



WORKSHOP SESSION
January 16, 2020
6:00 p.m. Farragut Town Hall

1. **Review Federal Communications Commission (FCC) and State of Tennessee provisions governing the deployment of small cell support structures and related wireless infrastructure.**

AGENDA
FARRAGUT MUNICIPAL PLANNING COMMISSION

January 16, 2020
7:00 p.m. Farragut Town Hall

For questions please e-mail Mark Shipley at mshipley@townoffarragut.org or Bart Hose at bhose@townoffarragut.org

1. **Citizen Forum**
2. **Approval of agenda**
3. **Approval of minutes – December 19, 2019**
4. **Discussion and public hearing on a final plat for Brookmere Phase II, 13.57 Acres, 39 Houselots and 1 Open Space Lot, Zoned R-1/OSR and FPD (Ryan Lynch, Applicant)**
5. **Discussion and public hearing on a final plat for the Campbell Crossing Subdivision, 1107 N. Campbell Station Road, 10.19 Acres, 22 Houselots and 1 Open Space Lot, Zoned R-1/OSR (Lemay and Associates, Applicant)**
6. **Discussion and public hearing on a revision to the site plan approved on August 15, 2019 for a generator at the Summit View Nursing Home, 12823 Kingston Pike, 5 Acres, Zoned C-1 (Falconnier Design Company, Applicant)**
7. **Discussion and public hearing on a site plan for the property located at 11807 Kingston Pike, 1.5 Acres, Zoned C-1 (GBS Engineering, Applicant)**
8. **Discussion and public hearing on a request for approval for small cell support structures within the public rights of ways adjacent to 100 S. Campbell Station Road, 500 N. Campbell Station Road, 10809 Dineen Drive, 10870 Kingston Pike, 11124 Kingston Pike, 11840 Kingston Pike, 12001 Kingston Pike, 11433 Parkside Drive, 11534 Parkside Drive, 11101 Sonja Drive, 11221 Sonja Drive, Lot 75 Cove at Turkey**

**Creek (near intersection of Turkey Cove Lane and Matthews Cove Lane)
(Towersource, Applicant)**

- 9. Discussion and public hearing on amendments to the future land use map in relation to the area east of the roundabout that provides access to McFee Park off McFee Road
(Town of Farragut, Applicant)**

10. Approval of utilities

**Planning Commission Meeting
Public Comment Protocol**

The Planning Commission welcomes and invites citizens to participate in public meetings.

At the beginning of each meeting, there will be time reserved for public comment under the Citizen Forum agenda item. If you are interested in speaking, please fill out a blue comment card and turn it in to the Town Planner or staff member. This time is set aside specifically for comments on items that are not on the Planning Commission regular agenda for the meeting. Each speaker will be given five (5) minutes to speak on his/her topic.

During the regular agenda portion of the meeting there may be an allowance for public comment for each agenda item. The Chairman may recognize individuals for public comment based on the following guidelines:

1. The Chairman shall maintain and control the meeting to provide a professional and objective environment conducive to presentation and discussion of the agenda items;
2. Anyone interested in speaking should fill out a blue comment card stating which agenda item they would like to comment on and turn in to the Town Planner or a staff member;
3. Speakers shall come to the podium and identify themselves by name and address;
4. Public comment shall be limited to five (5) minutes per individual, time may be extended at the discretion of the Chairman; time is not transferable to other speakers;
5. Speakers should strive to avoid redundancy;
6. Comments shall address issues, not individuals or personalities;
7. Comments may support or oppose particular issues or measures, but the motives of those with differing views shall not be questioned or attacked;
8. Personal attacks and malicious comments shall not be tolerated;
9. An applicant, and/or their representative(s), for an item on the regular agenda shall be afforded the time necessary to present their request and respond to questions. The five (5) minute limitation shall not apply. However, the Chairman may ask an applicant to stay on point in order to facilitate the efficiency of the meeting.



**MINUTES
FARRAGUT MUNICIPAL PLANNING COMMISSION**

December 19, 2019

MEMBERS PRESENT

Rita Holladay, Chairman
Ed St. Clair, Vice-Chairman
Ron Williams, Mayor
Louise Povlin
Scott Russ
Betty Dick
Jon Greene
Noah Myers
Melanie Cionfolo, Youth Representative

MEMBERS ABSENT

Rose Ann Kile

Staff Representatives: Mark Shipley, Community Development Director

Chairman Holladay called the meeting to order at 7 p.m.

1. Citizen Forum

Chairman Holladay commended the Town on the holiday lights at Founders Park. Mayor Williams noted that the sidewalk abutting the retaining wall along N. Campbell Station Road will be closed for 3 months so that the area can be prepared for a masonry application during this time on the face of the retaining wall.

2. Approval of agenda

Staff noted that Agenda Item #7 has been withdrawn at the request of the applicant due to incomplete field items.

A motion was made by Commissioner Povlin to follow staffs' recommendation. Motion was seconded by Mayor Williams and motion passed unanimously.

3. Approval of minutes – November 21, 2019

Staff recommended approval.

A motion was made by Mayor Williams to follow staffs' recommendation. Motion was seconded by Commissioner Myers and motion passed unanimously.

4. Discussion and public hearing on a gas system improvement project for KUB in the Concord Hills Subdivision (KUB, Applicant)

Staff reviewed this item and recommended approval subject to the following:

- 1) Please obtain a grading and right of way permit from the Town and use directional boring to the greatest extent possible. Silt and tree fencing (where needed) must be installed and then inspected and approved by the Town staff;
- 2) At a minimum, please restore any affected areas to their pre-construction condition and ensure that all affected areas are completely stabilized;
- 3) Please ensure that proper traffic control measures are in place; and
- 4) Please provide an as-built of the gas line placement and easements to the Town once the project is complete.

A motion was made by Commissioner St. Clair to follow staffs' recommendation. Motion was seconded by Commissioner Povlin and motion passed unanimously.

5. Discussion and public hearing on a site plan for the Ivey Farms Clubhouse off Road B in the Ivey Farm Subdivision, 52.3 Acres, Zoned R-1/OSR (SITE, Incorporated, Applicant)

Staff reviewed this item and recommended approval subject to the following:

- 1) Please provide calculated fire flow and quantity of required hydrants in accordance with 2018 IFC;
- 2) Please provide construction type of size of building;
- 3) Please provide theoretical hydrant flow data;
- 4) The architectural renderings call for painted brick & siding. Please indicate the colors on the plan and provide material boards for the P.C. meeting. Please include the same information for the central mail facility and the solid-waste enclosure;
- 5) The lighting plan should show foot-candle values at the property lines; and
- 6) A separate landscape plan application will have to be made for review by the VRRB. Any ground signs will also need to be applied for separately and reviewed by the VRRB.

A motion was made by Commissioner Povlin to follow staffs' recommendation. Motion was seconded by Commissioner St. Clair and motion passed unanimously.

6. Discussion and public hearing on a site plan for an addition to the Farragut Christian Church at 138 Admiral Road, 5.1 Acres, Zoned R-1 and FPD (Johnson Architecture, Applicant)

Staff reviewed this item and noted that the following items remain and that the Commission will need to consider whether they are okay with the Northeast building elevation being (temporarily) out of compliance with the masonry requirements in the Architectural Design Standards:

- 1) The revised plan includes remnants for staff's first markup (comment clouds, measuring lines, etc.). Please provide a clean copy of the final plan for the permanent file;
- 2) Site lighting is not addressed. Please provide details and plan for any new/revised site lighting;
- 3) Please verify that the proposed building F.F.E. meets the Town's floodplain management requirements;

- 4) The Planning Commission will need to consider and approve the proposed material percentage on the NE building elevation (the applicant is requesting to use a hardie-board siding at this time due to the fact that an expansion is planned to this portion of the building in the near future;
- 5) A landscaping plan will need to be submitted as a separate application for VRRB approval;
- 6) All engineering and planning development punch-list items should be completed before final approval;
- 7) A new detention basin is proposed on the site plan. Please update SWPPP accordingly;
- 8) To minimize confusion, please remove any reference to non-impaired streams throughout this SWPPP since the entire length of Turkey Creek is impaired; and
- 9) Please submit NOC and provide an erosion control letter of credit for \$7,500.

After a discussion, a motion was made by Commissioner Povlin to approve the site plan subject to the remaining staff comments and that the Northeast building elevation may be exempt from the masonry requirements in the Architectural Design Standards for up to 5 years from the date of this approval. This recommendation was subject to the applicant providing the Town staff with a Phase 2 exhibit which shows the envisioned expansion and this exhibit being part of the record for this agenda item. Motion was seconded by Commissioner Myers and motion passed unanimously.

7. **Discussion and public hearing on a final plat for Brookmere Phase II, 13.57 Acres, 39 Houselots and 1 Open Space Lot, Zoned R-1/OSR and FPD (Ryan Lynch, Applicant)**
Postponed at the request of the applicant.

8. **Discussion and public hearing on a request for approval for an MCI Metro Fiber Installation project along portions of Admiral Road, Campbell Lakes Drive, N. and S. Campbell Station Road, Everett Road, Fretz Road, Grigsby Chapel Road, Herron Road, Kingston Pike, Municipal Center Drive, Parkside Drive, Sonja Drive, Station West Drive, Union Road, Virtue Road, West End Avenue, West Point Drive, N. Watt Road, and Woodland Trace Drive (Mastec, Applicant)**

Staff reviewed this item and recommended approval subject to the following:

- 1) Please obtain a grading and right of way permit from the Town and use directional boring for the underground fiber installation. Silt and tree fencing (where needed) must be installed and then inspected and approved by the Town staff;
- 2) At a minimum, please restore any affected areas to their pre-construction condition and ensure that all affected areas are completely stabilized;
- 3) Please ensure that proper traffic control measures are in place;
- 4) Given the linear feet of affected public rights of ways, a letter of credit will be required in an amount determined by the Town Engineer to ensure that all disturbed areas are properly restored and any damaged infrastructure (should this occur) is satisfactorily repaired; and
- 5) Please provide an as-built of the fiber installation once the project is complete.

A motion was made by Commissioner St. Clair to follow staffs' recommendation. Motion was seconded by Mayor Williams and motion passed unanimously.

- 9. Discussion and public hearing on amendments to Article II. B. Concept Plan 1. n.; Article II. C. Preliminary Plat 6. q.; and Article III. A. Streets 18., to clarify when a waiver may be considered in relation to vehicular and pedestrian connectivity (Town of Farragut, Applicant)**

Staff reviewed this item and recommended approval of Resolution PC-19-11.

A motion was made by Commissioner Myers to follow staffs' recommendation. Motion was seconded by Commissioner Povlin and motion passed unanimously.

10. Approval of utilities

None

The meeting was adjourned at 8:25.

Rose Ann Kile, Secretary

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on a final plat for Brookmere Phase II, 13.57 Acres, 39 Houselots and 1 Open Space Lot, Zoned R-1/OSR and FPD (Ryan Lynch, Applicant)

INTRODUCTION AND BACKGROUND: This item was postponed last month due to incomplete field work. The applicant is now again requesting final plat approval for Phase II of the Brookmere Subdivision located off Virtue Road. The plat represents an extension of the Phase I plat that was approved in September and corresponds to the easternmost section of the first phase of the development, as depicted on the preliminary plat. It includes 39 house lots, portions of a planned open-space lot, and several planned road segments.

RECOMMENDATION: Included in your packet is a copy of the latest final plat. Staff will make a recommendation at the meeting based on whether staffs' comments have been satisfactorily addressed and the field items are generally complete. Please also note that the applicants are again proposing to post a letter of credit for the required lot monumentation (iron pins).

TOTAL AREA = 13.57 ACRES This Phase

OR 591,300 SQ. FT.

39 LOTS AND 1 OPEN LOT

OPEN SPACE:

THIS PHASE:

TOTAL AREA: 13.57 ACRES

OPEN SPACE: 0.68 ACRES

% OF OPEN SPACE: 5.0%

TOTAL PHASE I + PHASE II

TOTAL AREA: 53.11 ACRES

OPEN SPACE: 18.77 ACRES

% TOTAL (PHASE I + PHASE II): 35.3%

CERTIFICATE OF ELECTRIC, GAS AND TELEPHONE AVAILABILITY

This is to certify that every lot within this subdivision has available to it a source for the service identified by signature(s) below which service source is adequate to accommodate the reasonable needs of each lot as to such service with such subdivision.

Date _____ GAS

Date _____ ELECTRIC

Date _____ TELEPHONE

CERTIFICATE FOR STREET APPROVAL

I certify that streets, sidewalks, and other required improvements have been installed in an acceptable manner and according to town specifications, or that a security bond in the amount of \$ has been posted with the Planning Commission to ensure completion of all required improvements in case of default. Streets (are) public streets maintained at public expense.

DATE _____ TOWN ENGINEER

License No. _____

CERTIFICATE OF APPROVAL OF WATER SYSTEM

I hereby certify that it has been verified to us that the water system(s) outlined or indicated on the first subdivision plat entitled BROOKMERE PHASE 1 - have been installed in accordance with current local and state government requirements.

Date Name, Title, and Agency of Authorized Approving Agent

CERTIFICATE OF APPROVAL OF SEWER SYSTEM

I hereby certify that it has been verified to us that the sewer system(s) outlined or indicated on the first subdivision plat entitled BROOKMERE PHASE 1 have been installed in accordance with current local and state government requirements.

Date Name, Title, and Agency of Authorized Approving Agent

CERTIFICATE OF APPROVAL FOR RECORDING

I hereby certify that the subdivision plat shown here has been found to comply with the Subdivision Regulations for Tennessee, with the exception of such references, if any, as are noted in the minutes of the Planning Commission and that it has been approved for recording in the Office of the County Register of Deeds.

Date / Secretary, Planning Commission

CERTIFICATE OF APPROVAL OF STREET NAMES

This is to certify that the subdivision shown hereon has been reviewed for compliance with the Knox County Uniform Street Naming & Addressing System Ordinance, and the road names are hereby approved for recording.

Knox County Addressing Division / Date

CERTIFICATE OF OWNERSHIP AND DEDICATION

I, (We) hereby certify that I am (we are) the owner(s) of the property shown and described hereon and that I (we) hereby adopt this plan of subdivision with my (our) free consent, establish the minimum building restriction lines, and dedicate all streets, alleys, walks, parks, and other open space to public or private use as noted.

DATE: _____ 20 _____

OWNER

CERTIFICATE OF COMMON AREAS DEDICATION

As owner, in recording this plat I have designated certain areas of land shown hereon as common areas intended for use by the homeowners within BROOKMERE PHASE 1 for recreation and related activities. The above described areas are not dedicated for use by the general public, but are dedicated to the common use of the homeowners within the named subdivision.

"Declaration of Covenants and Restrictions," applicable to the above named subdivision, is hereby incorporated and made a part of this plat.

Date / Owner

LOCATION MAP - NTS

CURVE	BEARING	CHORD	RADIUS	LENGTH
C6	S79°49'38"E	135.23	100.00	148.51
C7	S00°33'06"E	123.41	110.00	131.01
C8	S44°30'11"W	75.87	200.00	76.34
C9	S23°27'22"W	181.28	500.00	182.29
C10	S44°30'09"W	75.87	200.00	76.33
C11	N82°47'45"W	29.79	20.00	33.61
C12	N07°12'15"E	26.69	20.00	29.23
C13	S43°12'55"E	37.20	125.00	37.34
C14	S65°34'20"E	61.04	125.00	61.67
C15	N82°43'00"E	53.02	125.00	53.43
C16	N66°33'00"E	38.77	125.00	38.93
C17	S79°49'38"E	101.42	75.00	111.38
C18	S09°42'20"W	34.96	25.00	38.71
C19	S60°17'40"E	35.75	25.00	39.83
C20	N82°43'00"E	29.93	20.00	33.61
C21	N06°54'46"E	26.54	20.00	29.02
C22	S33°13'15"E	6.38	525.00	6.38
C23	S32°28'36"E	18.11	475.00	18.11
C24	S08°17'14"E	37.02	225.00	37.06
C25	S49°13'16"E	48.72	225.00	48.82
C26	S39°02'09"E	33.35	175.00	33.40
C27	S49°58'12"E	33.35	175.00	33.40
C28	S21°55'15"E	59.53	135.00	60.02
C29	S08°17'21"E	68.24	135.00	68.99
C30	S46°42'54"E	31.67	135.00	31.75
C31	S00°12'41"E	95.34	85.00	101.22
C32	S35°52'27"E	18.10	225.00	18.11
C33	S46°48'30"E	67.51	225.00	67.77
C34	S43°09'57"E	58.35	175.00	58.62
C35	S34°06'00"W	8.17	175.00	8.17



GRAPHIC SCALE



(IN FEET)

1 inch = 60 ft

LYNCH SURVEYS LLC
SUBDIVISIONS | AS-BUILTS | SITE DESIGN
4405 COSTER RD. KNOXVILLE, TENN. 37912
865-584-2630 FAX: 865-584-2801 WWW.LYNCHSURVEY.COM



BROOKMERE PHASE 1
201910100025219

BROOKMERE PHASE 1
201910100025219

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201910100025219

BROOKMERE PHASE 1
201910100025219

BROOKMERE PHASE 1
201910100025219

GPS SURVEY NOTE:
ALL BOUNDARY MONUMENTS AND SURVEY CONTROL WAS PERFORMED USING GPS
RECEIVER: TOPCON HIPER SR NETWORK ROVER, DUAL FREQUENCY WAS USED (L1,L2)
GPS SURVEY PERFORMED WAS NETWORK ADJUSTED REAL TIME KINEMATICS BASED ON
TODT GNSS NETWORK NAD83(NSRS2007) VERTICAL DATUM IS NAVD83, GEOID09.
PRECISION OF THE GPS WORK RPA: 4 CM PLUS 50 PARTS PER MILLION (BASED ON THE
DIRECT DISTANCE BETWEEN THE TWO CORNERS BEING TESTED).
DISTANCES HAVE NOT BEEN REDUCED TO GRID.

CERTIFICATE OF SURVEY ACCURACY

I hereby certify that the plan shown and described hereon is a true and correct survey to the accuracy required by the Farrogl Municipal Planning Commission and that the monuments have been placed as shown hereon, to the specification of the Subdivision Regulations. This is a Category I Land Survey and the ratio of precision of the undistorted survey is equal to or greater than 1:10,000.

Date _____ Registered Surveyor

No. 2447

FINAL PLAT OF:

HomeStead Land Holdings
122 Perimeter Park Rd
Knoxville, Tennessee 37922
Phone 865-690-3200

BROOKMERE PHASE 2
CLT: 152 - 044
Knoxville, Tennessee 37934
District FW, Knox County, Tennessee

SHEET NO:
1 of 1
PROJECT NO.
4040-7FP



07/03/2018

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on a final plat for the Campbell Crossing Subdivision, 1107 N. Campbell Station Road, 10.19 Acres, 22 Houselots and 1 Open Space Lot, Zoned R-1/OSR (Lemay and Associates, Applicant)

INTRODUCTION AND BACKGROUND: This item involves a request for approval of a final plat of the Campbell Crossing Subdivision that is situated at the eastern intersection of Fretz Road and N. Campbell Station Road. The subdivision includes 22 houselots (1 of which contains an existing home) and one open space lot. The preliminary plat was approved on April 18, 2019 and since that time the property owner has been working on completing the required improvements.

The project will include a sidewalk along one side of the road that will be installed as homes are constructed. A walking trail is also provided between Lots 17 and 18 and its termination will need to be coordinated with the construction of a left turn lane and pedestrian improvements on N. Campbell Station Road that are required by Knox County based on the number of building permits issued in the County along Fretz Road.

RECOMMENDATION: Included in your packet is a copy of the revised final plat. Staff will make a recommendation at the meeting based on whether staffs' comments have been satisfactorily addressed and all field items are generally complete.

CERTIFICATE OF OWNERSHIP AND DEDICATION

I (we) hereby certify that I am (we are) the owner(s) of the property shown and described hereon and that I (we) hereby adopt this plan of subdivision with my (our) free consent, establish the minimum building restriction lines, and dedicate all streets, alleys, walks, parks, and other open space to public or private use as noted.

Date: _____ Owner / (Authorized Signature)

CERTIFICATION OF COMMON AREAS DEDICATION

As owner, in recording this plat I have designated certain areas of land shown hereon as common areas intended for use by the homeowners within Campbell Crossing for recreation and related activities. The above described areas are not dedicated for use by the general public, but are dedicated to the common use of the homeowners within the named subdivision.

"Declaration of Covenants and Restrictions," applicable to the above named subdivision, is hereby incorporated and made part of this plat.

Date: _____ Owner

CERTIFICATE OF APPROVAL OF STREET NAMES

This is to certify that the subdivision shown hereon has been reviewed for compliance with the Knox County Uniform Street Naming and Addressing System Ordinance, and the road names are hereby approved for recording.

Knox County Addressing Division Date: _____

CERTIFICATE OF APPROVAL OF WATER SYSTEM

I hereby certify that it has been certified to us that the water system(s) outlined or indicated on the final subdivision plat entitled Campbell Crossing have been installed in accordance with current local and state government requirements.

Date: _____

Name, Title, and Agency of Authorized Approving Agent

CERTIFICATE OF APPROVAL OF SEWER SYSTEM

I hereby certify that it has been certified to us that the sewer system(s) outlined or indicated on the final subdivision plat entitled Campbell Crossing have been installed in accordance with current local and state government requirements.

Date: _____

Name, Title, and Agency of Authorized Approving Agent

CERTIFICATE FOR STREET APPROVAL

I certify that streets, sidewalks, and other required improvements have been installed in an acceptable manner and according to Town specifications, or that a security bond in the amount of \$_____ has been posted with the Planning Commission to assure completion of all required improvements in case of default. Streets are public streets maintained at public expense.

Date: _____

Town Engineer: _____

License No.: _____

TOTAL AREA: 443876.4 SQFT
OPEN SPACE: 160673.1 SQFT (36.2%)
BUILDING COVERAGE: 83,226.8 SQFT
TOTAL LOT COVERAGE: 116,517 SQFT

SITE NOTES

- CORNER MONUMENTS AS SHOWN HEREON
- VERIFY EXACT SIZE, DEPTH AND LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
- A FIVE (5) FOOT UTILITY, DRAINAGE AND CONSTRUCTION EASEMENT ON EACH SIDE OF INTERIOR LOT LINES. A TEN (10) FOOT UTILITY, DRAINAGE AND CONSTRUCTION EASEMENT ON INSIDE OF ROAD RIGHTS-OF-WAY AND EXTERIOR LOT LINES.
- DEED REFERENCE: INSTR NO: 200407120003236, 20050322 0074656
PLAT REFERENCE: INSTR NO: 200404020091650
- PROPERTY SHOWN ON TAX MAP 130, PARCELS 84, 84.01 & 87
- TOTAL AREA: 10.19 ACRES
- TOTAL NUMBER OF LOTS: (22) BUILDING LOTS (1) OPEN SPACE LOT
- PROPERTY ZONED: OSR
BUILDING SETBACKS:
FRONT - 20' (30' IF GARAGE IS FRONT FACING)
SIDE - MIN. 20' BETWEEN BUILDINGS
REAR - 25'
PERIPHERAL - 50'
- MAXIMUM LOT COVERAGE: 35%
- HEIGHT REGULATIONS: NOT TO EXCEED 2-1/2 STORIES OR 35' HIGH

CERTIFICATE OF ELECTRIC, GAS, AND TELEPHONE AVAILABILITY

This is to certify that every lot within this subdivision has available to it a source for the service identified by signature(s) below which service source is adequate to accommodate the reasonable needs of such lot as to such service within such subdivision.

Date: _____ GAS— Title, and Agency of Authorized Approving Agent

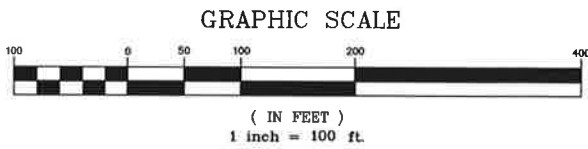
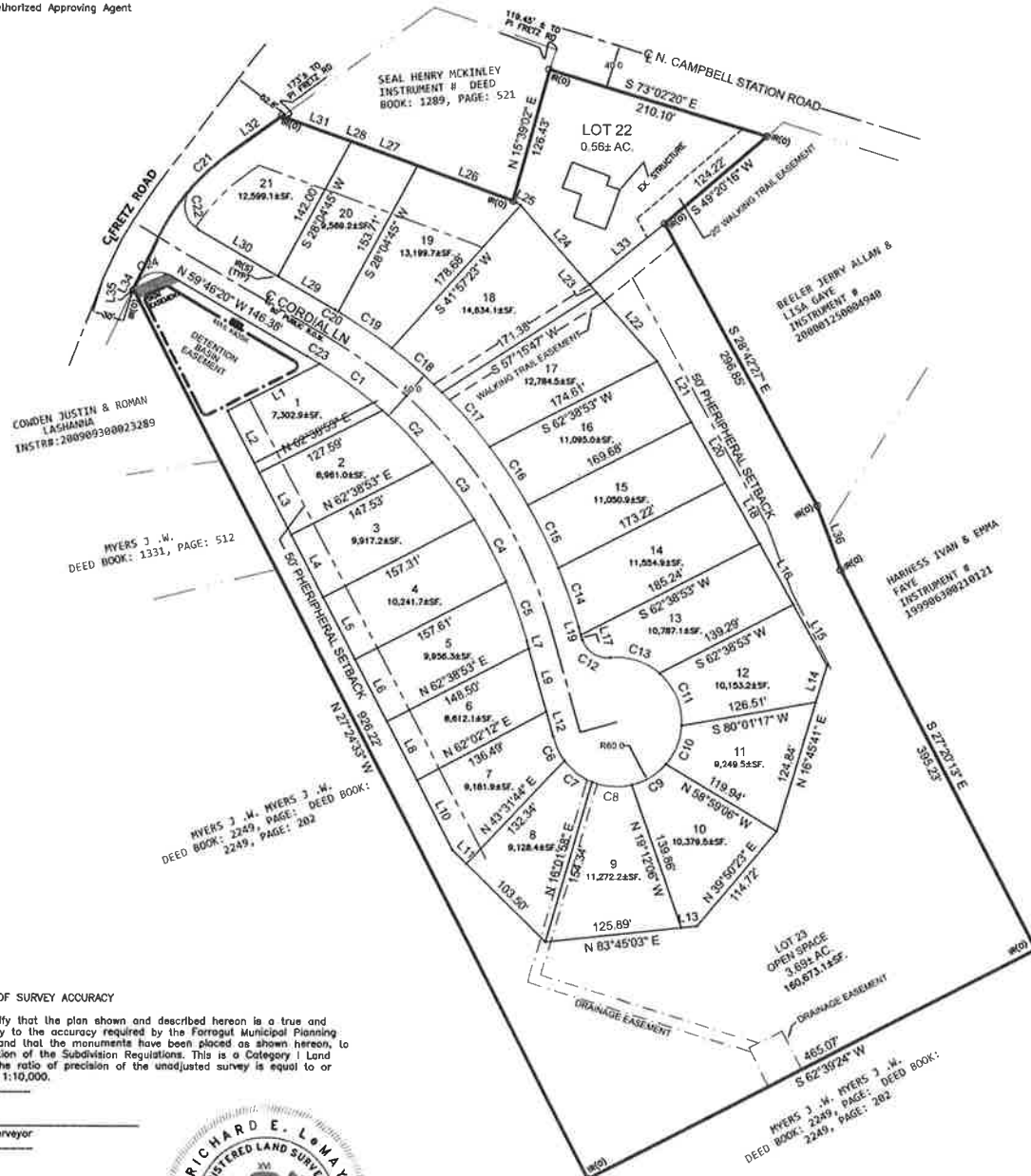
Date: _____ ELECTRIC—Name, Title, and Agency of Authorized Approving Agent

Date: _____ TELEPHONE—Name, Title, and Agency of Authorized Approving Agent

CERTIFICATE OF APPROVAL FOR RECORDING

I hereby certify that the subdivision plat shown here has been found to comply with the Subdivision Regulations for Farragut, Tennessee, with the exception of such variances, if any, as are noted in the minutes of the Planning Commission and that it has been approved for recording in the Office of the Knox County Register of Deeds.

Date: _____ Secretary, Planning Commission



LINE	BEARING	DISTANCE
L1	S 62°38'53" W	95.93
L2	S 27°21'31" E	64.72
L3	S 27°21'31" E	64.72
L4	S 27°21'31" E	64.72
L5	S 27°21'31" E	64.72
L6	S 27°21'31" E	64.72
L7	N 15°59'05" W	6.82
L8	S 27°21'31" E	61.20
L9	N 15°59'05" W	60.94
L10	S 27°21'31" E	73.05
L11	S 45°50'48" E	17.97
L12	N 15°59'05" W	24.18
L13	N 83°45'03" E	14.84
L14	N 16°45'41" E	35.66
L15	N 29°27'59" W	64.77
L16	N 29°27'59" W	64.77
L17	S 15°59'05" E	6.42
L18	N 29°27'59" W	64.77
L19	S 15°59'05" E	7.95
L20	N 29°27'59" W	64.77
L21	N 29°27'59" W	64.77
L22	N 41°24'41" W	84.05
L23	N 41°24'41" W	10.04
L24	N 41°24'41" W	97.86
L25	N 62°17'06" W	8.62
L26	S 70°03'41" E	94.81
L27	S 70°03'41" E	61.03
L28	S 70°14'54" E	4.35
L29	S 59°46'20" E	61.21
L30	S 59°46'20" E	86.01
L31	S 70°14'54" E	68.10
L32	N 54°12'41" E	60.29
L33	S 50°16'02" W	89.04
L34	N 25°52'42" E	0.49
L35	N 04°44'51" E	1.76
L36	S 20°44'18" E	64.76

CURVE	RADIUS	CHORD BEARING	CHORD LENGTH	ARC LENGTH
C1	447.96'	N 53°25'42" W	72.06'	72.13'
C2	447.96'	N 44°28'48" W	67.72'	67.79'
C3	447.96'	N 35°57'18" W	65.46'	65.52'
C4	447.96'	N 27°37'21" W	64.72'	64.78'
C5	447.96'	N 19°43'55" W	58.55'	58.60'
C6	60.00'	N 25°00'08" W	24.51'	24.68'
C7	60.00'	N 52°33'33" W	32.41'	32.82'
C8	60.00'	N 85°59'30" W	36.61'	37.20'
C9	60.00'	S 58°18'09" W	36.97'	37.58'
C10	60.00'	S 21°37'51" W	38.53'	39.22'
C11	60.00'	S 23°08'29" E	32.69'	34.55'
C12	25.00'	S 58°34'19" E	30.28'	32.53'
C13	60.00'	S 72°31'04" E	47.53'	48.87'
C14	497.96'	S 19°17'39" E	57.49'	57.53'
C15	497.96'	S 26°19'49" E	64.73'	64.78'
C16	497.96'	S 33°48'26" E	65.13'	65.18'
C17	497.96'	S 41°28'33" E	67.40'	67.54'
C18	497.96'	S 48°53'41" E	61.95'	61.99'
C19	497.96'	S 55°54'41" E	59.95'	59.98'
C20	497.96'	S 59°34'02" E	3.56'	3.56'
C21	216.41'	N 47°20'32" E	46.77'	46.86'
C22	25.00'	S 09°18'59" E	36.56'	44.03'
C23	447.96'	N 58°54'29" W	13.53'	13.55'
C24	25.00'	S 73°03'11" W	36.67'	41.17'

OWNER / DEVELOPER
SCHUBERT CONSTRUCTION LLC.
1830 SUNSTONE WAY
KNOXVILLE, TN 37922
(865) 253-7097

FINAL PLAT OF

CAMPBELL CROSSING

SCALE: 1"= 100' APPROVED BY: REL DRAWN BY: RELjr

DATE: 7-31-2018 LAST REVISION DATE: 12-31-2019

DISTRICT 6 * TOWN OF FARRAGUT
KNOX COUNTY * TENNESSEE

TAX MAP 130, PARCELS 84, 84.01 & 87
SHEET 1 OF 1

DRAWING NO.:
5393-PP

LeMAY AND ASSOCIATES CONSULTING ENGINEERS

10816 KINGSTON PIKE PH: (865) 671-0183
KNOXVILLE, TENNESSEE 37934 FAX: (865) 671-0213

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Bart Hose, Assistant Community Development Director

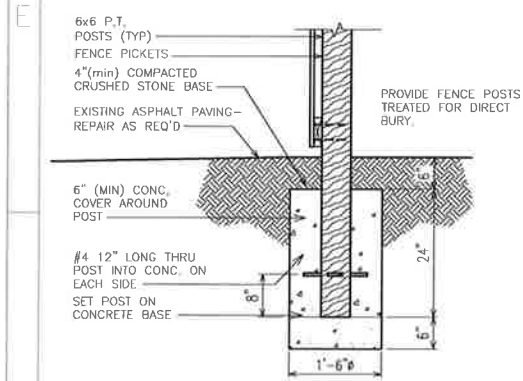
SUBJECT: Discussion and public hearing on a revision to the site plan approved on August 15, 2019 for a generator at the Summit View Nursing Home, 12823 Kingston Pike, 5 Acres, Zoned C-1 (Falconnier Design Company, Applicant)

INTRODUCTION AND BACKGROUND: As you may recall, the Planning Commission reviewed and approved a site plan for this facility that involved replacing an existing generator with a larger unit and screening the entire service/mechanical/utility area. The facility has now apparently been forced to abandon their initial plan and is instead proposing to add a second generator unit behind the existing unit. They have also dropped their initial plans for screening the entire service area that currently contains the generator(s), HVAC unit, and dumpsters.

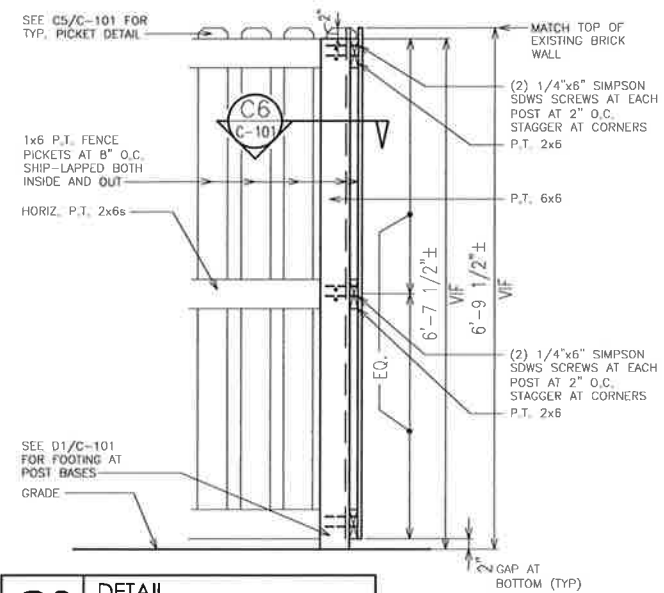
DISCUSSION: The revised plan was discussed at the most recent Staff/Developer meeting. Increased screening of the existing service area was a noted concern. Several members and/or attendees proposed extending the existing screening wall to cover the new generator as a compromise to the earlier total enclosure option that was approved in August.

RECOMMENDATION: Included in your packet is a copy of the revised site plan. Staff will make a recommendation at the meeting based on whether staffs' comments have been satisfactorily addressed.

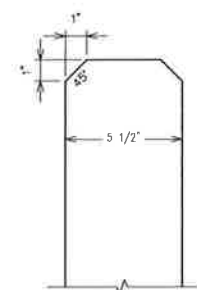




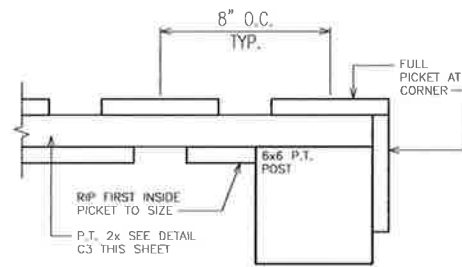
D1 FOOTING DETAIL
1/4" = 1'-0"



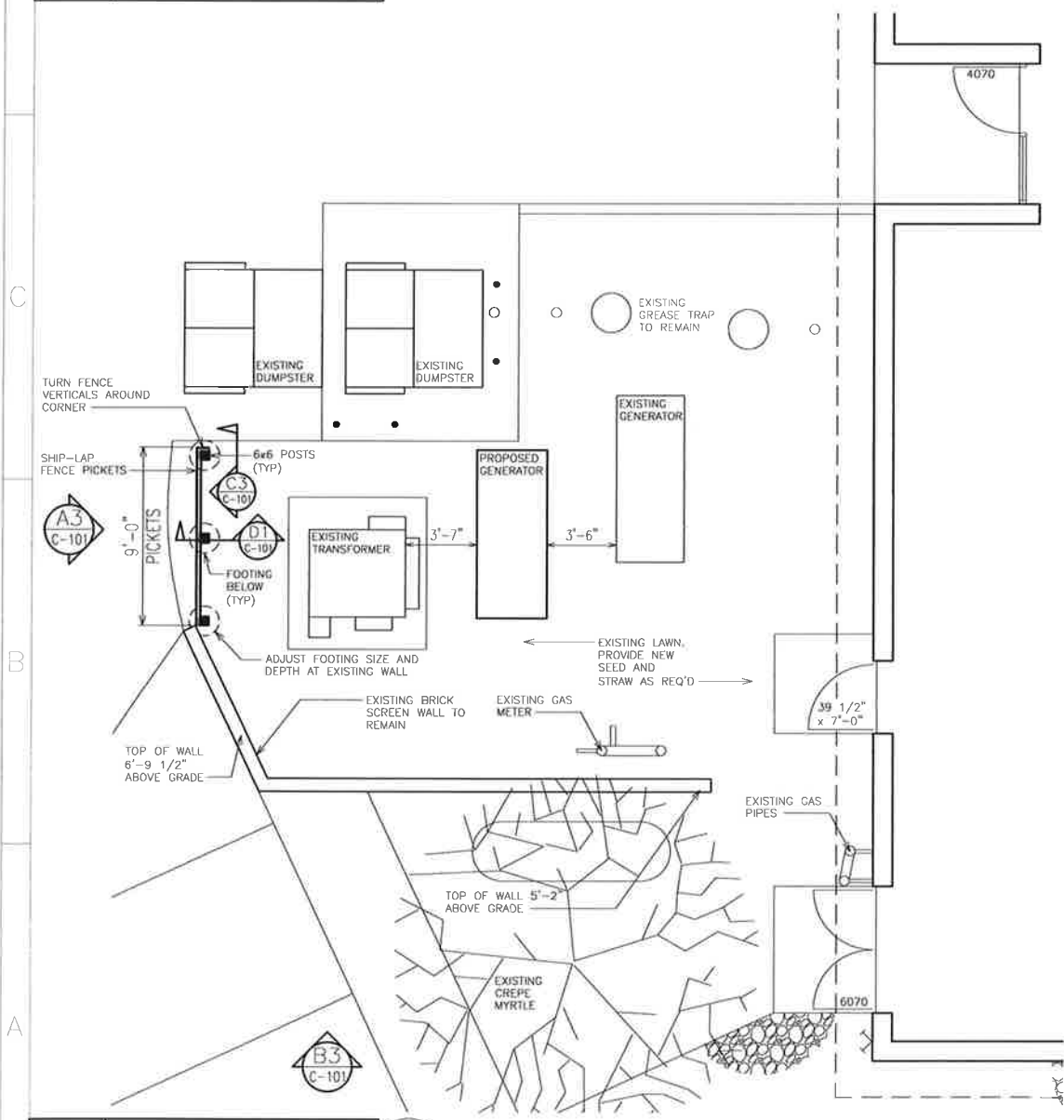
C3 DETAIL
3/4" = 1'-0"



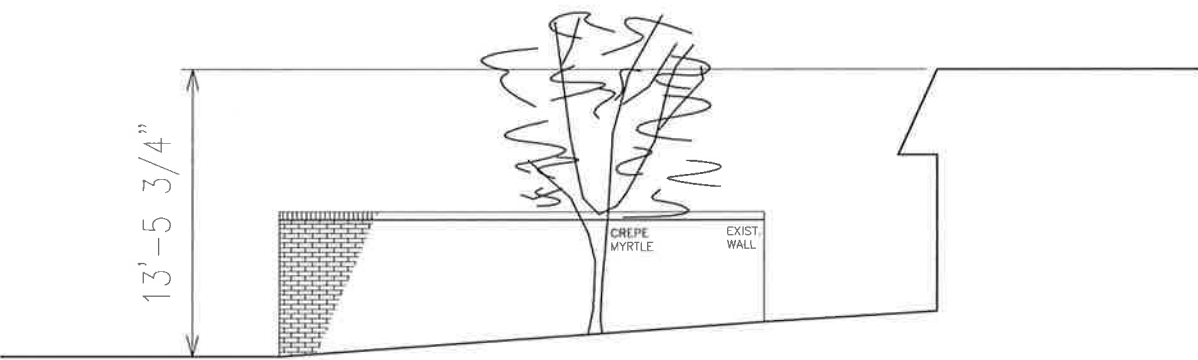
C5 PICKET DETAIL
3" = 1'-0"



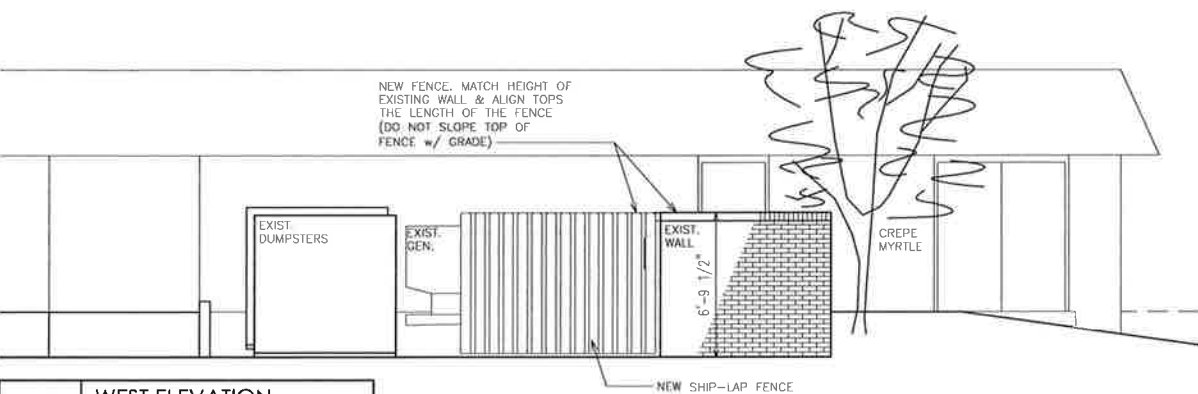
C6 PLAN DETAIL
3" = 1'-0"



A1 PARTIAL SITE PLAN
1/4" = 1'-0"



B3 SOUTH ELEVATION
1/4" = 1'-0"



A3 WEST ELEVATION
1/4" = 1'-0"



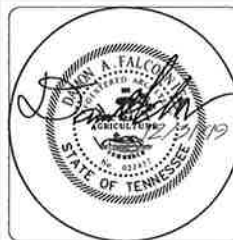
**Vreeland
Engineers, Inc.**

3107 Sutherland Ave.
P.O. Box 10848
Knoxville, TN 37939
865-587-4451
1-800-362-9786
vreelandengineers.com



**FALCONNIER
DESIGN COMPANY**

4622 Chambliss Avenue
Knoxville, TN 37919
Phone 865.584.7868
Fax 865.584.3139
falnesco@gmail.com
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**NEW GENERATOR
& SCREENING**

SUMMIT VIEW of FARRAGUT
12823 KINGSTON PIKE
FARRAGUT, TN 37934

**PARTIAL EXISTING
SITE PLAN &
ELEVATIONS**

AS INSTRUMENTS OF SERVICE, THESE
DRAWINGS AND THE DESIGN REPRESENTED BY
THEM ARE THE PROPERTY OF DAMON A.
FALCONNIER AND AS SUCH ARE PROTECTED
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FALCONNIER IS PROHIBITED. UNAUTHORIZED
USE WILL BE SUBJECT TO LEGAL ACTION.

DRAWN BY: GHF/DM
CHECKED BY: DAF
ISSUED: 10/01/19
REVISION(S):
Δ 12/13/19 Δ 12/31/19

FILE: 2019-064

C-101

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

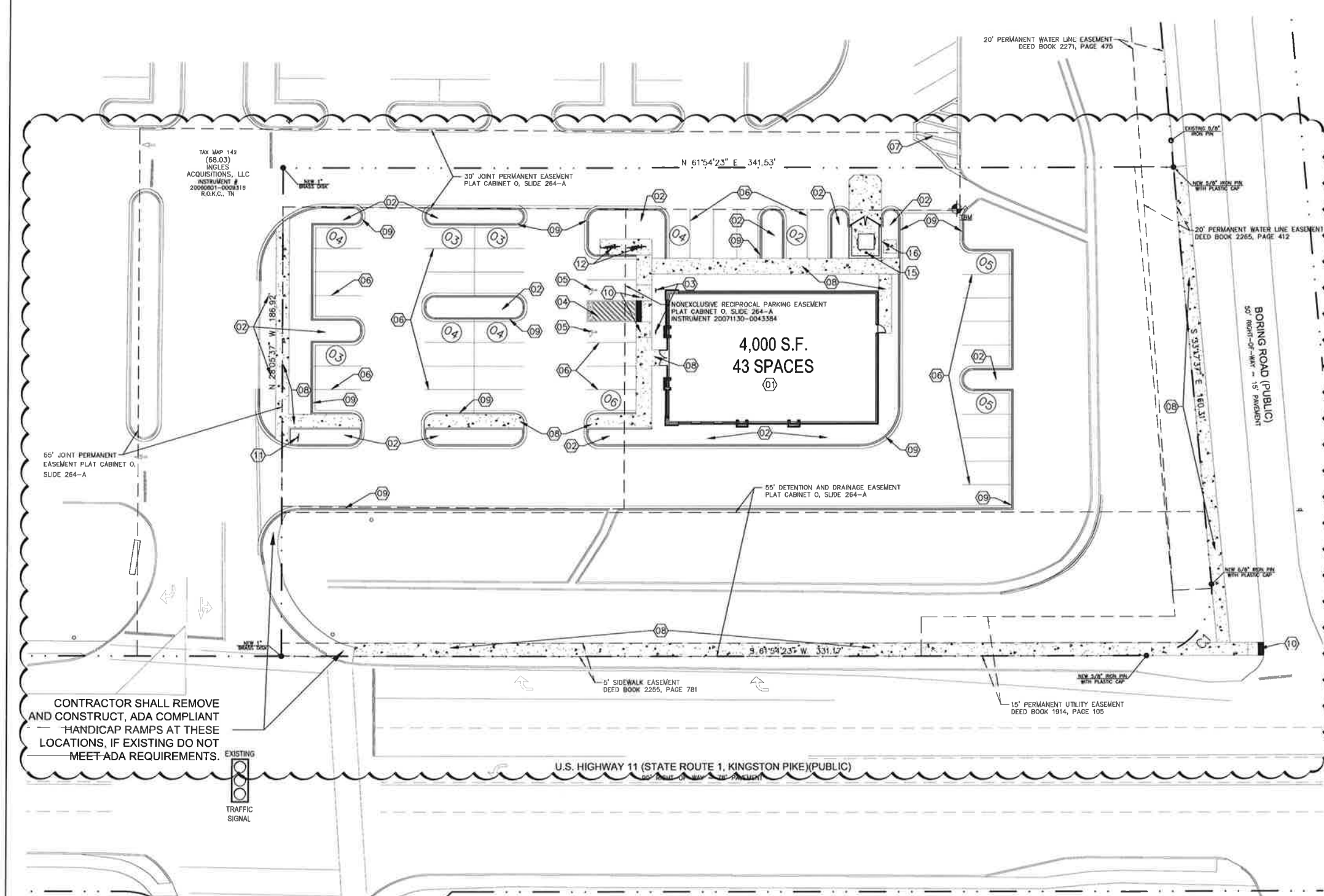
PREPARED BY: Bart Hose, Assistant Community Development Director

SUBJECT: Discussion and public hearing on a site plan for the property located at 11807 Kingston Pike, 1.5 Acres, Zoned C-1 (GBS Engineering, Applicant)

INTRODUCTION AND BACKGROUND: This item involves a site plan for a 4000 square foot professional office building on an existing out-parcel located in front of the old Ingles Shopping Center. The plan includes on-site parking well in excess of that required by the Town's zoning ordinance for the proposed use. The excess parking is apparently related to an existing reciprocal parking easement with the surrounding development and the additional dedicated spaces desired by the proposed tenant. Under the Town's requirements a professional office building of this size would require a minimum of 16 parking spaces. The proposed plan calls for a total of 46 parking spaces to be developed on the site.

DISCUSSION: In accordance with the Town's Parking and Loading provisions in Chapter 4 of the Zoning Ordinance, the Planning Commission may consider an increase from the minimum number of required off-street parking spaces, provided that any spaces in excess of 10% above the minimum number of required spaces shall include an additional interior parking lot island for every five spaces in excess of the minimum required and the additional parking and travel lanes associated with the parking in excess of the minimum required shall be constructed in permeable pavers or a comparable and widely recognized low impact development surface parking application. The applicant is proposing additional interior islands and a vast majority of the parking lot will be constructed in permeable brick pavers.

RECOMMENDATION: Included in your packet is a copy of the revised site plan and other select plan sheets. Staff will make a recommendation at the meeting based on whether staffs' initial comments have been satisfactorily addressed.



- CONSTRUCTION NOTES**
- 01 NEW BUILDING (SEE ARCHITECTURAL DRAWINGS), INSTALLED BY CONTRACTOR.
 - 02 LANDSCAPE AREA INSTALLED BY CONTRACTOR.
 - 03 "HANDICAP PARKING" SIGNS, MOUNTED ON A POLE, FURNISHED AND INSTALLED BY CONTRACTOR.
 - 04 TRAFFIC STRIPING 4" WIDE PAINTED (WHITE) PARALLEL STRIPES AT 16" O.C. FURNISHED AND INSTALLED BY CONTRACTOR.
 - 05 PAVEMENT SYMBOL AND LETTERING PER D.O.T. SPECIFICATIONS (TYP), FURNISHED AND INSTALLED BY CONTRACTOR.
 - 06 TRAFFIC STRIPING 4" WIDE PAINTED (WHITE) PER PARKING SPACE. FURNISHED AND INSTALLED BY CONTRACTOR.
 - 07 TRAFFIC STRIPING 12" WIDE PAINTED (WHITE) PARALLEL STRIPES AT 5'-0" O.C. FURNISHED AND INSTALLED BY CONTRACTOR.
 - 08 4" REINFORCED CONCRETE SIDEWALK. 5' MINIMUM WIDTH REQUIRED SEE SECTIONS AND DETAILS FOR SPECIFICATIONS. INSTALLED BY CONTRACTOR.
 - 09 CONCRETE CURB AND GUTTER. SEE SECTIONS AND DETAILS FOR SPECIFICATIONS. INSTALLED BY CONTRACTOR.
 - 10 HANDICAP RAMP. PER DETAILS, FURNISHED AND INSTALLED BY CONTRACTOR.
 - 11 NEW STOP SIGN (30" x 30"), PER TOWN OF FARRAGUT STANDARDS, FURNISHED AND INSTALLED BY CONTRACTOR.
 - 12 NEW BICYCLE RACK(S). SEE DETAILS FOR MORE DETAIL. CONTRACTOR TO PROVIDE AND INSTALL.
 - 13 12" WIDE PAINTED (WHITE) CROSSWALK STRIPING. FURNISHED AND INSTALLED BY CONTRACTOR.
 - 14 7'-0" X 7'-0" X 6" REINFORCED CONCRETE PAD FOR ELECTRICAL TRANSFORMER. INSTALLED BY CONTRACTOR.
 - 15 4" STEEL PIPE BOLLARD FURNISHED, INSTALLED AND PAINTED BY CONTRACTOR (SEE CIVIL DWGS FOR SPECS.).
 - 16 TRASH ENCLOSURE. SEE ARCHITECTURAL DETAILS FOR MORE SPECIFICATIONS. INSTALLED BY CONTRACTOR.

SITE INFORMATION

PARKING	REQUIRED	PROVIDED
AUTO PARKING	26	43
HANDICAP PARKING	2	2
SITE AND BUILDING ACCESSIBILITY PER ANSI A117.1		
ZONING		
EXISTING ZONING IS C-1		
FACILITY SIZE		
BUILDING SQUARE FOOTAGE	4,000 S.F.	
NUMBER OF STORIES	1 STORY	
MAXIMUM BUILDING HEIGHT	26'-0"	

PARKING CALCULATIONS:
RECIPROCAL PARKING EASEMENT = $\frac{4,000}{1000}$ SF = 24 SPACES
TENANT REQUIREMENTS = $\frac{4,000}{1000}$ SF = 28 SPACES
PROVIDED = 43 SPACES
HANDICAP SPACES REQUIRED FOR 43 SPACES = 2 REQUIRED
HANDICAP SPACES PROVIDED = 2 SPACES
TOWN OF FARRAGUT REQUIRES 2 BIKE SPACES PER 25 REGULAR VEHICULAR SPACES PROVIDED = 4 SPACES REQUIRED
4 BIKE SPACES PROVIDED.

CONTRACTOR SHALL REMOVE AND CONSTRUCT, ADA COMPLIANT HANDICAP RAMPS AT THESE LOCATIONS, IF EXISTING DO NOT MEET ADA REQUIREMENTS.

NOTES:
• SEE DRAWING C3.1 FOR DIMENSIONS.

OVERALL SITE PLAN
Scale: 1" = 10'-0"

GRAPHIC SCALE
(IN FEET)
1 inch = 20 ft.

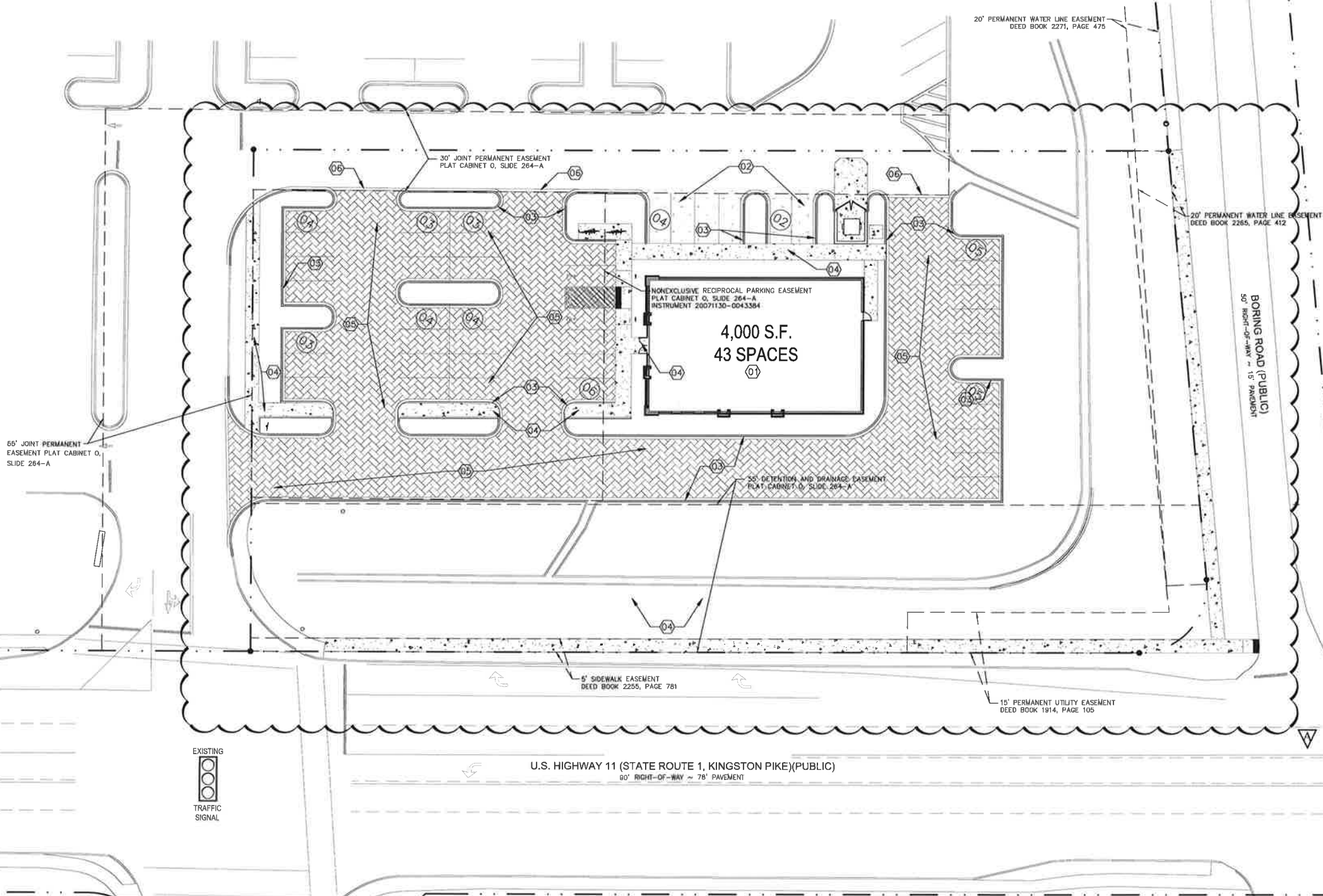
SEE COVER SHEET FOR LEGEND.

LOT COVERAGE CALCULATIONS:
NON LANDSCAPE AREA/TOTAL LOT AREA =
65,263.41 SF / 30,989.11 SF = 0.4748 OR 47.48%

1313 Kalmia Road
Knoxville, TN 37909
Phn: 865.566.0185
Fax: 888.485.7005



REV.	DESCRIPTION	BY	DATE
A	Revised per TOF Comments	THF	01/03/2020
-	-	-	-
-	-	-	-
-	-	-	-
-	-	-	-
TITLE: OVERALL SITE PLAN		DRAWN BY: THF	SHEET NO:
LOCATION: 11807 Kingston Pike FARRAGUT, TENNESSEE 37934 CLT Map 142, Parcel Nos. 67.04		CHECKED BY: MAB	C3.0
Owner: SRK Partnership		FILE NAME: 2179 - C3.0	
		JOB NUMBER 2179	
		ISSUE DATE: 12/16/2019	



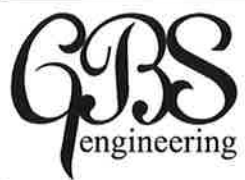
- CONSTRUCTION NOTES**
- 01 NEW BUILDING (SEE ARCHITECTURAL DRAWINGS), INSTALLED BY CONTRACTOR.
 - 02 STANDARD-DUTY ASPHALT PAVEMENT, SEE DRAWING C9.0 FOR MORE DETAILS.
 - 03 STANDARD CONCRETE CURB AND GUTTER SEE DETAILS FOR SPECIFICATIONS, INSTALLED BY CONTRACTOR.
 - 04 4" REINFORCED CONCRETE SIDEWALK, 5' WIDE MINIMUM. SEE DRAWING C9.0 FOR MORE DETAILS.
 - 05 PERMEABLE PAVERS. SEE DETAILS FOR SPECIFICATIONS.
 - 06 NEW CONCRETE HEADER FOR PERMEABLE PAVER SEPARATION, SEE DETAIL ON SHEET C9.0 FOR MORE INFORMATION. CONTRACTOR TO PROVIDE AND INSTALL.

- GENERAL PAVING NOTES**
- 01. ALL MANHOLES LIDS MUST BE SET FLUSH WITH ADJACENT PAVERS.
 - 02. SUB GRADE MUST BE COMPACTED TO 95% STANDARD PROCTOR WITH A WATER CONTENT WITHIN 1.5% OF OPTIMUM.
 - 03. STONE BASE MUST BE COMPACTED TO 95% STANDARD PROCTOR WITH A WATER CONTENT WITHIN 1.5% OF OPTIMUM.

LEGEND	
	CURB AND GUTTER
	1001 5-30
	CURB AND GUTTER
	PROPERTY LINE
	PROPOSED PARKING STALLS
	CONCRETE
	STANDARD-DUTY ASPHALT PAVING
	PERMEABLE BRICK PAVERS

**SITE PAVING PLAN**
Scale: 1" = 20'-0"

GRAPHIC SCALE
(IN FEET)
1 inch = 20 ft.

**GPS engineering**

1313 Kalmia Road
Knoxville, TN 37909
Phn: 865.566.0185
Fax: 888.485.7005



REV.	DESCRIPTION	BY	DATE
A	Revised per TOF Comments	THF	01/03/2020
-	-	-	-
-	-	-	-
-	-	-	-
-	-	-	-

TITLE: SITE PAVING PLAN	DRAWN BY: THF	SHEET NO:
LOCATION: 11807 Kingston Pike FARRAGUT, TENNESSEE 37934 CLT Map 142, Parcel No. 67.04	CHECKED BY: MAB	
Owner: SRK Partnership	FILE NAME: 2179 - C5.0	
	JOB NUMBER 2179	
	ISSUE DATE: 12/16/2019	

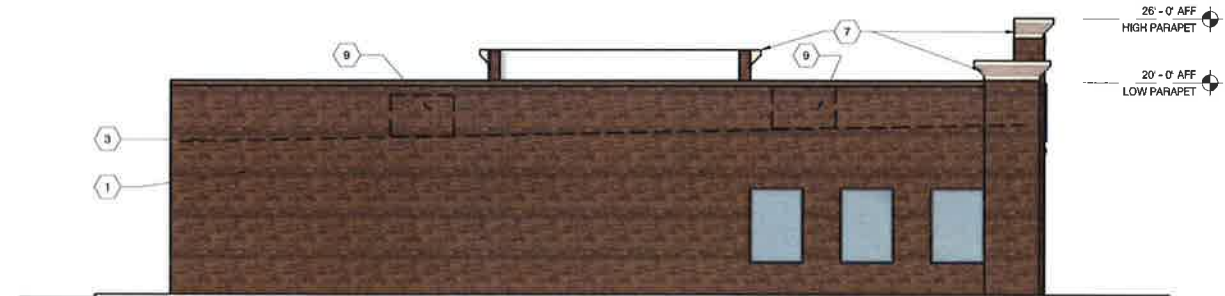
C5.0



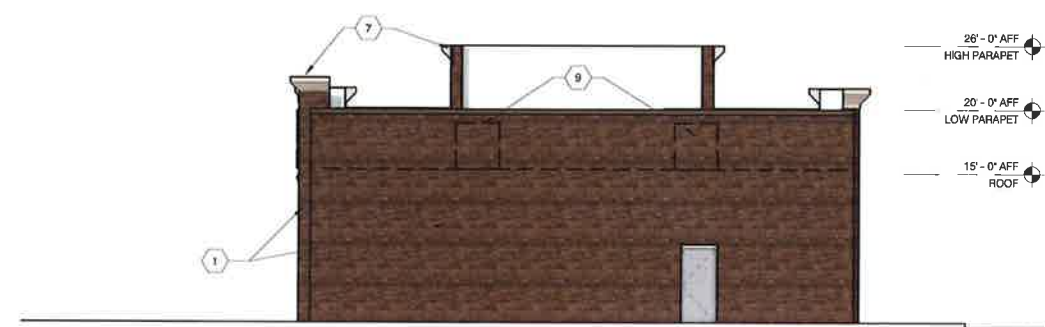
1 FRONT ELEVATION
1/4" = 1'-0"



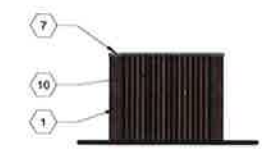
2 RIGHT ELEVATION (KINGSTON PIKE)
1/8" = 1'-0"



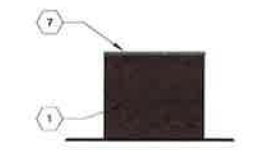
3 LEFT ELEVATION
1/8" = 1'-0"



4 REAR ELEVATION (BORING ROAD)
1/8" = 1'-0"



5 DUMPSTER FRONT
1/8" = 1'-0"



6 TYP. DUMPSTER ELEV.
1/8" = 1'-0"

SHEET 17 OF 18

ELEVATION KEYNOTES

- | | |
|---|---|
| 1. BRICK VENEER | EXTERIOR MATERIAL CALCULATIONS: |
| 2. STONE LINTEL AND SILL | 100% MASONRY EXTERIOR NOT INCLUDING WINDOWS AND STROCEFRONT |
| 3. ROOF LINE | |
| 4. ALUMINUM STOREFRONT | |
| 5. ALUMINUM ENTRY DOOR | |
| 6. SIGNAGE BY TENANT | |
| 7. EIFS ACCENT CAP | |
| 8. HORIZONTAL STONE ACCENT | |
| 9. ROOFTOP EQUIPMENT TO BE SCREENED BY PARAPET WALL | |
| 10. CEDAR WOOD GATE, STAINED | |

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on a request for approval for small cell support structures within the public rights of ways adjacent to 100 S. Campbell Station Road, 500 N. Campbell Station Road, 10809 Dineen Drive, 10870 Kingston Pike, 11124 Kingston Pike, 11840 Kingston Pike, 12001 Kingston Pike, 11433 Parkside Drive, 11534 Parkside Drive, 11101 Sonja Drive, 11221 Sonja Drive, Lot 75 Cove at Turkey Creek (near intersection of Turkey Cove Lane and Matthews Cove Lane) (Towersource, Applicant)

INTRODUCTION AND BACKGROUND: This agenda item involves a request for approval of 11 (originally 12 – the node proposed at 11534 Parkside Drive was withdrawn) small cell support structures or nodes in various locations in the Town. Recent fiber installation projects that have been approved by the Planning Commission are associated with these small cell nodes. In this case, the nodes are for Verizon Wireless.

DISCUSSION: Of the 11 small cell nodes, 4 are proposed in residential areas. Three of the four residential areas have overhead utilities that are attached to wooden poles. In the case of each proposed node, the applicant has attempted to emulate, in terms of material, color, and general height, existing overhead utility poles or light poles (where applicable).

As will be discussed at the training session prior to the Planning Commission meeting, a primary goal of State of Tennessee regulation in Public Chapter 819 is to help ensure that these wireless utilities are treated the same as other utilities. So, if an area where a small cell node is proposed has existing wooden utility poles, a small cell pole could not be held to a higher standard (though it could be requested) or different requirements than those that would apply to those using existing wooden poles. Though co-locating small cells on existing utility poles was apparently not feasible in the case of the nodes requested at this time, the applicant has proposed three nodes that would involve replacement of existing light poles so that no additional poles would be installed in those locations. Where light poles are currently owned by the Town, the replacement poles would also be owned by the Town. Since these nodes are planned to be within public rights of ways, replacement, removal, and maintenance agreements would be needed for each node proposed at this time and would be part of the approval condition. These right of way use agreements would have to be approved by the Town Attorney.

In the case of the node proposed in the Cove at Turkey Creek Subdivision, the applicant is proposing to include a light fixture on the small cell pole that would emulate the street light fixtures used in the Cove at Turkey Creek and that are owned by the Cove at Turkey Creek Homeowners Association (CTCHA). This approach will have to be coordinated with the CTCHA. Small cell structures proposed within the TDOT rights of ways will also have to be coordinated with TDOT and any necessary approvals obtained.

RECOMMENDATION: Consistent with State law, each node will need to be considered separately with any remaining conditions noted for each individual node. Below is a summary of each node requested

at this time and some of their general characteristics and site-specific considerations. In the case of most of these nodes, the applicant will need to work closely with the Town to ensure that sidewalks, curbing, landscaping, and other site-specific features are not adversely affected. In addition to the above referenced right of way use agreement that would be approved by the Town Attorney, a letter of credit will be required for the entire project to ensure proper repairs, restoration, etc. Pole construction (e.g. break away poles) and placement will also need to take into consideration motorist safety and visibility obstructions.

The addresses referenced below for each node are those addresses that are closest to the location of the proposed node:

Node 1 – 100 S. Campbell Station Road (southeast intersection of Kingston Pike and S. Campbell Station Road)

Characteristics:

- 1) 5G
- 2) Replaces existing light pole
- 3) Metal pole
- 4) 43 feet in overall height
- 5) Within Mixed Use Town Center land use area
- 6) Need TDOT coordination

Considerations:

- 1) Ensure light fixture and mounted height of fixture is compatible with other light fixtures along Campbell Station Road
- 2) Ensure color matches, to the greatest extent possible, the color of the light pole being replaced
- 3) Coordinate with TDOT and Town of Farragut in terms of all applicable safety related requirements and ensure that existing infrastructure and landscaping are repaired or restored if needed
- 4) Provide any necessary as-builts for the project

Node 2 – 500 N. Campbell Station Road (south of Home Federal Bank across from the Knox County Primary School)

Characteristics:

- 1) 5G
- 2) Replaces existing light pole
- 3) Metal pole
- 4) 43 feet in overall height
- 5) Need TDOT coordination

Considerations:

- 1) This pole does not appear to be in the right of way and will need to be discussed in relation to this node
- 2) Ensure light fixture and mounted height of fixture is compatible with other light fixtures along Campbell Station Road
- 3) Ensure color matches, to the greatest extent possible, the color of the light pole being replaced
- 4) Coordinate with TDOT and Town of Farragut in terms of all applicable safety related requirements and ensure that existing infrastructure and landscaping are repaired or restored if needed
- 5) Provide any necessary as-builts for the project

Node 3 – 10809 Dineen Drive (Stonecrest Subdivision)

Characteristics:

- 1) 5G
- 2) New wooden pole (opposite side of street from overhead utility poles)
- 3) 40 feet in overall height

Considerations:

- 1) Ensure color matches, to the greatest extent possible, the color of the utility poles in the immediate area
- 2) Can this be a shorter pole or possibly a metal pole so that some of the related structures can be contained within the pole and be more stealth in appearance?
- 3) Coordinate with the Town of Farragut in terms of all applicable safety related requirements and ensure that existing infrastructure and landscaping are repaired or restored if needed
- 4) Provide any necessary as-builts for the project

Node 4 – 10870 Kingston Pike (near O'Reilly's Auto Parts)

Characteristics:

- 1) 4G
- 2) New wooden pole
- 3) 36 feet in overall height

Considerations:

- 1) Ensure color matches, to the greatest extent possible, the color of the utility poles in the immediate area
- 2) Can this be a metal pole so that some of the related structures can be contained within the pole and be more stealth in appearance?
- 3) Coordinate with TDOT and the Town of Farragut in terms of all applicable safety related requirements and ensure that existing infrastructure and landscaping are repaired or restored if needed
- 4) Provide any necessary as-builts for the project

Node 5 – 11124 Kingston Pike (near Jet's Pizza)

Characteristics:

- 1) 4G
- 2) New wooden pole
- 3) 41 feet in overall height

Considerations:

- 1) Ensure color matches, to the greatest extent possible, the color of the utility poles in the immediate area
- 2) Can this be a metal pole so that some of the related structures can be contained within the pole and be more stealth in appearance?
- 3) Coordinate with TDOT and the Town of Farragut in terms of all applicable safety related requirements and ensure that existing infrastructure and landscaping are repaired or restored if needed
- 4) Provide any necessary as-builts for the project

Node 6 – 11840 Kingston Pike (near Knox Valley Dental)

Characteristics:

- 1) 4G
- 2) New wooden pole

- 3) 41 feet in overall height

Considerations:

- 1) Ensure color matches, to the greatest extent possible, the color of the utility poles in the immediate area
- 2) Can this be a metal pole so that some of the related structures can be contained within the pole and be more stealth in appearance?
- 3) Can this be moved a few feet to either the south or north so it is not in the middle portion of the dentist office as viewed from Chaho Road?
- 4) Please correct the spelling of Chaho Road on the plan
- 5) Coordinate with TDOT and the Town of Farragut in terms of all applicable safety related requirements and ensure that existing infrastructure and landscaping are repaired or restored if needed
- 6) Provide any necessary as-builts for the project

Node 7 – 12001 Kingston Pike (near Weigel's at Smith Road and Kingston Pike)

Characteristics:

- 1) 4G
- 2) Appears to be a new metal pole – needs to be clarified
- 3) 41 feet in overall height

Considerations:

- 1) Ensure color matches, to the greatest extent possible, the color of the utility poles in the immediate area
- 2) Can this be more stealth since it appears to be a metal pole that could contain within the pole some of the structures associated with this node?
- 3) Coordinate with TDOT and the Town of Farragut in terms of all applicable safety related requirements and ensure that existing infrastructure and landscaping are repaired or restored if needed
- 4) Provide any necessary as-builts for the project

Node 8 – 11433 Parkside Drive (along JCPenney frontage)

Characteristics:

- 1) 5G
- 2) Replaces existing light pole that is Town owned
- 3) Existing utilities are underground
- 4) Metal pole
- 5) 43 feet in overall height

Considerations:

- 1) Ensure light fixture and mounted height of fixture is compatible with other light fixtures along Parkside Drive
- 2) Ensure color matches, to the greatest extent possible, the color of the light pole being replaced
- 3) Coordinate with the Town of Farragut in terms of all applicable safety related requirements and ensure that existing infrastructure and landscaping are repaired or restored if needed
- 4) Provide any necessary as-builts for the project

Node 9 – 11101 Sonja Drive (across from where Admiral Road intersects with Sonja Drive)

Characteristics:

- 1) 5G
- 2) New wooden pole (opposite side of street from overhead utility poles)
- 3) 35 feet in overall height

Considerations:

- 1) Ensure color matches, to the greatest extent possible, the color of the utility poles in the immediate area
- 2) Can this be a metal pole so that some of the related structures can be contained within the pole and be more stealth in appearance?
- 3) Can this be moved to the north if desired by the adjoining residents? There is a 40 foot right of way for Admiral Road north of Sonja Drive
- 4) Coordinate with the Town of Farragut in terms of all applicable safety related requirements and ensure that existing infrastructure and landscaping are repaired or restored if needed
- 5) Provide any necessary as-builts for the project

Node 10 – 11221 Sonja Drive (across from where the sidewalk to the Farragut High School is situated)

Characteristics:

- 1) 5G
- 2) New wooden pole (opposite side of street from overhead utility poles)
- 3) 35 feet in overall height

Considerations:

- 1) Ensure color matches, to the greatest extent possible, the color of the utility poles in the immediate area
- 2) Can this be a metal pole so that some of the related structures can be contained within the pole and be more stealth in appearance?
- 3) It appears that the existing utility service pole on the nearest house lot will be removed and the utility service will be added to this small cell pole. Please confirm and coordinate with the property owner and LCUB
- 4) Coordinate with the Town of Farragut in terms of all applicable safety related requirements and ensure that existing infrastructure and landscaping are repaired or restored if needed
- 5) Provide any necessary as-builts for the project

Node 11 – Cove at Turkey Creek Subdivision near intersection of Turkey Cove Lane and Matthews Cove Lane

Characteristics:

- 1) 5G
- 2) Existing utilities are underground
- 3) New metal pole with proposed light fixture consistent with the street lights in the Cove at Turkey Creek
- 4) 26 feet in overall height

Considerations:

- 1) Ensure color matches, to the greatest extent possible, the color of the street lights in the Cove at Turkey Creek and coordinate with the Cove at Turkey Creek Homeowners Association
- 2) Coordinate with the Town of Farragut in terms of all applicable safety related requirements and ensure that existing infrastructure and landscaping are repaired or restored if needed
- 3) Provide any necessary as-builts for the project

Node 1

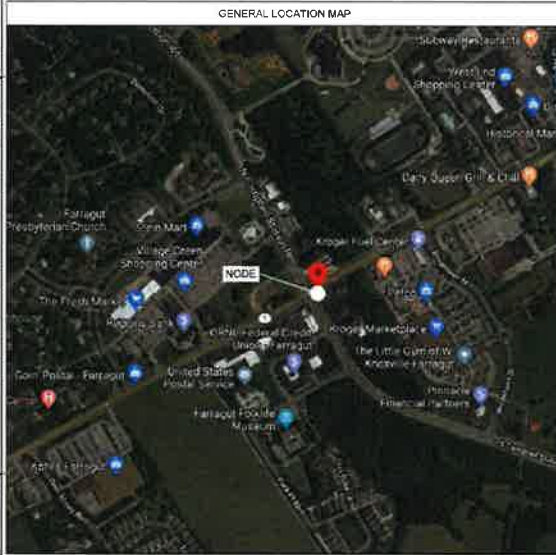
PREPARED FOR: verizon		
PROJECT INFORMATION		
VERIZON SITE ID:	SMC_FARRAGUT_22_5G_022	
PROJECT DESCRIPTION:	PROPOSED UTILITY POLE	
NEAREST ADDRESS: (E911 ADDRESS PENDING)	N. CAMPBELL STATION RD. FARRAGUT, TN 37934	
POLE OWNER	VERIZON WIRELESS	
LATITUDE	N 35°52'53.5" S.88112	
LONGITUDE:	W 84°09'37.8" -84.16022	
GROUND ELEVATION:	(AMSL) = 904±	
PRESENT OCCUPANCY TYPE:	PUBLIC ROW	
JURISDICTION:	TOWN OF FARRAGUT	
ROW JURISDICTION:	TOWN OF FARRAGUT	
COUNTY:	KNOX	
DISTURBED AREA:	25 SQ FT ±	
CURRENT ZONING	N/A	
PARCEL ID #:	N/A	
APPLICANT:	VERIZON WIRELESS 8621 RESEARCH DRIVE CHARLOTTE, NC 28262 JASON KOZORA 752-201-6602	
PROJECT MANAGER:	VERIZON WIRELESS 8621 RESEARCH DRIVE CHARLOTTE, NC 28262 JASON KOZORA 752-201-6602	
ENGINEER:	TOWERSOURCE 1875 OLD ALABAMA ROAD, SUITE 100B ROSWELL, GA 30078 678-990-2336	
CALL PROJECT MANAGER BEFORE CONSTRUCTION STARTS		
SHEET	SHEET TITLE	REV
A1	TITLE SHEET	0
EN	ELECTRICAL NOTES	0
B1	SITE PLAN	0
B2	DETAIL SITE PLAN	0
C1	POLE ELEVATION	0
C2	TRAFFIC CONTROL	0
C3	DETAILS	0
C4.1	PHOTOSIM (1)	0
C4.2	PHOTOSIM (2)	0
E1	ONE LINE DIAGRAM	0
E2	GROUNDING DETAILS	0
S1	EQUIPMENT SPECS	0

POWER COMPANY	PROJECT NUMBER
VERIZON WIRELESS	SMC_FARRAGUT_22_5G_022
PROJECT NUMBER	SMC_FARRAGUT_22_5G_022
PROJECT NUMBER	SMC_FARRAGUT_22_5G_022

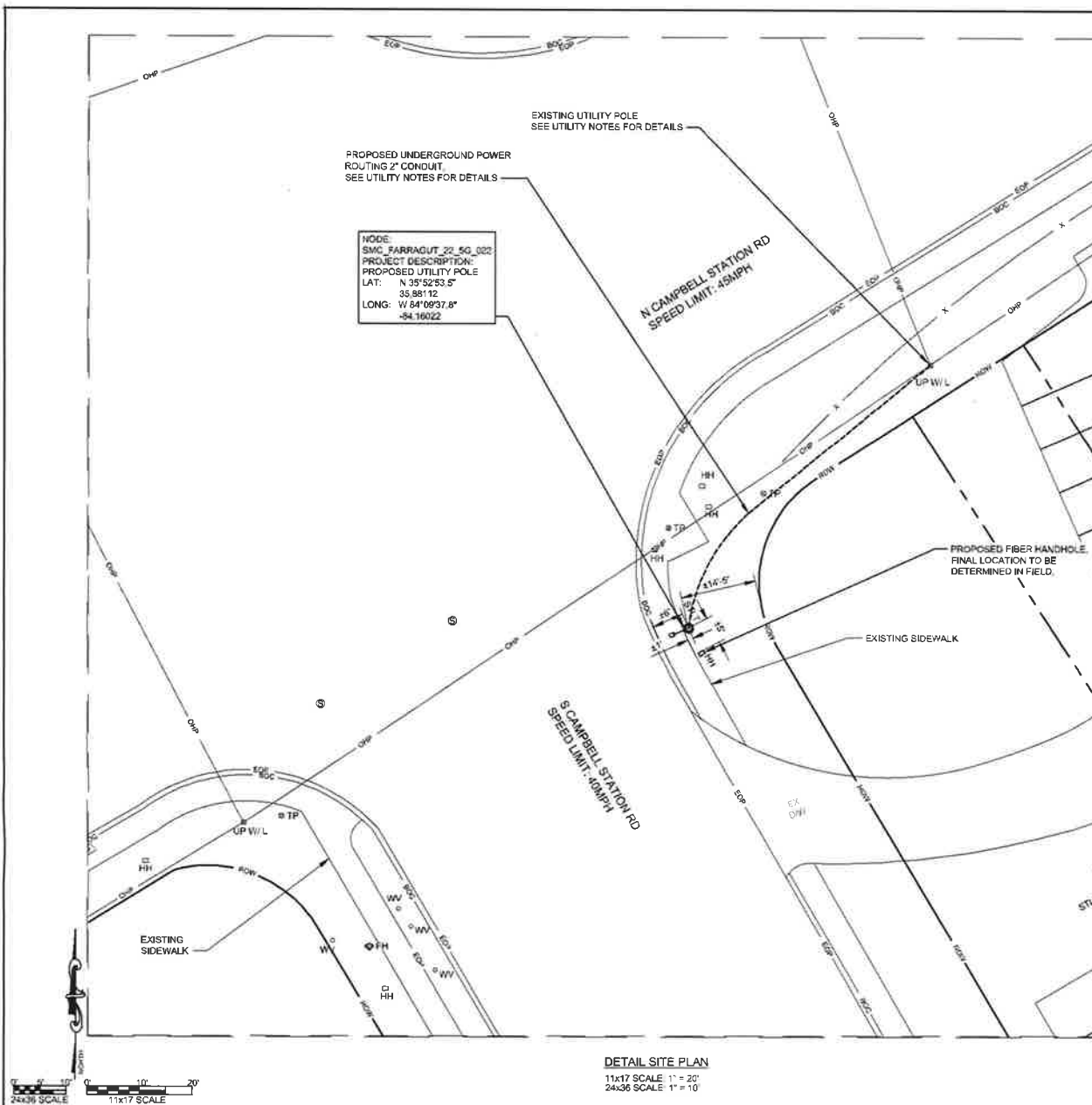
PROJECT NUMBER	PROJECT NUMBER
SMC_FARRAGUT_22_5G_022	SMC_FARRAGUT_22_5G_022
SMC_FARRAGUT_22_5G_022	SMC_FARRAGUT_22_5G_022

GENERAL NOTES	
1. FOR THE PURPOSE OF CONSTRUCTION DRAWINGS, THE FOLLOWING DEFINITIONS SHALL APPLY: GENERAL CONTRACTOR (CONSTRUCTION) OWNER-VERIZON 2. ALL SITE WORK SHALL BE COMPLETED AS INDICATED ON THE DRAWINGS AND VERIZON PROJECT SPECIFICATIONS. THE CONTRACTOR MUST HAVE CONSIDERABLE EXPERIENCE IN PERFORMANCE OF WORK SIMILAR TO THAT DESCRIBED HEREIN BY ACCEPTANCE OF THIS ASSIGNMENT. THE CONTRACTOR IS ATTESTING THAT HE DOES HAVE SUFFICIENT EXPERIENCE AND ABILITY, THAT HE IS KNOWLEDGEABLE OF THE WORK TO BE PERFORMED AND THAT HE IS PROPERLY LICENSED AND PROPERLY REGISTERED TO DO THIS WORK IN THE STATE OF TENNESSEE. 3. GENERAL CONTRACTOR SHALL VISIT THE SITE AND SHALL FAMILIARIZE HIMSELF WITH ALL CONDITIONS AFFECTING THE PROPOSED WORK AND SHALL MAKE PROVISIONS. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH ALL CONTRACT DOCUMENTS, FIELD CONDITIONS, DIMENSIONS, AND CONFIRMING THAT THE WORK MAY BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE COMMENCEMENT OF WORK. 4. ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES. GENERAL CONTRACTOR SHALL ISSUE ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF WORK. ALL WORK CARAINED OUT SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONAL CODES, ORDINANCES AND APPLICABLE REGULATIONS. 5. UNLESS NOTED OTHERWISE, THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES, AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS. 6. PLANS ARE NOT TO BE SCALED. THESE PLANS ARE INTENDED TO BE A DIAGRAMMATIC OUTLINE ONLY UNLESS OTHERWISE NOTED. DIMENSIONS SHOWN ARE TO FINISH SURFACES UNLESS OTHERWISE NOTED. SPACING BETWEEN EQUIPMENT IS THE MINIMUM REQUIRED CLEARANCE. THEREFORE, IT IS CRITICAL TO FIELD VERIFY DIMENSIONS. SHOULD THERE BE ANY QUESTIONS REGARDING THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE ENGINEER PRIOR TO PROCEEDING WITH THE WORK. DETAILS ARE INTENDED TO SHOW DESIGN INTENT. MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF WORK AND PREPARED BY THE ENGINEER PRIOR TO PROCEEDING WITH WORK. 7. THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE. 8. IF THE SPECIFIED EQUIPMENT CANNOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION SPACE FOR APPROVAL BY THE ENGINEER PRIOR TO PROCEEDING. 9. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF WORK AREA, ADJACENT AREAS AND BUILDING OCCUPANTS THAT ARE LIKELY TO BE AFFECTED BY THE WORK UNDER THIS CONTRACT. WORK SHALL CONFORM TO ALL OSHA REQUIREMENTS AND THE LOCAL JURISDICTION. 10. ERECTION SHALL BE DONE IN A WORKMANLIKE MANNER BY COMPETENT EXPERIENCED WORKMEN IN ACCORDANCE WITH APPLICABLE CODES AND THE BEST ACCEPTED PRACTICE. ALL MEMBERS SHALL BE LAD PLUMB AND TRUE AS INDICATED ON THE DRAWINGS. 11. THE CONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS, PAVEMENTS, CURBS, LANDSCAPING AND STRUCTURES. ANY DAMAGED PART SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER. 12. THE CONTRACTOR SHALL CONTACT UTILITY LOCATING SERVICES MIN 48 HOURS PRIOR TO THE START OF CONSTRUCTION. 13. GENERAL CONTRACTOR SHALL COORDINATE AND MAINTAIN ACCESS FOR ALL TRADES AND CONTRACTORS TO THE SITE AND/OR BUILDING. 14. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SECURITY OF THE SITE FOR THE DURATION OF CONSTRUCTION UNTIL JOB COMPLETION. 15. THE GENERAL CONTRACTOR SHALL MAINTAIN IN GOOD CONDITION ONE COMPLETE SET OF PLANS WITH ALL REVISIONS, ADDENDA AND CHANGE ORDERS ON THE PREMISES AT ALL TIMES.	
16. THE GENERAL CONTRACTOR SHALL PROVIDE PORTABLE FIRE EXTINGUISHERS WITH A RATING OF NOT LESS THAN 2A:10B OR 2A:10B C AND SHALL BE WITHIN 25 FEET OF TRAVEL DISTANCE TO ALL PORTIONS OF WHERE THE WORK IS BEING COMPLETED DURING CONSTRUCTION. 17. ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES SHALL BE PROTECTED AND FREE FROM OBSTRUCTION AT ALL TIMES AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK SHALL BE RELOCATED AS DIRECTED BY THE GOVERNING UTILITY COMPANY ENGINEER. 18. CONTRACTOR SHALL MINIMIZE DISTURBANCE TO THE EXISTING SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES, IF REQUIRED DURING CONSTRUCTION, SHALL BE IN CONFORMANCE WITH THE FEDERAL AND LOCAL JURISDICTION FOR EROSION AND SEDIMENT CONTROL. 19. THE SUBGRADE SHALL BE BROUGHT TO A SMOOTH UNIFORM GRADE AND COMPACTED TO 95 PERCENT STANDARD PROCTOR DENSITY UNDER PAVEMENT AND STRUCTURES AND 90 PERCENT STANDARD PROCTOR DENSITY IN OPEN SPACE. ALL TRENCHES IN PUBLIC RIGHT OF WAY SHALL BE BACKFILLED WITH FLOWABLE FILL OR OTHER MATERIAL, PRE-APPROVED BY THE LOCAL JURISDICTION. 20. ALL NECESSARY RUBBISH, STUMPS, DEBRIS, STICKS, STONES, AND OTHER REFUSE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LAWFUL MANNER. 21. ALL BROCHURES, OPERATING AND MAINTENANCE MANUALS, CATALOGS, SHOP DRAWINGS, AND OTHER DOCUMENTS SHALL BE TURNED OVER TO VERIZON AT COMPLETION OF CONSTRUCTION AND PRIOR TO PAYMENT. 22. CONTRACTOR SHALL SUBMIT A COMPLETE SET OF AS-BUILT REGULATIONS TO VERIZON UPON COMPLETION OF PROJECT AND PRIOR TO FINAL PAYMENT. 23. ALL MATERIALS SHALL BE FURNISHED AND WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST REVISION VERIZON MOBILITY GROUNDING STANDARD TECHNICAL SPECIFICATION FOR CONSTRUCTION OF GSM/GPRS WIRELESS SITES AND TECHNICAL SPECIFICATION FOR FACILITY GROUNDING. IN CASE OF A CONFLICT BETWEEN THE CONSTRUCTION SPECIFICATION AND THE DRAWINGS, THE DRAWINGS SHALL GOVERN. 24. CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS REQUIRED FOR CONSTRUCTION. IF CONTRACTOR CANNOT OBTAIN A PERMIT, THEY MUST NOTIFY THE GENERAL CONTRACTOR IMMEDIATELY. 25. CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE ON A DAILY BASIS. ALL WASTE MATERIALS TO BE REMOVED FROM SITE PRIOR TO SUBSTANTIAL COMPLETION AND PRIOR TO FINAL ACCEPTANCE. 26. THE CONTRACTOR SHALL GUARANTEE THE WORK PERFORMED ON THE PROJECT BY THE CONTRACTOR AND ANY OR ALL OF THE SUBCONTRACTORS WHO PERFORMED WORK FOR THE CONTRACTOR ON THIS PROJECT. THE GUARANTEE SHALL BE FOR ONE FULL YEAR FOLLOWING ISSUANCE OF THE FINAL PAYMENT OF RETAINAGE. ALL MATERIALS AND WORKMANSHIP SHALL BE WARRANTED FOR ONE YEAR FROM ACCEPTANCE DATE. 27. THE CONTRACTOR AND ITS SUBCONTRACTORS SHALL CARRY LIABILITY INSURANCE IN THE AMOUNTS AND FORM IN ACCORDANCE WITH LESSEE SPECIFICATIONS. CERTIFICATES DEMONSTRATING PROOF OF COVERAGE SHALL BE PROVIDED TO LESSEE PRIOR TO THE START OF THE WORK ON THE PROJECT. 28. THE CONTRACTOR SHALL REWORK (DRY, SCARIFY, ETC) ALL MATERIAL NOT SUITABLE FOR SUBGRADE IN ITS PRESENT STATE, AFTER REWORKING IF THE MATERIAL REMAINS UNSUITABLE, THE CONTRACTOR SHALL UNDERCUT THIS MATERIAL AND REPLACE WITH APPROVED MATERIAL. ALL SUBGRADES SHALL BE PROOFROLLED WITH A FULLY LOADED TANDEM AXLE DUMP TRUCK PRIOR TO PAVING. ANY SOFT MATERIAL SHALL BE REWORKED AND REPLACED. 29. TEMPORARY FACILITIES FOR PROTECTION OF TOOLS AND EQUIPMENT SHALL CONFORM TO LOCAL REGULATIONS AND SHALL BE THE CONTRACTORS RESPONSIBILITY.	

DRIVING DIRECTIONS FROM VERIZON WIRELESS HEADQUARTERS IN CHARLOTTE:	
HEAD SOUTHWEST	0.1 MI
CONTINUE STRAIGHT	75 FT
TURN RIGHT ONTO RESEARCH DR	0.4 MI
TURN LEFT ONTO W. CAMPBELL BLVD	0.2 MI
TURN RIGHT TO MERGE WITH I-85 S	0.3 MI
MERGE WITH I-85 S	33.9 MI
TAKE EXIT 58 TO MERGE WITH US-74 W TOWARD PETERS MOUNTAIN SHOVEL	14.7 MI
KEEP LEFT AT THE JUNCTION TO CONTINUE ON US-74 W	0.4 MI
MERGE WITH I-41 W	124 MI
USE THE RIGHT LANES TO TAKE EXIT 373 FOR CAMPBELL STATION RD TOWARD FARRAGUT	0.3 MI
USE THE LEFT 3 LANES TO TURN LEFT ONTO N CAMPBELL STATION RD	1.6 MI
DESTINATION WILL BE ON THE LEFT	
TURN LEFT ONTO S WASHINGTON ST	0.2 MI
TURN RIGHT AFTER ARBYS (ON THE RIGHT)	7.7 MI
CONTINUE ONTO US-74 W	33.0 MI
I-85/74 W TURNS SLIGHTLY RIGHT AND BECOMES I-85 W/US-74 W	34.4 MI



PREPARED FOR: verizon	
A&E FIRM: towersource	
1875 OLD ALABAMA ROAD, SUITE 100B ROSWELL, GA 30078 TEL: 678-990-2336 FAX: 678-990-2342	
REGISTERED PROFESSIONAL ENGINEER SHALL: THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR REPRODUCTION OTHER THAN THAT WHICH RELATES TO THE CLIENT IS STRICTLY PROHIBITED.	
REVISION	
REV	DATE DESCRIPTION
0	1/6/2020 ISSUED FOR CONSTRUCTION
DRAWN BY: BA	CHECKED BY: JKP
CAUTION FOREIGN UTILITY LOCATIONS ARE APPROXIMATE. CONTACT THE LOCAL ONE CALL AGENCY 48 HOURS PRIOR TO CONSTRUCTION FOR EXACT UTILITY LOCATION AT:	
PROJECT INFORMATION VERIZON SITE ID SMC_FARRAGUT_22_5G_022 NEAREST ADDRESS N. CAMPBELL STATION RD. FARRAGUT, TN 37934 (KNOX COUNTY)	
SHEET TITLE TITLE SHEET	
SHEET NO. A1	REVISION: 0



NOTES:

1. SITE PLAN HAS BEEN DEVELOPED USING GOOGLE MAPS AND LOCAL GIS DATA. UTILITIES (IF SHOWN) ARE FROM ONLINE OR OTHER SOURCES AND HAVE NOT BEEN FIELD LOCATED. CONTRACTOR MUST LOCATE UTILITIES PRIOR TO START OF CONSTRUCTION.
2. CONTRACTOR SHALL MAINTAIN UNINTERRUPTED ACCESS TO ALL DRIVEWAYS, SIDE STREETS AND WALKWAYS AT ALL TIMES UNLESS OTHERWISE PERMITTED.
3. CONTRACTOR SHALL PREPARE A MAINTENANCE OF TRAFFIC (M.O.T.) PLAN FOR PEDESTRIAN TRAFFIC AND WORK WITHIN THE RIGHT-OF-WAY, INCLUDING VEHICLE PARKING AND EQUIPMENT STAGING.
4. CONTRACTOR SHALL RESTORE ANY DISTURBED AREAS TO ORIGINAL CONDITION OR BETTER.
5. POWER DELIVERY BY LENOIR CITY UTILITY BOARD AT THEIR RECOMMENDATION. PERMITTED SEPARATELY.
6. FIBER DELIVERY PROVIDED BY 1 FIBER, PERMITTED SEPARATELY.

UTILITY NOTES

1. CONTRACTOR TO CONTACT LENOIR CITY UTILITY BOARD TO INITIATE POWER ROUTE INSTALLATION.
NAME: CUSTOMER SERVICE
PHONE: (844) 687-5282
EMAIL: TBD
2. POWER COMPANY WILL PROVIDE UNDERGROUND SERVICE FROM EXISTING UTILITY POLE TO VZW PROPOSED UTILITY POLE.
3. VZW CONTRACTOR WILL PROVIDE THE METER BASE. POWER COMPANY WILL PROVIDE METER.

STREET LIGHT	STLT	FIBER MARKER	ST
POLE W/ LIGHT	STLT	PARKING METER	PM
UTILITY POLE	UP	MANHOLE	MH
LIGHT POLE	LP	TELEC BOX	TCB
FIRE HYDRANT	FH	GAS VALVE	GV
TRAFFIC POLE	TP	TRANSFORMER	TR
HANDHOLE	HH	WATER VALVE	WV
WATER METER	WM	SEWER	SE
UTILITY MARKER	UM	PEDESTAL	PED
CULVERT	CUL	INLET	IN
TREE	TREE	CABINET	CAB
		DRAIN CRATE	DCR
		CROSSWALK	CW
		TRAFFIC SIGNAL	TS

OVERHEAD POWER	CHP
UNDERGROUND POWER	UGP
UNDERGROUND FIBER	UGF
UNDERGROUND GAS	UGG
WATER LINE	WTL
SEWER	STL
SEWER	SSL
RIGHT OF WAY	ROW
EDGE OF PAVEMENT	EOP
TRUCK	T
CENTER LINE	CL
PROPERTY LINE	PL
EXISTING BUILDING	EB
BASE LINE	BL
UNDERWAY SIDEWALK	USW
BACK OF CURB	B/C
OVERHEAD CATV	CHP
	CATV

PREPARED FOR:

verizon

1000 WILLIAMS BLVD
KENNER, LA 70062

A&E FIRM:

towersource

1875 OLD ALABAMA ROAD, SUITE 100H
ROSBELL, GA 30076
TEL: 878-655-2338 FAX: 878-990-2342

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THAT WHICH RELATES TO THE CLIENT IS STRICTLY PROHIBITED.

REVISION

REV	DATE	DESCRIPTION
0	1/6/2020	ISSUED FOR CONSTRUCTION

DRAWN BY: BA CHECKED BY: JKP

CAUTION
FOREIGN UTILITY LOCATIONS ARE APPROXIMATE.
CONTACT THE LOCAL ONE CALL AGENCY 48 HOURS PRIOR
TO CONSTRUCTION FOR EXACT UTILITY LOCATION.



CONSTRUCTION SHALL NOTIFY THE JURISDICTIONS
DEPARTMENT OF PUBLIC WORKS AND ENGINEERING,
OFFICE OF THE CITY ENGINEER, 48 HOURS BEFORE
STARTING WORK IN THIS PROJECT.

PROJECT INFORMATION

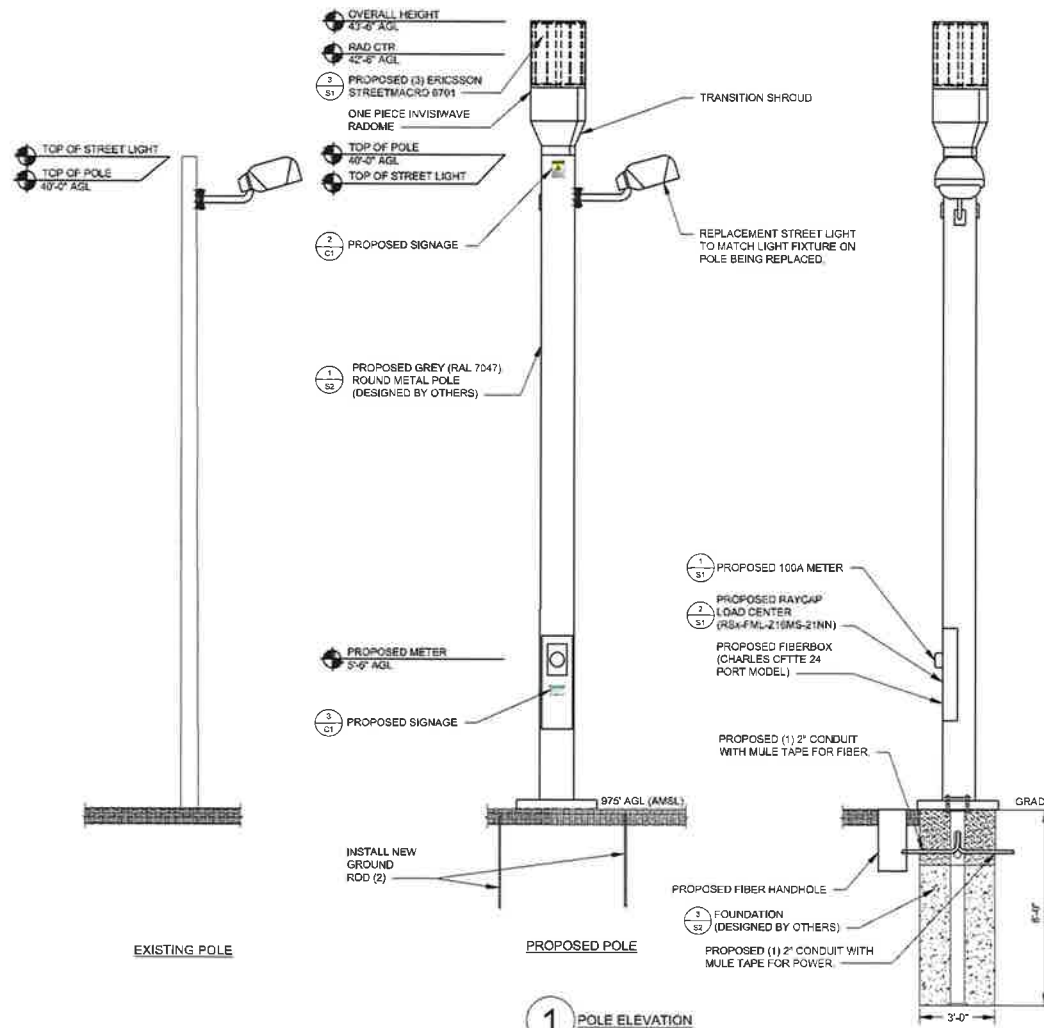
VERIZON SITE ID
SMC_FARRAGUT_22_5G_022

NEAREST ADDRESS
N. CAMPBELL STATION RD.
FARRAGUT, TN 37934
(KNOX COUNTY)

SHEET TITLE:
DETAIL SITE PLAN

SHEET NO. **B2** REVISION **0**

PROPOSED EQUIPMENT TO BE
INSTALLED INSIDE CONCEALMENT



1 POLE ELEVATION

ANTENNA SCHEDULE NOTES

1. CONTRACTOR TO MOUNT ANTENNAS PER MANUFACTURER'S SPECIFICATIONS
2. CONTRACTOR TO REFERENCE VZW ISSUED RFDS AND GIVE PRECEDENCE TO
3. VERIFY LOADING WITH STRUCTURAL ANALYSIS PRIOR TO CONSTRUCTIONS

DESIGN NOTES

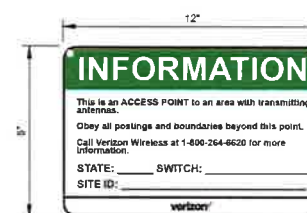
1. FIBER TRANSPORT DELIVERY CABLES WILL BE BURIED TO POLE.
2. POWER TRANSPORT DELIVERY CABLES WILL BE BURIED TO POLE.
3. CONTRACTOR WILL COORDINATE POWER AND FIBER SERVICE REQUIREMENTS AND INSTALLATIONS WITH UTILITY COMPANIES, PRIOR TO CONSTRUCTION. CONTRACTOR TO COORDINATE POLE DESIGN WITH FINAL RF DESIGN COMPONENTS.
5. CONFIRM METER TYPE WITH POWER COMPANY.

INSTALLATION NOTES

1. ALL INSTALLATIONS SHALL COMPLY WITH THE CURRENT PUBLISHED ISSUES OF THE NATIONAL ELECTRIC SAFETY CODE (NEC), AND POLE ATTACHMENT STANDARDS FOR POLE OWNER.



2 INFORMATION SIGN

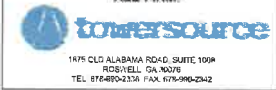


3 INFORMATION SIGN

PREPARED FOR:



A&E FIRM:



REGISTERED PROFESSIONAL ENGINEER SEAL:

THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY IN NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO THE CLIENT IS STRICTLY PROHIBITED.

REVISION

REV	DATE	DESCRIPTION
0	1/9/2020	ISSUED FOR CONSTRUCTION

DRAWN BY: DS

CHECKED BY: JGP

CAUTION

FOREIGN UTILITY LOCATIONS ARE APPROXIMATE. CONTACT THE LOCAL ONE CALL AGENCY 48 HOURS PRIOR TO CONSTRUCTION FOR EXACT UTILITY LOCATION AT.



PROJECT INFORMATION:

VERIZON SITE ID
SMC_FARRAGUT_22_5G_022

NEAREST ADDRESS
N. CAMPBELL STATION RD.
FARRAGUT, TN 37934
(KNOX COUNTY)

SHEET TITLE:

POLE ELEVATION

SHEET NO.

C1

REVISION

0



CURRENT VIEW
(FROM NW LOOKING SE)



PROPOSED VIEW
(FROM NW LOOKING SE)

PREPARED FOR:
verizon
1011 WILLIAMS BLVD
KENNER, LA 70062

A/E FIRM:
townsource
1411 OLD ALABAMA ROAD, SUITE 100
BIRMINGHAM, GA 30078
TEL: 678-890-2339 FAX: 678-990-2342

REGISTERED PROFESSIONAL ENGINEER SEAL:
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PROPERTY OF TOWN SOURCE. ANY USE OR REPRODUCTION OTHER THAN
THAT WHICH RELATES TO THE CLIENT IS STRICTLY PROHIBITED.

REVISION		
REV.	DATE	DESCRIPTION
0	1/8/2020	ISSUED FOR CONSTRUCTION

DRAWN BY: BA CHECKED BY: JKP

CAUTION
FOREIGN UTILITY LOCATIONS ARE APPROXIMATE.
CONTACT THE LOCAL ONE CALL AGENCY 48 HOURS PRIOR
TO CONSTRUCTION FOR EXACT UTILITY LOCATION AT:

CONSTRUCTION SHALL NOTIFY THE JURISDICTION'S
DEPARTMENT OF PUBLIC WORKS AND ENGINEERING
OFFICE OF THE CITY ENGINEER 48 HOURS BEFORE
STARTING WORK IN THIS PROJECT.

PROJECT INFORMATION
VERIZON SITE ID
SMC_FARRAGUT_22_5G_022

NEAREST ADDRESS
N. CAMPBELL STATION RD.
FARRAGUT, TN 37934
(KNOX COUNTY)

SHEET TITLE:
PHOTO SIMS

SHEET NO: **C4.1** REVISION: **0**



CURRENT VIEW
(FROM S LOOKING N)



PROPOSED VIEW
(FROM S LOOKING N)

PREPARED FOR: verizon 1001 WILLIAMS BLVD KENNER, LA 70002										
A/E FIRM: 1415 OLD ALABAMA ROAD, SUITE 100 ROSSWELL, GA 30088 TEL: 878-690-2238 FAX: 878-690-2242										
REGISTERED PROFESSIONAL ENGINEER SEAL: THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATED TO THE CLIENT IS STRICTLY PROHIBITED.										
<table border="1"> <tr> <th colspan="3">REVISION</th> </tr> <tr> <th>REV</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td>0</td> <td>1/8/2020</td> <td>ISSUED FOR CONSTRUCTION</td> </tr> </table>		REVISION			REV	DATE	DESCRIPTION	0	1/8/2020	ISSUED FOR CONSTRUCTION
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REV	DATE	DESCRIPTION								
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DRAWN BY: BA CHECKED BY: JKP										
CAUTION FOREIGN UTILITY LOCATIONS ARE APPROXIMATE. CONTACT THE LOCAL ONE CALL AGENCY 48 HOURS PRIOR TO CONSTRUCTION FOR EXACT UTILITY LOCATION AT: CONSTRUCTION SHALL NOTIFY THE JURISDICTIONS, DEPARTMENT OF PUBLIC WORKS AND ENGINEERING, OFFICE OF THE CITY ENGINEER 48 HOURS BEFORE STARTING WORK IN THIS PROJECT.										
PROJECT INFORMATION: VERIZON SITE ID SMC_FARRAGUT_22_5G_022 NEAREST ADDRESS N. CAMPBELL STATION RD. FARRAGUT, TN 37934 (KNOX COUNTY)										
SHEET TITLE: PHOTO SIMS										
SHEET NO: C4.2	REVISION: 0									

Node 2

PREPARED FOR: verizon		GENERAL NOTES:		16. THE GENERAL CONTRACTOR SHALL PROVIDE PORTABLE FIRE EXTINGUISHERS WITH A RATING OF NOT LESS THAN 5A:60 2A:10B C AND SHALL BE WITHIN 25 FEET OF TRAVEL DISTANCE TO ALL PORTIONS OF WHERE THE WORK IS BEING COMPLETED DURING CONSTRUCTION.		PREPARED FOR: verizon	
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THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SECURITY OF THE SITE FOR THE DURATION OF CONSTRUCTION UNTIL JOB COMPLETION. 15. THE GENERAL CONTRACTOR SHALL MAINTAIN IN GOOD CONDITION ONE COMPLETE SET OF PLANS WITH ALL REVISIONS, ADDENDA AND CHANGE ORDERS ON THE PREMISES AT ALL TIMES. <td colspan="2">17. ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES SHALL BE PROTECTED AND FREE FROM OBSTRUCTION AT ALL TIMES, AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY THE GOVERNING UTILITY COMPANY ENGINEER. 18. CONTRACTOR SHALL MINIMIZE DISTURBANCE TO THE EXISTING SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES IF REQUIRED DURING CONSTRUCTION, SHALL BE IN CONFORMANCE WITH THE FEDERAL AND LOCAL JURISDICTION FOR EROSION AND SEDIMENT CONTROL. 19. THE SUBGRADE SHALL BE BROUGHT TO A SMOOTH UNIFORM GRADE AND COMPACTED TO 95 PERCENT STANDARD PROCTOR DENSITY UNDER PAVEMENT AND STRUCTURES AND 90 PERCENT STANDARD PROCTOR DENSITY IN OPEN SPACE. ALL TRENCHES AT PUBLIC RIGHT OF WAY SHALL BE BACKFILLED WITH FLOWABLE FILL OR OTHER MATERIAL PRE-APPROVED BY THE LOCAL JURISDICTION. 20. ALL NECESSARY TURFING, STICKS, DEBRIS, STICKS, STONES, AND OTHER REFUSE SHALL BE REMOVED FROM THE SITE AND DEPOSED OF IN A LAWFUL MANNER. 21. ALL BROCHURES, OPERATING AND MAINTENANCE MANUALS, CATALOGS, SHOP DRAWINGS, AND OTHER DOCUMENTS SHALL BE TURNED OVER TO VERIZON AT COMPLETION OF CONSTRUCTION AND PRIOR TO PAYMENT. 22. CONTRACTOR SHALL SUBMIT A COMPLETE SET OF AS-BUILT REQUIREMENTS TO VERIZON UPON COMPLETION OF PROJECT AND PRIOR TO FINAL PAYMENT. 23. ALL MATERIALS SHALL BE FURNISHED AND WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST REVISION VERIZON MOBILITY GROUNDING STANDARD "TECHNICAL SPECIFICATION FOR CONSTRUCTION OF GSM/GPRS/3G/4G/LTE/5G SITE" AND "TECHNICAL SPECIFICATION FOR FACILITY GROUNDING". IN CASE OF A CONFLICT BETWEEN THE CONSTRUCTION SPECIFICATION AND THE DRAWINGS, THE DRAWINGS SHALL GOVERN. 24. CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS REQUIRED FOR CONSTRUCTION. IF CONTRACTOR CANNOT OBTAIN A PERMIT, THEY MUST NOTIFY THE GENERAL CONTRACTOR IMMEDIATELY. 25. CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE ON A DAILY BASIS. ALL WASTE MATERIALS TO BE REMOVED FROM SITE PRIOR TO SUBSTANTIAL COMPLETION AND PRIOR TO FINAL ACCEPTANCE. 26. THE CONTRACTOR SHALL GUARANTEE THE WORK PERFORMED ON THE PROJECT BY THE CONTRACTOR AND ANY OR ALL OF THE SUBCONTRACTORS WHO PERFORMED WORK FOR THE CONTRACTOR ON THIS PROJECT. THE GUARANTEE SHALL BE FOR ONE FULL YEAR FOLLOWING ISSUANCE OF THE FINAL PAYMENT OF RETAINAGE. ALL MATERIALS AND WORKMANSHIP SHALL BE WARRANTED FOR ONE YEAR FROM ACCEPTANCE DATE. 27. THE CONTRACTOR AND ITS SUBCONTRACTORS SHALL CARRY LIABILITY INSURANCE IN THE AMOUNTS AND FORMS IN ACCORDANCE WITH LESSOR SPECIFICATIONS, CERTIFICATES DEMONSTRATING PROOF OF COVERAGE SHALL BE PROVIDED TO LESSOR PRIOR TO THE START OF THE WORK ON THE PROJECT. 28. THE CONTRACTOR SHALL REWORK (DRY SCRAP, ETC) ALL MATERIAL NOT SUITABLE FOR SUBGRADE IN ITS PRESENT STATE. AFTER REWORKING IF THE MATERIAL REMAINS UNSUITABLE, THE CONTRACTOR SHALL UNDERPUT THIS MATERIAL AND REPLACE WITH APPROVED MATERIAL. ALL SUBGRADES SHALL BE PROCTORED WITH A FULLY LOADED TANDEM AXLE DUMP TRUCK PRIOR TO PAVING ANY SOFT MATERIAL. SHALL BE REWORKED AND REPLACED. 29. 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VERIZON SITE ID: SMC_FARRAGUT_17_5G_017		1. DRIVING DIRECTIONS: FROM VERIZON WIRELESS HEADQUARTERS IN CHARLOTTE: HEAD SOUTHWEST 0.1 MI MERGE WITH US-74 W 22.3 MI USE THE LEFT 2 LANES TO TURN LEFT ONTO N CAMPBELL STATION RD 0.5 MI CONTINUE STRAIGHT 75 FT CONTINUE ONTO US-74 W 33.2 MI SITE WILL BE ON THE LEFT TURN RIGHT ONTO RESEARCH DR 0.4 MI US-74 W TURNS SLIGHTLY RIGHT AND BECOMES I-40 (US-74 W) 34.4 MI TURN LEFT ONTO W.T. HARRIS BLVD 0.4 MI KEEP LEFT AT THE Y JUNCTION TO CONTINUE ON US-74 W 0.9 MI TURN RIGHT TO MERGE WITH I-40 S 0.3 MI MERGE WITH I-40 W 124 MI MERGE WITH I-40 S 33.9 MI MERGE WITH I-40 W 0.9 MI TAKE EXIT 108 TO MERGE WITH US-74 W TOWARD KINGS MOUNTAIN/REBEL 0.5 MI USE THE RIGHT 2 LANES TO TAKE EXIT 373 FOR CAMPBELL STATION RD TOWARD FARRAGUT		A&E FIRM: towersource 1915 OLD ALABAMA ROAD, SUITE 100A KNOXVILLE, GA 37976 TEL: 615-624-2338 FAX: 615-624-2339			
PROJECT DESCRIPTION: PROPOSED UTILITY POLE		1. THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO THE CLIENT IS STRICTLY PROHIBITED.		REGISTERED PROFESSIONAL ENGINEER SEAL: THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO THE CLIENT IS STRICTLY PROHIBITED.			
NEAREST ADDRESS: (E911 ADDRESS PENDING) N. CAMPBELL STATION RD. FARRAGUT, TN 37934		REVISION		REVISION			
POLE OWNER: TOWN OF FARRAGUT		REV: DATE DESCRIPTION		REV: DATE DESCRIPTION			
LATITUDE: N 35°53'30.5" 35.891610		0 1/8/2020 ISSUED FOR CONSTRUCTION		0 1/8/2020 ISSUED FOR CONSTRUCTION			
LONGITUDE: W 84°10'18.6" -84.172100		DRAWN BY: DS CHECKED BY: JKP		DRAWN BY: DS CHECKED BY: JKP			
GROUND ELEVATION: (MNSL) = 975±		CAUTION FOREIGN UTILITY LOCATIONS ARE APPROXIMATE. CONTACT THE LOCAL ONE CALL AGENCY 48 HOURS PRIOR TO CONSTRUCTION FOR EXACT UTILITY LOCATION AT.		CAUTION FOREIGN UTILITY LOCATIONS ARE APPROXIMATE. CONTACT THE LOCAL ONE CALL AGENCY 48 HOURS PRIOR TO CONSTRUCTION FOR EXACT UTILITY LOCATION AT.			
PRESENT OCCUPANCY TYPE: PUBLIC ROW		PROJECT INFORMATION:		PROJECT INFORMATION:			
JURISDICTION: TOWN OF FARRAGUT		VERIZON SITE ID: SMC_FARRAGUT_17_5G_017		VERIZON SITE ID: SMC_FARRAGUT_17_5G_017			
ROW JURISDICTION: TOWN OF FARRAGUT		NEAREST ADDRESS: N. CAMPBELL STATION RD. FARRAGUT, TN 37934 (KNOX COUNTY)		NEAREST ADDRESS: N. CAMPBELL STATION RD. FARRAGUT, TN 37934 (KNOX COUNTY)			
COUNTY: KNOX		SHEET TITLE: TITLE SHEET		SHEET TITLE: TITLE SHEET			
DISTURBED AREA: 25 SQ FT ±		SHEET NO: A1		SHEET NO: A1			
CURRENT ZONING: N/A		REVISION: 0		REVISION: 0			
PARCEL ID #: N/A							
APPLICANT: VERIZON WIRELESS 8821 RESEARCH DRIVE CHARLOTTE, NC 28262 JASON KOZORA 252-201-5692							
PROJECT MANAGER: VERIZON WIRELESS 8521 RESEARCH DRIVE CHARLOTTE, NC 28262 JASON KOZORA 252-201-5692							
ENGINEER: TOWERSOURCE 1875 OLD ALABAMA ROAD, SUITE 100A ROSWELL, GA 30078 678-990-2338							
CALL PROJECT MANAGER BEFORE CONSTRUCTION STARTS							
SHEET		SHEET TITLE		SHEET TITLE			
A1		TITLE SHEET		TITLE SHEET			
EN		ELECTRICAL NOTES		ELECTRICAL NOTES			
B1		SITE PLAN		SITE PLAN			
B2		DETAIL SITE PLAN		DETAIL SITE PLAN			
C1		POLE ELEVATION		POLE ELEVATION			
C2		TRAFFIC CONTROL		TRAFFIC CONTROL			
C3		DETAILS		DETAILS			
C4.1		PHOTOSIM (1)		PHOTOSIM (1)			
C4.2		PHOTOSIM (2)		PHOTOSIM (2)			
E1		ONE LINE DIAGRAM		ONE LINE DIAGRAM			
E2		GROUNDING DETAILS		GROUNDING DETAILS			
S1		EQUIPMENT SPECS		EQUIPMENT SPECS			
S2		EQUIPMENT SPECS		EQUIPMENT SPECS			
GENERAL LOCATION MAP		SITE LOCATION PHOTO		SITE LOCATION PHOTO			
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PROPOSED EQUIPMENT TO BE
INSTALLED INSIDE CONCEALMENT

ANTENNA SCHEDULE NOTES

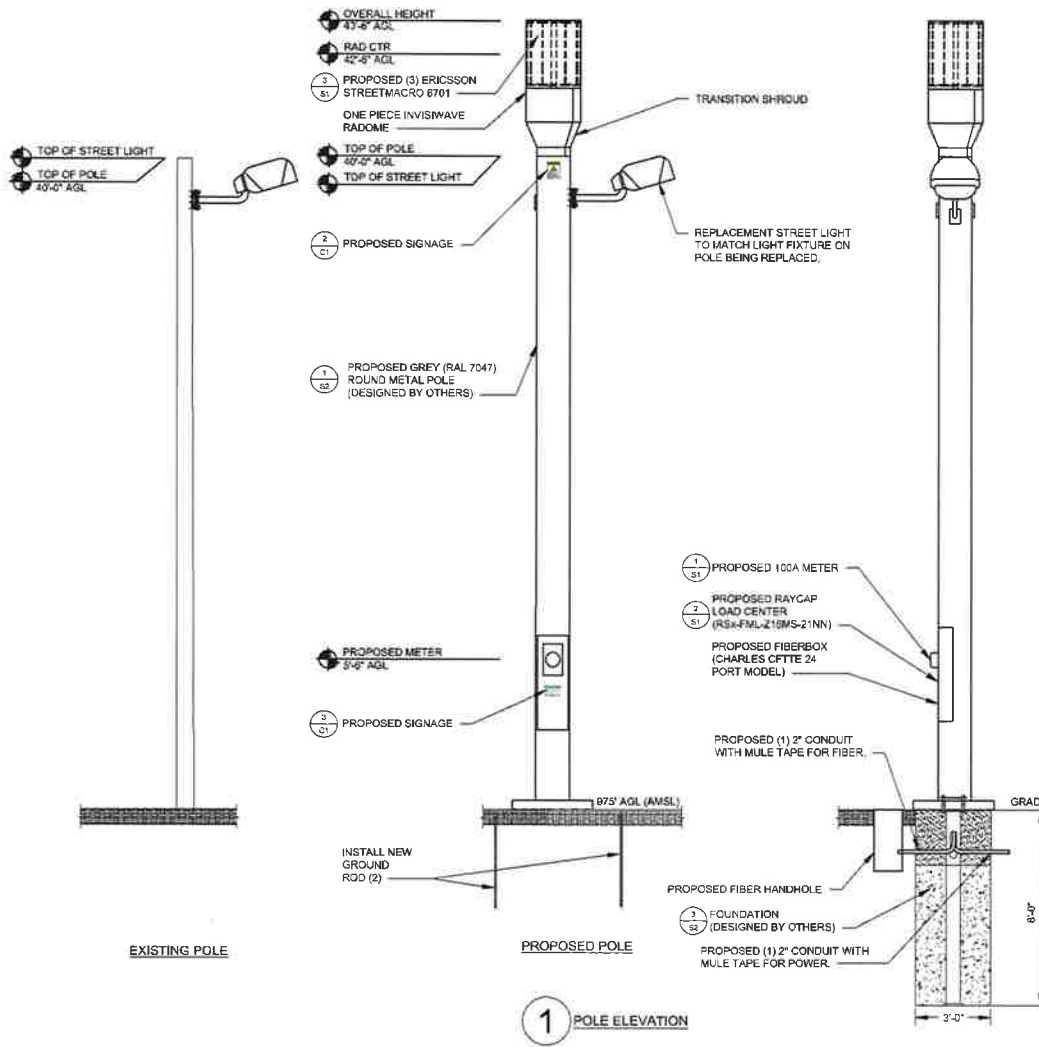
1. CONTRACTOR TO MOUNT ANTENNAS PER MANUFACTURER'S SPECIFICATIONS
2. CONTRACTOR TO REFERENCE VZW ISSUED RFDS AND GIVE PRECEDENCE TO
3. VERIFY LOADING WITH STRUCTURAL ANALYSIS PRIOR TO CONSTRUCTIONS

DESIGN NOTES

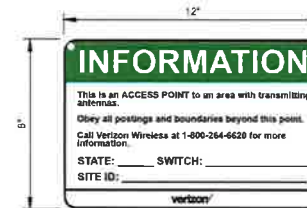
1. FIBER TRANSPORT DELIVERY CABLES WILL BE BURIED TO POLE.
2. POWER TRANSPORT DELIVERY CABLES WILL BE BURIED TO POLE.
3. CONTRACTOR WILL COORDINATE POWER AND FIBER SERVICE REQUIREMENTS AND INSTALLATIONS WITH UTILITY COMPANIES PRIOR TO CONSTRUCTION. CONTRACTOR TO COORDINATE POLE DESIGN WITH FINAL RF DESIGN COMPONENTS.
5. CONFIRM METER TYPE WITH POWER COMPANY.

INSTALLATION NOTES

6. ALL INSTALLATIONS SHALL COMPLY WITH THE CURRENT PUBLISHED ISSUES OF THE NATIONAL ELECTRIC SAFETY CODE (NEC), AND POLE ATTACHMENT STANDARDS FOR POLE OWNER.



2 INFORMATION SIGN



3 INFORMATION SIGN

PREPARED FOR:



A&E FIRM:



REGISTERED PROFESSIONAL ENGINEER SEAL:
THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS
PROPRIETARY IN NATURE. ANY USE OR DISCLOSURE OTHER THAN
THAT WHICH RELATES TO THE CLIENT IS STRICTLY PROHIBITED.

REVISION

REV	DATE	DESCRIPTION
0	1/8/2020	ISSUED FOR CONSTRUCTION

DRAWN BY: DS CHECKED BY: JKP

CAUTION

FOREIGN UTILITY LOCATIONS ARE APPROXIMATE.
CONTACT THE LOCAL ONE CALL AGENCY 48 HOURS PRIOR
TO CONSTRUCTION FOR EXACT UTILITY LOCATION AT.



CONSTRUCTION SHALL NOTIFY THE JURISDICTIONS,
DEPARTMENT OF PUBLIC WORKS AND ENGINEERING,
OFFICE OF THE CITY ENGINEER, 48 HOURS BEFORE
STARTING WORK IN THIS PROJECT.

PROJECT INFORMATION:
VERIZON SITE ID
SMC_FARRAGUT_17_5G_017

NEAREST ADDRESS
N. CAMPBELL STATION RD,
FARRAGUT, TN 37934
(KNOX COUNTY)

SHEET TITLE:
POLE ELEVATION

SHEET NO. C1 REVISION: 0



CURRENT VIEW
(FROM W LOOKING E)



PROPOSED VIEW
(FROM W LOOKING E)

PREPARED FOR: 1000 WILLIAMS BLVD KENNER, LA 70062		
A&E FIRM: 1875 OLD ALABAMA ROAD, SUITE 100A ROSWELL, GA 30078 TEL: 876-480-2338 FAX: 876-996-2342		
REGISTERED PROFESSIONAL ENGINEER SEAL: THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO THE CLIENT IS STRICTLY PROHIBITED.		
REVISION		
REV.	DATE	DESCRIPTION
0	1/6/2020	ISSUED FOR CONSTRUCTION
DRAWN BY: DS		CHECKED BY: JKP
CAUTION FOREIGN UTILITY LOCATIONS ARE APPROXIMATE. CONTACT THE LOCAL ONE CALL AGENCY 48 HOURS PRIOR TO CONSTRUCTION FOR EXACT UTILITY LOCATION AT:		
CONSTRUCTION SHALL NOTIFY THE JURISDICTION'S, DEPARTMENT OF PUBLIC WORKS AND ENGINEERING, OFFICE OF THE CITY ENGINEER, 48 HOURS BEFORE STARTING WORK IN THIS PROJECT.		
PROJECT INFORMATION: VERIZON SITE ID SMC_FARRAGUT_17_5G_017 NEAREST ADDRESS N. CAMPBELL STATION RD. FARRAGUT, TN 37934 (KNOX COUNTY)		
SHEET TITLE: PHOTO SIMS		
SHEET NO.	C4.1	REVISION: 0



CURRENT VIEW
(FROM S LOOKING N)



PROPOSED VIEW
(FROM S LOOKING N)

PREPARED FOR: verizon 1000 WILLIAMS BLVD KENNER, LA 70022							
A&E FIRM: 1875 OLD ALABAMA ROAD, SUITE 100 ROSWELL, GA 30076 TEL: 878-890-2338 FAX: 878-890-2342							
REGISTERED PROFESSIONAL ENGINEER SEAL: THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPERTY OF TOWERSOURCE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO THE CLIENT IS STRICTLY PROHIBITED.							
REVISION <table border="1"> <thead> <tr> <th>REV</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>0</td> <td>1/6/2020</td> <td>ISSUED FOR CONSTRUCTION</td> </tr> </tbody> </table>		REV	DATE	DESCRIPTION	0	1/6/2020	ISSUED FOR CONSTRUCTION
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0	1/6/2020	ISSUED FOR CONSTRUCTION					
DRAWN BY: DS CHECKED BY: JKP							
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PROJECT INFORMATION: VERIZON SITE ID SMC_FARRAGUT_17_5G_017 NEAREST ADDRESS N. CAMPBELL STATION RD. FARRAGUT, TN 37934 (KNOX COUNTY)							
SHEET TITLE: PHOTO SIMS							
SHEET NO. C4.2	REVISION: 0						

Node 3

PREPARED FOR:

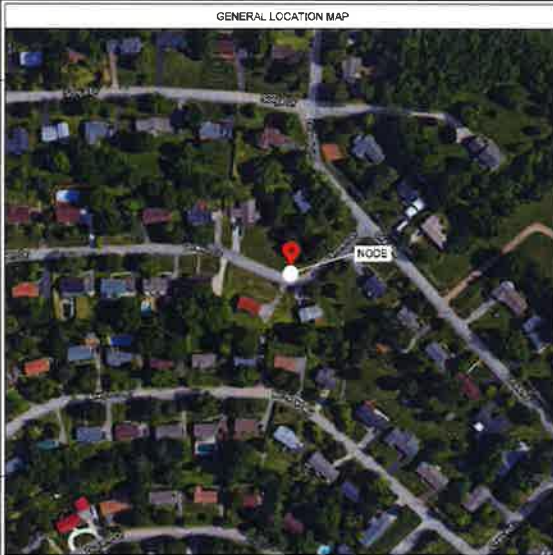


PROJECT INFORMATION

VERIZON SITE ID:	SMC_FARRAGUT_8_5G_008
PROJECT DESCRIPTION:	PROPOSED UTILITY POLE
NEAREST ADDRESS: (E911 ADDRESS PENDING)	DINEEN DR FARRAGUT, TN 37934
POLE OWNER	VERIZON WIRELESS
LATITUDE:	N 35° 53' 47.1" 35.896410
LONGITUDE:	W 84° 08' 51.0" -84.147510
GROUND ELEVATION:	(AMSLL) = 941.2
PRESENT OCCUPANCY TYPE	PUBLIC ROW
JURISDICTION:	TOWN OF FARRAGUT
ROW JURISDICTION:	TOWN OF FARRAGUT
COUNTY:	KNOX
DISTURBED AREA:	25 SQ FT ±
CURRENT ZONING	N/A
PARCEL ID #	N/A
APPLICANT:	VERIZON WIRELESS 5821 RESEARCH DRIVE CHARLOTTE, NC 28262 JASON KAZORA 252-201-6602
PROJECT MANAGER:	VERIZON WIRELESS 5821 RESEARCH DRIVE CHARLOTTE, NC 28262 JASON KAZORA 252-201-6602
ENGINEER:	TOWERSOURCE 1875 OLD ALABAMA ROAD, SUITE 1006 ROSWELL, GA 30076 678-990-2338

- GENERAL NOTES:
- FOR THE PURPOSE OF CONSTRUCTION DRAWINGS, THE FOLLOWING DEFINITIONS SHALL APPLY:
GENERAL CONTRACTOR: CONSTRUCTION OWNER-VERIZON
 - ALL SITE WORK SHALL BE COMPLETED AS INDICATED ON THE DRAWINGS AND VERIZON PROJECT SPECIFICATIONS. THE CONTRACTOR SHALL HAVE CONSIDERABLE EXPERIENCE IN PERFORMANCE OF WORK SIMILAR TO THAT DESCRIBED HEREIN BY ACCEPTANCE OF THIS ASSIGNMENT. THE CONTRACTOR IS ATTESTING THAT HE DOES HAVE SUFFICIENT EXPERIENCE AND ABILITY, THAT HE IS AN INDIVIDUAL CAPABLE OF THE WORK TO BE PERFORMED AND THAT HE IS PROPERLY LICENSED AND PROPERLY REGISTERED TO DO THE WORK IN THE STATE OF TENNESSEE.
 - GENERAL CONTRACTOR SHALL VISIT THE SITE AND SHALL FAMILIARIZE HIMSELF WITH ALL CONDITIONS AFFECTING THE PROPOSED WORK AND SHALL MAKE PROVISIONS. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH ALL CONTRACT DOCUMENTS, FIELD CONDITIONS, DIMENSIONS, AND COORDINATES THAT THE WORK MAY BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE COMMENCEMENT OF WORK.
 - ALL MATERIALS OF THE ENGINEER PRIOR TO THE COMMENCEMENT OF WORK.
 - GENERAL CONTRACTOR SHALL ISSUE ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS, AND LAWS, ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF WORK. ALL WORK CARRIED OUT SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONAL CODES, ORDINANCES, AND APPLICABLE REGULATIONS.
 - UNLESS NOTED OTHERWISE, THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES, AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.
 - PLANS ARE NOT TO BE SCALED. THESE PLANS ARE INTENDED TO BE A DIAGRAMMATIC OUTLINE ONLY UNLESS OTHERWISE NOTED. DIMENSIONS SHOWN ARE TO FINISH SURFACES UNLESS OTHERWISE NOTED. SPACING BETWEEN EQUIPMENT IS THE MINIMUM REQUIRED CLEARANCE. THEREFORE, IT IS CRITICAL TO FIELD VERIFY DIMENSIONS. SHOULD THERE BE ANY QUESTIONS REGARDING THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE ENGINEER PRIOR TO PROCEEDING WITH THE WORK. DETAILS ARE INTENDED TO SHOW DESIGN INTENT. MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF WORK AND PREPARED BY THE ENGINEER PRIOR TO PROCEEDING WITH WORK.
 - THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.
 - IF THE SPECIFIED EQUIPMENT CANNOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION SPACE FOR APPROVAL BY THE ENGINEER PRIOR TO PROCEEDING.
 - GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF WORK AREA, ADJACENT AREAS AND BUILDING OCCUPANTS THAT ARE LIKELY TO BE AFFECTED BY THE WORK UNDER THIS CONTRACT. WORK SHALL CONFORM TO ALL OSHA REQUIREMENTS AND THE LOCAL JURISDICTION.
 - ERECTOR SHALL BE DONE IN A WORKMANLIKE MANNER BY COMPETENT EXPERIENCED WORKMAN IN ACCORDANCE WITH APPLICABLE CODES AND THE BEST ACCEPTED PRACTICES. ALL MATERIALS SHALL BE Laid PLUMB AND TRUE AS INDICATED ON THE DRAWINGS.
 - THE CONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS, PAVEMENTS, CURBS, LANDSCAPING AND STRUCTURES, ANY DAMAGED PART SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER.
 - GENERAL CONTRACTOR SHALL CONTACT UTILITY LOCATING SERVICES MIN 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
 - GENERAL CONTRACTOR SHALL COORDINATE AND MAINTAIN ACCESS FOR ALL TRADES AND CONTRACTORS TO THE SITE AND/OR BUILDING.
 - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SECURITY OF THE SITE FOR THE DURATION OF CONSTRUCTION UNITS, JOB COMPLETION.
 - THE GENERAL CONTRACTOR SHALL MAINTAIN IN GOOD CONDITION ONE COMPLETE SET OF PLANS WITH ALL REVISIONS, ADDENDA, AND CHANGE ORDERS ON THE PREMISES AT ALL TIMES.

DRIVING DIRECTIONS FROM VERIZON WIRELESS HEADQUARTERS IN CHARLOTTE	MERGE WITH US-74 W	22.3 MI	WHYWAY 25 N TO VARD MARSHALL	0.2 MI	TURN RIGHT ONTO HEWITT RD	0.2 MI
HEAD SOUTHWEST	CONTINUE ONTO US-74 W	33 MI	MERGE WITH US-25 NUS-74 WHYWAY 25 N	54.6 MI	TURN RIGHT ONTO GRAY RD	0.2 MI
CONTINUE STRAIGHT	US-74 W TURNS SLIGHTLY RIGHT AND BECOMES I-26	34.4 MI	USE THE RIGHT LANE TO MERGE WITH I-40 W VIA THE RAMP TO KNOXVILLE	0.5 MI	TURN LEFT ONTO DINEEN DR	233 FT
TURN RIGHT ONTO RESEARCH DR	0.4 MI	KEEP RIGHT AT THE Y JUNCTION TO STAY ON I-26 W, FOLLOW SIGNS FOR INTERSTATE 22	MERGE WITH I-40 W	54.7 MI		
TURN LEFT ONTO W J. HARRIS BLVD	0.4 MI	USE THE LEFT LANE TO TAKE EXIT 4A FOR I-40, I-75, I-24, S. TO INTERSTATE 25 TOWARD LING	USE THE RIGHT 2 LANES TO TAKE EXIT 376 TO MERGE WITH I-40 E TOWARD NASHVILLE	1.5 MI		
TURN RIGHT TO MERGE WITH I-40 S	0.3 MI	CONTINUE ONTO I-29 NUS-18 NUS-23 NUS-70 W	TAKE EXIT 18 TO MERGE WITH US-11 S US-70 WINNISTON PKE	0.3 MI		
MERGE WITH I-40 S	33.3 MI	TAKE EXIT 18 A TO MERGE WITH US-29 NUS-70	MERGE WITH US-11 S US-70 WINNISTON PKE	1.8 MI		
TAKE EXIT 10B TO MERGE WITH US-74 W TOWARD KINGS MOUNTAIN/SELBY	0.6 MI					



PREPARED FOR:



1875 OLD ALABAMA ROAD, SUITE 1019
ROSWELL, GA 30076
TEL: 678-990-2338 FAX: 678-990-2342

A&E FIRM:



REGISTERED PROFESSIONAL ENGINEER (SEAL):

THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROVIDED BY A NATURE, REASON, OR CIRCUMSTANCE OTHER THAN THAT WHICH RELATES TO THE CLIENT'S STRICTLY PROHIBITED.

REVISION

REV	DATE	DESCRIPTION
0	1/5/2020	ISSUED FOR CONSTRUCTION

DRAWN BY: BA CHECKED BY: JKP

CAUTION
FOREIGN UTILITY LOCATIONS ARE APPROXIMATE.
CONTACT THE LOCAL ONE CALL AGENCY 48 HOURS PRIOR TO CONSTRUCTION FOR EXACT UTILITY LOCATION AT:



CONSTRUCTION SHALL NOTIFY THE JURISDICTIONS, DEPARTMENT OF PUBLIC WORKS AND ENGINEERING, OFFICE OF THE CITY ENGINEER, 48 HOURS BEFORE STARTING WORK IN THIS PROJECT.

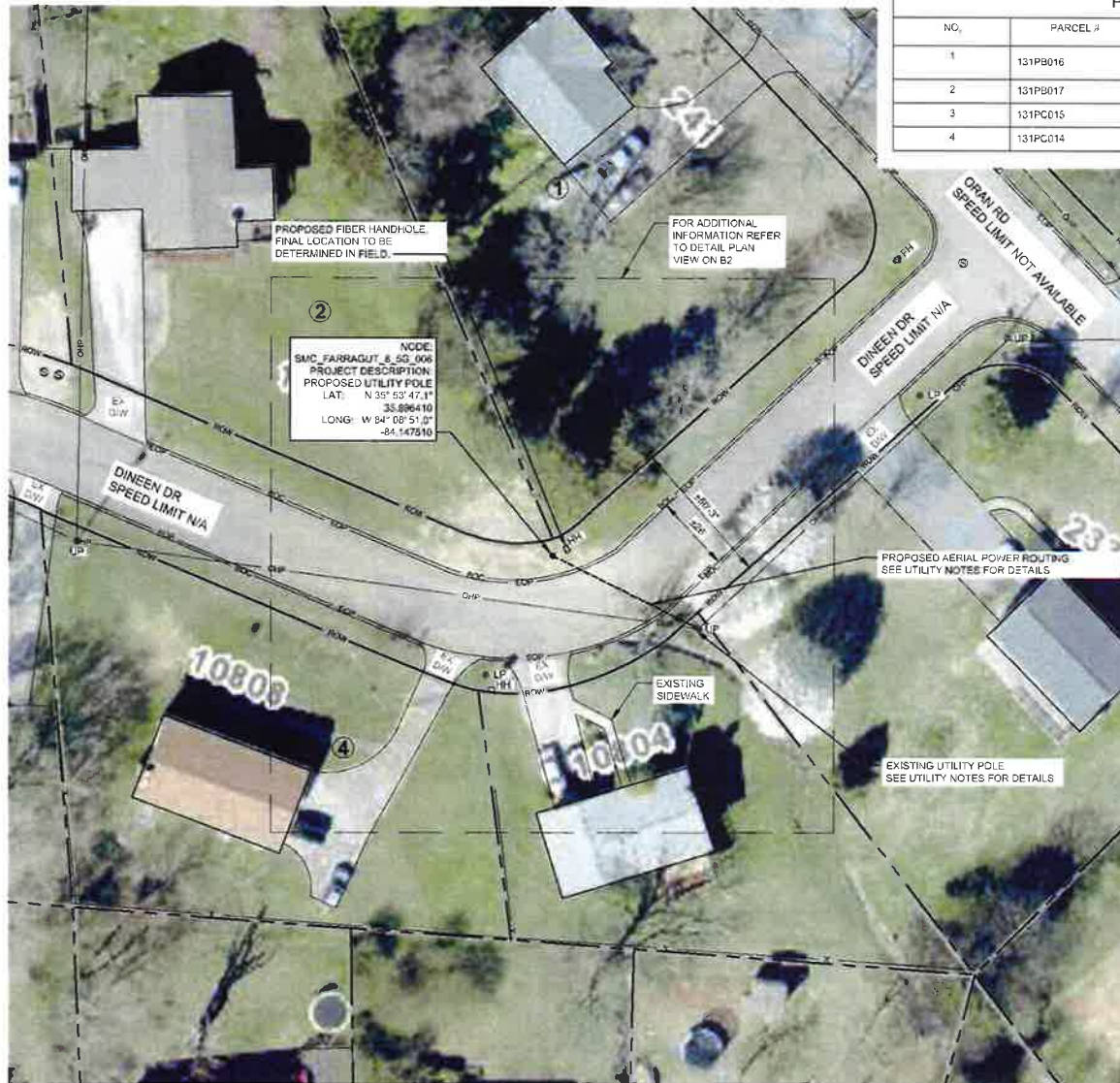
PROJECT INFORMATION:

VERIZON SITE ID
SMC_FARRAGUT_8_5G_008

NEAREST ADDRESS
DINEEN DR
FARRAGUT, TN 37934
(KNOX COUNTY)

SHEET TITLE:
TITLE SHEET

SHEET NO. **A1** REVISION **0**



SITE PLAN
11x17 SCALE 1" = 40'
24x36 SCALE 1" = 20'

PROPERTY INFORMATION

NO.	PARCEL #	N/F PROPERTY OWNER	DEED BOOK	PAGE
1	131PB016	BOHANAN EDITH & BOHANAN RANDAL JAMES	N/A	N/A
2	131PB017	KONOPKA DEBORAH JOANNA	N/A	N/A
3	131PC015	MCSADDEN MILTON F & JANE G	N/A	N/A
4	131PG014	PEARSON ARTHUR G & JACQUELINE C	N/A	N/A

NOTES

1. SITE PLAN HAS BEEN DEVELOPED USING GOOGLE MAPS AND LOCAL GIS DATA. UTILITIES (IF SHOWN) ARE FROM ONLINE OR OTHER SOURCES AND HAVE NOT BEEN FIELD LOCATED. CONTRACTOR MUST LOCATE UTILITIES PRIOR TO START OF CONSTRUCTION.
2. CONTRACTOR SHALL MAINTAIN UNINTERRUPTED ACCESS TO ALL DRIVEWAYS, SIDE STREETS AND WALKWAYS AT ALL TIMES UNLESS OTHERWISE PERMITTED.
3. CONTRACTOR SHALL PREPARE A MAINTENANCE OF TRAFFIC (M.O.T.) PLAN FOR PEDESTRIAN TRAFFIC AND WORK WITHIN THE RIGHT-OF-WAY, INCLUDING VEHICLE PARKING AND EQUIPMENT STAGING.
4. CONTRACTOR SHALL RESTORE ANY DISTURBED AREAS TO ORIGINAL CONDITION OR BETTER.
5. POWER DELIVERY BY LENOIR CITY UTILITY BOARD AT THEIR RECOMMENDATION PERMITTED SEPARATELY.
6. FIBER DELIVERY PROVIDED BY AT&T, PERMITTED SEPARATELY.

UTILITY NOTES

1. CONTRACTOR TO CONTACT LENOIR CITY UTILITY BOARD TO INITIATE POWER ROUTE INSTALLATION.
NAME: CUSTOMER SERVICE
PHONE 1 (844) 687-5282
EMAIL: TBD
2. POWER COMPANY WILL PROVIDE AERIAL SERVICE FROM EXISTING UTILITY POLE TO VZW PROPOSED UTILITY POLE.
3. VZW CONTRACTOR WILL PROVIDE THE METER BASE, POWER COMPANY WILL PROVIDE METER.

STREET LIGHT	STLT	FIBER MARKER	FM
POLE W/ LIGHT	STLT	PARKING METER	PM
UTILITY POLE	USTLT	MANHOLE	MH
LIGHT POLE	LOSTLT	TELCO BOX	TCB
FIRE HYDRANT	UP W/L	GAS VALVE	GV
TRAFFIC POLE	UP	TRANSFORMER	TR
HANDHOLE	LP	WATER VALVE	WV
WATER METER	FH	SEWER	S
UTILITY MARKER	TP	PEDESTAL	PED
GULVERT	HH	INLET	I
TREE	WM	CABINET	C
	UM	DRAIN CRATE	DC
		CROSSWALK	CS
		TRAFFIC SIGNAL	TS

OVERHEAD POWER	CHP
UNDERGROUND POWER	CHP
UNDERGROUND FIBER	CHF
UNDERGROUND GAS	CHG
WATER LINE	WTL
STORM SEWER	SSL
SEWER	SEL
RIGHT OF WAY	ROW
EDGE OF FURROWS	EOP
FENCE	F
CENTER LINE	CL
PROPERTY LINE	PL
EXISTING BUILDING	EB
LANE LINES	LL
DRIVEWAY SIDEWALK	DS
BACK OF CURB	BOC
UNDERGROUND	UG
CATV	CATV

PREPARED FOR:

verizon

1100 WILLIAMS BLVD
KNOX, TN 37902

A&E FIRM:

towersource

1100 OLD ALABAMA ROAD, SUITE 100
ROSELLE, GA 30088
TEL: 878-420-2334 FAX: 878-990-2342

REGISTERED PROFESSIONAL ENGINEER SEAL:
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PROPERTY OF TOWERSOURCE. ANY USE OR REUSE OF ANY OTHER THAN
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REVISION

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DRAWN BY: BA CHECKED BY: JKP

CAUTION

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CONTACT THE LOCAL ONE CALL AGENCY 48 HOURS PRIOR
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CONSTRUCTION SHALL NOTIFY THE JURISDICTION'S
DEPARTMENT OF PUBLIC WORKS AND ENGINEERING
OFFICE OF THE CITY ENGINEER 48 HOURS BEFORE
STARTING WORK ON THIS PROJECT.

PROJECT INFORMATION

VERIZON SITE ID
SMC_FARRAGUT_8_5G_008

NEAREST ADDRESS
DINEEN DR
FARRAGUT, TN 37934
(KNOX COUNTY)

SHEET TITLE

SITE PLAN

SHEET NO.

B1

REVISION

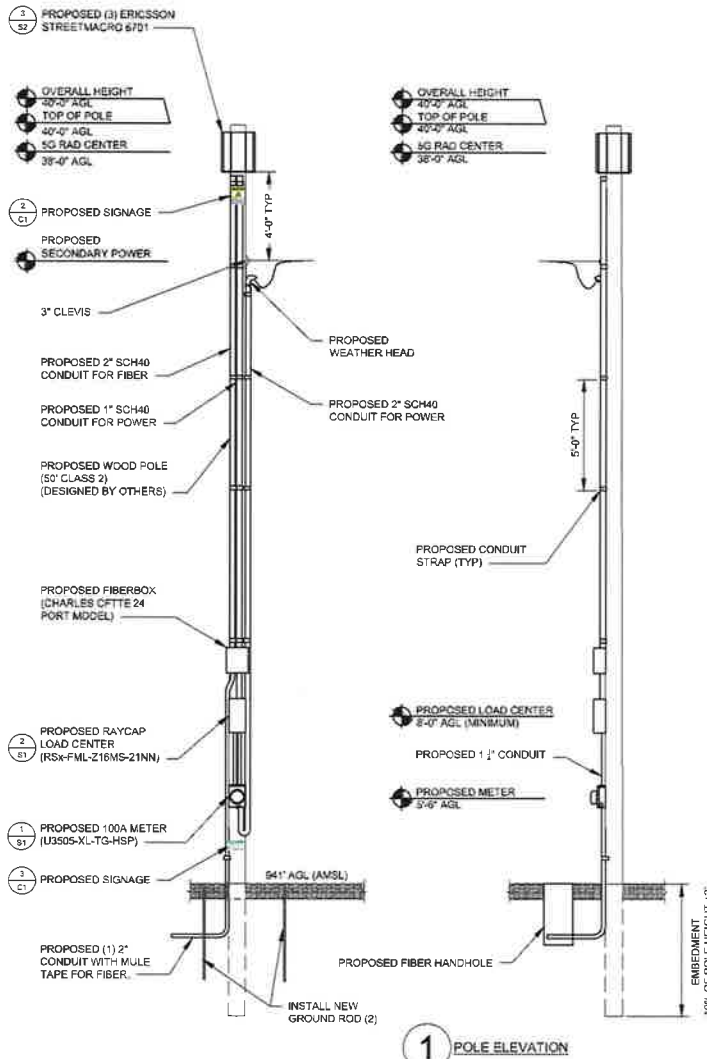
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DESIGN NOTES

- DESIGN IS BASED ON A 50' CLASS 2 WOOD UTILITY POLE.
- MINIMUM EMBEDMENT SHALL BE 10% POLE LENGTH PLUS 2 FT. (WOOD POLES ONLY).
- FIBER TRANSPORT DELIVERY CABLES WILL BE BURIED TO POLE.
- POWER TRANSPORT DELIVERY CABLES WILL BE DETERMINED BY UTILITY. CONTRACTOR WILL COORDINATE POWER AND FIBER SERVICE REQUIREMENTS AND INSTALLATIONS WITH UTILITY COMPANIES PRIOR TO CONSTRUCTION. CONTRACTOR TO COORDINATE POLE DESIGN WITH FINAL RF DESIGN COMPONENTS.
- POLE SHALL BE CERTIFIED IN COMPLIANCE WITH ANSI 55.1 (WOOD POLES ONLY).
- CONFIRM METER TYPE WITH POWER COMPANY.
- PROPOSED POLE TO BE NON-BREAKWAY.
- ALL CONDUITS, SHROUDS, PANELS, AND ANTENNAS TO BE PAINTED BROWN TO MATCH POLE.

INSTALLATION NOTES

- COMMUNICATION EQUIPMENT SHALL BE ARRANGED AND MOUNTED TO PROVIDE OTHER UTILITIES CLEAR CLIMBING SPACE TO THEIR EQUIPMENT ON THE POLE, PER NESC 236D.
- ALL INSTALLATIONS SHALL COMPLY WITH THE CURRENT PUBLISHED ISSUES OF THE NATIONAL ELECTRIC SAFETY CODE (NESC), AND POLE ATTACHMENT STANDARDS FOR POLE OWNER.
- RISER FOR ALL COMMUNICATION CABLES SHALL BE NONMETALLIC AND NON-CONDUCTING. THE RISER SHALL HAVE A MINIMUM OF 2 IN. SEPARATION FROM ANY THRU BOLT, METALLIC HARDWARE, OR ELECTRICAL CONDUCTOR (NESC RULE 239H).
- ANYONE WORKING ABOVE THE LOWEST PLANE OF ANY ENERGIZED AND UNSHIELDED CONDUCTOR SHALL BE A QUALIFIED ELECTRIC SUPPLY LINE WORK. SEE NESC RULE 432 FOR DETAILS.

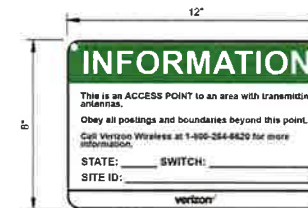


ANTENNA SCHEDULE NOTES

- CONTRACTOR TO MOUNT ANTENNAS PER MANUFACTURER'S SPECIFICATIONS
- CONTRACTOR TO REFERENCE VZW ISSUED RFDS AND GIVE PRECEDENCE TO
- VERIFY LOADING WITH STRUCTURAL ANALYSIS PRIOR TO CONSTRUCTIONS



2 INFORMATION SIGN



3 INFORMATION SIGN

PREPARED FOR:

verizon

1001 WILLIAMS BLVD
KENNER, LA 70062

A&E FIRM:

towersource

1401 OLD ALABAMA ROAD, SUITE 100A
PO BOX 111, GALVESTON, TX 77550
TEL: 817-600-0234 FAX: 817-600-0249

REGISTERED PROFESSIONAL ENGINEER SEAL:
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DRAWN BY: BA

CHECKED BY: JKP

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PROJECT INFORMATION

VERIZON SITE ID
SMC_FARRAGUT_8_5G_008

NEAREST ADDRESS
DINEEN DR
FARRAGUT, TN 37934
(KNOX COUNTY)

SHEET TITLE:

POLE ELEVATION

SHEET NO.

C1

REVISION

0



CURRENT VIEW
(FROM W LOOKING E)



PROPOSED VIEW
(FROM W LOOKING E)

PREPARED FOR: verizon 1000 WILLIAM'S SILENCE KENNER, LA 70022	
A/E FIRM: 1000 OLD ALABAMA ROAD, SUITE 100 FOSDYLL, GA 30076 TEL: 570-042333 FAX: 678-700202	
REGISTERED PROFESSIONAL ENGINEER (S&M) THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO THE CLIENT IS STRICTLY PROHIBITED.	
REVISION	
REV	DATE
0	1/9/2020
ISSUED FOR CONSTRUCTION	
DRAWN BY: BA CHECKED BY: JGP	
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PROJECT INFORMATION: VERIZON SITE ID SMC_FARRAGUT_8_5G_008 NEAREST ADDRESS DINEEN DR FARRAGUT, TN 37934 (KNOX COUNTY)	
SHEET TITLE: PHOTO SIMS	
SHEET NO.	REVISION
C4.1	0

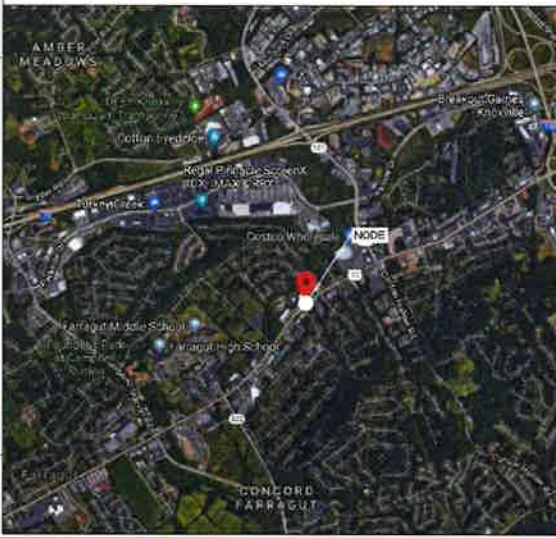


CURRENT VIEW
(FROM E. LOOKING W.)



PROPOSED VIEW
(FROM E. LOOKING W.)

PREPARED FOR: verizon 1000 WILLIAMS BLVD KNOX, TN 37901							
A&E FIRM: 1401 OLD ALABAMA ROAD, SUITE 100 ROCKWELL, GA 30087 TEL: 478-962-0338 FAX: 478-962-0340							
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PROJECT INFORMATION: VERIZON SITE ID SMC_FARRAGUT_8_5G_008 NEAREST ADDRESS DINEEN DR FARRAGUT, TN 37934 (KNOX COUNTY)							
SHEET TITLE: PHOTO SIMS							
SHEET NO: C4.2	REVISION: 0						

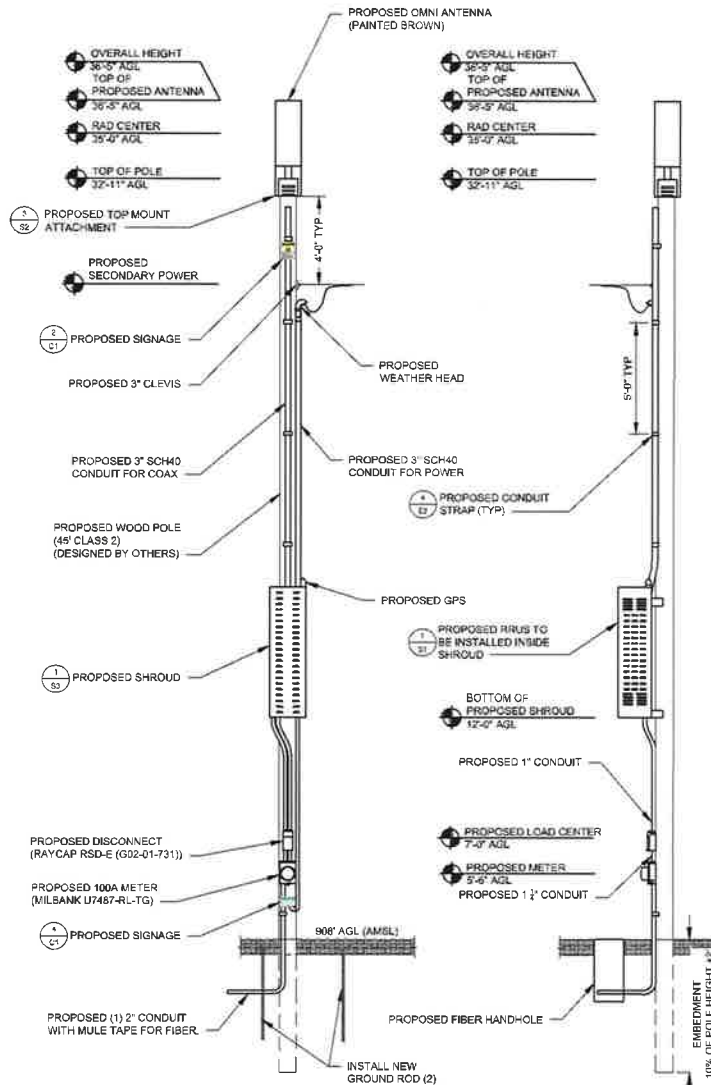
PREPARED FOR			GENERAL NOTES			16. THE GENERAL CONTRACTOR SHALL PROVIDE PORTABLE PPE EXTINGUISHERS WITH A RATING OF NOT LESS THAN 50 BTU 2-1/2 B.C. AND SHALL BE WITHIN 25 FEET OF TRAVEL DISTANCE TO ALL PORTIONS OF WHERE THE WORK IS BEING COMPLETED DURING CONSTRUCTION.			PREPARED FOR:																																															
			1. FOR THE PURPOSE OF CONSTRUCTION DRAWINGS, THE FOLLOWING DEFINITIONS SHALL APPLY: GENERAL CONTRACTOR (CONSTRUCTION) OWNER - VERIZON 2. ALL SITE WORK SHALL BE COMPLETED AS INDICATED ON THE DRAWINGS AND VERIZON PROJECT SPECIFICATIONS. THE CONTRACTOR MUST HAVE CONSIDERABLE EXPERIENCE IN PERFORMANCE OF WORK SIMILAR TO THAT DESCRIBED HEREIN BY ACCEPTANCE OF THIS ASSIGNMENT. THE CONTRACTOR IS ATTESTING THAT HE DOES HAVE SUFFICIENT EXPERIENCE AND ABILITY THAT HE IS KNOWLEDGEABLE OF THE WORK TO BE PERFORMED AND THAT HE IS PROPERLY LICENSED AND PROPERLY REGISTERED TO DO THIS WORK IN THE STATE OF TENNESSEE. 3. GENERAL CONTRACTOR SHALL VISIT THE SITE AND SHALL FAMILIARIZE HIMSELF WITH ALL CONDITIONS AFFECTING THE PROPOSED WORK AND SHALL MAKE PRELIMINARY DETERMINATIONS, MEASUREMENTS, AND CONFIRMING THAT THE WORK MAY BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE COMMENCEMENT OF WORK. 4. ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES. GENERAL CONTRACTOR SHALL ISSUE ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF WORK. ALL WORK CARRIED OUT SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONAL CODES, ORDINANCES, AND APPLICABLE REGULATIONS. 5. UNLESS NOTED OTHERWISE, THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES, AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS. 6. PLANS ARE NOT TO BE SCALED. THESE PLANS ARE INTENDED TO BE A DIAGNOSTIC OUTLINE ONLY. UNLESS OTHERWISE NOTED, DIMENSIONS SHOWN ARE TO FINISH SURFACES UNLESS OTHERWISE NOTED. SPACING BETWEEN EQUIPMENT IS THE MINIMUM REQUIRED CLEARANCE. THEREFORE, IT IS CRITICAL TO FIELD VERIFY DIMENSIONS. SHOULD THERE BE ANY QUESTIONS REGARDING THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE ENGINEER PRIOR TO PROCEEDING WITH THE WORK. DETAILS ARE INTENDED TO SHOW DESIGN INTENT. MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF WORK AND PREPARED BY THE ENGINEER PRIOR TO PROCEEDING WITH WORK. 7. THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE. 8. IF THE SPECIFIED EQUIPMENT CANNOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION SPACE FOR APPROVAL BY THE ENGINEER PRIOR TO PROCEEDING. 9. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF WORK AREA, ADJACENT AREAS AND BUILDING OCCUPANTS THAT ARE LIKELY TO BE AFFECTED BY THE WORK UNDER THIS CONTRACT. WORK SHALL CONFORM TO ALL OSHA REQUIREMENTS AND THE LOCAL JURISDICTION. 10. ERECTION SHALL BE DONE IN A WORKMANLIKE MANNER BY COMPETENT EXPERIENCED WORKMAN IN ACCORDANCE WITH APPLICABLE CODES AND THE BEST ACCEPTED PRACTICE. ALL MEMBERS SHALL BE Laid PLUMB AND TRUE AS INDICATED ON THE DRAWINGS. 11. THE CONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS, PAVEMENTS, CURBS, LANDSCAPING AND STRUCTURES. ANY DAMAGED PART SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER. 12. THE CONTRACTOR SHALL CONTACT UTILITY LOCATING SERVICES 48 HOURS PRIOR TO THE START OF CONSTRUCTION. 13. GENERAL CONTRACTOR SHALL COORDINATE AND MAINTAIN ACCESS FOR ALL TRUCKS AND CONTRACTORS TO THE SITE AND/OR BUILDING. 14. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SECURITY OF THE SITE FOR THE DURATION OF CONSTRUCTION UNTIL JOB COMPLETION. 15. THE GENERAL CONTRACTOR SHALL MAINTAIN IN GOOD CONDITION ONE COMPLETE SET OF PLANS WITH ALL REVISIONS, ADDENDA, AND CHANGE ORDERS ON THE PREMISES AT ALL TIMES.			17. ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES SHALL BE PROTECTED AND REMAIN FROM UNDISTURBED. ALL TIES AND WHEREVER THE REQUIRED PROTECTION OF THE WORK SHALL BE RELOCATED AS DIRECTED BY THE GOVERNING UTILITY COMPANY ENGINEER. 18. CONTRACTOR SHALL MAINTAIN DETOURING TO THE EXISTING SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES IF REQUIRED DURING CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE FEDERAL AND LOCAL JURISDICTION FOR EROSION AND SEDIMENT CONTROL. 19. THE SUBGRADE SHALL BE BROUGHT TO A SMOOTH UNIFORM GRADE AND COMPACTED TO 95 PERCENT STANDARD PROCTOR DENSITY. UNDER PAVEMENT AND STRUCTURES AND 90 PERCENT STANDARD PROCTOR DENSITY IN OPEN SPACE. ALL TRENCHES IN PUBLIC RIGHT OF WAY SHALL BE BACKFILLED WITH FLOWABLE FILL OR OTHER MATERIAL PRE-APPROVED BY THE LOCAL JURISDICTION. 20. ALL NECESSARY RUBBER, STUMPS, DEBRIS, STICKS, STONES, AND OTHER REFUSE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LAWFUL MANNER. 21. ALL BROCHURES, OPERATING AND MAINTENANCE MANUALS, CATALOGS, SHOP DRAWINGS, AND OTHER DOCUMENTS SHALL BE TURNED OVER TO THE VERIZON AT COMPLETION OF CONSTRUCTION AND PRIOR TO PAYMENT. 22. CONTRACTOR SHALL SUBMIT A COMPLETE SET OF AS-BUILT RECORDS TO THE VERIZON UPON COMPLETION OF PROJECT AND PRIOR TO FINAL PAYMENT. 23. ALL MATERIAL SHALL BE FURNISHED AND WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST REVISION VERIZON MOBILE GROUNDING STANDARD TECHNICAL SPECIFICATION FOR CONSTRUCTION OF GSM/GPRS (WIRELESS) SITES AND TECHNICAL SPECIFICATION FOR FACILITY GROUNDING. IN CASE OF A CONFLICT BETWEEN THE CONSTRUCTION SPECIFICATION AND THE DRAWING, THE DRAWING SHALL GOVERN. 24. CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS REQUIRED FOR CONSTRUCTION. IF CONTRACTOR CANNOT OBTAIN A PERMIT, THEY MUST NOTIFY THE GENERAL CONTRACTOR IMMEDIATELY. 25. CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE ON A DAILY BASIS. ALL WASTE MATERIALS TO BE REMOVED FROM SITE PRIOR TO SUBSTANTIAL COMPLETION AND PRIOR TO FINAL ACCEPTANCE. 26. THE CONTRACTOR SHALL GUARANTEE THE WORK PERFORMED ON THE PROJECT BY THE CONTRACTOR AND ANY OR ALL OF THE SUBCONTRACTORS WHO PERFORMED WORK FOR THE CONTRACTOR ON THIS PROJECT. THE GUARANTEE SHALL BE FOR ONE FULL YEAR FOLLOWING ISSUANCE OF THE FINAL PAYMENT OF RETAINAGE. ALL MATERIALS AND WORKMANSHIP SHALL BE WARRANTED FOR ONE YEAR FROM ACCEPTANCE DATE. 27. THE CONTRACTOR AND ITS SUBCONTRACTORS SHALL CARRY LIABILITY INSURANCE IN THE AMOUNTS AND FORMS IN ACCORDANCE WITH LESSOR SPECIFICATIONS. CERTIFICATE DEMONSTRATING PROOF OF COVERAGE SHALL BE PROVIDED TO LESSOR PRIOR TO THE START OF THE WORK ON THE PROJECT. 28. THE CONTRACTOR SHALL REWORK (DRY, SCAFFOLD, ETC) ALL MATERIAL NOT SUITABLE FOR SUBGRADE IN ITS PRESENT STATE. AFTER REWORKING, IF THE MATERIAL REMAINS UNSUITABLE, THE CONTRACTOR SHALL UNDERCUT THIS MATERIAL AND REPLACE WITH APPROVED MATERIAL. ALL SUBGRADE SHALL BE PROTECTED WITH A FULLY LOADED TANDER AXLE QUAD TRUCK PRIOR TO PAVING. ANY SOFT MATERIAL SHALL BE REWORKED AND REPLACED. 29. TEMPORARY FACILITIES FOR PROTECTION OF TOOLS AND EQUIPMENT SHALL CONFORM TO LOCAL REGULATIONS AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY.			VERIZON WIRELESS 8921 RESEARCH DRIVE CHARLOTTE, NC 28262 JASON KOZORA 252-201-6602			TOWERSOURCE 1875 OLD ALABAMA ROAD, SUITE 100B ROSWELL, GA 30076 678-990-2338																																												
PROJECT INFORMATION			DRIVING DIRECTIONS			3/4 MI			REGISTERED PROFESSIONAL ENGINEER SEAL:																																															
VERIZON SITE ID	SMC FARRAGUT 8-C		FROM VERIZON WIRELESS HEADQUARTERS IN CHARLOTTE			TURN LEFT ON THE FORK TO CONTINUE ON US-74 W			THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY TOWER SOURCE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO THE CLIENT IS STRICTLY PROHIBITED.																																															
PROJECT DESCRIPTION	PROPOSED UTILITY POLE		TURN RIGHT ONTO RESEARCH DR			0.4 MI			REVISION																																															
NEAREST ADDRESS: (E911 ADDRESS PENDING)	10870 KINGSTON PIKE FARRAGUT, TN 37934		TURN LEFT ONTO W.W.7. HARRIS BLVD			0.2 MI			REV																																															
POLE OWNER	VERIZON		TURN RIGHT ONTO THE SAS S RAMP			0.3 MI			DATE																																															
LATITUDE	N 35° 53' 30.3" (N 35.891740)		MERGE ONTO I-85 S			33.9 MI			DESCRIPTION																																															
LONGITUDE	W 84° 8' 42.1" (W -84.145040)		TAKE EXIT 10B TO MERGE ONTO US-74 W			0.8 MI			0																																															
GROUND ELEVATION: (AMSL) ±	908±		MERGE ONTO US-74 W			27 MI			1/5/2020																																															
PRESENT OCCUPANCY TYPE	PUBLIC ROW		CONTINUE ONTO US-74 W			33 MI			ISSUED FOR CONSTRUCTION																																															
JURISDICTION	TOWN OF FARRAGUT		GENERAL LOCATION MAP			SITE LOCATION PHOTO			DRAWN BY: BA																																															
ROW JURISDICTION	TOWN OF FARRAGUT								CHECKED BY: JKP																																															
COUNTY	KNOX								CAUTION																																															
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ENGINEER:	TOWERSOURCE 1875 OLD ALABAMA ROAD, SUITE 100B ROSWELL, GA 30076 678-990-2338								NEAREST ADDRESS 10870 KINGSTON PIKE FARRAGUT, TN 37934 (KNOX COUNTY)																																															
CALL PROJECT MANAGER BEFORE CONSTRUCTION STARTS									SHEET TITLE																																															
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DESIGN NOTES

1. TOWERSOURCE HAS NOT PERFORMED A STRUCTURAL ANALYSIS OF THIS POLE. DESIGN IS BASED ON A 45' CLASS 2 WOOD UTILITY POLE.
2. MINIMUM EMBEDMENT SHALL BE 10% POLE LENGTH PLUS 3 FT. (WOOD POLES ONLY). FIBER TRANSPORT DELIVERY CABLES WILL BE BURIED TO POLE.
3. POWER TRANSPORT DELIVERY CABLES WILL BE DETERMINED BY UTILITY. CONTRACTOR WILL COORDINATE POWER AND FIBER SERVICE REQUIREMENTS AND INSTALLATIONS WITH UTILITY COMPANIES.
4. PRIOR TO CONSTRUCTION, CONTRACTOR TO COORDINATE POLE DESIGN WITH FINAL RF DESIGN COMPONENTS.
5. POLE SHALL BE CERTIFIED IN COMPLIANCE WITH ANSI 05.1 (WOOD POLES ONLY).
6. CONFIRM METER TYPE WITH POWER COMPANY.
7. FUTURE CARRIES TO BE ACCOMMODATED AND ABLE TO COLLOCATE ON THIS POLE.
8. PROPOSED POLE TO BE NON-BREAKAWAY.
9. PROPOSED LAA & CBRS RADIOS TO BE POLE-MOUNTED NEAR ANTENNA TOP. CONTRACTOR TO MOUNT PER MANUFACTURER'S SPECIFICATIONS.
10. ALL CONDUIT, SHROUDS, PANELS, AND ANTENNA TO BE PAINTED BROWN TO MATCH POLE.

INSTALLATION NOTES

14. COMMUNICATION EQUIPMENT SHALL BE ARRANGED AND MOUNTED TO PROVIDE OTHER UTILITIES CLEAR CLIMBING SPACE TO THEIR EQUIPMENT ON THE POLE, PER NESC 236D.
15. ALL INSTALLATIONS SHALL COMPLY WITH THE CURRENT PUBLISHED ISSUES OF THE NATIONAL ELECTRIC SAFETY CODE (NESC), AND POLE ATTACHMENT STANDARDS FOR POLE OWNER.
16. RISER FOR ALL COMMUNICATION CABLES SHALL BE NON-METALLIC AND NON-CONDUCTING. THE RISER SHALL HAVE A MINIMUM OF 2 IN. SEPARATION FROM ANY THRU BOLT, METALLIC HARDWARE, OR ELECTRICAL CONDUCTOR (NESC RULE 239H).
17. ANYONE WORKING ABOVE THE LOWEST PLANE OF ANY ENERGIZED AND UNSHIELDED CONDUCTOR SHALL BE A QUALIFIED ELECTRIC SUPPLY LINE WORK. SEE NESC RULE 432 FOR DETAILS.



1 POLE ELEVATION

ANTENNA SCHEDULE NOTES

1. CONTRACTOR TO MOUNT ANTENNAS PER MANUFACTURER'S SPECIFICATIONS
2. CONTRACTOR TO REFERENCE VZW ISSUED RFDS AND GIVE PRECEDENCE TO
3. INFORMATION PROVIDED IN RFDS OVER INFORMATION PROVIDED IN THIS TABLE
4. VERIFY LOADING WITH STRUCTURAL ANALYSIS PRIOR TO CONSTRUCTIONS



2 INFORMATION SIGN



3 INFORMATION SIGN

PREPARED FOR:

verizon

1000 WILLIAMS BLVD
KENNER, LA 70002

A&E FIRM:

towersource

1875 OLD ALABAMA ROAD, SUITE 100A
ROSELLE, GA 30075
TEL: 678-652-2238 FAX: 678-652-2242

REGISTERED PROFESSIONAL ENGINEER SEAL:
THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY IN NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO THE CLIENT IS STRICTLY PROHIBITED.

REVISION

REV	DATE	DESCRIPTION
0	1/8/2020	ISSUED FOR CONSTRUCTION

DRAWN BY: BA

CHECKED BY: JKP

CAUTION

FOREIGN UTILITY LOCATIONS ARE APPROXIMATE. CONTACT THE LOCAL ONE CALL AGENCY 48 HOURS PRIOR TO CONSTRUCTION FOR EXACT UTILITY LOCATION AT.



CONSTRUCTION SHALL NOTIFY THE JURISDICTION'S DEPARTMENT OF PUBLIC WORKS AND ENGINEERING, OFFICE OF THE CITY ENGINEER, 48 HOURS BEFORE STARTING WORK IN THIS PROJECT.

PROJECT INFORMATION

VERIZON SITE ID
SMC FARRAGUT 8-C

NEAREST ADDRESS
10870 KINGSTON PIKE
FARRAGUT, TN 37934
(KNOX COUNTY)

SHEET TITLE:

POLE ELEVATION

SHEET NO:

C1

REVISION:

0



CURRENT VIEW
(FROM S LOOKING N)



PROPOSED VIEW
(FROM SE LOOKING NW)

PREPARED FOR:
verizon
1001 WILLIAMS BLVD
KENNER, LA 70002

A&E FIRM:
towersource
1815 OLD ALABAMA ROAD, SUITE 100
RICHLAND, GA 30071
TEL: 878-602-2336 FAX: 878-602-5542

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REVISION		
REV	DATE	DESCRIPTION
0	1/6/2020	ISSUED FOR CONSTRUCTION

DRAWN BY: BA CHECKED BY: JKP

CAUTION
FOREIGN UTILITY LOCATIONS ARE APPROXIMATE.
CONTACT THE LOCAL ONE CALL AGENCY 48 HOURS PRIOR
TO CONSTRUCTION FOR EXACT UTILITY LOCATION A/C.

Tennessee 811

CONSTRUCTION SHALL NOTIFY THE JURISDICTIONS
DEPARTMENT OF PUBLIC WORKS AND ENGINEERING,
OFFICE OF THE CITY ENGINEER, 48 HOURS BEFORE
STARTING WORK IN THIS PROJECT.

PROJECT INFORMATION

VERIZON SITE ID
SMC FARRAGUT 8-C

NEAREST ADDRESS
10870 KINGSTON PIKE
FARRAGUT, TN 37934
(KNOX COUNTY)

SHEET TITLE:
PHOTO SIMS

SHEET NO. **C4.1** REVISION **0**



CURRENT VIEW
(FROM NW LOOKING SE)



PROPOSED VIEW
(FROM NW LOOKING SE)

PREPARED FOR:
verizon
1000 WILLIAMS BLVD
KENNER, LA 70062

A&E FIRM:
towersource
1415 OLD ALABAMA RD. SUITE 1004
ROSELLE, GA 30076
TEL: 678-689-2334 FAX: 678-689-2342

REGISTERED PROFESSIONAL ENGINEER SEAL:
THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS
PROPERTY OF TOWERSOURCE AND IS NOT TO BE REPRODUCED OR
TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR
MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY
ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT
THE WRITTEN PERMISSION OF TOWERSOURCE.

REVISION		
REV	DATE	DESCRIPTION
0	1/5/2020	ISSUED FOR CONSTRUCTION

DRAWN BY: BA CHECKED BY: JKP

CAUTION
FOREIGN UTILITY LOCATIONS ARE APPROXIMATE.
CONTACT THE LOCAL ONE CALL AGENCY 48 HOURS PRIOR
TO CONSTRUCTION FOR EXACT UTILITY LOCATION A.T.

Tennessee 811

CONSTRUCTION SHALL NOTIFY THE JURISDICTIONS
DEPARTMENT OF PUBLIC WORKS AND ENGINEERING
OFFICE OF THE CITY ENGINEER, 48 HOURS BEFORE
STARTING WORK IN THIS PROJECT.

PROJECT INFORMATION:
VERIZON SITE ID
SMC FARRAGUT 8-C

NEAREST ADDRESS
10870 KINGSTON PIKE
FARRAGUT, TN 37934
(KNOX COUNTY)

SHEET TITLE:
PHOTO SIMS

SHEET NO. **C4.2** REVISION: **0**

Node 5

PREPARED FOR:		
		
PROJECT INFORMATION		
VERIZON SITE ID	SMC_FARRAGUT_7	
PROJECT DESCRIPTION:	PROPOSED UTILITY POLE	
NEAREST ADDRESS: (E911 ADDRESS PENDING)	11120 KINGSTON PIKE FARRAGUT, TN 37934	
POLE OWNER	VERIZON	
LATITUDE:	N 35° 53' 13.31" (N 35.88703)	
LONGITUDE:	W 84° 8' 58.24" (W -84.14951)	
GROUND ELEVATION:	(AMSL) = 910'±	
PRESENT OCCUPANCY TYPE	PUBLIC ROW	
JURISDICTION:	TOWN OF FARRAGUT	
ROW JURISDICTION:	TOWN OF FARRAGUT	
COUNTY:	KNOX	
DISTURBED AREA:	25 SQ FT ±	
CURRENT ZONING	N/A	
PARCEL ID #:	N/A	
APPLICANT:	VERIZON WIRELESS 8921 RESEARCH DRIVE CHARLOTTE, NC 28262 JASON KOZORA 252-201-6602	
PROJECT MANAGER:	VERIZON WIRELESS 8921 RESEARCH DRIVE CHARLOTTE, NC 28262 JASON KOZORA 252-201-6602	
ENGINEER:	TOWERSOURCE 1875 OLD ALABAMA ROAD, SUITE 100B ROSWELL, GA 30078 678-990-2338	
CALL PROJECT MANAGER BEFORE CONSTRUCTION STARTS		
SHEET	SHEET TITLE	REV
A1	TITLE SHEET	0
EN	ELECTRICAL NOTES	0
B1	SITE PLAN	0
B2	DETAIL SITE PLAN	0
C1	POLE ELEVATION	0
C2	TRAFFIC CONTROL	0
C3	DETAILS	0
C4.1	PHOTOSIM (1)	0
C4.2	PHOTOSIM (2)	0
E1	ONE LINE DIAGRAM	0
E2	GROUNDING DETAILS	0
S1	EQUIPMENT SPECS	0
S2	EQUIPMENT SPECS	0
S3	EQUIPMENT SPECS	0

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GENERAL NOTES:	
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6. PLANS ARE NOT TO BE SCALED. THESE PLANS ARE INTENDED TO BE A DIAGRAMMATIC OUTLINE ONLY. UNLESS OTHERWISE NOTED, DIMENSIONS SHOWN ARE TO FINISH SURFACES UNLESS OTHERWISE NOTED. SPACING BETWEEN EQUIPMENT IS THE MINIMUM REQUIRED CLEARANCE. THEREFORE, IT IS CRITICAL TO FIELD VERIFY DIMENSIONS. SHOULD THERE BE ANY QUESTIONS REGARDING THIS CONTRACT DOCUMENTS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE ENGINEER PRIOR TO PROCEEDING WITH THE WORK. DETAILS ARE INTENDED TO SHOW DESIGN INTENT. MODIFICATIONS MAY BE REQUIRED TO SUIT JOB CONDITIONS OR CONDITIONS AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF WORK AND PREPARED BY THE ENGINEER PRIOR TO PROCEEDING WITH WORK.	
7. THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.	
8. IF THE SPECIFIED EQUIPMENT CANNOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION SPACE FOR APPROVAL BY THE ENGINEER PRIOR TO PROCEEDING.	
9. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF WORK AREA, ADJACENT AREAS AND BUILDING OCCUPANTS THAT ARE LIKELY TO BE AFFECTED BY THE WORK UNDER THIS CONTRACT. WORK SHALL CONFORM TO ALL OSHA REQUIREMENTS AND THE LOCAL JURISDICTION.	
10. ERECTION SHALL BE DONE IN A WORKMANLIKE MANNER BY COMPETENT EXPERIENCED WORKMAN IN ACCORDANCE WITH APPLICABLE CODES AND THE BEST ACCEPTED PRACTICE. ALL MEMBERS SHALL BE LAD PLUMB AND TRUE AS INDICATED ON THE DRAWINGS.	
11. THE CONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS, PAVEMENTS, CURBS, LANDSCAPING AND STRUCTURES. ANY DAMAGED PARTS SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER.	
12. THE CONTRACTOR SHALL CONTACT UTILITY LOCATING SERVICES MIN 48 HOURS PRIOR TO THE START OF CONSTRUCTION.	
13. GENERAL CONTRACTOR SHALL COORDINATE AND MAINTAIN ACCESS FOR ALL TRADES AND CONTRACTORS TO THE SITE AND/OR BUILDING.	
14. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SECURITY OF THE SITE FOR THE DURATION OF CONSTRUCTION UNTIL JOB COMPLETION.	
15. THE GENERAL CONTRACTOR SHALL MAINTAIN IN GOOD CONDITION ONE COMPLETE SET OF PLANS WITH ALL REVISIONS, ADDENDA, AND CHANGE ORDERS ON THE PREMISES AT ALL TIMES.	
16. THE GENERAL CONTRACTOR SHALL PROVIDE PORTABLE FIRE EXTINGUISHERS WITH A RATING OF NOT LESS THAN 2A:10B:C AND SHALL BE WITHIN 25 FEET OF TRAVEL DISTANCE TO ALL PORTIONS OF WHERE THE WORK IS BEING COMPLETED DURING CONSTRUCTION.	
17. ALL EXISTING ACTIVE GROUND, WATER, GAS, ELECTRIC, AND OTHER UTILITIES SHALL BE PROTECTED AND FREE FROM OBSTRUCTION AT ALL TIMES, AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY THE GOVERNING UTILITY COMPANY ENGINEER.	
18. CONTRACTOR SHALL MINIMIZE DISTURBANCE TO THE EXISTING SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES IF REQUIRED DURING CONSTRUCTION, SHALL BE IN CONFORMANCE WITH THE FEDERAL AND LOCAL JURISDICTION FOR EROSION AND SEDIMENT CONTROL.	
19. THE SUBGRADE SHALL BE BROUGHT TO A SMOOTH UNIFORM GRADE AND COMPACTED TO 85 PERCENT STANDARD PROCTOR DENSITY UNDER PAVEMENT AND STRUCTURES AND 90 PERCENT STANDARD PROCTOR DENSITY IN OPEN SPACE. ALL TRENCHES IN PUBLIC RIGHT-OF-WAY SHALL BE BACKFILLED WITH FLOWABLE FILL OR OTHER MATERIAL PRE-APPROVED BY THE LOCAL JURISDICTION.	
20. ALL NECESSARY RUBBER, STUMPS, DEBRIS, STICKS, STONES, AND OTHER REFUSE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LAWFUL MANNER.	
21. ALL BROCHURES, OPERATING AND MAINTENANCE MANUALS, CATALOGS, SHOP DRAWINGS, AND OTHER DOCUMENTS SHALL BE TURNED OVER TO VERIZON AT COMPLETION OF CONSTRUCTION AND PRIOR TO PAYMENT.	
22. CONTRACTOR SHALL SUBMIT A COMPLETE SET OF AS-BUILT REDUCES TO VERIZON UPON COMPLETION OF PROJECT AND PRIOR TO FINAL PAYMENT.	
23. ALL MATERIAL SHALL BE FURNISHED AND WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST REVISION VERIZON MOBILITY GROUNDING STANDARD "TECHNICAL SPECIFICATION FOR CONSTRUCTION OF GSM/GPRS WIRELESS SITES" AND "TECHNICAL SPECIFICATION FOR FACILITY GROUNDING". IN CASE OF A CONFLICT BETWEEN THE CONSTRUCTION SPECIFICATION AND THE DRAWINGS, THE DRAWINGS SHALL GOVERN.	
24. CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS REQUIRED FOR CONSTRUCTION. IF CONTRACTOR CANNOT OBTAIN A PERMIT, THEY MUST NOTIFY THE GENERAL CONTRACTOR IMMEDIATELY.	
25. CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE ON A DAILY BASIS. ALL WASTE MATERIALS TO BE REMOVED FROM SITE PRIOR TO SUBSTANTIAL COMPLETION AND PRIOR TO FINAL ACCEPTANCE.	
26. THE CONTRACTOR SHALL GUARANTEE THE WORK PERFORMED ON THE PROJECT BY THE CONTRACTOR AND ANY OR ALL OF THE SUBCONTRACTORS WHO PERFORMED WORK FOR THE CONTRACTOR ON THIS PROJECT. THE GUARANTEE SHALL BE FOR ONE FULL YEAR FOLLOWING ISSUANCE OF THE FINAL PAYMENT OF RETAINAGE. ALL MATERIALS AND WORKMANSHIP SHALL BE WARRANTED FOR ONE YEAR FROM ACCEPTANCE DATE.	
27. THE CONTRACTOR AND ITS SUBCONTRACTORS SHALL CARRY LIABILITY INSURANCE IN THE AMOUNTS AND FORM IN ACCORDANCE WITH LESSEE SPECIFICATIONS. CERTIFICATES DEMONSTRATING PROOF OF COVERAGE SHALL BE PROVIDED TO LESSEE PRIOR TO THE START OF THE WORK ON THE PROJECT.	
28. THE CONTRACTOR SHALL REWORK (DRY SCRAP) ETC) ALL MATERIAL NOT SUITABLE FOR SUBGRADE IN ITS PRESENT STATE. AFTER REWORKING IF THE MATERIAL REMAINS UNSUITABLE, THE CONTRACTOR SHALL UNDERGO THIS MATERIAL AND REPLACE WITH APPROVED MATERIAL. ALL SUBGRADES SHALL BE PROTECTED WITH A FULLY LOADED TANDEM DUMP TRUCK PRIOR TO PAVING ANY SOFT MATERIAL. SHALL BE REWORKED AND REPLACED.	
29. TEMPORARY FACILITIES FOR PROTECTION OF TOOLS AND EQUIPMENT SHALL CONFORM TO LOCAL REGULATIONS AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY.	

DRIVING DIRECTIONS:	
FROM VERIZON WIRELESS HEADQUARTERS IN CHARLOTTE:	
TURN RIGHT ONTO RESEARCH DR	0.4 MI
TURN LEFT ONTO W.W.T. HARRIS BLVD	0.2 MI
TURN RIGHT ONTO THE K&S S RAMP	0.3 MI
MERGE ONTO I-85 S	25.3 MI
TAKE EXIT 10B TO MERGE ONTO US-74 W	0.9 MI
MERGE ONTO US-74 W	22.3 MI
CONTINUE ONTO US-74 W	33 MI
US-74 W TURNS SLIGHTLY RIGHT AND BECOMES I-26 W/US-74 W	
KEEP LEFT AT THE FORK TO CONTINUE ON US-74 W	
MERGE ONTO I-40 W	
MERGE ONTO I-40 W	
USE THE RIGHT 2 LANES TO TAKE EXIT 37B TO MERGE ONTO I-40 E TOWARD MARYVILLE	
TAKE EXIT 19 TO MERGE ONTO US-11 BUS-70 W KINGSTON PIKE	
MERGE ONTO US-11 BUS-70 W KINGSTON PIKE	

GENERAL LOCATION MAP	
	

SITE LOCATION PHOTO	
	

PREPARED FOR:		
		
1001 WILLIAMS BLVD KENNER, LA 70062		
A&E FIRM:		
		
1875 OLD ALABAMA ROAD, SUITE 100A ROSWELL, GA 30078 TEL: 678-990-2338 FAX: 678-990-2342		
REGISTERED PROFESSIONAL ENGINEER SEAL:		
THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO THE CLIENT IS STRICTLY PROHIBITED.		
REVISION		
REV.	DATE	DESCRIPTION
0	1/5/2020	ISSUED FOR CONSTRUCTION
DRAWN BY: BA		CHECKED BY: JKP
CAUTION FOREIGN UTILITY LOCATIONS ARE APPROXIMATE. CONTACT THE LOCAL ONE CALL AGENCY 48 HOURS PRIOR TO CONSTRUCTION FOR EXACT UTILITY LOCATION AT:		
		
CONSTRUCTION SHALL NOTIFY THE JURISDICTIONS, DEPARTMENT OF PUBLIC WORKS AND ENGINEERING, OFFICE OF THE CITY ENGINEER, 48 HOURS BEFORE STARTING WORK IN THIS PROJECT.		
PROJECT INFORMATION:		
VERIZON SITE ID SMC_FARRAGUT_7		
NEAREST ADDRESS 11120 KINGSTON PIKE FARRAGUT, TN 37934 (KNOX COUNTY)		
SHEET TITLE:		
TITLE SHEET		
SHEET NO.	A1	REVISION: 0



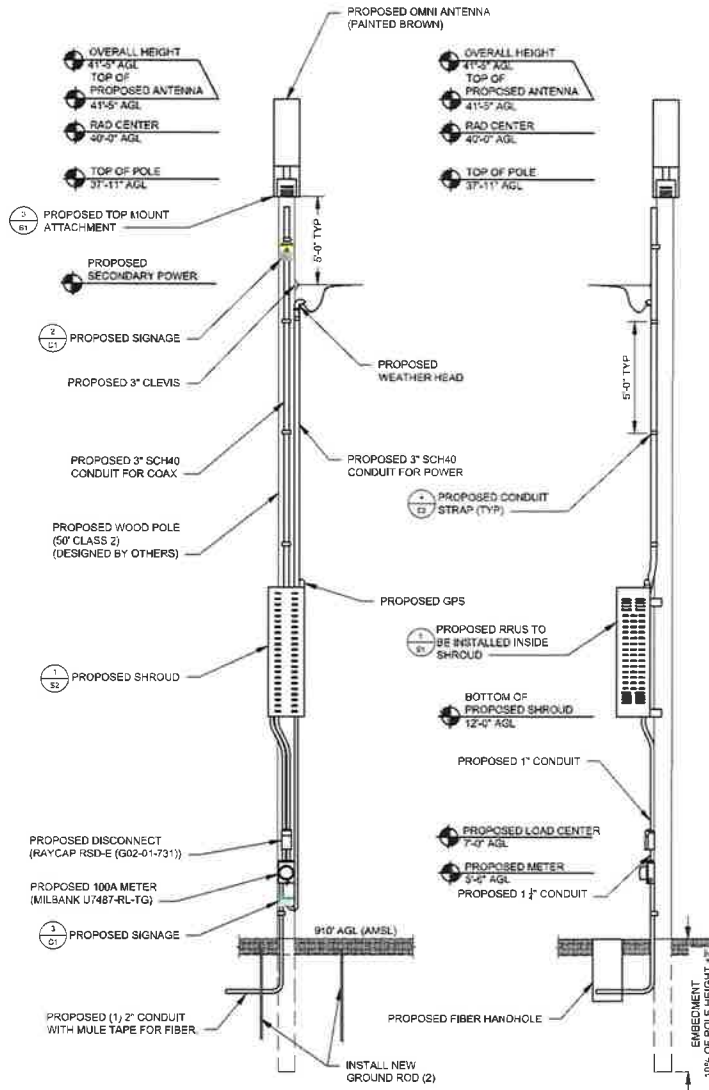
PREPARED FOR: 1015 WILLIAMS BLVD KENNER, LA 70062								
A&E FIRM: 1415 OLD ALABAMA ROAD, SUITE 100 ROSWELL, GA 30076 TEL: 878/490-2330 FAX: 878/490-2342								
REGISTERED PROFESSIONAL ENGINEER SEAL: THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE, ANY USE OR REPRODUCTION OTHER THAN THAT WHICH RELATES TO THE CLIENT IS STRICTLY PROHIBITED.								
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DRAWN BY: BA		CHECKED BY: JGP						
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PROJECT INFORMATION: VERIZON SITE ID SMC_FARRAGUT_7 NEAREST ADDRESS 11120 KINGSTON PIKE FARRAGUT, TN 37934 (KNOX COUNTY)								
SHEET TITLE: DETAIL SITE PLAN								
SHEET NO. B2	REVISION: 0							

DESIGN NOTES

1. TOWERSOURCE HAS NOT PERFORMED A STRUCTURAL ANALYSIS OF THIS POLE.
2. DESIGN IS BASED ON A 50' CLASS 2 WOOD UTILITY POLE.
3. MINIMUM EMBEDMENT SHALL BE 10% POLE LENGTH PLUS 2 FT. (WOOD POLES ONLY).
4. FIBER TRANSPORT DELIVERY CABLES WILL BE BURIED TO POLE.
5. POWER TRANSPORT DELIVERY CABLES WILL TO BE DETERMINED BY UTILITY.
6. CONTRACTOR WILL COORDINATE POWER AND FIBER SERVICE REQUIREMENTS AND INSTALLATIONS WITH UTILITY COMPANIES.
7. PRIOR TO CONSTRUCTION, CONTRACTOR TO COORDINATE POLE DESIGN WITH FINAL RF DESIGN COMPONENTS.
8. POLE SHALL BE CERTIFIED IN COMPLIANCE WITH ANSI 05.1 (WOOD POLES ONLY).
9. CONFIRM METER TYPE WITH POWER COMPANY.
10. FUTURE CARRIES TO BE ACCOMMODATED AND ABLE TO COLLOCATE ON THIS POLE.
11. PROPOSED POLE TO BE NON-BREAKAWAY.
12. PROPOSED LAA & CRRS RADIOS TO BE POLE-MOUNTED NEAR ANTENNA TOP. CONTRACTOR TO MOUNT PER MANUFACTURER'S SPECIFICATIONS.
13. ALL CONDUIT, SHROUDS, PANELS, AND ANTENNA TO BE PAINTED BROWN TO MATCH POLE.

INSTALLATION NOTES

14. COMMUNICATION EQUIPMENT SHALL BE ARRANGED AND MOUNTED TO PROVIDE OTHER UTILITIES CLEAR CLIMBING SPACE TO THEIR EQUIPMENT ON THE POLE, PER NESC 236D.
15. ALL INSTALLATIONS SHALL COMPLY WITH THE CURRENT PUBLISHED ISSUES OF THE NATIONAL ELECTRIC SAFETY CODE (NESC) AND POLE ATTACHMENT STANDARDS FOR POLE OWNER.
16. RISER FOR ALL COMMUNICATION CABLES SHALL BE NON-METALLIC AND NON-CONDUCTING. THE RISER SHALL HAVE A MINIMUM OF 2 IN. SEPARATION FROM ANY THRU BOLT, METALLIC HARDWARE OR ELECTRICAL CONDUCTOR (NESC RULE 239H).
17. ANYONE WORKING ABOVE THE LOWEST PLANE OF ANY ENERGIZED AND UNSHIELDED CONDUCTOR SHALL BE A QUALIFIED ELECTRIC SUPPLY LINE WORK. SEE NESC RULE 432 FOR DETAILS.



1 POLE ELEVATION
NOT TO SCALE



2 INFORMATION SIGN
C1



3 INFORMATION SIGN
C1

PREPARED FOR:



A/E FIRM:



REGISTERED PROFESSIONAL ENGINEER SEAL:
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REVISION

REV	DATE	DESCRIPTION
0	1/8/2020	ISSUED FOR CONSTRUCTION

DRAWN BY: BA CHECKED BY: JKP

CAUTION

FOREIGN UTILITY LOCATIONS ARE APPROXIMATE. CONTACT THE LOCAL ONE CALL AGENCY 48 HOURS PRIOR TO CONSTRUCTION FOR EXACT UTILITY LOCATION AT:



PROJECT INFORMATION

VERIZON SITE ID
SMC_FARRAGUT_7

NEAREST ADDRESS
11120 KINGSTON PIKE
FARRAGUT, TN 37934
(KNOX COUNTY)

SHEET TITLE

POLE ELEVATION

SHEET NO:

C1

REVISION:

0



CURRENT VIEW
(FROM E LOOKING W)



PROPOSED VIEW
(FROM E LOOKING W)

PREPARED FOR:
verizon
1001 WILLIAMS BLVD
KENNER, LA 70063

A&E FIRM:
towersource
1875 OLD ALABAMA ROAD, SUITE 100
RICHSVILLE, GA 30076
TEL: 878-890-2338 FAX: 878-898-2342

REGISTERED PROFESSIONAL ENGINEER SEAL:
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REVISION		
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CONTACT THE LOCAL ONE CALL AGENCY 48 HOURS PRIOR
TO CONSTRUCTION FOR EXACT UTILITY LOCATION AT:

CONSTRUCTION SHALL NOTIFY THE JURISDICTIONS
DEPARTMENT OF PUBLIC WORKS AND ENGINEERING,
OFFICE OF THE CITY ENGINEER, 48 HOURS BEFORE
STARTING WORK IN THIS PROJECT.

PROJECT INFORMATION:
VERIZON SITE ID
SMC_FARRAGUT_7

NEAREST ADDRESS
11120 KINGSTON PIKE
FARRAGUT, TN 37934
(KNOX COUNTY)

SHEET TITLE:
PHOTO SIMS

SHEET NO. **C4.1** REVISION: **0**



CURRENT VIEW
(FROM NW LOOKING SE)

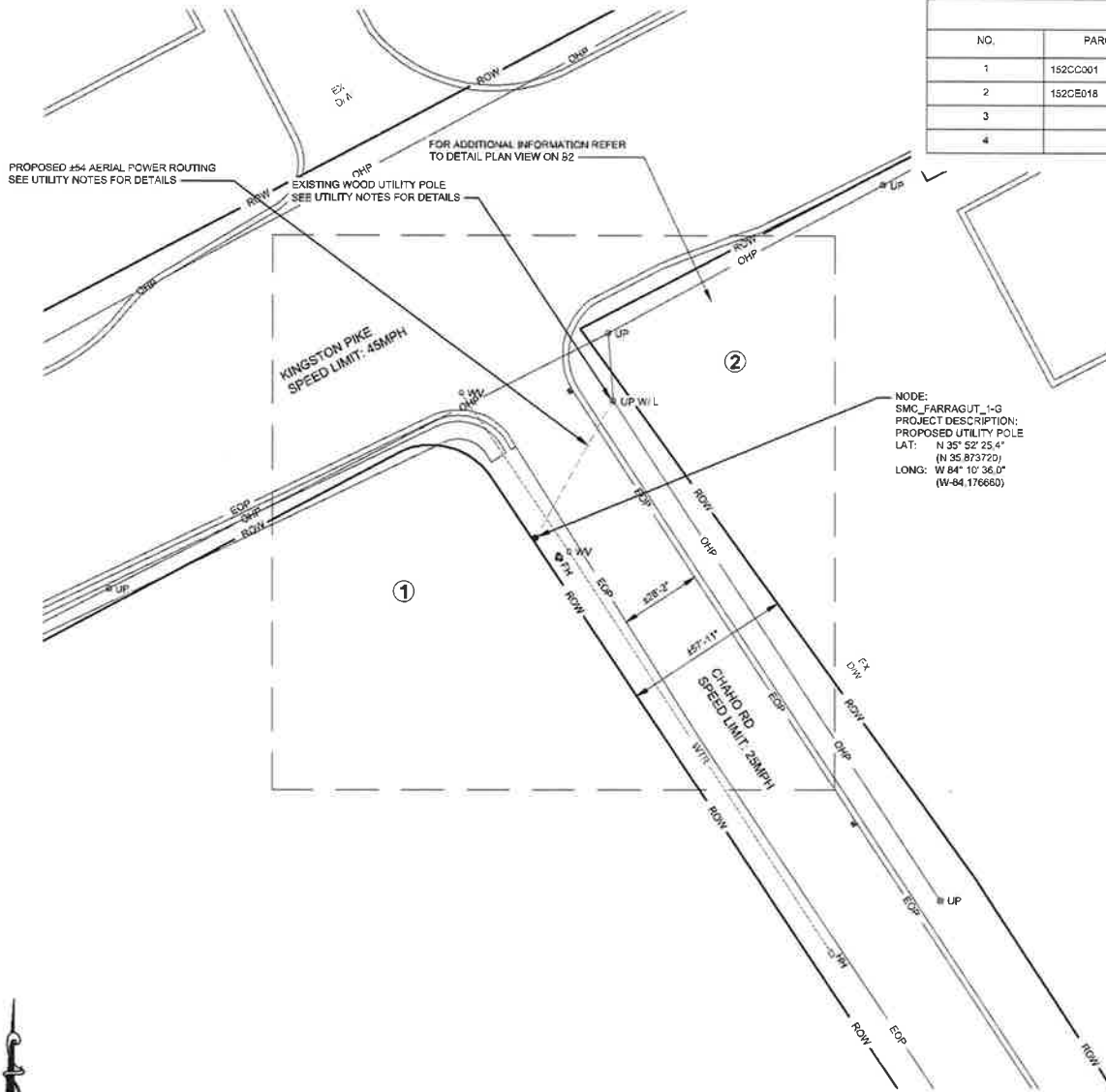


PROPOSED VIEW
(FROM NW LOOKING SE)

PREPARED FOR: verizon 1000 WILLIAMS BLVD KENNER, LA 70062							
A&E FIRM: 1400 OLD ALABAMA ROAD, SUITE 1004 ROSWELL, GA 30076 TEL: 678-264-2218 FAX: 678-264-2242							
REGISTERED PROFESSIONAL ENGINEER SEAL: THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO THE CLIENT IS STRICTLY PROHIBITED.							
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DRAWN BY: BA CHECKED BY: JKP							
CAUTION FOREIGN UTILITY LOCATIONS ARE APPROXIMATE. CONTACT THE LOCAL ONE CALL AGENCY 48 HOURS PRIOR TO CONSTRUCTION FOR EXACT UTILITY LOCATION(S). CONSTRUCTION SHALL NOTIFY THE JURISDICTIONS, DEPARTMENT OF PUBLIC WORKS AND ENGINEERING, OFFICE OF THE CITY ENGINEER, 60 HOURS BEFORE STARTING WORK IN THIS PROJECT.							
PROJECT INFORMATION VERIZON SITE ID SMC_FARRAGUT_7 NEAREST ADDRESS 11120 KINGSTON PIKE FARRAGUT, TN 37934 (KNOX COUNTY)							
SHEET TITLE: PHOTO SIMS							
SHEET NO: C4.2	REVISION: 0						

Node 6

[illegible]



1 SITE PLAN
B1 11x17 SCALE: 1" = 40'
 24x36 SCALE: 1" = 20'

PROPERTY INFORMATION				
NO.	PARCEL #	N/F PROPERTY OWNER	DEED BOOK	PAGE
1	152CC001	TN ELITE FOUNDATION LLC	20180625	0076445
2	152CB018	MALONE JAMES R JR & PATRICIA W	20131212	36639
3				
4				

- NOTES:**
1. SITE PLAN HAS BEEN DEVELOPED USING GOOGLE MAPS AND LOCAL GIS DATA. UTILITIES (IF SHOWN) ARE FROM ONLINE OR OTHER SOURCES AND HAVE NOT BEEN FIELD LOCATED. CONTRACTOR MUST LOCATE UTILITIES PRIOR TO START OF CONSTRUCTION.
 2. CONTRACTOR SHALL MAINTAIN UNINTERRUPTED ACCESS TO ALL DRIVEWAYS, SIDE STREETS AND WALKWAYS AT ALL TIMES UNLESS OTHERWISE PERMITTED.
 3. CONTRACTOR SHALL PREPARE A MAINTENANCE OF TRAFFIC (M.O.T.) PLAN FOR PEDESTRIAN TRAFFIC AND WORK WITHIN THE RIGHT-OF-WAY, INCLUDING VEHICLE PARKING AND EQUIPMENT STAGING.
 4. CONTRACTOR SHALL RESTORE ANY DISTURBED AREAS TO ORIGINAL CONDITION OR BETTER.
 5. POWER DELIVERY BY LENOIR CITY UTILITIES BOARD AT THEIR RECOMMENDATION, PERMITTED SEPARATELY.
 6. FIBER DELIVERY PROVIDED BY 1 FIBER, PERMITTED SEPARATELY.

- UTILITY NOTES:**
1. CONTRACTOR TO CONTACT LENOIR CITY UTILITIES BOARD TO INITIATE POWER ROUTE INSTALLATION.
 NAME: CUSTOMER SERVICE
 PHONE: 1 (844) 687-5282
 EMAIL: UNKNOWN
 - 2.
 3. POWER COMPANY WILL PROVIDE 100A AERIAL SERVICE FROM EXISTING WOOD UTILITY POLE TO VZW PROPOSED UTILITY POLE.
 4. VZW CONTRACTOR WILL INSTALL A TOTAL OF ±15' OF 3" SCH40 CONDUIT ON PROPOSED POLE AT NODE LOCATION.
 5. VZW CONTRACTOR WILL PROVIDE THE METER BASE, POWER COMPANY WILL PROVIDE METER.

STREET LIGHT	STLT	FIBER MARKER	FM
POLE W/ LIGHT	STLT	PARKING METER	PM
UTILITY POLE	UP	MANHOLE	MH
LIGHT POLE	LP	TELECOM BOX	TBC
FIRE HYDRANT	FH	GAS VALVE	GV
TRAFFIC POLE	TP	TRANSFORMER	TR
HANDHOLE	HH	WATER VALVE	WV
WATER METER	WM	SEWER	SE
UTILITY MARKER	UM	PEDESTAL	PED
CULVERT		INLET	IN
TREE		CABINET	CAB
		DRAIN CRATE	DCR
		CROSSWALK	CW
		TRAFFIC SIGNAL	TS

OVERHEAD POWER	OWP
UNDERGROUND POWER	UGP
UNDERGROUND FIBER	UGF
UNDERGROUND GAS	UGG
WATER LINE	WGL
SEWER/STORM	SS
SANITARY SEWER	SS
RIGHT OF WAY	ROW
EDGE OF PAVEMENT	EOP
FENCE	F
CENTERLINE	CL
PROPERTY LINE	PL
EXISTING BUILDINGS	EB
LANDSCAPE	L
DRIVEWAY/SIDEWALK	DS
BACK OF CURB	BOC

PREPARED FOR:

1875 OLD ALABAMA ROAD, SUITE 100A
 ROSWELL, GA 30078
 TEL: 678-400-2336 FAX: 678-400-2342

A&E FIRM:

REGISTERED PROFESSIONAL ENGINEER SEAL:
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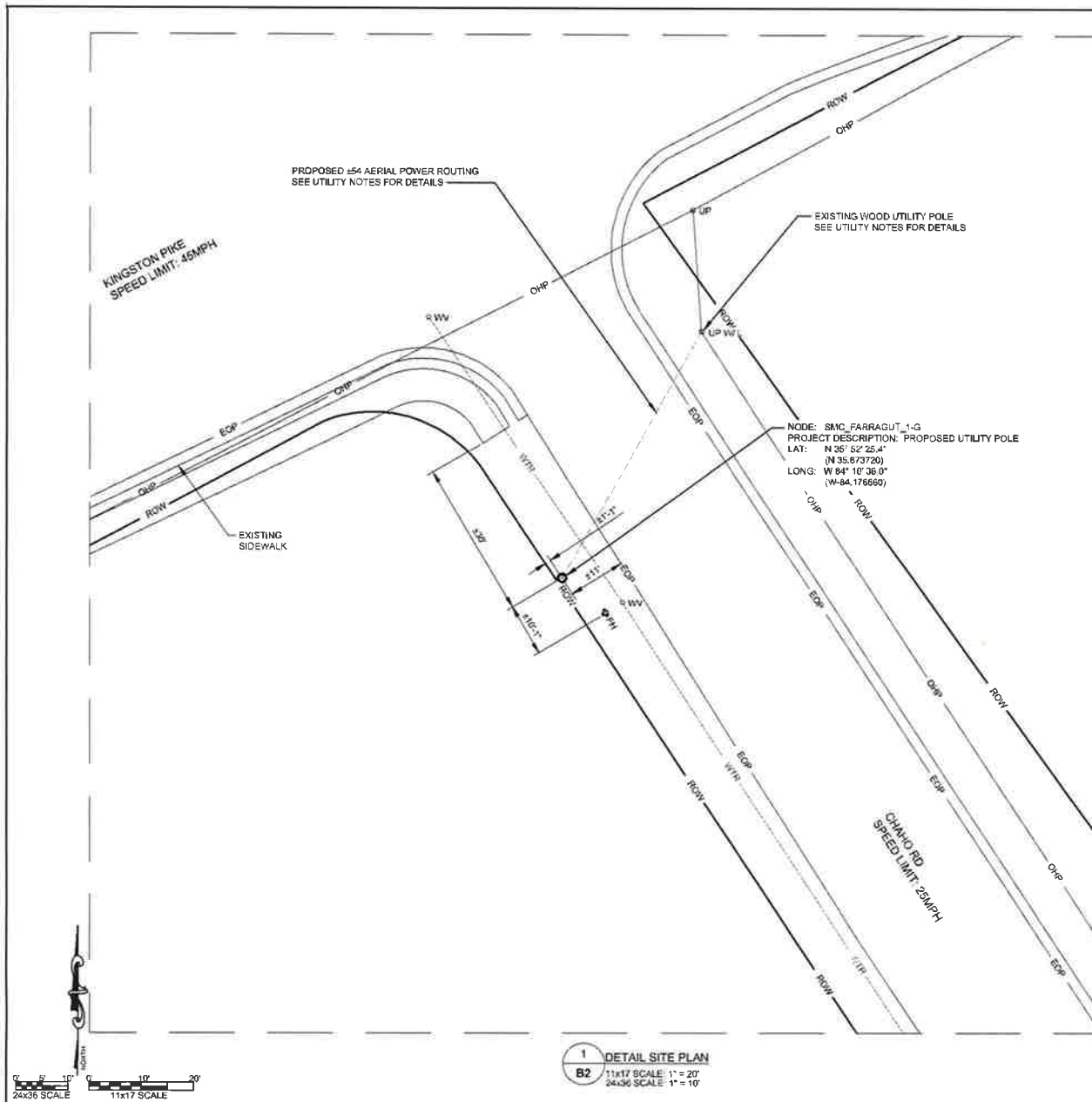
PROJECT INFORMATION:

VERIZON SITE ID
 SMC_FARRAGUT_1-G

NEAREST ADDRESS
 0 CHALO RD
 FARRAGUT, TN 37934
 (KNOX COUNTY)

SHEET TITLE:
DETAIL SITE PLAN

SHEET NO.	REVISION:
B1	0



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EMAIL: UNKNOWN
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STREET LIGHT	○ STLT	FIBER MARKER	○ FM
POLE W/ LIGHT	○ STLT	PARKING METER	○ PM
UTILITY POLE	○ UP	MANHOLE	○ MH
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TRAFFIC POLE	○ TP	TRANSFORMER	○ TR
HANDHOLE	○ HH	WATER VALVE	○ WV
WATER METER	○ WM	SEWER	○ S
UTILITY MARKER	○ UM	PEDESTAL	○ PED
CULVERT	○ CUL	INLET	○ I
TREE	○ T	CABINET	○ CAB
		DRAIN CRATE	○ DCR
		CROSSWALK	○ CWS
		TRAFFIC SIGNAL	○ TS

OVERHEAD POWER	_____	_____
UNDERGROUND POWER	_____	_____
UNDERGROUND FIBER	_____	_____
UNDERGROUND GAS	_____	_____
WATER LINE	_____	_____
STORM SEWER	_____	_____
SEWAGE TREATMENT	_____	_____
WALK-UP ASH	_____	_____
EDGE OF PAVEMENT	_____	_____
CONC.	_____	_____
CENTER LINE	_____	_____
PROPERTY LINE	_____	_____
EXISTING BUILDING	_____	_____
LAND LINE	_____	_____
DRIVEWAY SIDEWALK	_____	_____
BACK OF CURB	_____	_____

PREPARED FOR:

1000 WILLIAMS BLVD
KENNER, LA 70002

A&E FIRM:

1815 OLD ALABAMA ROAD, SUITE 100A
ROSWELL, GA 30075
TEL: 678-600-2338 FAX: 678-990-2342

REGISTERED PROFESSIONAL ENGINEER SEAL:

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REVISION

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DRAWN BY: BA CHECKED BY: JGP

CAUTION

FOREIGN UTILITY LOCATIONS ARE APPROXIMATE. CONTRACT THE LOCAL ONE CALL AGENCY 48 HOURS PRIOR TO CONSTRUCTION FOR EXACT UTILITY LOCATION AT:

CONSTRUCTION SHALL NOTIFY THE JURISDICTIONS, DEPARTMENT OF PUBLIC WORKS AND ENGINEERING, OFFICE OF THE CITY ENGINEER 48 HOURS BEFORE STARTING WORK IN THIS PROJECT.

PROJECT INFORMATION:

VERIZON SITE ID
SMC_FARRAGUT_1-G

NEAREST ADDRESS
0 CHALO RD
FARRAGUT, TN 37934
(KNOX COUNTY)

SHEET TITLE:

DETAIL SITE PLAN

SHEET NO:

B2

REVISION:

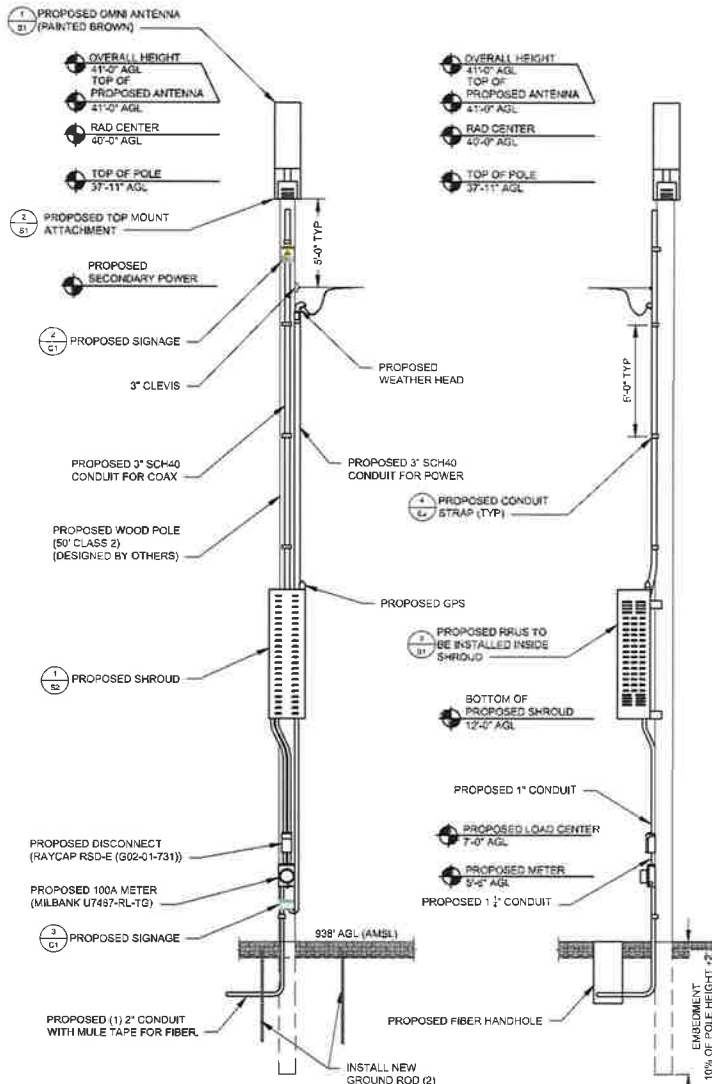
0

DESIGN NOTES

1. TOWERSOURCE HAS NOT PERFORMED A STRUCTURAL ANALYSIS OF THIS POLE.
2. DESIGN IS BASED ON A 50' CLASS 2 WOOD UTILITY POLE.
3. MINIMUM EMBEDMENT SHALL BE 10% POLE LENGTH PLUS 2 FT. (WOOD POLES ONLY).
4. FIBER TRANSPORT DELIVERY CABLES WILL BE BURIED TO POLE.
5. POWER TRANSPORT DELIVERY CABLES WILL TO BE DETERMINED BY UTILITY.
6. CONTRACTOR WILL COORDINATE POWER AND FIBER SERVICE REQUIREMENTS AND INSTALLATIONS WITH UTILITY COMPANIES.
7. PRIOR TO CONSTRUCTION, CONTRACTOR TO COORDINATE POLE DESIGN WITH FINAL RF DESIGN COMPONENTS.
8. POLE SHALL BE CERTIFIED IN COMPLIANCE WITH ANSI D8.1 (WOOD POLES ONLY).
9. CONFIRM METER TYPE WITH POWER COMPANY.
10. FUTURE CARRIES TO BE ACCOMMODATED AND ABLE TO COLLOCATE ON THIS POLE.
11. PROPOSED POLE TO BE NON-BREAKAWAY.
12. PROPOSED LAA & CBRs RADIOS TO BE POLE-MOUNTED NEAR ANTENNA TOP.
13. CONTRACTOR TO MOUNT PER MANUFACTURER'S SPECIFICATIONS.
14. ALL CONDUIT, SHROUDS, PANELS, AND ANTENNA TO BE PAINTED BROWN TO MATCH POLE.

INSTALLATION NOTES

14. COMMUNICATION EQUIPMENT SHALL BE ARRANGED AND MOUNTED TO PROVIDE OTHER UTILITIES CLEAR CLIMBING SPACE TO THEIR EQUIPMENT ON THE POLE, PER NESC 236D.
15. ALL INSTALLATIONS SHALL COMPLY WITH THE CURRENT PUBLISHED ISSUES OF THE NATIONAL ELECTRIC SAFETY CODE (NESC), AND POLE ATTACHMENT STANDARDS FOR POLE OWNER.
16. RISER FOR ALL COMMUNICATION CABLES SHALL BE NON-METALLIC AND NON-CONDUCTING. THE RISER SHALL HAVE A MINIMUM OF 2 IN. SEPARATION FROM ANY THRU BOLT, METALLIC HARDWARE, OR ELECTRICAL CONDUCTOR (NESC RULE 239H).
17. ANYONE WORKING ABOVE THE LOWEST PLANE OF ANY ENERGIZED AND UNSHIELDED CONDUCTOR SHALL BE A QUALIFIED ELECTRIC SUPPLY LINE WORK. SEE NESC RULE 432 FOR DETAILS.



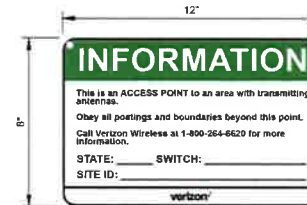
1 POLE ELEVATION
NOT TO SCALE

ANTENNA SCHEDULE NOTES

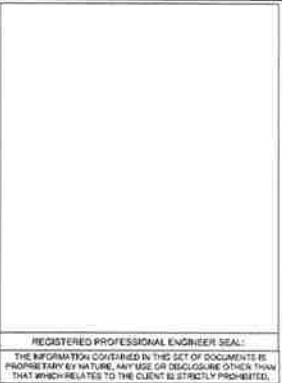
1. CONTRACTOR TO MOUNT ANTENNAS PER MANUFACTURER'S SPECIFICATIONS
2. CONTRACTOR TO REFERENCE VZW ISSUED RFDS AND GIVE PRECEDENCE TO
3. INFORMATION PROVIDED IN RFDS OVER INFORMATION PROVIDED IN THIS TABLE
4. VERIFY LOADING WITH STRUCTURAL ANALYSIS PRIOR TO CONSTRUCTIONS



2 INFORMATION SIGN
C1



3 INFORMATION SIGN
C1



REVISION		
REV.	DATE	DESCRIPTION
0	1/6/2020	ISSUED FOR CONSTRUCTION

DRAWN BY: BA CHECKED BY: JKP

CAUTION
FOREIGN UTILITY LOCATIONS ARE APPROXIMATE. CONTACT THE LOCAL ONE CALL AGENCY 48 HOURS PRIOR TO CONSTRUCTION FOR EXACT UTILITY LOCATION AT.



CONSTRUCTION SHALL NOTIFY THE JURISDICTIONS, DEPARTMENT OF PUBLIC WORKS AND ENGINEERING, OFFICE OF THE CITY ENGINEER, 48 HOURS BEFORE STARTING WORK IN THIS PROJECT.

PROJECT INFORMATION
VERIZON SITE ID
SMC_FARRAGUT_1-G

NEAREST ADDRESS
0 CHALO RD
FARRAGUT, TN 37934
(KNOX COUNTY)

SHEET TITLE:
POLE ELEVATION

SHEET NO. C1 **REVISION:** 0



CURRENT VIEW
(FROM NE LOOKING SW)



PROPOSED VIEW
(FROM NE LOOKING SW)

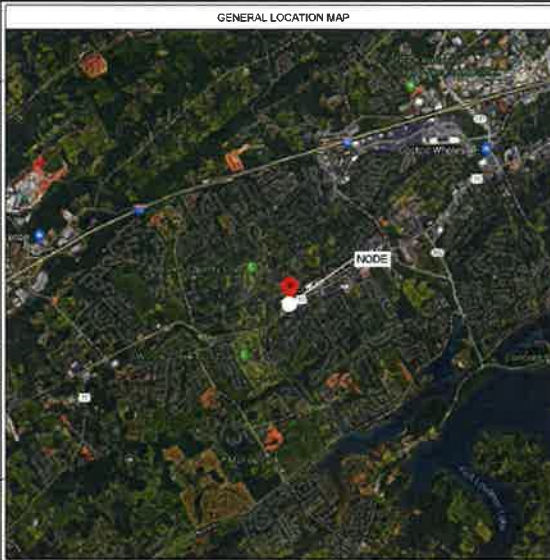
PREPARED FOR: 1000 WILLIAMS BLVD KENNER, LA 70062		
A/E FIRM: 1405 OLD ALABAMA ROAD, SUITE 100 ROSBELL, GA 30076 TEL: 575-890-2238 FAX: 878-990-2242		
REGISTERED PROFESSIONAL ENGINEER SEAL: THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO THE CLIENT IS STRICTLY PROHIBITED.		
REVISION		
REV	DATE	DESCRIPTION
0	1/8/2020	ISSUED FOR CONSTRUCTION
DRAWN BY: BA		CHECKED BY: JKP
CAUTION FORERUN UTILITY LOCATIONS ARE APPROXIMATE. CONTACT THE LOCAL ONE CALL AGENCY 48 HOURS PRIOR TO CONSTRUCTION FOR EXACT UTILITY LOCATION AT:		
 CONSTRUCTION SHALL NOTIFY THE JURISDICTIONS DEPARTMENT OF PUBLIC WORKS AND ENGINEERING OFFICE OF THE CITY ENGINEER 48 HOURS BEFORE STARTING WORK IN THIS PROJECT.		
PROJECT INFORMATION: VERIZON SITE ID SMC_FARRAGUT_1-G NEAREST ADDRESS 0 CHALO RD FARRAGUT, TN 37934 (KNOX COUNTY)		
SHEET TITLE: PHOTO SIMS		
SHEET NO.	REVISION	
C2.1	0	

Node 7

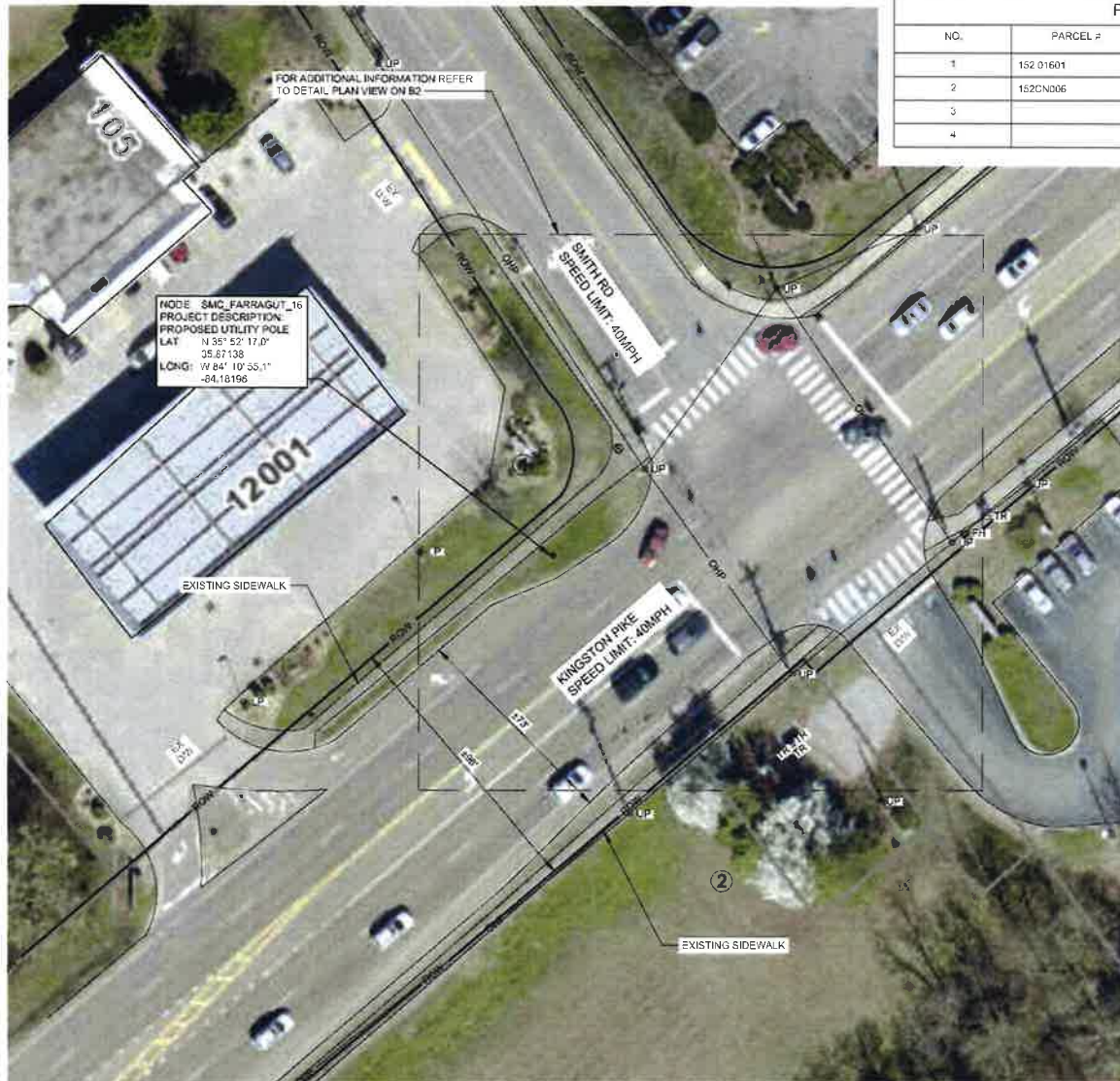
PREPARED FOR		
		
PROJECT INFORMATION		
VERIZON SITE ID	SMC_FARRAGUT_16	
PROJECT DESCRIPTION:	PROPOSED UTILITY POLE	
NEAREST ADDRESS: (E911 ADDRESS PENDING)	12001 KINGSTON, PIKE KNOXVILLE, TN 37934	
POLE OWNER	VERIZON	
LATITUDE:	N 35° 52' 17.0" 35.87138	
LONGITUDE:	W 84° 10' 55.1" -84.18196	
GROUND ELEVATION:	(AVSL) = 930's	
PRESENT OCCUPANCY TYPE:	PUBLIC ROW	
JURISDICTION:	TOWN OF FARRAGUT	
ROW JURISDICTION:	TDCOT DIV 1	
COUNTY:	KNOX	
DISTURBED AREA:	25 SQ FT ±	
CURRENT ZONING	N/A	
PARCEL ID #:	N/A	
APPLICANT:	VERIZON WIRELESS 8621 RESEARCH DRIVE CHARLOTTE, NC 28262 JASON KOZORA 252-201-6602	
PROJECT MANAGER:	VERIZON WIRELESS 8621 RESEARCH DRIVE CHARLOTTE, NC 28262 JASON KOZORA 252-201-6602	
ENGINEER:	TOWERSOURCE 1875 OLD ALABAMA ROAD, SUITE 1005 ROSWELL, GA 30078 678-590-2338	
CALL PROJECT MANAGER BEFORE CONSTRUCTION STARTS		
SHEET	SHEET TITLE	REV
A1	TITLE SHEET	0
EN	ELECTRICAL NOTES	0
B1	SITE PLAN	0
B2	DETAIL SITE PLAN	0
C1	POLE ELEVATION	0
C2	TRAFFIC CONTROL	0
C3	DETAILS	0
C4.1	PHOTOSIM (1)	0
C4.2	PHOTOSIM (2)	0
E1	ONE LINE DIAGRAM	0
E2	GROUNDING DETAILS	0
S1	RRUS SPECS	0
S2	EQUIPMENT SPECS	0
S3	EQUIPMENT SPECS	0

GENERAL NOTES	
1. FOR THE PURPOSE OF CONSTRUCTION DRAWINGS, THE FOLLOWING DEFINITIONS SHALL APPLY:	16. THE GENERAL CONTRACTOR SHALL PROVIDE PORTABLE FIRE EXTINGUISHERS WITH A RATING OF NOT LESS THAN 2A:10B C AND SHALL BE WITHIN 25 FEET OF TRAVEL DISTANCE TO ALL PORTIONS OF WHERE THE WORK IS BEING COMPLETED DURING CONSTRUCTION.
2. GENERAL CONTRACTOR (CONSTRUCTION) OWNER - VERIZON	17. ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES SHALL BE PROTECTED AND FREE FROM OBSTRUCTION AT ALL TIMES AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY THE GOVERNING UTILITY COMPANY ENGINEER.
3. ALL SITE WORK SHALL BE COMPLETED AS INDICATED ON THE DRAWINGS AND VERIZON PROJECT SPECIFICATIONS. THE CONTRACTOR MUST HAVE CONSIDERABLE EXPERIENCE IN PERFORMANCE OF WORK SIMILAR TO THAT DESCRIBED HEREIN BY ACCEPTANCE OF THIS ASSIGNMENT. THE CONTRACTOR IS ATTESTING THAT HE DOES HAVE SUFFICIENT EXPERIENCE AND ABILITY THAT HE IS KNOWLEDGEABLE OF THE WORK TO BE PERFORMED AND THAT HE IS PROPERLY LICENSED AND PROPERLY REGISTERED TO DO THIS WORK IN THE STATE OF TENNESSEE.	18. CONTRACTOR SHALL MINIMIZE DISTURBANCE TO THE EXISTING SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES, IF REQUIRED DURING CONSTRUCTION, SHALL BE IN CONFORMANCE WITH THE FEDERAL AND LOCAL JURISDICTION FOR EROSION AND SEDIMENT CONTROL.
4. GENERAL CONTRACTOR SHALL VISIT THE SITE AND SHALL FAMILIARIZE HIMSELF WITH ALL CONDITIONS AFFECTING THE PROPOSED WORK AND SHALL MAKE PROVISIONS. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH ALL CONTRACT DOCUMENTS, FIELD CONDITIONS, DIMENSIONS, AND CONFIRMING THAT THE WORK MAY BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE COMMENCEMENT OF WORK.	19. THE SUBGRADE SHALL BE BROUGHT TO A SMOOTH UNIFORM GRADE AND COMPACTED TO 95 PERCENT STANDARD PROCTOR DENSITY UNDER PAVEMENT AND STRUCTURES AND 90 PERCENT STANDARD PROCTOR DENSITY IN OPEN SPACE. ALL TRENCHES IN PUBLIC RIGHT OF WAY SHALL BE BACKFILLED WITH FLOWABLE FILL OR OTHER MATERIAL PRE-APPROVED BY THE LOCAL JURISDICTION.
5. ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF WORK. ALL WORK CARRIED OUT SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL, AND UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONAL CODES, ORDINANCES, AND APPLICABLE REGULATIONS.	20. ALL NECESSARY RUBBISH, STUMPS, DEBRIS, STOKS, STONES, AND OTHER REFUSE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LAWFUL MANNER.
6. UNLESS NOTED OTHERWISE, THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES, AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.	21. ALL BROCHURES, OPERATING AND MAINTENANCE MANUALS, CATALOGS, SHOP DRAWINGS, AND OTHER DOCUMENTS SHALL BE RETURNED OVER TO VERIZON AT COMPLETION OF CONSTRUCTION AND PRIOR TO PAYMENT.
7. PLANS ARE NOT TO BE SCALED. THESE PLANS ARE INTENDED TO BE A DIAGRAMMATIC OUTLINE ONLY UNLESS OTHERWISE NOTED. DIMENSIONS SHOWN ARE TO FINISH SURFACES UNLESS OTHERWISE NOTED. SPACING BETWEEN EQUIPMENT IS THE MINIMUM REQUIRED CLEARANCE. THEREFORE, IT IS CRITICAL TO FIELD VERIFY DIMENSIONS. SHOULD THERE BE ANY QUESTIONS REGARDING THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE ENGINEER PRIOR TO PROCEEDING WITH THE WORK. DETAILS ARE INTENDED TO SHOW DESIGN INTENT. MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF WORK AND PREPARED BY THE ENGINEER PRIOR TO PROCEEDING WITH WORK.	22. CONTRACTOR SHALL SUBMIT A COMPLETE SET OF AS-BUILT REVISIONS TO VERIZON UPON COMPLETION OF PROJECT AND PRIOR TO FINAL PAYMENT.
8. THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.	23. ALL MATERIAL SHALL BE FURNISHED AND WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST REVISION VERIZON MOBILITY GROUNDING STANDARD "TECHNICAL SPECIFICATION FOR CONSTRUCTION OF GSM/GPRS WIRELESS SITES" AND "TECHNICAL SPECIFICATION FOR FACILITY GROUNDING". IN CASE OF A CONFLICT BETWEEN THE CONSTRUCTION SPECIFICATION AND THE DRAWINGS, THE DRAWINGS SHALL GOVERN.
9. IF THE SPECIFIED EQUIPMENT CANNOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION SPACE FOR APPROVAL BY THE ENGINEER PRIOR TO PROCEEDING.	24. CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS REQUIRED FOR CONSTRUCTION. IF CONTRACTOR CANNOT OBTAIN A PERMIT, THEY MUST NOTIFY THE GENERAL CONTRACTOR IMMEDIATELY.
10. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF WORK AREA, ADJACENT AREAS AND BUILDING OCCUPANTS THAT ARE LIKELY TO BE AFFECTED BY THE WORK UNDER THIS CONTRACT. WORK SHALL CONFORM TO ALL OSHA REQUIREMENTS AND THE LOCAL JURISDICTION.	25. CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE ON A DAILY BASIS. ALL WASTE MATERIALS TO BE REMOVED FROM SITE PRIOR TO SUBSTANTIAL COMPLETION AND PRIOR TO FINAL ACCEPTANCE.
11. ERECTION SHALL BE DONE IN A WORKMANLIKE MANNER BY COMPETENT EXPERIENCED WORKMAN IN ACCORDANCE WITH APPLICABLE CODES AND THE BEST ACCEPTED PRACTICE. ALL MEMBERS SHALL BE LAD PLUMB AND TRUE AS INDICATED ON THE DRAWINGS.	26. THE CONTRACTOR SHALL GUARANTEE THE WORK PERFORMED ON THE PROJECT BY THE CONTRACTOR AND ANY OR ALL OF THE SUBCONTRACTORS WHO PERFORMED WORK FOR THE CONTRACTOR ON THIS PROJECT. THE GUARANTEE SHALL BE FOR ONE FULL YEAR FOLLOWING ISSUANCE OF THE FINAL PAYMENT OF RETAINAGE. ALL MATERIALS AND WORKMANSHIP SHALL BE WARRANTED FOR ONE YEAR FROM ACCEPTANCE DATE.
12. THE CONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS, PAVEMENTS, CURBS, LANDSCAPING AND STRUCTURES. ANY DAMAGED PARTS SHALL BE REPAIRED AT CONTRACTORS EXPENSE TO THE SATISFACTION OF THE OWNER.	27. THE CONTRACTOR AND ITS SUBCONTRACTORS SHALL CARRY LIABILITY INSURANCE IN THE AMOUNTS AND FORM IN ACCORDANCE WITH LESSEE SPECIFICATIONS. CERTIFICATES DEMONSTRATING PROOF OF COVERAGE SHALL BE PROVIDED TO LESSEE PRIOR TO THE START OF THE WORK ON THE PROJECT.
13. THE CONTRACTOR SHALL CONTACT UTILITY LOCATING SERVICES MIN 48 HOURS PRIOR TO THE START OF CONSTRUCTION.	28. THE CONTRACTOR SHALL REMOVED (DRY, SCARIFY, ETC) ALL MATERIAL NOT SUITABLE FOR SUBGRADE IN ITS PRESENT STATE. AFTER REMOVING, IF THE MATERIAL REMAINS UNSUITABLE, THE CONTRACTOR SHALL UNDERCUT THIS MATERIAL AND REPLACE WITH APPROVED MATERIAL. ALL SUBGRADES SHALL BE PROTECTED WITH A FULLY LOADED TANDEM AXLE CLUMP TRUCK PRIOR TO PAVING. ANY SOFT MATERIAL SHALL BE REMOVED AND REPLACED.
14. GENERAL CONTRACTOR SHALL COORDINATE AND MAINTAIN ACCESS FOR ALL TRUCKS AND CONTRACTORS TO THE SITE AND/OR BUILDING.	29. TEMPORARY FACILITIES FOR PROTECTION OF TOOLS AND EQUIPMENT SHALL CONFORM TO LOCAL REGULATIONS AND SHALL BE THE CONTRACTORS RESPONSIBILITY.
15. THE GENERAL CONTRACTOR SHALL MAINTAIN IN GOOD CONDITION ONE COMPLETE SET OF PLANS WITH ALL REVISIONS, ADDENDA, AND CHANGE ORDERS ON THE PREMISES AT ALL TIMES.	

DRIVING DIRECTIONS FROM VERIZON WIRELESS HEADQUARTERS IN CHARLOTTE:			
TURN RIGHT ON/O RESEARCH DR	0.4 MI	US-74 W. TURN RIGHTLY RIGHT AND	34.4 MI
TURN LEFT ONTO W.M.T. HARRIS BLVD	0.2 MI	RECOVER 1-25 US-74 W.	
TURN RIGHT ONTO THE I-85 S RAMP	0.3 MI	KEEP LEFT AT THE FORK TO	0.9 MI
MERGE ONTO I-85 S	13.9 MI	CONTINUE ON US-74 W	124 MI
TAKE EXIT 105 TO MERGE ONTO US-74 W	0.9 MI	MERGE ONTO I-40 W	0.3 MI
RECOVER 1-25 US-74 W		USE THE RIGHT 2 LANES TO TAKE EXIT 373 FOR CAMPBELL STATION RD TOWARD FARRAGUT	
MERGE ONTO US-74 W	27 MI	USE THE LEFT 2 LANES TO TURN LEFT ONTO	1.8 MI
CONTINUE ONTO US-74 W	33 MI	IN CAMPBELL STATION RD	1.4 MI
		DESTINATION WILL BE ON THE RIGHT	



PREPARED FOR:	
	
1000 WILLIAMS BLVD KENNER, LA 70002	
A&E FIRM:	
	
1875 OLD ALABAMA ROAD, SUITE 1005 ROSWELL, GA 30078 TEL: 678-590-2338 FAX: 678-590-2342	
REGISTERED PROFESSIONAL ENGINEER SEAL: THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO THE CLIENT IS STRICTLY PROHIBITED.	
REGISTRATION	
REV	DATE DESCRIPTION
0	1/8/2020 ISSUED FOR CONSTRUCTION
DRAWN BY: BA CHECKED BY: JKP	
CAUTION FOREIGN UTILITY LOCATIONS ARE APPROXIMATE. CONTACT THE LOCAL ONE CALL AGENCY 48 HOURS PRIOR TO CONSTRUCTION FOR EXACT UTILITY LOCATION AT:	
	
CONSTRUCTION SHALL NOTIFY THE JURISDICTIONS, DEPARTMENT OF PUBLIC WORKS AND ENGINEERING, OFFICE OF THE CITY ENGINEER, 48 HOURS BEFORE STARTING WORK IN THIS PROJECT.	
PROJECT INFORMATION:	
VERIZON SITE ID SMC_FARRAGUT_16	
NEAREST ADDRESS 12001 KINGSTON, PIKE KNOXVILLE, TN 37934 (KNOX COUNTY)	
SHEET TITLE:	
TITLE SHEET	
SHEET NO.	REVISED:
A1	0



PROPERTY INFORMATION				
NO.	PARCEL #	INP PROPERTY OWNER	DEED BOOK	PAGE
1	152 01601	LHW PROPERTIES L P	-	-
2	152CND06	SCHUBERT FAMILY LMTD PARTNERSHIP	-	-
3				
4				

- NOTES:**
1. SITE PLAN HAS BEEN DEVELOPED USING GOOGLE MAPS AND LOCAL GIS DATA. UTILITIES (IF SHOWN) ARE FROM ONLINE OR OTHER SOURCES AND HAVE NOT BEEN FIELD LOCATED. CONTRACTOR MUST LOCATE UTILITIES PRIOR TO START OF CONSTRUCTION.
 2. CONTRACTOR SHALL MAINTAIN UNINTERRUPTED ACCESS TO ALL DRIVEWAYS, SIDE STREETS AND WALKWAYS AT ALL TIMES UNLESS OTHERWISE PERMITTED.
 3. CONTRACTOR SHALL PREPARE A MAINTENANCE OF TRAFFIC (M.O.T.) PLAN FOR PEDESTRIAN TRAFFIC AND WORK WITHIN THE RIGHT-OF-WAY, INCLUDING VEHICLE PARKING AND EQUIPMENT STAGING.
 4. CONTRACTOR SHALL RESTORE ANY DISTURBED AREAS TO ORIGINAL CONDITION OR BETTER.
 5. POWER DELIVERY BY LENOIR CITY UTILITIES BOARD AT THEIR RECOMMENDATION PERMITTED SEPARATELY.
 6. FIBER DELIVERY PROVIDED BY 1 FIBER, PERMITTED SEPARATELY.

- UTILITY NOTES:**
1. CONTRACTOR TO CONTACT LENOIR CITY UTILITIES BOARD TO INITIATE POWER ROUTE INSTALLATION.
NAME: CUSTOMER SERVICE
PHONE: 1 (844) 587-5262
EMAIL: UNKNOWN
 2. POWER COMPANY WILL PROVIDE 100A --- SERVICE FROM EXISTING --- TO VZW PROPOSED UTILITY POLE.
 3. VZW CONTRACTOR WILL INSTALL A TOTAL OF 415' OF 3" SCH40 CONDUIT ON PROPOSED POLE AT NODE LOCATION.
 4. VZW CONTRACTOR WILL PROVIDE THE METER BASE, POWER COMPANY WILL PROVIDE METER.

STREET LIGHT	STLT	FIBER MARKER	FM
POLE W/ LIGHT	UP W/L	PARKING METER	PM
UTILITY POLE	UP	MANHOLE	MH
LIGHT POLE	LP	TELCO BOX	TCB
FIRE HYDRANT	FH	GAS VALVE	GV
TRAFFIC POLE	TP	TRANSFORMER	TR
HANDHOLE	HH	WATER VALVE	WV
WATER METER	WM	SEWER	SE
UTILITY MARKER	UM	PEDESTAL	PED
CULVERT		INLET	IN
TREE		CABINET	CB
		RAIN CRATE	RC
		CROSSWALK	CW
		TRAFFIC SIGNAL	TS

OVERHEAD POWER	CMP
UNDERGROUND POWER	UGP
UNDERGROUND FIBER	UGF
UNDERGROUND GAS	UGG
WATER LINE	WTL
SEWER LINE	SEL
STREET LIGHT	STL
TRAFFIC SIGNAL	TS
PEDESTAL	PED
INLET	IN
CABINET	CB
RAIN CRATE	RC
CROSSWALK	CW
TRAFFIC SIGNAL	TS

SITE PLAN
11x17 SCALE 1" = 40'
24x36 SCALE 1" = 20'

PREPARED FOR:

verizon

1001 WILLIAMS BLVD
KNOXVILLE, TN 37902

A&E FIRM:

towersource

1001 OLD NUBAMA ROAD, SUITE 100
ROSELLE, GA 30070
TEL: 404-250-0000 FAX: 404-250-0002

REGISTERED PROFESSIONAL ENGINEER SEAL:

THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY TO TOWERSOURCE. ANY USE OR REPRODUCTION OF THIS INFORMATION WITHOUT THE WRITTEN PERMISSION OF TOWERSOURCE IS STRICTLY PROHIBITED.

REVISION		
REV	DATE	DESCRIPTION
0	1/5/2020	ISSUED FOR CONSTRUCTION

CAUTION

FOREIGN UTILITY LOCATIONS ARE APPROXIMATE. CONTACT THE LOCAL ONE CALL (800) 486-8888 PRIOR TO CONSTRUCTION FOR EXACT UTILITY LOCATION AT:

Tennessee 811

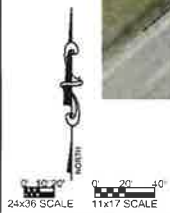
CONSTRUCTION SHALL NOTIFY THE JURISDICTION'S DEPARTMENT OF PUBLIC WORKS AND ENGINEERING OFFICE OF THE CITY ENGINEER 48 HOURS BEFORE STARTING WORK IN THIS PROJECT.

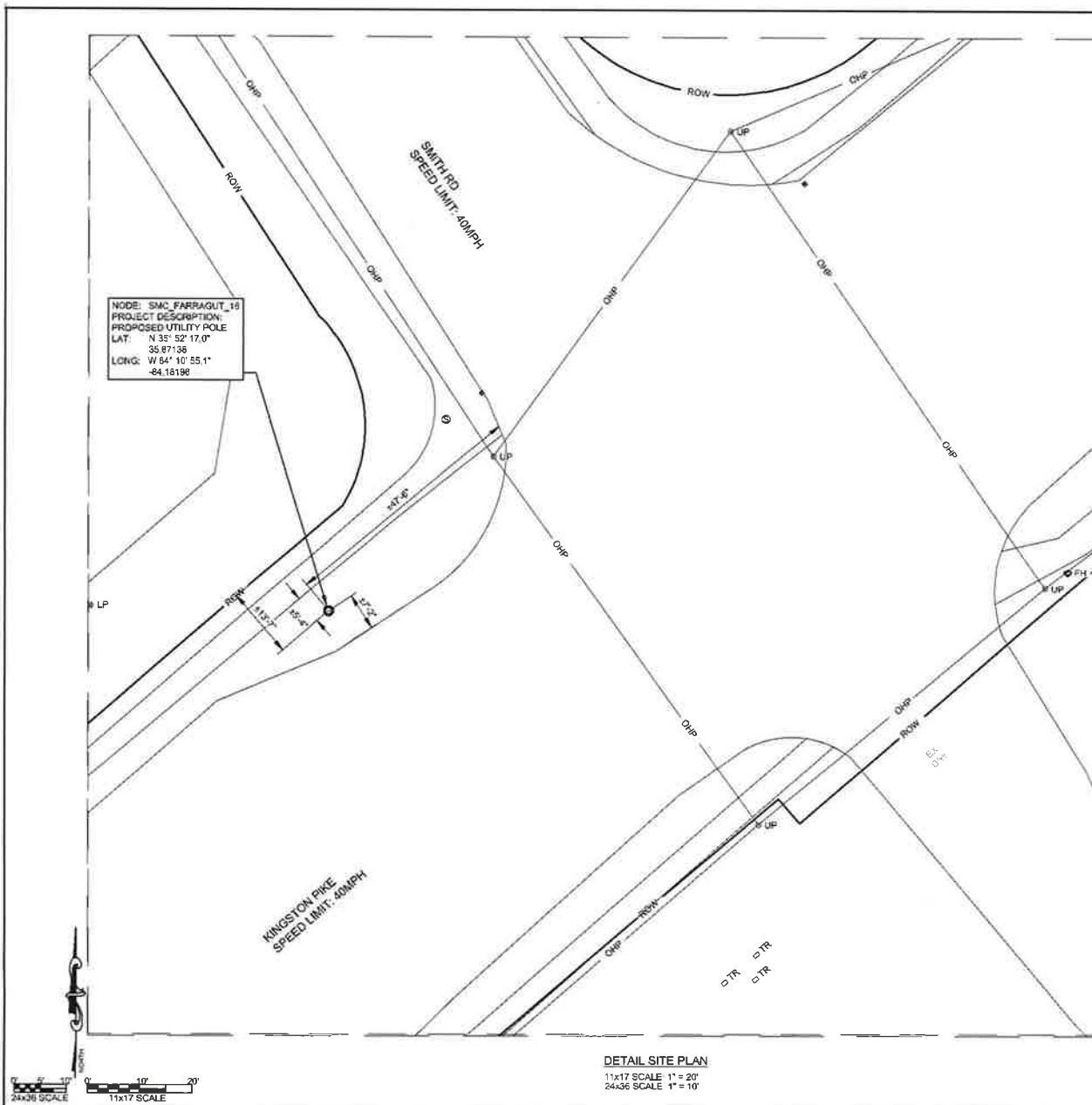
PROJECT INFORMATION

VERIZON SITE ID
SMC_FARRAGUT_16

NEAREST ADDRESS
12001 KINGSTON, PIKE
KNOXVILLE, TN 37934
(KNOX COUNTY)

SHEET TITLE:	
SITE PLAN	
SHEET NO.	REVISION
B1	0





- NOTES:**
1. SITE PLAN HAS BEEN DEVELOPED USING GOOGLE MAPS AND LOCAL GIS DATA. UTILITIES (IF SHOWN) ARE FROM ONLINE OR OTHER SOURCES AND HAVE NOT BEEN FIELD LOCATED. CONTRACTOR MUST LOCATE UTILITIES PRIOR TO START OF CONSTRUCTION.
 2. CONTRACTOR SHALL MAINTAIN UNINTERRUPTED ACCESS TO ALL DRIVEWAYS, SIDE STREETS AND WALKWAYS AT ALL TIMES UNLESS OTHERWISE PERMITTED.
 3. CONTRACTOR SHALL PREPARE A MAINTENANCE OF TRAFFIC (M.O.T.) PLAN FOR PEDESTRIAN TRAFFIC AND WORK WITHIN THE RIGHT-OF-WAY, INCLUDING VEHICLE PARKING AND EQUIPMENT STAGING.
 4. CONTRACTOR SHALL RESTORE ANY DISTURBED AREAS TO ORIGINAL CONDITION OR BETTER.
 5. POWER DELIVERY BY LENOIR CITY UTILITIES BOARD AT THEIR RECOMMENDATION, PERMITTED SEPARATELY.
 6. FIBER DELIVERY PROVIDED BY 1 FIBER, PERMITTED SEPARATELY.

- UTILITY NOTES:**
1. CONTRACTOR TO CONTACT LENOIR CITY UTILITIES BOARD TO INITIATE POWER ROUTE INSTALLATION.
 NAME: CUSTOMER SERVICE
 PHONE: 1 (844) 687-5282
 EMAIL: UNKNOWN
 2. POWER COMPANY WILL PROVIDE 100A — SERVICE FROM EXISTING — TO VZW PROPOSED UTILITY POLE.
 3. VZW CONTRACTOR WILL INSTALL A TOTAL OF ±15' OF 3" SCH40 CONDUIT ON PROPOSED POLE AT NODE LOCATION.
 4. VZW CONTRACTOR WILL PROVIDE THE METER BASE. POWER COMPANY WILL PROVIDE METER.

STREET LIGHT	○ STLT	FIBER MARKER	PM
POLE W/ LIGHT	○ STLT	PARKING METER	PM
UTILITY POLE	○ STLT	MANHOLE	MH
LIGHT POLE	○ UP W/ L	TELECO BOX	TCO
FIRE HYDRANT	○ LP	GAS VALVE	GV
TRAFFIC POLE	○ FH	TRANSFORMER	TR
HANDHOLE	○ TP	WATER VALVE	WV
WATER METER	○ WM	SEWER	SE
UTILITY MARKER	○ UM	PEDESTAL	PED
CULVERT		INLET	IN
TREE		CABINET	CAB
		DRAIN CRATE	DCR
		CROSSWALK	CW
		TRAFFIC SIGNAL	TS

OVERHEAD POWER	CHP
UNDERGROUND POWER	UGP
UNDERGROUND FIBER	UGF
UNDERGROUND GAS	UGG
WATER LINE	WTL
SEWER DRAIN	SDR
SEWER MAIN	SS
WALK OF WAY	WOW
EDGE OF PAVEMENT	EOP
FENCE	X
CENTER LINE	
PROPERTY LINE	
EXISTING BUILDING	
UTILITY LINES	
EXISTING SIDEWALK	
BACK OF CURB	
OVERHEAD CATV	CATV

PREPARED FOR:

1001 WILLIAMS BLVD
 KENNER, LA 70062

A&E FIRM:

1875 OLD ALABAMA ROAD, SUITE 100A
 ROSELLE, GA 30070
 TEL: 878-690-2338 FAX: 878-980-2542

REGISTERED PROFESSIONAL ENGINEER SEAL:

THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS
 PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN
 THAT WHICH RELATES TO THE CLIENT IS STRICTLY PROHIBITED.

REVISION

REV	DATE	DESCRIPTION
0	1/8/2020	ISSUED FOR CONSTRUCTION

DRAWN BY: BA CHECKED BY: JKP

CAUTION

FOREIGN UTILITY LOCATIONS ARE APPROXIMATE.
 CONTACT THE LOCAL ONE CALL AGENCY 48 HOURS PRIOR
 TO CONSTRUCTION FOR EXACT UTILITY LOCATION AT.

CONSTRUCTION SHALL NOTIFY THE JURISDICTION'S
 DEPARTMENT OF PUBLIC WORKS AND ENGINEERING,
 OFFICE OF THE CITY ENGINEER, 48 HOURS BEFORE
 STARTING WORK IN THIS PROJECT.

PROJECT INFORMATION:

VERIZON SITE ID
 SMC_FARRAGUT_18

NEAREST ADDRESS
 12001 KINGSTON, PIKE
 KNOXVILLE, TN 37934
 (KNOX COUNTY)

SHEET TITLE:

DETAIL SITE PLAN

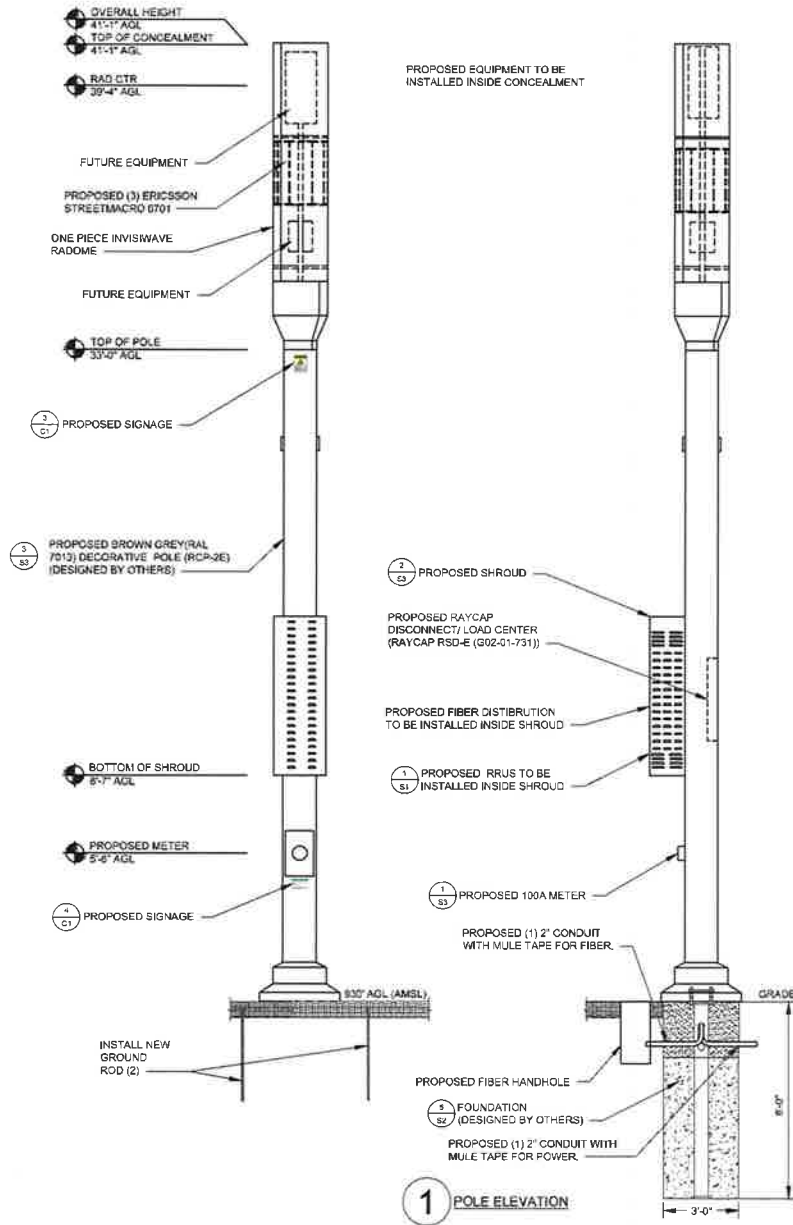
SHEET NO: B2	REVISION: 0
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DESIGN NOTES

1. TOWERSOURCE HAS NOT PERFORMED A STRUCTURAL ANALYSIS OF THIS POLE. POLE OWNER TO PROVIDE.
2. DESIGN IS BASED ON A 50' CLASS 2 WOOD UTILITY POLE.
3. MINIMUM EMBEDMENT SHALL BE 10% POLE LENGTH PLUS 2 FT. (WOOD POLES ONLY).
4. FIBER TRANSPORT DELIVERY CABLES WILL BE BURIED TO POLE.
5. POWER TRANSPORT DELIVERY CABLES WILL TO BE DETERMINED BY UTILITY.
6. CONTRACTOR WILL COORDINATE POWER AND FIBER SERVICE REQUIREMENTS AND INSTALLATIONS WITH UTILITY COMPANIES.
7. PRIOR TO CONSTRUCTION, CONTRACTOR TO COORDINATE POLE DESIGN WITH FINAL RF DESIGN COMPONENTS.
8. POLE SHALL BE CERTIFIED IN COMPLIANCE WITH ANSI 05.1 (WOOD POLES ONLY).
9. CONFIRM METER TYPE WITH POWER COMPANY.
10. FUTURE CARRIES TO BE ACCOMMODATED AND ABLE TO COLLOCATE ON THIS POLE.
11. PROPOSED POLE TO BE NON-BREAKAWAY.
12. PROPOSED LAA & CBR5 RADIOS TO BE POLE-MOUNTED NEAR ANTENNA TOP. CONTRACTOR TO MOUNT PER MANUFACTURER'S SPECIFICATIONS.

INSTALLATION NOTES

13. COMMUNICATION EQUIPMENT SHALL BE ARRANGED AND MOUNTED TO PROVIDE OTHER UTILITIES CLEAR CLIMBING SPACE TO THEIR EQUIPMENT ON THE POLE. PER NESC 236C.
14. ALL INSTALLATIONS SHALL COMPLY WITH THE CURRENT PUBLISHED ISSUES OF THE NATIONAL ELECTRIC SAFETY CODE (NESC), AND POLE ATTACHMENT STANDARDS FOR POLE OWNER.
15. RISER FOR ALL COMMUNICATION CABLES SHALL BE NON-METALLIC AND NON-CONDUCTING. THE RISER SHALL HAVE A MINIMUM OF 2 IN. SEPARATION FROM ANY THRU BOLT, METALLIC HARDWARE, OR ELECTRICAL CONDUCTOR (NESC RULE 239H).
16. ANYONE WORKING ABOVE THE LOWEST PLANE OF ANY ENERGIZED AND UNSHIELDED CONDUCTOR SHALL BE A QUALIFIED ELECTRIC SUPPLY LINE WORK. SEE NESC RULE 432 FOR DETAILS.



PROPOSED EQUIPMENT TO BE
INSTALLED INSIDE CONCEALMENT



2 INFORMATION SIGN



3 INFORMATION SIGN

PREPARED FOR:
verizon
1000 WILLIAMS BLVD
KENNER, LA 70062

A&E FIRM:
towersource
1475 OLD ALABAMA ROAD, SUITE 109A
ROSVILLE, GA 30076
TEL: 678-693-2338 FAX: 678-980-2342

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REVISION		
REV	DATE	DESCRIPTION
0	1/8/2020	ISSUED FOR CONSTRUCTION

DRAWN BY: BA CHECKED BY: JKP

CAUTION
FOREIGN UTILITY LOCATIONS ARE APPROXIMATE.
CONTACT THE LOCAL ONE CALL AGENCY 48 HOURS PRIOR
TO CONSTRUCTION FOR EXACT UTILITY LOCATION AT.

Tennessee 811

CONSTRUCTION SHALL NOTIFY THE JURISDICTIONS
DEPARTMENT OF PUBLIC WORKS AND ENGINEERING
OFFICE OF THE CITY ENGINEER 48 HOURS BEFORE
STARTING WORK IN THIS PROJECT.

PROJECT INFORMATION
VERIZON SITE ID
SMC_FARRAGUT_16
NEAREST ADDRESS
12001 KINGSTON, PIKE
KNOXVILLE, TN 37934
(KNOX COUNTY)

SHEET TITLE
POLE ELEVATION

SHEET NO. **C1** REVISION: **0**



CURRENT VIEW
(FROM NE LOOKING SW)



PROPOSED VIEW
(FROM NE LOOKING SW)

PREPARED FOR:
verizon
1000 WILLIAMS BLVD
KENNER, LA 70002

A&E FIRM:
towersource
1271 OLD ALABAMA ROAD, SUITE 1008
ROSVELL, GA 30005
TEL: 678-994-2338 FAX: 678-994-2342

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REVISION		
REV	DATE	DESCRIPTION
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DRAWN BY: BA CHECKED BY: JKP

CAUTION
FOREIGN UTILITY LOCATIONS ARE APPROXIMATE.
CONTACT THE LOCAL ONE CALL AGENCY 48 HOURS PRIOR
TO CONSTRUCTION FOR EXACT UTILITY LOCATION AT

Tennessee 811

CONSTRUCTION SHALL NOTIFY THE JURISDICTION'S
DEPARTMENT OF PUBLIC WORKS AND ENGINEERING
OFFICE OF THE CITY ENGINEER, 48 HOURS BEFORE
STARTING WORK IN THIS PROJECT.

PROJECT INFORMATION:
VERIZON SITE ID
SMC_FARRAGUT_16

NEAREST ADDRESS
12001 KINGSTON, PIKE
KNOXVILLE, TN 37934
(KNOX COUNTY)

SHEET TITLE:
PHOTO SIMS

SHEET NO. **C4.1** REVISION: **0**



CURRENT VIEW
(FROM E LOOKING W)



PROPOSED VIEW
(FROM E LOOKING W)

PREPARED FOR:	
verizon 1000 WILLIAMS BLVD BIRMINGHAM, AL 35202	
A&E FIRM:	
towersource 1875 OLD ALABAMA PIKE, SUITE 100 ROSELAND, GA 30067 TEL: 478-976-2228 FAX: 478-976-2242	
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REVISION	
REV	DATE
0	1/6/2020
ISSUED FOR CONSTRUCTION	
DRAWN BY: BA	
CHECKED BY: JKP	
CAUTION FORBIDDEN UTILITY LOCATIONS ARE APPROXIMATE. CONTACT THE LOCAL ONE CALL AGENCY 48 HOURS PRIOR TO CONSTRUCTION FOR EXACT UTILITY LOCATION AT	
	
CONSTRUCTION SHALL NOTIFY THE JURISDICTIONAL DEPARTMENT OF PUBLIC WORKS AND ENGINEERING OFFICE OF THE CITY ENGINEER, 48 HOURS BEFORE STARTING WORK IN THIS PROJECT.	
PROJECT INFORMATION	
VERIZON SITE ID SMC_FARRAGUT_16	
NEAREST ADDRESS 12001 KINGSTON, PIKE KNOXVILLE, TN 37934 (KNOX COUNTY)	
SHEET TITLE:	
PHOTO SIMS	
SHEET NO.	REVISION
C4.2	0

Node 8

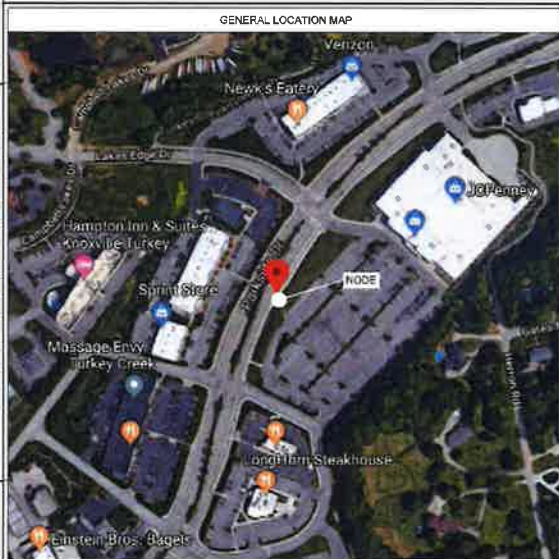
PREPARED FOR:	
	
PROJECT INFORMATION	
VERIZON SITE ID:	SMC_FARRAGUT_10_5G_010
PROJECT DESCRIPTION:	PROPOSED UTILITY POLE
NEAREST ADDRESS: (E911 ADDRESS PENDING):	PARKSIDE DR. FARRAGUT, TN 37934
POLE OWNER:	TOWN OF FARRAGUT
LATITUDE:	N 35° 53' 46.3" 35.896190
LONGITUDE:	W 84° 10' 13.3" -84.170350
GROUND ELEVATION:	(AMSL) = 985 ±
PRESENT OCCUPANCY TYPE:	PUBLIC ROW
JURISDICTION:	TOWN OF FARRAGUT
ROW JURISDICTION:	TOWN OF FARRAGUT
COUNTY:	KNOX
DISTURBED AREA:	25 SQ FT ±
CURRENT ZONING:	N/A
PARCEL ID #:	N/A
APPLICANT:	VERIZON WIRELESS 8621 RESEARCH DRIVE CHARLOTTE, NC 28262 JASON KOZORA 252-201-8602
PROJECT MANAGER:	VERIZON WIRELESS 8621 RESEARCH DRIVE CHARLOTTE, NC 28262 JASON KOZORA 252-201-8602
ENGINEER:	TOWERSOURCE 1875 OLD ALABAMA ROAD, SUITE 1005 ROSWELL, GA 30078 678-990-2338

CALL PROJECT MANAGER BEFORE CONSTRUCTION STARTS			
SHEET	SHEET TITLE	REV	
A1	TITLE SHEET	0	
EN	ELECTRICAL NOTES	0	
B1	SITE PLAN	0	
B2	DETAILED SITE PLAN	0	
C1	POLE ELEVATION	0	
C2	TRAFFIC CONTROL	0	
C3	DETAILS	0	
C4.1	PHOTOSIM (1)	0	
C4.2	PHOTOSIM (2)	0	
E1	ONE LINE DIAGRAM	0	
E2	GROUNDING DETAILS	0	
S1	EQUIPMENT SPECS	0	
S2	EQUIPMENT SPECS	0	

LOCAL AGENCIES	NOTES
FARRAGUT TOWN ENGINEER: JASON KOZORA CONTACT: 252-201-8602 ADDRESS: 8621 RESEARCH DRIVE CHARLOTTE, NC 28262	ALL WORK AND MATERIALS SHALL BE PROVIDED AND PROVIDED TO ACCORDANCE WITH THE TOWNSHIP OF FARRAGUT, TN. THE TOWNSHIP OF FARRAGUT, TN. THE TOWNSHIP OF FARRAGUT, TN. THE TOWNSHIP OF FARRAGUT, TN. THE TOWNSHIP OF FARRAGUT, TN. THE TOWNSHIP OF FARRAGUT, TN. THE TOWNSHIP OF FARRAGUT, TN. THE TOWNSHIP OF FARRAGUT, TN. THE TOWNSHIP OF FARRAGUT, TN.

- GENERAL NOTES:**
- FOR THE PURPOSE OF CONSTRUCTION DRAWINGS, THE FOLLOWING DEFINITIONS SHALL APPLY:
GENERAL CONTRACTOR (CONSTRUCTION OWNER - VERIZON)
 - ALL SITE WORK SHALL BE COMPLETED AS INDICATED ON THE DRAWINGS AND VERIZON PROJECT SPECIFICATIONS. THE CONTRACTOR MUST HAVE CONSIDERABLE EXPERIENCE IN PERFORMANCE OF WORK SIMILAR TO THAT DESCRIBED HEREIN. BY ACCEPTANCE OF THIS ASSIGNMENT, THE CONTRACTOR IS ATTESTING THAT HE DOES HAVE SUFFICIENT EXPERIENCE AND ABILITY THAT HE IS KNOWLEDGEABLE OF THE WORK TO BE PERFORMED AND THAT HE IS PROPERLY LICENSED AND PROPERLY REGISTERED TO DO THIS WORK IN THE STATE OF TENNESSEE.
 - GENERAL CONTRACTOR SHALL VISIT THE SITE AND SHALL FAMILIARIZE HIMSELF WITH ALL CONDITIONS AFFECTING THE PROPOSED WORK AND SHALL MAKE PROVISIONS. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH ALL CONTRACT DOCUMENTS, FIELD CONDITIONS, DIMENSIONS, AND CONFIRMING THAT THE WORK MAY BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE COMMENCEMENT OF WORK.
 - ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES. GENERAL CONTRACTOR SHALL ISSUE ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF WORK. ALL WORK CARRIED OUT SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONAL CODES, ORDINANCES AND APPLICABLE REGULATIONS.
 - UNLESS NOTED OTHERWISE, THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES, AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.
 - PLANS ARE NOT TO BE SCALED. THESE PLANS ARE INTENDED TO BE A DIAGRAMMATIC OUTLINE ONLY UNLESS OTHERWISE NOTED. DIMENSIONS SHOWN ARE TO FINISH SURFACES UNLESS OTHERWISE NOTED. SPACING BETWEEN EQUIPMENT IS THE MINIMUM REQUIRED CLEARANCE. THEREFORE, IT IS CRITICAL TO FIELD VERIFY DIMENSIONS. SHOULD THERE BE ANY QUESTIONS REGARDING THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE ENGINEER PRIOR TO PROCEEDING WITH THE WORK. DETAILS ARE INTENDED TO SHOW DESIGN INTENT. MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF WORK AND PREPARED BY THE ENGINEER PRIOR TO PROCEEDING WITH WORK.
 - THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.
 - IF THE SPECIFIED EQUIPMENT CANNOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION SPACE FOR APPROVAL BY THE ENGINEER PRIOR TO PROCEEDING.
 - GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF WORK AREA, ADJACENT AREAS AND BUILDING OCCUPANTS THAT ARE LIKELY TO BE AFFECTED BY THE WORK UNDER THIS CONTRACT. WORK SHALL CONFORM TO ALL OSHA REQUIREMENTS AND THE LOCAL JURISDICTION.
 - ERECTOR SHALL BE DONE IN A WORKMANLIKE MANNER BY COMPETENT EXPERIENCED WORKMAN IN ACCORDANCE WITH APPLICABLE CODES AND THE BEST ACCEPTED PRACTICE. ALL MEMBERS SHALL BE LAD PLUMB AND TRUE AS INDICATED ON THE DRAWINGS.
 - THE CONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS, PAYMENTS, CURBS, LANDSCAPING AND STRUCTURES. ANY DAMAGED PART SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER.
 - THE CONTRACTOR SHALL CONTACT UTILITY LOCATING SERVICES MIN 48 HOURS PRIOR TO THE START OF CONSTRUCTION. THE GENERAL CONTRACTOR SHALL COORDINATE AND MAINTAIN ACCESS FOR ALL TRADERS AND CONTRACTORS TO THE SITE AND/OR BUILDING.
 - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SECURITY OF THE SITE FOR THE DURATION OF CONSTRUCTION UNTIL JOB COMPLETION.
 - THE GENERAL CONTRACTOR SHALL MAINTAIN IN GOOD CONDITION ONE COMPLETE SET OF PLANS WITH ALL REVISIONS, ADDENDA, AND CHANGE ORDERS ON THE PREMISES AT ALL TIMES.
 - THE GENERAL CONTRACTOR SHALL PROVIDE PORTABLE FIRE EXTINGUISHERS WITH A RATING OF NOT LESS THAN 5A OF 2A:10B C AND SHALL BE WITHIN 25 FEET OF TRAVEL DISTANCE TO ALL PORTIONS OF WHERE THE WORK IS BEING COMPLETED DURING CONSTRUCTION.
 - ALL EXISTING ACTIVE BEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES SHALL BE PROTECTED AND FREE FROM OBSTRUCTION AT ALL TIMES AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK SHALL BE RELOCATED AS DIRECTED BY THE GOVERNING UTILITY COMPANY ENGINEER.
 - CONTRACTOR SHALL MINIMIZE DISTURBANCE TO THE EXISTING SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES, IF REQUIRED DURING CONSTRUCTION, SHALL BE IN CONFORMANCE WITH THE FEDERAL AND LOCAL JURISDICTION FOR EROSION AND SEDIMENT CONTROL.
 - THE SUBGRADE SHALL BE BROUGHT TO A SMOOTH UNIFORM GRADE AND COMPACTED TO 95 PERCENT STANDARD PROCTOR DENSITY UNDER PAVEMENT AND STRUCTURES AND 90 PERCENT STANDARD PROCTOR DENSITY IN OPEN SPACE. ALL TRENCHES IN PUBLIC RIGHT OF WAY SHALL BE BACKFILLED WITH FLOWABLE FILL OR OTHER MATERIAL PRE-APPROVED BY THE LOCAL JURISDICTION.
 - ALL NECESSARY RUBBISH, STUMPS, DEBRIS, STICKS, STONES, AND OTHER REFUSE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LAWFUL MANNER.
 - ALL BROCHURES, OPERATING AND MAINTENANCE MANUALS, CATALOGS, SHOP DRAWINGS, AND OTHER DOCUMENTS SHALL BE TURNED OVER TO VERIZON AT COMPLETION OF CONSTRUCTION AND PRIOR TO PAYMENT.
 - CONTRACTOR SHALL SUBMIT A COMPLETE SET OF AS-BUILT RECORDS TO VERIZON UPON COMPLETION OF PROJECT AND PRIOR TO FINAL PAYMENT.
 - ALL MATERIAL SHALL BE FURNISHED AND WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST REVISION VERIZON MOBILITY GROUNDING STANDARD TECHNICAL SPECIFICATION FOR CONSTRUCTION OF GSM/GPRS WIRELESS SITES AND TECHNICAL SPECIFICATION FOR FACILITY GROUNDING. IN CASE OF A CONFLICT BETWEEN THE CONSTRUCTION SPECIFICATION AND THE DRAWINGS, THE DRAWINGS SHALL GOVERN.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS REQUIRED FOR CONSTRUCTION. IF CONTRACTOR CANNOT OBTAIN A PERMIT, THEY MUST NOTIFY THE GENERAL CONTRACTOR IMMEDIATELY.
 - CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE ON A DAILY BASIS. ALL WASTE MATERIALS TO BE REMOVED FROM SITE PRIOR TO SUBSTANTIAL COMPLETION AND PRIOR TO FINAL ACCEPTANCE.
 - THE CONTRACTOR SHALL GUARANTEE THE WORK PERFORMED ON THE PROJECT BY THE CONTRACTOR AND ANY OR ALL OF THE SUBCONTRACTORS WHO PERFORMED WORK FOR THE CONTRACTOR ON THIS PROJECT. THE GUARANTEE SHALL BE FOR ONE FULL YEAR FOLLOWING ISSUANCE OF THE FINAL PAYMENT OF RETAINAGE. ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR ONE YEAR FROM ACCEPTANCE DATE.
 - THE CONTRACTOR AND ITS SUBCONTRACTORS SHALL CARRY LIABILITY INSURANCE IN THE AMOUNTS AND FORM IN ACCORDANCE WITH LESSEE SPECIFICATIONS. CERTIFICATES DEMONSTRATING PROOF OF COVERAGE SHALL BE PROVIDED TO LESSEE PRIOR TO THE START OF THE WORK ON THE PROJECT.
 - THE CONTRACTOR SHALL REWORK (DRY, SCARIFY, ETC) ALL MATERIAL NOT SUITABLE FOR SUBGRADE IN ITS PRESENT STATE. AFTER REWORKING IF THE MATERIAL REMAINS UNSUITABLE, THE CONTRACTOR SHALL UNDERGO THE MATERIAL AND REPLACE WITH APPROVED MATERIAL. ALL SUBGRADES SHALL BE PROOFROLLED WITH A FULLY LOADED TANDEM AXLE DUMP TRUCK PRIOR TO PAVING. ANY SOFT MATERIAL SHALL BE REWORKED AND REPLACED.
 - TEMPORARY FACILITIES FOR PROTECTION OF TOOLS AND EQUIPMENT SHALL CONFORM TO LOCAL REGULATIONS AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY.

DRIVING DIRECTIONS FROM VERIZON WIRELESS HEADQUARTERS IN CHARLOTTE:			
HEAD SOUTHWEST	0.1 MI	MERGE WITH US-74 W	22.5 MI
CONTINUE STRAIGHT	75 FT	CONTINUE ONTO US-74 W	33.0 MI
TURN RIGHT ONTO RESEARCH DR	0.4 MI	US-74 W TURNS SLIGHTLY RIGHT AND BECOMES I-85 IUS-74 W	34.4 MI
TURN LEFT ONTO W.W. HARRIS BLVD	0.4 MI	KEEP LEFT AT THE Y JUNCTION TO CONTINUE ON I-85 W	3.9 MI
TURN RIGHT TO MERGE WITH I-85 S	0.3 MI	MERGE WITH I-85 W	124 MI
MERGE WITH I-85 S	33.9 MI	USE THE RIGHT 2 LANES TO TAKE EXIT 373 FOR CAMPBELL STATION RD TOWARD FARRAGUT	5.3 MI
TAKE EXIT 158 TO MERGE WITH US-74 W TOWARD KINGS MOUNTAIN/SHREVEY	0.5 MI		



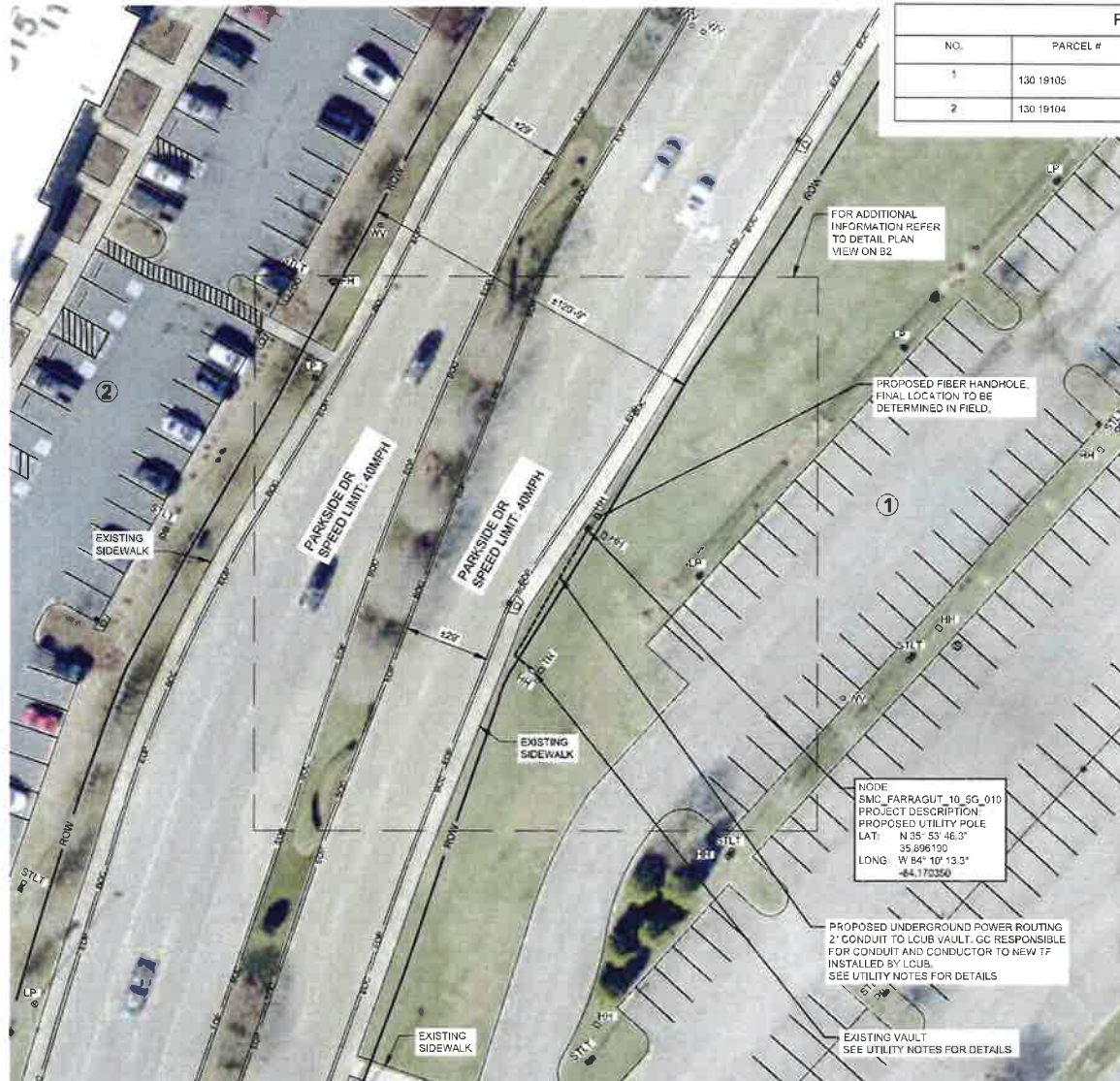
PREPARED FOR:	
	
1800 WILLIAMS BLVD KENNER, LA 70002	
A&E FIRM: 	
1875 OLD ALABAMA ROAD, SUITE 1009 ROSWELL, GA 30078 TEL: 678-990-2338 FAX: 678-990-2342	
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REVISION	
REV	DATE DESCRIPTION
0	1/6/2020 ISSUED FOR CONSTRUCTION
DRAWN BY: DS CHECKED BY: JKP	

CAUTION
 FOREIGN UTILITY LOCATIONS ARE APPROXIMATE.
 CONTACT THE LOCAL ONE CALL AGENCY 48 HOURS PRIOR
 TO CONSTRUCTION FOR EXACT UTILITY LOCATION AT:



CONSTRUCTION SHALL NOTIFY THE JURISDICTIONS,
 DEPARTMENT OF PUBLIC WORKS AND ENGINEERING,
 OFFICE OF THE CITY ENGINEER, 48 HOURS BEFORE
 STARTING WORK IN THIS PROJECT.

PROJECT INFORMATION:	
VERIZON SITE ID SMC_FARRAGUT_10_5G_010	
NEAREST ADDRESS PARKSIDE DR. FARRAGUT, TN 37934 (KNOX COUNTY)	
SHEET TITLE: TITLE SHEET	
SHEET NO.	REVISON:
A1	0



SITE PLAN
11x17 SCALE: 1" = 40'
24x36 SCALE: 1" = 20'

PROPERTY INFORMATION

NO.	PARCEL #	N/F PROPERTY OWNER	DEED BOOK	PAGE
1	130 19105	TURKEY CREEK LAND PARTNER LLC	N/A	N/A
2	130 19104	FARRAGUT LAND PARTNERS LLC	N/A	N/A

NOTES

1. SITE PLAN HAS BEEN DEVELOPED USING GOOGLE MAPS AND LOCAL GIS DATA. UTILITIES (IF SHOWN) ARE FROM ONLINE OR OTHER SOURCES AND HAVE NOT BEEN FIELD LOCATED. CONTRACTOR MUST LOCATE UTILITIES PRIOR TO START OF CONSTRUCTION.
2. CONTRACTOR SHALL MAINTAIN UNINTERRUPTED ACCESS TO ALL DRIVEWAYS, SIDE STREETS AND WALKWAYS AT ALL TIMES UNLESS OTHERWISE PERMITTED.
3. CONTRACTOR SHALL PREPARE A MAINTENANCE OF TRAFFIC (M.O.T.) PLAN FOR PEDESTRIAN TRAFFIC AND WORK WITHIN THE RIGHT-OF-WAY, INCLUDING VEHICLE PARKING AND EQUIPMENT STAGING.
4. CONTRACTOR SHALL RESTORE ANY DISTURBED AREAS TO ORIGINAL CONDITION OR BETTER.
5. POWER DELIVERY BY LENOIR CITY UTILITY BOARD AT THEIR RECOMMENDATION, PERMITTED SEPARATELY.
6. FIBER DELIVERY PROVIDED BY 1 FIBER, PERMITTED SEPARATELY.

UTILITY NOTES

1. CONTRACTOR TO CONTACT LENOIR CITY UTILITY BOARD TO INITIATE POWER ROUTE INSTALLATION.
NAME: CUSTOMER SERVICE
PHONE: 1 (844) 687-5282
EMAIL: TBD
2. POWER COMPANY WILL PROVIDE UNDERGROUND SERVICE FROM EXISTING VAULT TO VZW PROPOSED UTILITY POLE.
3. VZW CONTRACTOR WILL PROVIDE THE METER BASE, POWER COMPANY WILL PROVIDE METER.

STREET LIGHT	STLT	FIBER MARKER	PAI
POLE W/ LIGHT	STLT	PARKING METER	PAI
UTILITY POLE	STLT	MANHOLE	MH
LIGHT POLE	UP W/ L	TELECO BOX	TCB
FIRE HYDRANT	LP	GAS VALVE	GV
TRAFFIC POLE	FH	TRANSFORMER	TR
HANDHOLE	TP	WATER VALVE	WV
WATER METER	HH	SEWER	S
UTILITY MARKER	WM	PEDESTAL	PED
CULVERT	UM	INLET	I
TREE		CABINET	C
		DRAIN CRATE	DC
		CROSSWALK	
		TRAFFIC SIGNAL	

OVERHEAD POWER	CHP
UNDERGROUND POWER	UGP
UNDERGROUND FIBER	UGF
UNDERGROUND GAS	UGG
WATER LINE	WTL
STORM SEWER	STS
CANALY SEWER	SS
RIGHT OF WAY	ROW
BOUNDARY	BOU
EXISTING BUILDING	EB
EXISTING DRIVEWAY	ED
EXISTING SIDEWALK	ES
EXISTING DRIVEWAY	ED
EXISTING DRIVEWAY	ED

PREPARED FOR:

verizon

1000 WILLIAMS BLVD
KENNER, LA 70002

A&E FIRM:

towersource

1401 OLD ALABAMA ROAD, SUITE 100
ROSELAND, LA 70068
TEL: 504-755-2351 FAX: 504-755-2352

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REVISION

REV	DATE	DESCRIPTION
0	1/6/2020	ISSUED FOR CONSTRUCTION

DRAWN BY: DS CHECKED BY: JKP

CAUTION

FOREIGN UTILITY LOCATIONS ARE APPROXIMATE.
CONTACT THE LOCAL ONE CALL AGENCY 48 HOURS PRIOR
TO CONSTRUCTION FOR EXACT UTILITY LOCATION AT.



CONSTRUCTION SHALL NOTIFY THE JURISDICTION'S
DEPARTMENT OF PUBLIC WORKS AND ENGINEERING
OFFICE OF THE CITY ENGINEER, 48 HOURS BEFORE
STARTING WORK IN THIS PROJECT.

PROJECT INFORMATION

VERIZON SITE ID
SMC_FARRAGUT_10_SG_010

NEAREST ADDRESS
PARKSIDE DR,
FARRAGUT, TN 37934
(KNOX COUNTY)

SHEET TITLE:

SITE PLAN

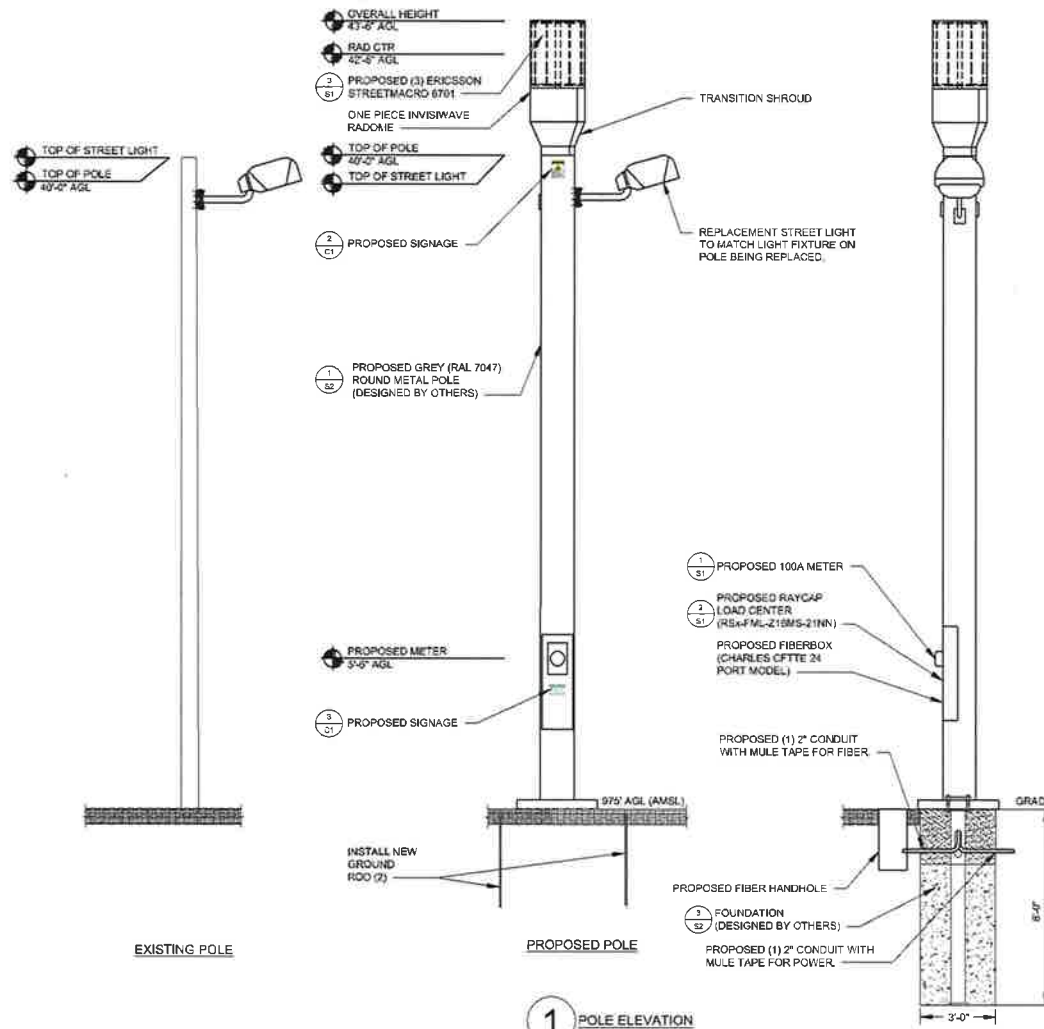
SHEET NO.

B1

REVISION

0

PROPOSED EQUIPMENT TO BE
INSTALLED INSIDE CONCEALMENT



ANTENNA SCHEDULE NOTES

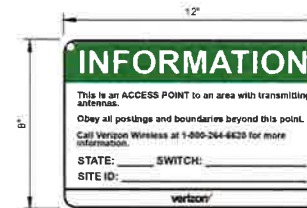
1. CONTRACTOR TO MOUNT ANTENNAS PER MANUFACTURER'S SPECIFICATIONS
2. CONTRACTOR TO REFERENCE VZW ISSUED RFDS AND GIVE PRECEDENCE TO
3. VERIFY LOADING WITH STRUCTURAL ANALYSIS PRIOR TO CONSTRUCTIONS

DESIGN NOTES

1. FIBER TRANSPORT DELIVERY CABLES WILL BE BURIED TO POLE
2. POWER TRANSPORT DELIVERY CABLES WILL BE BURIED TO POLE
3. CONTRACTOR WILL COORDINATE POWER AND FIBER SERVICE REQUIREMENTS AND INSTALLATIONS WITH UTILITY COMPANIES. PRIOR TO CONSTRUCTION, CONTRACTOR TO COORDINATE POLE DESIGN WITH FINAL RF DESIGN COMPONENTS
5. CONFIRM METER TYPE WITH POWER COMPANY.

INSTALLATION NOTES

6. ALL INSTALLATIONS SHALL COMPLY WITH THE CURRENT PUBLISHED ISSUES OF THE NATIONAL ELECTRIC SAFETY CODE (NEC), AND POLE ATTACHMENT STANDARDS FOR POLE OWNER.



PREPARED FOR:

verizon

1000 WILLIAMS BLVD
KENNER, LA 70062

A&E FIRM:

towersource

1875 OLD ALABAMA ROAD, SUITE 100A
ROSBELL, GA 30076
TEL: 878-604-2338 FAX: 878-604-2342

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REVISION

REV	DATE	DESCRIPTION
0	1/6/2020	ISSUED FOR CONSTRUCTION

DRAWN BY: DS

CHECKED BY: JKP

CAUTION

FOREIGN UTILITY LOCATIONS ARE APPROXIMATE. CONTRACT THE LOCAL ONE CALL AGENCY 48 HOURS PRIOR TO CONSTRUCTION FOR EXACT UTILITY LOCATION AT:



CONSTRUCTION SHALL NOTIFY THE AIRBORNE DIVISION, DEPARTMENT OF PUBLIC WORKS AND ENGINEERING, OFFICE OF THE CITY ENGINEER 48 HOURS BEFORE STARTING WORK IN THIS PROJECT.

PROJECT INFORMATION:

VERIZON SITE ID
SMC_FARRAGUT_10_5G_010

NEAREST ADDRESS
PARKSIDE DR.
FARRAGUT, TN 37934
(KNOX COUNTY)

SHEET TITLE:

POLE ELEVATION

SHEET NO.

C1

REVISION

0



CURRENT VIEW
(FROM NE LOOKING SW)



PROPOSED VIEW
(FROM NE LOOKING SW)

PREPARED FOR: 1001 WILLIAMS BLVD KENNER, LA 70022		
A/E FIRM: 1475 OLD ALABAMA ROAD, SUITE 100 ROSNWELL, GA 30078 TEL: 678-680-2338 FAX: 678-390-2342		
REGISTERED PROFESSIONAL ENGINEER SEAL: THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPERTY OF TOWERSOURCE. ANY USE OR REPRODUCTION OTHER THAN THAT WHICH RELATES TO THE CLIENT IS STRICTLY PROHIBITED.		
REVISION		
REV	DATE	DESCRIPTION
0	1/8/2020	ISSUED FOR CONSTRUCTION
DRAWN BY: DS		CHECKED BY: JKP
CAUTION FOREIGN UTILITY LOCATIONS ARE APPROXIMATE. CONTACT THE LOCAL ONE CALL AGENCY 48 HOURS PRIOR TO CONSTRUCTION FOR EXACT UTILITY LOCATION AT.		
 CONSTRUCTION SHALL NOTIFY THE JURISDICTIONS DEPARTMENT OF PUBLIC WORKS AND ENGINEERING OFFICE OF THE CITY ENGINEER, 48 HOURS BEFORE STARTING WORK IN THIS PROJECT.		
PROJECT INFORMATION: VERIZON SITE ID SMC_FARRAGUT_10_5G_010 NEAREST ADDRESS PARKSIDE DR. FARRAGUT, TN 37934 (KNOX COUNTY)		
SHEET TITLE: PHOTO SIMS		
SHEET NO.	C4.1	REVISION
		0



CURRENT VIEW
(FROM SW LOOKING NE)



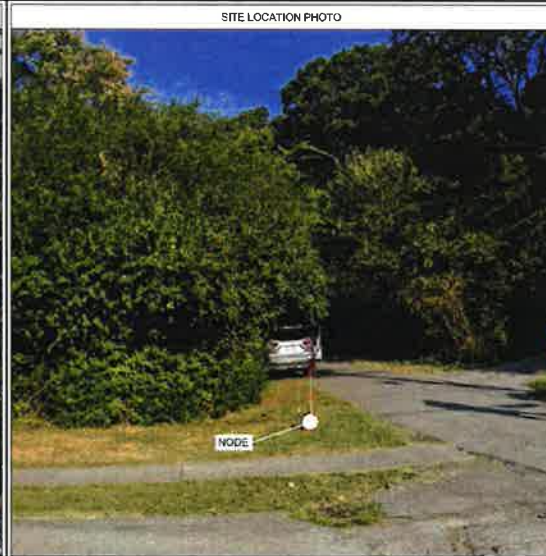
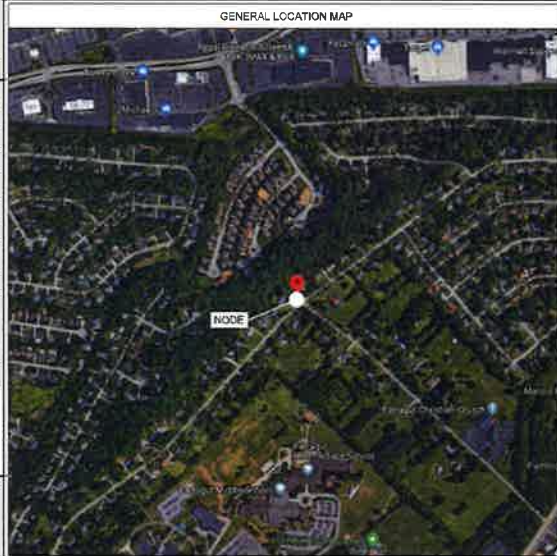
PROPOSED VIEW
(FROM SW LOOKING NE)

PREPARED FOR: verizon 1001 WILLIAMS BLVD KENNER, LA 70062							
A&E FIRM: 1405 OLD ALABAMA ROAD, SUITE 100K ROSWELL, GA 30076 TEL: 878-480-2236 FAX: 878-680-2342							
REGISTERED PROFESSIONAL ENGINEER SEAL: THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO THE CLIENT IS STRICTLY PROHIBITED.							
REVISION <table border="1"> <thead> <tr> <th>REV</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>0</td> <td>1/6/2020</td> <td>ISSUED FOR CONSTRUCTION</td> </tr> </tbody> </table>		REV	DATE	DESCRIPTION	0	1/6/2020	ISSUED FOR CONSTRUCTION
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0	1/6/2020	ISSUED FOR CONSTRUCTION					
DRAWN BY: DS CHECKED BY: JKP							
CAUTION FOREIGN UTILITY LOCATIONS ARE APPROXIMATE. CONTACT THE LOCAL ONE CALL AGENCY 48 HOURS PRIOR TO CONSTRUCTION FOR EXACT UTILITY LOCATION AT: CONSTRUCTION SHALL NOTIFY THE JURISDICTIONS, DEPARTMENT OF PUBLIC WORKS AND ENGINEERING, OFFICE OF THE CITY ENGINEER, 48 HOURS BEFORE STARTING WORK IN THIS PROJECT.							
PROJECT INFORMATION: VERIZON SITE ID SMC_FARRAGUT_10_5G_010 NEAREST ADDRESS PARKSIDE DR. FARRAGUT, TN 37934 (KNOX COUNTY)							
SHEET TITLE: PHOTO SIMS							
SHEET NO. C4.2	REVISION: 0						

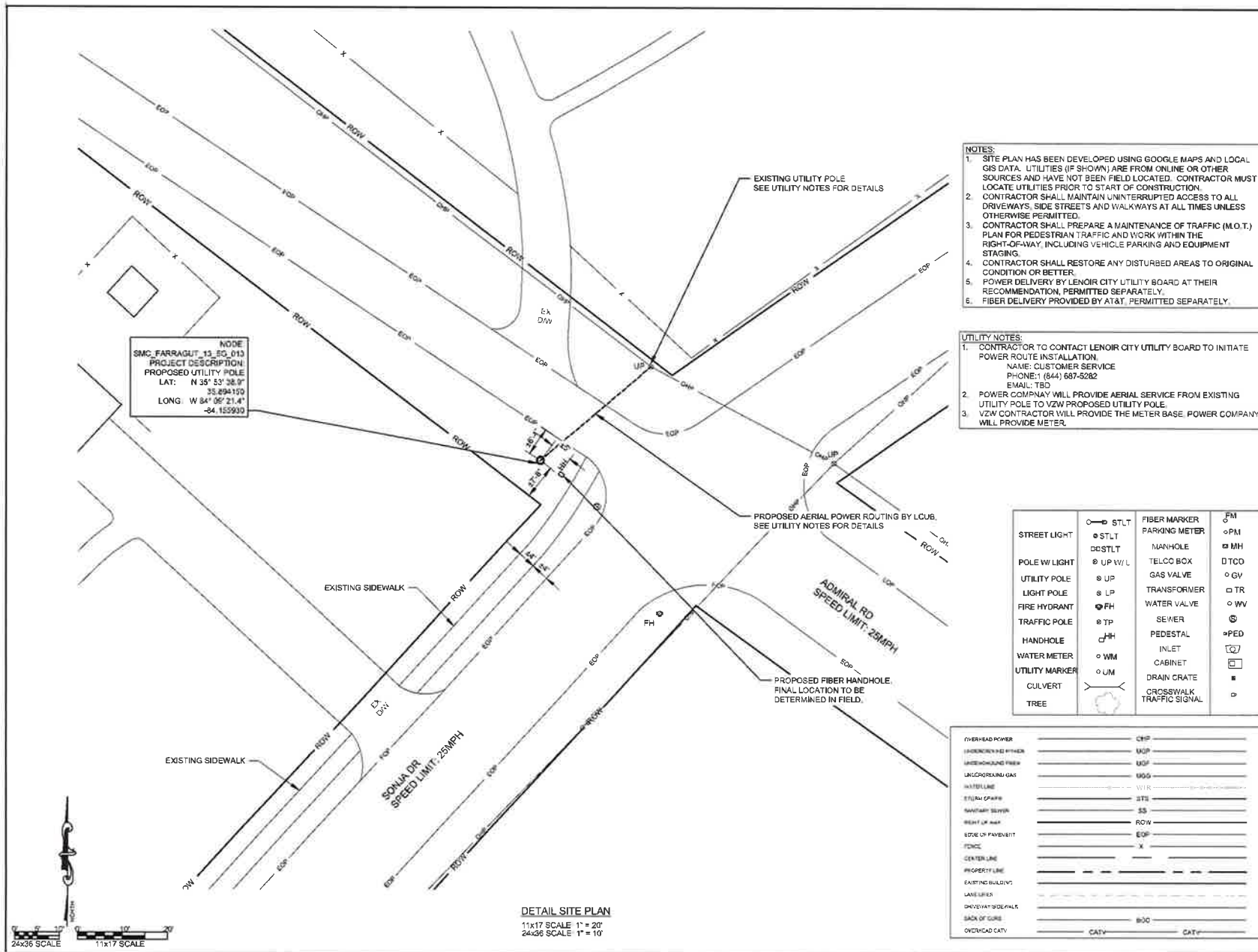
PREPARED FOR:		
		
PROJECT INFORMATION		
VERIZON SITE ID	SMC_FARRAGUT_13_5G_013	
PROJECT DESCRIPTION:	PROPOSED UTILITY POLE	
NEAREST ADDRESS: (E911 ADDRESS PENDING)	SONJA DR. FARRAGUT, TN 37934	
POLE OWNER	VERIZON WIRELESS	
LATITUDE:	N 35° 53' 38.9" 35.894150	
LONGITUDE:	W 84° 09' 21.4" -84.155930	
GROUND ELEVATION:	(AMSL) = 1029 ±	
PRESENT OCCUPANCY TYPE:	PUBLIC ROW	
JURISDICTION:	TOWN OF FARRAGUT	
ROW JURISDICTION:	TOWN OF FARRAGUT	
COUNTY:	KNOX COUNTY	
DISTURBED AREA:	25 SQ FT ±	
CURRENT ZONING	N/A	
PARCEL ID #:	N/A	
APPLICANT:	VERIZON WIRELESS 8921 RESEARCH DRIVE CHARLOTTE, NC 28262 JASON KCOZRA 252-201-6602	
PROJECT MANAGER	VERIZON WIRELESS 8921 RESEARCH DRIVE CHARLOTTE, NC 28262 JASON KCOZRA 252-201-6602	
ENGINEER	TOWERSOURCE 1875 OLD ALABAMA ROAD, SUITE 1009 ROSWELL, GA 30078 578-990-2338	
CALL PROJECT MANAGER BEFORE CONSTRUCTION STARTS		
SHEET	SHEET TITLE	REV
A1	TITLE SHEET	0
EN	ELECTRICAL NOTES	0
B1	SITE PLAN	0
B2	DETAIL SITE PLAN	0
C1	POLE ELEVATION	0
C2	TRAFFIC CONTROL	0
C3	DETAILS	0
C4.1	PHOTOSIM (1)	0
C4.2	PHOTOSIM (2)	0
E1	ONE LINE DIAGRAM	0
E2	GROUNDING DETAILS	0
S1	EQUIPMENT SPECS	0
REVISIONS	DATE	DESCRIPTION
0	1/6/2020	ISSUED FOR CONSTRUCTION

GENERAL NOTES			
1. FOR THE PURPOSE OF CONSTRUCTION DRAWINGS, THE FOLLOWING DEFINITIONS SHALL APPLY:			
2. GENERAL CONTRACTOR (CONSTRUCTION) OWNER - VERIZON			
3. ALL SITE WORK SHALL BE COMPLETED AS INDICATED ON THE DRAWINGS AND VERIZON PROJECT SPECIFICATIONS. THE CONTRACTOR MUST HAVE CONSIDERABLE EXPERIENCE IN PERFORMANCE OF WORK SIMILAR TO THAT DESCRIBED HEREIN BY ASSIGNMENT. THE CONTRACTOR IS ATTESTING THAT HE DOES HAVE SUFFICIENT EXPERIENCE AND ABILITY THAT HE IS KNOWN/DEARABLE OF THE WORK TO BE PERFORMED AND THAT HE IS PROPERLY LICENSED AND PROPERLY REGISTERED TO DO THIS WORK IN THE STATE OF TENNESSEE.			
4. GENERAL CONTRACTOR SHALL VISIT THE SITE AND SHALL FAMILIARIZE HIMSELF WITH ALL CONDITIONS AFFECTING THE PROPOSED WORK AND SHALL MAKE PROVISIONS. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH ALL CONTRACT DOCUMENTS, FIELD CONDITIONS, DIMENSIONS, AND COVERINGS THAT THE WORK MAY BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE COMMENCEMENT OF WORK.			
5. ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES. GENERAL CONTRACTOR SHALL ISSUE ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS, AND LAWS, ORDINANCES OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF WORK. ALL WORK CARRIED OUT SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONAL CODES, ORDINANCES, AND APPLICABLE REGULATIONS.			
6. UNLESS NOTED OTHERWISE, THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES, AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.			
7. PLANS ARE NOT TO BE SCALED. THESE PLANS ARE INTENDED TO BE A DIAGNOSTIC OUTLINE ONLY. UNLESS OTHERWISE NOTED, DIMENSIONS SHOWN ARE TO FINISH SURFACES UNLESS OTHERWISE NOTED. SPACING BETWEEN EQUIPMENT IS THE MINIMUM REQUIRED CLEARANCE. THEREFORE, IT IS CRITICAL TO FIELD VERIFY DIMENSIONS. SHOULD THERE BE ANY QUESTIONS REGARDING THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE ENGINEER PRIOR TO PROCEEDING WITH THE WORK. DETAILS ARE INTENDED TO SHOW DESIGN INTENT. MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF WORK AND PREPARED BY THE ENGINEER PRIOR TO PROCEEDING WITH WORK.			
8. THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.			
9. IF THE SPECIFIED EQUIPMENT CANNOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION SPACE FOR APPROVAL BY THE ENGINEER PRIOR TO PROCEEDING.			
10. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF WORK AREA, ADJACENT AREAS AND BUILDING OCCUPANTS THAT ARE LIKELY TO BE AFFECTED BY THE WORK UNDER THIS CONTRACT. WORK SHALL CONFORM TO ALL OSHA REQUIREMENTS AND THE LOCAL JURISDICTION.			
11. ERECTION SHALL BE DONE IN A WORKMANLIKE MANNER BY COMPETENT EXPERIENCED WORKMAN IN ACCORDANCE WITH APPLICABLE CODES AND THE BEST ACCEPTED PRACTICE. ALL MEMBERS SHALL BE LINED, PLUMED AND TRUE AS INDICATED ON THE DRAWINGS.			
12. THE CONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS, PAYMENTS, CURBS, LANDSCAPING AND STRUCTURES, ANY DAMAGED PART SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER.			
13. THE CONTRACTOR SHALL CONTACT UTILITY LOCATING SERVICES MIN 48 HOURS PRIOR TO THE START OF CONSTRUCTION.			
14. GENERAL CONTRACTOR SHALL COORDINATE AND MAINTAIN ACCESS FOR ALL TRUCKS AND CONTRACTORS TO THE SITE AND/OR BUILDING.			
15. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SECURITY OF THE SITE FOR THE DURATION OF CONSTRUCTION UNTIL JOB COMPLETION.			
16. THE GENERAL CONTRACTOR SHALL MAINTAIN IN GOOD CONDITION ONE COMPLETE SET OF PLANS WITH ALL REVISIONS, ADDENDA, AND CHANGE ORDERS ON THE PREMISES AT ALL TIMES.			
17. THE GENERAL CONTRACTOR SHALL PROVIDE PORTABLE FIRE EXTINGUISHERS WITH A RATING OF NOT LESS THAN 2A:10B:1.0C AND SHALL BE WITHIN 25 FEET OF TRAVEL DISTANCE TO ALL PORTIONS OF WHERE THE WORK IS BEING COMPLETED DURING CONSTRUCTION.			
18. ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES SHALL BE PROTECTED AND FREE FROM OBSTRUCTION AT ALL TIMES, AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY THE GOVERNING UTILITY COMPANY ENGINEER.			
19. CONTRACTOR SHALL MINIMIZE DISTURBANCE TO THE EXISTING SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES, IF REQUIRED DURING CONSTRUCTION, SHALL BE IN CONFORMANCE WITH THE FEDERAL AND LOCAL JURISDICTION FOR EROSION AND SEDIMENT CONTROL.			
20. THE SUBGRADE SHALL BE BROUGHT TO A SMOOTH UNIFORM GRADE AND COMPACTED TO 95 PERCENT STANDARD PROCTOR DENSITY UNDER PAVEMENT AND STRUCTURES AND 90 PERCENT STANDARD PROCTOR DENSITY IN OPEN SPACE. ALL TRENCHES IN PUBLIC RIGHT OF WAY SHALL BE BACKFILLED WITH FLOWABLE FILL OR OTHER MATERIAL PRE-APPROVED BY THE LOCAL JURISDICTION.			
21. ALL NECESSARY RUBBISH, STUMPS, DEBRIS, STICKS, STONES, AND OTHER REFUSE SHALL BE REMOVED FROM THE SITE AND DEPOSED OF IN A LAWFUL MANNER.			
22. ALL BIDDING, OPERATING AND MAINTENANCE MANUALS, CATALOGS, SHOP DRAWINGS, AND OTHER DOCUMENTS SHALL BE TURNED OVER TO VERIZON AT COMPLETION OF CONSTRUCTION AND PRIOR TO PAYMENT.			
23. CONTRACTOR SHALL SUBMIT A COMPLETE SET OF AS-BUILT REDLINES TO VERIZON UPON COMPLETION OF PROJECT AND PRIOR TO FINAL PAYMENT.			
24. ALL MATERIAL SHALL BE FURNISHED AND WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST REVISION VERIZON MOBILITY GROUNDING STANDARD "TECHNICAL SPECIFICATION FOR CONSTRUCTION OF GSM/GPRS WIRELESS SITES" AND "TECHNICAL SPECIFICATION FOR FACILITY GROUNDING". IN CASE OF A CONFLICT BETWEEN THE CONSTRUCTION SPECIFICATION AND THE DRAWINGS, THE DRAWINGS SHALL GOVERN.			
25. CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS REQUIRED FOR CONSTRUCTION. IF CONTRACTOR CANNOT OBTAIN A PERMIT, THEY MUST NOTIFY THE GENERAL CONTRACTOR IMMEDIATELY.			
26. CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE ON A DAILY BASIS. ALL WASTE MATERIALS TO BE REMOVED FROM SITE PRIOR TO SUBSTANTIAL COMPLETION AND PRIOR TO FINAL ACCEPTANCE.			
27. THE CONTRACTOR SHALL GUARANTEE THE WORK PERFORMED ON THE PROJECT BY THE CONTRACTOR AND ANY OR ALL OF THE SUBCONTRACTORS WHO PERFORMED WORK FOR THE CONTRACTOR ON THIS PROJECT. THE GUARANTEE SHALL BE FOR ONE FULL YEAR FOLLOWING ISSUANCE OF THE FINAL PAYMENT OF RETAINAGE. ALL MATERIALS AND WORKMANSHIP SHALL BE WARRANTED FOR ONE YEAR FROM ACCEPTANCE DATE.			
28. THE CONTRACTOR AND ITS SUBCONTRACTORS SHALL CARRY LIABILITY INSURANCE IN THE AMOUNTS AND FORM IN ACCORDANCE WITH LESSEE SPECIFICATIONS. CERTIFICATES DEMONSTRATING PROOF OF COVERAGE SHALL BE PROVIDED TO LESSEE PRIOR TO THE START OF THE WORK ON THE PROJECT.			
29. AFTER REWORKING, IF THE MATERIAL REMAINS UNSUITABLE, THE CONTRACTOR SHALL UNDERCUT THIS MATERIAL AND REPLACE WITH APPROVED MATERIAL. ALL SUBGRADE SHALL BE PROTECTED WITH A FULLY LOADED TANDEM AXLE DUMP TRUCK PRIOR TO PAVING ANY SOFT MATERIAL. SHALL BE REWORKED AND REPLACED.			
30. TEMPORARY FACILITIES FOR PROTECTION OF TOOLS AND EQUIPMENT SHALL CONFORM TO LOCAL REGULATIONS AND SHALL BE THE CONTRACTORS RESPONSIBILITY.			

DRIVING DIRECTIONS FROM VERIZON WIRELESS HEADQUARTERS IN CHARLOTTE:			
EXIT ON I-85 FROM RESEARCH DR AND W. V. HARRIS BLVD	1.0 MI	MERGE WITH US-41 N	22.0 MI
HEAD SOUTHWEST	0.1 MI	CONTINUE ONTO US-41 N	33 MI
CONTINUE STRAIGHT	75 FT	US-41 N TURN SLIGHTLY RIGHT AND BECOMES BUS ROUTE 10	34.4 MI
TURN RIGHT ONTO RESEARCH DR	0.4 MI	KEEP RIGHT AT THE Y JUNCTION TO STAY ON BUS ROUTE 10	4.1 MI
TURN LEFT ONTO W. V. HARRIS BLVD	0.2 MI	USE THE LEFT LANE TO TAKE EXIT 37A TO MFGC WITH I-41C TOWARD MARVELL	1.5 MI
TURN RIGHT TO MERGE WITH US-41 N	0.3 MI	TAKE EXIT 18 TO MERGE WITH US-41 N TOWARD MARVELL	0.3 MI
MERGE WITH US-41 N	33.9 MI	MERGE WITH US-41 N TOWARD MARVELL	0.3 MI
TAKE EXIT 18B TO MERGE WITH US-41 N TOWARD KINGS MOUNTAIN	0.6 MI	TAKE EXIT 18A TO MERGE WITH US-41 N TOWARD MARVELL	0.2 MI
			0.6 MI



PREPARED FOR:	
	
1000 WILLIAMS BLVD KENNER, LA 70062	
A&E FIRM:	
	
1875 OLD ALABAMA ROAD, SUITE 1009 ROSWELL, GA 30078 TEL: 578-990-2338 FAX: 578-990-2342	
REGISTERED PROFESSIONAL ENGINEER SEAL:	
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REVISION	
REV	DATE DESCRIPTION
0	1/6/2020 ISSUED FOR CONSTRUCTION
DRAWN BY: BA	CHECKED BY: JKP
CAUTION	
FOREIGN UTILITY LOCATIONS ARE APPROXIMATE. CONTACT THE LOCAL ONE CALL AGENCY 48 HOURS PRIOR TO CONSTRUCTION FOR EXACT UTILITY LOCATION.	
	
CONSTRUCTION SHALL NOTIFY THE JURISDICTIONS, DEPARTMENT OF PUBLIC WORKS AND ENGINEERING, OFFICE OF THE CITY ENGINEER, 48 HOURS BEFORE STARTING WORK IN THIS PROJECT.	
PROJECT INFORMATION:	
VERIZON SITE ID SMC_FARRAGUT_13_5G_013	
NEAREST ADDRESS SONJA DR. FARRAGUT, TN 37934 (KNOX COUNTY COUNTY)	
SHEET TITLE:	
TITLE SHEET	
SHEET NO.	REVISION:
A1	0



NODE
 SMC_FARRAGUT_13_5G_013
 PROJECT DESCRIPTION:
 PROPOSED UTILITY POLE
 LAT: N 35° 53' 38.0"
 35.894150
 LONG: W 84° 06' 21.4"
 -84.105930

- NOTES:**
1. SITE PLAN HAS BEEN DEVELOPED USING GOOGLE MAPS AND LOCAL GIS DATA. UTILITIES (IF SHOWN) ARE FROM ONLINE OR OTHER SOURCES AND HAVE NOT BEEN FIELD LOCATED. CONTRACTOR MUST LOCATE UTILITIES PRIOR TO START OF CONSTRUCTION.
 2. CONTRACTOR SHALL MAINTAIN UNINTERRUPTED ACCESS TO ALL DRIVEWAYS, SIDE STREETS AND WALKWAYS AT ALL TIMES UNLESS OTHERWISE PERMITTED.
 3. CONTRACTOR SHALL PREPARE A MAINTENANCE OF TRAFFIC (M.O.T.) PLAN FOR PEDESTRIAN TRAFFIC AND WORK WITHIN THE RIGHT-OF-WAY, INCLUDING VEHICLE PARKING AND EQUIPMENT STAGING.
 4. CONTRACTOR SHALL RESTORE ANY DISTURBED AREAS TO ORIGINAL CONDITION OR BETTER.
 5. POWER DELIVERY BY LENOIR CITY UTILITY BOARD AT THEIR RECOMMENDATION, PERMITTED SEPARATELY.
 6. FIBER DELIVERY PROVIDED BY AT&T, PERMITTED SEPARATELY.

- UTILITY NOTES:**
1. CONTRACTOR TO CONTACT LENOIR CITY UTILITY BOARD TO INITIATE POWER ROUTE INSTALLATION.
 NAME: CUSTOMER SERVICE
 PHONE: (644) 687-5282
 EMAIL: TBD
 2. POWER COMPANY WILL PROVIDE AERIAL SERVICE FROM EXISTING UTILITY POLE TO VZW PROPOSED UTILITY POLE.
 3. VZW CONTRACTOR WILL PROVIDE THE METER BASE, POWER COMPANY WILL PROVIDE METER.

STREET LIGHT	STLT	FIBER MARKER	FM
POLE W LIGHT	DESTLT	PARKING METER	PM
UTILITY POLE	UP W/L	MANHOLE	MH
LIGHT POLE	LP	TELCO BOX	DTCD
TRAFFIC POLE	FH	GAS VALVE	GV
HANDHOLE	TP	TRANSFORMER	TR
WATER METER	WM	WATER VALVE	WV
UTILITY MARKER	UM	SEWER	S
CULVERT		PEDESTAL	PED
TREE		INLET	I
		CABINET	C
		DRAIN CRATE	DC
		CROSSWALK	
		TRAFFIC SIGNAL	

OVERHEAD POWER	CHP
UNDERGROUND POWER	UGP
UNDERGROUND FIBER	UGF
UNDERGROUND GAS	UGG
WATERLINE	WIR
STURDY GRAPE	STG
NAVIGABLE SILVER	SS
RIGHT OF WAY	ROW
EDGE OF PAVEMENT	EOP
FENCE	X
CENTER LINE	
PROPERTY LINE	
EXISTING BUILDING	
LAND USE	
DRIVEWAY SIDEWALK	
BACK OF CURB	
OVERROAD CATV	CATV

PREPARED FOR:

1700 WILLIAMS BLVD
KENNER, LA 70062

A&E FIRM:

1875 OLD ALABAMA ROAD, SUITE 100A
ROSWELL, GA 30076
TEL: 678-400-2338 FAX: 678-910-2312

REGISTERED PROFESSIONAL ENGINEER SEAL:

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DRAWN BY: BA CHECKED BY: JKP

CAUTION

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CONSTRUCTION SHALL NOTIFY THE JURISDICTION'S DEPARTMENT OF PUBLIC WORKS AND ENGINEERING, OFFICE OF THE CITY ENGINEER 48 HOURS BEFORE STARTING WORK IN THIS PROJECT.

PROJECT INFORMATION

VERIZON SITE ID
SMC_FARRAGUT_13_5G_013

NEAREST ADDRESS
SONJA DR.
FARRAGUT, TN 37934
(KNOX COUNTY COUNTY)

SHEET TITLE:
DETAIL SITE PLAN

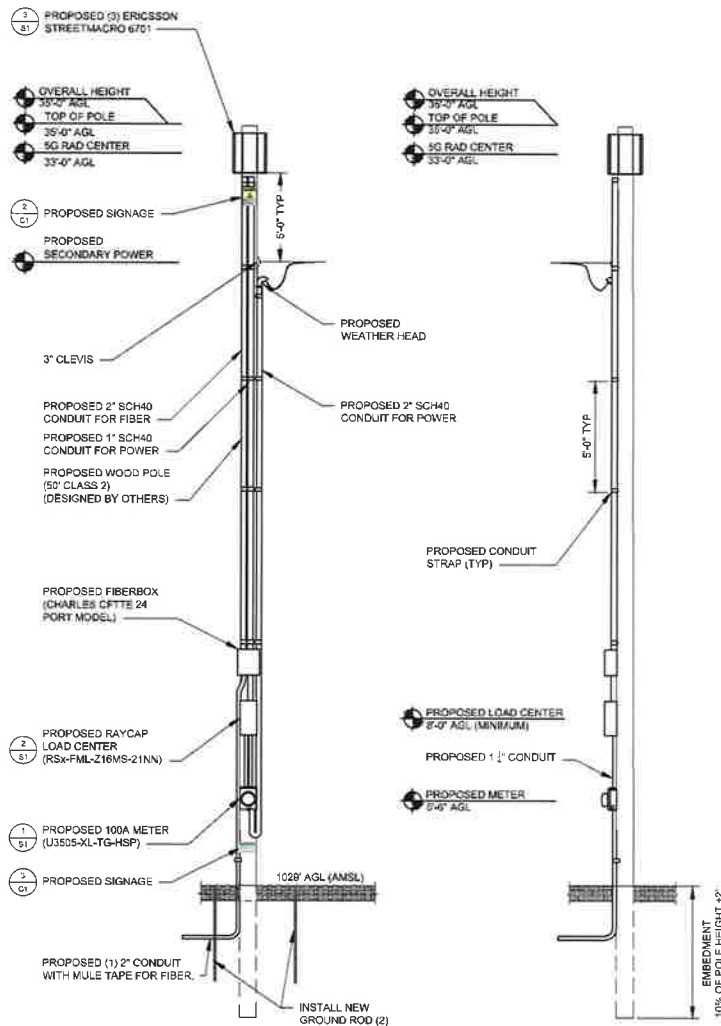
SHEET NO: B2 **REVISION:** 0

DESIGN NOTES

- DESIGN IS BASED ON A 50' CLASS 2 WOOD UTILITY POLE.
- MINIMUM EMBEDMENT SHALL BE 10% POLE LENGTH PLUS 2 FT. (WOOD POLES ONLY).
- FIBER TRANSPORT DELIVERY CABLES WILL BE BURIED TO POLE.
- POWER TRANSPORT DELIVERY CABLES WILL TO BE DETERMINED BY UTILITY. CONTRACTOR WILL COORDINATE POWER AND FIBER SERVICE REQUIREMENTS AND INSTALLATIONS WITH UTILITY COMPANIES. PRIOR TO CONSTRUCTION, CONTRACTOR TO COORDINATE POLE DESIGN WITH FINAL RF DESIGN COMPONENTS.
- POLE SHALL BE CERTIFIED IN COMPLIANCE WITH ANSI O5.1 (WOOD POLES ONLY). CONFIRM METER TYPE WITH POWER COMPANY.
- PROPOSED POLE TO BE NON-BREAKWAY.
- ALL CONDUITS, SHROUDS, AND PANELS TO BE PAINTED BROWN TO MATCH POLE.

INSTALLATION NOTES

- COMMUNICATION EQUIPMENT SHALL BE ARRANGED AND MOUNTED TO PROVIDE OTHER UTILITIES CLEAR CLIMBING SPACE TO THEIR EQUIPMENT ON THE POLE, PER NESC 236D.
- ALL INSTALLATIONS SHALL COMPLY WITH THE CURRENT PUBLISHED ISSUES OF THE NATIONAL ELECTRIC SAFETY CODE (NESC), AND POLE ATTACHMENT STANDARDS FOR POLE OWNER.
- RISER FOR ALL COMMUNICATION CABLES SHALL BE NON-METALLIC AND NON-CONDUCTING. THE RISER SHALL HAVE A MINIMUM OF 2 IN. SEPARATION FROM ANY THRU BOLT, METALLIC HARDWARE, OR ELECTRICAL CONDUCTOR (NESC RULE 239H).
- ANYONE WORKING ABOVE THE LOWEST PLANE OF ANY ENERGIZED AND UNSHIELDED CONDUCTOR SHALL BE A QUALIFIED ELECTRIC SUPPLY LINE WORK. SEE NESC RULE 432 FOR DETAILS.



1 POLE ELEVATION

ANTENNA SCHEDULE NOTES

- CONTRACTOR TO MOUNT ANTENNAS PER MANUFACTURER'S SPECIFICATIONS
- CONTRACTOR TO REFERENCE VZW ISSUED RFDS AND GIVE PRECEDENCE TO
- VERIFY LOADING WITH STRUCTURAL ANALYSIS PRIOR TO CONSTRUCTIONS



2 INFORMATION SIGN



3 INFORMATION SIGN

PREPARED FOR:

verizon

1000 WILLIAMS BLVD
KENNER, LA 70022

A&E FIRM:

towersource

1415 OLD ALABAMA ROAD, SUITE 101P
ROSEVILLE, GA 30059
TEL: 576-690-2316 FAX: 878-990-2342

REGISTERED PROFESSIONAL ENGINEER SEAL:

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DRAWN BY: BA CHECKED BY: JKP

CAUTION

FOREIGN UTILITY LOCATIONS ARE APPROXIMATE. CONTACT THE LOCAL ONE CALL AGENCY 48 HOURS PRIOR TO CONSTRUCTION FOR EXACT UTILITY LOCATION A.I.

Tennessee 811

CONSTRUCTION SHALL NOTIFY THE JURISDICTION'S DEPARTMENT OF PUBLIC WORKS AND ENGINEERING, OFFICE OF THE CITY ENGINEER, 48 HOURS BEFORE STARTING WORK IN THIS PROJECT.

PROJECT INFORMATION

VERIZON SITE ID
SMC_FARRAGUT_13_5G_013

NEAREST ADDRESS
SONJA DR.
FARRAGUT, TN 37934
(KNOX COUNTY COUNTY)

SHEET TITLE:
POLE ELEVATION

SHEET NO: C1 REVISION: 0



CURRENT VIEW
(FROM SW LOOKING NE)



PROPOSED VIEW
(FROM SW LOOKING NE)

PREPARED FOR: verizon 1000 WILLIAMS BLVD KENNER, LA 70142							
A&E FIRM: 1879 OLD ALABAMA RD. SUITE 1008 BIRMINGHAM, AL 35205 TEL: 678-796-0228 FAX: 678-990-0242							
REGISTERED PROFESSIONAL ENGINEER SEAL THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE, ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO THE CLIENT IS STRICTLY PROHIBITED.							
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PROJECT INFORMATION VERIZON SITE ID SMC_FARRAGUT_13_5G_013 NEAREST ADDRESS SONJA DR. FARRAGUT, TN 37934 (KNOX COUNTY COUNTY)							
SHEET TITLE: PHOTO SIMS							
SHEET NO. C4.1	REVISION 0						



CURRENT VIEW
(FROM SE LOOKING NW)



PROPOSED VIEW
(FROM SE LOOKING NW)

PREPARED FOR: verizon 1000 WILLIAMS BLVD KENNER, LA 70002							
A&E FIRM: 1875 OLD ALABAMA ROAD, SUITE 1008 ROSWELL, GA 30076 TEL: 404-584-2200 FAX: 404-584-2242							
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DRAWN BY: BA CHECKED BY: JKP							
CAUTION FOREIGN UTILITY LOCATIONS ARE APPROXIMATE. CONTACT THE LOCAL ONE CALL AGENCY 48 HOURS PRIOR TO CONSTRUCTION FOR EXACT UTILITY LOCATION AT: CONSTRUCTION SHALL NOTIFY THE JURISDICTION S. DEPARTMENT OF PUBLIC WORKS AND ENGINEERING, OFFICE OF THE CITY ENGINEER, 48 HOURS BEFORE STARTING WORK IN THE PROJECT.							
PROJECT INFORMATION: VERIZON SITE ID SMC_FARRAGUT_13_5G_013 NEAREST ADDRESS SONJA DR. FARRAGUT, TN 37934 (KNOX COUNTY COUNTY)							
SHEET TITLE: PHOTO SIMS							
SHEET NO. C4.2	REVISION: 0						

Node 10

PREPARED FOR:



PROJECT INFORMATION

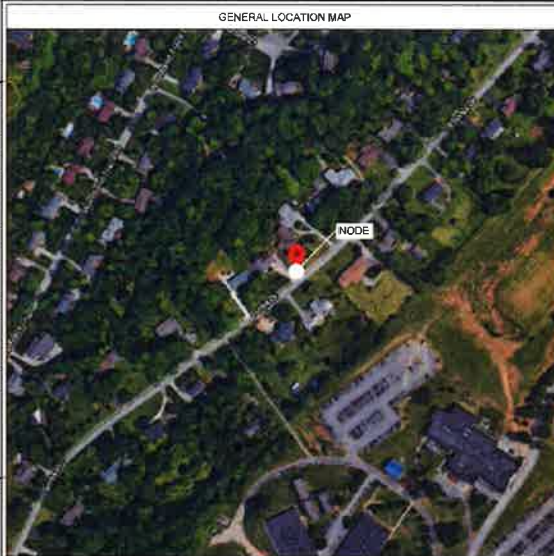
VERIZON SITE ID	SMC_FARRAGUT_18_5G_018
PROJECT DESCRIPTION:	PROPOSED UTILITY POLE
NEAREST ADDRESS: (E911 ADDRESS PENDING)	SONJA DR. FARRAGUT, TN 37934
POLE OWNER:	VERIZON WIRELESS
LATITUDE:	N 35°53'24.9" N 35.890260
LONGITUDE:	W 84°09'37.3" -84.160360
GROUND ELEVATION:	(AMSL) = 1041's
PRESENT OCCUPANCY TYPE	PUBLIC ROW
JURISDICTION:	TOWN OF FARRAGUT
ROW JURISDICTION:	TOWN OF FARRAGUT
COUNTY:	KNOX
DISTURBED AREA:	25 SQ FT ±
CURRENT ZONING	N/A
PARCEL ID #:	N/A
APPLICANT:	VERIZON WIRELESS 8621 RESEARCH DRIVE CHARLOTTE, NC 28262 JASON KOZORA 252-201-4602
PROJECT MANAGER:	VERIZON WIRELESS 8621 RESEARCH DRIVE CHARLOTTE, NC 28262 JASON KOZORA 252-201-4602
ENGINEER:	TOWERSOURCE 1875 OLD ALABAMA ROAD, SUITE 100B ROSWELL, GA 30076 678-990-2336

CALL PROJECT MANAGER BEFORE CONSTRUCTION STARTS			
SHEET	SHEET TITLE	REV	
A1	TITLE SHEET	0	
EN	ELECTRICAL NOTES	0	
B1	SITE PLAN	0	
B2	DETAIL SITE PLAN	0	
C1	POLE ELEVATION	0	
C2	TRAFFIC CONTROL	0	
C3	DETAILS	0	
C4.1	PHOTOSIM (1)	0	
C4.2	PHOTOSIM (2)	0	
E1	ONE LINE DIAGRAM	0	
E2	GROUNDING DETAILS	0	
S1	EQUIPMENT SPECS	0	

TOWERSOURCE 1875 OLD ALABAMA ROAD, SUITE 100B ROSWELL, GA 30076 678-990-2336	VERIZON WIRELESS 8621 RESEARCH DRIVE CHARLOTTE, NC 28262 JASON KOZORA 252-201-4602
---	--

- GENERAL NOTES:
- FOR THE PURPOSE OF CONSTRUCTION DRAWINGS, THE FOLLOWING DEFINITIONS SHALL APPLY: GENERAL CONTRACTOR (CONSTRUCTION) OWNER - VERIZON
 - ALL SITE WORK SHALL BE COMPLETED AS INDICATED ON THE DRAWINGS AND VERIZON PROJECT SPECIFICATIONS. THE CONTRACTOR MUST HAVE CONSIDERABLE EXPERIENCE IN PERFORMANCE OF WORK SIMILAR TO THAT DESCRIBED HEREIN BY ACCEPTANCE OF THIS ASSIGNMENT, THE CONTRACTOR IS ATTESTING THAT HE DOES HAVE SUFFICIENT EXPERIENCE AND ABILITY, THAT HE IS KNOWLEDGEABLE OF THE WORK TO BE PERFORMED AND THAT HE IS PROPERLY LICENSED AND PROPERLY REGISTERED TO DO THIS WORK IN THE STATE OF TENNESSEE.
 - GENERAL CONTRACTOR SHALL VISIT THE SITE AND SHALL FAMILIARIZE HIMSELF WITH ALL CONDITIONS AFFECTING THE PROPOSED WORK AND SHALL MAKE PROVISIONS. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH ALL CONTRACT DOCUMENTS, FIELD CONDITIONS, DIMENSIONS, AND CONFIRMING THAT THE WORK MAY BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE COMMENCEMENT OF WORK.
 - ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES. GENERAL CONTRACTOR SHALL ISSUE ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF WORK. ALL WORK CARRIED OUT SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONAL CODES, ORDINANCES, AND APPLICABLE REGULATIONS.
 - UNLESS NOTED OTHERWISE, THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES, AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.
 - PLANS ARE NOT TO BE SCALED. THESE PLANS ARE INTENDED TO BE A DIAGRAMMATIC OUTLINE ONLY UNLESS OTHERWISE NOTED. DIMENSIONS SHOWN ARE TO FINISH SURFACES UNLESS OTHERWISE NOTED. SPACING BETWEEN EQUIPMENT IS THE MINIMUM REQUIRED CLEARANCE. THEREFORE, IT IS CRITICAL TO FIELD VERIFY DIMENSIONS. SHOULD THERE BE ANY QUESTIONS REGARDING THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE ENGINEER PRIOR TO PROCEEDING WITH THE WORK. DETAILS ARE INTENDED TO SHOW DESIGN INTENT. MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF WORK AND PREPARED BY THE ENGINEER PRIOR TO PROCEEDING WITH WORK.
 - THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.
 - IF THE SPECIFIED EQUIPMENT CANNOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION SPACE FOR APPROVAL BY THE ENGINEER PRIOR TO PROCEEDING.
 - GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF WORK AREA, ADJACENT AREAS AND BUILDING OCCUPANTS THAT ARE LIKELY TO BE AFFECTED BY THE WORK UNDER THIS CONTRACT. WORK SHALL CONFORM TO ALL OSHA REQUIREMENTS AND THE LOCAL JURISDICTION.
 - ERECTOR SHALL BE DONE IN A WORKMANLIKE MANNER BY COMPETENT EXPERIENCED WORKMAN IN ACCORDANCE WITH APPLICABLE CODES AND THE BEST ACCEPTED PRACTICE. ALL MEMBERS SHALL BE LAID PLUMB AND TRUE AS INDICATED ON THE DRAWINGS.
 - THE CONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS, PAVEMENTS, CURBS, LANDSCAPING AND STRUCTURES, ANY DAMAGED PARTY SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER.
 - THE CONTRACTOR SHALL CONTACT UTILITY LOCATING SERVICES MIN 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
 - GENERAL CONTRACTOR SHALL COORDINATE AND MAINTAIN ACCESS FOR ALL TRADES AND CONTRACTORS TO THE SITE AND/OR BUILDING.
 - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SECURITY OF THE SITE FOR THE DURATION OF CONSTRUCTION UNTIL JOB COMPLETION.
 - THE GENERAL CONTRACTOR SHALL MAINTAIN IN GOOD CONDITION ONE COMPLETE SET OF PLANS WITH ALL REVISIONS, ADDENDA, AND CHANGE ORDERS ON THE PREMISES AT ALL TIMES.

DRIVING DIRECTIONS FROM VERIZON WIRELESS HEADQUARTERS IN CHARLOTTE	MERGE WITH US-74 W	22.3 MI	TAKE EXIT 18 A TO MERGE WITH US-25 N/US-70 W TOWARD MARSHALL	0.2 MI	USE THE LEFT 2 LANES TO TURN LEFT ONTO N CAMPBELL STATION RD	
HEAD SOUTHWEST	0.1 MI	CONTINUE ONTO US-74 W	33 MI	MERGE WITH US-25 N/US-70 W	21.1 MI	TURN LEFT ONTO SONJA DR
CONTINUE STRAIGHT	75 FT	US-74 W TURNS SLIGHTLY RIGHT AND BECOMES I-26 I/US-74 W	34.4 MI	TURN LEFT ONTO US-25/US-70	5.1 MI	DESTINATION WILL BE ON THE LEFT
TURN RIGHT ONTO RESEARCH DR	0.4 MI	KEEP RIGHT AT THE Y JUNCTION TO STAY ON I-26 W, FOLLOW SIGNS FOR INTERSTATE 20 WASHVILLE/INTERSTATE 240	3.3 MI	TURN RIGHT ONTO US-70 W/WWV 26 N/BRIDGE ST	28.4 MI	
TURN LEFT ONTO W.W. HARRIS BLVD	0.2 MI	CONTINUE STRAIGHT ONTO I-26 I/US-74 W	0.8 MI	USE THE RIGHT LANE TO MERGE WITH I-40 W VIA THE RAMP TO KNOXVILLE	0.5 MI	
TURN RIGHT TO MERGE WITH I-40 S	0.3 MI	USE THE LEFT LANE TO TAKE EXIT 4A FOR U.S. 191 U.S. 230 S. TO INTERSTATE 68 TOWARD UNC ASHVILLE/WEAVERVILLE	0.3 MI	MERGE WITH I-40 W	50.2 MI	
MERGE WITH I-40 S	33.2 MI	CONTINUE ONTO I-26 W/US-19 N/US-23 N/US-70 W	6.2 MI	USE THE RIGHT 2 LANES TO TAKE EXIT 313 FOR CAMPBELL STATION RD TOWARD FARRAGUT	0.3 MI	
TAKE EXIT 10B TO MERGE WITH US-74 W TOWARD HWY26 MOUNTAIN-SHELBY	0.6 MI					



PREPARED FOR:



1000 WILLIAMS BLVD
KENNER, LA 70062

A&E FIRM:



1875 OLD ALABAMA ROAD, SUITE 100B
ROSWELL, GA 30076
TEL 678-990-2336 FAX 678-990-2342

REGISTERED PROFESSIONAL ENGINEER SEAL:
THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OF THIS DOCUMENT OTHER THAN THAT WHICH RELATES TO THE CLIENT IS STRICTLY PROHIBITED.

REVISION		
REV	DATE	DESCRIPTION
0	1/9/2020	ISSUED FOR CONSTRUCTION

DRAWN BY: BA CHECKED BY: JJP

CAUTION
FOREIGN UTILITY LOCATIONS ARE APPROXIMATE. CONTACT THE LOCAL ONE CALL AGENCY 48 HOURS PRIOR TO CONSTRUCTION FOR EXACT UTILITY LOCATION AT:



CONSTRUCTION SHALL NOTIFY THE JURISDICTIONS, DEPARTMENT OF PUBLIC WORKS AND ENGINEERING, OFFICE OF THE CITY ENGINEER 48 HOURS BEFORE STARTING WORK IN THIS PROJECT.

PROJECT INFORMATION:

VERIZON SITE ID
SMC_FARRAGUT_18_5G_018

NEAREST ADDRESS
SONJA DR.
FARRAGUT, TN 37934
(KNOX COUNTY)

SHEET TITLE:

TITLE SHEET

SHEET NO. **A1** REVISION: **0**



FOR ADDITIONAL
INFORMATION
REFER TO DETAIL
PLAN VIEW ON B2

NODE:
SMC_FARRAGUT_18_5G_018
PROJECT DESCRIPTION:
PROPOSED UTILITY POLE
LAT: N 35°53'24.9"
35.890260
LONG: W 84°09'37.3"
-84.160360

PROPOSED AERIAL POWER ROUTING
SEE UTILITY NOTES FOR DETAILS

EXISTING UTILITY POLE
SEE UTILITY NOTES FOR DETAILS

SITE PLAN
11x17 SCALE 1" = 40'
24x36 SCALE 1" = 20'

PROPERTY INFORMATION

NO.	PARCEL #	N/F PROPERTY OWNER	DEED BOOK	PAGE
1	142DA02701	SMITH JASON R & FOWLES JENNA L	N/A	N/A
2	142DA027	KOCHENDERFER MICHAEL & LINDA LEE	N/A	N/A
3	142DB004	STOKES NAOMI JEAN	N/A	N/A
4	142DB003	LEUCIUC LENUTA	N/A	N/A

NOTES

1. SITE PLAN HAS BEEN DEVELOPED USING GOOGLE MAPS AND LOCAL GIS DATA. UTILITIES (IF SHOWN) ARE FROM ONLINE OR OTHER SOURCES AND HAVE NOT BEEN FIELD LOCATED. CONTRACTOR MUST LOCATE UTILITIES PRIOR TO START OF CONSTRUCTION.
2. CONTRACTOR SHALL MAINTAIN UNINTERRUPTED ACCESS TO ALL DRIVEWAYS, SIDE STREETS AND WALKWAYS AT ALL TIMES UNLESS OTHERWISE PERMITTED.
3. CONTRACTOR SHALL PREPARE A MAINTENANCE OF TRAFFIC (M.O.T.) PLAN FOR PEDESTRIAN TRAFFIC AND WORK WITHIN THE RIGHT-OF-WAY, INCLUDING VEHICLE PARKING AND EQUIPMENT STAGING.
4. CONTRACTOR SHALL RESTORE ANY DISTURBED AREAS TO ORIGINAL CONDITION OR BETTER.
5. POWER DELIVERY BY LENOIR CITY UTILITY BOARD AT THEIR RECOMMENDATION, PERMITTED SEPARATELY.
6. FIBER DELIVERY PROVIDED BY 1 FIBER, PERMITTED SEPARATELY.

UTILITY NOTES

1. CONTRACTOR TO CONTACT LENOIR CITY UTILITY BOARD TO INITIATE POWER ROUTE INSTALLATION.
NAME: CUSTOMER SERVICE
PHONE 1 (844) 657-5262
EMAIL: TBD
2. POWER COMPANY WILL PROVIDE AERIAL SERVICE FROM EXISTING UTILITY POLE TO V2W PROPOSED UTILITY POLE.
3. V2W CONTRACTOR WILL PROVIDE THE METER BASE, POWER COMPANY WILL PROVIDE METER.

	 STLT	FIBER MARKER	 PAI
STREET LIGHT	 STLT	PARKING METER	 PAI
	 ODSTL	MANHOLE	 MH
POLE W/ LIGHT	 UP W/ L	TELCO BOX	 TCO
UTILITY POLE	 UP	GAS VALVE	 GV
LIGHT POLE	 LP	TRANSFORMER	 TR
FIRE HYDRANT	 FH	WATER VALVE	 WV
TRAFFIC POLE	 TP	SEWER	 S
HANDHOLE	 HH	PEDESTAL	 PED
WATER METER	 WM	INLET	 IN
UTILITY MARKER	 UM	CABINET	 C
CULVERT		DRAIN CRATE	 CR
TREE		CROSSWALK	 CW
		TRAFFIC SIGNAL	 TS

UNDERGROUND POWER	CRP
UNDERGROUND FIBER	UGP
UNDERGROUND GAS	UGG
WATER LINE	WTR
STORM SEWER	STS
SANITARY SEWER	SS
RIGHT OF WAY	ROW
EDGE OF PAVEMENT	EOP
FOOTC	X
CENTER LINE	
PROPERTY LINE	
EXISTING BUILDING	
LINE LINES	
ONE-WAY ROAD ONLY	
BACK OF CURB	
ON-ROAD COPY	CATV CATV

PREPARED FOR:

verizon

1000 WILLIAMS BLVD
KENNER, LA 70002

A&E FIRM:

towersource

1815 OLD ALABAMA ROAD, SUITE 100H
ROSELLE, GA 30069
TEL: 878-494-2238 FAX: 878-494-2242

REGISTERED PROFESSIONAL ENGINEER SEAL:

THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS
PROPERTY OF TOWERSOURCE. ANY USE OR REPRODUCTION OTHER THAN
THAT WHICH RELATES TO THE CLIENT IS STRICTLY PROHIBITED.

REVISION

REV	DATE	DESCRIPTION
0	1/6/2020	ISSUED FOR CONSTRUCTION

DRAWN BY: BA CHECKED BY: JKP

CAUTION

PROPOSED UTILITY LOCATIONS ARE APPROXIMATE.
CONTACT THE LOCAL ONE CALL AGENCY 48 HOURS PRIOR
TO CONSTRUCTION FOR EXACT UTILITY LOCATION AS:



CONSTRUCTION SHALL NOTIFY THE JURISDICTIONS
DEPARTMENT OF PUBLIC WORKS AND ENGINEERING
OFFICE OF THE CITY ENGINEER 48 HOURS BEFORE
STARTING WORK ON THIS PROJECT.

PROJECT INFORMATION

VERIZON SITE ID
SMC_FARRAGUT_18_5G_018

NEAREST ADDRESS

SONJA DR.
FARRAGUT, TN 37934
(KNOX COUNTY)

SHEET TITLE

SITE PLAN

SHEET NO.

B1

REVISION

0

1. DESIGN IS BASED ON A 45 CLASS 2 WOOD UTILITY POLE.
2. MINIMUM EMBEDMENT SHALL BE 10% POLE LENGTH PLUS 2 FT. (WOOD POLES ONLY).
3. POWER TRANSPORT DELIVERY CABLES WILL BE BURNED TO POLE.
4. POWER TRANSPORT DELIVERY CABLES WILL TO BE DETERMINED BY UTILITY.
5. CONTRACTOR WILL COORDINATE POWER AND FIBER SERVICE REQUIREMENTS AND INSTALLATIONS WITH UTILITY COMPANIES.
6. CONTRACTOR SHALL COORDINATE WITH UTILITY TO COORDINATE POLE DESIGN WITH FINAL RF DESIGN COMPONENTS.
7. POLE SHALL BE CERTIFIED IN COMPLIANCE WITH ANSI U51 (WOOD POLES ONLY).
8. CONFIRM METER TYPE WITH POWER COMPANY.
9. PROPOSED POLE TO BE NON-BEAMKAYE.
10. ALL CONDUITS, SHROULDS, AND PANELS TO BE PAINTED BROWN TO MATCH POLE.

11. COMMUNICATION EQUIPMENT SHALL BE ARRANGED AND MOUNTED TO PROVIDE OTHER UTILITIES CLEAR CLIMBING SPACE TO THEIR EQUIPMENT ON THE POLE, PER NESC RULE 239F.
12. ALL INSTALLATIONS SHALL COMPLY WITH THE CURRENT PUBLISHED ISSUES OF THE NATIONAL ELECTRICAL SAFETY CODE (NESC), AND POLE ATTACHMENT STANDARDS FOR ALL TYPES OF HARDWARE.
13. RISER FOR ALL COMMUNICATION CABLES SHALL BE NON-METALLIC AND NON-CONDUCTING. THE RISER SHALL HAVE A MINIMUM OF 2 IN. SEPARATION FROM ANY OTHER METALLIC HARDWARE, OR ELECTRICAL CONDUCTOR (NESC RULE 239H).
14. ANYONE WORKING ABOVE THE LOWEST PLANE OF ANY ENERGIZED AND UNGUARDED CONDUCTOR SHALL BE A QUALIFIED ELECTRICAL SUPPLY LINE WORK, SEE NESC RULE 432 FOR DETAILS.



1. CONTRACTOR TO MOUNT ANTENNAS PER MANUFACTURER'S SPECIFICATIONS
2. CONTRACTOR TO REFERENCE VZW ISSUED RFDS AND GIVE PRECEDENCE TO
3. VERIFY LOADING WITH STRUCTURAL ANALYSIS PRIOR TO CONSTRUCTIONS



2 INFORMATION SIGN



3 INFORMATION SIGN

PREPARED FOR:

verizon

1000 WILLIAMS BLVD
KENNER, LA 70062

A&E FIRM:



1015 OLD ALABAMA ROAD, SUITE 100
ROSWELL, GA 30076
TEL 678-990-2335 FAX 678-990-2342

REGISTERED PROFESSIONAL ENGINEER SEAL:

THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE, ANY REE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO THE CLIENT IS STRICTLY PROHIBITED.

REVISION

REV	DATE	DESCRIPTION
0	1/6/2020	ISSUED FOR CONSTRUCTION

DRAWN BY: BA	CHECKED BY: JKP
--------------	-----------------

CAUTION

FOREIGN UTILITY LOCATIONS ARE APPROXIMATE.
CONTACT THE LOCAL ONE CALL AGENCY 48 HOURS PRIOR
TO CONSTRUCTION FOR EXACT UTILITY LOCATION AT:



CONSTRUCTION SHALL NOTIFY THE JURISDICTIONS,
DEPARTMENT OF PUBLIC WORKS AND ENGINEERING,
OFFICE OF THE CITY ENGINEER, 48 HOURS BEFORE
STARTING WORK IN THIS PROJECT.

PROJECT INFORMATION

VERIZON SITE ID
SMC_FARRAGUT_18_5G_018

NEAREST ADDRESS
SONJA DR.
FARRAGUT, TN 37934
(KNOX COUNTY)

SHEET TITLE

POLE ELEVATION

SHEET NO. 4

NO. C1

REVISION:

0



CURRENT VIEW
(FROM S/W LOOKING NE)



PROPOSED VIEW
(FROM SW LOOKING NE)

PREPARED FOR: 1001 WILLIAMS BLVD KENNER, LA 70062							
A/E FIRM: 1401 OLD ALABAMA ROAD, SUITE 100 ROSWELL, GA 30059 TEL: 678-680-2338 FAX: 678-680-2342							
REGISTERED PROFESSIONAL ENGINEER SEAL: THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO THE CLIENT IS STRICTLY PROHIBITED.							
REVISION <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 10%;">REV</th> <th style="width: 10%;">DATE</th> <th style="width: 80%;">DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td style="text-align: center;">0</td> <td style="text-align: center;">1/6/2020</td> <td>ISSUED FOR CONSTRUCTION</td> </tr> </tbody> </table>		REV	DATE	DESCRIPTION	0	1/6/2020	ISSUED FOR CONSTRUCTION
REV	DATE	DESCRIPTION					
0	1/6/2020	ISSUED FOR CONSTRUCTION					
DRAWN BY: BA CHECKED BY: JKP							
CAUTION FOREIGN UTILITY LOCATIONS ARE APPROXIMATE. CONTACT THE LOCAL ONE CALL AGENCY 48 HOURS PRIOR TO CONSTRUCTION FOR EXACT UTILITY LOCATION AT:							
 CONSTRUCTION SHALL NOTIFY THE JURISDICTIONS, DEPARTMENT OF PUBLIC WORKS AND ENGINEERING, OFFICE OF THE CITY ENGINEER 48 HOURS BEFORE STARTING WORK IN THIS PROJECT.							
PROJECT INFORMATION VERIZON SITE ID SMC_FARRAGUT_18_5G_018 NEAREST ADDRESS SONJA DR. FARRAGUT, TN 37934 (KNOX COUNTY)							
SHEET TITLE PHOTO SIMS							
SHEET NO. C4.1	REVISION: 0						



CURRENT VIEW
(FROM SW LOOKING NE)



PROPOSED VIEW
(FROM SW LOOKING NE)

PREPARED FOR: verizon 1001 WILLIAMS BLVD KENNER, LA 70022							
A&E FIRM: 1415 OLD ALABAMA RD. SUITE 100 PESSEH, GA 30078 TEL: 404-802-0000 FAX: 404-802-0001							
REGISTERED PROFESSIONAL ENGINEER SEAL: THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO THE CLIENT IS STRICTLY PROHIBITED.							
REVISION <table border="1"> <thead> <tr> <th>REV</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>0</td> <td>1/6/2020</td> <td>ISSUED FOR CONSTRUCTION</td> </tr> </tbody> </table>		REV	DATE	DESCRIPTION	0	1/6/2020	ISSUED FOR CONSTRUCTION
REV	DATE	DESCRIPTION					
0	1/6/2020	ISSUED FOR CONSTRUCTION					
DRAWN BY: BA CHECKED BY: JKP							
CAUTION FOREIGN UTILITY LOCATIONS ARE APPROXIMATE. CONTACT THE LOCAL ONE CALL AGENCY 48 HOURS PRIOR TO CONSTRUCTION FOR EXACT UTILITY LOCATION AT: CONSTRUCTION SHALL NOTIFY THE JURISDICTIONS, DEPARTMENT OF PUBLIC WORKS AND ENGINEERING, OFFICE OF THE CITY ENGINEER, 48 HOURS BEFORE STARTING WORK IN THIS PROJECT.							
PROJECT INFORMATION: VERIZON SITE ID SMC_FARRAGUT_18_5G_018 NEAREST ADDRESS SONJA DR. FARRAGUT, TN 37934 (KNOX COUNTY)							
SHEET TITLE: PHOTO SIMS							
SHEET NO. C4.2	REVISION: 0						

Node 11

[illegible]



SITE PLAN
11x17 SCALE: 1" = 40'
24x36 SCALE: 1" = 20'

PROPERTY INFORMATION				
NO.	PARCEL #	N/F PROPERTY OWNER	DEED BOOK	PAGE
1	130ML076	THE COVE AT TURKEY CREEK HOMEOWNERS ASSOCIATION INC	N/A	N/A
2	130ML00201	BENKHAAL SAMYA	N/A	N/A
3	130ML039	ROBBINS HAROLD D & ROBBINS JEAN A	N/A	N/A
4	130ML074	DENNEY RICHARD & DENNEY DORIS	N/A	N/A

- NOTES:**
1. SITE PLAN HAS BEEN DEVELOPED USING GOOGLE MAPS AND LOCAL GIS DATA. UTILITIES (IF SHOWN) ARE FROM ONLINE OR OTHER SOURCES AND HAVE NOT BEEN FIELD LOCATED. CONTRACTOR MUST LOCATE UTILITIES PRIOR TO START OF CONSTRUCTION.
 2. CONTRACTOR SHALL MAINTAIN UNINTERRUPTED ACCESS TO ALL DRIVEWAYS, SIDE STREETS AND WALKWAYS AT ALL TIMES UNLESS OTHERWISE PERMITTED.
 3. CONTRACTOR SHALL PREPARE A MAINTENANCE OF TRAFFIC (M.O.T.) PLAN FOR PEDESTRIAN TRAFFIC AND WORK WITHIN THE RIGHT-OF-WAY, INCLUDING VEHICLE PARKING AND EQUIPMENT STAGING.
 4. CONTRACTOR SHALL RESTORE ANY DISTURBED AREAS TO ORIGINAL CONDITION OR BETTER.
 5. POWER DELIVERY BY LENOIR CITY UTILITY BOARD AT THEIR RECOMMENDATION, PERMITTED SEPARATELY.
 6. FIBER DELIVERY PROVIDED BY AT&T, PERMITTED SEPARATELY.

- UTILITY NOTES:**
1. CONTRACTOR TO CONTACT LENOIR CITY UTILITY BOARD TO INITIATE POWER ROUTE INSTALLATION.
NAME: CUSTOMER SERVICE
PHONE 1 (844) 697-5282
EMAIL: TBD
 2. POWER COMPANY WILL PROVIDE UNDERGROUND SERVICE FROM EXISTING VAULT TO VZW PROPOSED UTILITY POLE.
 3. VZW CONTRACTOR WILL PROVIDE THE METER BASE, POWER COMPANY WILL PROVIDE METER.

STREET LIGHT	STLT	FIBER MARKER	PM
STLT	STLT	PARKING METER	PM
DO STLT	DO STLT	MANHOLE	MH
UP W/L	UP W/L	TELECO BOX	TBCO
UP	UP	GAS VALVE	GV
LP	LP	TRANSFORMER	TR
FH	FH	WATER VALVE	WV
TP	TP	SEWER	S
WH	WH	PEDESTAL	PED
WM	WM	INLET	IN
UN	UN	CABINET	C
UN	UN	DRAIN CRATE	DC
CULVERT	CULVERT	CROSSWALK	CW
TREE	TREE	TRAFFIC SIGNAL	TS

UNDERGROUND POWER	CHP
UNDERGROUND FIBER	USP
UNDERGROUND GAS	UGS
UNDERGROUND WATER	UWT
UNDERGROUND SANITARY	US
UNDERGROUND SEWER	US
UNDERGROUND INLET	UIN
UNDERGROUND CABINET	UC
UNDERGROUND DRAIN CRATE	UDC
UNDERGROUND CROSSWALK	UCW
UNDERGROUND TRAFFIC SIGNAL	UTS

PREPARED FOR:

verizon

1100 WILLIAMS BLVD
KENNER, LA 70002

A/E FIRM:

towersource

1100 OLD ALBANY ROAD, SUITE 100
ROSWELL, GA 30076
TEL: 478-400-2238 FAX: 478-400-2542

REGISTERED PROFESSIONAL ENGINEER SEAL:

THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO THE PROJECT IS STRICTLY PROHIBITED.

REVISION

REV	DATE	DESCRIPTION
0	1/6/2020	ISSUED FOR CONSTRUCTION

DRAWN BY: BA CHECKED BY: JKP

CAUTION

FOREIGN UTILITY LOCATIONS ARE APPROXIMATE. CONTACT THE LOCAL ONE CALL AGENCY 24 HOURS PRIOR TO CONSTRUCTION FOR EXACT UTILITY LOCATION.

Tennessee 811

CONSTRUCTION SHALL NOTIFY THE JURISDICTIONS, DEPARTMENT OF PUBLIC WORKS AND ENGINEERING, OFFICE OF THE CITY ENGINEER, 48 HOURS BEFORE STARTING WORK IN THIS PROJECT.

PROJECT INFORMATION:

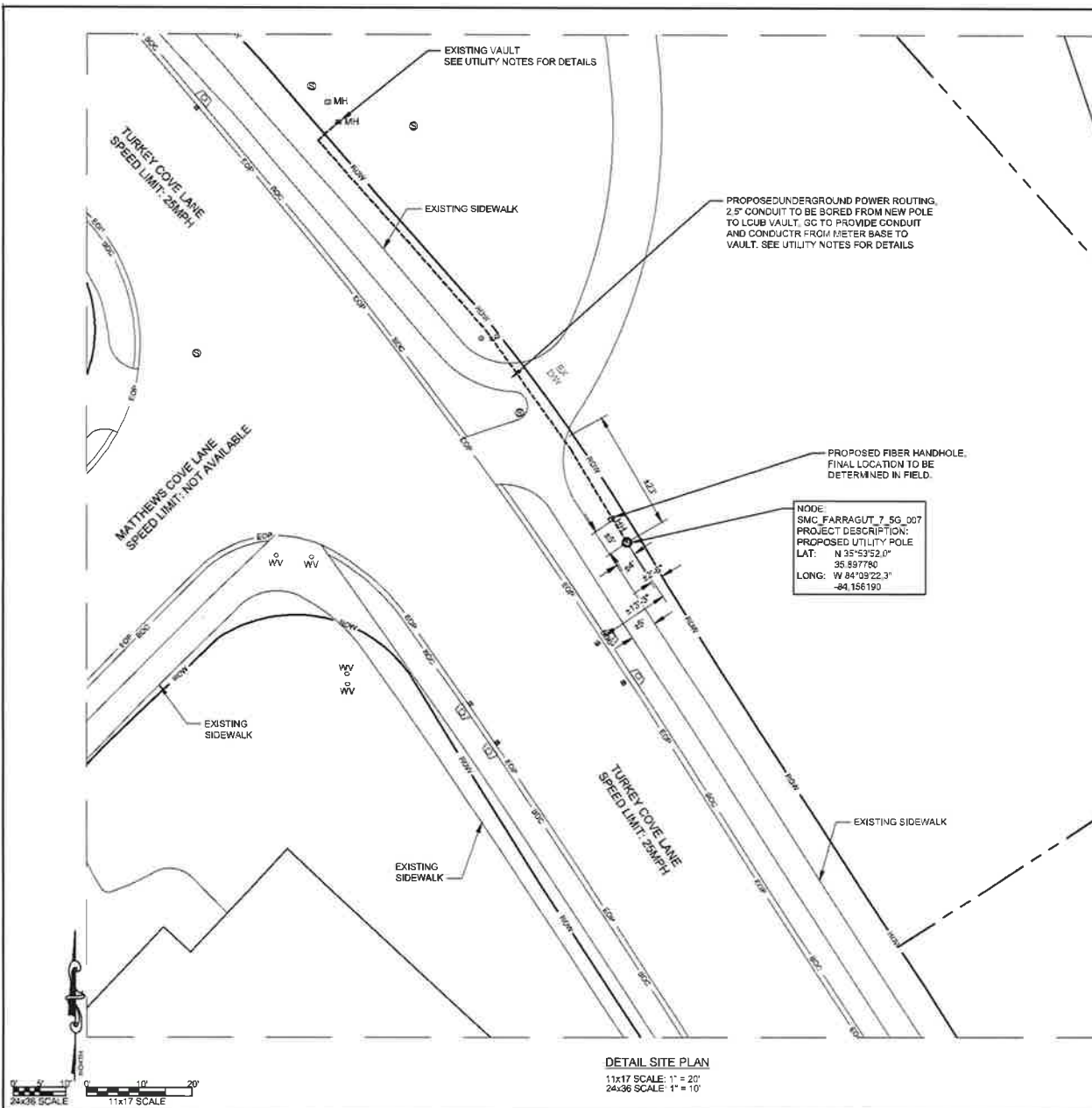
VERIZON SITE ID
SMC_FARRAGUT_7_5G_007

NEAREST ADDRESS
TURKEY COVE LN
FARRAGUT, TN 37934
(KNOX COUNTY)

SHEET TITLE:

SITE PLAN

SHEET NO. **B1** REVISION **0**



NOTES:

1. SITE PLAN HAS BEEN DEVELOPED USING GOOGLE MAPS AND LOCAL GIS DATA. UTILITIES (IF SHOWN) ARE FROM ONLINE OR OTHER SOURCES AND HAVE NOT BEEN FIELD LOCATED. CONTRACTOR MUST LOCATE UTILITIES PRIOR TO START OF CONSTRUCTION.
2. CONTRACTOR SHALL MAINTAIN UNINTERRUPTED ACCESS TO ALL DRIVEWAYS, SIDE STREETS AND WALKWAYS AT ALL TIMES UNLESS OTHERWISE PERMITTED.
3. CONTRACTOR SHALL PREPARE A MAINTENANCE OF TRAFFIC (M.O.T.) PLAN FOR PEDESTRIAN TRAFFIC AND WORK WITHIN THE RIGHT-OF-WAY, INCLUDING VEHICLE PARKING AND EQUIPMENT STAGING.
4. CONTRACTOR SHALL RESTORE ANY DISTURBED AREAS TO ORIGINAL CONDITION OR BETTER.
5. POWER DELIVERY BY LENOIR CITY UTILITY BOARD AT THEIR RECOMMENDATION, PERMITTED SEPARATELY.
6. FIBER DELIVERY PROVIDED BY AT&T, PERMITTED SEPARATELY.

UTILITY NOTES:

1. CONTRACTOR TO CONTACT LENOIR CITY UTILITY BOARD TO INITIATE POWER ROUTE INSTALLATION.
NAME: CUSTOMER SERVICE
PHONE: 1 (844) 687-5282
EMAIL: TBD
2. POWER COMPANY WILL PROVIDE UNDERGROUND SERVICE FROM EXISTING VAULT TO VZW PROPOSED UTILITY POLE.
3. VZW CONTRACTOR WILL PROVIDE THE METER BASE, POWER COMPANY WILL PROVIDE METER.

STREET LIGHT	STLT	FIBER MARKER	PAI
POLE W/ LIGHT	STLT	PARKING METER	PM
UTILITY POLE	UP W/L	MANHOLE	MH
LIGHT POLE	LP	TELCO BOX	TCO
FIRE HYDRANT	FH	GAS VALVE	GV
TRAFFIC POLE	TP	TRANSFORMER	TR
HANDHOLE	HH	WATER VALVE	WV
WATER METER	WM	SEWER	S
UTILITY MARKER	UM	PEDESTAL	PED
CULVERT		INLET	I
TREE		CABINET	C
		DRAIN CRATE	DC
		CROSSWALK	
		TRAFFIC SIGNAL	

OVERHEAD POWER	CHP
UNDERGROUND POWER	USP
UNDERGROUND FIBER	USF
UNDERGROUND GAS	UGG
WATER LINE	WTL
SEWER LINE	SSL
WASTEWATER SEWER	WWS
RIGHT OF WAY	ROW
EXISTING PAVEMENT	EOP
CONCRETE	K
CENTERLINE	
PROPERTY LINE	
EXISTING BUILDING	
LAKE LINES	
DRIVEWAY/DOCK/HUS	
BACK OF CURB	BOC
OVERHEAD CATCH	CATCH

PREPARED FOR:

verizon

1000 WILLIAMS BLVD
DENVER, LA 70062

A&E FIRM:

towersource

1875 OLD ALABAMA ROAD, SUITE 100A
ROSWELL, GA 30078
TEL: 875-480-2338 FAX: 875-480-2342

REGISTERED PROFESSIONAL ENGINEER SEAL:

THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS
PROPERTY OF TOWERSOURCE. ANY USE OR DISCLOSURE OTHER THAN
THAT WHICH RELATES TO THE CLIENT IS STRICTLY PROHIBITED.

REVISION

REV	DATE	DESCRIPTION
0	1/6/2020	ISSUED FOR CONSTRUCTION

DRAWN BY: BA

CHECKED BY: JKP

CAUTION

FOREIGN UTILITY LOCATIONS ARE APPROXIMATE.
CONTACT THE LOCAL ONE CALL AGENCY 48 HOURS PRIOR
TO CONSTRUCTION FOR EXACT UTILITY LOCATION AT:



CONSTRUCTION SHALL NOTIFY THE JURISDICTIONS,
DEPARTMENT OF PUBLIC WORKS AND ENGINEERING,
OFFICE OF THE CITY ENGINEER, 48 HOURS BEFORE
STARTING WORK IN THIS PROJECT.

PROJECT INFORMATION

VERIZON SITE ID
SMC_FARRAGUT_7_5G_007

NEAREST ADDRESS
TURKEY COVE LN
FARRAGUT, TN 37934
(KNOX COUNTY)

SHEET TITLE:

DETAIL SITE PLAN

SHEET NO.

B2

REVISION:

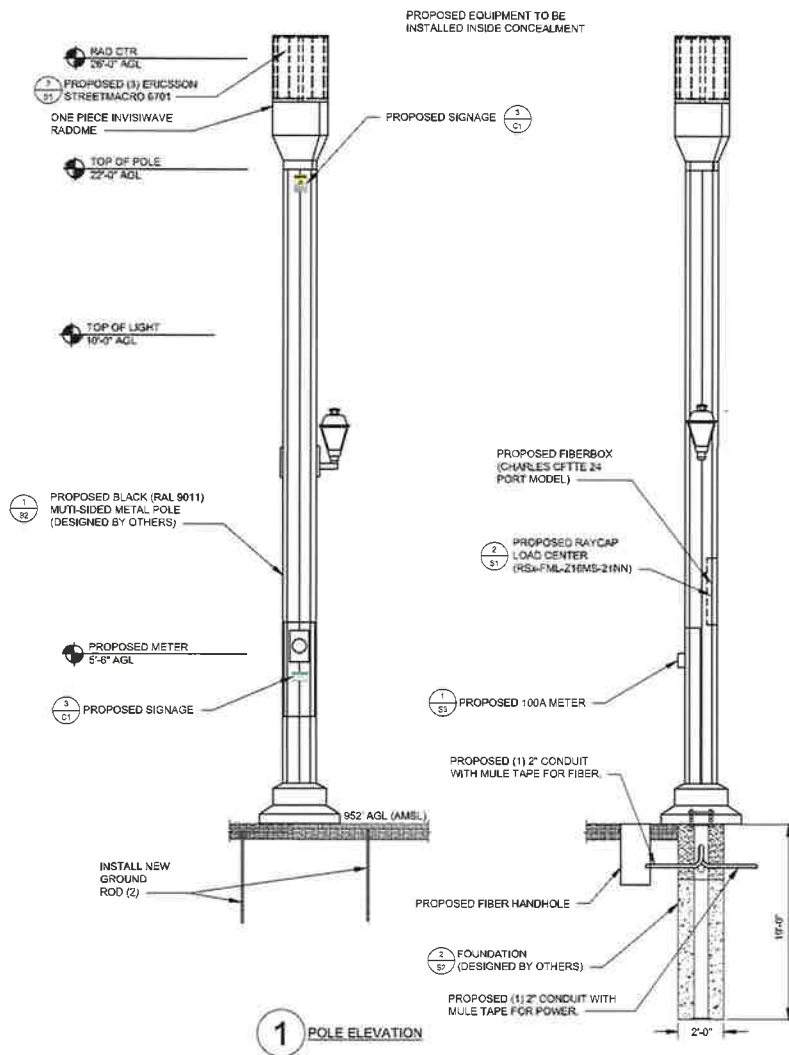
0

DESIGN NOTES

1. FIBER TRANSPORT DELIVERY CABLES WILL BE BURIED TO POLE.
2. POWER TRANSPORT DELIVERY CABLES WILL BE BURIED TO POLE.
3. CONTRACTOR WILL COORDINATE POWER AND FIBER SERVICE REQUIREMENTS AND INSTALLATIONS WITH UTILITY COMPANIES.
4. PRIOR TO CONSTRUCTION, CONTRACTOR TO COORDINATE POLE DESIGN WITH FINAL RF DESIGN COMPONENTS.
5. CONFIRM METER TYPE WITH POWER COMPANY.

INSTALLATION NOTES

6. ALL INSTALLATIONS SHALL COMPLY WITH THE CURRENT PUBLISHED ISSUES OF THE NATIONAL ELECTRIC SAFETY CODE (NEC), AND POLE ATTACHMENT STANDARDS FOR POLE OWNER.



ANTENNA SCHEDULE NOTES

1. CONTRACTOR TO MOUNT ANTENNAS PER MANUFACTURER'S SPECIFICATIONS
2. CONTRACTOR TO REFERENCE VZW ISSUED RFDs AND GIVE PRECEDENCE TO
3. VERIFY LOADING WITH STRUCTURAL ANALYSIS PRIOR TO CONSTRUCTIONS



2 INFORMATION SIGN

METER BASED AND SIGNAGE TO BE LABELED WITH THE FOLLOWING ADDRESS: 101 LAND OAK RD



3 INFORMATION SIGN

PREPARED FOR:

verizon

1000 WILLIAMS BLVD
KENNER, LA 70062

A&E FIRM:

towersource

1875 OLD ALABAMA ROAD, SUITE 100A
ROSEWELL, GA 30078
TEL: 878-650-2338 FAX: 878-690-2542

REGISTERED PROFESSIONAL ENGINEER SEAL:

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REVISION

REV	DATE	DESCRIPTION
0	1/8/2020	ISSUED FOR CONSTRUCTION

DRAWN BY: BA

CHECKED BY: JKP

CAUTION

FORGON UTILITY LOCATIONS ARE APPROXIMATE. CONTACT THE LOCAL ONE CALL AGENCY AT HOURS PRIOR TO CONSTRUCTION FOR EXACT UTILITY LOCATION.



CONSTRUCTION SHALL NOTIFY THE JURISDICTIONS, DEPARTMENT OF PUBLIC WORKS AND ENGINEERING, OFFICE OF THE CITY ENGINEER, 48 HOURS BEFORE STARTING WORK IN THIS PROJECT.

PROJECT INFORMATION

VERIZON SITE ID
SMC_FARRAGUT_7_5G_007

NEAREST ADDRESS
TURKEY COVE LN
FARRAGUT, TN 37934
(KNOX COUNTY)

SHEET TITLE

POLE ELEVATION

SHEET NO.

C1

REVISION:

0



CURRENT VIEW
(FROM W LOOKING E)



PROPOSED VIEW
(FROM W LOOKING E)

PREPARED FOR: 1000 WILLIAMS BLVD KENNER, LA 70002		
A/E FIRM: 1401 OLD ALABAMA ROAD, SUITE 100 ROSWELL, GA 30076 TEL: 878-800-2238 FAX: 878-800-2242		
REGISTERED PROFESSIONAL ENGINEER SEAL: THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE, ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO THE CLIENT IS STRICTLY PROHIBITED.		
REVISION		
REV	DATE	DESCRIPTION
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PROJECT INFORMATION: VERIZON SITE ID SMC_FARRAGUT_7_5G_007 NEAREST ADDRESS TURKEY COVE LN FARRAGUT, TN 37934 (KNOX COUNTY)		
SHEET TITLE: PHOTO SIMS		
SHEET NO.	C4.1	REVISION: 0



CURRENT VIEW
(FROM S LOOKING N)



PROPOSED VIEW
(FROM S LOOKING N)

PREPARED FOR: verizon 1000 WILLIAMS BLVD KENNER, LA 70002							
A/E FIRM:  1875 OLD ALABAMA ROAD, SUITE 100P ROSWELL, GA 30076 TEL: 678-880-2336 FAX: 678-880-2342							
REGISTERED PROFESSIONAL ENGINEER SEAL: THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE, ANY USE OR REPRODUCTION OTHER THAN THAT WHICH RELATES TO THE CLIENT IS STRICTLY PROHIBITED.							
REVISION <table border="1"> <thead> <tr> <th>REV</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>0</td> <td>1/8/2020</td> <td>ISSUED FOR CONSTRUCTION</td> </tr> </tbody> </table>		REV	DATE	DESCRIPTION	0	1/8/2020	ISSUED FOR CONSTRUCTION
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0	1/8/2020	ISSUED FOR CONSTRUCTION					
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SHEET TITLE: PHOTO SIMS							
SHEET NO: C4.2	REVISION: 0						

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Bart Hose, Assistant Community Development Director

SUBJECT: Discussion and public hearing on amendments to the future land use map in relation to the area east of the roundabout that provides access to McFee Park off McFee Road (Town of Farragut, Applicant)

INTRODUCTION AND BACKGROUND: This was discussed as a workshop item last month. At that time, the Staff provided an overview of public comments collected during a recent public input meeting and the recommendation from the CLUP Steering Committee to amend the future land use map in the area east of the McFee Park entrance roundabout from Mixed Use Neighborhood and Medium Density Residential to an Open Space Cluster Residential designation. This land use is the predominant use in the Southwest Quadrant of the Town and is most closely associated with the Open Space Residential Overlay (OSR) and Open Space Mixed Residential Overlay (OSMR) Zoning Districts.

DISCUSSION: Included in your packet is Resolution PC-20-01 which recommends approval of proposed changes to the CLUP's future land use map for the area in the McFee Road Corridor noted above.

RECOMMENDATION: Staff recommends approval of Resolution PC-20-01.

RESOLUTION PC-20-01

FARRAGUT MUNICIPAL PLANNING COMMISSION

A RESOLUTION TO APPROVE AMENDMENTS TO THE FUTURE LAND USE MAP IN THE COMPREHENSIVE LAND USE PLAN UPDATE DECEMBER 2012 FOR PORTIONS OF THE MCFEE ROAD CORRIDOR

WHEREAS, the Tennessee Code Annotated, Section 13-4-201et seq, provides that the Municipal Planning Commission shall make and adopt a general plan for the physical development of the municipality; and

WHEREAS, the Farragut Municipal Planning Commission has adopted the Comprehensive Land Use Plan Update on December 12, 2012; and

WHEREAS, the Farragut Municipal Planning Commission may periodically amend various aspects of the Comprehensive Land Use Plan Update;

NOW, THEREFORE, BE IT RESOLVED that the Farragut Municipal Planning Commission hereby recommends as part of the approval of Resolution PC-20-01, the adoption of Exhibit A (attached), which reflects future land use designation changes to portions of the McFee Road corridor from those currently shown on the adopted future land use map. More specifically, these changes involve reclassifying lands located to the east and surrounding the roundabout located at the entrance to McFee Park from Mixed Use Neighborhood and Medium Density Residential to the Open Space Cluster Residential use classification.

ADOPTED this 16th day of January 2020.

Rita Holladay, Chairman

Rose Ann Kile, Secretary

Exhibit A Resolution PC-20-01

McFee Road Existing Future Land Use



McFee Road Proposed Future Land Use

