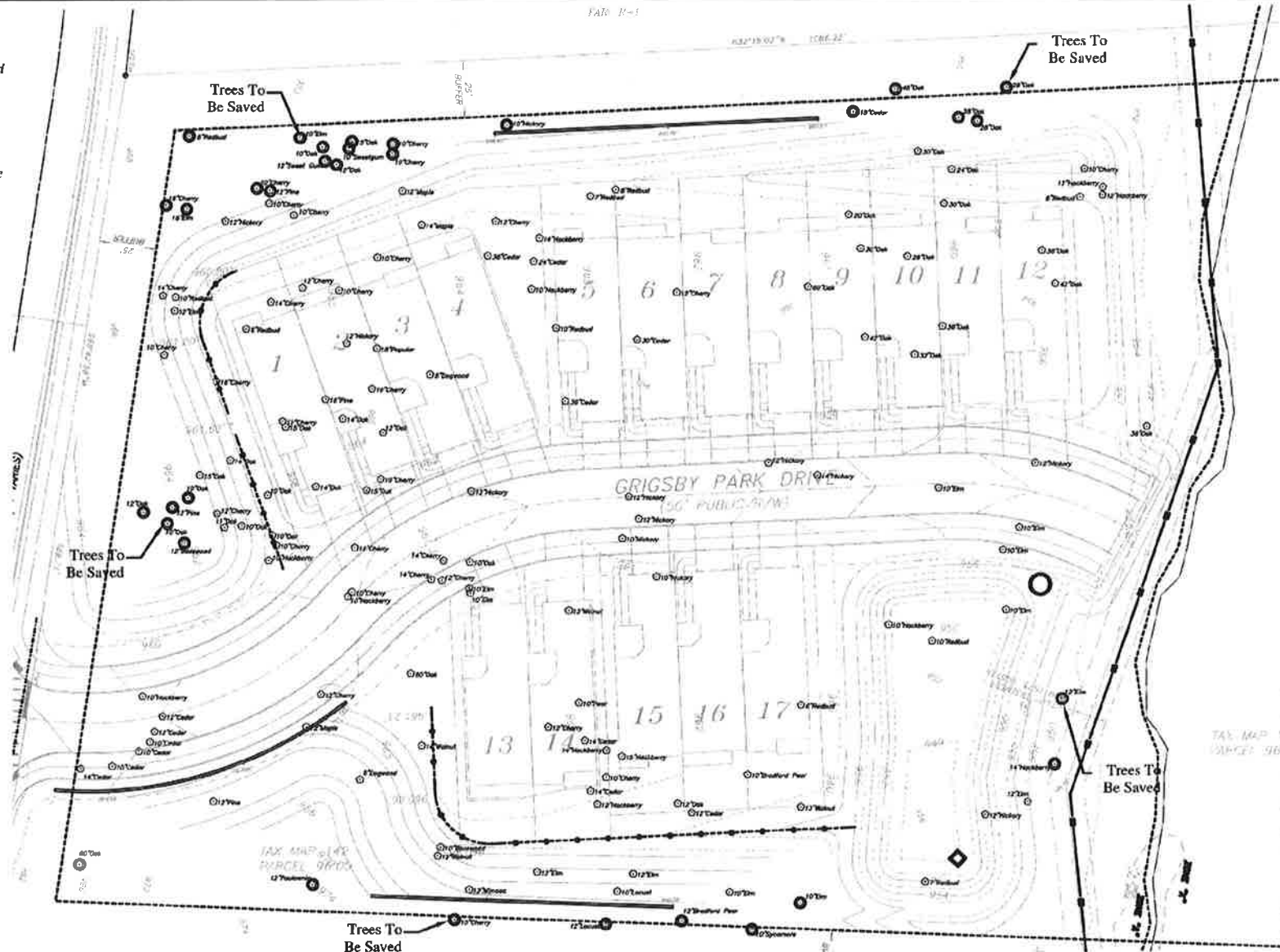
SS

DESIGNED	PB
DRAWN	PB
CHECKED	PB
DATE	9/16/19
SCALE	1" = 30'
DRAWING	
PROJECT NO.	SEI#6028A

Tree Inventory

Species	DBH	Species	DBH
Redbud	8"	Sweetgum	10"
Redbud	10"	Seetgum	12"
Redbud	6"	Cherry	10"
Redbud	6"	Cherry	10"
Redbud	10"	Cherry	10"
Redbud	7"	Cherry	10"
Redbud	8"	Cherry	10"
Redbud	6"	Cherry	10"
Redbud	10"	Cherry	16"
Redbud	7"	Cherry	14"
Dogwood	8"	Cherry	10"
Dogwood	6"	Cherry	16"
Elm	10"	Cherry	10"
Elm	16"	Cherry	12"
Elm	10"	Cherry	14"
Elm	10"	Cherry	10"
Elm	12"	Cherry	12"
Elm	12"	Cherry	12"
Elm	12"	Cherry	10"
Elm	10"	Cherry	10"
Elm	10"	Cherry	14"
Elm	10"	Cherry	14"
Elm	10"	Cherry	12"
Elm	10"	Cherry	10"
Elm	12	Cherry	12"
Elm	12	Cherry	10"
Sycamore	10"	Cherry	10"
Oak	10"	Cherry	12"
Oak	15"	Cherry	10"
Oak	12"	Cherry	12"
Oak	15"	Cherry	10"
Oak	14"	Pear	12"
Oak	12"	Pear	10"
Oak	10"	Pear	10"
Oak	14"	Maple	12"
Oak	15"	Maple	12"
Oak	10"	Maple	14"
Oak	14"	Hickory	12"
Oak	12"	Poplar	18"
Oak	10"	Basswood	12"
Oak	11"	Basswood	10"
Oak	10"	Hackberry	10"
Oak	10"	Hackberry	10"
Oak	15"	Hackberry	10"
Oak	10"	Hackberry	12"
Oak	60"	Hackberry	15"
Oak	12"	Hackberry	14"
Oak	48"	Hackberry	10"
Oak	28"	Hackberry	14"
Oak	28"	Hackberry	12"
Oak	28"	Hackberry	12"
Oak	60"	Hackberry	10"
Oak	30"	Hackberry	14"
Oak	30"	Paulownia	12"
Oak	24"	Mimosa	12"
Oak	20"	Locust	12"
Oak	30"	Locust	10"
Oak	28"	Pine	16"
Oak	60"	Pine	12"
Oak	42"	Pine	12"
Oak	36"	Pine	12"
Oak	32"	Cedar	36"
Oak	36"	Cedar	30"
Oak	42"	Cedar	24"
Oak	36"	Cedar	36"
Hickory	10"	Cedar	18"
Hickory	10"	Cedar	12"
Hickory	12"	Cedar	12"
Hickory	12"	Cedar	10"
Hickory	12"	Cedar	10"
Hickory	14	Cedar	10"
Hickory	12"	Cedar	14"
Hickory	12"	Cedar	12"
Hickory	10"	Cedar	14"
Hickory	12"	Cedar	14"
Hickory	12"	Cedar	14"
Hickory	12"	Cedar	14"
Walnut	14"		
Walnut	12"		
Walnut	13"		
Walnut	12"		

Note:
- only existing trees as described in Article 3, Section 113-60 are shown on this plan. Smaller caliper trees are not shown.
- trees listed in **bold and italics** in the Tree Inventory are trees that are proposed to be saved



Tree Replacement Schedule

Tree to be Removed

DBH of tree to be removed	qty.	number of replacement trees required
10" - 15" (includes 2 dogwood)	95	(2 replacements per tree removed) 190 trees
16" - 20" hardwood	2	(3 replacements per tree removed) 9 trees
16" - 20" evergreen	1	(1.5 replacements per tree removed) 1.5 trees
20"+ hardwood	14	(4 replacements per tree removed) 52 trees
20"+ evergreen	4	(2 replacements per tree removed) 8 trees
Dogwood/Redbud under 10", total = 54"		(1 tree per every 10") 5 trees

Total Replacement Trees Required = 265.5 Trees

Tree Credit Provision

DBH of tree to be saved	qty.	number of credits	number of credits
10" - 15" DBH Hardwood	23	(4 credits per tree saved) 92	
16" - 20" DBH Hardwood	2	(6 credits per tree saved) 12	
10" - 15" DBH Evergreen	2	(2 credits per tree saved) 4	
16" - 20" DBH Evergreen	1	(6 credits per tree saved) 6	
20"+ DBH	5	(8 credits per tree saved) 40	

Total Tree Credits = 146 Credits

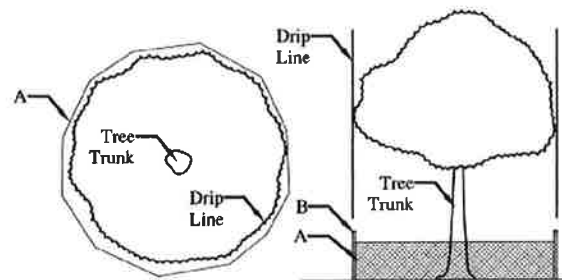
Tree Replacement/ Credit Summary

Required Replacement Trees	265.5
Saved Tree Credits	154
Total Required Trees =	111.5 Trees

Tree Protection Notes

1. Tree protection fencing shall be installed around trees to remain. Use 4 foot height, orange, plastic construction fencing fastened to metal post. Space post 8' on center. Install fencing minimum of one foot outside of drip line.
2. Contractor responsible for maintaining tree protection fencing throughout the construction process. Tree protection fencing shall remain undisturbed. Do not backfill, grade, or store any material or equipment within protected area.
3. Silt fencing, where applicable, shall be outside of tree fencing protection.
5. Where trees are to be removed, such trees shall be flagged and shall be felled away from, rather than into areas with existing trees to be preserved.

A = 4 foot height, orange, plastic construction fencing fastened to metal post.
B = Metal post.



Tree Protection Detail

CIVIL ENGINEER

Sterling Engineering, Inc.
Derrick Jones, PE
1020 William Blount Drive
Maryville, TN 37801
865-984-3905

LANDSCAPE ARCHITECT

Beasley Landscape Architects
Patrick Beasley, PLA
2616 Teale Street
Knoxville, TN 37917
865-441-4438

LAND SURVEYOR

Sterling Engineering, Inc.
Christopher Roesser, SLS
1020 William Blount Drive
Maryville, TN 37801
865-984-3905

BUILDING DESIGN

Stephen Davis Home Designs, LLC
Stephen Davis
117 Huxley Road, Suite 3
Knoxville, TN 37922
865-694-4477

ENVIRONMENTAL/GEOLOGICAL

GEOServices, LLC
Brian Williamson, PE
2561 Willow Point Way
Knoxville, TN 37931
865-535-8242

718 FRETZ ROAD/GRIGSBY CHAPEL ROAD
TOTAL PROPERTY ACRES: 32.157 Ac.

ZONED:

C-2 - REGIONAL COMMERCIAL (2.5 STORIES)
O-S-P - OPEN SPACE/PARK
R-4 - ATTACHED SINGLE-FAMILY RESIDENTIAL

CLIENT:

GRIGSBY PARK, LLC
TRAVIS FULLER
630 HARTWOOD ROAD, SUITE 201
KNOXVILLE, TN 37932
865-906-0385

OWNERS:

LARRY & GARY ASHER, SALVATORE A. GAUDIANO &
RANDY C. EDDENSON
8874 KIRSTON FINE, STE 200
KNOXVILLE, TN 37934
865-690-8967

DISTRICT FW, KNOX COUNTY
WDB 2165 PG 988
TAX MAP 130 PARCEL 118.01 (3.008 Ac)

DIVERSIFIED HOLDINGS, INC.
8874 KIRSTON FINE, STE 200
KNOXVILLE, TN 37934
865-690-8967
WDB 2300 PG 302
TAX MAP 130 PARCEL 118.01 (15.998 Ac)
WDB 2165 PG 988
TAX MAP 142 PARCEL 06.01 (0.06 Ac)
WDB 2168 PG 941
TAX MAP 142 PARCEL 06.00 (1.48 Ac)



STERLING

ENGINEERING, INC.

CIVIL ENGINEERING

CONSULTING

LAND SURVEYING

LAND PLANNING

1020 WILLIAM BLOUNT DRIVE
MARYVILLE, TENNESSEE
37802 8401
P.O. BOX 4878
MARYVILLE, TENNESSEE
37802 4878
PHONE: 865-984-3905
FAX: 865-981-2815
www.sterling-us.com

PHASE 1

TREE PRESERVATION AND REMOVAL PLAN

GRIGSBY PARK

FARRAGUT, TN

GRIGSBY PARK, LLC

REVISIONS	DATE	BY	DESCRIPTION
1	10/22/19	FB	Trees to be saved

Beasley

LANDSCAPE ARCHITECTS

© 2019 Beasley Landscape Architects, Inc.

SHEET

SS

DESIGNED: PB

DRAWN: PB

CHECKED: PB

DATE: 9/16/19

SCALE: 1" = 30'

DRAWING:

PROJECT NO:

SEI#6028A

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

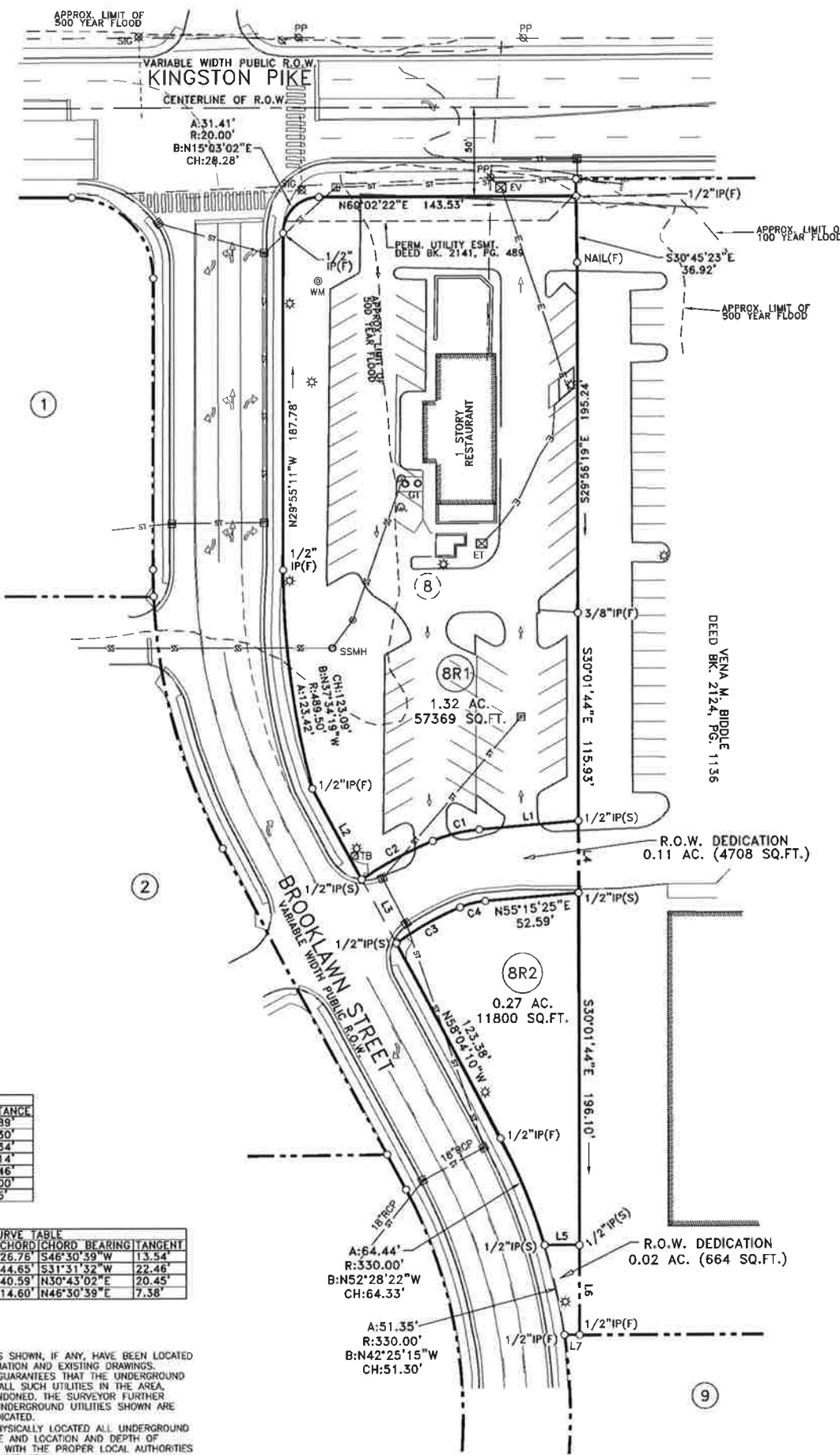
PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on a plat and site plan for parking lot and infrastructure improvements at 11242 Kingston Pike, .27 Acres (SITE, Incorporated, Applicant)

INTRODUCTION AND BACKGROUND: This item involves a site plan for a small permeable paver parking lot and bioretention area on the east side of Brooklawn Drive south of the Azul Tequila restaurant to facilitate parking needs in the immediate area. Also included under this agenda item is a minor right of way dedication to address some old title issues from previous development.

RECOMMENDATION: Included in your packet is a copy of the revised site plan and final plat related to this project. Given the minor nature of the request and the fact that the applicant has addressed the original staff comments, staff recommends approval.

GRID NORTH
NAD83(2011)



LINE TABLE			
LINE	BEARING	DISTANCE	
L1	S55°15'25"W	55.89'	
L2	N58°04'10"W	57.30'	
L3	N58°04'10"W	40.34'	
L4	S30°01'44"E	40.14'	
L5	S60°31'12"W	19.46'	
L6	S30°01'44"E	50.00'	
L7	S60°31'12"W	8.45'	

CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD	CHORD BEARING	TANGENT
C1	26.87'	88.00'	26.78'	S46°30'39"W	13.54'
C2	44.73'	205.40'	44.65'	S31°31'32"W	22.46'
C3	40.69'	165.40'	40.59'	N30°43'02"E	20.45'
C4	14.65'	48.00'	14.60'	N46°30'39"E	7.38'

NOTE:
THE UNDERGROUND UTILITIES SHOWN, IF ANY, HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED.
THE SURVEYOR HAS NOT PHYSICALLY LOCATED ALL UNDERGROUND UTILITIES. VERIFY EXACT SIZE AND LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES WITH THE PROPER LOCAL AUTHORITIES BEFORE EXCAVATION OR CONSTRUCTION.

This is to certify that all property taxes and assessments due on this property have been paid.

Signed: _____ Date: _____
Knox County Trustee

CERTIFICATE OF APPROVAL FOR RECORDING

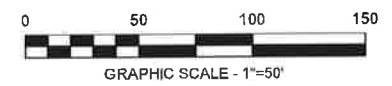
I hereby certify that the subdivision plat shown here has been found to comply with the Subdivision Regulations for Farragut, Tennessee, with the exception of such variances, if any, as are noted in the minutes of the Planning Commission and that it has been approved for recording in the Office of the County of Register of Deeds.

Secretary, Planning Commission Date

CERTIFICATE OF APPROVAL OF STREET NAMES

This is to certify that the subdivision shown hereon has been reviewed for compliance with the Knox County Uniform Street Naming & Addressing System Ordinance, and the road names are hereby approved for recording.

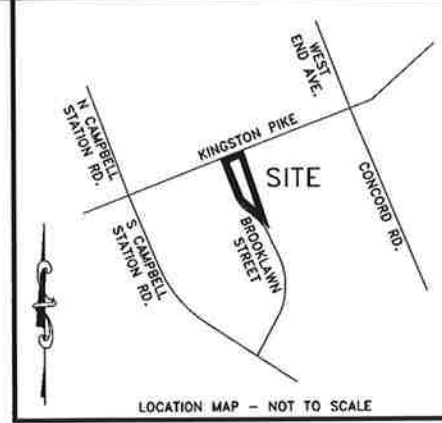
Knox County Addressing Division Date



- NOTES
- A FIVE (5) FOOT UTILITY, DRAINAGE AND CONSTRUCTION EASEMENT ON EACH SIDE OF INTERIOR LOT LINES, A TEN (10) FOOT UTILITY, DRAINAGE AND CONSTRUCTION EASEMENT ON INSIDE OF ROAD RIGHTS-OF-WAY AND EXTERIOR LOT LINES.
 - PROPERTY IS ZONED "PCD". MINIMUM BUILDING SETBACKS ARE TO CONFORM TO CURRENT REQUIREMENTS OF THE TOWN OF FARRAGUT ZONING ORDINANCE.
 - PROPERTY IS KNOWN AND DESIGNATED AS:
- TAX MAP 143, PARCEL 003.18
- DEED REFERENCE: INST. NO. 201006090076864
 - GRID NORTH IS BASED ON THE DDOT GNSS REFERENCE NETWORK.
 - THE PURPOSE OF THIS PLAT IS TO CREATE THE 2 LOTS AND DEDICATE THE PUBLIC RIGHT-OF-WAY AS SHOWN HEREON.
 - PER FLOOD INSURANCE RATE MAP (FIRM) 47093C0243G LAST REVISED AUGUST 5, 2013, THE PROPERTY IS LOCATED IN A SPECIAL FLOOD HAZARD ZONE.
 - 15' SANITARY SEWER EASEMENTS ALONG ALL SEWER LINES, 7.5' EACH SIDE OF CENTERLINE.
 - RESTRICTIVE COVENANTS ARE OF RECORD UNDER INST. NO. 200707060002192.

LEGEND OF SYMBOLS

- WM ⊗ WATER METER
- SSMH ○ SANITARY MANHOLE
- GT ○ GREASE TRAP
- CO ⊗ CLEAN OUT
- SEWER LINE
- ET ⊗ ELECTRIC TRANSFORMER
- PP ⊗ POWER POLE
- LP ⊗ LIGHT POLE
- SIG ⊗ SIGNAL POLE
- OVERHEAD UTILITY LINES
- UNDERGROUND UTILITY LINES
- ELECTRIC LINES
- ▢ CATCH BASIN
- ST — STORM DRAIN PIPE
- ▢ BUILDING
- IP(F) IRON PIN - OLD (FOUND)
- IP(S) IRON PIN - NEW (SET)
- PROPERTY LINE
- SURVEYED BEARING AND DISTANCE



THIS IS TO CERTIFY THAT THIS SURVEY MEETS THE MINIMUM STANDARDS FOR THE STATE OF TENNESSEE.

CERTIFICATE OF SURVEY ACCURACY

I hereby certify that the plan shown and described hereon is a true and correct survey to the accuracy required by the Farragut Municipal Planning Commission and that the monuments have been placed as shown hereon, to the specification of the Subdivision Regulations. This is a Category I Land Survey and the ratio of precision of the unadjusted survey is equal to or greater than 1:10,000.

Surveyor / No. 1301 Date
SURVEYOR:
HOWARD T. DAWSON, RLS 1301
SITE INCORPORATED
10215 TECHNOLOGY DR.
KNOXVILLE, TN 37932
PH: (865) 777-4160

CERTIFICATE OF OWNERSHIP AND DEDICATION

I (we) hereby certify that I am (we are) the owner(s) of the property shown and described hereon as evidenced in Book Number _____ page _____ County Registers Office, and that I (we) hereby adopt this plan of subdivision with my (our) free consent, establish the minimum building restriction lines, and dedicate all streets, alleys, walks, parks, and other open space to public or private use as noted.

Signature _____ Date _____
Signature _____ Date _____
OWNER:
MOSERBIDDLE CORP.
P.O. BOX 22102
KNOXVILLE, TN 37933

CERTIFICATE OF ELECTRIC, GAS & TELEPHONE AVAILABILITY

This is to certify that every lot within this subdivision has available to it a source for the service identified by signature(s) below which service source is adequate to accommodate the reasonable needs of such lot as to such service within such subdivision.

Date _____ GAS— Name, Title, and Agency of Authorized Approving Agent
Date _____ ELECTRIC— Name, Title, and Agency of Authorized Approving Agent
Date _____ TELEPHONE— Name, Title, and Agency of Authorized Approving Agent

CERTIFICATE OF WATER AND SEWER AVAILABILITY

I hereby certify that every lot within this subdivision will have available to it water and sewer service that is adequate to accommodate the reasonable needs of such lots.

Date _____ Name, Title, and Agency of Authorized Approving Agent

NOTE: DATA COLLECTION AND DRAFTING SERVICES PROVIDED BY SMOKY MOUNTAIN LAND SURVEYING CO., INC
SMLS DWG NO. 190076R

10215 Technology Drive, Suite 304
Knoxville, TN 37932
(865) 777-4160
www.site-incorporated.com

REGISTERED LAND SURVEYOR
KNOXVILLE, TN
TENNESSEE No. 1301

Final Plat of Resubdivision of Lot 8

Campbell Station Exchange

Kingston Pike and Brooklawn Street

Civil District No. 6 of Knox County, Tennessee

Town of Farragut

REVISIONS

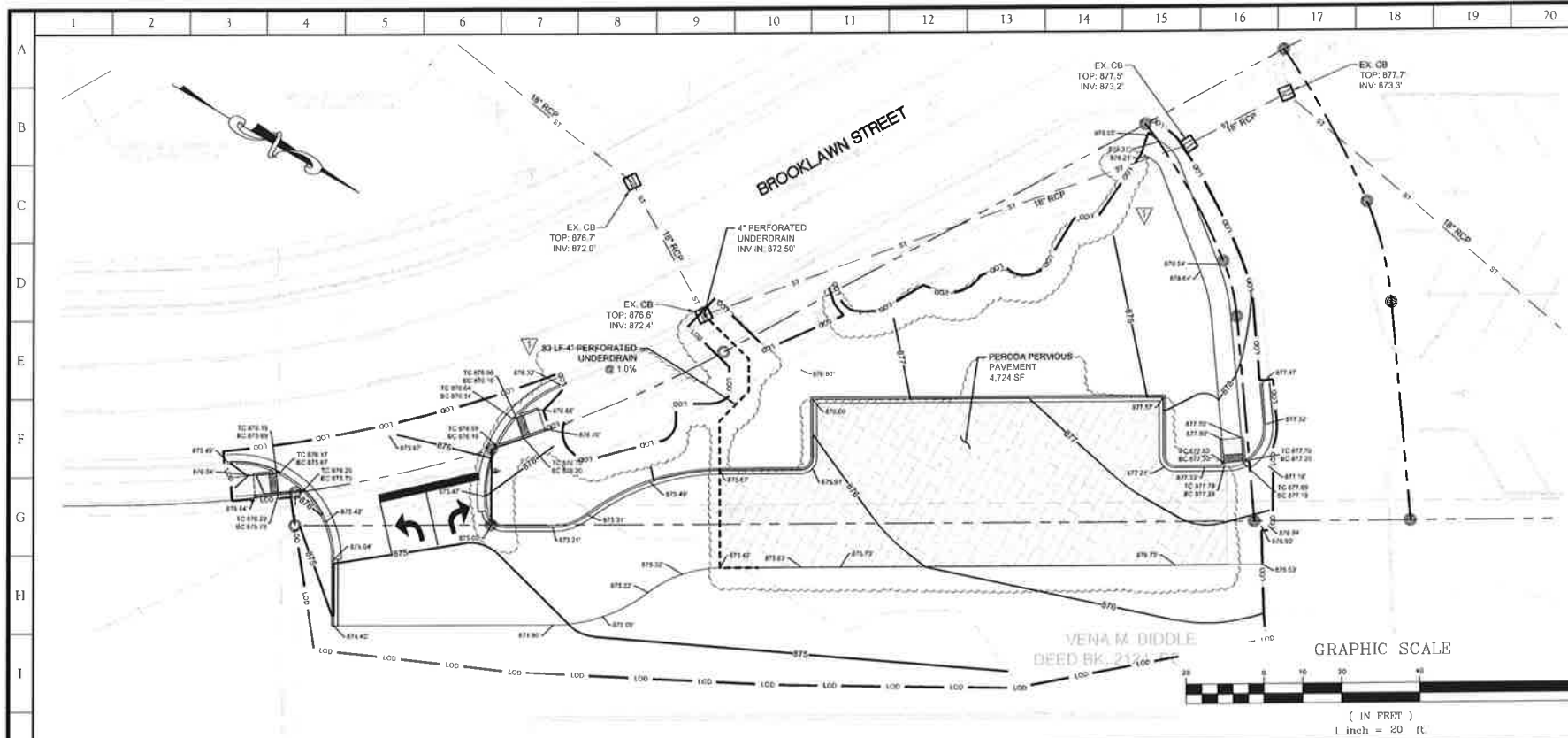
NO.	DATE	COMMENTS

ORIGINAL ISSUE: 11/09/2019

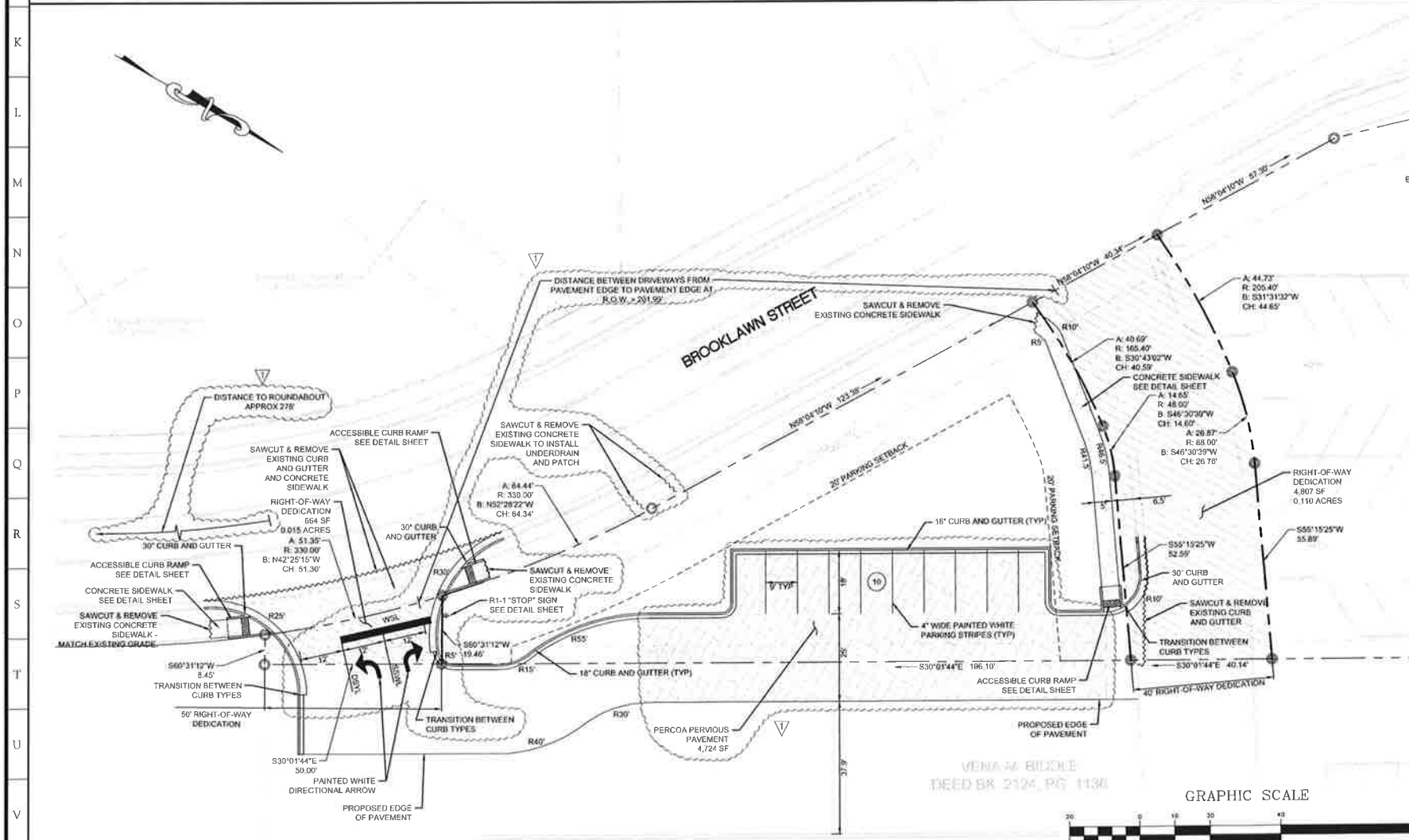
SITE PROJECT#: _____

FILE: 190076R

PLAT



SITE GRADING AND DRAINAGE PLAN



SITE LAYOUT PLAN



STRIPING LEGEND:
DSYL - 4" WIDE DOUBLE SOLID YELLOW LINE
WSL - 24" WIDE WHITE STOP LINE
SSWL - 4" WIDE SINGLE SOLID WHITE LINE

PAVING MATERIALS SCHEDULE			
STANDARD DUTY ASPHALT PAVING			
AGGREGATE BASE COURSE - LIFT 1"	3"	TDOT TYPE A, CLASS A, & GRADING D	
AGGREGATE BASE COURSE - LIFT 2"	3"	TDOT TYPE A, CLASS A, & GRADING D	
BITUMINOUS ASPHALT BASE MIX**	2"	TDOT GRADING BM / BM2	
BITUMINOUS ASPHALT SURFACE MIX**	1-1/2"	TDOT GRADING E	
HEAVY DUTY ASPHALT PAVING			
AGGREGATE BASE COURSE - LIFT 1"	4"	TDOT TYPE A, CLASS A, & GRADING D	
AGGREGATE BASE COURSE - LIFT 2"	4"	TDOT TYPE A, CLASS A, & GRADING D	
BITUMINOUS ASPHALT BASE MIX**	2-1/2"	TDOT GRADING BM / BM2	
BITUMINOUS ASPHALT SURFACE MIX**	1-1/2"	TDOT GRADING E	
PERCOA PERVIOUS PAVEMENT			
EX11 GEODIC BENEATH SUBBASE	12"		
EX2 STONE SUBBASE			
EX11 GEODIC BENEATH OPEN-GRADED BASE			
EX7 STONE OPEN-GRADED BASE	4"		
EX8, EX9 & EX10 AGGREGATE BEDDING COURSE	2"		
PERCOA PAVERS	6"		

PROPERTY DATA:
LOT AREA: 0.27 ACRES
ZONING: PCD - PLANNED COMMERCIAL DEVELOPMENT DISTRICT (TOWN OF FARRAGUT)
SETBACK REQUIREMENTS:
PARKING SETBACK ALONG RIGHTS-OF-WAY: 20'

REFER TO SHEETS C8.0
FOR SITE DETAILS
ALL WALKING FACILITIES (SIDEWALKS) MUST BE
COORDINATED WITH TOWN OF FARRAGUT STAFF
PRIOR TO CONSTRUCTION.

- SITE PLAN NOTES:**
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
 - ALL DISTURBED AREAS NOT BUILT NOR PAVED UPON ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH, AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
 - ALL DIMENSIONS AND RADII ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - EXISTING STRUCTURES WITHIN THE CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED, OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO ALL UTILITIES, STORM DRAINAGE, SIGNS, FENCING, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
 - SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION WAS TAKEN FROM A SURVEY BY SITE, INCORPORATED DATED 10/07/19.
 - THE SITEWORK FOR THIS PROJECT SHALL MEET OR EXCEED THE SITE WORK SPECIFICATIONS. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.

SITE PAVING NOTES
PAVING ELEVATION TOLERANCE
FINAL SUBGRADE SHALL BE INSPECTED BY PAVING CONTRACTOR FOR REQUIRED ELEVATION AND ADEQUATE COMPACTION BEFORE COMMENCING ANY PAVING ACTIVITY. PAVING ELEVATION SHALL NOT HAVE MORE THAN 1/4" DEVIATION IN ANY 10' INCREMENT.
PAVING THICKNESS TOLERANCE
PAVING THICKNESS AT ANY ONE CORNER SHALL NOT BE LESS THAN 90% OF SPECIFIED THICKNESS. THE AVERAGE OF ALL APPROVED TESTS MUST BE AT LEAST EQUAL TO THE SPECIFIED THICKNESS FOR EACH MATERIAL. NOT MORE THAN 20% OF ALL APPROVED TEST MAY FALL BELOW SPECIFIED MINIMUM. ANY AREA FOUND TO BE LESS THAN 90% SPECIFIED THICKNESS SHALL BE OVERLAIN WITH ASPHALT AS DIRECTED BY SITE, INC.
TESTING DURING PLACEMENT
GENERAL CONTRACTOR SHALL PERFORM SEVERAL SPOT CHECKS OF PAVING BASE THICKNESS PRIOR TO INSTALLATION OF ANY ASPHALT OR CONCRETE PAVING. DENSITY TESTS SHALL BE PERFORMED ON EACH LIFT AT THE RATE OF ONE TEST PER 10,000 SQUARE FEET.
CONTRACTOR SHALL PROVIDE FOR TESTING OF COMPLETED PAVING INSTALLATION FOR COMPLIANCE WITH DESIGN CRITERIA AND REQUIRED THICKNESS. CONTRACTOR SHALL REPLACE ALL NON-COMPLYING MATERIAL AT HIS OWN EXPENSE.

TESTING SHALL BE PERFORMED ONLY BY AN INDEPENDENT TESTING AGENT APPROVED BY SITE, INC. TEST HOLES NOT SPOTTED BY SITE, INC. MAY NOT BE CONSIDERED ACCEPTABLE.
ALLOW A MINIMUM OF SIXTEEN CORE TESTS TO BE LOCATED ONLY BY WRITTEN INSTRUCTION BY SITE, INC.
THE PAVING CONTRACTOR SHALL REPAIR ALL CORING HOLES BY FILLING HOLES WITH CONCRETE FLUSH TO TOP OF PAVEMENT.

ASPHALTIC PAVING MATERIALS
MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE SPECIFICATION OF THE HIGHWAY DEPARTMENT OF THE STATE IN WHICH THE PROJECT IS LOCATED. REFER TO PAVING MATERIALS LEGEND.
CONCRETE
CONCRETE CURBING SHALL BE 4000 PSI 28 DAY STRENGTH 2" - 3" SLUMP. (NO CURB DEFORMATION) 3% - 6% AIR ENTRAINMENT. INSTALL WITH RCP TACK COAT EMULSION OVER ASPHALT.

PROVIDE CYLINDER BREAK TEST: 3500 L.F. OF CURBING OR 1-DAY POUR WITH BREAKS: 1 @ 7-DAYS, 2 @ 14-DAYS. COMPLY WITH ASTM C-31 AND ASTM C-39. ALSO PROVIDE ONE SLUMP TEST PER 500 L.F. OF CURBING OR 1-DAY POUR.
PROVIDE EXPANSION JOINT @ 50' O.C. (MAX) AND CONTROL JOINTS @ 20' O.C. (MAX) AT ALL CONCRETE PAVING AREAS. REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.

PAVEMENT MARKING
PROVIDE PAVEMENT MARKING AS SHOWN ON THE DRAWINGS. STRIPING SHALL BE 4" WIDE OR AS NOTED OTHERWISE ON THE PLANS. ALL MARKINGS SHALL BE THERMOPLASTIC AND SHALL MEET THE TENNESSEE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, MARCH 1, 2009 (SECTION 918.23). CONTRACTOR SHALL REMOVE ALL EXISTING PAVEMENT MARKINGS THAT DO NOT CONFORM TO TDOT STANDARDS FOR MODIFIED INTERSECTION.
TEMPORARY PAVEMENT LINE MARKINGS ON INTERMEDIATE LAYERS OF PAVEMENT SHALL BE REFLECTIVE TAPE OR REFLECTORIZED PAINT INSTALLED TO PERMANENT STANDARDS BEFORE DARK HOURS. SHORT, UNMARKED SECTIONS SHALL NOT BE ALLOWED.
ALL MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE MUTCD AND TDOT

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EARTHWORK REQUIRED TO PREPARE THE UNCLASSIFIED SITE TO THE LINES AND GRADES AS SHOWN ON PLANS. THIS INCLUDES, BUT IS NOT LIMITED TO, ANY QUANTITY OF IMPORT OR EXPORT OF STRUCTURAL FILL AND/OR DISPOSAL OF UNSUITABLE MATERIAL, AS REQUIRED. ALL COSTS SHALL BE INCLUDED IN OVERALL BASE BID. ALL EXCAVATION SHALL BE CONSIDERED UNCLASSIFIED.

LEGEND	
---	EXISTING PROPERTY LINE
---	PROPOSED PROPERTY LINE
○	EXISTING PROPERTY LINE BENCHMARK
●	PROPOSED PROPERTY LINE BENCHMARK
---	EXISTING CURB AND GUTTER
---	PROPOSED CURB AND GUTTER
---	EXISTING UTILITY AND DRAINAGE EASEMENT
---	PARKING SETBACK LINE
---	SAWCUT LIMITS
---	EXISTING CONTOUR LINE
---	PROPOSED CONTOUR LINE
---	EXISTING STORM SEWER PIPE
---	LIMITS OF DISTURBANCE
---	PROPOSED 4" PERFORATED UNDERDRAIN
EX CB	EXISTING CATCH BASIN
PROPOSED	PROPOSED SPOT ELEVATION
PROPOSED	PROPOSED SPOT ELEVATION
PROPOSED	PROPOSED SPOT ELEVATION
---	PERCOA PERVIOUS PAVEMENT (SEE DETAIL SHEET)
---	CONCRETE SIDEWALK (SEE DETAIL SHEET)
---	RIGHT-OF-WAY DEDICATION AREA

STRIPING AND COMPACTION SCHEDULE
TOPSOIL STRIPPING DEPTH 3"-4" AVERAGE. DEEPER IF REQUIRED LOCALLY.
REQUIRED COMPACTION PERCENTAGES (% MAX DRY DENSITY)
STANDARD PROCTOR TEST METHOD ASTM TEST # D-698
PAVED AREA 98%
TESTING:
ALLOW 1 COMPACTION TEST PER EA 2500 S.F. (MAX 50' X 50' AREA) PER LIFT AT BUILDING AREAS
ALLOW 1 COMPACTION TEST PER EACH 10,000 S.F. OF CUT OR NATURAL GRADE AT BUILDING AREA
ALLOW 1 COMPACTION TEST PER EA 5500 S.F. (MAX 75' X 75' AREA) PER LIFT AT PARKING AREA
ALLOW 1 COMPACTION TEST PER EACH 40,000 S.F. OF CUT OR NATURAL GRADE AT PARKING AREA
MAXIMUM LOOSE LIFT THICKNESS SHALL BE 8", UNLESS NOTED OTHERWISE.

- SITE GRADING NOTES:**
- CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY. CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITY COMPANY AND PAY ALL FEES.
 - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. THE CONTRACTOR SHALL RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANIES AND PAY ALL FEES.
 - THE CONTRACTOR SHALL REPAIR AND/OR REPLACE ANY EXISTING STRUCTURES THAT ARE DAMAGED DURING, AND AS A RESULT OF, CONSTRUCTION. REPAIRS AND/OR REPLACEMENTS SHALL BE MADE AS NECESSARY TO RETURN THE DAMAGED STRUCTURE(S) TO ORIGINAL OR BETTER CONDITION. REPAIRS AND/OR REPLACEMENTS SHALL BE AT THE CONTRACTOR'S EXPENSE.
 - THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.E.S. PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
 - EXISTING AND PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT.
 - ALL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
 - ALL UNPAVED AREAS DISTURBED BY GRADING OPERATIONS SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL GRASS DISTURBED AREAS PER GRASSING SCHEDULE UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
 - CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
 - CONTRACTOR SHALL ADJUST AND/OR SAW CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
 - TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY BY SITE, INCORPORATED, DATED 10/07/19. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
 - CONTRACTOR SHALL INSPECT, REPAIR, AND CLEAN ALL EXISTING DRAINAGE STRUCTURES AND PIPING. ALL SEDIMENT AND DEBRIS SHALL BE REMOVED.
 - ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED.
 - ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6 INCHES ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER".
 - ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT TO INVERT OUT.
 - CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
 - HEADWALLS SHALL BE CONSTRUCTED AND/OR INSTALLED IMMEDIATELY FOLLOWING INSTALLATION OF PIPE TO MINIMIZE POSSIBLE PIPE DAMAGE AND FACILITATE FINAL GRADING.
 - RIP-RAP STONE FOR EROSION PROTECTION SHALL BE PROVIDED AT ALL STORMWATER DISCHARGE LOCATIONS.
 - WATER, SEWER, AND STORM LINES SHALL BE KEPT 10 FEET APART HORIZONTALLY AND 18 INCHES APART VERTICALLY WHEN CROSSING (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE), UNLESS NOTED OTHERWISE.
 - WHEN CROSSING, WATER LINES SHALL BE CONSTRUCTED ABOVE SEWER LINES AND STORM LINES, UNLESS A LACK OF DEPTH ABOVE THE SEWER OR STORM LINE NECESSITATES CONSTRUCTION OF WATER LINES BELOW SEWER LINES OR STORM LINES. IN THE EVENT OF A VERTICAL CONFLICT, THE FOLLOWING MODIFICATIONS MUST OCCUR:
SEWER LINES SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF THE CROSSING.
STORM LINES SHALL HAVE "O-RING" GASKETS WITH HUGGER BAND COUPLING AT LEAST 10 FEET ON BOTH SIDES OF THE CROSSING.
WATER LINES SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AND APPROPRIATE THRUST BLOCKING MEETING THE REQUIREMENTS OF ANSI 21.10 OR 21.11 (AWWA C-151) (CLASS 50).



Site Grading, Drainage, and Layout Plan
Parking Addition
11242 Kingston Pike
Farragut, Tennessee 37934
CLT Map 143, Parcel 3.18

REVISIONS

NO.	DATE	COMMENTS
1	11/11/19	Revised per Town of Farragut Comments

ORIGINAL ISSUE: 10/21/19
SITE PROJECT #: 1994
FILE: 1994 Grading
SHEET: 3 OF: 6

C3.0

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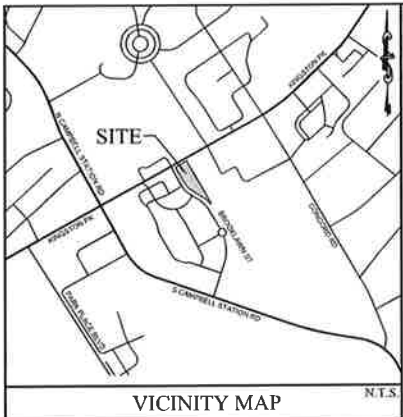
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10215 Technology Drive, Suite 304
Knoxville, TN 37932
(865) 777-4160
www.site-incorporated.com



DISTRICT: FW
CLT MAP: 143
PARCEL: 3.18
ZONE: PCD



PERMANENT GRASSING SCHEDULE

GRASS SEED SHALL BE AS FOLLOWS:
FEB-NOV: TALL FESCUE BLEND 8 LB/1000 SF
ANNUAL RYE 1 LB/1000 SF

SOD: TALL FESCUE BLEND

LIME: 10/10/10 150 LB/1000 SF
FERTILIZER: 20 LB/1000 SF
PHOSPHORUS: 20% SUPERPHOSPHATE 500-800 LB/ACRE

MULCH: STRAW (CRIMPED) EROSION CONTROL NET OR MULCH BINDER ON SLOPES 75 LB/1000 SF

MIN SEED MIN. MAX.
PURITY 90% 95% 0.1%
GERM 95% 90% 0.1%
WEED

TALL FESCUE: 30% 85% 0.1%
ANNUAL RYE: 95% 90% 0.1%

PLANTING SHALL BE COMPLETE ON ALL AREAS NOT RECEIVE PAVING OR BE BUILT UPON WITHIN 14 WORKING DAYS OF COMPLETION OF GRADING. AREAS STEEPER THAN 3H 1V SHALL BE PLANTED NOT LATER THAN 7 DAYS AFTER COMPLETION OF GRADING.

ALL LIME & FERTILIZER AMOUNTS SHOWN IN THE PHOSPHORUS SECTION ABOVE ARE MINIMUM AND SHALL BE VERIFIED AFTER SOIL ANALYSIS IS ACCOMPLISHED.

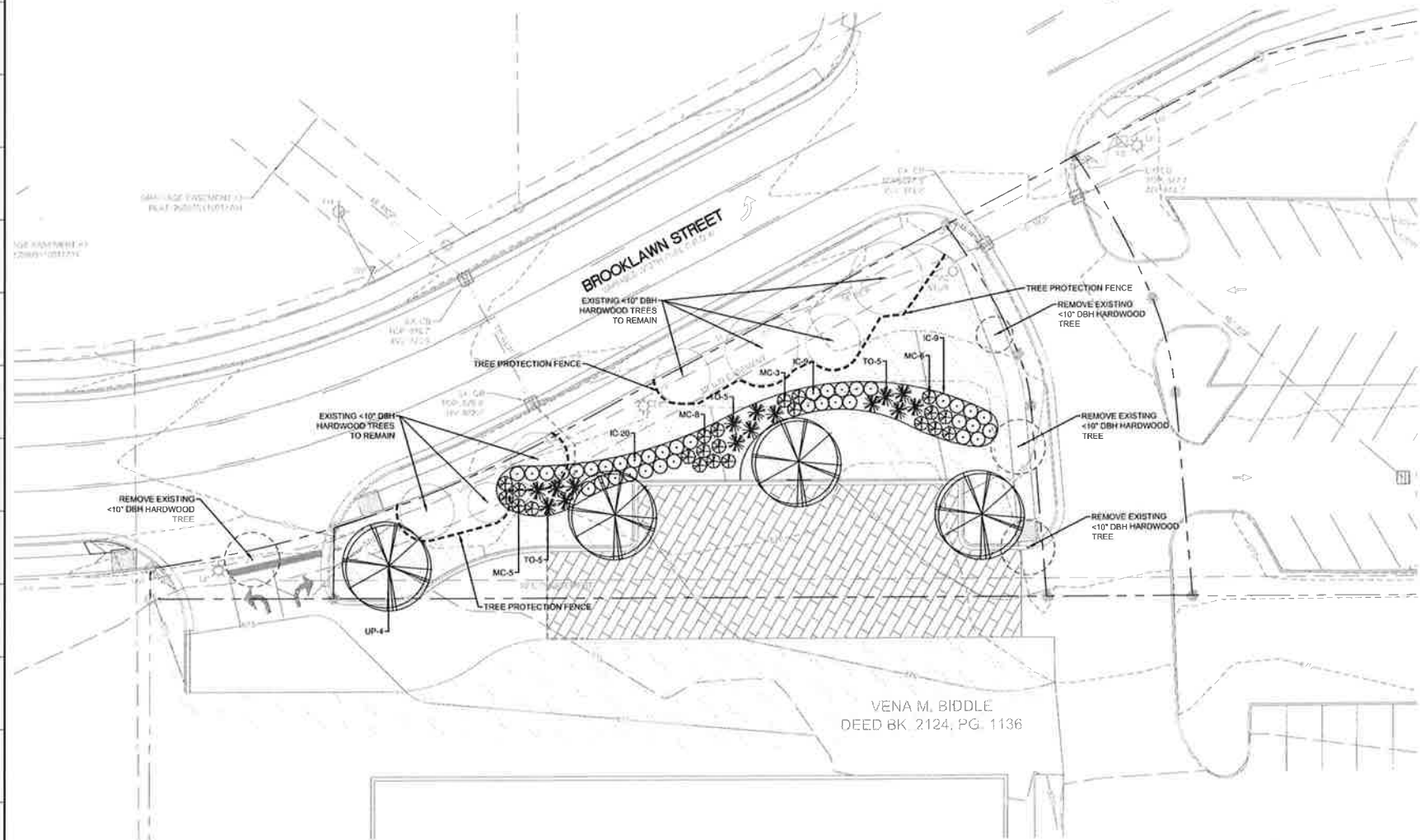
PLANT MATERIAL SCHEDULE

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	*SIZE, SPACING, & USE NOTES
	4	<i>Ulmus parvifolia</i> "Emer II" Allen	Allen Chinese Elm	2" CAL 12' HEIGHT 6' SPREAD SPACED AS SHOWN IN PLAN SHADE TREE
	38	<i>Ilex cornuta</i> "Carissa"	Carissa Chinese Holly	24" HEIGHT, 24" SPREAD SPACED AS SHOWN IN PLAN FRONT YARD
	22	<i>Muhlenbergia capillaris</i> "Lanza"	Regal Mist Pink Muhly Grass	18" HEIGHT, 24" SPREAD SPACED AS SHOWN IN PLAN FRONT YARD
	15	<i>Thuja occidentalis</i> "Smaragd"	Emerald Green Arborvitae	48" HEIGHT, 24" SPREAD SPACED AS SHOWN IN PLAN FRONT YARD

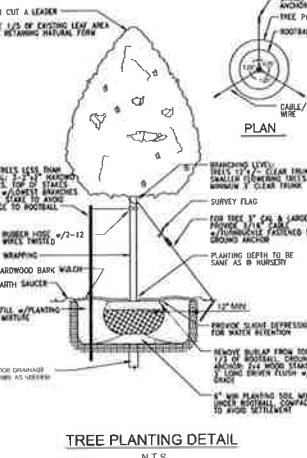
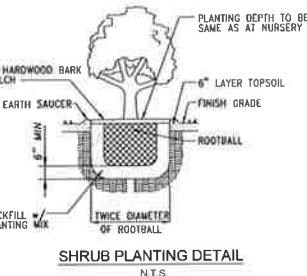
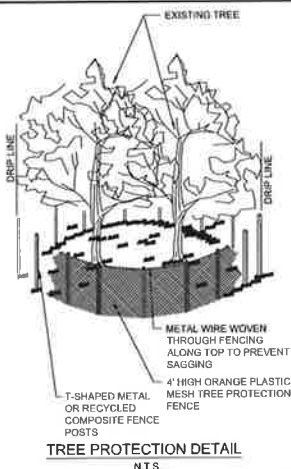
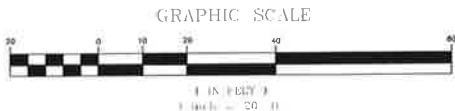
*TREE CALIPER SHALL BE MEASURED AT A POINT 6" ABOVE THE GROUND

SITE AND LANDSCAPE DATA		
TOTAL SITE AREA	0.271 ACRES	
TOTAL OPEN SPACE AREA	0.167 ACRES	
PERCENTAGE OPEN SPACE	61.6%	
LANDSCAPING REQUIREMENTS	REQUIRED	PROVIDED
SHADE TREE PLANTING		
1 TREE PER 2,500 SF OF PROPOSED IMPROVEMENTS		
AREA OF PROPOSED IMPROVEMENTS = 4,382 SF	1.75	4
FRONT YARD PLANTING PER PCD ZONE		
60% TOTAL PARKING LOT LENGTH ADJACENT TO THE FRONT PROPERTY LINE		
196 LF x 60%	116	137
TREE PRESERVATION		
NUMBER OF REPLACEMENT TREES REQUIRED	N/A	
NUMBER OF CREDIT TREES PROVIDED		N/A
TOTAL NUMBER OF TREES TO BE REPLACED	N/A	N/A

- LANDSCAPE NOTES:**
- ALL DISTURBED AREAS NOT TO BE PAVED OR BUILT UPON ARE TO RECEIVE A MINIMUM OF 4" OF TOPSOIL.
 - ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, AND FREE OF PESTS AND DISEASE.
 - ALL PLANT MATERIAL SHALL BE CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE PLANT LIST.
 - ALL TREES SHALL HAVE A STRAIGHT TRUNK AND FULL HEAD AND MEET ALL REQUIREMENTS SPECIFIED.
 - ALL MATERIALS ARE SUBJECT TO THE APPROVAL OF THE OWNER BEFORE, DURING, AND AFTER INSTALLATION.
 - ALL TREES MUST BE GUED OR STAKED AS SHOWN IN THE DETAILS.
 - ALL PLANTING AREAS SHALL BE COMPLETELY MULCHED AS SPECIFIED.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. LOCATIONS OF EXISTING BURIED UTILITIES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR 1.) TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA 2.) TO PROTECT ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD 3.) TO REPAIR ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE CONSTRUCTION.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY SCHEDULE AND PROTECTION BETWEEN DELIVERY AND PLANTING PER SPECIFICATIONS TO MAINTAIN HEALTHY PLANT CONDITIONS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR FULLY MAINTAINING (INCLUDING BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZING, ETC.) ALL OF THE PLANT MATERIALS AND LAWN UNTIL FINAL ACCEPTANCE OF WORK.
 - ANY PLANT MATERIAL WHICH IS DISEASED, DISTRESSED, DEAD, OR REJECTED (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE MEETING ALL PLANT LIST SPECIFICATIONS.
 - THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF 12 MONTHS AFTER SUBSTANTIAL COMPLETION AND ACCEPTANCE OF WORK. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS DURING THE NORMAL PLANTING SEASON.
 - AFTER BEING DUG AT THE NURSERY SOURCE, ALL TREES IN LEAF SHALL BE ACCLIMATED FOR TWO (2) WEEKS UNDER A MIST SYSTEM PRIOR TO INSTALLATION.
 - STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
 - WHERE SHOWN ON THE PLANS AND DETAILS, PLANTING BEDS ARE TO BE COMPLETELY COVERED WITH A HARDWOOD BARK MULCH FROM A LOCAL SOURCE HARVESTED IN A SUSTAINABLE MANNER TO A MINIMUM DEPTH OF THREE INCHES.
 - REFER TO PROJECT SPECIFICATIONS FOR INFORMATION NEEDED FOR IMPLEMENTATION OF PLANTING PLANS.
 - WEED MAT IS REQUIRED IN MULCHED LANDSCAPED BEDS AS SPECIFIED.
 - ALL PLANT MATERIAL QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN.
 - THIS PLAN IS TO BE IMPLEMENTED COOPERATIVELY WITH SWPPP PLAN, AS NEEDED, TO MAXIMIZE THE EFFECTIVENESS OF THE SWPPP PLAN FOR THIS SITE.
 - THE CONTRACTOR IS ENCOURAGED TO COMPLETE TEMPORARY OR PERMANENT SEEDING OR SODDING IN STAGES FOR SOIL STABILIZATION AS AREAS ARE COMPLETED AFTER GRADING.
 - THIS PLAN DOES NOT PRESENT ANY TEMPORARY STABILIZATION REQUIRED AS PART OF SWPPP PLAN.
 - THE CONTRACTOR SHALL MEET ALL OF THE REQUIREMENTS OF THE TOWN OF FARRAGUT LANDSCAPING ORDINANCE REGARDING THIS PROJECT.
 - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAKE ANY AND ALL REQUIRED SUBMITTALS TO THE TOWN OF FARRAGUT.
 - THIS LANDSCAPE PLAN REFLECTS AND IS CONSISTENT WITH THE REMAINING PLAN SHEETS ASSOCIATED WITH THIS PROJECT.
 - HVAC UNITS WILL BE LOCATED ON TOP OF BUILDING AND WILL BE SCREENED PER TOWN OF FARRAGUT REQUIREMENTS.
 - BASED ON AVAILABLE INFORMATION, PROPOSED PLANT MATERIALS WILL NOT INTERFERE WITH ANY EXISTING OR PROPOSED UTILITIES.
 - THE SUBJECT PROPERTY IS ZONED PCD.
 - THERE ARE NO SLOPES STEEPER THAN 3:1 ON THIS SITE.



VENA M. BIDDLE
DEED BK 2124, PG. 1136



Landscape Plan

Parking Addition
11242 Kingston Pike
Farragut, Tennessee 37934
CLT Map 143, Parcel 3.18

REVISIONS

NO.	DATE	COMMENTS
1	11/11/19	Revised per Town of Farragut Comments

ORIGINAL ISSUE: 10/21/19

SITE PROJECT #: 1994

FILE: 1994 Landscape

SHEET: 4 OF 6

C6.0

MEETING DATE: November 21, 2019

AGENDA ITEM #10

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on a resolution affirming that the reuse of the property at 817 Virtue Road for residential purposes is in keeping with the CLUP

This item has been withdrawn.