



WORKSHOP SESSION
December 19, 2019
6:00 p.m. Farragut Town Hall

- 1. Review analysis of public input provided at McFee Road Corridor (south of McFee Park) Public Workshop held on October 3, 2019 and discuss CLUP Steering Committee Recommendation based on the input provided**

AGENDA
FARRAGUT MUNICIPAL PLANNING COMMISSION

December 19, 2019
7:00 p.m. Farragut Town Hall

For questions please e-mail Mark Shipley at mshipley@townoffarragut.org or Bart Hose at bhose@townoffarragut.org

- 1. Citizen Forum**
- 2. Approval of agenda**
- 3. Approval of minutes – November 21, 2019**
- 4. Discussion and public hearing on a gas system improvement project for KUB in the Concord Hills Subdivision (KUB, Applicant)**
- 5. Discussion and public hearing on a site plan for the Ivey Farms Clubhouse off Road B in the Ivey Farm Subdivision, 52.3 Acres, Zoned R-1/OSR (SITE, Incorporated, Applicant)**
- 6. Discussion and public hearing on a site plan for an addition to the Farragut Christian Church at 138 Admiral Road, 5.1 Acres, Zoned R-1 and FPD (Johnson Architecture, Applicant)**
- 7. Discussion and public hearing on a final plat for Brookmere Phase II, 13.57 Acres, 39 Houselots and 1 Open Space Lot, Zoned R-1/OSR and FPD (Ryan Lynch, Applicant)**
- 8. Discussion and public hearing on a request for approval for an MCI Metro Fiber Installation project along portions of Admiral Road, Campbell Lakes Drive, N. and S. Campbell Station Road, Everett Road, Fretz Road, Grigsby Chapel Road, Herron Road, Kingston Pike, Municipal Center Drive, Parkside Drive, Sonja Drive, Station**

West Drive, Union Road, Virtue Road, West End Avenue, West Point Drive, N. Watt Road, and Woodland Trace Drive (Mastec, Applicant)

- 9. Discussion and public hearing on amendments to Article II. B. Concept Plan 1. n.; Article II. C. Preliminary Plat 6. q.; and Article III. A. Streets 18., to clarify when a waiver may be considered in relation to vehicular and pedestrian connectivity (Town of Farragut, Applicant)**

10. Approval of utilities

Planning Commission Meeting Public Comment Protocol

The Planning Commission welcomes and invites citizens to participate in public meetings.

At the beginning of each meeting, there will be time reserved for public comment under the Citizen Forum agenda item. If you are interested in speaking, please fill out a blue comment card and turn it in to the Town Planner or staff member. This time is set aside specifically for comments on items that are not on the Planning Commission regular agenda for the meeting. Each speaker will be given five (5) minutes to speak on his/her topic.

During the regular agenda portion of the meeting there may be an allowance for public comment for each agenda item. The Chairman may recognize individuals for public comment based on the following guidelines:

1. The Chairman shall maintain and control the meeting to provide a professional and objective environment conducive to presentation and discussion of the agenda items;
2. Anyone interested in speaking should fill out a blue comment card stating which agenda item they would like to comment on and turn in to the Town Planner or a staff member;
3. Speakers shall come to the podium and identify themselves by name and address;
4. Public comment shall be limited to five (5) minutes per individual, time may be extended at the discretion of the Chairman; time is not transferable to other speakers;
5. Speakers should strive to avoid redundancy;
6. Comments shall address issues, not individuals or personalities;
7. Comments may support or oppose particular issues or measures, but the motives of those with differing views shall not be questioned or attacked;
8. Personal attacks and malicious comments shall not be tolerated;
9. An applicant, and/or their representative(s), for an item on the regular agenda shall be afforded the time necessary to present their request and respond to questions. The five (5) minute limitation shall not apply. However, the Chairman may ask an applicant to stay on point in order to facilitate the efficiency of the meeting.



**MINUTES
FARRAGUT MUNICIPAL PLANNING COMMISSION**

November 21, 2019

MEMBERS PRESENT

Rita Holladay, Chairman
Ed St. Clair, Vice-Chairman
Ron Williams, Mayor
Louise Povlin
Scott Russ
Betty Dick
Jon Greene
Noah Myers
Melanie Cionfola, Youth Representative

MEMBERS ABSENT

Rose Ann Kile

Staff Representatives: Mark Shipley, Assistant Community Development Director
David Smoak, Town Administrator

Chairman Holladay called the meeting to order at 7 p.m.

1. Citizen Forum

Two residents spoke regarding Pecos Road and its planned connection to the Ivey Farm Subdivision being developed on the property immediately to the east. Chairman Holladay complemented the Town on the holiday decorations at Founders Park.

2. Approval of agenda

Staff noted that Agenda Items 7 and 10 had been withdrawn and recommended that they be removed from the agenda.

A motion was made by Commissioner St. Clair to follow staffs' recommendation. Motion was seconded by Commissioner Povlin and motion passed unanimously.

3. Approval of minutes – October 17, 2019

Staff recommended approval.

A motion was made by Commissioner Povlin to follow staffs' recommendation. Motion was seconded by Commissioner Myers and motion passed unanimously.

4. Discussion and public hearing on a request for a residential driveway access onto Boyd Station Road for the property at 1024 McFee Road (Lisa and Robert Gibson, Applicant)

Staff recommended approval subject to the request also being approved by the Board of Mayor and Alderman and the applicant obtaining a right of way permit from the Town. The applicant is responsible for installing any necessary storm sewer and for paving (at a minimum) the right of way portion of the driveway.

A motion was made by Commissioner Povlin to follow staffs' recommendation. Motion was seconded by Mayor Williams and motion passed unanimously.

5. Discussion and public hearing on a request for a residential driveway access onto Everett Road for a proposed dwelling unit at 750 Everett Road (Jill Bagga, Applicant)

Staff recommended approval subject to the request also being approved by the Board of Mayor and Alderman and the applicant obtaining a right of way permit from the Town. The applicant is responsible for installing any necessary storm sewer and for paving (at a minimum) the right of way portion of the driveway.

A motion was made by Commissioner St. Clair to follow staffs' recommendation. Motion was seconded by Commissioner Myers and motion passed unanimously.

6. Discussion and public hearing on a final plat for the Mary E. Smith property, Parcel 79, Tax Map 142, 17.82 Acres, 2 Lots, Zoned R-2 (LeMay and Associates, Applicant)

Staff noted that the applicant has requested a variance from the Subdivision Regulations to not construct a pedestrian facility along the Boring Road frontage due to the minor nature of the subdivision and the amount of frontage along which the pedestrian facility would be constructed. Staff recommended approval of the variance for the reasons noted by the applicant but explained that this would only apply to the subdivision being requested at this time.

A motion was made by Commissioner Povlin to follow staffs' recommendation. Motion was seconded by Mayor Williams and motion passed unanimously.

Staff recommended approval of the plat subject to the following comments being satisfactorily addressed as verified in writing by the Town staff:

- 1) Please correct Note #'s 3, 8, and 9 as they each have incorrect or non-applicable information;
- 2) Please ensure that the symbols in the legend are legible; and
- 3) Please add a plat note that any new access for Lot 2 will be required to line up with the access into Baldwin Park.

Planning commissioners discussed the provision of pedestrian facilities should Lot 1 be further subdivided. Commissioners Myers moved to approve the plat with the staffs' subjects to's and with the addition of a plat note being added to indicate that further subdivision of Lot 1 may require pedestrian facilities to be constructed along the Boring Road frontage. Commissioner St. Clair seconded the motion and the motion passed unanimously.

7. Discussion and public hearing on an amendment to the walking trail easement associated with the preliminary plat for the Campbell Crossing Subdivision, 1107 N. Campbell Station Road, 10.17 Acres, 22 Lots (LeMay and Associates, Applicant)

This item was withdrawn at the request of the applicant.

8. Discussion and public hearing on a preliminary plat for Grigsby Park, Phase I, Parcel 96 and a portion of Parcel 96.01, Tax Map 142, 4.636 Acres, 17 units, Zoned R-4 and FPD (Grigsby Park, LLC, Applicant)

Staff reviewed this item and noted that the remaining comments were as follows (staff noted that most of these were administrative but an updated streetscape and tree preservation plan was lacking in the resubmittal – these missing plan sheets could result in some relatively minor changes to the design):

- 1) Please add a dimension from proposed street curb to the nearest portion of the proposed building envelope;
- 2) Please add a dimension for the proposed right of way for Grigsby Park Drive;
- 3) Please add the Floodplain District (FPD) overlay to the listed zoning for the property;
- 4) An arborist review will be required for trees that could be saved with the implementation to certain measures recommended by the arborist. This includes the 60-inch oak tree shown to be removed near the proposed Lot 13;
- 5) How is the existing catch basin at Grigsby Chapel Road being addressed in relation to this project?
- 6) The Streetscape Plan and the Tree Preservation Removal Plan have not been updated to address previous staff comments and/or modifications that have been made to the design based on input provided during the staff/developer meeting;
- 7) Please clarify Note #2 to indicate that the front building setback shall be at least 20 feet from the back of curb. Please add a dimension for all driveway lengths to either the back of curb or sidewalk as applicable. This will need to demonstrate that at least 19 feet of driveway (the depth of a required parking space) is provided so that vehicles parked on the driveways have enough space to not block the sidewalk;
- 8) Please label the dashed line that depicts the 10-foot drainage and utility easement abutting the right of way;
- 9) Prior to final plat approval for Phase 1 a landscape plan must be prepared and approved for streetscape trees and buffer, detention, and replacement trees;
- 10) As a condition of preliminary plat approval, a completion letter of credit will be required to ensure that the trail damage, damage to the Unitarian Church property, and unapproved tree removal that occurred during the land disturbance activities is addressed. Staff will provide a dollar amount to cover any work that has not been completed to address these items;
- 11) Please coordinate with the Fire Marshal as to whether a temporary turn around is needed at the end of this phase;
- 12) Why is the sanitary sewer easement shown on the Utility Sheet not coordinated with the easement width called for in the other plat notes?
- 13) As part of the needed update to the Streetscape Plan, please ensure that tree selection and placement is coordinated with all proposed utilities.

After a discussion a motion was made by Commissioner Povlin to approve the preliminary plat subject to addressing the 13 conditions noted by staff. Motion was seconded by Commissioner St. Clair and motion passed unanimously.

9. Discussion and public hearing on a plat and site plan for parking lot and infrastructure improvements at 11242 Kingston Pike, .27 Acres (SITE, Incorporated, Applicant)

Staff noted that three separate actions would be needed in relation to this agenda item. First, staff noted that a variance is requested from the Subdivision Regulations to lessen the right of way width on the northern access from 50 to 40 feet. Staff recommended approval of the variance due to the minor nature of this plat.

A motion was made by Commissioner Povlin to follow the staffs' recommendation. Motion was seconded by Commissioner St. Clair and motion passed unanimously.

Staff then recommended approval of the site plan as submitted for the parking lot and associated work and improvements.

A motion was made by Commissioner St. Clair to follow staffs' recommendation. Motion was seconded by Commissioner Russ and motion passed unanimously.

And, staff recommended approval of the final plat subject to the following comment being satisfactorily addressed as verified in writing by the Town staff:

- 1) A note is needed on the plat that Lot 8R2 is too small for a building.

A motion was made by Commissioner Povlin to follow staffs' recommendation. Motion was seconded by Mayor Williams and motion passed unanimously.

10. Discussion and public hearing on a resolution affirming that the reuse of the property at 817 Virtue Road for residential purposes is in keeping with the CLUP
Withdrawn.

11. Approval of utilities

None.

The meeting was adjourned at 8:25.

Rose Ann Kile, Secretary

FARRAGUT MUNICIPAL PLANNING COMMISSION - WORKSHOP

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Review analysis of public input provided at McFee Road Corridor (south of McFee Park) Public Workshop held on October 3, 2019 and discuss CLUP Steering Committee Recommendation based on the input provided

INTRODUCTION AND BACKGROUND: The purpose of this workshop item is to summarize public comments and general preferences that were provided at the October 3, 2019 workshop associated with the vision for the area around the southern roundabout (across from McFee Park) off McFee Road.

DISCUSSION: Due to its significant undeveloped land and the location of the largest Town park, a priority area that was identified by the CLUP Steering Committee was the McFee Road corridor from Evans and Allen Kirby Road south to the Town limits. The October 3 workshop was designed to solicit input on what the land use vision would be for this area. Visual preference boards showing 4 different land use themes were provided along with work maps for people to review and make comments.

Images shown on the visual preference boards were ranked from -3 to 3 (least favorable to most favorable) and addressed residential type, building placement type, building size and scale, and land use type. In general, the comments were mostly supportive of the status quo indicative of the current development in the general area. There was a desire for retaining open spaces, enhancing the greenway system, single-family residential development, and avoiding commercial and multi-family development.

RECOMMENDATION: Though this is a workshop item only, the CLUP Steering Committee met on November 20, 2019 to review the public input. The Committee felt that the input was clear and that additional workshops would not likely render a different result. Consequently, the Committee recommended that the future land use map be amended in the area east of the roundabout where Mixed Use Neighborhood and Medium Density Residential are currently shown. In its place, the land use that the Committee would recommend to the Planning Commission is Open Space Cluster Residential. This land use is the predominant land use in the Southwest Quadrant and is most closely associated with the Open Space Residential Overlay (OSR) and Open Space Mixed Residential Overlay (OSMR) Zoning Districts. Some developments in the general area that are zoned either OSR and/or OSMR include the Cottages at Pryse Farm, Brass Lantern, Bridgemore, and Sheffield.

Should there be a general agreement with the Committee's recommendation concerning the future land use map, some amendments to the text of the CLUP will also be needed and will be presented along with the amendments to the future land use map when this is taken to the Planning Commission. Staff envisions that this will likely be on the January 16, 2020 Planning Commission agenda.

Residential Types



Image 1



Image 2



Image 3



Image 4



Image 5



Image 6



Image 7



Image 8

Building Placement



Image 1



Image 2



Image 3



Image 4



Image 5



Image 6



Image 7



Image 8

Building Size & Scale



Image 1



Image 2



Image 3



Image 4



Image 5



Image 6



Image 7



Image 8

Land Use



Image 1



Image 2



Image 3



Image 4



Image 5



Image 6



Image 7



Image 8

General Comments Written on the Maps at the Workshop

NOTE: Comments are grouped by quadrants with the McFee Road roundabout in front of McFee Park being the center point for quadrant descriptions (repeat items are also noted where they occur)

Northeast Quadrant

Complete Evans Road Greenway - 3 times

Need turn Lanes at Brass Lantern and Cottages at Pryse Farm

-McFee Park Roundabout

Add Yield to Pedestrian sign -3 times

-Evans Rd across the street from The Farm at Willow Creek

Maintain low density residential

Maintain for large estates and farms, single family homes

Southeast Quadrant

-Behind Lingenfelter and SE of Cottages at Pryse Farm

No Commercial Development

No Retail - 2 times

Leave "As Is" - 9 times

Too much density/ Traffic - 2 times

No mixed use or medium use

Nature Preserve - 2 times

Open space park/ Greenways - 4 times

Family community (single)

Northwest Quadrant

Speed bump in front of McFee Park

Cross walk needed in front of Brass Lantern

-At entrance to McFee Manor

Roundabout good idea

No roundabout

-Between Brass Lantern and McFee Park

No Amphitheater – 2 times

Aquatic center

Southwest Quadrant

- South of McFee Park roundabout

Open Space

City buys for greenspace parks

Leave as a Park, more trails tennis courts - 2 times

Another access road to relieve McFee Rd (South of Somerset Farms)

-South of McFee Park roundabout Across the Street from Lingenfelter property

See Vickery Development Cumming, GA

Open space closer residential – 2 times

Farragut Aquatic Center

Leave as a park, outdoor activities greenways

Please add “deer crossing” sign and speed bumps

-South McFee at Boyd Station

Leave as a park, outdoor activities

Nature Preserve

Residential – single family larger lots

General Comments

What is this? – referring to black line on map in Cottages at Pryse Farm

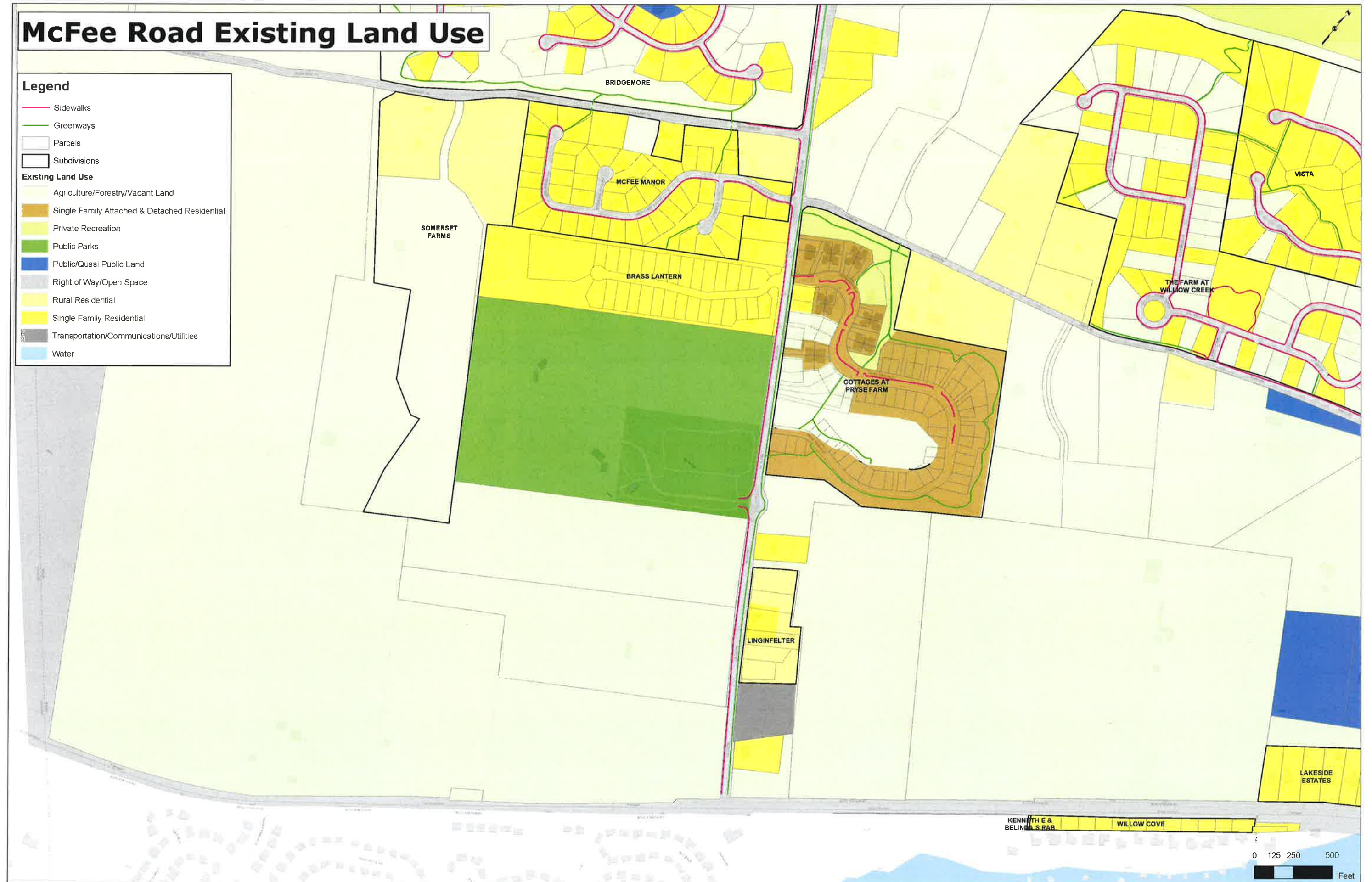
Not conducive to traffic, already train tunnel – Boyd Station

“Issues – 1. McFee Rd can’t handle much increased traffic 2. Speeding/ Racing on McFee Rd. 3. Any commercial development means large trucks on McFee.”

McFee Road Existing Land Use

Legend

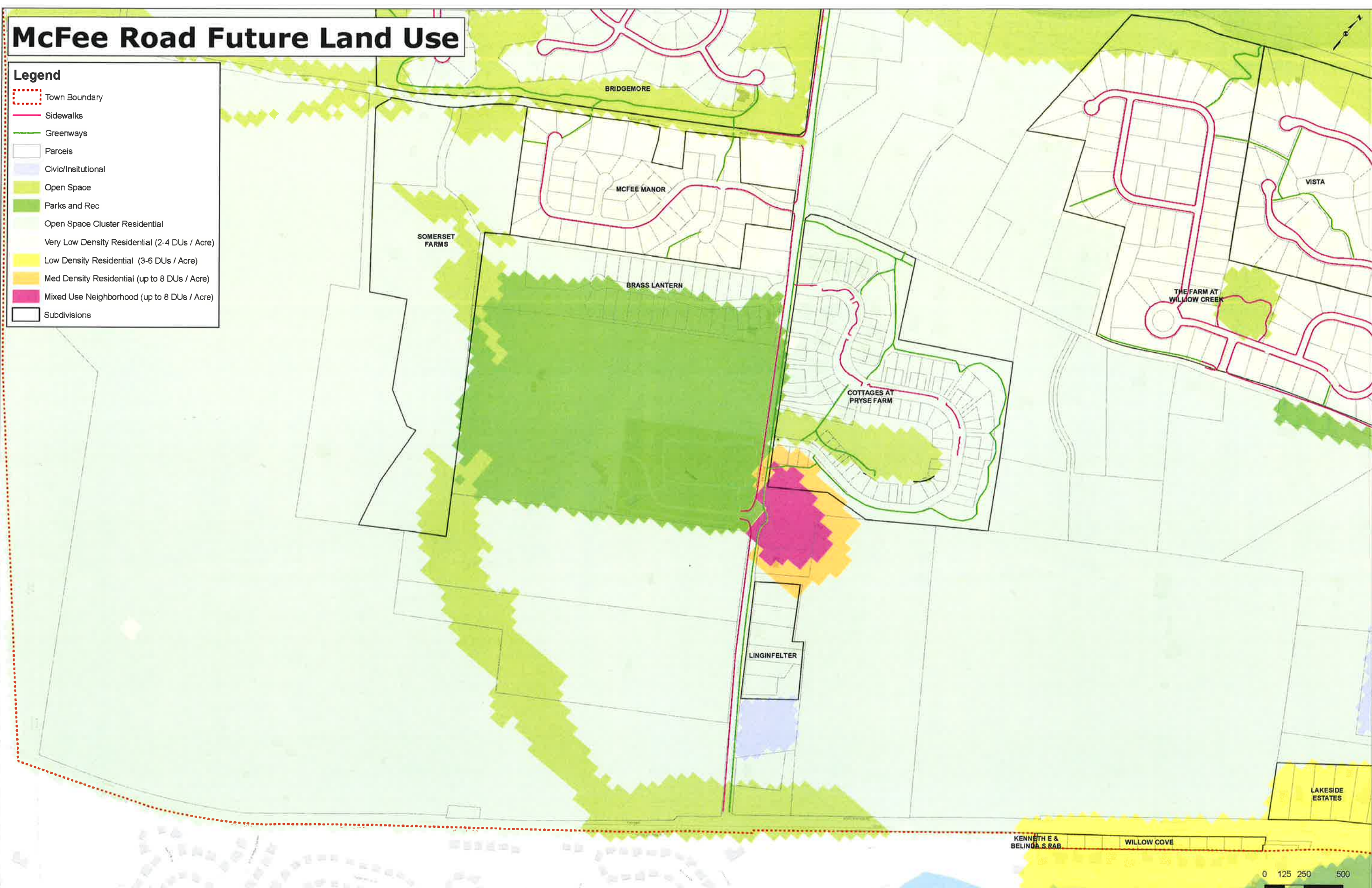
- Sidewalks
- Greenways
- Parcels
- Subdivisions
- Existing Land Use**
 - Agriculture/Forestry/Vacant Land
 - Single Family Attached & Detached Residential
 - Private Recreation
 - Public Parks
 - Public/Quasi Public Land
 - Right of Way/Open Space
 - Rural Residential
 - Single Family Residential
 - Transportation/Communications/Utilities
 - Water



McFee Road Future Land Use

Legend

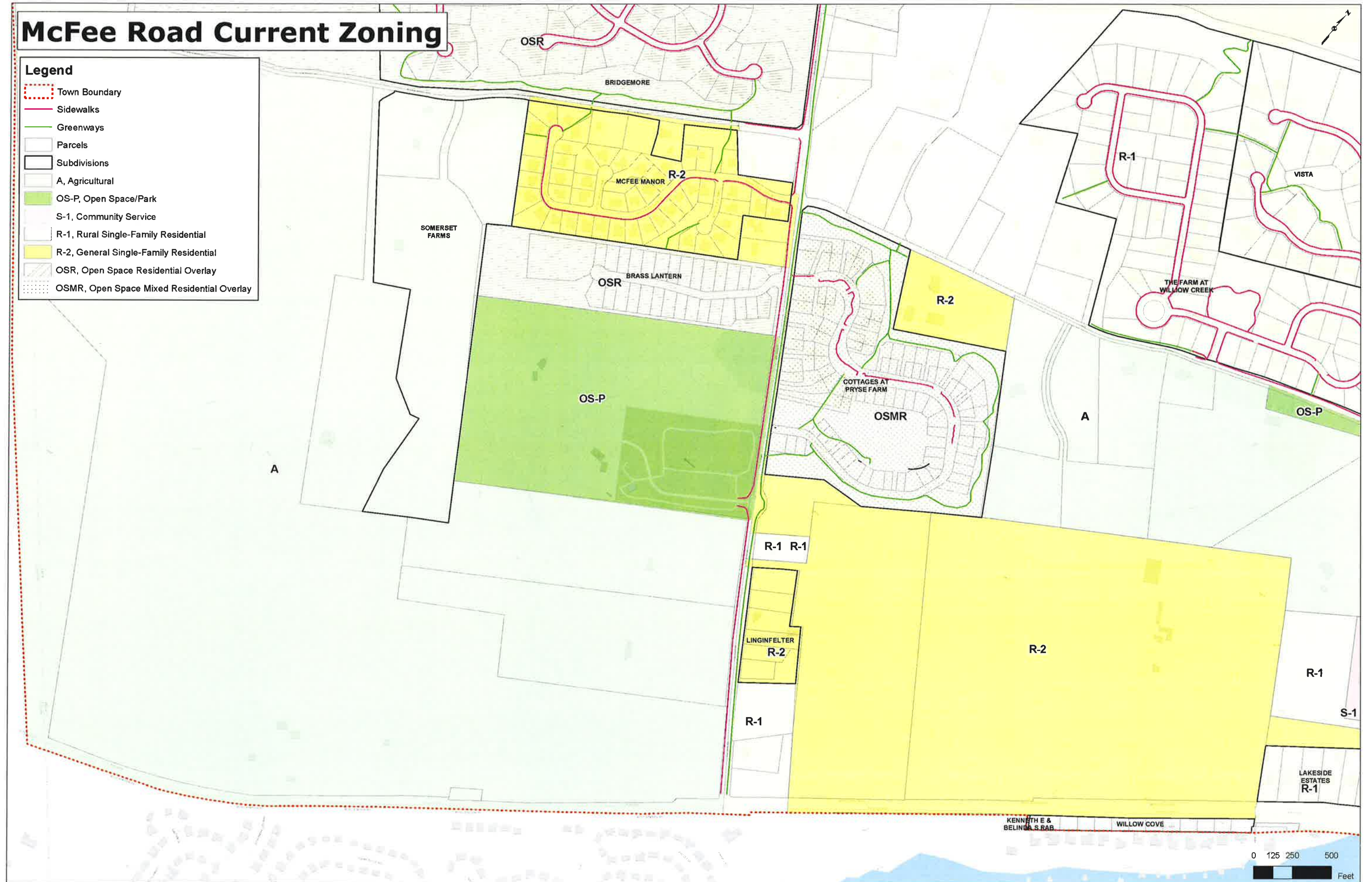
Town Boundary

Sidewalks

McFee Road Current Zoning

Legend

- Town Boundary
- Sidewalks
- Greenways
- Parcels
- Subdivisions
- A, Agricultural
- OS-P, Open Space/Park
- S-1, Community Service
- R-1, Rural Single-Family Residential
- R-2, General Single-Family Residential
- OSR, Open Space Residential Overlay
- OSMR, Open Space Mixed Residential Overlay



REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on a gas system improvement project for KUB in the Concord Hills Subdivision (KUB, Applicant)

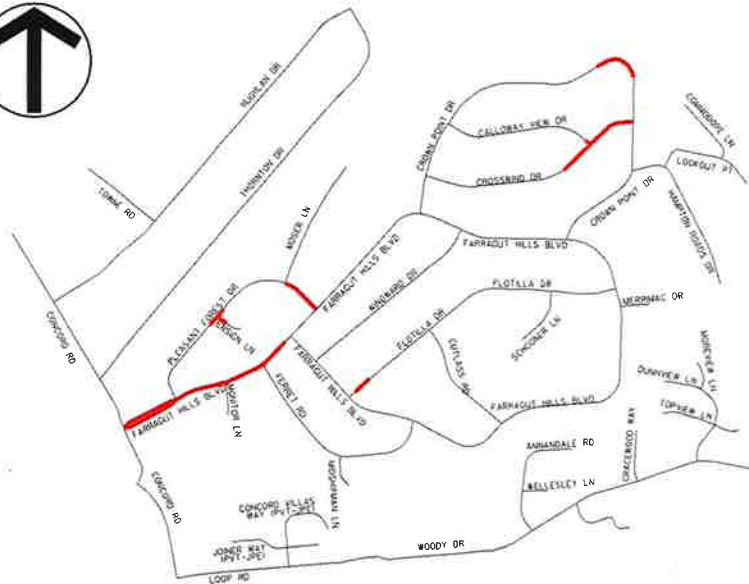
INTRODUCTION AND BACKGROUND: As shown in the attached maps, this KUB project will consist of replacing roughly 1,400 linear feet of existing steel gas main with new 2-inch plastic gas mains and the installation of an additional 2,400 linear feet of new plastic gas main. The new gas main installation will be to tie-in multiple areas of the Concord Hills Subdivision to improve reliability. Where possible, all pipe will be installed via directional bore and all work, including traffic control, will be coordinated with the Town's engineering department. KUB will be doing the work rather than a subcontractor.

All customers in the project area will receive a Notification Postcard in the mail from KUB prior to the work commencing. In addition, the 15 customers whose services will be replaced will receive an additional notification approximately 3 days before the service work is to occur. The project is currently scheduled to begin in the first week of February.

RECOMMENDATION: Staff recommends approval subject to the following:

- 1) Please obtain a grading and right of way permit from the Town and use directional boring to the greatest extent possible. Silt and tree fencing must be installed and then inspected and approved by the Town staff;
- 2) At a minimum, please restore any affected areas to their pre-construction condition and ensure that all affected areas are completely stabilized;
- 3) Please ensure that proper traffic control measures are in place; and
- 4) Please provide an as-built of the gas line placement and easements to the Town once the project is complete.

KNOXVILLE UTILITIES BOARD FARRAGUT HILLS BLVD GAS SYSTEM IMPROVEMENT PROJECT



LOCATION/VICINITY MAP
& SHEET KEY

DRAWING INDEX

SHEET NO.	TITLE
1	COVER SHEET
2	GENERAL NOTES AND LEGEND
3	DRAWING SHEET KEY
4	PLAN VIEW
5	PLAN VIEW
6	PLAN VIEW
7	PLAN VIEW
8	PLAN VIEW
9	EROSION CONTROL DETAILS
10	PAVEMENT REPAIR DETAILS

REV	DESCRIPTION	DWN	CHK	APPV	EST	INST	JOB#	REM	MAXIMO#	W.F.P.#	DATE
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SCALE: N.T.S

GRIDCLT: 1431

Knoxville Utilities Board
ENGINEERING

KNOXVILLE UTILITIES BOARD
FARRAGUT HILLS BLVD
GAS SYSTEM IMPROVEMENT PROJECT
COVER SHEET



SHEET 1 OF 10

B-

GENERAL NOTES

- SUPPLEMENTAL BASEMAPPING INFORMATION WAS TAKEN FROM THE KNOXVILLE GEOGRAPHIC INFORMATION SYSTEM (KGIS) AS PROVIDED BY KUB.
- UTILITIES SHOWN WERE LOCATED FROM ACTUAL FIELD EVIDENCE, EXISTING UTILITY AGENCY RECORDS AND ANY OTHER AVAILABLE EVIDENCE. OTHER UTILITIES MAY EXIST AND NOT BE SHOWN OR VARY FROM WHERE SHOWN. NO GUARANTEE IS EXPRESSED OR IMPLIED AS TO THE ACTUAL LOCATION OF ANY UTILITIES SHOWN, WHICH ARE NOT VISIBLE FROM THE SURFACE.
- LOCATION OF EXISTING UTILITIES, PIPING AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND ARE NOT NECESSARILY REPRESENTATIVE OF ALL EXISTING FACILITIES. IT IS THE INSTALLER'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION OF EXISTING UTILITIES, PIPING, AND UNDERGROUND STRUCTURES THAT MAY INTERFERE WITH THE PROPOSED WORK BY POT-HOLING AND CONTACTING THE UTILITY COMPANIES INVOLVED.
- PROVIDE ALL NECESSARY PROTECTIVE MEASURES TO SAFEGUARD THE EXISTING UTILITIES FROM DAMAGE DURING THE CONSTRUCTION OF THIS PROJECT. FURNISH ANY SPECIAL EQUIPMENT REQUIRED TO WORK OVER AND AROUND THE UTILITIES.
- INSTALLER TO COORDINATE DISRUPTION/REMOVAL OF ANY LANDSCAPING, SPRINKLER SYSTEMS, FENCES, SHEDS, GARDENS, RETAINING WALLS, ORNAMENTALS, ETC. WITH THE PROJECT KUB CUSTOMER SUPPORT REPRESENTATIVE
- EXISTING AND PROPOSED EASEMENTS ON THESE DRAWINGS ARE SHOWN FOR GENERAL INFORMATION ONLY AND ARE APPROXIMATE. INSTALLER TO REFER TO ACTUAL EXECUTED EASEMENT DOCUMENTS FOR PROPERTY ACCESS AND USE FOR CONSTRUCTION PURPOSES.
- INSTALLER SHALL MAINTAIN ACCESS TO ALL PROPERTIES DURING CONSTRUCTION.
- 24-HOUR EMERGENCY CONTACT: KUB SYSTEM OPERATIONS 524-2911
- ALL ROAD CROSSINGS TO BE INSTALLED BY HDD UNLESS OTHERWISE NOTED ON PROJECT DRAWINGS.
- ANTICIPATED OPERATING PRESSURE 40 PSIG

PROJECT MANAGER:

CONTACT: ROBERT CALLORI
OFFICE PHONE NO.: (865) 558-2345
MOBILE PHONE NO.: (732) 757-1077
KNOXVILLE UTILITIES BOARD
4505 MIDDLEBROOK PIKE
KNOXVILLE, TENNESSEE 37921
EMAIL ADDRESS: ROBERT.CALLORI@kub.org

UTILITY OWNERS:

WATER

FIRST UTILITY DISTRICT
122 DURWOOD ROAD
KNOXVILLE TN 37922
(865) 966-9741

SEWER

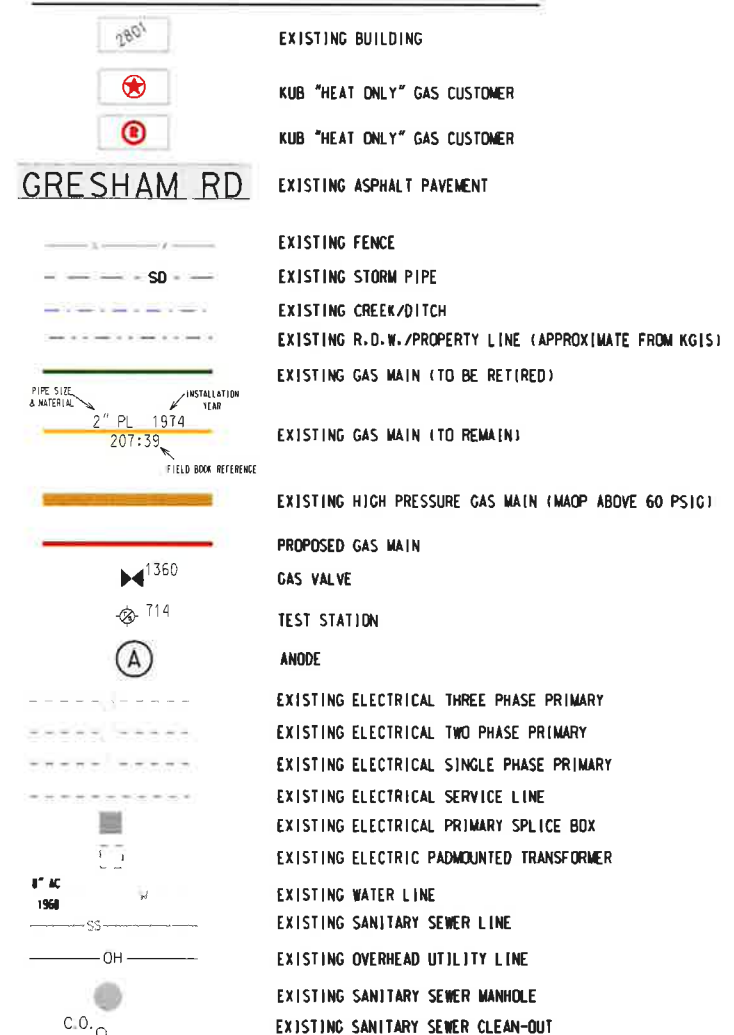
FIRST UTILITY DISTRICT
122 DURWOOD ROAD
KNOXVILLE TN 37922
(865) 966-9741

ELECTRIC

LENOIR CITY UTILITIES BOARD
200 DEPOT STREET
LENOIR CITY, TN 37771
(844) 687-5282

ABBREVIATIONS:

DI	DUCTILE IRON
CI	CAST IRON
AC	ASBESTOS CEMENT
HDPE	HIGH DENSITY POLYETHYLENE
MDPE	MEDIUM DENSITY POLYETHYLENE
PL	PLASTIC
ST	STEEL
EDP	EDGE OF PAVEMENT
PE	POLYETHYLENE



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Knoxville Utilities Board
ENGINEERING

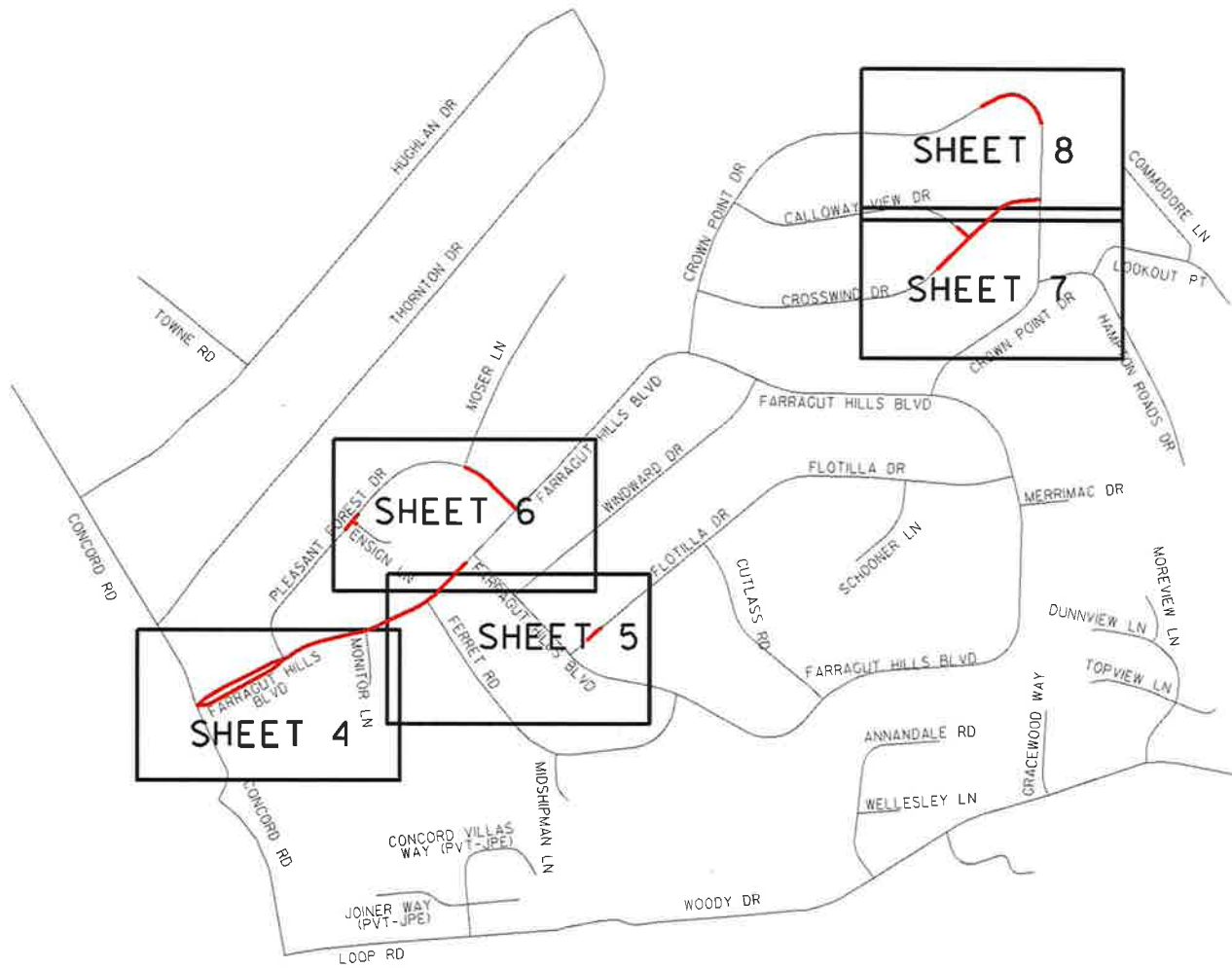
KNOXVILLE UTILITIES BOARD
FARRAGUT HILLS BLVD
GAS SYSTEM IMPROVEMENT PROJECT
GENERAL NOTES



SHEET 2 OF 10

B-

B-



REV	DESCRIPTION	DWN	CHK	APPV	EST#	(INST) JOB#	(REMA)	MAXIMO#	W.F.P.I.#	DATE
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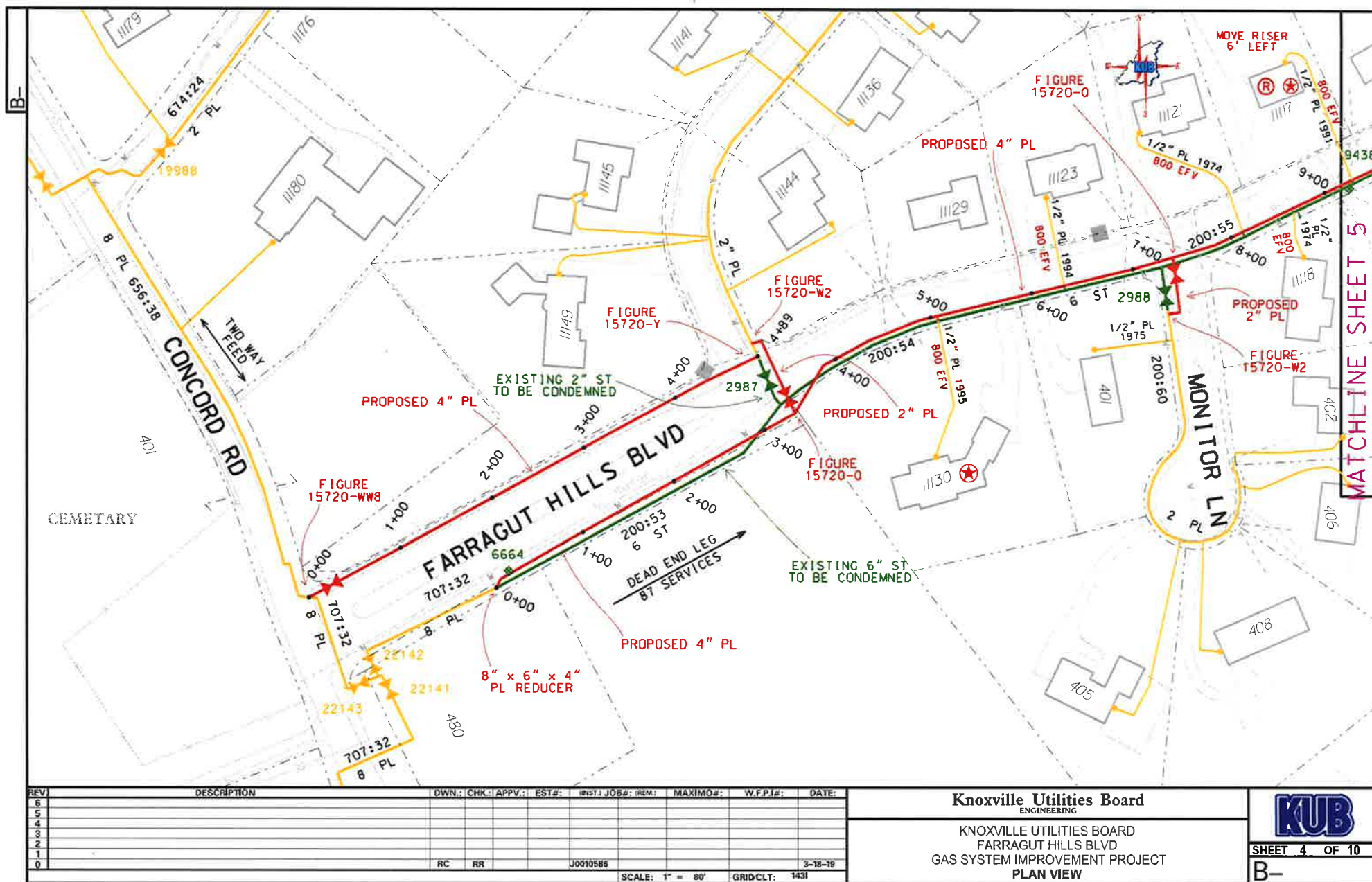
Knoxville Utilities Board
ENGINEERING

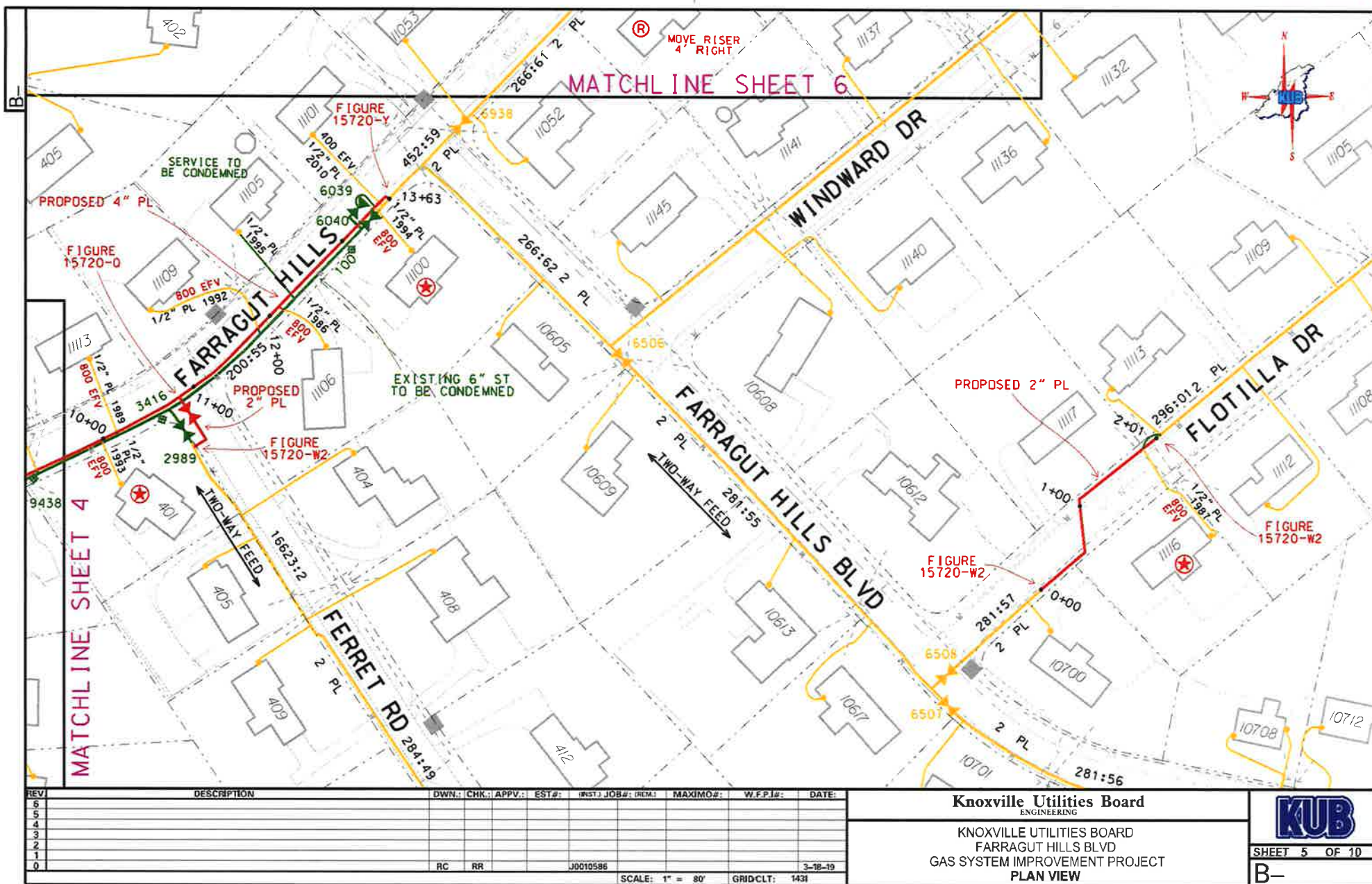
KNOXVILLE UTILITIES BOARD
FARRAGUT HILLS BLVD
GAS SYSTEM IMPROVEMENT PROJECT
DRAWING SHEET KEY

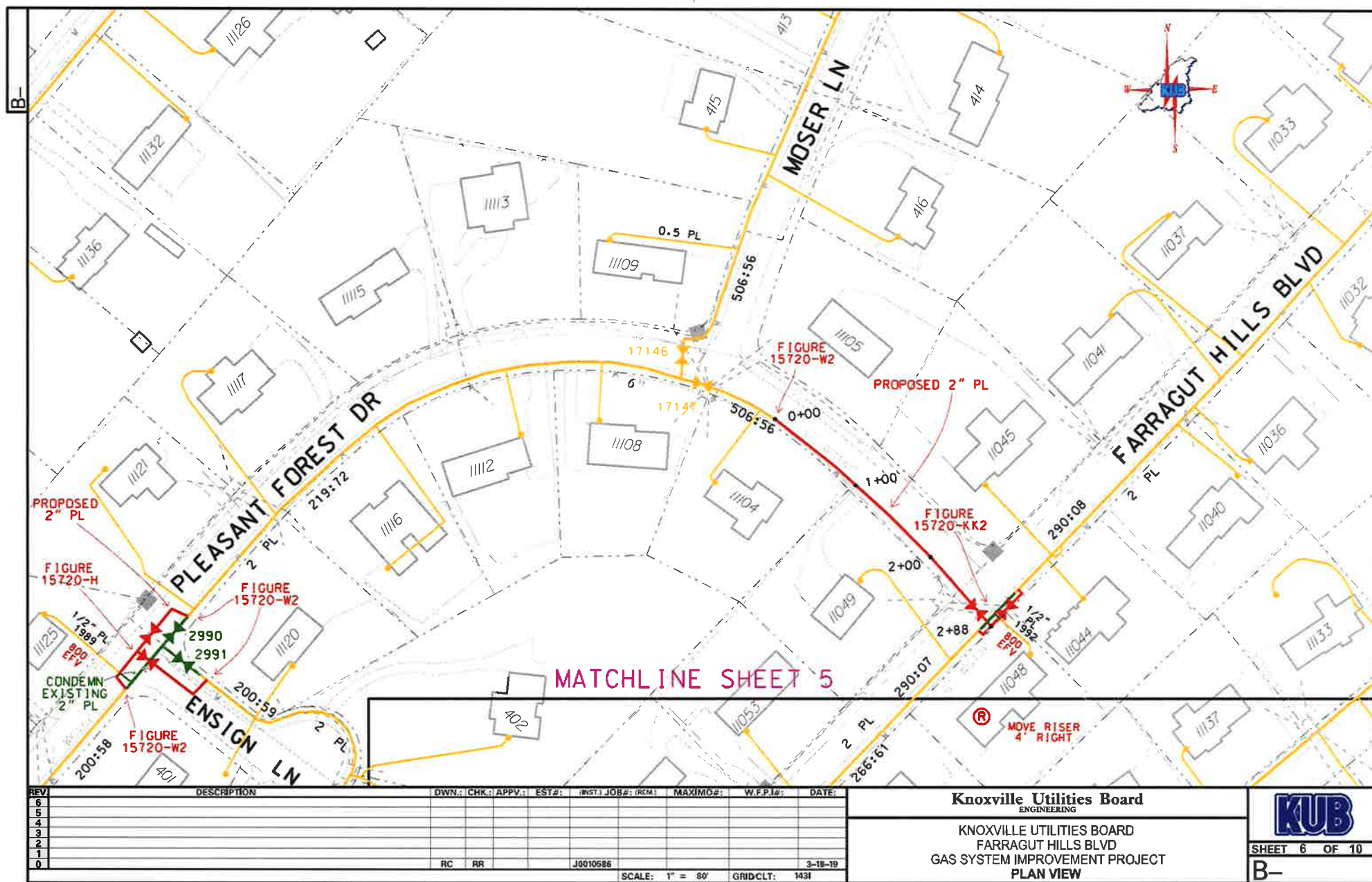


SHEET 3 OF 10

B-







MATCHLINE SHEET 8

CALLOWAY VIEW DR

CROSSWIND DR

CROWN POINT DR

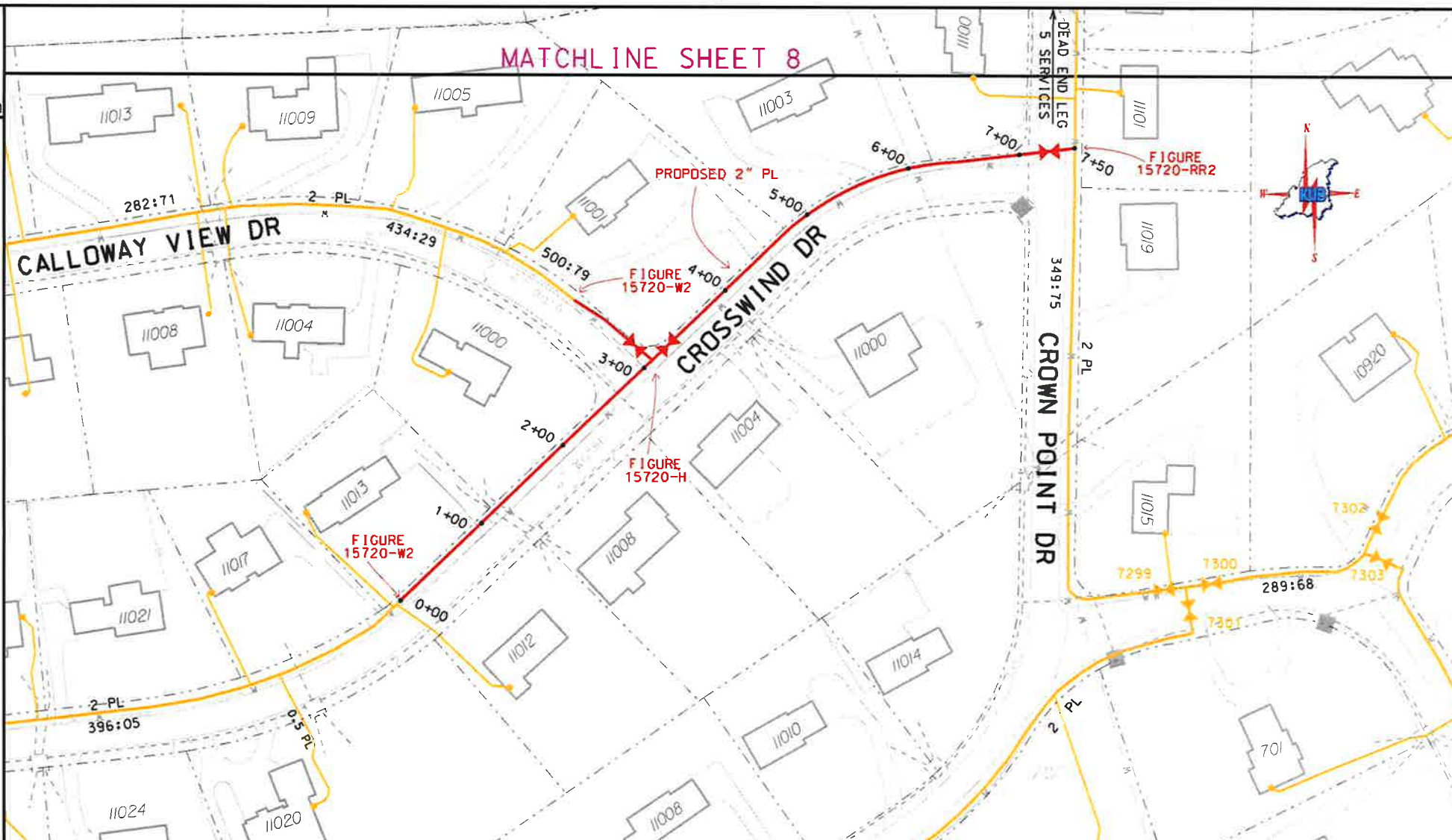
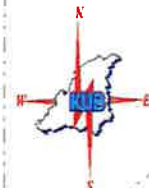
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SCALE: 1" = 80' GRID: CLT: 1431											

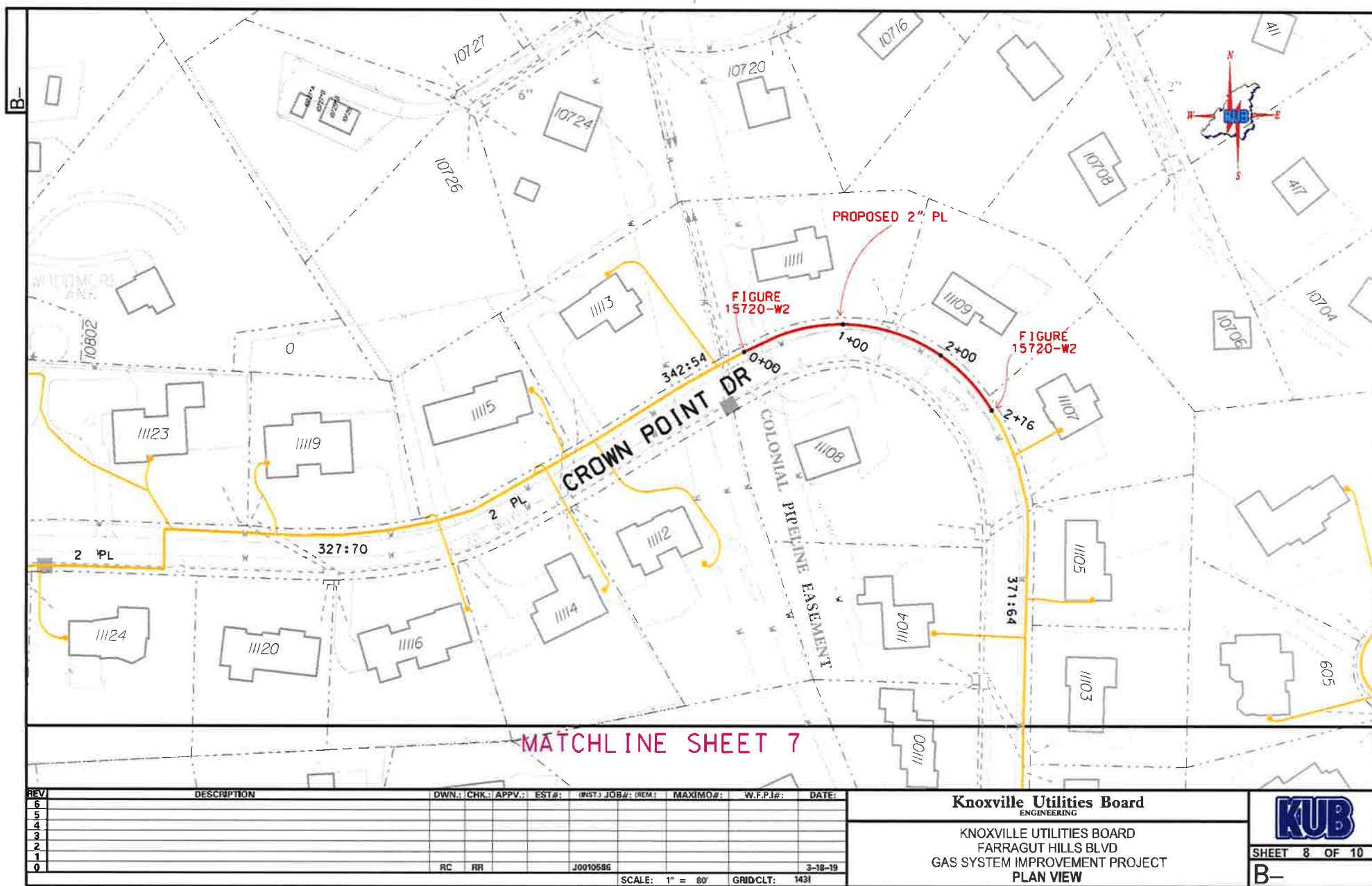
Knoxville Utilities Board
ENGINEERING
KNOXVILLE UTILITIES BOARD
FARRAGUT HILLS BLVD
GAS SYSTEM IMPROVEMENT PROJECT
PLAN VIEW

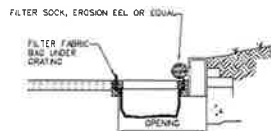
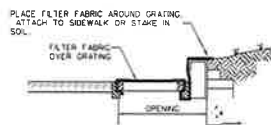


SHEET 7 OF 10

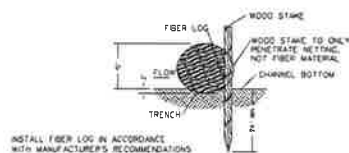
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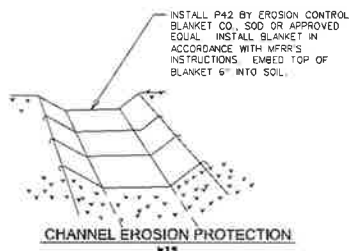




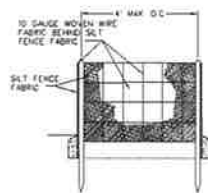
CURB INLET PROTECTION
N.T.S.



FIBER LOG BARRIER
N.T.S.

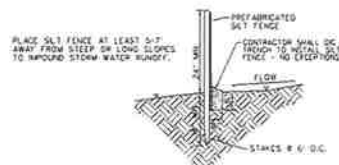


CHANNEL EROSION PROTECTION
N.T.S.

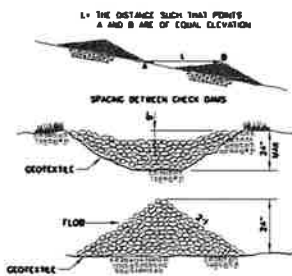


WIRE FENCE REINFORCEMENT IS REQUIRED BELOW SLOPES THAT ARE OVER 8' HIGH OR WHERE SILT FENCE IS INSTALLED IMMEDIATELY ADJACENT TO GRADING LIMITS. INSTALL REINFORCEMENT AT LOCATIONS WHERE WASHOUT OR HEAVY FLOW MAY OCCUR.

SILT FENCE REINFORCEMENT
N.T.S.



SILT FENCE
N.T.S.



STONE CHECK DAM
N.T.S.

SEDIMENT & EROSION CONTROL NOTES

1. OWNER: KUB - PO BOX 56017, KNOXVILLE, TN 37950-0017
2. THIS PROJECT INCLUDES THE INSTALLATION OF APPROXIMATELY 1800 L.F. OF 2" AND 2000 L.F. OF 4" WIRE GALV. LINE.
3. TOTAL DISTURBED AREA IS APPROXIMATELY 0.18 ACRES.
4. ALL CONSTRUCTION LIES ABOVE THE 100 YEAR FLOOD HAZARD.
5. EROSION AND SEDIMENT CONTROL SHALL BE THE CONTRACTOR'S RESPONSIBILITY FOR COMPLIANCE. INSTALLATION, MAINTENANCE AND REMOVAL. CONTROLS SHALL BE CONSISTENT WITH THE TDEC EROSION AND SEDIMENT CONTROL HANDBOOK.
6. THE EROSION CONTROLS MUST BE INSTALLED ALONG THE WATER LINE ALIGNMENT WHERE THEY ARE NEEDED AND REMOVED WHEN THE AREA HAS BEEN STABILIZED. CHANGES MAY BE MADE TO IMPROVE EROSION AND SEDIMENT CONTROLS.
7. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
8. SILT FENCE SHALL BE INSTALLED AS REQUIRED TO PREVENT SEDIMENT FROM THIS PROJECT BEING DEPOSITED ON ADJACENT PROPERTY.
9. DISTURBED AREAS SHALL BE RESTORED TO NEAR ORIGINAL CONDITION (CONCRETE, ASPHALT, GRASS, ETC.).
10. CONTRACTOR SHALL NOT INSTALL SEDIMENT TRAPS SHOULD POTENTIAL EXIST FOR PAVEMENT FLOODING AND/OR WATER DAMAGE TO ADJACENT PROPERTY.
11. EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSPECTED BY THE CONTRACTOR AT THE END OF EACH DAY'S WORK AND AT THE END OF EACH AND EVERY RAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND OR REMOVAL OF ACCUMULATED SILTS AND SEDIMENTS FROM THE EROSION AND SEDIMENT CONTROL DEVICES. (CONT.)

12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE OF SAID STRUCTURES. ALL SILTS AND/OR SEDIMENTS REMOVED FROM THE EROSION/SEDIMENT CONTROL DEVICES SHALL BE DEPOSITED ON SITE IN SUCH A MANNER AS TO PREVENT SAID SILTS AND/OR SEDIMENTS FROM REENTERING THE CONTROL DEVICES AND OR EXITING THE SITE THROUGH THE STORM DRAINAGE SYSTEMS AND/OR SURFACE DRAINAGE.
13. FAILURE TO INSTALL, OPERATE AND/OR MAINTAIN ALL EROSION CONTROL MEASURES SHALL BE JUSTIFICATION TO STOP CONSTRUCTION ON THE JOB SITE UNTIL SUCH MEASURES ARE CORRECTED IN ACCORDANCE WITH APPROVED PLANS OR AS DIRECTED BY THE OWNER.
14. UPON PIPE INSTALLATION, DISTURBED SOIL SHALL BE STABILIZED WITH TEMPORARY COVER OR PERMANENT VEGETATION AS REQUIRED EVERY TWO WEEKS AND PRIOR TO ANY RAIN EVENT.
15. MATERIAL STAGING AREA SHALL BE ENCOMPASSED WITH SILT FENCE IF THE AREA IS DISTURBED.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADDITIONAL EROSION CONTROLS CREATED BY DRAINAGE PATTERNS AT VARIOUS STAGES DURING CONSTRUCTION. DIFFICULTY IN CONTROLLING EROSION DURING ANY PHASE OF CONSTRUCTION SHALL BE REPORTED TO THE RPR IMMEDIATELY.
17. THE CONTRACTOR SHALL REMOVE ACCUMULATED SILT BEFORE THE SILT IS WITHIN 12-INCHES OF THE TOP OF THE SILT FENCE UTILIZED FOR EROSION CONTROL.
18. STRAW MULCHING SHALL BE USED WITH PERMANENT VEGETATION APPLICATIONS AND SHALL BE FREE OF WEED SEEDS AND SPREAD AT A RATE OF 90 POUNDS PER 1000 SQUARE FEET.
19. EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL ALL DISTURBED SOIL WITHIN THE CONSTRUCTION AREA HAS BEEN COMPLETELY STABILIZED WITH PERMANENT VEGETATION AND ALL ROADS/DRIVEWAYS HAVE BEEN PAVED.
20. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO OR CONCURRENT WITH LAND DISTURBING ACTIVITIES.

21. IN STREETS AND OTHER PAVED AREAS, REMOVE EXCAVATED MATERIALS FROM THE SITE AS CONSTRUCTION PROGRESSES TO PREVENT ANY EROSION OF THE EXCAVATED MATERIALS. IN OTHER AREAS, PLACE THE EXCAVATED MATERIAL, SO AS NOT TO BLOCK ANY DRAINAGE AREAS. REPLACE EXCAVATED MATERIAL IN THE TRENCH IMMEDIATELY AFTER WORK HAS BEEN COMPLETED AND APPROVED BY THE OWNER.
22. RETAIN NATURAL VEGETATION WHENEVER FEASIBLE.
23. RESTORE AND COVER EXPOSED AREAS SUBJECT TO EROSION AS QUICKLY AS POSSIBLE BY MEANS OF SEEDING AND MULCHING. FIBER MATTING MAY BE NECESSARY AS REQUIRED BY OWNER.

REV	DESCRIPTION	OWN	CHK	APPV	EST#	(INST.) JOB#	(REMA)	MAXIMO#	W.F.P.I.#	DATE
6										
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SCALE: N.T.S.

GRID:CLT: 1431

Knoxville Utilities Board
ENGINEERING

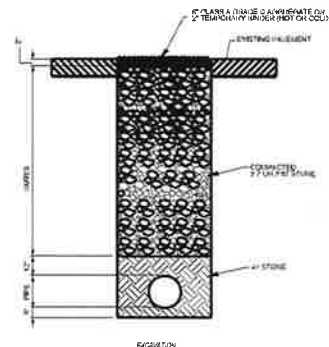
KNOXVILLE UTILITIES BOARD
FARRAGUT HILLS BLVD
GAS SYSTEM IMPROVEMENT PROJECT
EROSION & SEDIMENT CONTROL

KUB

SHEET 9 OF 10

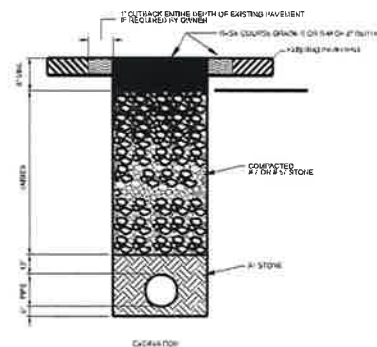
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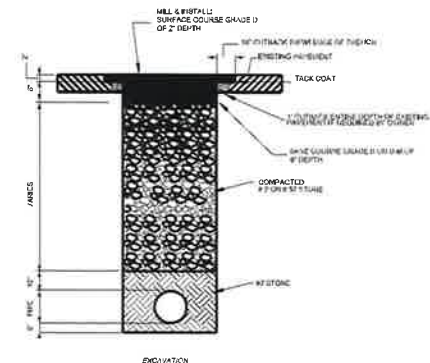
TEMPORARY PAVEMENT REPAIR (INSTALLED BY CONTRACTOR)

N.T.S.



PERMANENT PATCHING: BASE COURSE
PAVEMENT REPAIR (INSTALLED BY CONTRACTOR)

N.T.S.



PERMANENT PATCHING: BASE COURSE + SURFACE COURSE
(INSTALLED BY OWNER OR CONTRACTOR)

N.T.S.

TEMPORARY PAVEMENT REPAIR (INSTALLED BY CONTRACTOR)

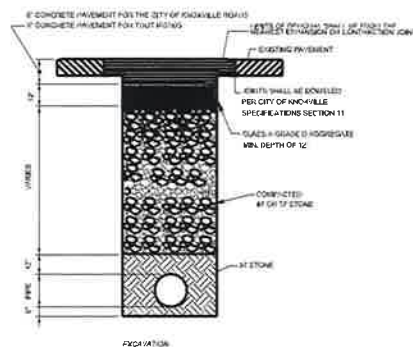
1. NO. 7 (2" DIA. 2-1/4") SP. USED FOR ASPHALT, 2" SP. FOR CONCRETE. IF A 2" SP. IS USED FOR CONCRETE, THE LIFT IS TO BE 12" DEEP.
2. NO. 7 (2" DIA. 2-1/4") SP. USED FOR ASPHALT, 2" SP. FOR CONCRETE. IF A 2" SP. IS USED FOR CONCRETE, THE LIFT IS TO BE 12" DEEP.
3. NO. 7 (2" DIA. 2-1/4") SP. USED FOR ASPHALT, 2" SP. FOR CONCRETE. IF A 2" SP. IS USED FOR CONCRETE, THE LIFT IS TO BE 12" DEEP.
4. NO. 7 (2" DIA. 2-1/4") SP. USED FOR ASPHALT, 2" SP. FOR CONCRETE. IF A 2" SP. IS USED FOR CONCRETE, THE LIFT IS TO BE 12" DEEP.
5. NO. 7 (2" DIA. 2-1/4") SP. USED FOR ASPHALT, 2" SP. FOR CONCRETE. IF A 2" SP. IS USED FOR CONCRETE, THE LIFT IS TO BE 12" DEEP.

PAVEMENT REPAIR (INSTALLED BY CONTRACTOR)

1. AT THE TIME OF THE PAVEMENT REPAIR, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF THE EXISTING PAVEMENT TO THE REQUIRED DEPTH AND FOR THE REPAIR OF THE PAVEMENT TO THE REQUIRED DEPTH AND FOR THE REPAIR OF THE PAVEMENT TO THE REQUIRED DEPTH.
2. IF THE PAVEMENT REPAIR IS TO BE INSTALLED TO MATCH THE EXISTING PAVEMENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF THE EXISTING PAVEMENT TO THE REQUIRED DEPTH AND FOR THE REPAIR OF THE PAVEMENT TO THE REQUIRED DEPTH.
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PAVEMENT SURFACING (INSTALLED BY OWNER OR CONTRACTOR)

1. AT THE TIME OF THE PAVEMENT SURFACING, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF THE EXISTING PAVEMENT TO THE REQUIRED DEPTH AND FOR THE REPAIR OF THE PAVEMENT TO THE REQUIRED DEPTH.
2. IF THE PAVEMENT SURFACING IS TO BE INSTALLED TO MATCH THE EXISTING PAVEMENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF THE EXISTING PAVEMENT TO THE REQUIRED DEPTH AND FOR THE REPAIR OF THE PAVEMENT TO THE REQUIRED DEPTH.
3. IF THE PAVEMENT SURFACING IS TO BE INSTALLED TO MATCH THE EXISTING PAVEMENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF THE EXISTING PAVEMENT TO THE REQUIRED DEPTH AND FOR THE REPAIR OF THE PAVEMENT TO THE REQUIRED DEPTH.
4. IF THE PAVEMENT SURFACING IS TO BE INSTALLED TO MATCH THE EXISTING PAVEMENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF THE EXISTING PAVEMENT TO THE REQUIRED DEPTH AND FOR THE REPAIR OF THE PAVEMENT TO THE REQUIRED DEPTH.
5. IF THE PAVEMENT SURFACING IS TO BE INSTALLED TO MATCH THE EXISTING PAVEMENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF THE EXISTING PAVEMENT TO THE REQUIRED DEPTH AND FOR THE REPAIR OF THE PAVEMENT TO THE REQUIRED DEPTH.



PERMANENT CONCRETE REPAIR (INSTALLED BY CONTRACTOR)

N.T.S.

Equipment Type	Equipment Weight (tons)	Minimum Downward Force (lbs)	Minimum Frequency (Hz)	Minimum VPM	Minimum Amplitude (inches)	Maximum Bit Thickness (inches)	Minimum number of passes required
Steel wheeled vibratory roller - walk behind	< 1 ton	N/A	43	2800	0.02		5
Steel wheeled vibratory roller - walk behind	< 2 tons	N/A	30	1800	0.02		5
Steel wheeled vibratory roller - ride on	< 1 ton	N/A	30	1800	0.02		5
Steel wheeled vibratory roller - ride on	1 - 2 tons	N/A	30	1800	0.02		5
Steel wheeled vibratory roller - ride on	> 2 tons	N/A	30	1800	0.02		5
Walk behind vibratory plate compactor - single direction	< 1 ton	N/A	38	2200	0.01		4
Walk behind vibratory plate compactor - omnidirectional	< 1 ton	N/A	38	2200	0.01		4
Backhoe vibratory plate attachment	N/A	7500	33	2000	0.02		3
Backhoe vibratory wheel attachment	N/A	7500	41	2500	0.083	Not to exceed 12"	3

NOTE: JUMPING JACKS MAY BE USED, WITH PERMISSION OF OWNER, IN AREAS OF COMPACTION TOO SMALL FOR OTHER COMPACTION EQUIPMENT. LIFTS SHALL NOT EXCEED 4" IN DEPTH.

REV	DESCRIPTION	DWN.	CHK.	APPV.	EST#	INST.	JOB#	REM.	MAXIMO#	W.F.P.#	DATE
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0		RC	RR				J0010588				3-18-19
SCALE: N.T.S.										GRDCLT: 1431	

Knoxville Utilities Board
ENGINEERING

KNOXVILLE UTILITIES BOARD
FARRAGUT HILLS BLVD
GAS SYSTEM IMPROVEMENT PROJECT
PAVEMENT REPAIR DETAILS

KUB

SHEET 10 OF 10

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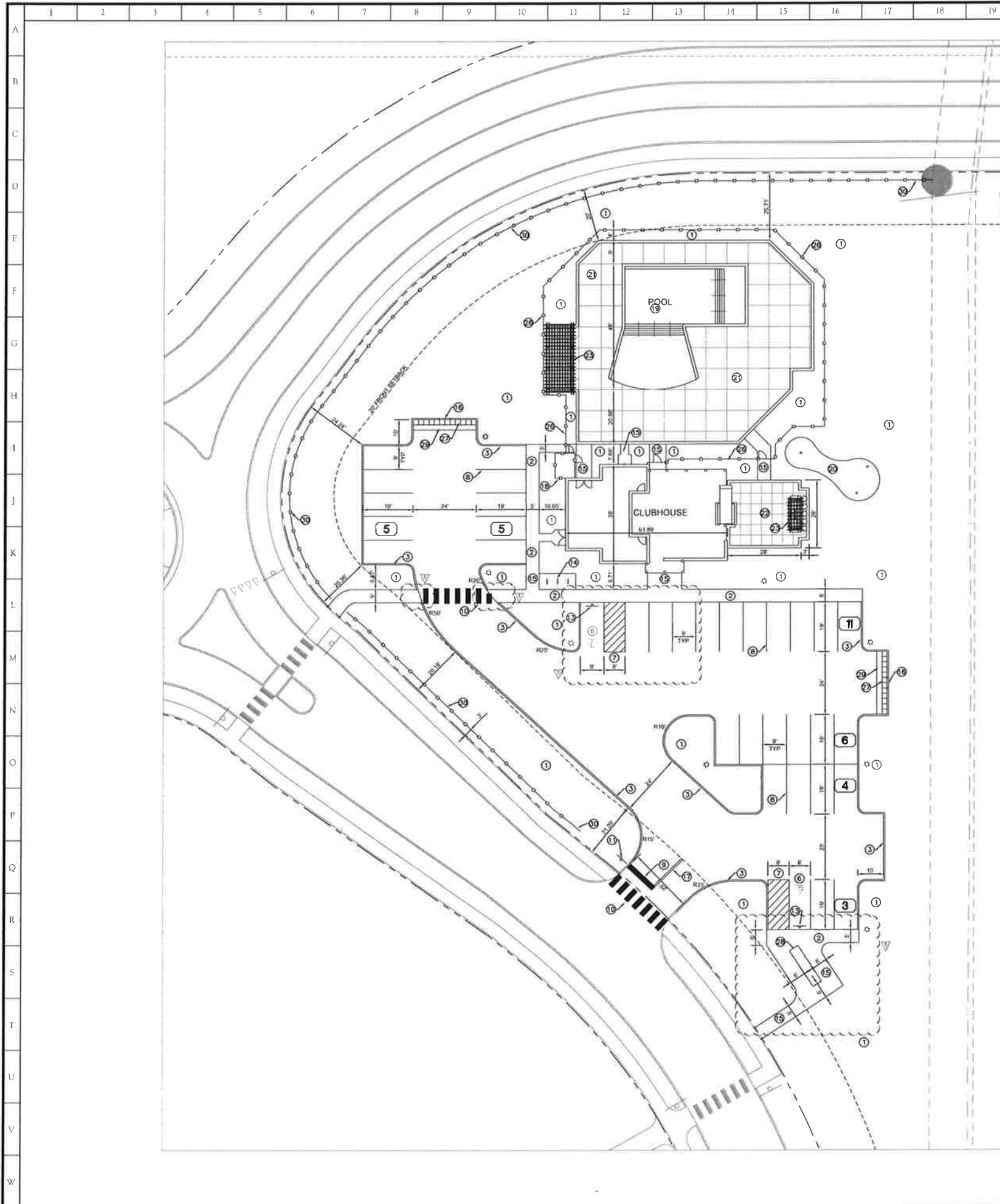
REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Bart Hose, Assistant Community Development Director

SUBJECT: Discussion and public hearing on a site plan for the Ivey Farms Clubhouse off Road B in the Ivey Farm Subdivision, 52.3 Acres, Zoned R-1/OSR (SITE, Incorporated, Applicant)

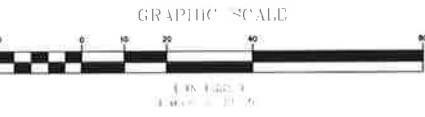
INTRODUCTION AND BACKGROUND: This item involves a site plan for the Ivey Farms Subdivision Club House facility. As you know, the subdivision is located off Union Road and is being developed in phases. The proposed facility includes a club house and pool and is located at the roundabout intersection of Roads A and B within the development. This location corresponds to the planned location on the preliminary plat. The site plan also includes a planned central mailbox facility.

RECOMMENDATION: Included in your packet is a copy of the revised site plan and other select plan sheets. Staff will make a recommendation at the meeting based on whether staffs' initial comments have been satisfactorily addressed.



PAVING MATERIALS SCHEDULE	
STANDARD DUTY ASPHALT PAVING	
AGGREGATE BASE COURSE*	6" TDOT TYPE A, CLASS A & GRADING D
BITUMINOUS ASPHALT BASE MIX**	2" TDOT GRADING 9M
BITUMINOUS ASPHALT SURFACE MIX***	1 1/2" TDOT GRADING E
*REFER TO TDOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", SECTION 903.05	
**REFER TO TDOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", SECTION 307	
***REFER TO TDOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", SECTION 411	
LEGEND	
PROPERTY LINE	-----
BUILDING SETBACK LINE	-----
PROPOSED CURB	-----
HVAC SYSTEMS, ANTENNAS, AND SATELLITE DISHES SHALL BE LOCATED ON THE ROOF AND WILL BE SCREENED SO THAT THEY ARE NOT VISIBLE FROM ADJACENT PROPERTIES AND RIGHT-OF-WAYS PER TOWN OF FARRAGUT REQUIREMENTS	
ALL DIMENSIONS ARE TO FACE OF CURB OR FACE OF BUILDING UNLESS NOTED WITH AN "A". ALL DIMENSIONS NOTED WITH AN "A" ARE MEASURED TO BACK OF CURB	
ALL RADII ARE 3' UNLESS NOTED OTHERWISE	

PROPERTY DATA	
LOT AREA:	52.33 ACRES
ZONING:	R-1 OSR
PARKING DATA:	
PARKING SPACES REQUIRED:	
CLUBHOUSE 2200 SF (1 SPACE PER 400 SF)	6 SPACES
POOL 1670 SF (1 SPACE PER 100 SF)	17 SPACES
TOTAL SPACES REQUIRED:	23 SPACES
PARKING SPACES PROVIDED (CLUBHOUSE):	
STANDARD SPACES	25 SPACES
HANDICAP ACCESSIBLE	2 SPACES
TOTAL SPACES PROVIDED:	27 SPACES
PARKING SPACES PROVIDED (MAIL FACILITIES):	
STANDARD SPACES	6 SPACES
HANDICAP ACCESSIBLE	1 SPACE
TOTAL SPACES PROVIDED:	7 SPACES
BICYCLE PARKING ANALYSIS	
REQUIRED PARKING:	2 PER 25 PARKING SPACES = 3
PROVIDED PARKING:	6



- SITE PLAN NOTES:**
1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS
 2. ALL DISTURBED AREAS NOT BUILT NOR PAVED UPON ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH, AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
 3. ALL DIMENSIONS AND RADII ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 4. EXISTING STRUCTURES WITHIN THE CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
 5. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS INCLUDING BUT NOT LIMITED TO ALL UTILITIES, STORM DRAINAGE, SIGNS, FENCING, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
 6. SITE BOUNDARY TOPOGRAPHY, UTILITY AND ROAD INFORMATION WAS TAKEN FROM THE PRELIMINARY PLAT DATED 11/11/19 FOR IVEY FARMS BY SITE, INCORPORATED.
 7. THE SITEWORK FOR THIS PROJECT SHALL MEET OR EXCEED THE SITE WORK SPECIFICATIONS ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.

SITE PAVING NOTES

PAVING ELEVATION TOLERANCE:
FINAL SUBGRADE SHALL BE INSPECTED BY PAVING CONTRACTOR FOR REQUIRED ELEVATION AND ADEQUATE COMPACTION BEFORE COMMENCING ANY PAVING ACTIVITY. PAVING ELEVATION SHALL NOT HAVE MORE THAN 2" DEVIATION IN ANY 10' INCREMENT.

PAVING THICKNESS TOLERANCE
PAVING THICKNESS AT ANY ONE CORNER SHALL NOT BE LESS THAN 90% OF SPECIFIED THICKNESS. THE AVERAGE OF ALL APPROVED TESTS MUST BE AT LEAST EQUAL TO THE SPECIFIED THICKNESS FOR EACH MATERIAL. NOT MORE THAN 20% OF ALL APPROVED TEST MAY FALL BELOW SPECIFIED MINIMUMS. ANY AREA FOUND TO BE LESS THAN 90% SPECIFIED THICKNESS SHALL BE OVERLAIN WITH ASPHALT AS DIRECTED BY SITE, INC.

TESTING DURING PLACEMENT
GENERAL CONTRACTOR SHALL PERFORM SEVERAL SPOT CHECKS OF PAVING BASE THICKNESS PRIOR TO INSTALLATION OF ANY ASPHALTIC OR CONCRETE PAVING. DENSITY TESTS SHALL BE PERFORMED ON EACH LIFT AT THE RATE OF ONE TEST PER 10,000 SQUARE FEET.

CONTRACTOR SHALL PROVIDE FOR TESTING OF COMPLETED PAVING INSTALLATION FOR COMPLIANCE WITH DESIGN CRITERIA AND REQUIRED THICKNESS. CONTRACTOR SHALL REPLACE ALL NON-CONFORMING MATERIAL AT HIS OWN EXPENSE.

TESTING SHALL BE PERFORMED ONLY BY AN INDEPENDENT TESTING AGENT APPROVED BY SITE, INC. TEST HOLES NOT SPOTTED BY SITE, INC. MAY NOT BE CONSIDERED ACCEPTABLE.

ALLOW A MINIMUM OF SIXTEEN CORNER TESTS TO BE LOCATED ONLY BY WRITTEN INSTRUCTION BY SITE, INC.

THE PAVING CONTRACTOR SHALL REPAIR ALL CORING HOLES BY FILLING HOLES WITH CONCRETE FLUSH TO TOP OF PAVEMENT.

ASPHALTIC PAVING MATERIALS
MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE SPECIFICATION OF THE HIGHWAY DEPARTMENT OF THE STATE IN WHICH THE PROJECT IS LOCATED. REFER TO PAVING MATERIALS LEGEND.

CONCRETE
CONCRETE CURBING SHALL BE 4000 PSI 28 DAY STRENGTH 2" - 3" SLUMP. (NO CURB DEFORMATION) 3% - 5% AIR ENTRAINMENT. INSTALL WITH RC-70 TACK COAT EMULSION OVER ASPHALT.

PROVIDE CYLINDER BREAK TEST - 3500 L.F. OF CURBING OR 1-DAY POUR WITH BREAKS - 1 @ 7-DAYS, 2 @ 28-DAYS. COMPLY WITH ASTM C-31 AND ASTM C-39. ALSO PROVIDE ONE SLUMP TEST PER 500 L.F. OF CURBING OR 1-DAY POUR.

PROVIDE EXPANSION JOINT @ 50' O.C. (MAX) AND CONTROL JOINTS @ 20' O.C. (MAX) AT ALL CONCRETE PAVING AREAS. REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.

PAVEMENT MARKING
PROVIDE PAVEMENT MARKING AS SHOWN ON THE DRAWINGS. STRIPING SHALL BE 4" WIDE OR AS NOTED OTHERWISE ON THE PLANS. ALL MARKINGS SHALL BE THERMOPLASTIC AND SHALL MEET THE TENNESSEE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, MARCH 1, 2006 (SECTION 915.23)

CONTRACTOR SHALL REMOVE ALL EXISTING PAVEMENT MARKINGS THAT DO NOT CONFORM TO TDOT STANDARDS FOR MODIFIED INTERSECTION.

TEMPORARY PAVEMENT LINE MARKINGS ON INTERMEDIATE LAYERS OF PAVEMENT SHALL BE REFLECTIVE TAPE OR REFLECTORIZED PAINT INSTALLED TO PERMANENT STANDARDS BEFORE DARK HOURS. SHORT, UNMARKED SECTIONS SHALL NOT BE ALLOWED.

ALL MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE MUTCD AND TDOT STANDARD DRAWINGS T-M-1 THROUGH T-M-4.

- LEGEND:**
- 1 LANDSCAPE AREAS/LAND
 - 2 CONCRETE SIDEWALK WITH INTEGRAL CURB (SEE DETAIL SHEET)
 - 3 EXTRUDED CURB (SEE DETAIL SHEET)
 - 4 NOT USED
 - 5 NOT USED
 - 6 ACCESSIBLE SPACE WITH PAINTED ACCESSIBLE SYMBOL (SEE DETAIL SHEET)
 - 7 4" WIDE DIAGONAL WHITE PAINT STRIPES AT 2'-0" O.C.
 - 8 4" WIDE PAINTED WHITE PARKING STRIPES (TYP)
 - 9 2" WIDE WHITE PAINTED STOP BAR (SEE DETAIL SHEET)
 - 10 6" WIDE CROSSWALK WITH 2'-0" WIDE WHITE STRIPES AT 4'-0" O.C.
 - 11 R 1-1 "STOP" SIGN (SEE DETAIL SHEET)
 - 12 ACCESSIBLE PARKING SIGN (SEE DETAIL SHEET)
 - 13 ACCESSIBLE PARKING SIGN WITH "VAN ACCESSIBLE" SIGN (SEE DETAIL SHEET)
 - 14 BIKE RACK (SEE DETAIL SHEET)
 - 15 CONCRETE SIDEWALK (SEE DETAIL SHEET)
 - 16 STORMWATER CURB CUT (SEE DETAIL SHEET)
 - 17 4" WIDE DOUBLE YELLOW SOLID LINES
 - 18 TRASH ENCLOSURE FENCE (SEE DETAIL SHEET)
 - 19 SWIMMING POOL (SEE ARCHITECTURAL PLANS)
 - 20 PUTTING GREEN (SEE ARCHITECTURAL PLANS)
 - 21 POOL DECK (SEE ARCHITECTURAL PLANS)
 - 22 PATIO (SEE ARCHITECTURAL PLANS)
 - 23 ARBOR (SEE ARCHITECTURAL PLANS)
 - 24 NOT USED
 - 25 NOT USED
 - 26 POOL FENCE (SEE DETAIL SHEET)
 - 27 PERCOA PERVIOUS PAVERS (SEE DETAIL SHEET)
 - 28 MAIL KIOSK (SEE ARCHITECTURAL PLANS)
 - 29 CONCRETE BORDER (SEE DETAIL SHEET)
 - 30 CROSSBUCK RAIL FENCE (SEE DETAIL SHEET)

REFER TO SHEETS C8.0 & C8.1 FOR TYPICAL SITE DETAILS

10215 Technology Drive, Suite 304
Knoxville, TN 37932
(865) 777-4160
www.site-incorporated.com

Site Layout Plan

Ivey Farms Clubhouse

Road B
Farragut, Tennessee 37934
Clayton Properties Group, Inc.

REV.	DATE	COMMENTS
1	12/01/19	Revised Final Town Comments

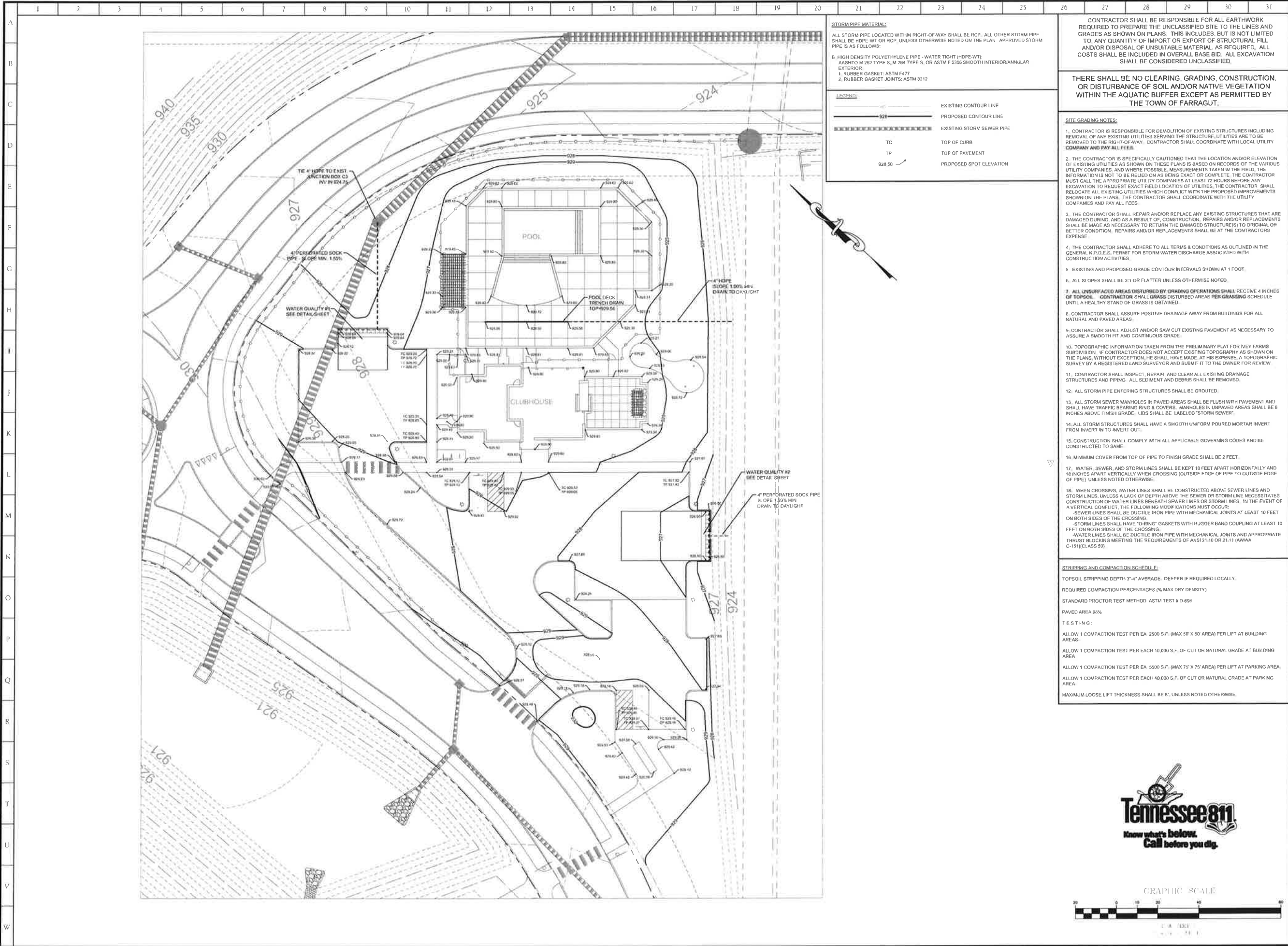
ORIGINAL ISSUE: 11/18/19

SITE PROJECT#: 1951

FILE: Layout

SHEET: 7 OF 14

C4.0





10215 Technology Drive, Suite 304
Knoxville, TN 37932
(865) 777-4160
www.site-incorporated.com



Site Grading and Drainage Plan

Ivey Farms Clubhouse

Road B
Farragut, Tennessee 37934
Clayton Properties Group, Inc.

NO.	DATE	COMMENTS
1	12/07/19	Revised per Owner Comments

ORIGINAL ISSUE: 11/18/19

SITE PROJECT #: 1951

FILE: 1951-01

SHEET: 6 OF 14

C3.0

CUBHOUSE MATERIAL CALCULATION:

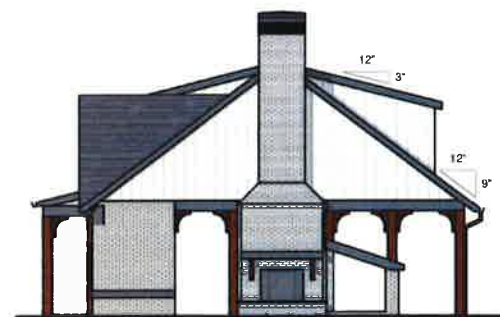
TOTAL NET EXTERIOR AREA EXCLUDING DOORS AND WINDOWS: 2033sf

TOTAL MASONRY AREA: 1573sf

RATIO - 77%



1 FRONT ELEVATION1
1/4" = 1'-0"



3 LEFT ELEVATION1
1/8" = 1'-0"



4 RIGHT ELEVATION1
1/8" = 1'-0"



2 REAR ELEVATION1
1/4" = 1'-0"



5 3D View 1

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Bart Hose, Assistant Community Development Director

SUBJECT: Discussion and public hearing on a site plan for an addition to the Farragut Christian Church at 138 Admiral Road, 5.1 Acres, Zoned R-1 and FPD (Johnson Architecture, Applicant)

INTRODUCTION AND BACKGROUND: This item involves a site plan for an addition to the Farragut Christian Church located at 138 Admiral Road. The plan includes an approximately 8800 square foot building addition with related grading and drainage improvements. The plan also involves changes to a small section of the existing parking lot to accommodate vehicular circulation and passenger drop-off.

DISCUSSION: As proposed, the northeast wall of the new building does not comply with the Town's Architectural Design Standards and masonry percentages. The applicants have indicated that this is to accommodate a planned future building addition. The Planning Commission will need to discuss this element of the plan.

RECOMMENDATION: Included in your packet is a copy of the site plan, other select plan sheets, and staffs' initial comments with the applicant's response. Staff will make a recommendation at the meeting based on whether staffs' comments have been satisfactorily addressed.



December 9, 2019

Town of Farragut
Planning and Zoning Review
11408 Municipal Center Dr.
Farragut, TN 37934
Phone: 865-675-2384

**Re: Farragut Christian Church
Plan Review # 2019-38-SP
138 Admiral Road
Knoxville, Tennessee 37934**

We have received the plans review comments from your office on 11/27/19. In order to address the comments and concerns, the following modification have been made to the drawings:

- 1 Comment: Dimensions in Red noted on site plans.

See revised C1.2 and note the addition of added dimensions indicated on the review letter.

- 2) Comment: Duplicate Note on C1.1

See revised C1.1 and note the removal of duplicate note #8.

- 3) Comment: Landscape plans are not approved as part of site plan submission.

Sheet L1.1 has been included for reference only. A separate submission will be sent to the VRRB for review and comment. Prior to submission of the landscape drawings, all appropriate detention pond landscaping will be revised to meet local regulations.

- 4) Comment: Locate FEMA flood zones on site plan.

See revised C1.5 and note the addition of 100-year flood plain indication.

- 5) Comment: Please address the new/revised site lighting and provide complaint plan sheets as applicable.

It was the design intent to not modify the existing site lighting within the parking. The only exterior lighting being proposed is emergency wall packs and exterior sconces as indicated on the exterior elevations A3.1 sheet.

- 6) Comment: Please include color rendering and submit Architectural Design Standards Checklist.

See added Sheet A3.1C for color rendered exterior elevations. The Architectural Design Standards checklist has been completed and provided as part of the resubmission.

- 7) Comment: Please include material percentages table to document minimum masonry percentages being met.

See added Sheet A3.1C for material percentages table and calculations. The current addition has 3 main exterior elevations, of which 2 of the permanent elevations are in compliance. The Northeast Elevation has been designed as a temporary exterior condition and will be removed and integrated into an interior wall in future phase -2.

- 8) Comment: Provide parking data.

See revised C1.2 and note the correction of the parking summary.

- 9) Comment: Town does not allow slope greater than 2.5:1

See revised C1.3, C1.4, & C1.5 for corrected notations. Notes have been modified regarding maximum allowable slopes.

- 10) Comment: Will concrete washout be utilized? If so, provide location and details.

See revised C1.3, C1.4, & added detail to C2.2 and note the location of the proposed concrete washout.

We certainly appreciate the opportunity to work with you on this important project for Farragut Christian Church. Please do not hesitate to contact me if you have any comments regarding the issues addressed in this letter.

Sincerely,
Joseph Staats





Johnson
Architecture
2240 Salsburg Ave, Suite 105
Knoxville, TN 37919
615.521.1111
jarc.com



A New Multi-Purpose Addition & Renovation For:
FARRAGUT CHRISTIAN CHURCH
138 ADMIRAL RD. KNOXVILLE, TN 37934

SITE LAYOUT PLAN

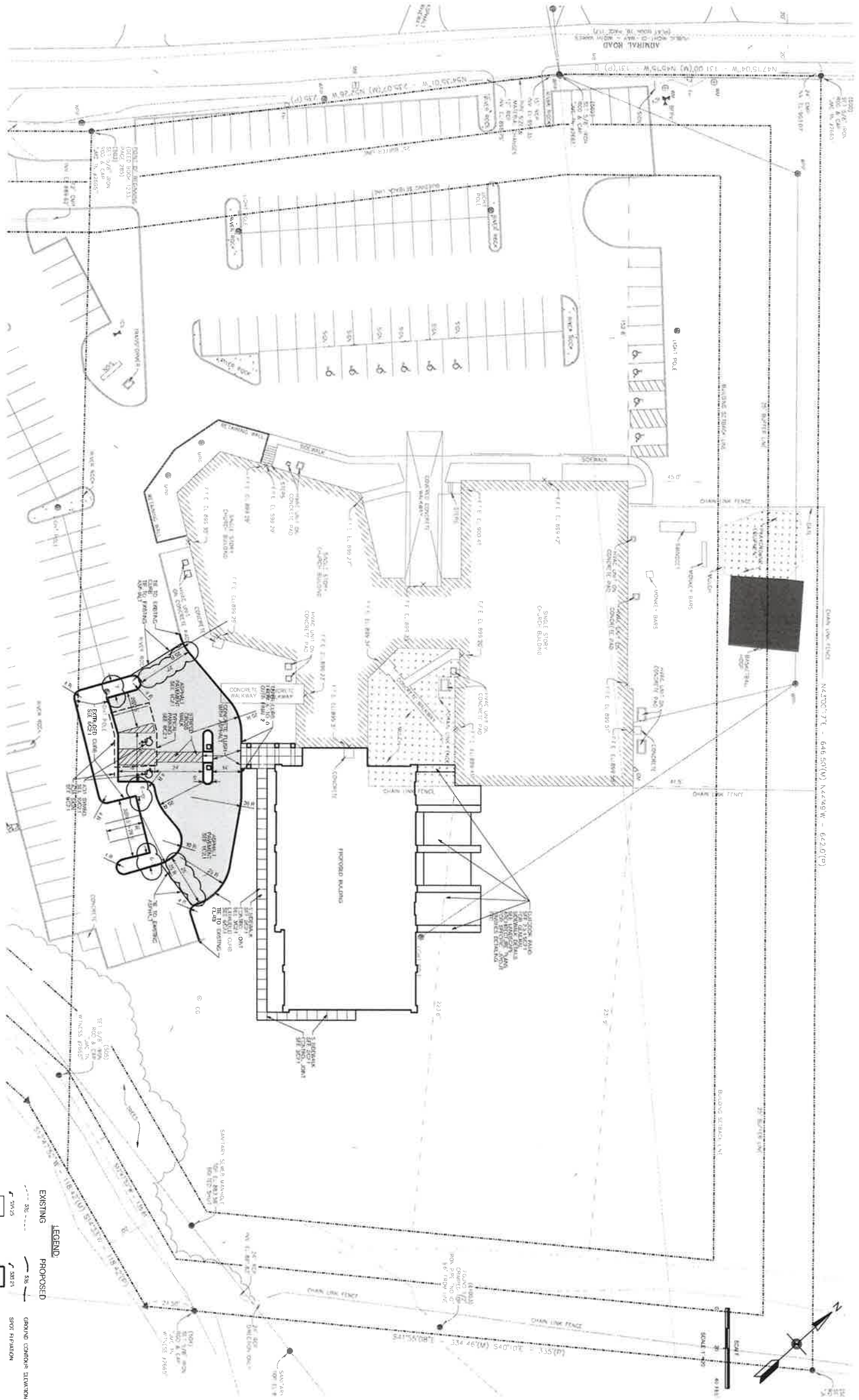
REVISIONS:
REV #1 December 08, 2019

DATE: December 08, 2019
FILE NAME:
PROJECT NO.: 173505

LEGEND

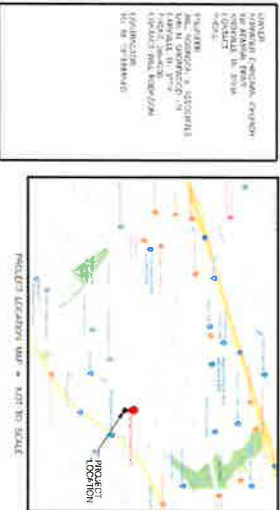
EXISTING	PROPOSED
38.25	38.25
NA	NA
NA	NA
NA	NA
SD	SD
SL	SL
WM	WM
GL	GL
EL	EL
FH	FH
FA	FA
FS	FS
FACU	FACU
FAPS	FAPS
FAS	FAS
FAB	FAB
FAH	FAH
FASi	FASi
FASs	FASs
FAF	FAF
FABz	FABz
FAC	FAC
FAG	FAG
FABR	FABR
FABRCU	FABRCU
FABRCUCU	FABRCUCU
FABRCUCUCU	FABRCUCUCU

PLOT SCALE:

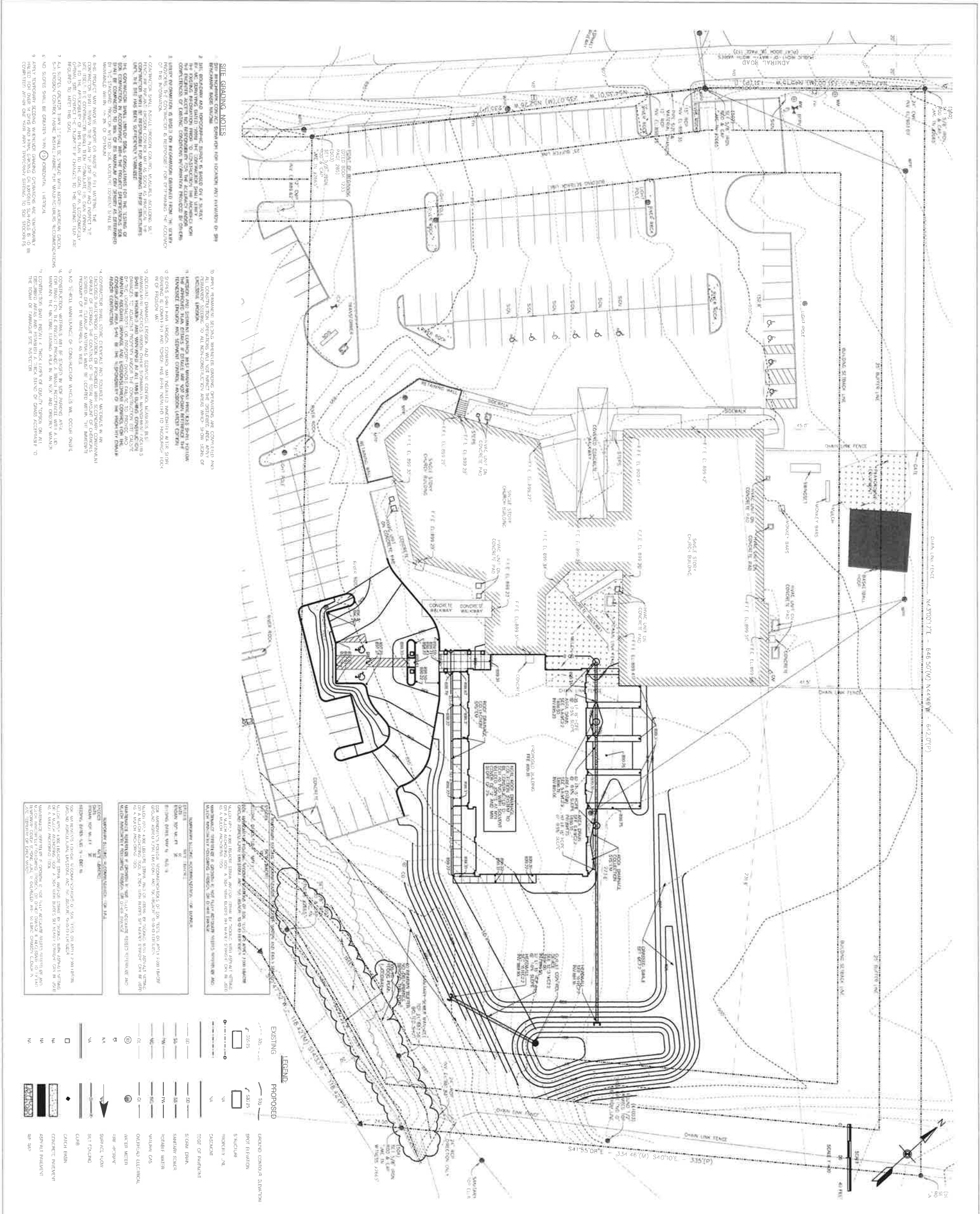


SITE LAYOUT NOTES

1. USE CHURCH ZONING PL. PERCE. MAP 007
2. 100% BUILDING AREA PROPOSED ADDITION AREA IS 11,000 SQ. FT.
3. TOTAL SITE 5.6 AC. TOTAL DIST. AREA 0.6 AC. TOTAL NEW IMPROV. 0.25 AC.
4. DED. 4.14 AC. TO THE DIST. AREA 0.6 AC. TOTAL NEW IMPROV. 0.25 AC.
5. THIS PROPERTY IS LOCATED IN AN AREA PRESERVED AS A SPECIAL FLOOD HAZARD AREA SEE MAP 007-00
6. SITE BACKGROUND CONTACT SURVEY FOR SITE BACKGROUND DATA MAP 007-00
7. SITE BACKGROUND AND TOPOGRAPHIC INFORMATION IS FROM A SURVEY BY JAC. SURVEY 100% OF THE PROPERTY SHALL BE SURVEYED BY THE ENGINEER. THE ENGINEER ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF THE SURVEY DATA OR THE INFORMATION PROVIDED BY THE ENGINEER.
8. ALL INFORMATION AND DATA ON THIS PLAN, INCLUDING THE LOCATION OF THE PROPERTY, IS BASED ON THE SURVEY DATA PROVIDED BY THE ENGINEER.
9. THE ENGINEER HAS CONDUCTED A VISUAL INSPECTION OF THE PROPERTY AND HAS FOUND NO EVIDENCE OF ANY OTHER FEATURES OR CONDITIONS THAT WOULD AFFECT THE ACCURACY OF THE SURVEY DATA.
10. THE ENGINEER HAS CONDUCTED A VISUAL INSPECTION OF THE PROPERTY AND HAS FOUND NO EVIDENCE OF ANY OTHER FEATURES OR CONDITIONS THAT WOULD AFFECT THE ACCURACY OF THE SURVEY DATA.
11. THE ENGINEER HAS CONDUCTED A VISUAL INSPECTION OF THE PROPERTY AND HAS FOUND NO EVIDENCE OF ANY OTHER FEATURES OR CONDITIONS THAT WOULD AFFECT THE ACCURACY OF THE SURVEY DATA.
12. THE ENGINEER HAS CONDUCTED A VISUAL INSPECTION OF THE PROPERTY AND HAS FOUND NO EVIDENCE OF ANY OTHER FEATURES OR CONDITIONS THAT WOULD AFFECT THE ACCURACY OF THE SURVEY DATA.



PLOT SCALE:





Johnson
Architecture

2240 Sutherland Ave., Suite 105
Knoxville, Tennessee 37919
865.671.9060
jaarc.com



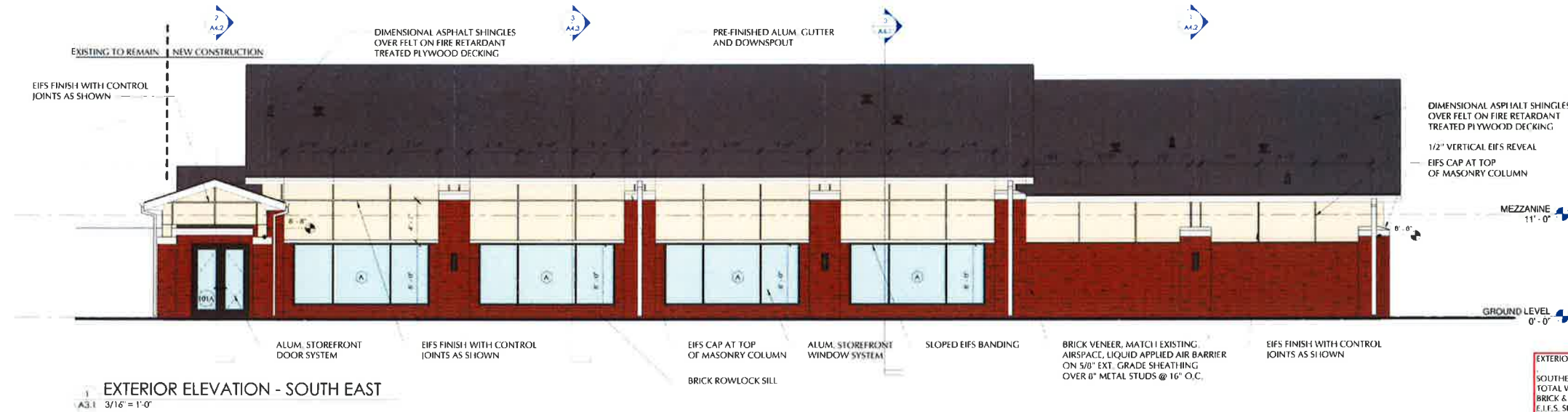
A New Multi-Purpose Addition & Renovation For:
FARRAGUT CHRISTIAN CHURCH
138 ADMIRAL RD. KNOXVILLE, TN 37934

BUILDING
ELEVATIONS

REVISIONS		
Revision #	Description	Date
REV #1 - (UNRE)	SHALL BE ADDED PRIOR TO REVIEW	

DATE: 11/4/19
PROJECT NO: 173505

A3.1C

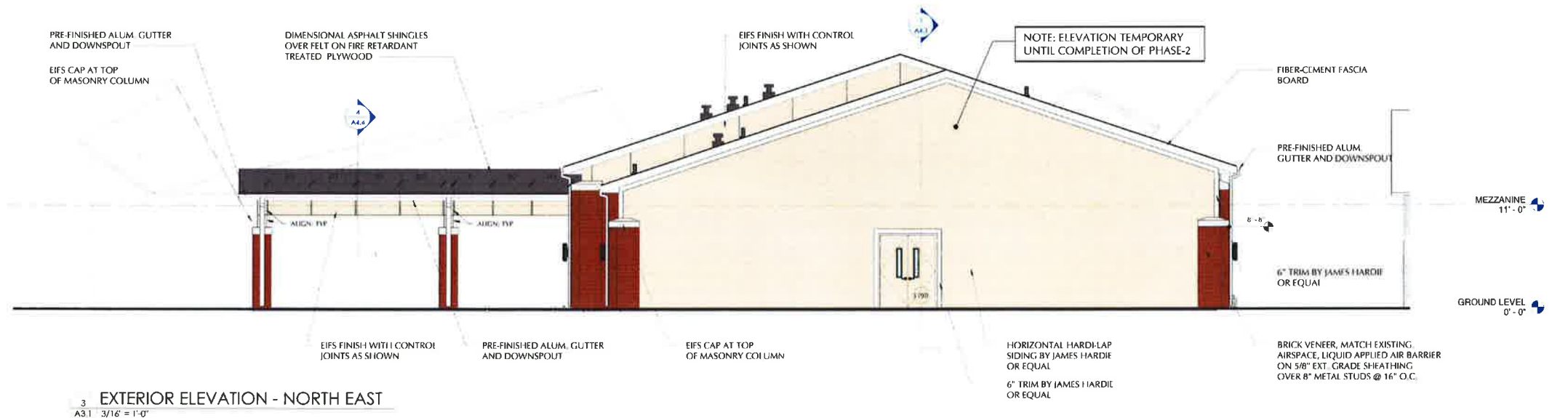


1 EXTERIOR ELEVATION - SOUTH EAST
A3.1 3/16" = 1'-0"

EXTERIOR BUILDING MATERIALS CALCULATIONS:	
SOUTH-EAST ELEVATION:	
TOTAL WALL AREA -	2,593 sf
BRICK & GLAZING WITHIN BRICK -	1,950 sf
E.I.F.S. SECONDARY MATERIAL -	643 sf
MASONRY % PER ELEVATION -	75.3%
NORTH-WEST ELEVATION:	
TOTAL WALL AREA -	1,798 sf
BRICK & GLAZING WITHIN BRICK -	1,405 sf
E.I.F.S. SECONDARY MATERIAL -	393 sf
MASONRY % PER ELEVATION -	78.2%
NORTH-EAST ELEVATION:	
TOTAL WALL AREA -	1,485 sf
BRICK VENEER -	335 sf
FIBER CEMENT BD. & E.I.F.S. -	1,150 sf
MASONRY % PER ELEVATION -	22.5%
NOTE: NORTHEAST ELEVATION HAS BEEN DESIGNED TO BE REMOVED AND INTEGRATED AS AN INTERIOR WALL IN FUTURE PHASE-2 DEVELOPMENT. WE WOULD PROPOSE THIS EXTERIOR ELEVATION NOT BE INCLUDED IN THE OVERALL MASONRY CALCULATIONS DUE TO ITS TEMPORARY EXPOSURE.	



2 EXTERIOR ELEVATION - NORTH WEST
A3.1 3/16" = 1'-0"



3 EXTERIOR ELEVATION - NORTH EAST
A3.1 3/16" = 1'-0"



Johnson
Architecture

2240 Sutherland Ave., Suite 105
Knoxville, Tennessee 37919
865.671.9060
ja-inc.com



A New Multi-Purpose Addition & Renovation For:
FARRAGUT CHRISTIAN CHURCH
138 ADMIRAL RD. KNOXVILLE, TN 37934

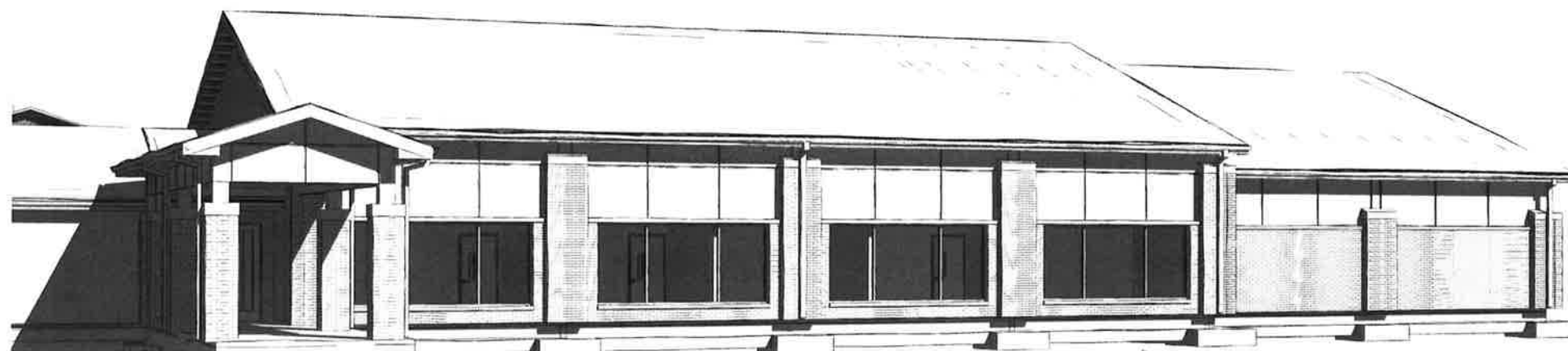
3D VIEWS

REVISIONS
Revision # Description Date

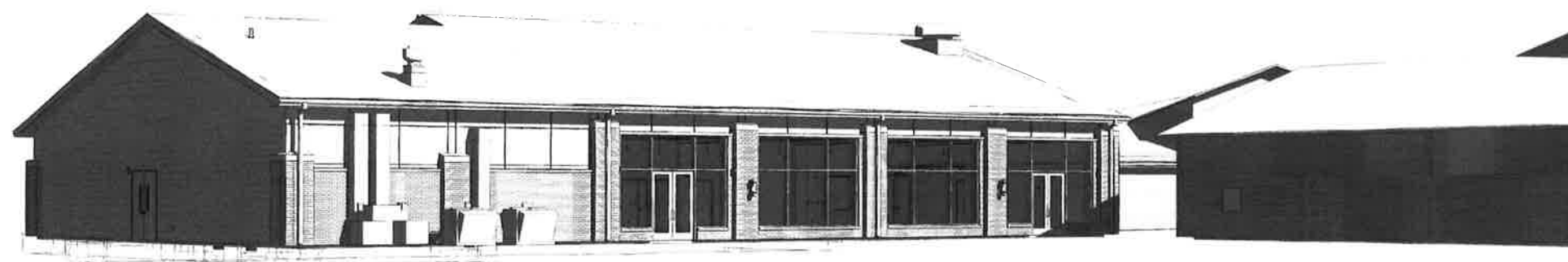
DATE: 11/4/19

PROJECT NO: 173505

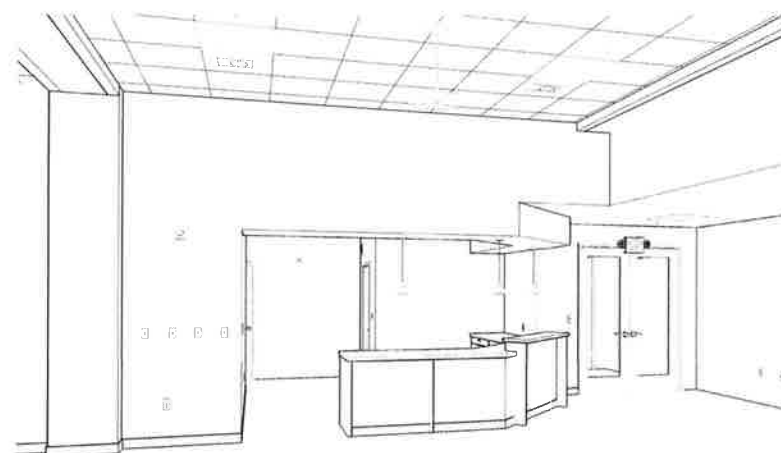
A3.2



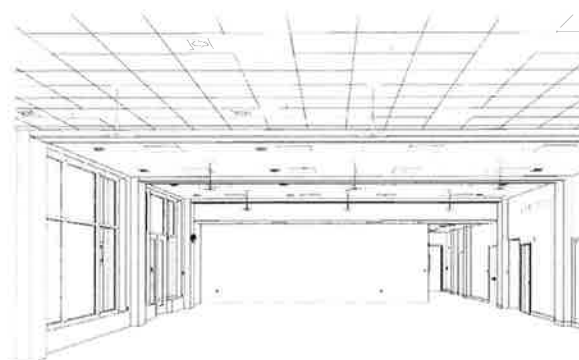
1
A3.2 VIEW FROM SOUTHEAST



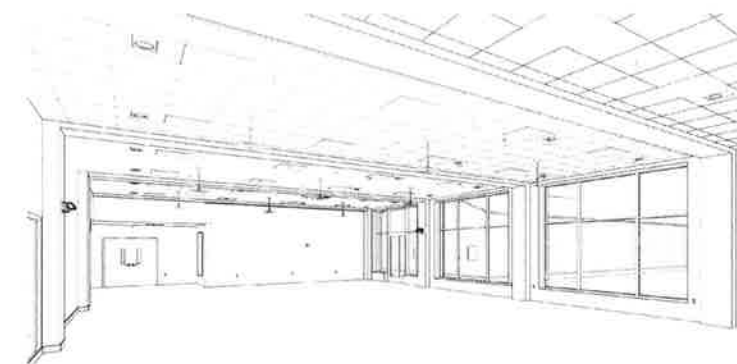
2
A3.2 VIEW FROM NORTH



3
A3.2 VIEW FROM GATHERING



4
A3.2 VIEW FROM GATHERING



5
A3.2 VIEW FROM GATHERING

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Bart Hose, Assistant Community Development Director

SUBJECT: Discussion and public hearing on a final plat for Brookmere Phase II, 13.57 Acres, 39 Houselots and 1 Open Space Lot, Zoned R-1/OSR and FPD (Ryan Lynch, Applicant)

INTRODUCTION AND BACKGROUND: This item involves a final plat for Phase II of Brookmere Subdivision located off Virtue Road. The plat represents an extension of the Phase I plat that was approved in September and corresponds to the easternmost section of first phase of the development, as depicted on the preliminary plat. It includes 39 house lots, portions of a planned open-space lot, and several planned road segments.

RECOMMENDATION: Included in your packet is a copy of the submitted final plat along with staff comments. Staff will make a recommendation at the meeting based on whether staffs' comments have been satisfactorily addressed and the construction status of the required improvements. Please also note that the applicants are again proposing to post a letter of credit for the required lot monumentation (iron pins).

Brookmere Phase 2 Final Plat (easternmost portion of preliminary phase 1), 1st submittal.pdf Markup Summary

A letter of credit for maintenance of roadway, sidewalk, walking trails and drainage elements will be required. Staff will calculate amount as



Subject: Text Box
Page Label: 1
Author: Dsmith
Date: 11/27/2019 9:46:13 AM
Status:
Color: ■
Layer:
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A letter of credit for maintenance of roadway, sidewalk, walking trails and drainage elements will be required. Staff will calculate amount as construction is completed.

A letter of credit will be required to guarantee that the pins are set. (1)



Subject: Cloud+
Page Label: 1
Author: bhose
Date: 11/22/2019 12:01:01 PM
Status:
Color: ■
Layer:
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A letter of credit will be required to guarantee that the pins are set.

Missing certificates of ownership and dedication and common area dedication. (1)



Subject: Text Box
Page Label: 1
Author: bhose
Date: 11/22/2019 12:07:01 PM
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Color: ■
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Missing certificates of ownership and dedication and common area dedication.

Naming needs to be consistent, Phase 1B or Phase II? (1)



Subject: Cloud+
Page Label: 1
Author: bhose
Date: 11/22/2019 11:48:35 AM
Status:
Color: ■
Layer:
Space:

Naming needs to be consistent, Phase 1B or Phase II?

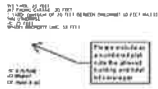
Please complete all items on staff's punchlist. (1)



Subject: Text Box
Page Label: 1
Author: Dsmith
Date: 11/27/2019 9:44:24 AM
Status:
Color: ■
Layer:
Space:

Please complete all items on staff's punchlist.

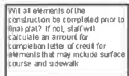
Please include as a numbered plat note the allowed building and total lot coverages (1)



Subject: Callout
Page Label: 1
Author: mshipley
Date: 11/27/2019 12:48:44 PM
Status:
Color: ■
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Space:

Please include as a numbered plat note the allowed building and total lot coverages

Will all elements of the construction be completed prior to final plat? If not, staff will calculate an amount for completion letter of cre



Subject: Text Box
Page Label: 1
Author: Dsmith
Date: 11/27/2019 9:48:52 AM
Status:
Color: ■
Layer:
Space:

Will all elements of the construction be completed prior to final plat? If not, staff will calculate an amount for completion letter of credit for elements that may include surface course and sidewalk.

TOTAL AREA = 13.57 ACRES This Phase

OR 591,300 SQ. FT.

39 LOTS AND 1 OPEN LOT

OPEN SPACE:

THIS PHASE:
TOTAL AREA: 13.57 ACRES
OPEN SPACE: 0.88 ACRES

% OF OPEN SPACE: 5.0%

TOTAL PHASE I + PHASE II:
TOTAL AREA: 53.11 ACRES
OPEN SPACE: 18.77 ACRES

% TOTAL (PHASE I + PHASE II): 35.3%

CERTIFICATE OF ELECTRIC, GAS AND TELEPHONE AVAILABILITY

This is to certify that every lot within this subdivision has available to it a source for the service identified by signature(s) below which service source is adequate to accommodate the reasonable needs of such lot as to such service with such subdivision.

DATE _____ GAS _____
DATE _____ ELECTRIC _____
DATE _____ TELEPHONE _____

CERTIFICATE FOR STREET APPROVAL

I certify that streets, sidewalks, and other required improvements have been installed in an acceptable manner and according to Town specifications, or that a security bond in the amount of \$ _____ has been posted with the Planning Commission to ensure completion of all required improvements in case of default.

(Streets only) public streets maintained of public agencies.

DATE _____ TOWN ENGINEER _____
License No.: _____

CERTIFICATE OF APPROVAL OF WATER SYSTEM

I hereby certify that it has been certified to us that the water system(s) outlined or indicated on this subdivision plat meets the requirements of the State of Tennessee, and that it has been approved for recording in the Office of the County Register of Deeds.

Date, Name, Title, and Agency of Authorized Approving Agent _____

CERTIFICATE OF APPROVAL OF SEWER SYSTEM

I hereby certify that it has been certified to us that the sewer system(s) outlined or indicated on this subdivision plat meets the requirements of the State of Tennessee, and that it has been approved for recording in the Office of the County Register of Deeds.

Date _____ Name, Title, and Agency of Authorized Approving Agent _____

CERTIFICATE OF APPROVAL FOR RECORDING

I hereby certify that the subdivision plat shown here has been found to comply with the Subdivision Regulations for Farragut, Tennessee, with the exception of such variance, if any, as are noted in the minutes of the Planning Commission and that it has been approved for recording in the Office of the County Register of Deeds.

Date _____ Secretary, Planning Commission _____

CERTIFICATE OF APPROVAL OF STREET NAMES

This is to certify that the subdivision shown herein has been reviewed for compliance with the Knox County Uniform Street Naming & Addressing System Ordinance, and the road names are hereby approved for recording.

Knox County Addressing Division / Date _____

CERTIFICATE OF OWNERSHIP AND CONSENT

I, (We) hereby certify that I am (we are) the owner(s) of the property shown and described herein and that I (we) hereby consent to the plan of subdivision with my (our) free consent, establish the minimum building restriction lines, and dedicate all streets, alleys, walks, parks, and other open space to public or private use as noted.

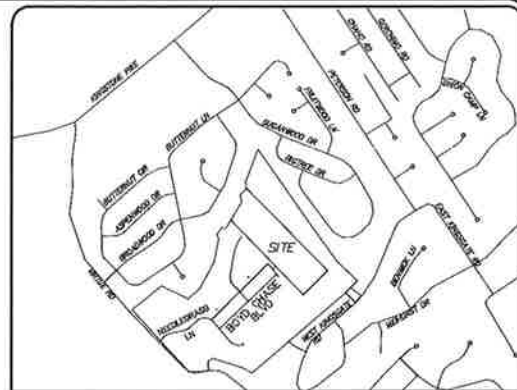
DATE _____ OWNER _____

CERTIFICATE OF COMMON AREAS DEDICATION

As owner, in recording this plat I have designated certain areas of land shown herein as common areas intended for use by the homeowners within BROOKMERE PHASE I for recreation and related activities. The above designated areas are not dedicated for use by the general public, but are dedicated to the common use of the homeowners within the named subdivision.

"Dedication of Common Areas and Restrictions," applicable to the above named subdivision, is hereby incorporated and made a part of this plat.

Date / Owner _____

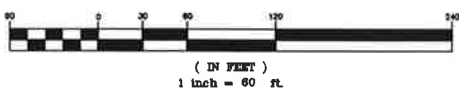


LOCATION MAP - NTS

CURVE	BEARING	CHORD	RADIUS	LENGTH
C6	S29°49'38"E	135.23	100.00	148.51
C7	S90°33'06"E	123.41	110.00	131.01
C8	S44°30'11"W	75.87	200.00	76.34
C10	S23°07'22"W	181.28	500.00	182.29
C11	S44°30'09"W	75.87	200.00	76.33
C42	N82°47'45"W	29.79	20.00	33.81
C43	N07°12'15"E	26.69	20.00	30.23
C44	S43°12'50"E	37.20	125.00	37.34
C45	S65°04'20"E	61.04	125.00	61.87
C46	N87°43'00"E	53.02	125.00	53.43
C47	N68°33'00"E	38.77	125.00	38.93
C48	S78°49'58"E	101.42	75.00	111.38
C49	S09°42'20"W	34.98	25.00	38.71
C50	S92°17'40"E	35.75	25.00	39.83
C51	N83°05'14"W	29.93	20.00	33.81
C52	N06°04'46"E	26.54	20.00	29.02
C66	S33°37'15"W	6.38	525.00	6.38
C69	S32°20'30"W	18.11	475.00	18.11
C70	S39°12'14"W	37.02	225.00	37.08
C71	S48°13'18"W	48.72	225.00	48.82
C72	S39°02'09"W	33.35	175.00	33.40
C73	S49°58'12"W	33.35	175.00	33.40
C74	S21°55'15"E	59.53	135.00	60.02
C75	S05°27'21"W	68.24	135.00	68.99
C76	S26°18'55"W	31.67	135.00	31.75
C77	S60°32'41"E	83.34	85.00	101.22
C78	S43°52'22"W	18.10	225.00	18.11
C79	S46°08'30"W	67.51	225.00	67.72
C80	S43°05'57"W	58.35	175.00	58.62
C81	S64°06'00"W	8.17	175.00	8.17



GRAPHIC SCALE



LYNCH SURVEYS LLC
SUBDIVISIONS | AS-BUILTS | SITE DESIGN
4405 COSTER RD. KNOXVILLE, TENN. 37912
865-584-2630 FAX: 865-584-2801 WWW.LYNCHSURVEY.COM



REVISIONS	
DRAWN BY: M.STRANGE	1
CHECKED BY: R. LYNCH	2
APPROVED BY: R.S.L.	3
SCALE: 1" = 60'	4
DATE: 11/15/2019	5
	6

REVISIONS	
DRAWN BY: M.STRANGE	1
CHECKED BY: R. LYNCH	2
APPROVED BY: R.S.L.	3
SCALE: 1" = 60'	4
DATE: 11/15/2019	5
	6

HomeStead Land Holdings
122 Perimeter Park Rd
Knoxville, Tennessee 37922
Phone 865-690-3200

BROOKMERE PHASE 2
CLT: 152 - 044
Knoxville, Tennessee 37934
District FW, Knox County, Tennessee

SHEET NO:
1 of 1
PROJECT NO.
4040-7FP

- WHERE MONUMENTATION WAS FOUND IT HAS BEEN IDENTIFIED. IRON PINS ARE TO BE SET AT ALL CORNERS AT TIME OF COMPLETION OF CONSTRUCTION, UNLESS OTHERWISE NOTED. ALL NEW PROPERTY MONUMENTS ARE 1/2" x 18" REBAR IRON PINS WITH PLASTIC CAP STAMPED "LYNCH 2447".
- CLT TAX MAP 152 PART OF PARCEL 044.
- DEED REFERENCES - PARCEL 044: 20180515-0087380
- THIS PROPERTY IS ZONED AS FOLLOWS: (PARCEL 044) R-1(OSR)
- A PORTION OF THIS PROPERTY DOES LIE WITHIN A 100/500 YEAR FLOOD ZONE PER FIRM FLOOD INSURANCE RATE MAP NUMBER: 4709300356F EFFECTIVE DATE: MAY 2, 2007.
- ALL UNDERGROUND UTILITIES ARE REFERENCED TO UTILITY COMPANIES MAPS AND ARE TO BE CONSIDERED APPROXIMATE.
- NORTH ROTATION: NAD83(NRS2007)
- ALL WALKING TRAILS SHALL HAVE A 20' EASEMENT IN FAVOR OF THE TOWN OF FARRAGUT AND ARE RESERVED FOR PUBLIC USE. UPON COMPLETION OF CONSTRUCTION OF WALKING TRAILS, THE TOWN OF FARRAGUT SHALL ACCEPT MAINTENANCE AND LIABILITY OF USE OF SAID EASEMENTS.
- A 15' UTILITY EASEMENT EXISTS, 7.5 EITHER SIDE OF WATER AND SEWER LINES AS INSTALLED.
- BUILDING SETBACKS FOR (R1, OSR) ZONING ARE AS FOLLOWS:
FRONT YARD: 20 FEET
FRONT FACING GARAGE: 30 FEET
SIDE YARD: (MINIMUM OF 20 FEET BETWEEN BUILDINGS) 10 FEET UNLESS SHOWN OTHERWISE.
REAR: 25 FEET
PERIPHERY PROPERTY LINE: 50 FEET
- TOTAL PERMITTED ACREAGE 53.11ACRES / 2,313,471.6 SF
TOTAL BUILDING LOTS: 90
R-1 TOTAL BUILDING AREA = 25%
R-1 TOTAL LOT COVERAGE = 35%
OSR TOTAL BUILDING AREA = (75% * 3,820,384 + 25%)/90 = 7,959 SF
OSR TOTAL LOT COVERAGE = (75% * 3,820,384 + 35%)/90 = 11,142.8 SF
PHASE II FUTURE DEVELOPMENT
GREATER THAN 5 AC.

GPS SURVEY NOTE:
ALL BOUNDARY MONUMENTS AND SURVEY CONTROL WAS PERFORMED USING GPS RECEIVER: TOPCON HIPER SR NETWORK ROVER, DUAL FREQUENCY WAS USED (L1,L2) GPS SURVEY PERFORMED WAS NETWORK ADJUSTED REAL TIME KINEMATICS BASED ON IOTC GNSS NETWORK NAD83(NRS2007) VERTICAL DATUM IS NAVD83, GEODOID. PRECISION OF THE GPS WORK RPA: 4 CM PLUS 50 PARTS PER MILLION (BASED ON THE DISTANCE BETWEEN THE TWO CORNERS BEING TESTED). DISTANCES HAVE NOT BEEN REDUCED TO GRID.

CERTIFICATE OF SURVEY ACCURACY

I hereby certify that the plan shown and described hereon is a true and correct survey to the accuracy required by the Farragut Municipal Planning Commission and that the monuments have been placed as shown hereon, to the specification of the Subdivision Regulations. This is a Category I Land Survey and the ratio of precision of the unadjusted survey is equal to or greater than 1:10,000.

Date _____ Registered Surveyor _____
No. 2447



REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on a request for approval for an MCI Metro Fiber Installation project along portions of Admiral Road, Campbell Lakes Drive, N. and S. Campbell Station Road, Everett Road, Fretz Road, Grigsby Chapel Road, Herron Road, Kingston Pike, Municipal Center Drive, Parkside Drive, Sonja Drive, Station West Drive, Union Road, Virtue Road, West End Avenue, West Point Drive, N. Watt Road, and Woodland Trace Drive (Mastec, Applicant)

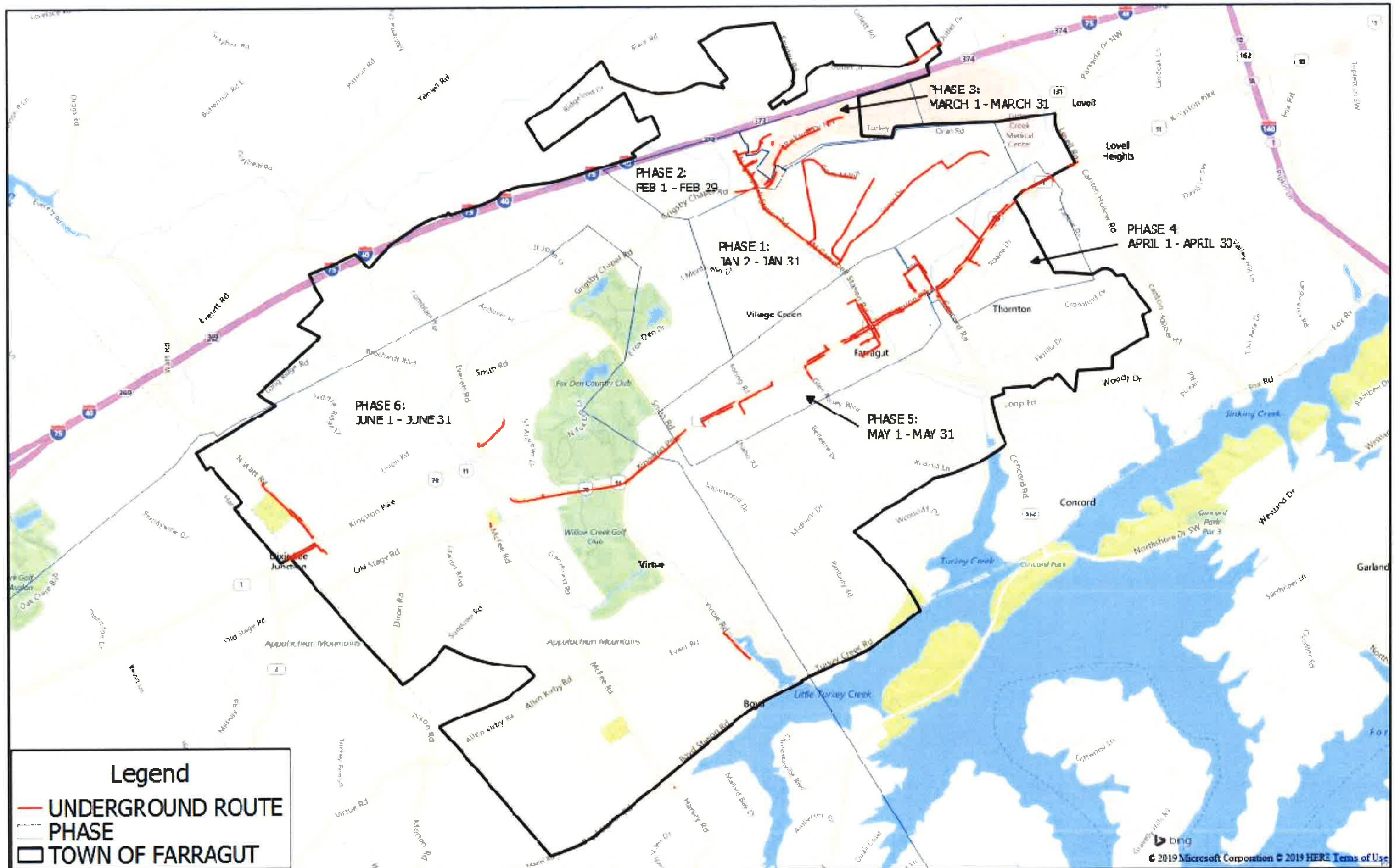
INTRODUCTION AND BACKGROUND: This item involves a significant fiber installation project that affects numerous portions of the Town. The project will involve mostly underground installation using directional boring. The fiber will be placed within a conduit bored to a depth of at least 36 inches and existing structures, such as sidewalks, will be avoided. The applicant has included the different phases of the project and the anticipated time frame for each phase.

RECOMMENDATION: Similar to the KUB project in Agenda Item #4, the applicant will need to obtain a grading and right of way permit from the Town for each separate phase. Prior to working in each phase, erosion control and traffic control will need to be coordinated with the Town's engineering department and any potential utility or other conflicts will need to be addressed. All affected areas will be required to be restored to their pre-construction condition. A letter of credit will be required due to the numerous locations involved in this project. The letter of credit will ensure that affected areas are properly restored and any damaged infrastructure (should there be any) is satisfactorily repaired. Staff will also ask that an as-built be provided when the project is complete.

MCImetro 2020 Fiber Build - Town of Farragut

Phase	General Location Description	Proposed Construction Start	Proposed Construction Complete
Phase 1	From int at Parkside, south on N Campbell Station Rd and into residential areas along Herron Rd and Sonja Dr to future small cell sites.	1/2/2020	1/31/2020
Phase 2	From int at Parkside, north on N Campbell Station Rd to approx Dunkin Donuts plus perpendicular lateral extentions for future services along Grigsby Chapel Rd, Station West Dr and Campbell Lakes Dr.	2/1/2020	2/29/2020
Phase 3	Parkside Dr from N Campbell Station Rd east to Knoxville city limits.	3/1/2020	3/31/2020
Phase 4	Kingston Pike from Lovell Rd to Concord Rd plus perpendicular lateral extentions for future services along Glenleigh Ct, Admiral Rd and Loudoun Rd.	4/1/2020	4/30/2020
Phase 5	Kingston Pike from Concord Rd to Smith Rd plus perpendicular lateral extentions for future services along West End Av and north & south along Campbell Station Rd.	5/1/2020	5/31/2020
Phase 6	Remaining portions of build in the western portion of Farragut including Kingston Pike west of Smith Rd to around Old Stage Rd, Kingston Pike near the Loudon County line, N Watt Rd, Union Rd at Everett Rd and Virtue Rd.	6/1/2020	6/30/2020

TOWN OF FARRAGUT



REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on amendments to Article II. B. Concept Plan 1. n.; Article II. C. Preliminary Plat 6. q.; and Article III. A. Streets 18., to clarify when a waiver may be considered in relation to vehicular and pedestrian connectivity (Town of Farragut, Applicant)

INTRODUCTION AND BACKGROUND: In January of 2018 amendments were made to the Subdivision Regulations to address a number of subdivision related objectives. One of the most significant was to more proactively address the lack of vehicular connectivity that was identified as a major finding in the Comprehensive Land Use Plan Update in 2012.

To help address this, the Planning Commission adopted a requirement for a subdivision to provide for both vehicular and pedestrian/shared-use path connectivity to abutting properties. As part of this language, some specific scenarios were listed for situations where the Planning Commission may grant a variance from the connectivity requirement.

One of the scenarios was where “all of the surrounding properties are existing house lots of less than one acre.” Basically, this was intended to address a situation where a property proposed for subdivision was abutting land that was already subdivided into house lots and there was essentially no room or possibility for a connection to be made in the future. The thought was that if an abutting house lot was more than one acre there may be enough land and space for an opportunity to stub out a street to this larger tract for a possible future connection.

As written, the language may be mis-interpreted as implying that a connection may be waived through a variance if the abutting property has already platted house lots even if a connection is clearly possible or clearly intended. The language needs to be clarified to ensure that it reflects the intent of the scenarios where a connection may be waived through a variance.

DISCUSSION: The specific language in question is as follows and appears in three different sections of the Subdivision Regulations:

“The subdivision shall provide for both vehicular and pedestrian/shared-use path connectivity to abutting properties. The subdivision shall have more than one public street vehicular access into and out of the development. The Planning Commission may waive this requirement in cases where 1) All of the surrounding properties are existing house lots of less than one acre; or 2) Where very significant topographic issues, not created by the design of the subdivision, would effectively prohibit connections; or 3) The subdivision will have thirty (30) or less dwelling units.”

RECOMMENDATION: Resolution PC-19-11 includes language that clarifies the intent of the statute as it relates to when the Planning Commission may consider a variance where all of the surrounding properties are existing house lots of less than one acre. Specifically, the proposed language is as follows:

“The subdivision shall provide for both vehicular and pedestrian/shared-use path connectivity to abutting properties. The subdivision shall have more than one public street vehicular access into and out of the development. The Planning Commission may consider waiving this requirement in cases where 1) All of the abutting properties have been developed as existing house lots of less than one acre in size and are so located to physically preclude (block) such connections; or 2) Where very significant topographic issues, not created by the design of the subdivision, would effectively prohibit connections; or 3) The subdivision will have thirty (30) or less dwelling units.”

Staff recommends approval of Resolution PC-19-11.

RESOLUTION PC-19-11

FARRAGUT MUNICIPAL PLANNING COMMISSION

A RESOLUTION TO AMEND THE FARRAGUT SUBDIVISION REGULATIONS, ARTICLE II. PROCEDURE FOR SUBDIVISION APPROVAL, TO MODIFY REQUIREMENTS FOR CONCEPT PLANS AND PRELIMINARY PLATS; AND ARTICLE III. GENERAL REQUIREMENTS AND MINIMUM STANDARDS OF DESIGN, TO MODIFY CONNECTIVITY REQUIREMENTS

WHEREAS, the Farragut Municipal Planning Commission has adopted regulations governing the subdivision of land within the Town in the manner provided for in Section 13-4-303, Tennessee Code Annotated,

WHEREAS, the Farragut Municipal Planning Commission may amend the Subdivision Regulations in the manner provided for in Section 13-4-303, Tennessee Code Annotated, and after a public hearing has been held thereon;

WHEREAS, such public hearing was held on December 19, 2019; and

NOW, THEREFORE, BE IT RESOLVED that the Farragut Municipal Planning Commission adopts the following amendments to the Farragut Subdivision Regulations:

SECTION 1.

Article II. Procedure for Subdivision Approval, B. Concept Plan, 1., is amended as follows:

The third paragraph of required information item "n.", as currently written, shall be replaced in its entirety by the following paragraph:

The subdivision shall provide for both vehicular and pedestrian/shared-use path connectivity to abutting properties. The subdivision shall have more than one public street vehicular access into and out of the development. The Planning Commission may consider waiving this requirement in cases where 1) All of the abutting properties have been developed as existing house lots of less than one acre in size and are so located to physically preclude (block) such connections; or 2) Where very significant topographic issues, not created by the design of the subdivision, would effectively prohibit connections; or 3) The subdivision will have thirty (30) or less dwelling units.

SECTION 2.

Article II. Procedure for Subdivision Approval, C. Preliminary Plat 6., is amended as follows:

The third paragraph of required information item “q.”, as currently written, shall be replaced in its entirety by the following paragraph:

The subdivision shall provide for both vehicular and pedestrian/shared-use path connectivity to abutting properties. The subdivision shall have more than one public street vehicular access into and out of the development. The Planning Commission may consider waiving this requirement in cases where 1) All of the abutting properties have been developed as existing house lots of less than one acre in size and are so located to physically preclude (block) such connections; or 2) Where very significant topographic issues, not created by the design of the subdivision, would effectively prohibit connections; or 3) The subdivision will have thirty (30) or less dwelling units.

SECTION 3.

Article III. General Requirements and Minimum Standards of Design, A. Streets is amended as follows:

Subsection “18.”, as currently written, shall be replaced in its entirety by the following:

18. Connectivity. The subdivision shall provide for both vehicular and pedestrian/shared-use path connectivity to abutting properties. The subdivision shall have more than one public street vehicular access into and out of the development. The Planning Commission may consider waiving this requirement in cases where 1) All of the abutting properties have been developed as existing house lots of less than one acre in size and are so located to physically preclude (block) such connections; or 2) Where very significant topographic issues, not created by the design of the subdivision, would effectively prohibit connections; or 3) The subdivision will have thirty (30) or less dwelling units.

This amendment shall be in full force and effect from and after the date of passage of this Resolution.

RESOLUTION passed December 19, 2019.

Rita Holladay, Chairman

Rose Ann Kile, Secretary