



**FARRAGUT MUNICIPAL PLANNING COMMISSION
AGENDA**

**May 21, 2020
7:00 p.m.**

This meeting can be viewed live on Charter channel 193 and TDS channel 3. There is no public access to Town Hall due to Governor Lee's orders and the Knox County Health Department's orders regarding the COVID-19 pandemic.

Meeting comments may be emailed to comments@townoffarragut.org and must be received by 12:00 pm on May 21 to be included in the record of the meeting. For questions please e-mail Mark Shipley at mshipley@townoffarragut.org or Bart Hose at bhose@townoffarragut.org

- 1. Approval of agenda**
- 2. Approval of minutes – April 16, 2020**
- 3. Discussion and public hearing on a request for 5G fiber installation along portions of N. Campbell Station Road, Herron Road, Cottage Creek Subdivision, and portions of the Cove at Turkey Creek, Stonecrest, and Sweet Briar Subdivisions, and West End Avenue (Mastec, Contractor)**
- 4. Discussion and public hearing on a request for a text amendment to Appendix A – Zoning, Chapter 2. – Definitions, to define Arts and Fitness Studio, and Chapter 3. – Specific District Regulations, Section XVII. – Office District (O-1), to modify permitted uses (Matthew McClanahan, Applicant)**
- 5. Discussion on a request to rezone Parcel 019, Tax Map 162, 1013 McFee Road, 24.85 Acres, from Agricultural (A) to Open Space Mixed Residential Overlay (R-1/OSMR) (Rackley Engineering, Applicant)**
- 6. Discussion on a conceptual review of exterior building elevations and a typical street profile for the redevelopment of the old Kroger property, 11238 Kingston Pike (SITE Incorporated, Applicant)**
- 7. Discussion on a conceptual review of a site plan for 13036 and 13038 Kingston Pike, two Acres, Zoned C-1 (MBH, Inc., Applicant)**
- 8. Discussion on the development of zoning provisions governing pain management clinics and methadone treatment and similar drug/alcohol treatment clinics or facilities (Town of Farragut, Applicant)**

11408 MUNICIPAL CENTER DRIVE | FARRAGUT, TN 37934 | 865.966.7057

WWW.TOWNOFFARRAGUT.ORG

It is the policy of the Town of Farragut not to discriminate on the basis of race, color, national origin, age, sex, or disability pursuant to Title VI of the Civil Rights Act of 1964, Public Law 93-112 and 101-336 in its hiring, employment practices and programs. To request accommodations due to disabilities, please call 865-966-7057 in advance of the meeting.

9. Discussion and public hearing on an ordinance to amend the Farragut Sign Ordinance (Town of Farragut, Applicant)

10. Approval of utilities

11. Citizen Forum



**MINUTES
FARRAGUT MUNICIPAL PLANNING COMMISSION**

April 16, 2020

MEMBERS PRESENT

Rita Holladay, Chairman
Ed St. Clair, Vice-Chairman
Ron Williams, Mayor
Louise Povlin
Scott Russ
Jon Greene
Noah Myers
Rose Ann Kile
Betty Dick (present, but did not have audio so no comments or vote could be recorded)
Melanie Cionfolo

MEMBERS ABSENT

Staff Representatives: Mark Shipley, Community Development Director
David Smoak, Town Administrator
Trevor Hobbs, Assistant to the Town Administrator

This meeting was conducted through a remote Webex session due to Governor Lee's orders and the Knox County Health Department's orders regarding the COVID-19 pandemic.

Chairman Holladay called the meeting to order at 7 p.m. and provided background on why the meeting was being conducted through Webex and where it may be viewed. Chairman Holladay asked staff representative Shipley to review the sequence of how each voting item would be addressed.

1. Approval of agenda

Staff recommended approval of the agenda as submitted.

A motion was made by Commissioner Povlin to follow staffs' recommendation. Motion was seconded by Mayor Williams and motion passed 8-0 through a roll call vote.

2. Approval of minutes – March 19, 2020

Staff recommended approval of the minutes as submitted.

A motion was made by Commissioner Povlin to follow staffs' recommendation. Motion was seconded by Mayor Williams and motion passed 6-0-2, with Commissioners Myers and Kile abstaining because they were absent.

3. Discussion and public hearing on upgrades to KUB gas lines on Admiral Road, Dundee Road, Duzane Road, Oran Road, Wardley Road, and Turkey Cove Lane (KUB, Applicant)

Staff reviewed this item and recommended approval subject to the following conditions:

- 1) Please obtain a grading and right of way permit from the Town and use directional boring to the greatest extent possible. Silt and tree fencing must be installed and then inspected and approved by the Town staff.
- 2) At a minimum, please restore any affected areas to their pre-construction condition and ensure that all affected areas are completely stabilized.
- 3) Please ensure that proper traffic control measures are in place, and
- 4) Please provide an as-built of the gas line placement and easements to the Town once the project is complete.

Britt Elmore was in the meeting to answer questions for KUB. Commissioner Povlin noted that KUB would need to communicate with the Town's media contact person so that information could be posted to indicate that KUB would be in certain parts of the Stonecrest Subdivision doing the gas update work. This would help differentiate their project from a 5G fiber installation project that is also affecting some of the same areas. Staff indicated that they would work with KUB to ensure this would be coordinated.

After a short discussion, a motion was made by Commissioner St. Clair to follow staffs' recommendation. Motion passed 8-0 through a roll call vote.

4. Discussion and public hearing on a final plat for the Ivey Farms Road and Townhomes, Parcel 58, Tax Map 151, 39 Lots, 22.86 Acres, Zoned NCC, R-1, and FPD (SITE Incorporated, Applicant)

Staff reviewed this item and recommended approval subject to the following conditions:

- 1) Please either complete the walking trail to Kingston Pike or provide a completion letter of credit to cover the completion of the walking trail within the next 12 months. The amount of the letter of credit will be determined by the Town Engineer. This letter of credit would also include the sidewalks required internal to the Townhome portion of the development and the amount will be determined by the Town Engineer.
- 2) Please correct Note 13 on Sheet 1 to indicate that there are 38 lots. In addition, please explain the relationship between the residential and commercial development as it applies to this note.
- 3) Please include, as a plat note, that access for Lot 38 cannot be directly onto Kingston Pike.
- 4) Please remove the billboard near Kingston Pike on Lot 38 that was shown to be demolished on the preliminary plat sheets for the Ivey Farms Road.
- 5) Please consider showing the internal drainage lines that do not require an easement for future locational reference purposes.
- 6) The greenway easement needs to be centered on the as-built location of the trail (for Town maintenance purposes – the Town will ultimately maintain 10 feet on either side of the centerline of the trail as constructed).

- 7) The town does not currently have an approved stormwater controls maintenance agreement. If the development team has an agreement they intend to use, please provide to town staff.
- 8) Reference to a gravel trail should be changed to paved trail where it has been paved, and
- 9) Completion of any remaining field items on the engineering punchlist.

After some discussion, a motion was made by Commissioner Povlin to follow staffs' recommendation. Motion was seconded by Mayor Williams and motion passed 8-0 by roll call vote.

5. Discussion and public hearing on a site plan amendment related to the appearance of proposed retaining walls for Phase II of the PCD development at 115 S. Watt Road, 18.65 Acres, Zoned PCD (Watt Road Investments, LLC, Applicant)

Staff reviewed this item and recommended the following:

- 1) That a cross section detail of the wall with the veneer materials be included in the final site plan review set. This cross section will need to show the exact materials and their dimensions and how the materials will be constructed and anchored to the retaining wall, and
- 2) Please use a different type of fence than a chain link. Perhaps a shadowbox style fence in an earth tone made from materials that require minimum long-term maintenance.

In order to move into discussion, a motion was made by Mayor Williams and seconded by Commissioner Kile to follow staffs' recommendation. A long discussion then ensued. Mark Bialik was in the meeting to answer questions. Commissioners brought up concerns associated with how the wall would be engineered, how the wall would be drained, the specifics of the veneer materials in relation to the engineering, and the style of fence to be used across the top of the wall. Mark Bialik asked if the concept being presented which showed a brick veneer with stone (not cultured) pilasters could be approved so that the owner could arrange for the detailed engineering analysis to be completed. Mr. Bialik indicated that they would modify the fence so that it would more aesthetically pleasing and not be a chain link style. The engineered wall and the revised fencing would be resubmitted for staff review and, if there were any concerns from the staff, these would need to go back to the Planning Commission for approval.

Commissioner Povlin moved to amend the original motion and approve the concept subject to the staff approval of the engineered designed wall with the veneer proposed and the fence being revised to be more aesthetically pleasing. Should staff have concerns about the resubmittal, this would be brought back to the Planning Commission. Motion was seconded by Commissioner St. Clair and motion passed 8-0.

6. Discussion on a conceptual review of exterior building elevations and a typical street profile for the redevelopment of the old Kroger property, 11238 Kingston Pike (SITE Incorporated, Applicant)

For discussion purposes only.

7. **Discussion on a request for a text amendment to Appendix A – Zoning, Chapter 2. – Definitions, to define Low-Impact Retail Sales and Personal Fitness Services, and Chapter 3. – Specific District Regulations, Section XVII. – Office District (O-1), to add Personal Services, Personal Fitness Services, and Low-Impact Retail Sales as permitted uses (Matthew McClanahan, Applicant)**

For discussion purposes only.

8. **Discussion on the development of zoning provisions governing pain management clinics and methadone treatment and similar drug/alcohol treatment clinics or facilities (Town of Farragut, Applicant)**

For discussion purposes only.

9. **Approval of utilities**

None.

10. **Citizen Forum**

Staff noted that there were no citizen comments that had been submitted for the meeting.

The meeting was adjourned at 9:53 p.m.

Rose Ann Kile, Secretary

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on a request for 5G fiber installation along portions of N. Campbell Station Road, Parkside Drive, Herron Road, Cottage Creek Subdivision, and portions of the Cove at Turkey Creek, Stonecrest, and Sweet Briar Subdivisions, and West End Avenue (Mastec, Contractor)

INTRODUCTION AND BACKGROUND: This item is an expansion to the fiber installation project approved by the Planning Commission on December 19, 2019. The project will involve underground 5G fiber installation using directional boring. At the staff/developer meeting on May 5, staff asked the applicant to review the project area to see if any existing overhead utility lines could be used in order to avoid disruptions and conflicts caused by installing fiber underground in developed areas. Apparently, the areas were reviewed and there was not an opportunity for aerial fiber installation.

RECOMMENDATION: Due to some issues that have occurred in other areas where fiber has been installed, staff is recommending that this fiber project be broken into three separate phases with each phase requiring a right of way permit. For this specific request, staff is recommending the following phased areas:

1. Herron Road and the Sweet Briar Subdivision
2. Stonecrest Subdivision and the Cove at Turkey Creek Subdivision
3. N. Campbell Station Road, Kingston Pike, Parkside Drive, and West End Avenue

A right of way permit may be applied for and issued for one phase and all work associated with that phase will have to be completed and any issues corrected before a right of way permit will be issued for the next phase. This will help the staff to better manage these long linear projects and ensure that issues are quickly resolved. Some additional recommendations will include the following:

1. The requirement for a pre and post construction review of the phase area to identify potential conflicts, ensure one-calls have been completed, discuss locations for potholing, and review finished areas to ensure that they are restored to their pre-fiber installation condition.
2. Providing the Town and affected residents and businesses with the contact number for the supervisor in charge of the fiber installation.
3. Providing the Town staff and the Planning Commission with a copy of the public notification that will be given to affected residents and businesses, including an indication of when the project will begin and end and how the notification will be provided.
4. The posting of a letter of credit for the three project areas – the amount of the letter of credit will be determined by the Town Engineer.
5. Ensuring that Town staff is on site when work is initiated across the frontage of the Campbell Station Inn and Outdoor Classroom properties.

6. The approval of the fiber installation shall not constitute or imply approval of future small cell support tower sites. These tower sites will require a separate review and approval from the Planning Commission.
7. Ensuring that all street names and locations are correct. There are a couple of errors in the documents.
8. As-built locations for installed fiber shall be provided to the Town prior to Certificates of Completion being issued.

The full set of plan sheets will be included as a separate document. Staff has also included a copy of the public notice that Mastec uses for their property owner notification. The contractor is required to complete some sidewalk and landscape related repairs from current projects prior to the meeting. Should those repairs not be completed by noon on May 21, staff will recommend postponement.



MasTec North America, Inc. is building a Fiber network in your area. In the coming days, crews will be in your area placing fiber optic cable. If you have utility poles or underground structures on your property, we may need to access them during this time.

Our goal is to minimize any inconvenience to you. The work should not disrupt your utility services and we will restore any affected areas upon our completion of construction.

Should you have any questions regarding property access, pet restrictions, or other issues during this time, you can reach us at:

Phone 1-855-520-5043

Email resolution-centern@mastec.com

Job # -



MCImetro
ACCESS TRANSMISSION SERVICES,LLC



CYIENT

OUTSIDE PLANT CONSTRUCTION

NA FARRAGUT_FH

PERMITS:
TO BE LABELED AT A LATER DATE

FRONTHAUL
CONSTRUCTION DRAWINGS

  Know what's below. Call 811 before you dig. 72 HOURS NOTICE REQUIRED	REVISIONS			CONSTRUCTION FIRM	PREPARED BY :	 OUTSIDE PLANT CONSTRUCTION	 MCImetro ACCESS TRANSMISSION SERVICES,LLC	COVER SHEET				
	DATE:	REV	DESCRIPTIONS:	BY:				SMC_5G_FARRAGUT				
	11-18-2019	0	LLD	CYI				CITY: FARRAGUT	STATE: TENNESSEE		COUNTY: KNOX	
	01-13-2019	1	ROUTE MODIFICATION	CYI				SCALE: NTS	SHEET: 01 OF 86	REVISION: 2		
	01-29-2019	2	ADDED 5G SITES	CYI								
				MANAGER:	ENGINEER: C.PENNINGTON							
				PHONE:	PHONE:							

SHEET INDEX

<i>DESCRIPTION</i>	<i>SHEET NUMBER</i>
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  72 HOURS NOTICE REQUIRED	REVISIONS			CONSTRUCTION FIRM	PREPARED BY :	 OUTSIDE PLANT CONSTRUCTION	 MCImetro ACCESS TRANSMISSION SERVICES,LLC	SHEET INDEX			
	DATE:	REV	DESCRIPTIONS:	BY:				SMC_5G_FARRAGUT			
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	01-29-2019	2	ADDED 5G SITES	CYI							
				MANAGER:	ENGINEER: C.PENNINGTON						
				PHONE:	PHONE:						
								CITY: FARRAGUT	STATE: TENNESSEE	COUNTY: KNOX	
						DRAFTER:		SCALE: NTS	SHEET: 02 OF 86	REVISION: 2	

SYMBOL KEY

MCI PROPOSED CONSTRUCTION

	DIRECTIONAL BORE		
	OPEN TRENCH		
	PROPOSED STRAND		
	UNDERGROUND FIBER OPTIC CABLE		
	AERIAL FIBER OPTIC CABLE		
	17'x30'x24" VAULT		
	24'x30'x24" VAULT		
	30'x40'x30" VAULT		
	36'x40'x30" VAULT		
	BORE PIT		
	PROPOSED MANHOLE		
	ANCHOR AND GUY		
	OVERHEAD GUY		
	PUSH BRACE		
	SIDEWALK ANCHOR AND GUY		
	RISER		
	PROPOSED SPLICE		RING CUT LATERAL
	RCL - FUTURE SPLICE		REEL END SPLICE
	FI EQUIPMENT AERIAL		FI EQUIPMENT UG
	AERIAL SLACK LOOP		UG SLACK LOOP
	VES2K SITE		DEMAND POINT
			OVERLASH

OTHER UTILITIES

	GAS LINE		TELECOM LINE
	GAS METER		CABLE TV LINE
	GAS VALVE		FIBER OPTIC CABLE LINE
	TELECOM MANHOLE		RAILROAD
	TELECOM CABINET		WATER LINE
	UNKNOWN MANHOLE		FIRE HYDRANT
	UNKNOWN VAULT		WATER VALVE
	TREE LINE		WATER METER
			STORM WATER LINE
			STORM WATER UTILITY
			WASTE WATER LINE
			WASTE WATER MANHOLE
			OVERHEAD POWER LINE
			UNDERGROUND POWER LIN

MCI EXISTING CONSTRUCTION

	EXISTING MCI METRO CONDUIT		POWER TRANSFORMER
	EXISTING MCI METRO VAULT		POWER MANHOLE
	EXISTING 17'x30'x24" VAULT		POWER JUNCTION BOX
	EXISTING 24'x30'x24" VAULT		POWER CABINET
	EXISTING 24'x30'x30" VAULT		POWER VAULT
	EXISTING 30'x40'x30" VAULT		WOODEN POLE
	EXISTING 36'x70'x42" VAULT		STEEL POLE
	EXISTING STRAND		CONCRETE POLE
	EXISTING MANHOLE		STREET LIGHT
	EXISTING SPLICE		TRAFFIC LIGHT
			ADA RAMP
			MAIL BOX
	ROAD SIGN		
	SEWAGE MH		
	EXISTING UTILITY		

 72 HOURS NOTICE REQUIRED	REVISIONS			CONSTRUCTION FIRM		PREPARED BY :		 OUTSIDE PLANT CONSTRUCTION	 MCI metro ACCESS TRANSMISSION SERVICES, LLC	SYMBOL KEY			
	DATE:	REV	DESCRIPTIONS:	BY:						SMC_5G_FARRAGUT			
	11-18-2019	0	LLD	CYI						CITY: FARRAGUT		STATE: TENNESSEE	
	01-13-2019	1	ROUTE MODIFICATION	CYI						DRAFTER:		COUNTY: KNOX	
	01-29-2019	2	ADDED 5G SITES	CYI						SCALE: NTS		SHEET: 03 OF 86	
					MANAGER:	ENGINEER: C.PENNINGTON				REVISION: 2			
					PHONE:	PHONE:							

CONTACT INFORMATION

MCI METRO INC.

OUTSIDE PLANT ENGINEERING:

PROJECT ENGINEER:
STANLEY MAJKA (615)428-4943

PROJECT MANAGER:
JULIE FURUKAWA (925)393-3184

RIGHT-OF-WAY:

AGENT

MANAGER

CONTRACTS:

OTHERS:

DESIGN CONTRACTOR:

NAME OF FIRM
CYIENT INC
SENIOR PROJECT MANAGER
JOSH RIDINGS 662-620-6634

PROJECT MANAGER
TBD TBD

CONSTRUCTION CONTRACTOR:

NAME OF FIRM
MASTEC
PROJECT MANAGER
EILEEN WOULDSTRA (984)212-1878

PROJECT SUPERVISOR
LEILA RAY WILLIAMS (629)201-1484

RAILROADS

KOHR: JARRETT MANKIN (800)818-0184

NORFOLK SOUTHERN: DYLAN ANGEL TBD

CSX: TBD TBD

UTILITIES

KUB: BEKIM HALITI (865)558-2376

LES BEAVER (865)558-2737

SARA AUER (865)558-2598

LCUB: HEATHER WATKINS (865)998-0758

FORT LOUDOUN ELECTRIC COOP: JARROD BRACKET 1-(877)353-2674

MICHAEL WEBB 1-(877)353-2674

CITY GOVERNMENT

CITY OF KNOXVILLE: TONY VANDERGRIF (865)215-6100

CITY OF KNOXVILLE: GEORGE DAWS (865)215-6121

TOWN OF FARRAGUT: MARK SHIPLEY (865)966-7057

CITY OF MARYVILLE: KEITH BREWER (865)273-3515

BARON SWAFFORD (865)273-3305

DAVID PRICHARD (865)273-3507

CITY OF CLINTON: CURTIS PEREZ (865)259-1108

CITY OF ALCOA: STEVE REYNOLDS (865)380-4869

COUNTY GOVERNMENT

KNOX COUNTY: CHRIS SIVYER (865)388-3447

KNOX COUNTY: JIM SNOWDEN (865)215-5808

SEVIER COUNTY: DOUG SAWYER (865)429-4585

BLOUNT COUNTY: JEFF HEADRICK (865)982-4662

CHICO MESSER (865)982-4652

THOMAS LLOYD (865)681-9301

JEFF HATCHER (865)984-3421

ANDERSON COUNTY: GARY LONG (865)457-2735

STATE GOVERNMENT

TDOT UTILITIES: ROYCE FOUT: (PERMITS) (865)755-3698

TDEC: BRANDON YATES (615)687-7101

BILL MURPH (615)687-7124

FEDERAL GOVERNMENT

USACE (CORP OF ENGINEERS) (615)369-7500

OTHER



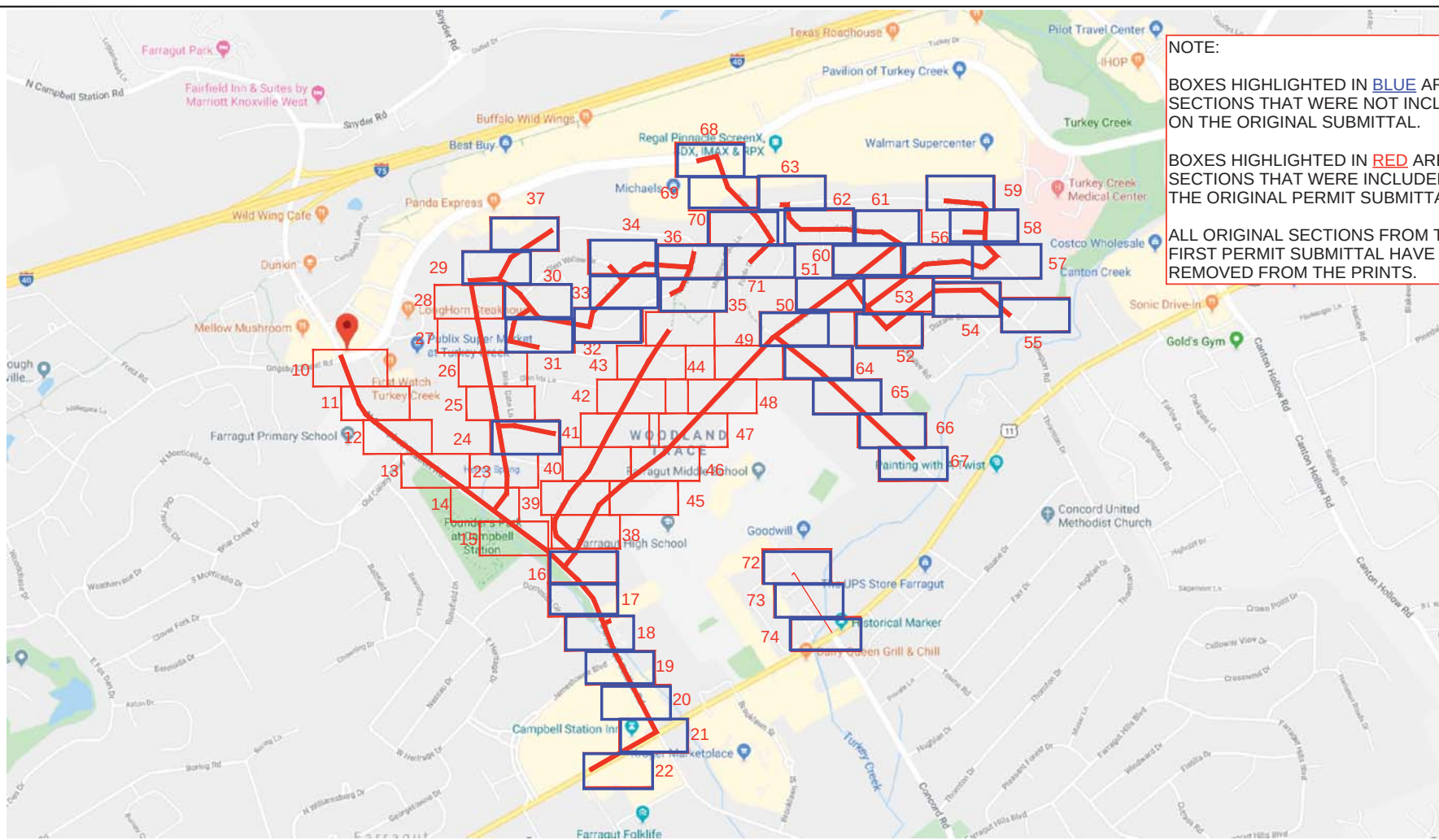
72 HOURS NOTICE REQUIRED

REVISIONS			CONSTRUCTION FIRM		PREPARED BY :	
DATE:	REV	DESCRIPTIONS:	BY:			
11-18-2019	0	LLD	CYI			
01-13-2019	1	ROUTE MODIFICATION	CYI			
01-29-2019	2	ADDED 5G SITES	CYI			

CONSTRUCTION FIRM		PREPARED BY :	

PREPARED BY :	

CONTACT INFORMATION SHEET			
SMC_5G_FARRAGUT			
CITY: FARRAGUT	STATE: TENNESSEE	COUNTY: KNOX	
DRAFTER:	SCALE: NTS	SHEET: 04 OF 86	REVISION: 2



NOTE:

BOXES HIGHLIGHTED IN **BLUE** ARE THE SECTIONS THAT WERE NOT INCLUDED ON THE ORIGINAL SUBMITTAL.

BOXES HIGHLIGHTED IN **RED** ARE SECTIONS THAT WERE INCLUDED ON THE ORIGINAL PERMIT SUBMITTAL.

ALL ORIGINAL SECTIONS FROM THE FIRST PERMIT SUBMITTAL HAVE BEEN REMOVED FROM THE PRINTS.

811
Know what's below.
Call 811 before you dig.

72 HOURS NOTICE REQUIRED

REVISIONS			
DATE:	REV	DESCRIPTIONS:	BY:
11-18-2019	0	LLD	CYI
01-13-2019	1	ROUTE MODIFICATION	CYI
01-29-2019	2	ADDED 56 SITES	CYI

CONSTRUCTION FIRM	PREPARED BY :
CYIENT	
MANAGER:	ENGINEER: C.PENNINGTON
PHONE:	PHONE:

MasTec
OUTSIDE PLANT CONSTRUCTION

MCI
MCI metro
ACCESS TRANSMISSION
SERVICES, LLC

KEY MAP			
SMC_5G_FARRAGUT			
CITY: FARRAGUT	STATE: TENNESSEE	COUNTY: KNOX	
DRAFTER:	SCALE: NTS	SHEET: 05 OF 86	REVISION: 2

GENERAL NOTES AND REQUIREMENTS

GENERAL NOTES

1. MCI COMPRISES THE FOLLOWING OPERATING ENTITIES:
 - MCI COMMUNICATIONS SERVICES, INC.
 - MCI METRO ACCESS TRANSMISSION SERVICES, LLC
 - MCI METRO ACCESS TRANSMISSION SERVICES OF VIRGINIA, INC.
 - MCI METRO ACCESS TRANSMISSION SERVICES OF MASSACHUSETTS, INC.
 - METROPOLITAN FIBER SYSTEMS OF NEW YORK, INC.
2. ALL WORK TO BE PERFORMED IN STRICT ACCORDANCE WITH THE APPLICABLE CODES OR REQUIREMENTS OF ANY REGULATING GOVERNMENTAL AGENCY, MCI METRO, OR THE RIGHT-OF-WAY GRANTOR.
3. LOCATIONS OF SOME OF THE PHYSICAL FEATURES WERE OBTAINED FROM DATED RAILROAD VALUATION MAPS OR OTHER DRAWINGS, AND MAY BE AS SHOWN OR DEPICTED ON THESE DRAWINGS.
4. ALL KNOWN BURIED OBSTRUCTIONS ARE SHOWN ON SITE PLAN. ANY AND ALL OTHERS ENCOUNTERED ARE ALSO THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE, PROTECT, AND REPAIR, IF DAMAGED.
5. ANY AND ALL IMPROVEMENTS, SUCH AS ASPHALT OR CONCRETE PAVEMENT, CURBS, GUTTERS, WALKS, DRAINAGE DITCHES, EMBANKMENTS, SHRUBS, TREES, GRASS SOD, ETC., IF DAMAGED, SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITIONS.
6. EQUIPMENT TYPES SPECIFIED HEREIN (IE: "BACKHOE" "SWAMP PLOW", ETC.) ARE SUGGESTIONS ONLY AND ARE NOT INTENDED AS REQUIREMENTS. CONTRACTOR WILL BE NOTIFIED AS TO EXCEPTIONS.

OSP CONSTRUCTION GENERAL REQUIREMENTS

- ALL FEDERAL, STATE AND LOCAL SAFETY REGULATIONS MUST BE FOLLOWED WITHOUT EXCEPTION.
- PERSONAL PROTECTIVE EQUIPMENT APPROPRIATE FOR THE SPECIFIC WORK SITE SHALL BE USED AT ALL TIMES. AT A MINIMUM, HARD HAT, SAFETY SHOES/STEEL-TOED BOOTS, AND FLORESCENT ORANGE OR GREEN WORK VEST ARE REQUIRED UPON ENTERING ANY MCI WORK SITE.
- USE OF INTOXICANTS, DRUGS, INHALANTS OR ANY OTHER SUBSTANCES THAT MAY IMPAIR ALERTNESS ARE STRICTLY PROHIBITED.
- CONTRACTORS ARE NOT ALLOWED TO CUT ANY CABLE. CABLES SCHEDULED FOR REMOVAL WILL BE CUT BY MCI OPERATIONS PERSONNEL, AND ONLY AFTER VERIFICATION THAT ALL TRAFFIC HAS BEEN OFF-LOADED.
- EXTREME CAUTION MUST BE USED AT ALL TIMES WHEN WORKING ON OR NEAR ACTIVE CABLES. AN MCI EMPLOYEE OR CONTRACT REPRESENTATIVE MUST APPROVE AND BE PRESENT PRIOR TO AND DURING ALL CABLE HANDLING ACTIVITIES.
- TOOLS AND EQUIPMENT SPECIFICALLY DESIGNED FOR THE JOB AT HAND ARE REQUIRED. USE THE PROPER TOOL FOR THE JOB.
- CONDUIT WORK INVOLVING ACTIVE CABLES REQUIRES SPECIALIZED TOOLS SPECIFICALLY DESIGNED TO ACCESS DUCTS WITH ACTIVE CABLES.
- PROTECTING MCI FACILITIES IS EXTREMELY IMPORTANT; HOWEVER, SAFETY REGARDING YOURSELF AND OTHERS IS THE MOST IMPORTANT PART OF ANY PROJECT.



72 HOURS NOTICE REQUIRED

REVISIONS				CONSTRUCTION FIRM	PREPARED BY :
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11-18-2019	0	LLD	CYI		
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01-29-2019	2	ADDED 5G SITES	CYI		
				MANAGER:	ENGINEER: C.PENNINGTON
				PHONE:	PHONE:

CYIENT

MasTec
OUTSIDE PLANT CONSTRUCTION

MCI
MCI metro
ACCESS TRANSMISSION
SERVICES,LLC

GENERAL NOTES

SMC_5G_FARRAGUT

CITY: FARRAGUT	STATE: TENNESSEE	COUNTY: KNOX
DRAFTER:	SCALE: NTS	SHEET: 06 OF 86
		REVISION: 2

GENERAL NOTES AND REQUIREMENTS

CONSTRUCTION NOTES

- ALL CONDUIT WILL BE 4" ID SCHEDULE 40 (i.e. PVC OR BSP/GSP, MANUFACTURED SPLIT PVC OR SPLIT BSP/GSP), UNLESS SPECIFIED OTHERWISE.
- CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES 48 HOURS PRIOR TO CONSTRUCTION ACTIVITY. SEE CONTACT SHEET FOR CONTACT NAME AND TELEPHONE NUMBER.
- ALL UNDERGROUND OBSTRUCTIONS, WHEN LOCATED, WILL REQUIRE THE PLACEMENT OF A BURIED CABLE MARKER AND THE PLACEMENT OF 4" MANUFACTURED SPLIT PVC, BSP/GSP OVER OR UNDER EACH OBSTRUCTION.
- SHORING MAY BE REQUIRED AND SHALL COMPLY WITH O.S.H.A. STANDARDS.
- ALL BURIED CONDUIT/CABLE WILL BE PLACED AT 42" MINIMUM COVER UNLESS SPECIFIED OTHERWISE ON THE CONSTRUCTION DRAWINGS.
- MECHANICAL PROTECTION SHALL BE REQUIRED ANYTIME A 36" MINIMUM COVER IS UNOBTAINABLE UNLESS SPECIFIED OTHERWISE ON THE CONSTRUCTION DRAWINGS.
- ALL 90 DEGREE BENDS IN CONDUIT CONSTRUCTION WILL BE A MINIMUM 39.2" RADIUS UNLESS SPECIFIED OTHERWISE. ALL SPLIT CONDUIT BENDS AND SOLID PVC BENDS SHALL REQUIRE CONCRETE ENCASEMENT, UNLESS SPECIFIED OTHERWISE.
- OPERATIONS PERSONNEL TO BE CONTACTED BY THE CONTRACTOR 48 HOURS PRIOR TO CONSTRUCTION. SEE CONTACT SHEET FOR CONTACT NAME AND TELEPHONE NUMBER.
- ALL STATIONING IS BASED ON AS-BUILT INFORMATION, THEREFORE SOME VARIANCE SHOULD BE ANTICIPATED. ADJUST AS NEEDED.
- RAILROAD COMMUNICATION AND SIGNAL CABLES TO BE LOCATED PRIOR TO THE CONSTRUCTION ACTIVITY. RAILROAD TO BE GIVEN 48 HOURS NOTICE PRIOR TO CONSTRUCTION.
- ALL BURIED CABLE MARKER POSTS AND HARDWARE PLACED AND/OR REMOVED ON ALL NEW AND EXISTING ROUTES SHALL BE IMPLEMENTED AS FOLLOWS.
 - ON THOSE ROUTES THAT ARE CONSIDERED TO BE IN A NORTH TO SOUTH GEOGRAPHICAL ORIENTATION, THE SOUTHERN-MOST SIGN AND POST SHOULD BE REMOVED. FOR NEW ROUTES BEING CONSTRUCTED, ONE SIGN POST WILL BE PLACED AT THE NORTH END OF EACH HANDHOLE.
 - ON THOSE ROUTES THAT ARE CONSIDERED TO BE IN AN EAST TO WEST GEOGRAPHICAL ORIENTATION, THE WESTERN-MOST SIGN AND POST SHOULD BE REMOVED. FOR NEW ROUTES BEING CONSTRUCTED, ONE SIGN POST WILL BE PLACED AT THE EAST END OF THE EACH HANDHOLE.

FIBER OPTIC CABLE UNCOVERING SYSTEM

- THE TITLE OF THIS PROGRAM, F.O.C.U.S., AN ACRONYM FOR "FIBER OPTIC CABLE UNCOVERING SYSTEM," WAS SELECTED TO REMIND EVERYONE INVOLVED WITH WORKING NEAR MCI'S ACTIVE FIBER OPTIC SYSTEMS TO FOCUS ON PROTECTING THE FACILITIES. IF, DURING THE COURSE OF THE PROJECT, YOU NOTICE ANY ACTIVITY WHICH MAY JEOPARDIZE THE MCI OSP FACILITIES, IT IS YOUR DUTY TO STOP THE WORK AND RE-F.O.C.U.S.
- F.O.C.U.S. RULES MUST BE FOLLOWED ON ALL MCI PROJECTS INVOLVING WORK ON OR NEAR MCI OSP FACILITIES. SAFETY IS MCI'S NUMBER ONE PRIORITY; EVERYONE MUST REFRAIN FROM UNSAFE AND IMPROPER PRACTICES.
- REVIEW OF F.O.C.U.S. IS MANDATORY AT EVERY PRE-BID, PRE-CONSTRUCTION SITE MEETING AND DAILY TAILGATE MEETING. F.O.C.U.S. DISCUSSION MUST INCLUDE SITE-SPECIFIC HISTORY, UNIQUE PROBLEMS, FACILITY CONFIGURATIONS THAT MAY BE ENCOUNTERED, AND PAST ERRORS. "THOSE WHO DO NOT LEARN FROM HISTORY ARE DOOMED TO REPEAT IT." DO NOT LET THIS HAPPEN TO YOU.
- ANY WORK NEAR OR REQUIRING HANDLING OF MCI OUTSIDE PLANT FACILITIES CAN ONLY BE PERFORMED WITH AN MCI EMPLOYEE OR CONTRACT REPRESENTATIVE PRESENT -- THIS MEANS OUT OF HIS OR HER VEHICLE AND DIRECTLY MONITORING THE SYSTEM. THE REPRESENTATIVE MUST HAVE A PROPERLY OPERATING CABLE LOCATOR CHECKED FOR ACCURACY EVERY DAY PRIOR TO COMMENCEMENT OF WORK (COMPARISON OF LINE AND DEPTH READINGS TO ACTUAL LINE AND DEPTH OF THE CABLE).
- LOCATE AND POTHOLE REQUIREMENTS:
 - PRIOR TO ANY EXCAVATION, THE MCI EMPLOYEE OR CONTRACT REPRESENTATIVE MUST VERIFY THE INITIAL LOCATE MARKS COMPLETED BY MCI OPERATIONS. DO NOT TRUST LOCATE RESULTS COMPLETED BY OTHERS! THE MCI OR CONTRACT REPRESENTATIVE MUST LOCATE THE CABLE RUNNING LINE BY MAKING AT LEAST ONE PASS IN EACH DIRECTION. LOCATE RESULTS MUST THEN BE COMPARED WITH PREVIOUS MARKS AND THE AS-BUILTS.
 - IF THE PROPOSED WORK INVOLVES DIGGING OR EXCAVATING WITHIN 3 FEET OF THE CABLE, THE CABLE ROUTE WILL BE MARKED CONTINUALLY WITH ORANGE PAINT AND SUPPLEMENTED BY MARKER FLAGS PLACED EVERY 10 FT. THE EXCAVATION CONTRACTOR MUST POTHOLE (ALL POTHoles MUST BE COMPLETED BY HAND DIGGING OR VACUUM EXCAVATION) A MINIMUM OF EVERY 15 FT., THEN EXPOSE THE ENTIRE LENGTH OF THE CABLE BY HAND DIGGING OR VACUUM EXCAVATION.
 - IF THE PROPOSED WORK INVOLVES DIGGING OR EXCAVATING WITHIN 5 FEET (BUT NOT CLOSER THAN 3 FEET) OF THE CABLE, THE CABLE ROUTE WILL BE MARKED CONTINUALLY WITH ORANGE PAINT AND SUPPLEMENTED BY MARKER FLAGS PLACED EVERY 10 FT. THE EXCAVATION CONTRACTOR MUST POTHOLE THE CABLE A MINIMUM OF EVERY 15 FT.
 - IF THE PROPOSED WORK INVOLVES DIGGING OR EXCAVATING WITHIN 15 FEET (BUT NOT CLOSER THAN 5 FEET) OF THE CABLE, THE CABLE ROUTE WILL BE MARKED CONTINUALLY WITH ORANGE PAINT AND SUPPLEMENTED BY MARKER FLAGS PLACED EVERY 10 FT. THE EXCAVATION CONTRACTOR MUST POTHOLE THE CABLE A MINIMUM OF EVERY 30 FT.
 - THE CABLE WILL ALSO BE POTHOLED AT ANY CHANGE IN THE RUNNING LINE OF MORE THAN 1 FT. IN ANY DIRECTION, ANYTIME THE ACCURACY OF THE ELECTRONIC LOCATE IS QUESTIONED, OR THE MARKED RUNNING LINE DOES NOT MATCH THE AS-BUILTS.
- EXPOSING REQUIREMENTS:
 - NO MECHANICAL EXCAVATION WITHIN 3 FT. OF OSP FACILITIES WILL BE ALLOWED UNLESS THE FACILITIES HAVE FIRST BEEN PROPERLY LOCATED, POTHOLED, POSITIVELY IDENTIFIED, CONTINUOUSLY EXPOSED BY HAND DIGGING OR VACUUM EXCAVATION, AND THE FACILITIES ARE CLEARLY VISIBLE.
 - IN ADDITION, MECHANICAL EXCAVATION WITHIN 3 FT. OF OSP FACILITIES REQUIRES ON-SITE PRIOR APPROVAL FROM MCI'S EMPLOYEE OR CONTRACT REPRESENTATIVE.
- PLEASE REFER TO THE LATEST EDITION OF THE MCI OSP HANDBOOK FOR ADDITIONAL DETAILS. KNOW IT AND FOLLOW IT.



72 HOURS NOTICE REQUIRED

REVISIONS				CONSTRUCTION FIRM		PREPARED BY :	
DATE:	REV	DESCRIPTIONS:	BY:			CYIENT	
11-18-2019	0	LLD	CYI				
01-13-2019	1	ROUTE MODIFICATION	CYI				
01-29-2019	2	ADDED 5G SITES	CYI				
				MANAGER:		ENGINEER: C.PENNINGTON	
				PHONE:		PHONE:	



GENERAL NOTES

SMC_5G_FARRAGUT

CITY: FARRAGUT		STATE: TENNESSEE		COUNTY: KNOX	
DRAFTER:		SCALE: NTS	SHEET: 07 OF 86	REVISION: 2	

GENERAL NOTES AND REQUIREMENTS

CONSTRUCTION NOTES

1. ALL DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FEDERAL WAY REVISED CODE (FWRC), APPLICABLE ORDINANCES, AND THE CITY COUNCIL CONDITIONS OF PROJECT APPROVAL. THESE DOCUMENTS ARE SUPPLEMENTED BY THE STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION (WSDOT/APWA), THE KING COUNTY ROAD STANDARDS (KCRS), AND TEH KING COUNTY SURFACE WATER DESIGN MANUAL (KCSWDM).
 2. THE DESIGN ELEMENTS WITHIN THESE PLANS HAVE BEEN REVIEWED ACCORDING TO THE FEDERAL WAY ENGINEERING REVIEW CHECKLIST. SOME ELEMENTS MAY HAVE BEEN OVERLOOKED OR MISSED BY THE CITY ENGINEERING PLAN REVIEWER. ANY VARIANCE FROM ADOPTED STANDARDS IS NOT ALLOWED UNLESS SPECIFICALLY APPROVED BY THE CITY OF FEDERAL WAY, PRIOR TO CONSTRUCTION.
 3. BEFORE ANY CONSTRUCTION OR DEVELOPMENT ACTIVITY, A PRE-CONSTRUCTION MEETING MUST BE HELD BETWEEN THE CITY OF FEDERAL WAY, THE APPLICANT, AND THE APPLICANT'S CONSTRUCTION REPRESENTATIVE.
 4. A SIGNED COPY OF THESE APPROVED PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
 5. CONTRACTOR MAY ONLY PERFORM WORK IN THE RIGHT OF WAY BETWEEN THE HOURS OF 8:30 A.M. AND 3:00 P.M., MONDAY THROUGH FRIDAY, UNLESS DIFFERENT HOURS OF OPERATION ARE APPROVED IN WRITING BY THE CITY. NO WORK IS PERMITTED IN THE ROW ON WEEKENDS OR HOLIDAYS OBSERVED BY TEH CITY. NO WORK WILL BE PERMITTED AFTER 12 PM (NOON) ON A DAY PRIOR TO A HOLIDAY WEEKEND.
 6. CONSTRUCTION NOISE SHALL BE LIMITED AS PER FWRC (SECTION 19.105.040); NORMALLY THIS IS 7:00 A.M. TO 8:00 P.M., MONDAY THROUGH FRIDAY, AND 9:00 A.M. TO 8:00 P.M. ON SATURDAYS
 7. ALL HARD SURFACE ROADS ARE TO BE JACKED OR BORED, UNLESS OTHERWISE AGREED TO IN WRITING BY THE PUBLIC WORKS DIRECTOR OR THE DIRECTOR'S DESIGNEE.
 8. ALL ROADWAY SUBGRADE SHALL BE BACKFILLED AND COMPACTED TO 95% DENSITY IN ACCORDANCE WITH WSDOT 2-06.3.
 9. OPEN CUTTING OF EXISTING ROADWAYS IS NOT ALLOWED UNLESS SPECIFICALLY APPROVED BY THE PUBLIC WORKS DIRECTOR AND NOTED ON THESE APPROVED PLANS. ANY OPEN CUT SHALL BE RESTORED IN ACCORDANCE WITH KCRS 8.03(B) 3.
-
10. WHENEVER PART OF A SQUARE OR SLAB OF EXISTING CONCRETE SIDEWALK OR DRIVEWAY IS CUT OR DAMAGE, THE ENTIRE SQUARE OR SLAB SHALL BE REMOVED OR REPLACED. ALL MATERIALS AND COMPACTION SHALL BE IN ACCORDANCE WITH THE CITY OF FEDERAL WAY DEVELOPMENT STANDARDS. CONCRETE MAY NOT BE PLACED IN TEMPERATURES AT OR BELOW FREEZING. 3000 PSI. MAXIMUM CONCRETE ACCELERATOR .5% CALCIUM IS NOT PERMITTED. NO MONOLITHIC POURS ALLOWED.
 11. ALL UNDERGROUND UTILITY LINES MUST HAVE A MINIMUM 36" COVER FROM FINISHED GRADE, DITCH BOTTOM, OR NATURAL GROUND. REFER TO WSDOT UTILITY MANUAL FOR PIPE COVER REQUIREMENTS ON STATE ROUTES; SR 18, SR 99, SR 161, SR 509.
 12. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY ALL UTILITY DISTRICTS AND PRIVATE PROPERTY OWNERS WHEN SUCH PROPERTY IS LIABLE TO INJURY OR DAMAGE THROUGH THE PERFORMANCE OF THE ABOVE WORK. CALL 1-800-424-5555 48 HOURS IN ADVANCE FOR UNDERGROUND UTILITY LOCATION. THIS INSTRUCTION DOES NOT RELIEVE THE CONTRACTOR FROM REQUIRED NOTIFICATION OF COUNTY INSPECTORS AS SPECIFIED IN PARAGRAPH 1, ABOVE.
 13. CONTRACTOR SHALL NOTIFY THE PUBLIC WORKS DEPARTMENT AT LEAST TWENTY-FOUR (24) HOURS, BUT NOT MORE THAN SEVENTY-TWO (72) HOURS, PRIOR TO COMMENCING THE WORK. CREW MUST CALL PERMIT # AND WORK LOCATION EACH MORNING THEY ARE TO BE WORKING IN TOWN TO VERIFY THE START OF WORK. FAILURE TO PROVIDE SUCH NOTICE WILL RESULT IN THE ASSESSMENT OF A JOB START PENALTY CHARGE PER EACH OCCURRENCE, IN ADDITION TO ANY OTHER FEES PROVIDED FOR IN THIS PERMIT.
 14. AFTER COMPLETION OF CONSTRUCTION WORK THE CONTRACTOR SHALL RESTORE ALL RIGHTS OF WAY AND PUBLIC PLACES TO THE CONDITION WHICH IS EQUIVALENT TO OR BETTER THAN THE CONDITION OF THE RIGHT OF WAY PRIOR TO COMMENCING THE WORK AND TO A CONDITION SATISFACTORY TO THE CITY WITHIN 30 DAYS. CONTRACTOR SHALL REPAIR THE DAMAGE AT ITS SOLE COST AND EXPENSE, WITHOUT DELAY OR INTERRUPTION AND WITHIN THE TIME PERIOD PRESCRIBED BY THE CITY.
 15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE SAFEGUARDS, SAFETY DEVICES, PROTECTIVE EQUIPMENT, FLAGGERS, AND ANY OTHER NEEDED ACTIONS TO PROTECT THE LIFE, HEALTH AND SAFETY OF THE PUBLIC, AND TO PROTECT PROPERTY IN CONNECTION WITH THE PERFORMANCE OF WORK COVERED BY THE CONTRACTOR. ANY WORK WITHIN THE TRAVELED RIGHT-OF-WAY THAT MAY INTERRUPT NORMAL TRAFFIC FLOW SHALL REQUIRE AT LEAST ONE FLAGGER FOR EACH LANE OF TRAFFIC AFFECTED. ALL SECTIONS OF THE WSDOT STANDARD SPECIFICATIONS 1-07-23-TRAFFIC CONTROL, SHALL APPLY.

FIBER OPTIC CABLE UNCOVERING SYSTEM

16. CONTRACTOR SHALL PROVIDE AN INSTALL ALL REGULATORY AND WARNING SIGNS PER THE LATEST EDITION OF MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
17. ESC FACILITIES SHALL BE INSPECTED DAILY BY THE CONTRACTOR AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUE FUNCTION.
18. TEMPORARY EROSION AND SEDIMENTATION CONTROL SHOULD BE IN ACCORDANCE WITH THE KING COUNTY EROSION AND SEDIMENT CONTROL STANDARD. AT NO TIME SHALL MORE THAN ONE (1) FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT-LADEN WATER INTO THE DOWNSTREAM.
19. ANY EXCAVATION WITHIN PROXIMITY OF TREE DRIP LINES SHALL BE PERFORMED VIA HYDRO VACUUM EXCAVATION.
20. PERMITTEE SHALL NOT CLEAR, REMOVE OR DISTURB ANY TREES OR VEGETATION IN THE RIGHT OF WAY WITHOUT SUBMITTING A REVEGETATION AND EROSION CONTROL PLAN, IN FORM AND CONTENT ACCEPTABLE TO THE CITY.



72 HOURS NOTICE REQUIRED

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DATE:	REV	DESCRIPTIONS:	BY:		
11-18-2019	0	LLD	CYI	CYIENT	CYIENT
01-13-2019	1	ROUTE MODIFICATION	CYI		
01-29-2019	2	ADDED 5G SITES	CYI		
				MANAGER:	ENGINEER: C.PENNINGTON
				PHONE:	PHONE:



GENERAL NOTES

SMC_5G_FARRAGUT

CITY: FARRAGUT	STATE: TENNESSEE	COUNTY: KNOX
DRAFTER:	SCALE: NTS	SHEET: 08 OF 86 REVISION: 2

SEE SHEET 15 OF 86

SEE SHEET 39 OF 86

SEE SHEET 38 OF 86



BORE 1013' 2" HDPE AND TRACER WIRE.
PULL PROPOSED 864CT FIBER CABLE
THROUGH NEW CONDUIT.
NEW HH19-NEW HH25=1013'
FQND FIB:BUR::304000020-1013'

FIELD CONSTRUCTION NOTES:

ALL UTILITY WORK PERFORMED SHALL BE IN ACCORDANCE WITH "STATE RULES AND REGULATIONS FOR ACCOMMODATING UTILITIES WITHIN HIGHWAY RIGHTS-OF-WAY"

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ALL INSTALLATIONS MUST COMPLY WITH MINIMUM HORIZONTAL AND VERTICAL CLEARANCES FROM UTILITIES.

PROPOSED HANDHOLES AND BORE PITS ARE SUBJECT TO CHANGE DUE TO EXISTING FIELD CONDITIONS.

BORE PIT 2'X3'

BORE 771' 2" HDPE AND TRACER WIRE.
PULL PROPOSED 288CT FIBER CABLE
THROUGH NEW CONDUIT.
NEW HH26-NEW HH27=771'
FQND FIB:BUR::304000021-2492'

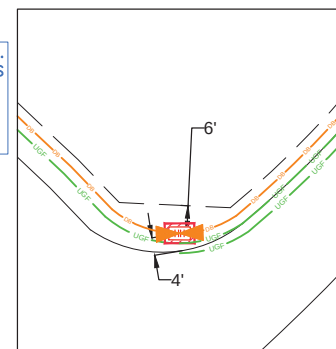
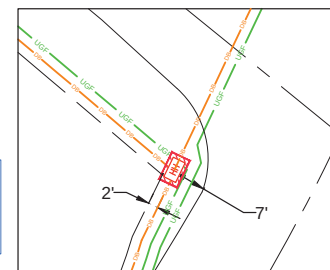
BORE 616' 2" HDPE AND TRACER WIRE.
PULL PROPOSED 288CT FIBER CABLE
THROUGH NEW CONDUIT.
NEW HH26-NEW HH30=616'
FQND FIB:BUR::304000022-1705'

PLACE NEW TIER 22 HH26 30"X 60"X 30"
LEAVE 150' LOOP ON EACH 288CT
CABLE FOR MAINTENANCE.
GPS
35.887052,-84.163930

BORE 122' 2-2" HDPE AND TRACER WIRE.
PULL PROPOSED (2) 288CT FIBER CABLES
THROUGH NEW CONDUIT.
NEW HH25-NEW HH26=122'
FQND FIB:BUR::304000021-2492'
FQND FIB:BUR::304000022-1705'

SPLICE HERE
PLACE NEW TIER 22 HH25 30"X 60"X 30"
LEAVE 150' LOOP ON 864CT CABLE FOR SPLICING.
START PROPOSED 2-288CT FIBER CABLE
LEAVE 75' LOOP ON EACH CABLE FOR SPLICING
GPS
35.886824,-84.164171

BORE 1029' 2" HDPE AND TRACER WIRE.
PULL PROPOSED 864CT FIBER CABLE
THROUGH NEW CONDUIT.
NEW HH25-NEW HH37=1029'
FQND FIB:BUR::304000216-1029'



SEE SHEET 17 OF 86



72 HOURS NOTICE REQUIRED

REVISIONS			
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11-18-2019	0	LLD	CYI
01-13-2019	1	ROUTE MODIFICATION	CYI
01-29-2019	2	ADDED 5G SITES	CYI

CONSTRUCTION FIRM		PREPARED BY :	
CYIENT		CYIENT	
MANAGER:		ENGINEER: C.PENNINGTON	
PHONE:		PHONE:	

MasTec
OUTSIDE PLANT CONSTRUCTION

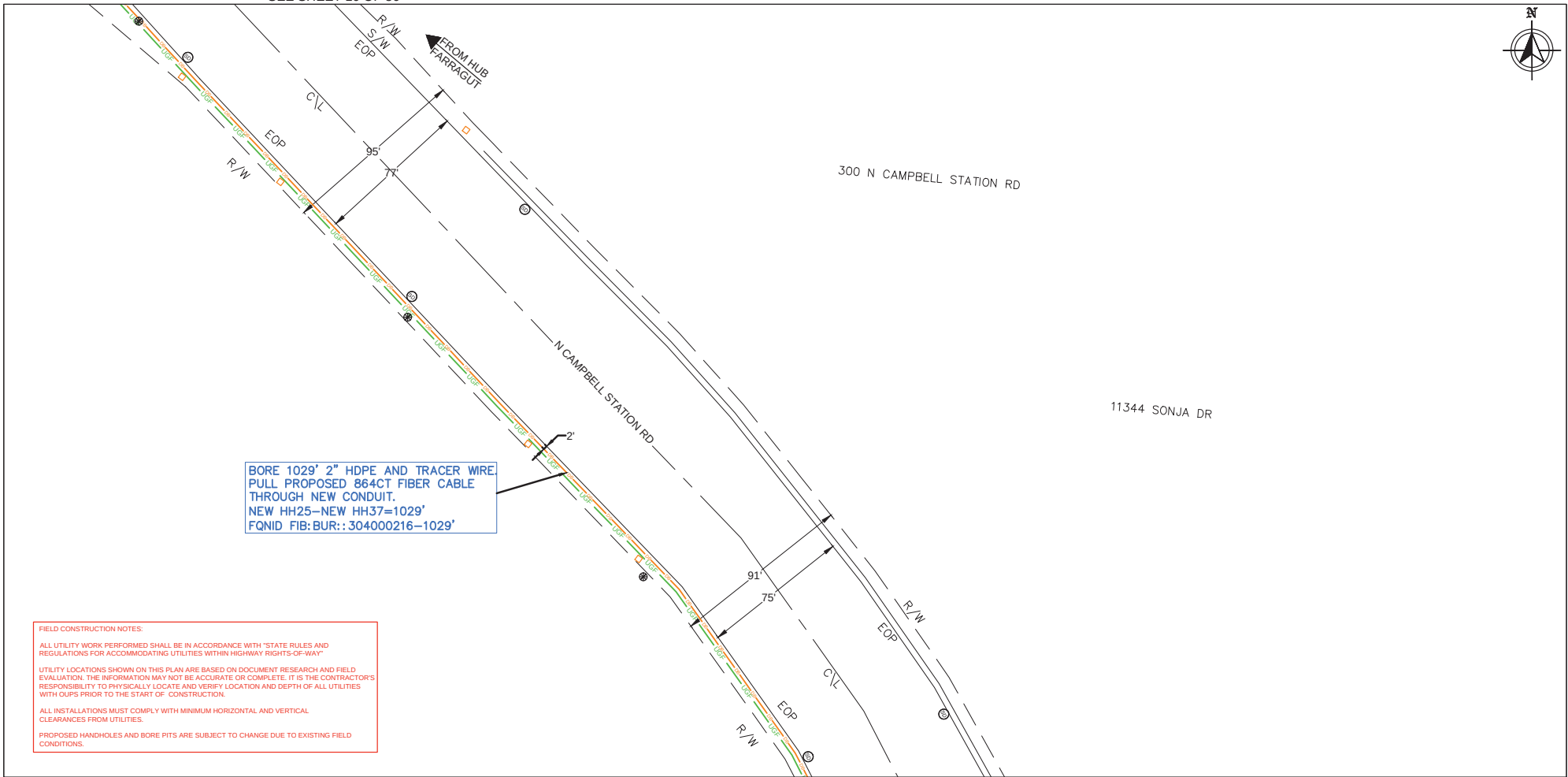
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MCImetro
ACCESS TRANSMISSION
SERVICES.LLC

CONSTRUCTION DRAWING

SMC_5G_FARRAGUT

CITY: FARRAGUT	STATE: TENNESSEE	COUNTY: KNOX
DRAFTER:	SCALE: 1"=50'	SHEET: 16 OF 86
		REVISION: 2

SEE SHEET 16 OF 86



SEE SHEET 18 OF 86

FIELD CONSTRUCTION NOTES:

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72 HOURS NOTICE REQUIRED

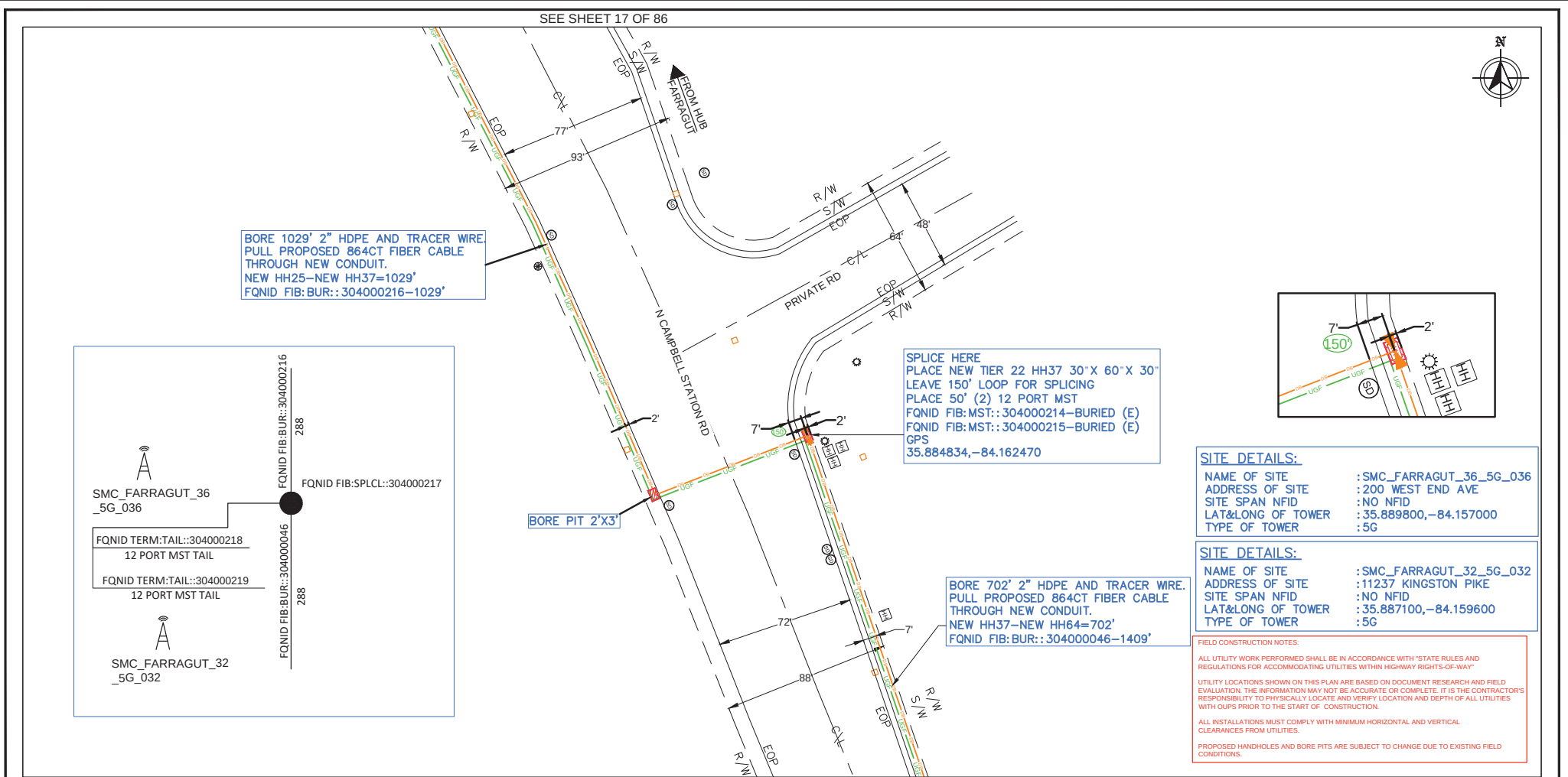
REVISIONS			
DATE:	REV	DESCRIPTIONS:	BY:
11-18-2019	0	LLD	CYI
01-13-2019	1	ROUTE MODIFICATION	CYI
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CONSTRUCTION FIRM
MANAGER:
PHONE:

PREPARED BY :
CYIENT
ENGINEER: C.PENNINGTON
PHONE:

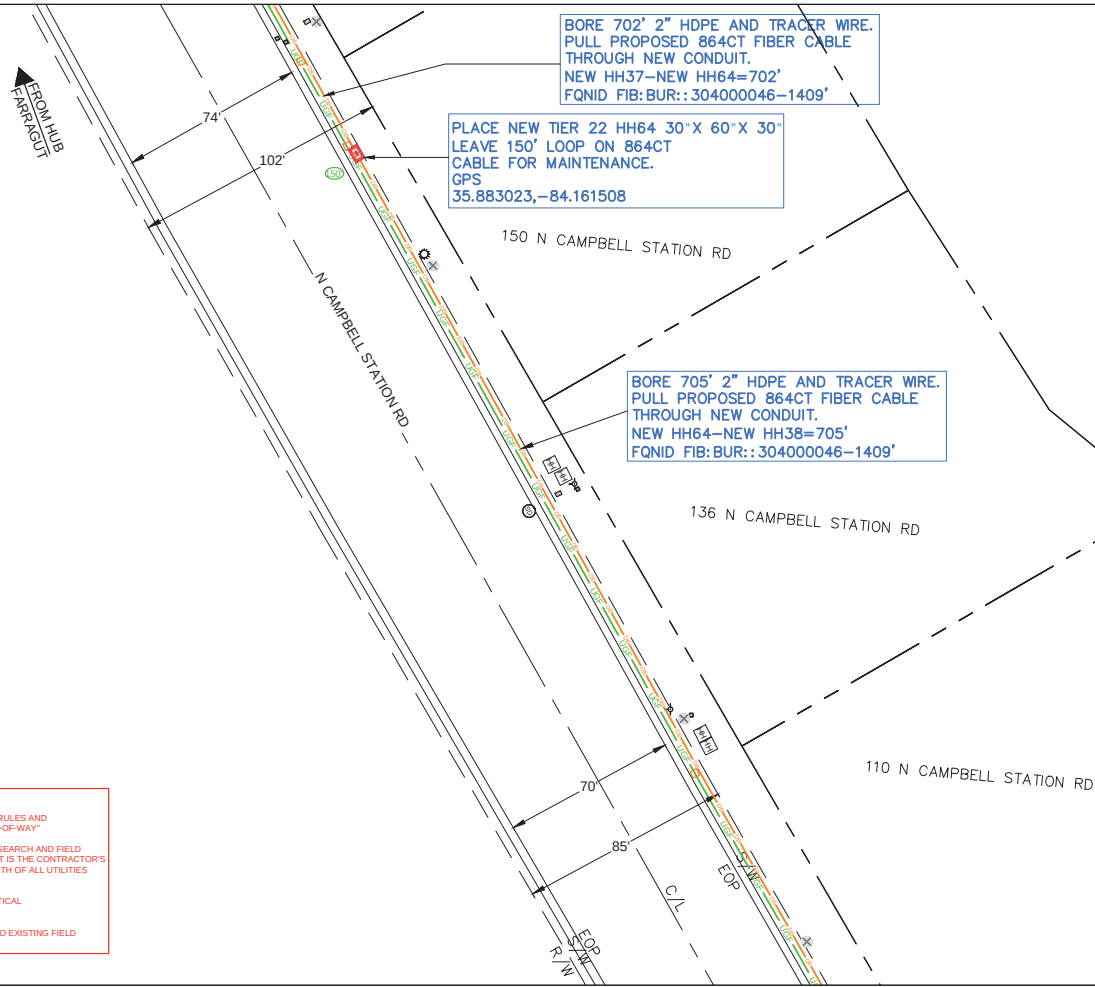


CONSTRUCTION DRAWING			
SMC_5G_FARRAGUT			
CITY: FARRAGUT	STATE: TENNESSEE	COUNTY: KNOX	
DRAFTER:	SCALE: 1"=50'	SHEET: 17 OF 86	REVISION: 2



  Know what's below. Call 811 before you dig.		72 HOURS NOTICE REQUIRED		<table><tr><th colspan="4">REVISIONS</th></tr><tr><th>DATE:</th><th>REV</th><th>DESCRIPTIONS:</th><th>BY:</th></tr><tr><td>11-18-2019</td><td>0</td><td>LLD</td><td>CYI</td></tr><tr><td>01-13-2019</td><td>1</td><td>ROUTE MODIFICATION</td><td>CYI</td></tr><tr><td>01-29-2019</td><td>2</td><td>ADDED 5G SITES</td><td>CYI</td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr></table>		REVISIONS				DATE:	REV	DESCRIPTIONS:	BY:	11-18-2019	0	LLD	CYI	01-13-2019	1	ROUTE MODIFICATION	CYI	01-29-2019	2	ADDED 5G SITES	CYI									<table><tr><th colspan="2">CONSTRUCTION FIRM</th><th colspan="2">PREPARED BY :</th></tr><tr><td colspan="2" rowspan="3"></td><td colspan="2" rowspan="3"> OUTSIDE PLANT CONSTRUCTION</td></tr><tr></tr><tr></tr><tr><td colspan="2">MANAGER:</td><td colspan="2">ENGINEER: C.PENNINGTON</td></tr><tr><td colspan="2">PHONE:</td><td colspan="2">PHONE:</td></tr></table>		CONSTRUCTION FIRM		PREPARED BY :				 OUTSIDE PLANT CONSTRUCTION		MANAGER:		ENGINEER: C.PENNINGTON		PHONE:		PHONE:		<table><tr><th colspan="2">MCI</th></tr><tr><td colspan="2">MCI metro</td></tr><tr><td colspan="2">ACCESS TRANSMISSION SERVICES,LLC</td></tr></table>		MCI		MCI metro		ACCESS TRANSMISSION SERVICES,LLC		<table><tr><th colspan="4">CONSTRUCTION DRAWING</th></tr><tr><td colspan="4">SMC_5G_FARRAGUT</td></tr><tr><td>CITY: FARRAGUT</td><td colspan="2">STATE: TENNESSEE</td><td colspan="2">COUNTY: KNOX</td></tr><tr><td>DRAFTER:</td><td>SCALE: 1"=50'</td><td>SHEET: 18 OF 86</td><td colspan="2">REVISION: 2</td></tr></table>				CONSTRUCTION DRAWING				SMC_5G_FARRAGUT				CITY: FARRAGUT	STATE: TENNESSEE		COUNTY: KNOX		DRAFTER:	SCALE: 1"=50'	SHEET: 18 OF 86	REVISION: 2	
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SEE SHEET 19 OF 86



FIELD CONSTRUCTION NOTES:

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PROPOSED HANDHOLES AND BORE PITS ARE SUBJECT TO CHANGE DUE TO EXISTING FIELD CONDITIONS.

SEE SHEET 21 OF 86



72 HOURS NOTICE REQUIRED

REVISIONS			
DATE:	REV	DESCRIPTIONS:	BY:
11-18-2019	0	LLD	CYI
01-13-2019	1	ROUTE MODIFICATION	CYI
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CONSTRUCTION FIRM		PREPARED BY :	
MANAGER:		ENGINEER: C.PENNINGTON	
PHONE:		PHONE:	

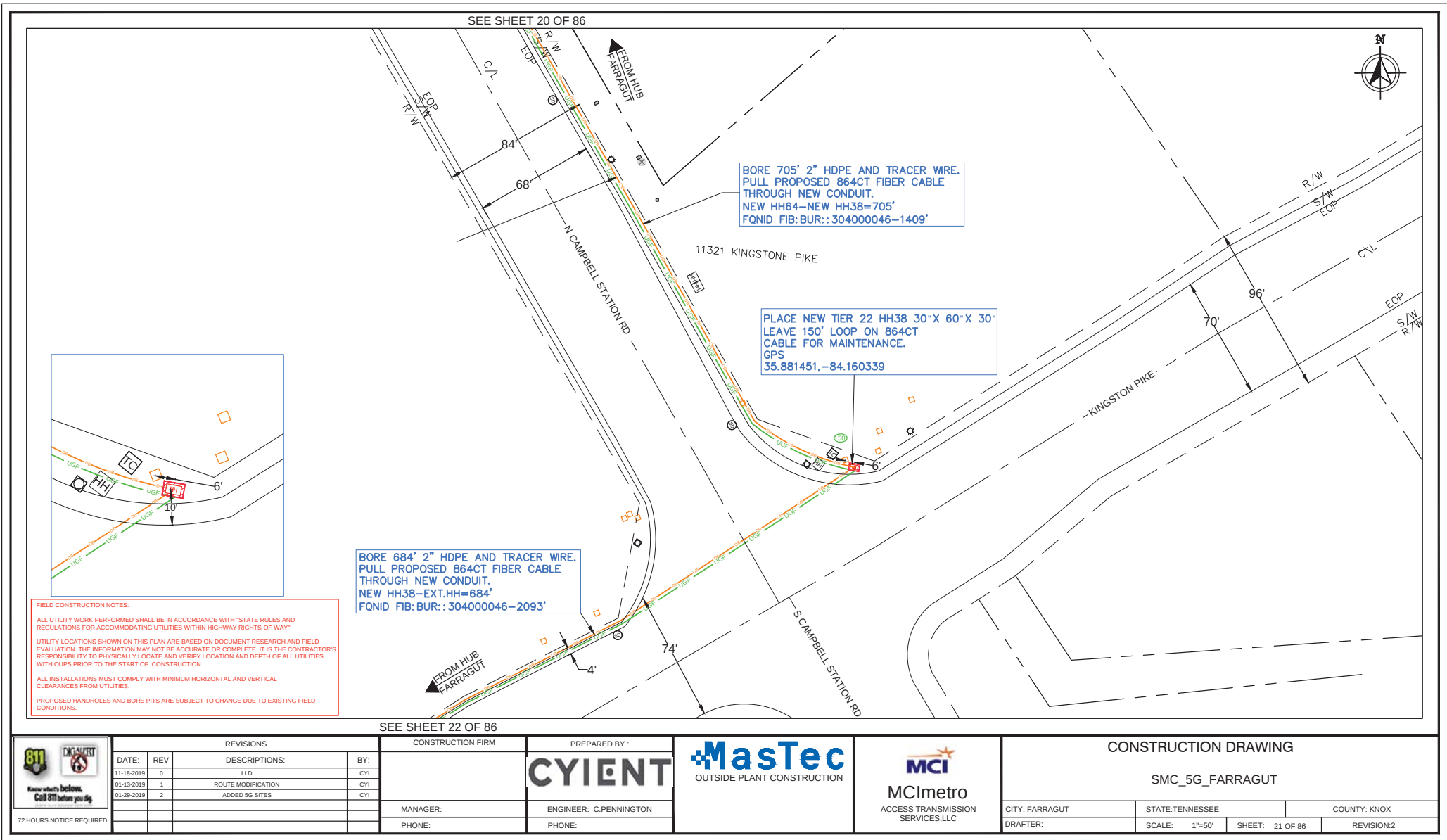
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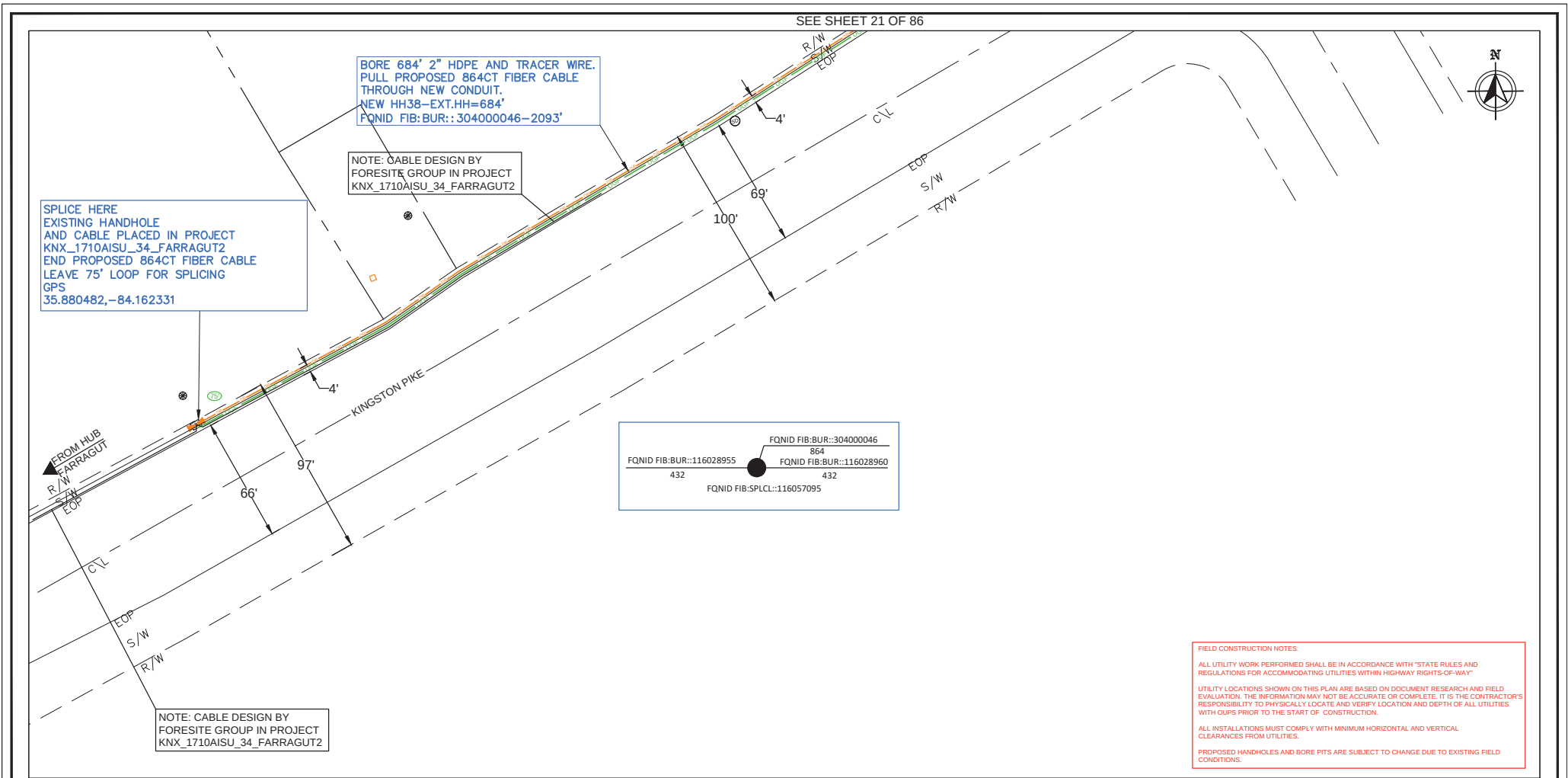
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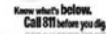
CONSTRUCTION DRAWING

SMC_5G_FARRAGUT

CITY: FARRAGUT	STATE: TENNESSEE	COUNTY: KNOX
DRAFTER:	SCALE: 1"=50'	SHEET: 20 OF 86
		REVISION: 2





  72 HOURS NOTICE REQUIRED		<table><tr><th colspan="4">REVISIONS</th></tr><tr><th>DATE:</th><th>REV</th><th>DESCRIPTIONS:</th><th>BY:</th></tr><tr><td>11-18-2019</td><td>0</td><td>LLD</td><td>CYI</td></tr><tr><td>01-13-2019</td><td>1</td><td>ROUTE MODIFICATION</td><td>CYI</td></tr><tr><td>01-29-2019</td><td>2</td><td>ADDED 5G SITES</td><td>CYI</td></tr><tr><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td></tr></table>		REVISIONS				DATE:	REV	DESCRIPTIONS:	BY:	11-18-2019	0	LLD	CYI	01-13-2019	1	ROUTE MODIFICATION	CYI	01-29-2019	2	ADDED 5G SITES	CYI													<table><tr><th colspan="2">CONSTRUCTION FIRM</th><th colspan="2">PREPARED BY :</th></tr><tr><td colspan="2" rowspan="3"></td><td colspan="2" rowspan="3"> OUTSIDE PLANT CONSTRUCTION</td></tr><tr></tr><tr></tr><tr><td colspan="2">MANAGER:</td><td colspan="2">ENGINEER: C.PENNINGTON</td></tr><tr><td colspan="2">PHONE:</td><td colspan="2">PHONE:</td></tr></table>		CONSTRUCTION FIRM		PREPARED BY :				 OUTSIDE PLANT CONSTRUCTION		MANAGER:		ENGINEER: C.PENNINGTON		PHONE:		PHONE:		 MCI metro ACCESS TRANSMISSION SERVICES,LLC		<table><tr><th colspan="4">CONSTRUCTION DRAWING</th></tr><tr><td colspan="4">SMC_5G_FARRAGUT</td></tr><tr><td colspan="2">CITY: FARRAGUT</td><td colspan="2">STATE: TENNESSEE</td><td colspan="2">COUNTY: KNOX</td></tr><tr><td colspan="2">DRAFTER:</td><td colspan="2">SCALE: 1"=50'</td><td colspan="2">SHEET: 22 OF 86</td></tr><tr><td colspan="2"></td><td colspan="2"></td><td colspan="2">REVISION: 2</td></tr></table>				CONSTRUCTION DRAWING				SMC_5G_FARRAGUT				CITY: FARRAGUT		STATE: TENNESSEE		COUNTY: KNOX		DRAFTER:		SCALE: 1"=50'		SHEET: 22 OF 86						REVISION: 2	
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SEE SHEET 25 OF 86

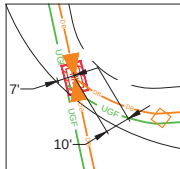


BORE 489' 2" HDPE AND TRACER WIRE.
PULL PROPOSED 288CT FIBER CABLE
THROUGH NEW CONDUIT.
NEW HH20-NEW HH21=489'
FQND FIB: BUR:: 304000018-489'

SPLICE HERE
PLACE NEW TIER 22 HH20 30"X 60"X 30"
START PROPOSED 12 PORT MST TAIL
LEAVE 150' LOOP ON 288CT CABLE FOR SPLICING
LEAVE 75' LOOP ON TAIL
GPS
35.891128,-84.166734

SITE DETAILS:

NAME OF SITE : SMC_FARRAGUT_27_5G_027
ADDRESS OF SITE : 11511 Ivy Chase Ln
SITE SPAN NFID : NO NFID
LAT&LONG OF TOWER : 35.891110,-84.165300
TYPE OF TOWER : 5G

**FIELD CONSTRUCTION NOTES:**

ALL UTILITY WORK PERFORMED SHALL BE IN ACCORDANCE WITH "STATE RULES AND REGULATIONS FOR ACCOMMODATING UTILITIES WITHIN HIGHWAY RIGHTS-OF-WAY"

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ALL INSTALLATIONS MUST COMPLY WITH MINIMUM HORIZONTAL AND VERTICAL CLEARANCES FROM UTILITIES.

PROPOSED HANDHOLES AND BORE PITS ARE SUBJECT TO CHANGE DUE TO EXISTING FIELD CONDITIONS.

BORE 460' 2" HDPE AND TRACER WIRE.
PULL PROPOSED 12 PORT MST TAIL
THROUGH NEW CONDUIT.
NEW HH20-NEW HH42=460'
FQND TERM: TAIL:: 304000171-460'

PLACE NEW TIER 22 HH42 17"X 30"X 24"
END PROPOSED 12 PORT MST TAIL
PLACE 460' 12 PORT MST TAIL
FQND FIB: MST:: 304000172-BURIED(E)
GPS
35.891115,-84.165306

BORE 1101' 2" HDPE AND TRACER WIRE.
PULL PROPOSED 288CT FIBER CABLE
THROUGH NEW CONDUIT.
NEW HH19-NEW HH20=1101'
FQND FIB: BUR:: 304000169-1101'

FIB: BUR:: 304000018
1-288
FQND FIB: SPLCL:: 304000170
FQND TERM: TAIL:: 304000171
12 PORT MST TAIL
SMC_FARRAGUT_27_5G_027
FQND FIB: BUR:: 304000169
1-288

SEE SHEET 23 OF 86



72 HOURS NOTICE REQUIRED

REVISIONS			
DATE:	REV	DESCRIPTIONS:	BY:
11-18-2019	0	LLD	CYI
01-13-2019	1	ROUTE MODIFICATION	CYI
01-29-2019	2	ADDED 5G SITES	CYI

CONSTRUCTION FIRM		PREPARED BY :	
MANAGER:		ENGINEER: C.PENNINGTON	
PHONE:		PHONE:	

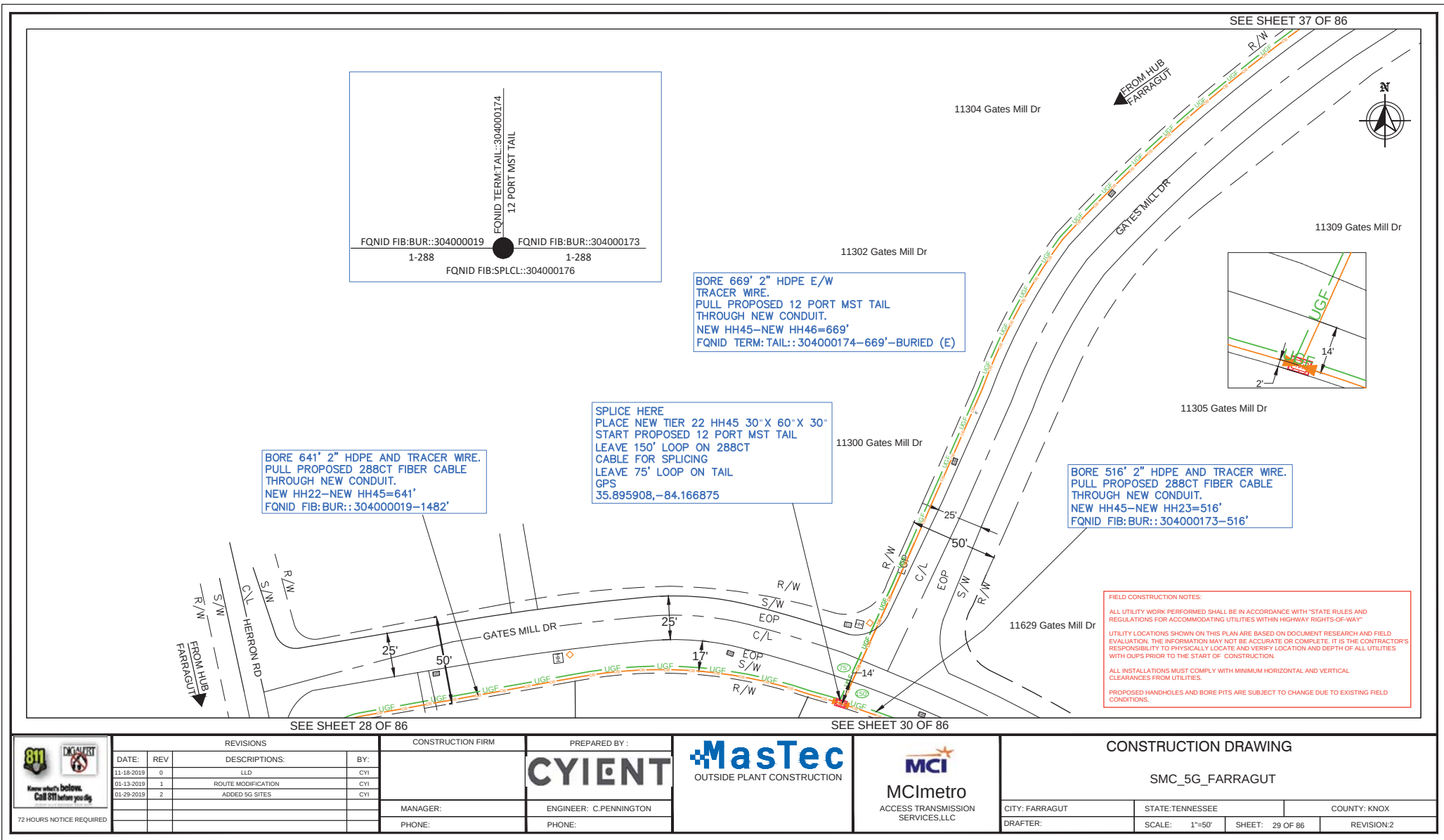
MasTec
OUTSIDE PLANT CONSTRUCTION

MCI
MCI metro
ACCESS TRANSMISSION
SERVICES.LLC

CONSTRUCTION DRAWING

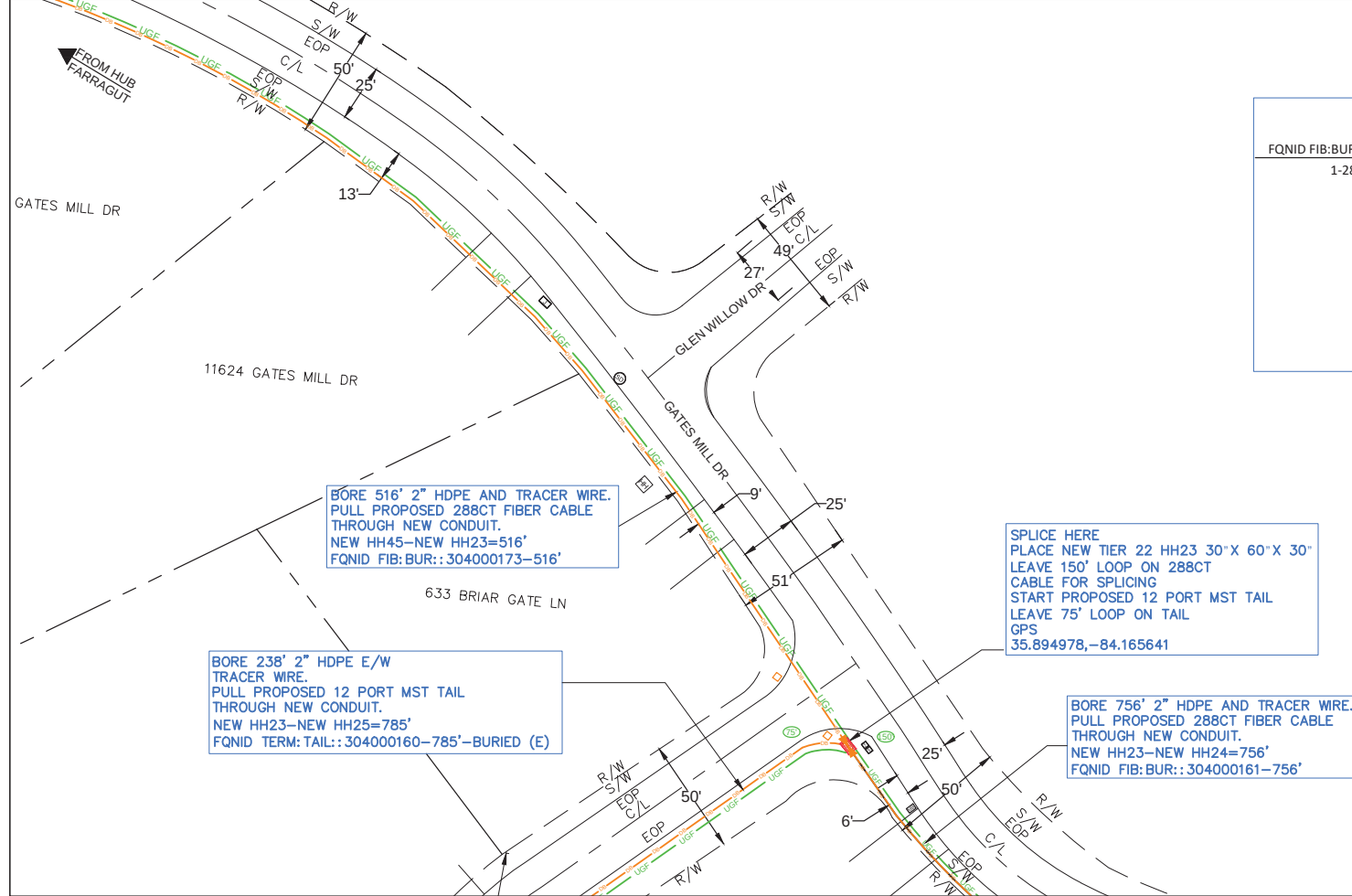
SMC_5G_FARRAGUT

CITY: FARRAGUT	STATE: TENNESSEE	COUNTY: KNOX
DRAFTER:	SCALE: 1"=50'	SHEET: 24 OF 86
		REVISION: 2



  <i>Know what's below. Call 811 before you dig.</i>		<table><tr><th colspan="2">REVISIONS</th><th rowspan="2">DATE:</th><th rowspan="2">REV</th><th rowspan="2">DESCRIPTIONS:</th><th rowspan="2">BY:</th></tr><tr><td colspan="6"></td></tr><tr><td colspan="2"></td><td>11-18-2019</td><td>0</td><td>LLD</td><td>CYI</td></tr><tr><td colspan="2"></td><td>01-13-2019</td><td>1</td><td>ROUTE MODIFICATION</td><td>CYI</td></tr><tr><td colspan="2"></td><td>01-29-2019</td><td>2</td><td>ADDED 5G SITES</td><td>CYI</td></tr></table>		REVISIONS		DATE:	REV	DESCRIPTIONS:	BY:									11-18-2019	0	LLD	CYI			01-13-2019	1	ROUTE MODIFICATION	CYI			01-29-2019	2	ADDED 5G SITES	CYI	<table><tr><th colspan="2">CONSTRUCTION FIRM</th><th rowspan="2">PREPARED BY :</th></tr><tr><td colspan="3"></td></tr><tr><td colspan="2">MANAGER:</td><td>ENGINEER: C.PENNINGTON</td></tr><tr><td colspan="2">PHONE:</td><td>PHONE:</td></tr></table>		CONSTRUCTION FIRM		PREPARED BY :				MANAGER:		ENGINEER: C.PENNINGTON	PHONE:		PHONE:	 OUTSIDE PLANT CONSTRUCTION		 MCImetro ACCESS TRANSMISSION SERVICES,LLC		<table><tr><th colspan="4">CONSTRUCTION DRAWING</th></tr><tr><td colspan="4">SMC_5G_FARRAGUT</td></tr><tr><td colspan="2">CITY: FARRAGUT</td><td colspan="2">STATE: TENNESSEE</td><td colspan="2">COUNTY: KNOX</td></tr><tr><td colspan="2">DRAFTER:</td><td colspan="2">SCALE: 1"=50'</td><td colspan="2">SHEET: 29 OF 86</td></tr><tr><td colspan="2"></td><td colspan="2"></td><td colspan="2">REVISION: 2</td></tr></table>				CONSTRUCTION DRAWING				SMC_5G_FARRAGUT				CITY: FARRAGUT		STATE: TENNESSEE		COUNTY: KNOX		DRAFTER:		SCALE: 1"=50'		SHEET: 29 OF 86						REVISION: 2	
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SEE SHEET 29 OF 86



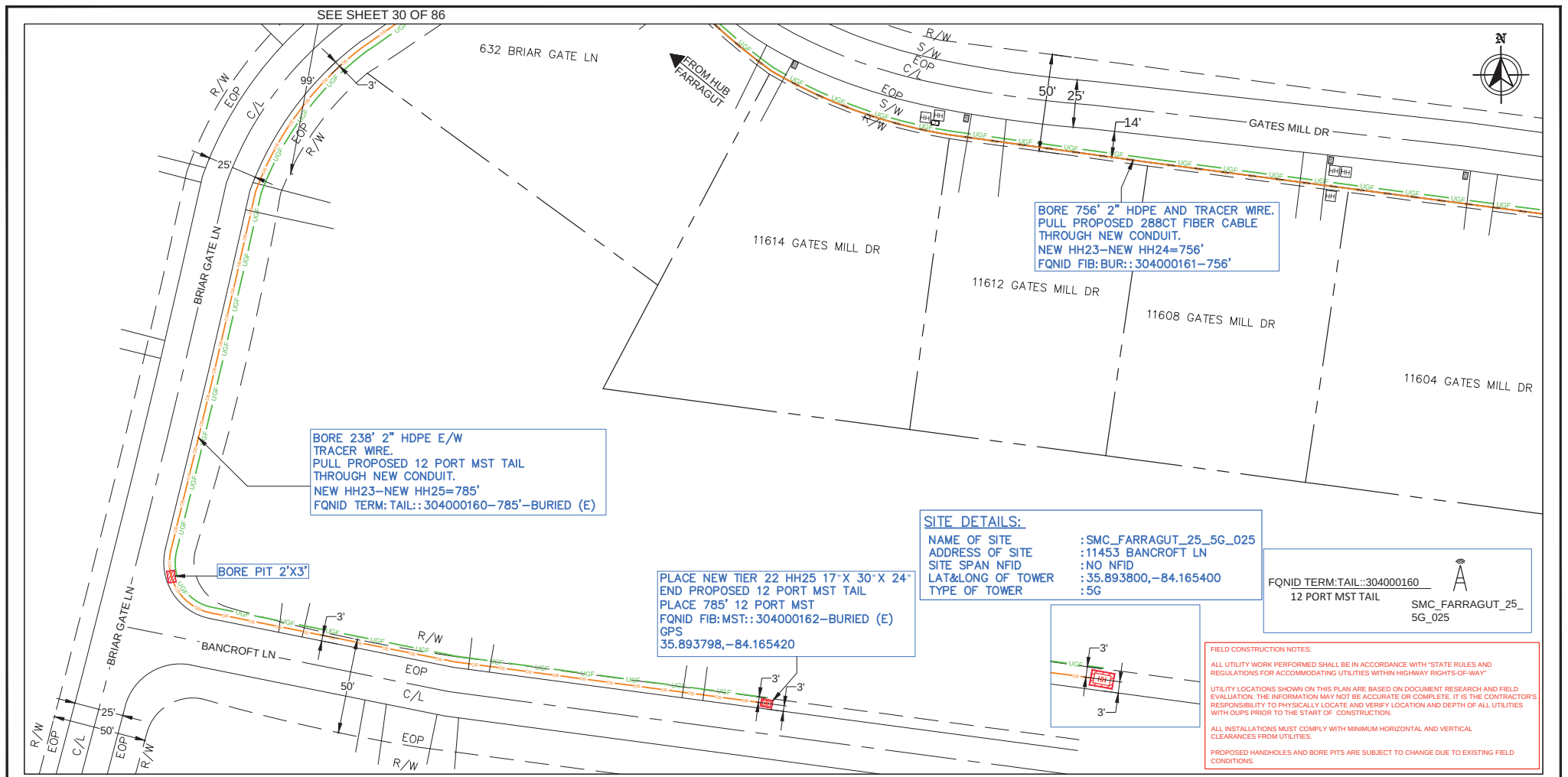
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FQCID FIB: BUR::304000019 1-288 FQCID FIB: BUR::304000161 1-288
FQCID TERM: TAIL::304000160 12 PORT MST TAIL



FIELD CONSTRUCTION NOTES:
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SEE SHEET 31 OF 86

 Know what's below. Call 811 before you dig. 72 HOURS NOTICE REQUIRED		REVISIONS			CONSTRUCTION FIRM		PREPARED BY :		 MasTec OUTSIDE PLANT CONSTRUCTION	 MCI MCI metro ACCESS TRANSMISSION SERVICES,LLC	CONSTRUCTION DRAWING			
		DATE:	REV	DESCRIPTIONS:	BY:						SMC_5G_FARRAGUT			
		11-18-2019	0	LLD	CYI									
		01-13-2019	1	ROUTE MODIFICATION	CYI									
			01-29-2019	2	ADDED 5G SITES	CYI	MANAGER:				ENGINEER: C.PENNINGTON			CITY: FARRAGUT
					PHONE:		PHONE:			STATE: TENNESSEE				
										COUNTY: KNOX				
										DRAFTER:				
										SCALE: 1"=50'				
										SHEET: 30 OF 86				
										REVISION:2				



SEE SHEET 26 OF 86

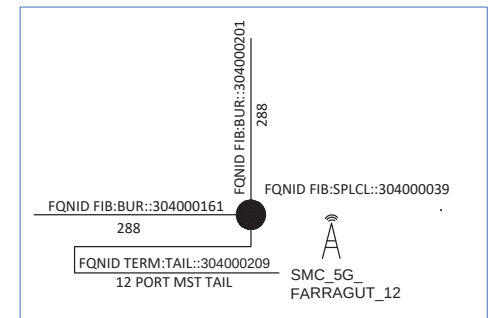
  72 HOURS NOTICE REQUIRED		<table><tr><th colspan="4">REVISIONS</th><th colspan="2">CONSTRUCTION FIRM</th><th colspan="2">PREPARED BY :</th></tr><tr><th>DATE:</th><th>REV</th><th>DESCRIPTIONS:</th><th>BY:</th><td colspan="4" rowspan="4"></td></tr><tr><td>11-18-2019</td><td>0</td><td>LLD</td><td>CYI</td></tr><tr><td>01-13-2019</td><td>1</td><td>ROUTE MODIFICATION</td><td>CYI</td></tr><tr><td>01-29-2019</td><td>2</td><td>ADDED 5G SITES</td><td>CYI</td></tr><tr><td></td><td></td><td></td><td></td><td>MANAGER:</td><td colspan="4">ENGINEER: C.PENNINGTON</td></tr><tr><td></td><td></td><td></td><td></td><td>PHONE:</td><td colspan="4">PHONE:</td></tr></table>				REVISIONS				CONSTRUCTION FIRM		PREPARED BY :		DATE:	REV	DESCRIPTIONS:	BY:					11-18-2019	0	LLD	CYI	01-13-2019	1	ROUTE MODIFICATION	CYI	01-29-2019	2	ADDED 5G SITES	CYI					MANAGER:	ENGINEER: C.PENNINGTON								PHONE:	PHONE:				 OUTSIDE PLANT CONSTRUCTION		 ACCESS TRANSMISSION SERVICES,LLC		<table><tr><th colspan="6">CONSTRUCTION DRAWING</th></tr><tr><th colspan="6">SMC_5G_FARRAGUT</th></tr><tr><td colspan="2">CITY: FARRAGUT</td><td colspan="2">STATE: TENNESSEE</td><td colspan="2">COUNTY: KNOX</td></tr><tr><td colspan="2">DRAFTER:</td><td colspan="2">SCALE: 1"=50'</td><td colspan="2">SHEET: 31 OF 86</td><td colspan="2">REVISION: 2</td></tr></table>						CONSTRUCTION DRAWING						SMC_5G_FARRAGUT						CITY: FARRAGUT		STATE: TENNESSEE		COUNTY: KNOX		DRAFTER:		SCALE: 1"=50'		SHEET: 31 OF 86		REVISION: 2	
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SEE SHEET 33 OF 86

BORE 726' 2" HDPE AND TRACER WIRE.
PULL PROPOSED 288CT FIBER CABLE
THROUGH NEW CONDUIT.
NEW HH24-NEW HH59=726'
FQID FIB: BUR::304000201-726'

BORE 756' 2" HDPE AND TRACER WIRE.
PULL PROPOSED 288CT FIBER CABLE
THROUGH NEW CONDUIT.
NEW HH23-NEW HH24=756'
FQID FIB: BUR::304000161-756'

SPLICE HERE
PLACE NEW TIER 22 HH24 30"X 60"X 30"
LEAVE 150' LOOP FOR FUTURE SITE.
PLACE 50' 12 PORT MST
FQID FIB: MST::304000200-BURIED (E)
GPS
35.894386,-84.163274



SITE DETAILS:

NAME OF SITE : SMC_5G_FARRAGUT_12
ADDRESS OF SITE : 11600 GATES MILL DR
SITE SPAN NFID : NO NFID
LAT&LONG OF TOWER : 35.894388,-84.163281
TYPE OF TOWER : 5G

FIELD CONSTRUCTION NOTES:

ALL UTILITY WORK PERFORMED SHALL BE IN ACCORDANCE WITH "STATE RULES AND REGULATIONS FOR ACCOMMODATING UTILITIES WITHIN HIGHWAY RIGHTS-OF-WAY"

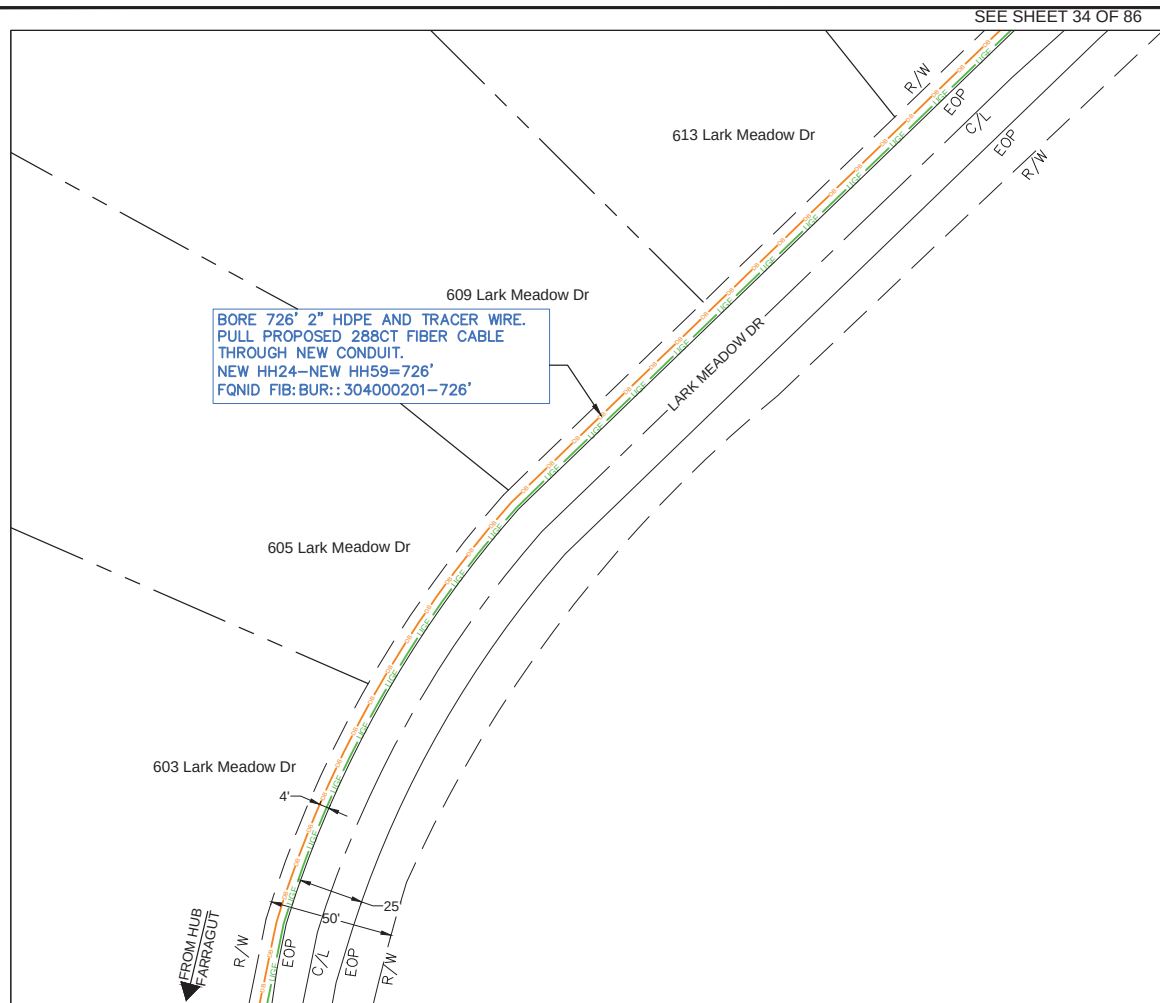
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SEE SHEET 16 OF 86

 Know what's below. Call 811 before you dig. 72 HOURS NOTICE REQUIRED	REVISIONS				CONSTRUCTION FIRM		PREPARED BY :		 OUTSIDE PLANT CONSTRUCTION	 MCI metro ACCESS TRANSMISSION SERVICES,LLC	CONSTRUCTION DRAWING				
	DATE:	REV	DESCRIPTIONS:	BY:							SMC_5G_FARRAGUT				
	11-18-2019	0	LLD	CYI							CITY: FARRAGUT	STATE: TENNESSEE		COUNTY: KNOX	
	01-13-2019	1	ROUTE MODIFICATION	CYI							DRAFTER:	SCALE: 1"=50'	SHEET: 32 OF 86	REVISION:2	
	01-29-2019	2	ADDED 5G SITES	CYI	MANAGER:	ENGINEER: C.PENNINGTON									
					PHONE:	PHONE:									



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	DATE:	REV	DESCRIPTIONS:	BY:	 CYIENT			SMC_5G_FARRAGUT			
	11-18-2019	0	LLD	CYI							
	01-13-2019	1	ROUTE MODIFICATION	CYI							
	01-29-2019	2	ADDED 5G SITES	CYI							
					MANAGER:			ENGINEER: C.PENNINGTON	CITY: FARRAGUT		
				PHONE:	PHONE:	STATE:TENNESSEE		COUNTY: KNOX			
						DRAFTER:	SCALE: 1"=50'	SHEET: 33 OF 86	REVISION:2		

NAME OF SITE :SMC_FARRAGUT_29_5G_029
ADDRESS OF SITE :628 GLEN WILLOW DR
SITE SPAN NFID :NO NFID
LAT&LONG OF TOWER :35.896400,-84.162400
TYPE OF TOWER :5G



PLACE NEW TIER 22 HH60 17"X 30"X 24"
END PROPOSED 12 PORT MST TAIL
PLACE 196' 12 PORT MST
FQNUID FIB:MST::304000203-BURIED (E)
GPS
35.896388,-84.162400

BORE 196' 2" HDPE E/W
TRACER WIRE.
PULL PROPOSED 12 PORT MST TAIL
THROUGH NEW CONDUIT.
NEW.HH59-NEW HH60=196'
FQND TERM: TAIL:: 304000202-196'-BURIED (E)

SPlice HERE
PLACE NEW TIER 22 HH59 30"X 60"X 30"
LEAVE 150' LOOP FOR SPLICING
START PROPOSED 12 PORT MST TAIL.
LEAVE 75' LOOP ON TAIL
GPS
35.896004,-84.161940

BORE 726' 2" HDPE AND TRACER WIRE.
PULL PROPOSED 288CT FIBER CABLE
THROUGH NEW CONDUIT.
NEW HH24-NEW HH59=726'
FQPID FIB: BUR:: 304000201-726'

BORE 877' 2" HDPE AND TRACER WIRE.
PULL PROPOSED 288CT FIBER CABLE
THROUGH NEW CONDUIT.
NEW HH59-NEW HH61=877'
FQPID FIB: BUR:: 304000204-877'

SMC_FARRAGUT
29_5G_029

FQNID FIB:SPLCL::304000210

FQNID FIB:BUR::304000201

288

●

FQNID FIB:BUR::304000204

288

FQNID TERM:TAIL::304000202

12 PORT MST TAIL

FIELD CONSTRUCTION NOTES:

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SEE SHEET 33 OF 86

REVISIONS			
DATE:	REV	DESCRIPTIONS:	BY:
11-18-2019	0	LLD	CYI
01-13-2019	1	ROUTE MODIFICATION	CYI
01-29-2019	2	ADDED 5G SITES	CYI

CONSTRUCTION FIRM	PREPARED BY :
	CYIENT
MANAGER:	ENGINEER: C.PENNINGTON
PHONE:	PHONE:



MasTec
OUTSIDE PLANT CONSTRUCTION


MCI metro
ACCESS TRANSMISSION
SERVICES,LLC

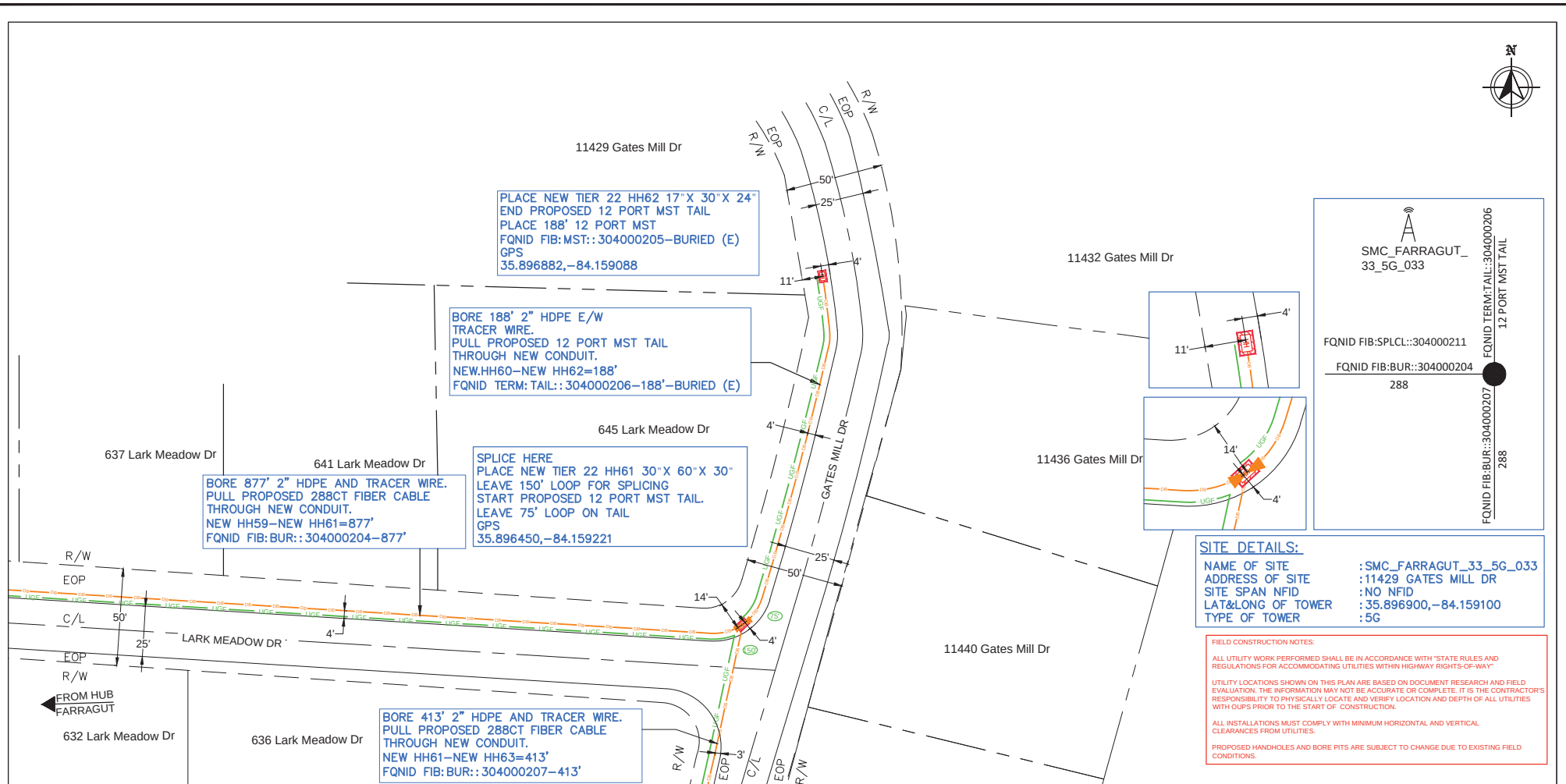
CONSTRUCTION DRAWING

SMC_5G_FARRAGUT

CITY: FARRAGUT	STATE: TENNESSEE	COUNTY: KNOX
DRAFTER:	SCALE: 1"=50'	SHEET: 34 OF 86
		REVISION: 2



72 HOURS NOTICE REQUIRED





SMC_FARRAGUT_33_5G_033

FQCID FIB:SPCL::304000211

FQCID FIB:BUR::304000204

288

FQCID TERM:TAIL::304000206

12 PORT MST TAIL

FQCID FIB:BUR::304000207

288

SITE DETAILS:

NAME OF SITE	: SMC_FARRAGUT_33_5G_033
ADDRESS OF SITE	: 11429 GATES MILL DR
SITE SPAN NFID	: NO NFID
LAT&LONG OF TOWER	: 35.896900, -84.159100
TYPE OF TOWER	: 5G

FIELD CONSTRUCTION NOTES:

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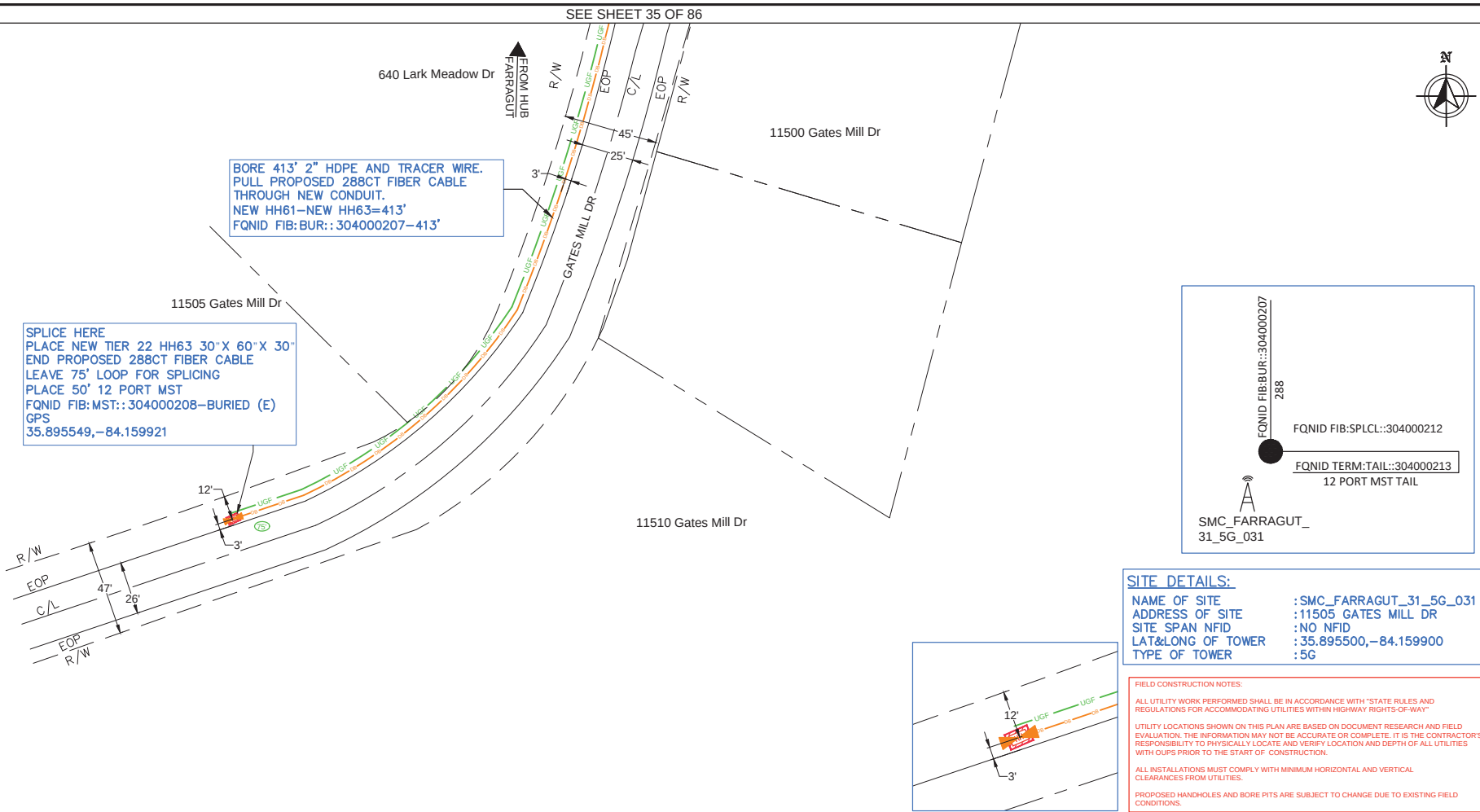
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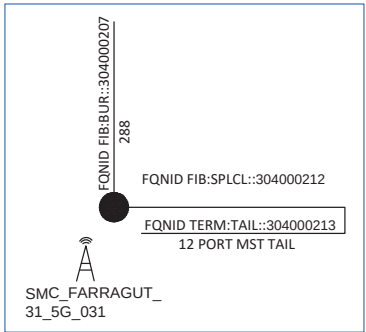
SEE SHEET 36 OF 86

  Know what's below. Call 811 before you dig. 72 HOURS NOTICE REQUIRED		<table><tr><th colspan="4">REVISIONS</th></tr><tr><th>DATE:</th><th>REV</th><th>DESCRIPTIONS:</th><th>BY:</th></tr><tr><td>11-18-2019</td><td>0</td><td>LLD</td><td>CYI</td></tr><tr><td>01-13-2019</td><td>1</td><td>ROUTE MODIFICATION</td><td>CYI</td></tr><tr><td>01-29-2019</td><td>2</td><td>ADDED 5G SITES</td><td>CYI</td></tr></table>		REVISIONS				DATE:	REV	DESCRIPTIONS:	BY:	11-18-2019	0	LLD	CYI	01-13-2019	1	ROUTE MODIFICATION	CYI	01-29-2019	2	ADDED 5G SITES	CYI	<table><tr><th colspan="2">CONSTRUCTION FIRM</th><th colspan="2">PREPARED BY :</th></tr><tr><td colspan="2" rowspan="3"></td><td colspan="2" rowspan="3"> OUTSIDE PLANT CONSTRUCTION </td></tr><tr></tr><tr></tr><tr><td colspan="2">MANAGER:</td><td colspan="2">ENGINEER: C.PENNINGTON</td></tr><tr><td colspan="2">PHONE:</td><td colspan="2">PHONE:</td></tr></table>		CONSTRUCTION FIRM		PREPARED BY :				 OUTSIDE PLANT CONSTRUCTION		MANAGER:		ENGINEER: C.PENNINGTON		PHONE:		PHONE:		<table><tr><td colspan="2"> MCI ACCESS TRANSMISSION SERVICES,LLC </td><td colspan="2">CONSTRUCTION DRAWING SMC_5G_FARRAGUT</td></tr><tr><td colspan="2">CITY: FARRAGUT</td><td colspan="2">STATE: TENNESSEE</td></tr><tr><td colspan="2">DRAFTER:</td><td colspan="2">COUNTY: KNOX</td></tr><tr><td colspan="2">SCALE: 1"=50'</td><td colspan="2">SHEET: 35 OF 86</td></tr><tr><td colspan="2"></td><td colspan="2">REVISION: 2</td></tr></table>		 MCI ACCESS TRANSMISSION SERVICES,LLC		CONSTRUCTION DRAWING SMC_5G_FARRAGUT		CITY: FARRAGUT		STATE: TENNESSEE		DRAFTER:		COUNTY: KNOX		SCALE: 1"=50'		SHEET: 35 OF 86				REVISION: 2	
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		REVISION: 2																																																													



SPICE HERE
PLACE NEW TIER 22 HH63 30"X 60"X 30"
END PROPOSED 288CT FIBER CABLE
LEAVE 75' LOOP FOR SPLICING
PLACE 50' 12 PORT MST
FQID FIB:MST::304000208-BURIED (E)
GPS
35.895549,-84.159921

BORE 413' 2" HDPE AND TRACER WIRE.
PULL PROPOSED 288CT FIBER CABLE
THROUGH NEW CONDUIT.
NEW HH61-NEW HH63=413'
FQID FIB:BUR::304000207-413'



SITE DETAILS:	
NAME OF SITE	:SMC_FARRAGUT_31_5G_031
ADDRESS OF SITE	:11505 GATES MILL DR
SITE SPAN NFID	:NO NFID
LAT&LONG OF TOWER	:35.895500,-84.159900
TYPE OF TOWER	:5G

FIELD CONSTRUCTION NOTES:

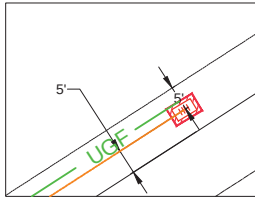
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	DATE:	REV	DESCRIPTIONS:	BY:				SMC_5G_FARRAGUT		
	11-18-2019	0	LLD	CYI				CITY: FARRAGUT	STATE: TENNESSEE	COUNTY: KNOX
	01-13-2019	1	ROUTE MODIFICATION	CYI				DRAFTER:	SCALE: 1"=50'	SHEET: 36 OF 86
					MANAGER:	ENGINEER: C.PENNINGTON				
					PHONE:	PHONE:				



11320 Gates Mill Dr

PLACE NEW TIER 22 HH46 17"X 30"X 24"
END PROPOSED 12 PORT MST TAIL
PLACE 669' 12 PORT MST
FQID FIB:MST::304000175-BURIED (E)
GPS
35.897229,-84.165421

FQID TERM:TAIL::304000174

12 PORT MST TAIL



SMC_FARRAGUT_26_5G_026

11312 Gates Mill Dr

BORE 669' 2" HDPE E/W
TRACER WIRE.
PULL PROPOSED 12 PORT MST TAIL
THROUGH NEW CONDUIT.
NEW HH45-NEW HH46=669'
FQID TERM: TAIL:: 304000174-669'-BURIED (E)

11316 Gates Mill Dr

11325 Gates Mill Dr

SITE DETAILS:

NAME OF SITE :SMC_FARRAGUT_26_5G_026
ADDRESS OF SITE :11316 GATES MILL DR
SITE SPAN NFID :NO NFID
LAT&LONG OF TOWER :35.8972,-84.1654
TYPE OF TOWER :5G

11308 Gates Mill Dr



R/W
EOP
C/L
EOP
R/W

5'
26'
50'

GATES MILL DR

11321 Gates Mill Dr

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SEE SHEET 29 OF 86



72 HOURS NOTICE REQUIRED

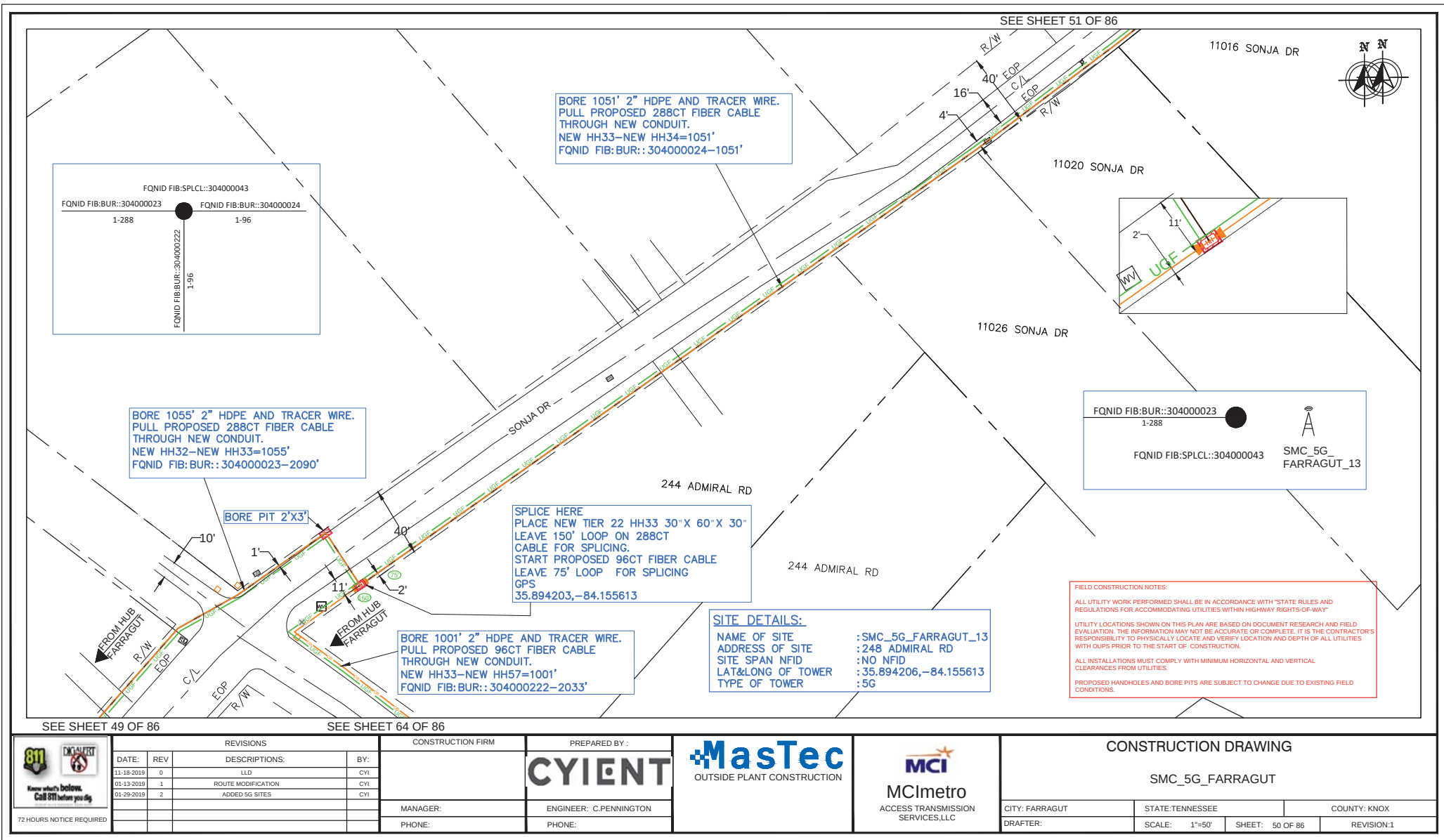
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CONSTRUCTION FIRM	
MANAGER:	ENGINEER: C.PENNINGTON
PHONE:	PHONE:

PREPARED BY :	
CYIENT	



CONSTRUCTION DRAWING			
SMC_5G_FARRAGUT			
CITY: FARRAGUT	STATE: TENNESSEE	COUNTY: KNOX	
DRAFTER:	SCALE: 1"=50'	SHEET: 37 OF 86	REVISION: 2



REVISIONS			
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11-18-2019	0	LLD	CYI
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CONSTRUCTION FIRM	
CYIENT	
MANAGER:	ENGINEER: C.PENNINGTON
PHONE:	PHONE:

PREPARED BY :	
CYIENT	



CONSTRUCTION DRAWING			
SMC_5G_FARRAGUT			
CITY: FARRAGUT	STATE: TENNESSEE	COUNTY: KNOX	
DRAFTER:	SCALE: 1"=50'	SHEET: 50 OF 86	REVISION: 1

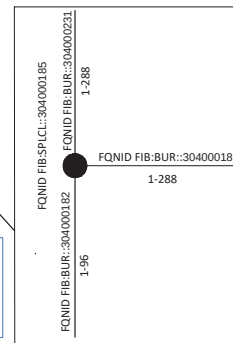
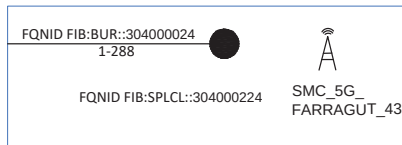
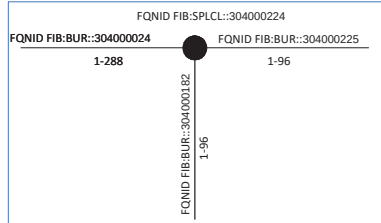
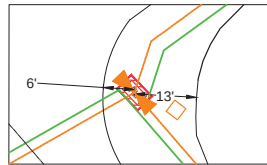
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BORE 1051' 2" HDPE AND TRACER WIRE.
PULL PROPOSED 288CT FIBER CABLE
THROUGH NEW CONDUIT.
NEW HH33-NEW HH34=1051'
FQ/NID FIB: BUR::304000024-1051'

BORE 311' 2" HDPE AND TRACER WIRE.
PULL PROPOSED 288CT FIBER CABLE
THROUGH NEW CONDUIT.
NEW HH34-NEW HH39=311'
FQ/NID FIB: BUR::304000231-311'

BORE 564' 2" HDPE AND TRACER WIRE.
PULL PROPOSED 96CT FIBER CABLE
THROUGH NEW CONDUIT.
NEW HH39-NEW HH40=564'
FQ/NID FIB: BUR::304000182-564'

SPLICE HERE
PLACE NEW TIER 22 HH34 30" X 60" X 30"
LEAVE 150' LOOP ON 288CT
CABLE FOR SPLICING
START PROPOSED 96CT FIBER CABLE
LEAVE 75' LOOP FOR SPLICING
GPS
35.895878, -84.152714

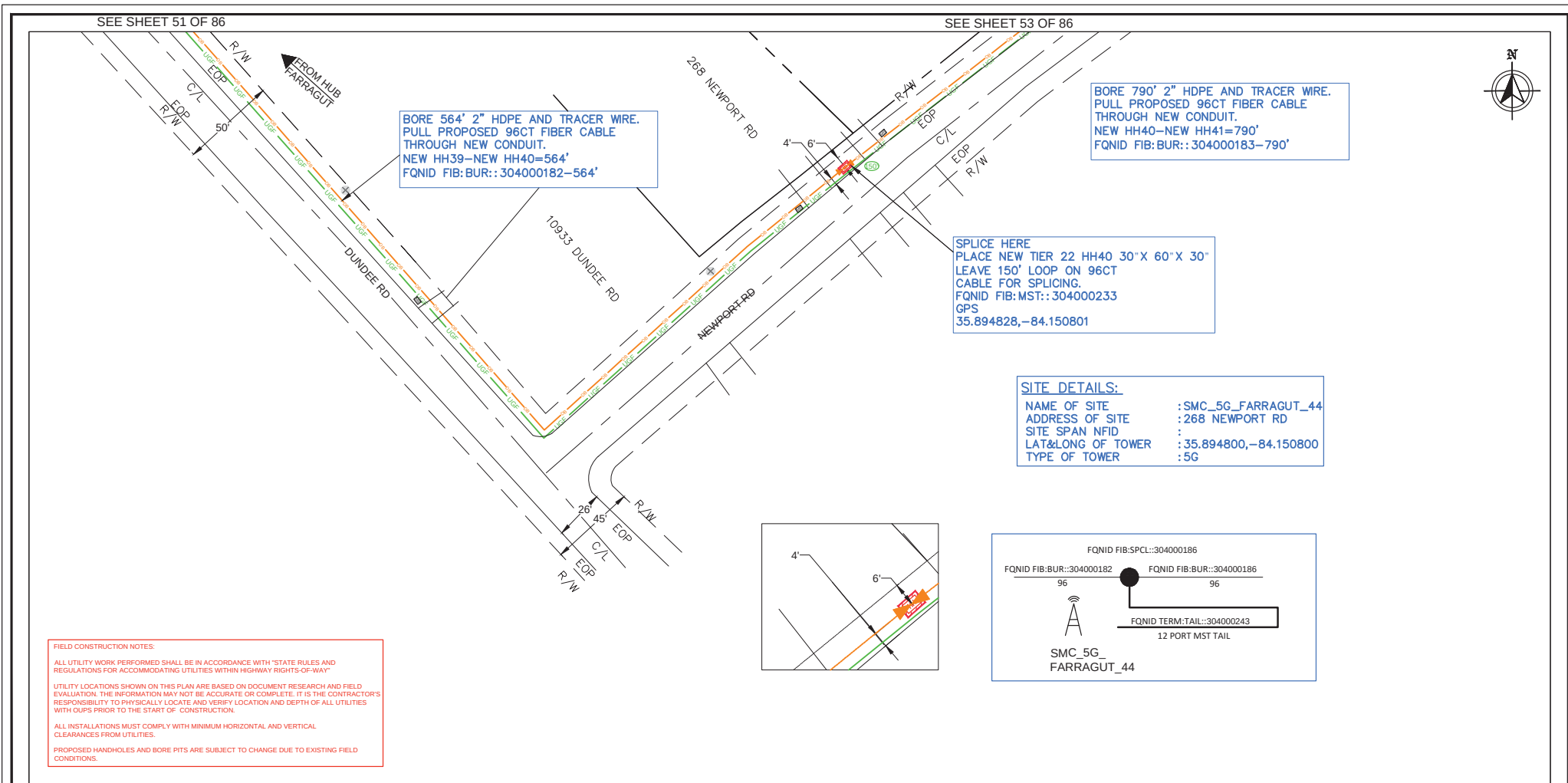
SPLICE HERE
PLACE NEW TIER 22 HH39 30" X 60" X 30"
LEAVE 150' LOOP ON 288CT
CABLE FOR SPLICING
START PROPOSED 96CT FIBER CABLE
LEAVE 75' LOOP FOR SPLICING
GPS
35.895179, -84.152079

BORE 753' 2" HDPE AND TRACER WIRE.
PULL PROPOSED 96CT FIBER CABLE
THROUGH NEW CONDUIT.
NEW HH34-NEW HH65=753'
FQ/NID FIB: BUR::304000225-1789'

SEE SHEET 50 OF 86

SEE SHEET 52 OF 86

811  Know what's below. Call 811 before you dig.		<table><tr><th colspan="4">REVISIONS</th></tr><tr><th>DATE:</th><th>REV</th><th>DESCRIPTIONS:</th><th>BY:</th></tr><tr><td>11-18-2019</td><td>0</td><td>LLD</td><td>CYI</td></tr><tr><td>01-13-2019</td><td>1</td><td>ROUTE MODIFICATION</td><td>CYI</td></tr><tr><td>01-29-2019</td><td>2</td><td>ADDED 5G SITES</td><td>CYI</td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr></table>		REVISIONS				DATE:	REV	DESCRIPTIONS:	BY:	11-18-2019	0	LLD	CYI	01-13-2019	1	ROUTE MODIFICATION	CYI	01-29-2019	2	ADDED 5G SITES	CYI																	<table><tr><th colspan="2">CONSTRUCTION FIRM</th></tr><tr><td colspan="2"> CYIENT </td></tr><tr><td>MANAGER:</td><td>ENGINEER: C.PENNINGTON</td></tr><tr><td>PHONE:</td><td>PHONE:</td></tr></table>		CONSTRUCTION FIRM		CYIENT		MANAGER:	ENGINEER: C.PENNINGTON	PHONE:	PHONE:	MasTec OUTSIDE PLANT CONSTRUCTION MCI MCImetro ACCESS TRANSMISSION SERVICES,LLC		<table><tr><th colspan="6">CONSTRUCTION DRAWING</th></tr><tr><td colspan="6">SMC_5G_FARRAGUT</td></tr><tr><td colspan="2">CITY: FARRAGUT</td><td colspan="2">STATE: TENNESSEE</td><td colspan="2">COUNTY: KNOX</td></tr><tr><td>DRAFTER:</td><td>SCALE: 1"=50'</td><td>SHEET: 51 OF 86</td><td colspan="3">REVISION:1</td></tr></table>						CONSTRUCTION DRAWING						SMC_5G_FARRAGUT						CITY: FARRAGUT		STATE: TENNESSEE		COUNTY: KNOX		DRAFTER:	SCALE: 1"=50'	SHEET: 51 OF 86	REVISION:1																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																								
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DATE:	REV	DESCRIPTIONS:	BY:					SMC_5G_FARRAGUT	
11-18-2019	0	LLD	CYI						
01-13-2019	1	ROUTE MODIFICATION	CYI	MANAGER:		ENGINEER: C.PENNINGTON		CITY: FARRAGUT	
01-29-2019	2	ADDED 5G SITES	CYI					STATE: TENNESSEE	
				PHONE:		PHONE:		COUNTY: KNOX	
								DRAFTER:	
								SCALE: 1"=50'	
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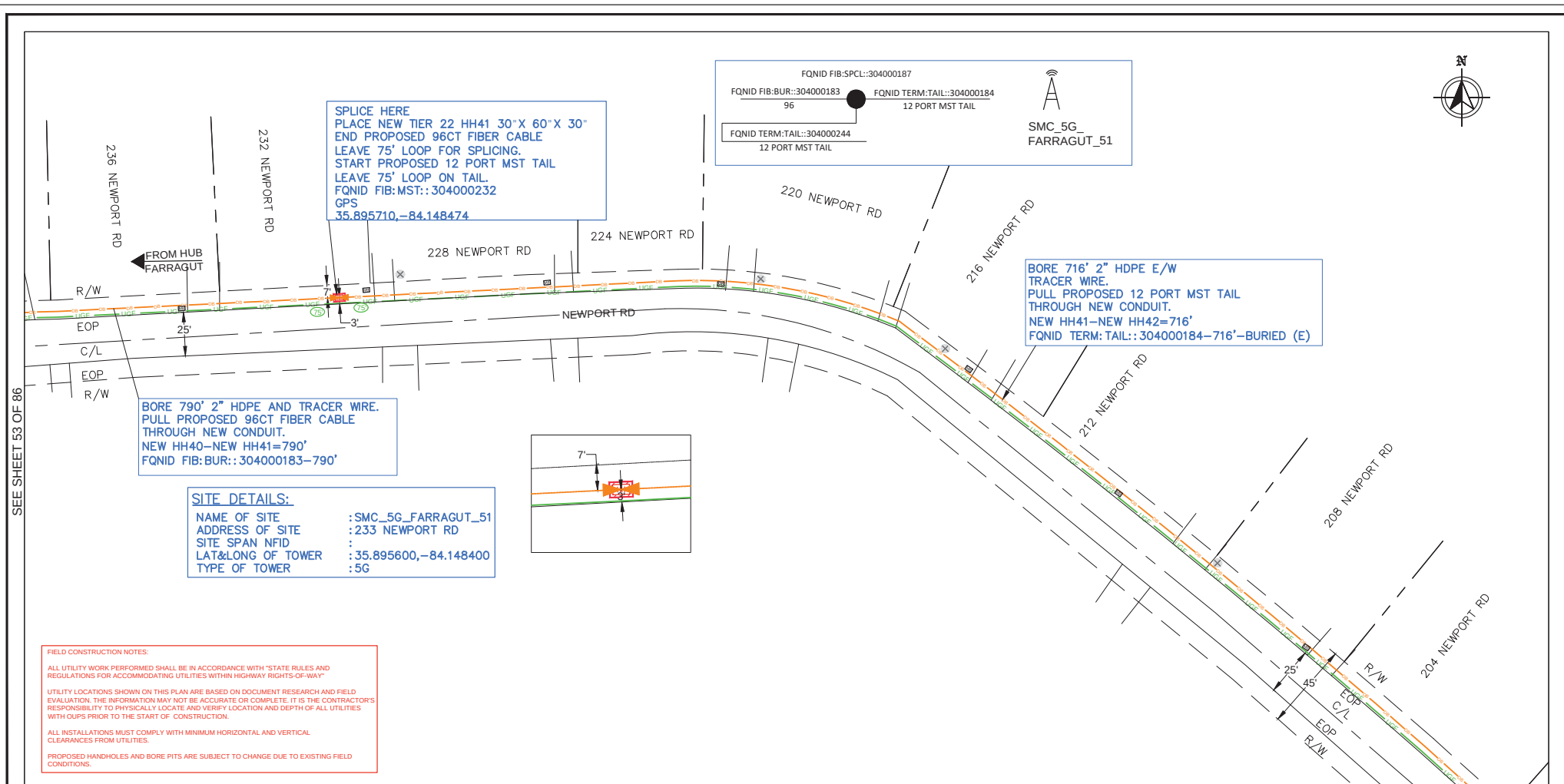


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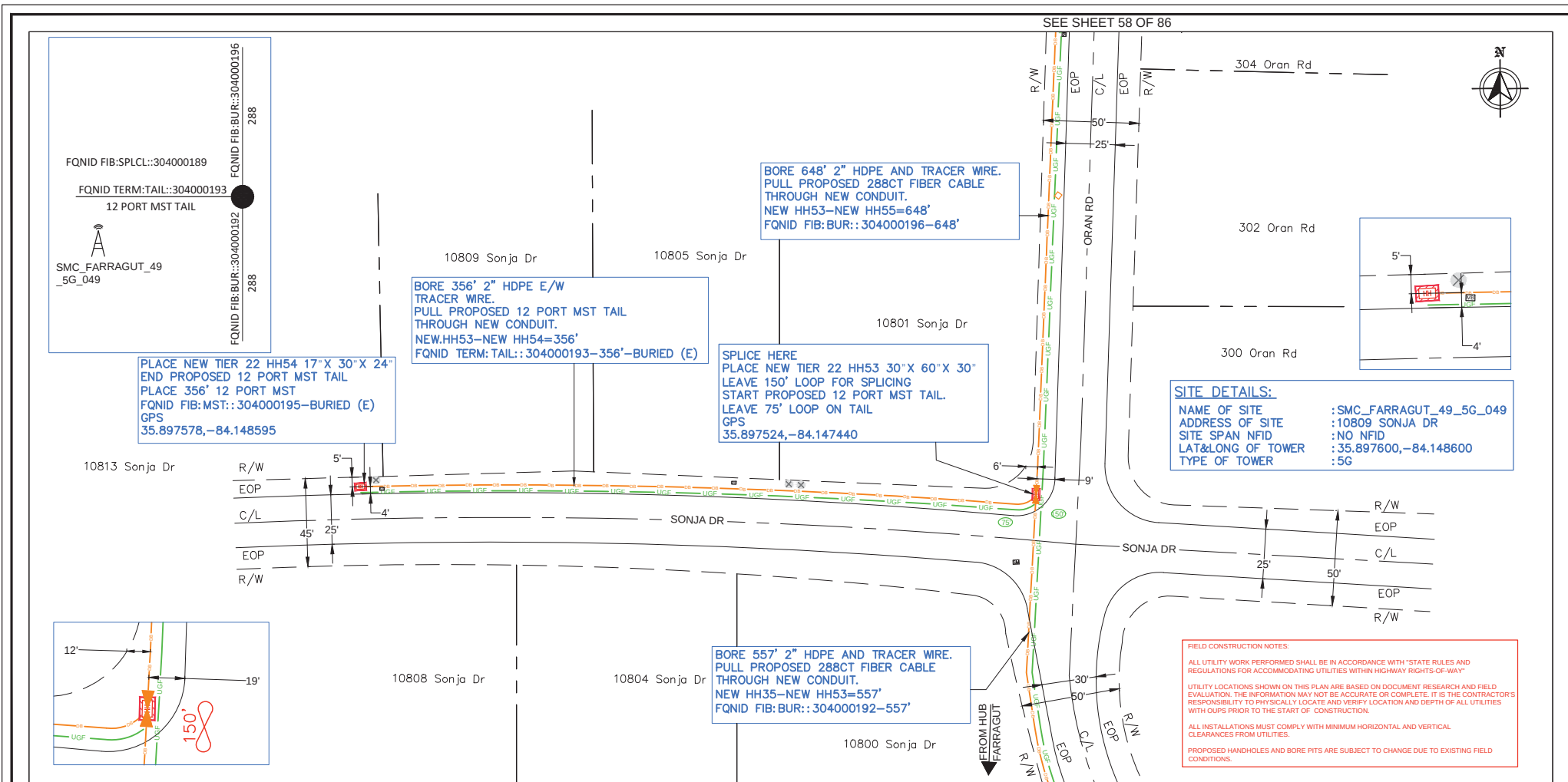
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MasTec
OUTSIDE PLANT CONSTRUCTION

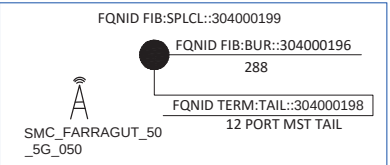
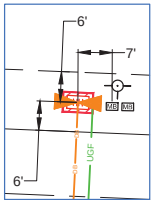
MCI
MCI metro
ACCESS TRANSMISSION
SERVICES, LLC



  Know what's below. Call 811 before you dig. 72 HOURS NOTICE REQUIRED		<table><tr><th colspan="3">REVISIONS</th><th colspan="2">CONSTRUCTION FIRM</th><th colspan="2">PREPARED BY :</th></tr><tr><th>DATE:</th><th>REV</th><th>DESCRIPTIONS:</th><th>BY:</th><th></th><th></th><th></th></tr><tr><td>11-18-2019</td><td>0</td><td>LLD</td><td>CYI</td><td></td><td></td><td></td></tr><tr><td>01-13-2019</td><td>1</td><td>ROUTE MODIFICATION</td><td>CYI</td><td></td><td></td><td></td></tr><tr><td>01-29-2019</td><td>2</td><td>ADDED 5G SITES</td><td>CYI</td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td><td></td><td></td><td></td></tr></table>				REVISIONS			CONSTRUCTION FIRM		PREPARED BY :		DATE:	REV	DESCRIPTIONS:	BY:				11-18-2019	0	LLD	CYI				01-13-2019	1	ROUTE MODIFICATION	CYI				01-29-2019	2	ADDED 5G SITES	CYI																											 OUTSIDE PLANT CONSTRUCTION		 MCImetro ACCESS TRANSMISSION SERVICES,LLC		<table><tr><th colspan="4">CONSTRUCTION DRAWING</th></tr><tr><th colspan="4">SMC_5G_FARRAGUT</th></tr><tr><td colspan="2">CITY: FARRAGUT</td><td colspan="2">STATE: TENNESSEE</td><td colspan="2">COUNTY: KNOX</td></tr><tr><td colspan="2">DRAFTER:</td><td>SCALE: 1"=50'</td><td>SHEET: 54 OF 86</td><td colspan="2">REVISION: 1</td></tr></table>				CONSTRUCTION DRAWING				SMC_5G_FARRAGUT				CITY: FARRAGUT		STATE: TENNESSEE		COUNTY: KNOX		DRAFTER:		SCALE: 1"=50'	SHEET: 54 OF 86	REVISION: 1	
REVISIONS			CONSTRUCTION FIRM		PREPARED BY :																																																																																						
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72 HOURS NOTICE REQUIRED																																																																																		



SITE DETAILS:
NAME OF SITE :SMC_FARRAGUT_50_5G_050
ADDRESS OF SITE :316 ORAN RD
SITE SPAN NFID :NO NFID
LAT&LONG OF TOWER :35.898500,-84.148500
TYPE OF TOWER :5G

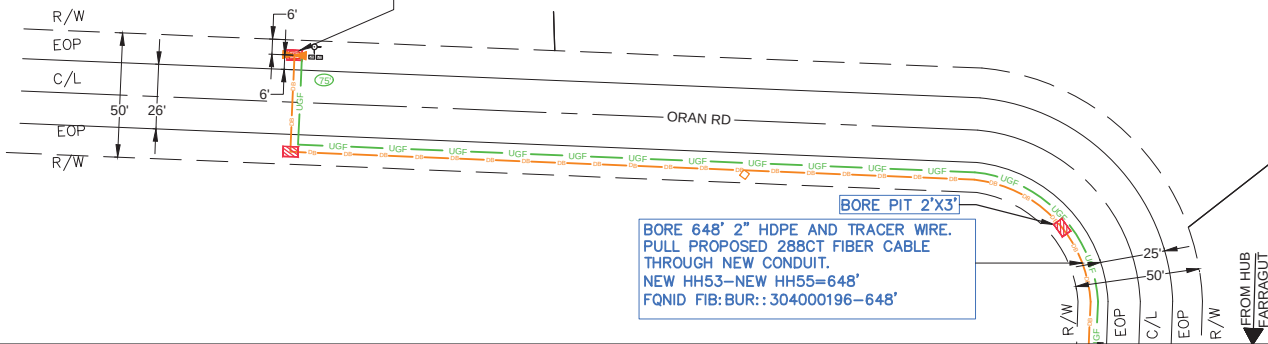
FIELD CONSTRUCTION NOTES:
ALL UTILITY WORK PERFORMED SHALL BE IN ACCORDANCE WITH "STATE RULES AND REGULATIONS FOR ACCOMMODATING UTILITIES WITHIN HIGHWAY RIGHTS-OF-WAY"
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PROPOSED HANDHOLES AND BORE PITS ARE SUBJECT TO CHANGE DUE TO EXISTING FIELD CONDITIONS.

SPLICE HERE
PLACE NEW TIER 22 HH55 30"x 60"x 30"
END PROPOSED 288CT FIBER CABLE
LEAVE 75' LOOP FOR SPLICING
PLACE 50' 12 PORT MST
FQCID FIB:MST::304000197-BURIED (E)
GPS
35.898542,-84.148451

310 ORAN RD

ORAN RD

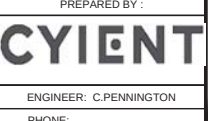
BORE PIT 2'X3'
BORE 648' 2" HDPE AND TRACER WIRE.
PULL PROPOSED 288CT FIBER CABLE
THROUGH NEW CONDUIT.
NEW HH53-NEW HH55=648'
FQCID FIB:BUR::304000196-648'



SEE SHEET 32 OF 86

SEE SHEET 58 OF 86

REVISIONS				CONSTRUCTION FIRM		PREPARED BY :		CONSTRUCTION DRAWING	
DATE:	REV	DESCRIPTIONS:	BY:					SMC_5G_FARRAGUT	
11-18-2019	0	LLD	CYI					CITY: FARRAGUT	
01-13-2019	1	ROUTE MODIFICATION	CYI					STATE: TENNESSEE	
01-29-2019	2	ADDED 5G SITES	CYI					COUNTY: KNOX	
				MANAGER:		ENGINEER: C.PENNINGTON		SCALE: 1"=50'	
				PHONE:		PHONE:		SHEET: 59 OF 86	
								REVISION: 1	



SEE SHEET 61 OF 86

BORE 1036' 2" HDPE AND TRACER WIRE.
PULL PROPOSED 96CT FIBER CABLE
THROUGH NEW CONDUIT.
NEW HH65-NEW HH66=1036'
FQND FIB: BUR:: 304000225-1789'

PLACE NEW TIER 22 HH65 30"X 60"X 30"
LEAVE 150' LOOP ON 96CT
CABLE FOR MAINTENANCE.
GPS
35.897101,-84.150729

BORE 753' 2" HDPE AND TRACER WIRE.
PULL PROPOSED 96CT FIBER CABLE
THROUGH NEW CONDUIT.
NEW HH34-NEW HH65=753'
FQND FIB: BUR:: 304000225-1789'

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SEE SHEET 50 OF 86



72 HOURS NOTICE REQUIRED

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11-18-2019	0	LLD	CYI
01-13-2019	1	ROUTE MODIFICATION	CYI
01-29-2019	2	ADDED 5G SITES	CYI

CONSTRUCTION FIRM

PREPARED BY :

MANAGER:

PHONE:

ENGINEER: C.PENNINGTON

PHONE:

CYIENT

MasTec
OUTSIDE PLANT CONSTRUCTION

MCI
MCImetro
ACCESS TRANSMISSION
SERVICES.LLC

CONSTRUCTION DRAWING

SMC_5G_FARRAGUT

CITY: FARRAGUT

DRAFTER:

STATE: TENNESSEE

SCALE: 1"=50'

COUNTY: KNOX

SHEET: 60 OF 86

REVISION: 1



BORE 1036' 2" HDPE AND TRACER WIRE.
PULL PROPOSED 96CT FIBER CABLE
THROUGH NEW CONDUIT.
NEW HH65-NEW HH66=1036'
FQND FIB: BUR:: 304000225-1789'

312 WARDLEY RD

308 WARDLEY RD

10831 SONJA DR

WARDLEY RD

FROM HUB
FARRAGUT

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SEE SHEET 22 OF 86

SEE SHEET 60 OF 86



72 HOURS NOTICE REQUIRED

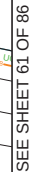
REVISIONS			
DATE:	REV	DESCRIPTIONS:	BY:
11-18-2019	0	LLD	CYI
01-13-2019	1	ROUTE MODIFICATION	CYI
01-29-2019	2	ADDED 5G SITES	CYI

CONSTRUCTION FIRM	
MANAGER:	ENGINEER: C.PENNINGTON
PHONE:	PHONE:

PREPARED BY :	
CYIENT	



CONSTRUCTION DRAWING			
SMC_5G_FARRAGUT			
CITY: FARRAGUT	STATE: TENNESSEE	COUNTY: KNOX	
DRAFTER:	SCALE: 1"=50'	SHEET: 61 OF 86	REVISION: 1



FIELD CONSTRUCTION NOTES:

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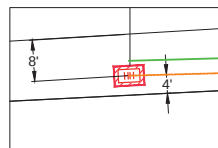


SITE DETAILS:

NAME OF SITE : SMC_5G_FARRAGUT_39
 ADDRESS OF SITE : 441 ORAN RD
 SITE SPAN NFID :
 LAT&LONG OF TOWER : 35.898400,-84.155600
 TYPE OF TOWER : 5G



SMC_5G_FARRAGUT_39 FQID TERM: TAIL::304000227
 12 PORT MST TAIL



PLACE NEW TIER 22 HH67 17" X 30" X 24"
 END PROPOSED 12 PORT MST TAIL
 PLACE 648' 12 PORT MST
 FQID FIB: MST::304000228-BURIED (E)
 GPS
 35.898359,-84.155612

BORE 648' 2" HDPE E/W
 TRACER WIRE.
 PULL PROPOSED 12 PORT MST TAIL
 THROUGH NEW CONDUIT.
 NEW HH66-NEW HH67=648'
 FQID TERM: TAIL::304000227-648'-BURIED (E)

SEE SHEET 69 OF 86

SEE SHEET 70 OF 86




72 HOURS NOTICE REQUIRED

REVISIONS			
DATE:	REV	DESCRIPTIONS:	BY:
11-18-2019	0	LLD	CYI
01-13-2019	1	ROUTE MODIFICATION	CYI
01-29-2019	2	ADDED 5G SITES	CYI

CONSTRUCTION FIRM
MANAGER:
PHONE:

PREPARED BY :
CYIENT
ENGINEER: C.PENNINGTON
PHONE:



MasTec

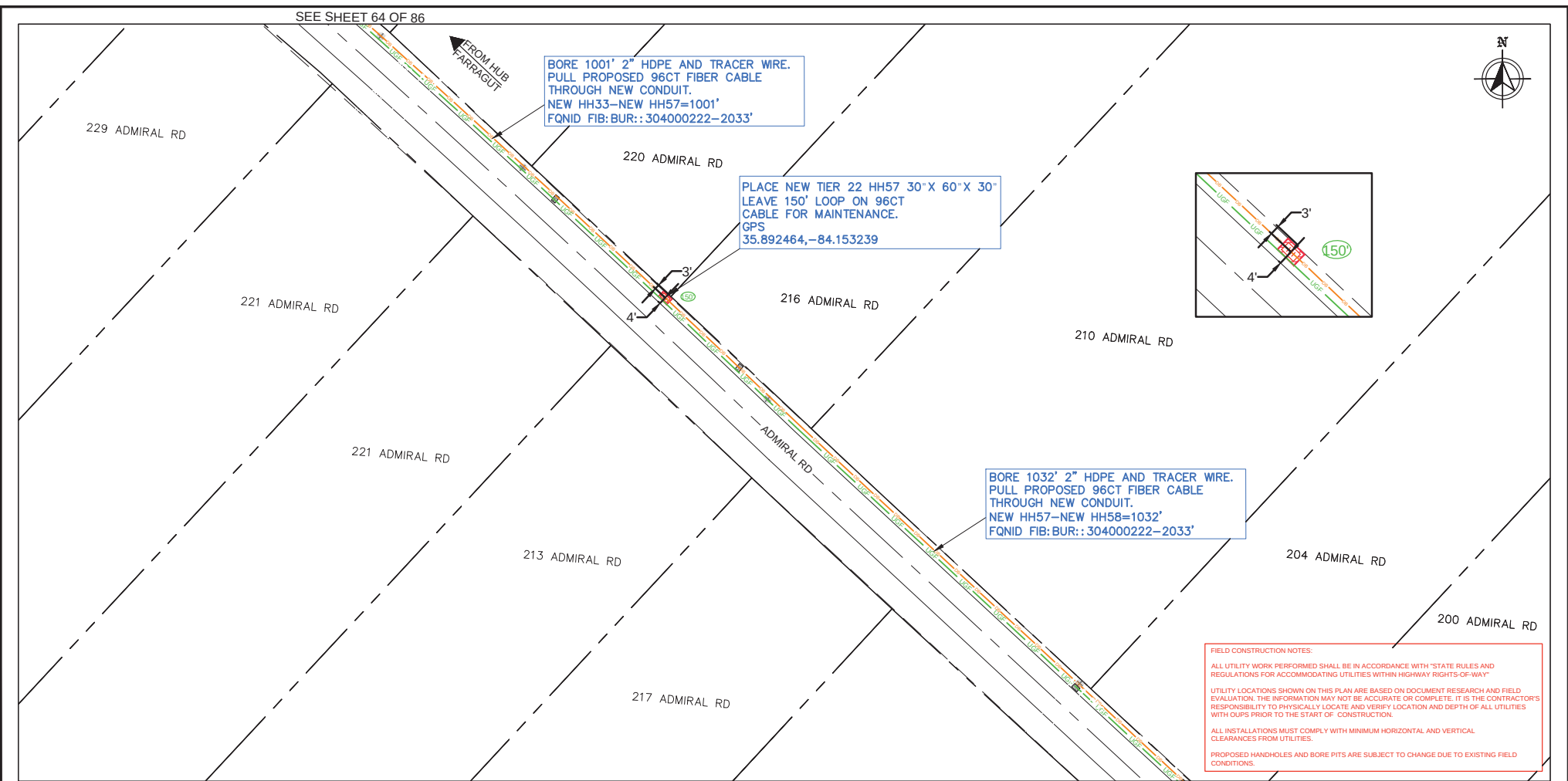
OUTSIDE PLANT CONSTRUCTION



MCI

ACCESS TRANSMISSION SERVICES, LLC

CONSTRUCTION DRAWING			
SMC_5G_FARRAGUT			
CITY: FARRAGUT	STATE: TENNESSEE	COUNTY: KNOX	
DRAFTER:	SCALE: 1"=50'	SHEET: 63 OF 86	REVISION: 1



72 HOURS NOTICE REQUIRED

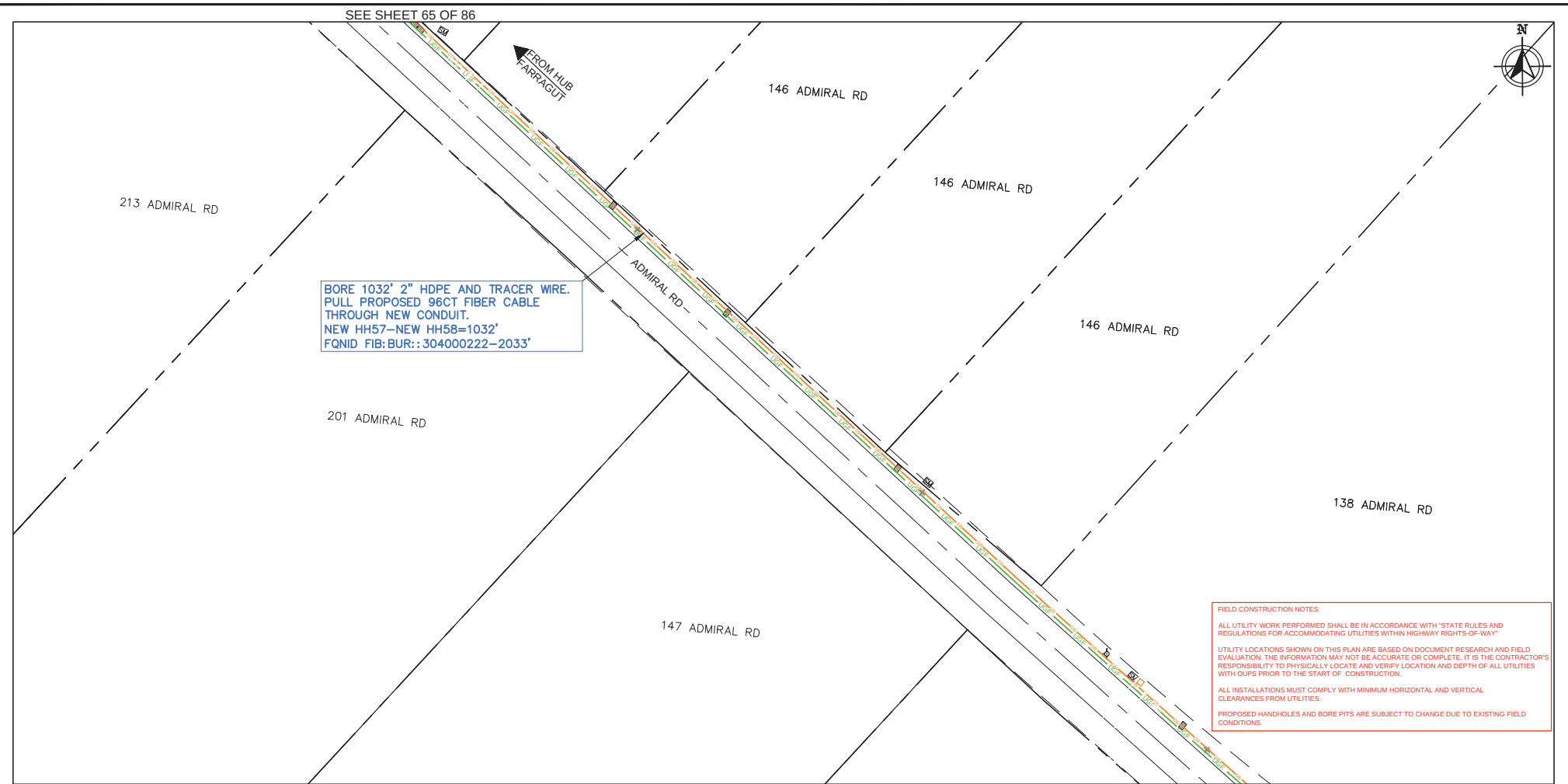
REVISIONS			
DATE:	REV	DESCRIPTIONS:	BY:
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01-13-2019	1	ROUTE MODIFICATION	CYI
01-29-2019	2	ADDED 5G SITES	CYI

CONSTRUCTION FIRM
MANAGER:
PHONE:

PREPARED BY :
CYIENT
ENGINEER: C.PENNINGTON
PHONE:



CONSTRUCTION DRAWING			
SMC_5G_FARRAGUT			
CITY: FARRAGUT	STATE: TENNESSEE	COUNTY: KNOX	
DRAFTER:	SCALE: 1"=50'	SHEET: 65 OF 86	REVISION: 1



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01-29-2019	2	ADDED 5G SITES	CYI

CONSTRUCTION FIRM	
MANAGER:	ENGINEER: C.PENNINGTON
PHONE:	PHONE:

PREPARED BY :	
CYIENT	



CONSTRUCTION DRAWING			
SMC_5G_FARRAGUT			
CITY: FARRAGUT	STATE: TENNESSEE	COUNTY: KNOX	
DRAFTER:	SCALE: 1"=50'	SHEET: 66 OF 86	REVISION: 1

SEE SHEET 66 OF 86

139 ADMIRAL RD

BORE 1032' 2" HDPE AND TRACER WIRE.
PULL PROPOSED 96CT FIBER CABLE
THROUGH NEW CONDUIT.
NEW HH57-NEW HH58=1032'
FQID FIB: BUR::304000222-2033'

133 ADMIRAL RD

SPLICE HERE
PLACE NEW TIER 22 HH58 30"X 60"X 30"
END PROPOSED 96CT FIBER CABLE
LEAVE 75' LOOP FOR FUTURE SITE
FQID FIB: MST::304000230.
GPS
35.898542,-84.148451

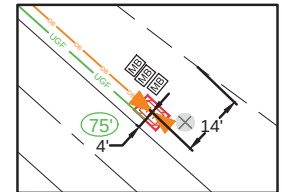
128 ADMIRAL RD

FQID FIB: BUR::304000222 FQID TERM: TAIL::304000242
1-96 12 PORT MST TAIL
FQID FIB: SPLCL::304000223
SMC_
FARRAGUT_45_5G_045



SITE DETAILS:

NAME OF SITE : SMC_FARRAGUT_45_5G_045
ADDRESS OF SITE : 137 ADMIRAL RD
SITE SPAN NFID : NO NFID
LAT&LONG OF TOWER : 35.890519,-84.150695
TYPE OF TOWER : 5G



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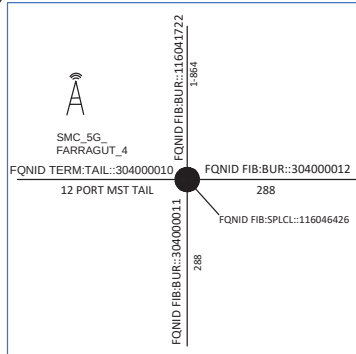
REVISIONS			
DATE:	REV	DESCRIPTIONS:	BY:
11-18-2019	0	LLD	CYI
01-13-2019	1	ROUTE MODIFICATION	CYI
01-29-2019	2	ADDED 5G SITES	CYI

CONSTRUCTION FIRM	
MANAGER:	ENGINEER: C.PENNINGTON
PHONE:	PHONE:

PREPARED BY :	
CYIENT	



CONSTRUCTION DRAWING			
SMC_5G_FARRAGUT			
CITY: FARRAGUT	STATE: TENNESSEE	COUNTY: KNOX	
DRAFTER:	SCALE: 1"=50'	SHEET: 67 OF 86	REVISION: 1



FIELD CONSTRUCTION NOTES:

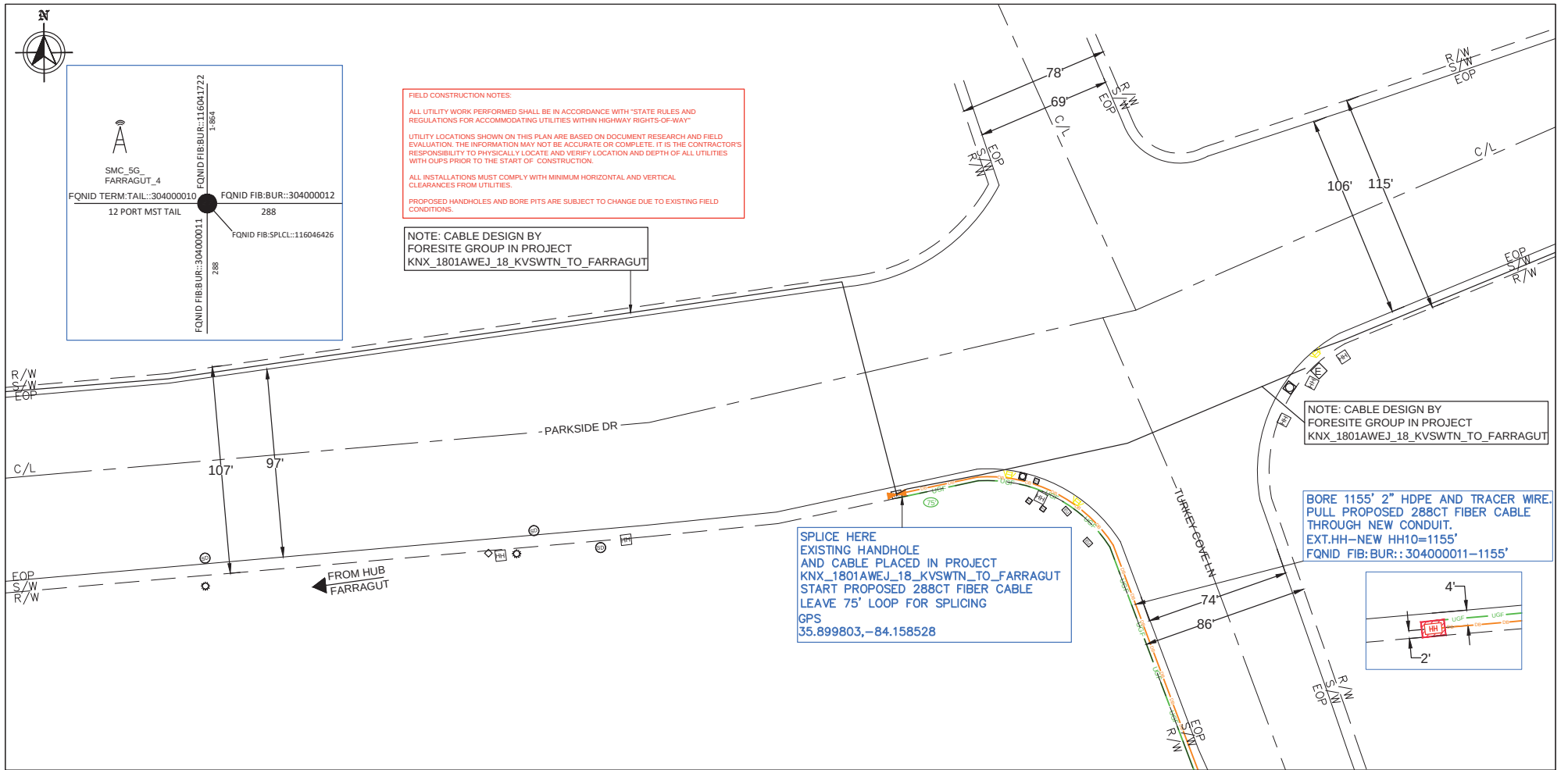
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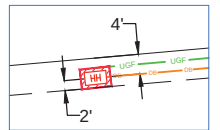
NOTE: CABLE DESIGN BY
FORESITE GROUP IN PROJECT
KNX_1801AWEJ_18_KVSWTN_TO_FARRAGUT



SPLICE HERE
EXISTING HANDHOLE
AND CABLE PLACED IN PROJECT
KNX_1801AWEJ_18_KVSWTN_TO_FARRAGUT
START PROPOSED 288CT FIBER CABLE
LEAVE 75' LOOP FOR SPLICING
GPS
35.899803,-84.158528

NOTE: CABLE DESIGN BY
FORESITE GROUP IN PROJECT
KNX_1801AWEJ_18_KVSWTN_TO_FARRAGUT

BORE 1155' 2" HDPE AND TRACER WIRE.
PULL PROPOSED 288CT FIBER CABLE
THROUGH NEW CONDUIT.
EXT.HH-NEW HH10=1155'
FQCID FIB: BUR: 304000011-1155'



SEE SHEET 69 OF 86



72 HOURS NOTICE REQUIRED

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CONSTRUCTION FIRM		PREPARED BY :	
		ENGINEER: C.PENNINGTON	
MANAGER:		ENGINEER: C.PENNINGTON	
PHONE:		PHONE:	



CONSTRUCTION DRAWING

SMC_5G_FARRAGUT

CITY: FARRAGUT	STATE: TENNESSEE	COUNTY: KNOX
DRAFTER:	SCALE: 1"=50'	SHEET: 68 OF 86
		REVISION: 1



SEE SHEET 68 OF 86

FROM HUB
FARRAGUT

EOP

R/W

EOP

R/W

TURKEY COVE LN

BORE 1155' 2" HDPE AND TRACER WIRE.
PULL PROPOSED 288CT FIBER CABLE
THROUGH NEW CONDUIT.
EXT.HH-NEW HH10=1155'
FQND FIB: BUR::304000011-1155'

SEE SHEET 63 OF 86

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PHONE:		PHONE:	



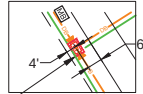
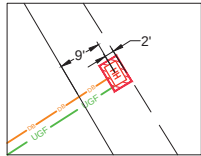
CONSTRUCTION DRAWING

SMC_5G_FARRAGUT

CITY: FARRAGUT		STATE: TENNESSEE		COUNTY: KNOX	
DRAFTER:		SCALE: 1"=50'	SHEET: 69 OF 86	REVISION: 1	

SEE SHEET 63 OF 86

FQCID FIB: BUR: 304000011
 288
 SMC_5G_FARRAGUT_7
 FQCID FIB: SPLCL: 304000035
 FQCID TERM: TAIL: 304000177
 12 PORT MST TAIL
 FQCID TERM: TAIL: 304000178
 12 PORT MST TAIL



FIELD CONSTRUCTION NOTES:

ALL UTILITY WORK PERFORMED SHALL BE IN ACCORDANCE WITH "STATE RULES AND REGULATIONS FOR ACCOMMODATING UTILITIES WITHIN HIGHWAY RIGHTS-OF-WAY"

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ALL INSTALLATIONS MUST COMPLY WITH MINIMUM HORIZONTAL AND VERTICAL CLEARANCES FROM UTILITIES.

PROPOSED HANDHOLES AND BORE PITS ARE SUBJECT TO CHANGE DUE TO EXISTING FIELD CONDITIONS.

SITE DETAILS:

NAME OF SITE : SMC_5G_FARRAGUT_7
 ADDRESS OF SITE : 446 TURKEY COVE LN
 SITE SPAN NFID : NO NFID
 LAT&LONG OF TOWER : 35.897511, -84.156049
 TYPE OF TOWER : 5G

BORE 1155' 2" HDPE AND TRACER WIRE.
 PULL PROPOSED 288CT FIBER CABLE
 THROUGH NEW CONDUIT.
 EXT. HH-NEW HH10=1155'
 FQCID FIB: BUR: 304000011-1155'

BORE 44' 2" HDPE E/W
 TRACER WIRE.
 PULL PROPOSED 12 PORT MST TAIL
 THROUGH NEW CONDUIT.
 NEW HH10-NEW HH47=44'
 FQCID TERM: TAIL: 304000177-44'-BURIED (E)

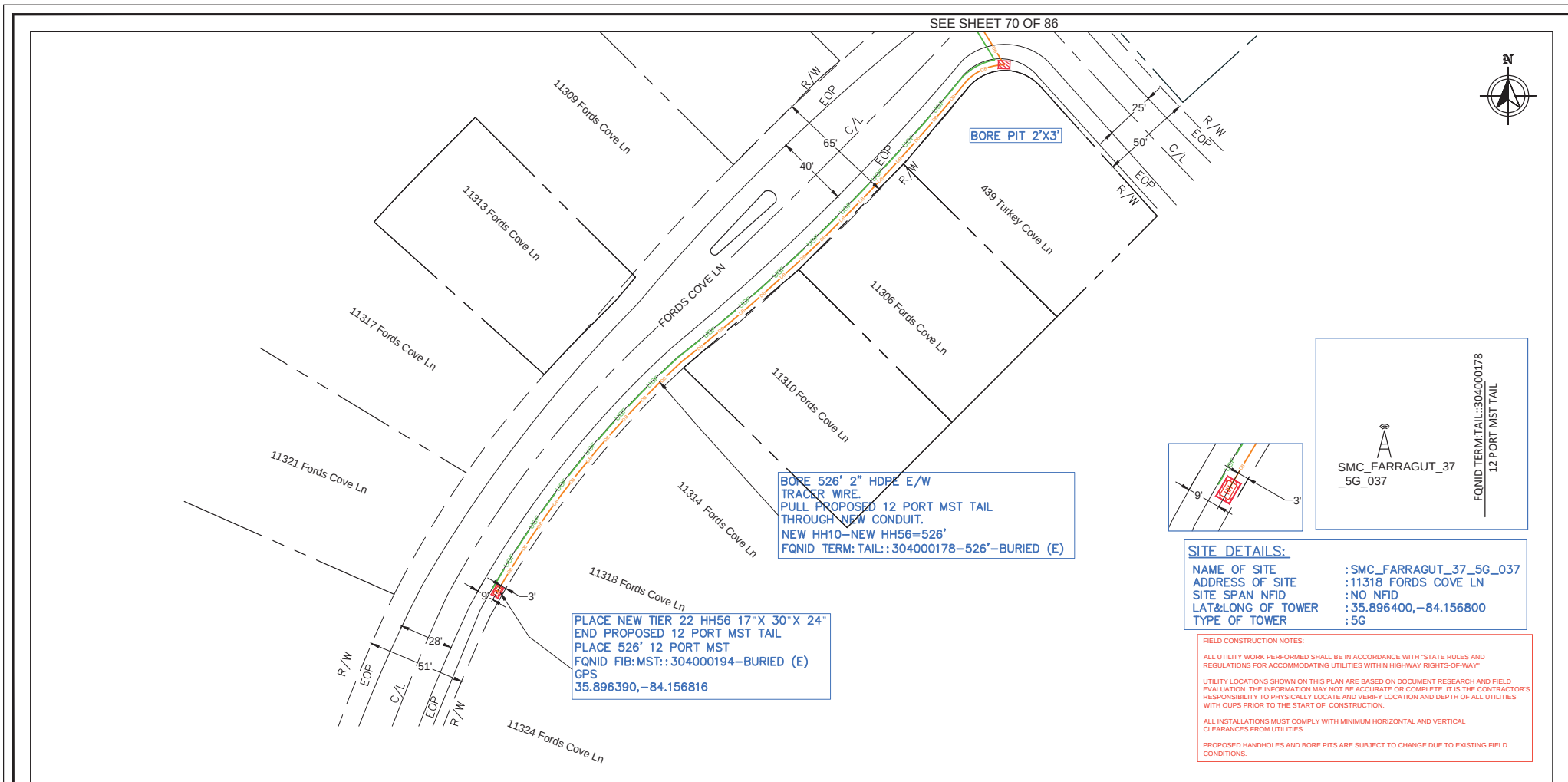
PLACE NEW TIER 22 HH47 17"X 30"X 24"
 END PROPOSED 12 PORT MST TAIL
 PLACE 44' 12 PORT MST
 FQCID FIB: MST: 304000221-BURIED (E)
 GPS
 35.897539, -84.156013

BORE 526' 2" HDPE E/W
 TRACER WIRE.
 PULL PROPOSED 12 PORT MST TAIL
 THROUGH NEW CONDUIT.
 NEW HH10-NEW HH56=526'
 FQCID TERM: TAIL: 304000178-526'-BURIED (E)

SPLICE HERE
 PLACE NEW TIER 22 HH10 30"X 60"X 30"
 END PROPOSED 288CT FIBER CABLE
 START PROPOSED (2) 12 PORT MST TAILS
 LEAVE 75' LOOP FOR SPLICING
 LEAVE 75' LOOP ON TAILS
 GPS
 35.897470, -84.156136

SEE SHEET 71 OF 86

 811 Know what's below. Call 811 before you dig.	REVISIONS			CONSTRUCTION FIRM	PREPARED BY :	 OUTSIDE PLANT CONSTRUCTION	 MCI metro ACCESS TRANSMISSION SERVICES, LLC	CONSTRUCTION DRAWING			
	DATE:	REV	DESCRIPTIONS:	BY:	 CYIENT			ENGINEER: C.PENNINGTON	SMC_5G_FARRAGUT		
	11-18-2019	0	LLD	CYI					CITY: FARRAGUT	STATE: TENNESSEE	COUNTY: KNOX
	01-13-2019	1	ROUTE MODIFICATION	CYI					MANAGER:	ENGINEER: C.PENNINGTON	SCALE: 1"=50'
01-29-2019	2	ADDED 5G SITES	CYI	PHONE:	PHONE:	DRAFTER:					
72 HOURS NOTICE REQUIRED											



72 HOURS NOTICE REQUIRED

REVISIONS			
DATE:	REV	DESCRIPTIONS:	BY:
11-18-2019	0	LLD	CYI
01-13-2019	1	ROUTE MODIFICATION	CYI
01-29-2019	2	ADDED 5G SITES	CYI

CONSTRUCTION FIRM	
MANAGER:	ENGINEER: C.PENNINGTON
PHONE:	PHONE:

PREPARED BY :	
CYIENT	

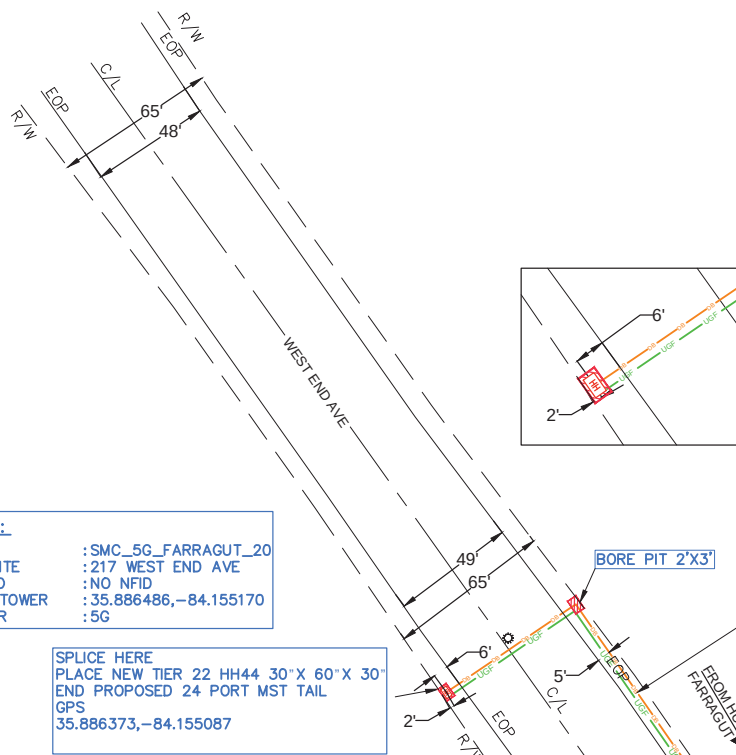
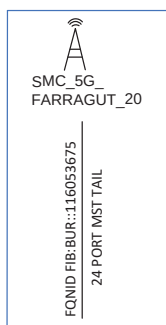
MasTec
OUTSIDE PLANT CONSTRUCTION

MCI
MCI metro
ACCESS TRANSMISSION
SERVICES.LLC

CONSTRUCTION DRAWING

SMC_5G_FARRAGUT

CITY: FARRAGUT	STATE: TENNESSEE	COUNTY: KNOX
DRAFTER:	SCALE: 1"=50'	SHEET: 71 OF 86
		REVISION: 1



SITE DETAILS:
NAME OF SITE : SMC_5G_FARRAGUT_20
ADDRESS OF SITE : 217 WEST END AVE
SITE SPAN NFID : NO NFID
LAT&LONG OF TOWER : 35.886486, -84.155170
TYPE OF TOWER : 5G

SPLICE HERE
PLACE NEW TIER 22 HH44 30" X 60" X 30"
END PROPOSED 24 PORT MST TAIL
GPS
35.886373, -84.155087

BORE 320' 2" HDPE AND TRACER WIRE.
PULL PROPOSED 24 PORT MST TAIL
THROUGH NEW CONDUIT.
NEW HH43-NEW HH44=320'
FQND FIB: BUR: 30400025-902'

FIELD CONSTRUCTION NOTES:
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PROPOSED HANDHOLES AND BORE PITS ARE SUBJECT TO CHANGE DUE TO EXISTING FIELD CONDITIONS.

SEE SHEET 16 OF 86

SEE SHEET 73 OF 86



72 HOURS NOTICE REQUIRED

REVISIONS		CONSTRUCTION FIRM		PREPARED BY :	
DATE:	REV	DESCRIPTIONS:	BY:		
11-18-2019	0	LLD	CYI		
01-13-2019	1	ROUTE MODIFICATION	CYI		
01-29-2019	2	ADDED 5G SITES	CYI		
				MANAGER:	ENGINEER: C.PENNINGTON
				PHONE:	PHONE:

CONSTRUCTION FIRM		PREPARED BY :	
 OUTSIDE PLANT CONSTRUCTION		 MCI metro ACCESS TRANSMISSION SERVICES, LLC	

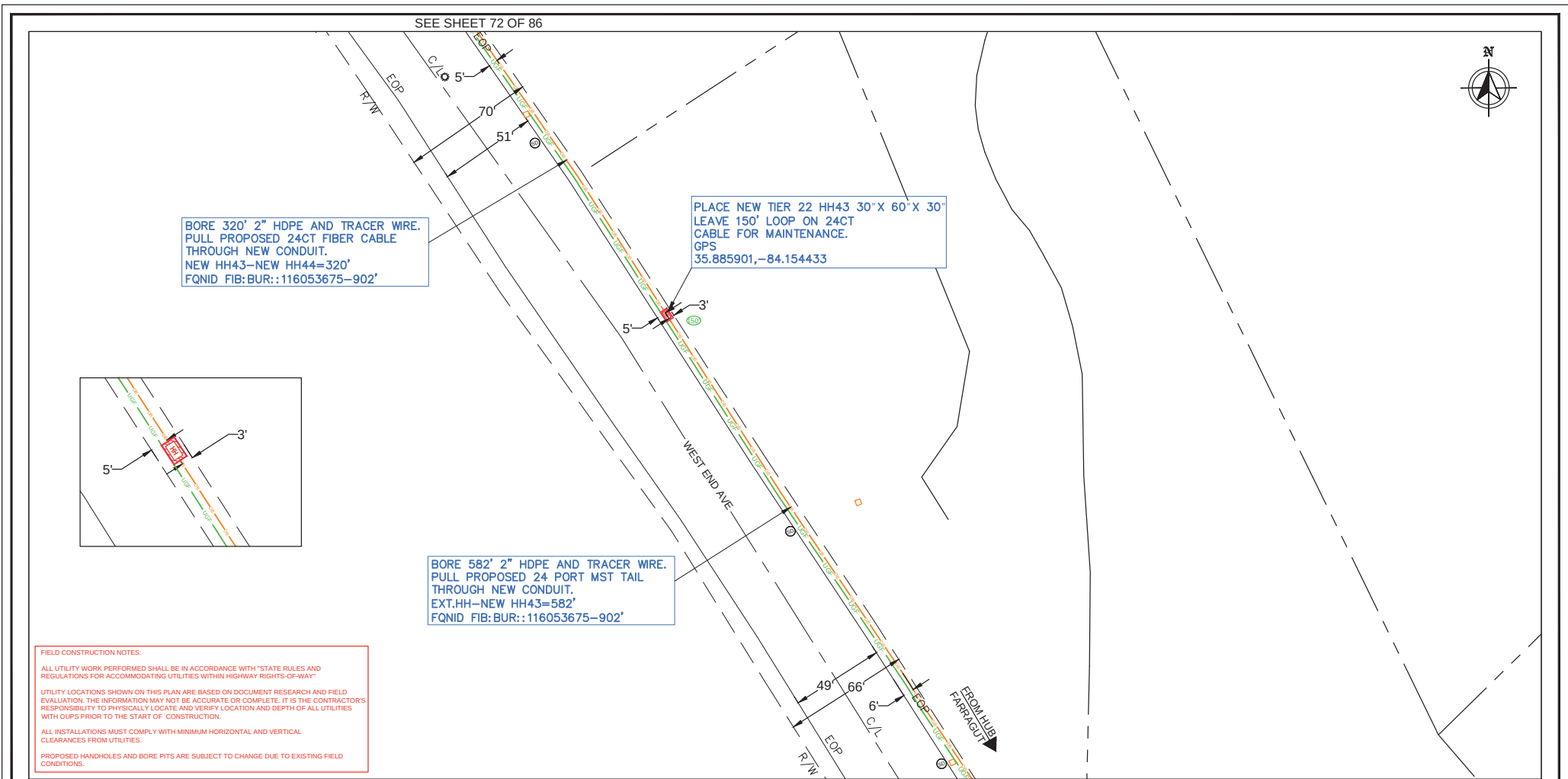


OUTSIDE PLANT CONSTRUCTION



MCI metro
ACCESS TRANSMISSION SERVICES, LLC

CONSTRUCTION DRAWING			
SMC_5G_FARRAGUT			
CITY: FARRAGUT	STATE: TENNESSEE	COUNTY: KNOX	
DRAFTER:	SCALE: 1"=50'	SHEET: 72 OF 86	REVISION: 1



SEE SHEET 74 OF 86

 Know what's below. Call 811 before you dig.		<table><tr><th colspan="4">REVISIONS</th></tr><tr><th>DATE:</th><th>REV</th><th>DESCRIPTIONS:</th><th>BY:</th></tr><tr><td>11-18-2019</td><td>0</td><td>LLD</td><td>CYI</td></tr><tr><td>01-13-2019</td><td>1</td><td>ROUTE MODIFICATION</td><td>CYI</td></tr><tr><td>01-29-2019</td><td>2</td><td>ADDED 5G SITES</td><td>CYI</td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr></table>		REVISIONS				DATE:	REV	DESCRIPTIONS:	BY:	11-18-2019	0	LLD	CYI	01-13-2019	1	ROUTE MODIFICATION	CYI	01-29-2019	2	ADDED 5G SITES	CYI													<table><tr><th colspan="2">CONSTRUCTION FIRM</th><th colspan="2">PREPARED BY :</th></tr><tr><td colspan="2" rowspan="3"></td><td colspan="2"> OUTSIDE PLANT CONSTRUCTION</td></tr><tr><td colspan="2"> ACCESS TRANSMISSION SERVICES,LLC</td></tr><tr><td colspan="2"> </td></tr></table>		CONSTRUCTION FIRM		PREPARED BY :				 OUTSIDE PLANT CONSTRUCTION		 ACCESS TRANSMISSION SERVICES,LLC				<table><tr><th colspan="4">CONSTRUCTION DRAWING</th></tr><tr><td colspan="4">SMC_5G_FARRAGUT</td></tr><tr><td colspan="2">CITY: FARRAGUT</td><td colspan="2">STATE: TENNESSEE</td><td colspan="2">COUNTY: KNOX</td></tr><tr><td colspan="2">DRAFTER:</td><td colspan="2">SCALE: 1"=50'</td><td colspan="2">SHEET: 73 OF 86</td></tr><tr><td colspan="2"> </td><td colspan="2"> </td><td colspan="2">REVISION: 1</td></tr></table>				CONSTRUCTION DRAWING				SMC_5G_FARRAGUT				CITY: FARRAGUT		STATE: TENNESSEE		COUNTY: KNOX		DRAFTER:		SCALE: 1"=50'		SHEET: 73 OF 86						REVISION: 1	
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				PHONE:		PHONE:																																																																									

SEE SHEET 73 OF 86

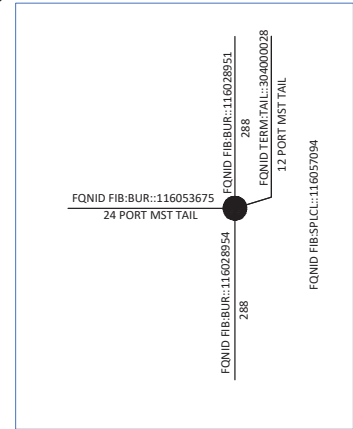


BORE 582' 2" HDPE AND TRACER WIRE.
PULL PROPOSED 24 PORT MST TAIL
THROUGH NEW CONDUIT.
EXT.HH-NEW HH43=582'
FQID FIB: BUR::116053675-902'

SPLICE HERE
EXISTING HANDHOLE
AND CABLE PLACED IN PROJECT
KNX_1710AISU_34_FARRAGUT2
START PROPOSED 24 PORT MST TAIL
START PROPOSED 12 PORT MST TAIL
LEAVE 75' LOOP ON EACH TAIL FOR
SPLICING
GPS
35.884669,-84.153211

NOTE: CABLE DESIGN BY
FORESITE GROUP IN PROJECT
KNX_1710AISU_34_FARRAGUT2

NOTE: CABLE DESIGN BY
FORESITE GROUP IN PROJECT
KNX_1710AISU_34_FARRAGUT2



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REVISIONS			
DATE:	REV	DESCRIPTIONS:	BY:
11-18-2019	0	LLD	CYI
01-13-2019	1	ROUTE MODIFICATION	CYI
01-29-2019	2	ADDED 5G SITES	CYI

CONSTRUCTION FIRM	
MANAGER:	ENGINEER: C.PENNINGTON
PHONE:	PHONE:

PREPARED BY :	
CYIENT	



CONSTRUCTION DRAWING

SMC_5G_FARRAGUT

CITY: FARRAGUT	STATE: TENNESSEE	COUNTY: KNOX
DRAFTER:	SCALE: 1"=50'	SHEET: 74 OF 86
		REVISION: 1

FQN_IDS

12 PORT MST TAILS
 TERM:TAIL::304000219 - 50'
 TERM:TAIL::304000218 - 50'
 TERM:TAIL::304000179 - 778'
 TERM:TAIL::304000171 - 460'
 TERM:TAIL::304000174 - 669'
 TERM:TAIL::304000160 - 785'
 TERM:TAIL::304000209 - 50'
 TERM:TAIL::304000202 - 196'
 TERM:TAIL::304000206 - 188'
 TERM:TAIL::304000213 - 50'
 TERM:TAIL::304000177 - 44'
 TERM:TAIL::304000178 - 526'
 TERM:TAIL::304000242 - 50'
 TERM:TAIL::304000243 - 50'
 TERM:TAIL::304000244 - 50'
 TERM:TAIL::304000184 - 716'
 TERM:TAIL::304000190 - 50'
 TERM:TAIL::304000193 - 356'
 TERM:TAIL::304000198 - 50'

24 PORT MST
 FIB:BUR::116053675 - 902'

BURIED 96CT
 FIB:BUR::304000222 - 2033'
 FIB:BUR::304000225 - 1789'
 FIB:BUR::304000182 - 564'
 FIB:BUR::304000183 - 790'

BURIED 288CT
 FIB:BUR::304000169 - 1101'
 FIB:BUR::304000018 - 489'
 FIB:BUR::304000019 - 1482'
 FIB:BUR::304000173 - 516'
 FIB:BUR::304000161 - 756'
 FIB:BUR::304000201 - 726'
 FIB:BUR::304000204 - 877'
 FIB:BUR::304000207 - 413'
 FIB:BUR::304000021 - 2492'
 FIB:BUR::304000022 - 1705'
 FIB:BUR::304000023 - 2090'
 FIB:BUR::304000024 - 1051'
 FIB:BUR::304000231 - 311'
 FIB:BUR::304000181 - 1497'
 FIB:BUR::304000192 - 557'
 FIB:BUR::304000196 - 648'
 FIB:BUR::304000011 - 115'

BURIED 864CT
 FIB:BUR::304000016 - 828'
 FIB:BUR::304000017 - 1834'
 FIB:BUR::304000169 - 1101'
 FIB:BUR::304000020 - 1013'
 FIB:BUR::304000216 - 1029'
 FIB:BUR::304000046 - 2093'

SPLICE CLOSURE
 FIB:SPLCL::304000037
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MST
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 FIB:MST::304000197



REVISIONS			
DATE:	REV	DESCRIPTIONS:	BY:
11-18-2019	0	LLD	CYI
01-13-2019	1	ROUTE MODIFICATION	CYI
01-29-2019	2	ADDED 5G SITES	CYI

CONSTRUCTION FIRM
MANAGER:
PHONE:

PREPARED BY :
CYIENT
ENGINEER: C.PENNINGTON
PHONE:

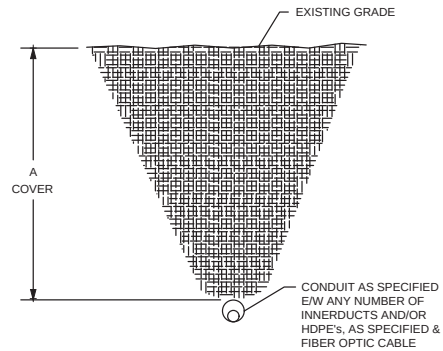


FQNID'S			
SMC_5G_FARRAGUT			
CITY: FARRAGUT	STATE: TENNESSEE	COUNTY: KNOX	
DRAFTER:	SCALE: 1"=50'	SHEET: 75 OF 86	REVISION: 1

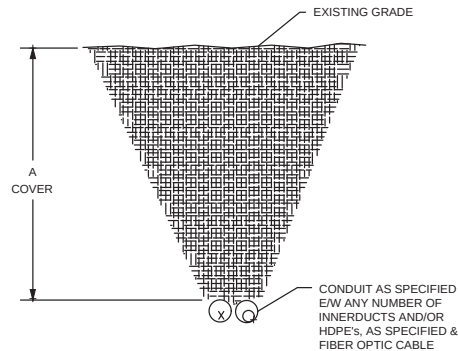
CONSTRUCTION DETAILS/TYPICALS

TYPICAL DIRECTIONAL BORE DETAIL

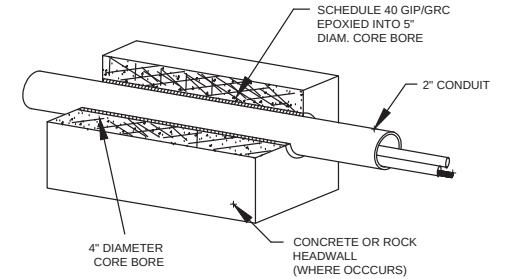
TYPICAL DETAIL A
DIRECTIONAL BORE CROSS SECTION
FOR CONDUIT



TYPICAL DETAIL B
DIRECTIONAL BORE CROSS SECTION
FOR JOINT CONDUIT



TYPICAL DETAIL C
4" CORE BORE



NOTE:
EPOXY GROUT IS USED AT BOTH ENDS OF CORE BORE
TO SEAL GAP BETWEEN 2" CONDUIT AND PVC SLEEVE.



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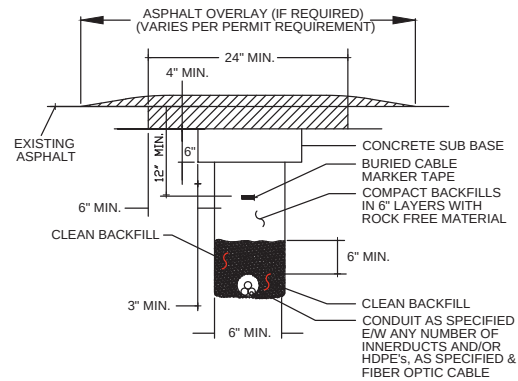
CONSTRUCTION DETAIL DRAWINGS			
SMC_5G_FARRAGUT			
CITY: FARRAGUT	STATE: TENNESSEE	COUNTY: KNOX	
DRAFTER:	SCALE: NTS	SHEET: 76 OF 86	REVISION: 1

CONSTRUCTION DETAILS/TYPICALS

RESTORATION DETAILS

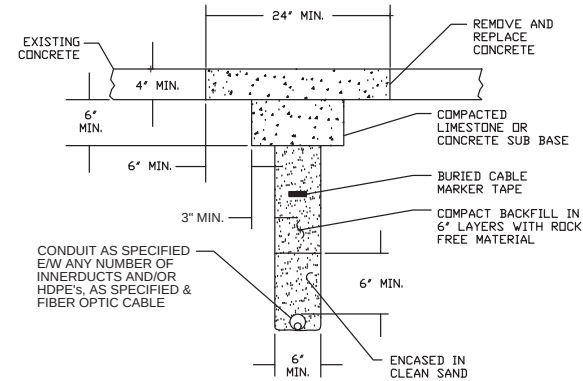
TYPICAL DETAIL A

REMOVE AND RESTORE ASPHALT
FOR CONDUIT



TYPICAL DETAIL B

REMOVE AND RESTORE CONCRETE
FOR CONDUIT



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11-18-2019	0	LLD	CYI
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01-29-2019	2	ADDED 5G SITES	CYI

CONSTRUCTION FIRM		PREPARED BY :	
MANAGER:		ENGINEER: C.PENNINGTON	
PHONE:		PHONE:	

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MCI
MCImetro
ACCESS TRANSMISSION
SERVICES,LLC

CONSTRUCTION DETAIL DRAWINGS

SMC_5G_FARRAGUT

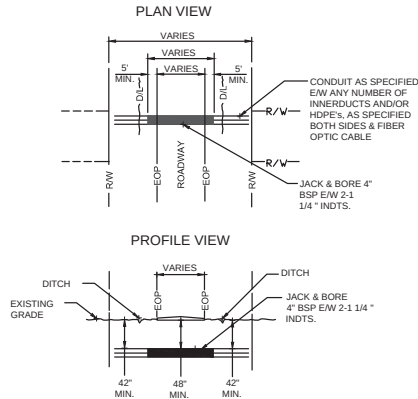
CITY: FARRAGUT		STATE: TENNESSEE		COUNTY: KNOX	
DRAFTER:		SCALE: NTS	SHEET: 77 OF 86	REVISION: 1	

CONSTRUCTION DETAILS/TYPICALS

JACK AND BORE DETAIL

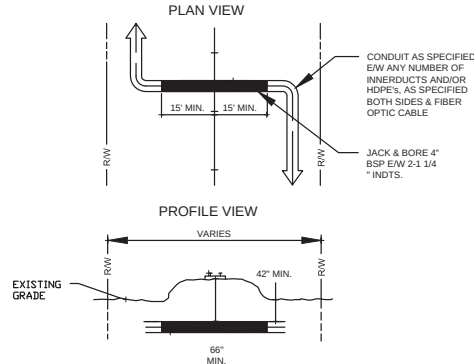
TYPICAL DETAIL A

JACK & BORE ROADWAY



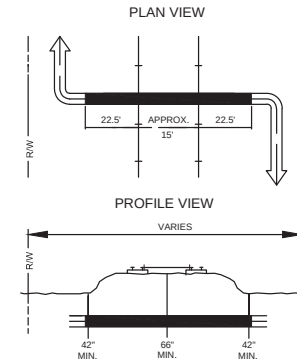
TYPICAL DETAIL B

JACK & BORE MAIN TRACK



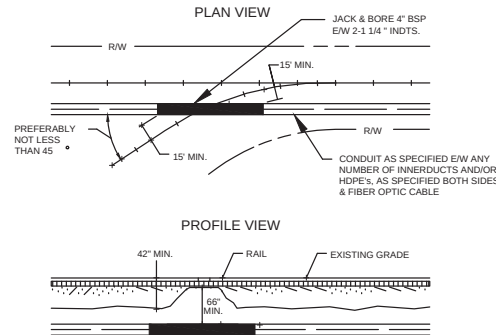
TYPICAL DETAIL C

JACK AND BORE DUAL TRACKS



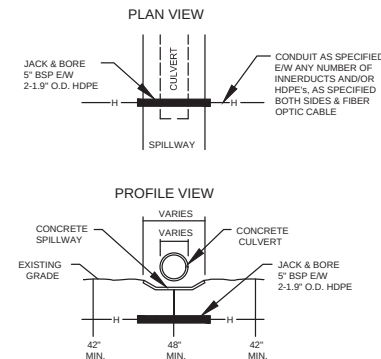
TYPICAL DETAIL D

JACK & BORE AUXILIARY TRACK



TYPICAL DETAIL E

JACK AND BORE CULVERT AND/OR SPILLWAY



REVISIONS			
DATE:	REV	DESCRIPTIONS:	BY:
11-18-2019	0	LLD	CYI
01-13-2019	1	ROUTE MODIFICATION	CYI
01-29-2019	2	ADDED 5G SITES	CYI

CONSTRUCTION FIRM		PREPARED BY :	
		CYIENT	
MANAGER:		ENGINEER: C.PENNINGTON	
PHONE:		PHONE:	

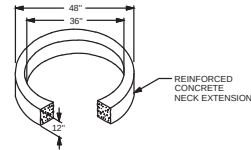


CONSTRUCTION DETAIL DRAWINGS			
SMC_5G_FARRAGUT			
CITY: FARRAGUT	STATE: TENNESSEE	COUNTY: KNOX	
DRAFTER:	SCALE: NTS	SHEET: 78 OF 86	REVISION: 1

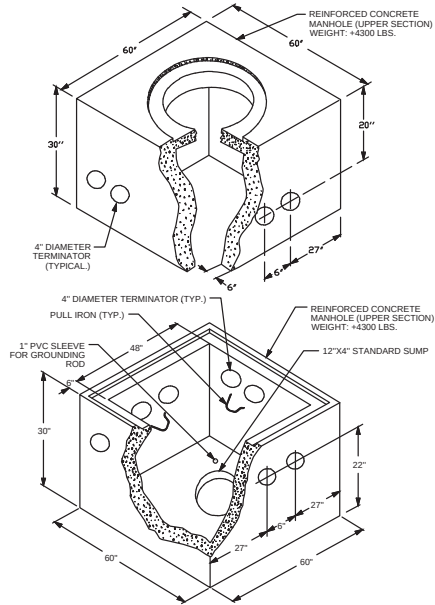
CONSTRUCTION DETAILS/TYPICALS

4'x4'x4' OR 4'x4'x2' MANHOLE DETAILS

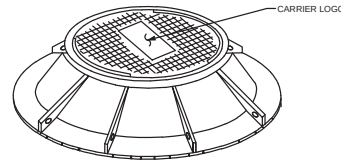
TYPICAL DETAIL "A"
TYPICAL NECK EXTENSION DETAIL



TYPICAL DETAIL "D"
DALWORTH QUICKSET MANHOLE
WALLS: 6in. HEADROOM: 48in.

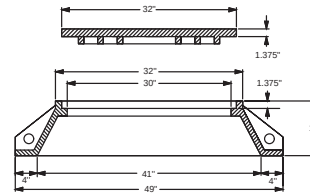


TYPICAL DETAIL "B"
MANHOLE COVER IRONWORKS #B-30

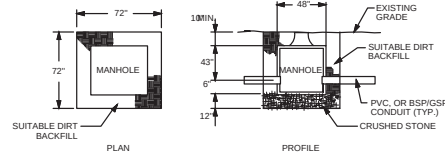


NOTES:
1. EACH COVER TO HAVE (4) PICK SLOTS FOR REMOVING.
2. STAMP CARRIER'S ID IN COVER.
3. ACCESS HOLE: 30"

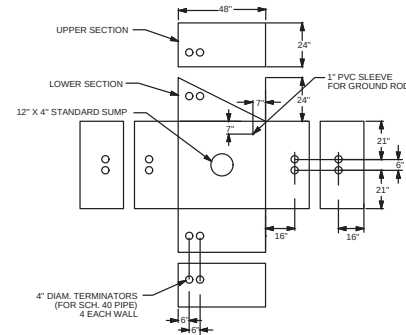
TYPICAL DETAIL "E"
RING AND COVER DETAIL
RING: 390lbs. COVER: 300lbs.



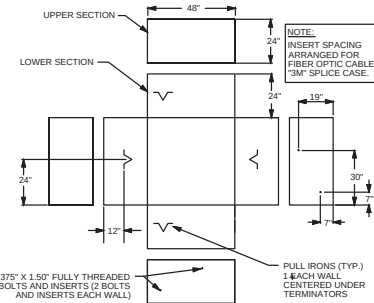
TYPICAL DETAIL "G"
TYPICAL MANHOLE EXCAVATION PIT



TYPICAL DETAIL "C"
TERMINATORS, SUMP, & GROUND ROD SLEEVE
2 SECTIONS



TYPICAL DETAIL "F"
BOLT INSERTS AND PULL IRONS
2 SECTIONS



NOTES:
1. VOID IN EXCAVATED AREAS TO BE BACKFILLED WITH SELECT MATERIAL.
2. BOTTOM OF EXCAVATED PIT TO BE BACKFILLED WITH 12" OF CRUSHED STONE (3/4" GRADE).
3. SHORING WILL BE REQUIRED.
4. ALL MANHOLES SHALL BE PLACED WITH COVER FLUSH WITH EXISTING GRADE.



72 HOURS NOTICE REQUIRED

REVISIONS			
DATE:	REV	DESCRIPTIONS:	BY:
11-18-2019	0	LLD	CYI
01-13-2019	1	ROUTE MODIFICATION	CYI
01-29-2019	2	ADDED 5G SITES	CYI

CONSTRUCTION FIRM		PREPARED BY :	
MANAGER:		ENGINEER: C.PENNINGTON	
PHONE:		PHONE:	

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OUTSIDE PLANT CONSTRUCTION

MCI
MCI metro
ACCESS TRANSMISSION
SERVICES,LLC

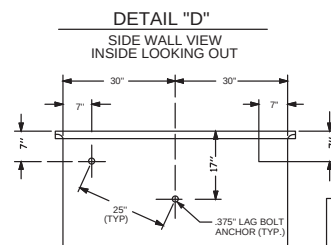
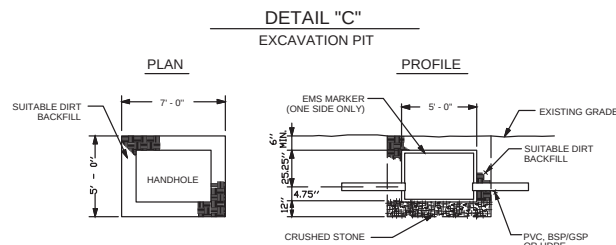
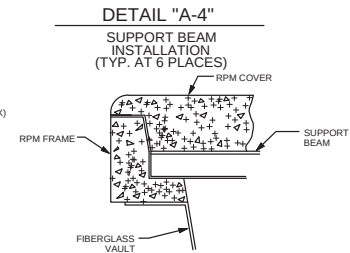
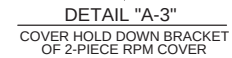
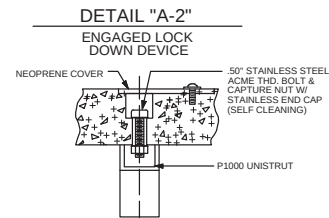
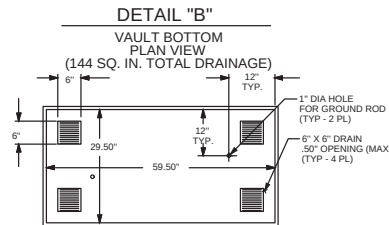
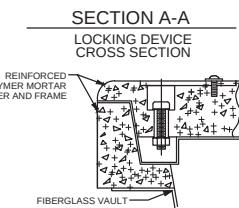
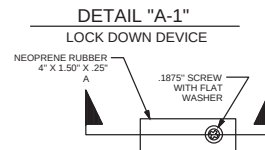
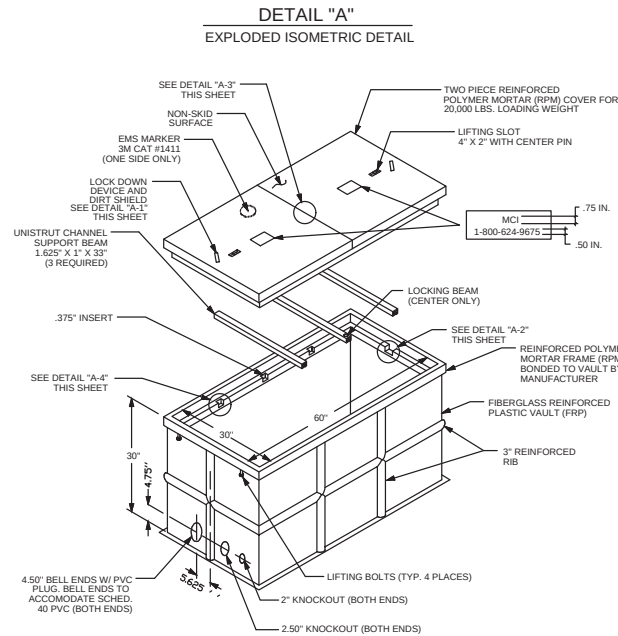
CONSTRUCTION DETAIL DRAWINGS

SMC_5G_FARRAGUT

CITY: FARRAGUT	STATE: TENNESSEE	COUNTY: KNOX
DRAFTER:	SCALE: NTS	SHEET: 79 OF 86
		REVISION: 1

CONSTRUCTION DETAILS/TYPICALS

2.5' x 5' x 2.5' HANDHOLE DETAILS



- NOTES:**
1. VOID IN EXCAVATED AREAS TO BE BACKFILLED WITH SELECT MATERIAL.
 2. BOTTOM OF EXCAVATED PIT TO BE BACKFILLED WITH 12" OF CRUSHED STONE (.75" GRADE).
 3. SHORING WILL BE REQUIRED.
 4. ALL HANDHOLES SHALL BE PLACED AT EXISTING GRADE.

NOTE:
LINEAR DISTANCE BETWEEN LAG BOLT ANCHORS MUST BE 25".



72 HOURS NOTICE REQUIRED

REVISIONS			
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11-18-2019	0	LLD	CYI
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01-29-2019	2	ADDED 5G SITES	CYI

CONSTRUCTION FIRM		PREPARED BY :	
MANAGER:		ENGINEER: C.PENNINGTON	
PHONE:		PHONE:	

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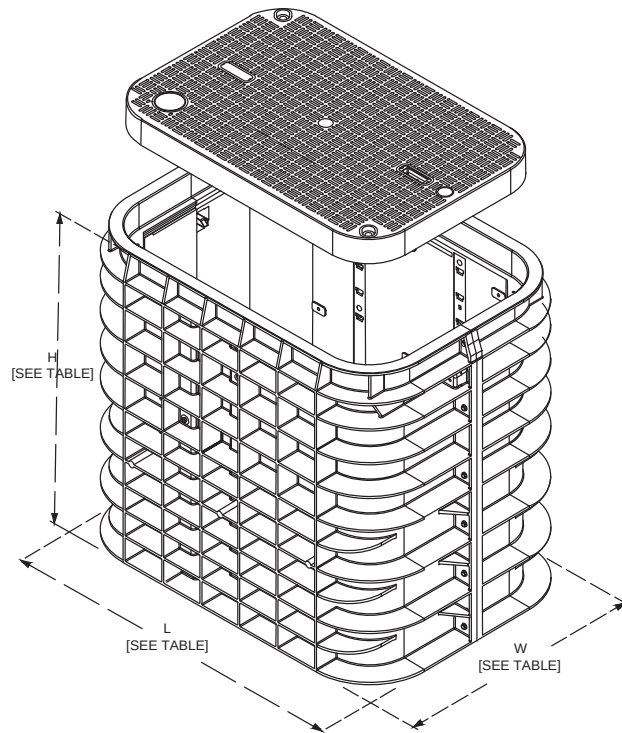
CONSTRUCTION DETAIL DRAWINGS

SMC_5G_FARRAGUT

CITY: FARRAGUT	STATE: TENNESSEE	COUNTY: KNOX
DRAFTER:	SCALE: NTS	SHEET: 80 OF 86
		REVISION: 1

CONSTRUCTION DETAILS/TYPICALS

TYPICAL VAULT DETAIL



VAULT MODEL	L (LENGTH)	W (WIDTH)	H (HEIGHT)
BULK324V073	30 IN.	17 IN.	24 IN.
BULK424V073	36 IN.	24 IN.	24 IN.
BULK436V073	36 IN.	24 IN.	36 IN.
BULK736V073	48 IN.	30 IN.	36 IN.
BULK942V073	76 IN.	36 IN.	42 IN.

*NOTE: SEE SITE PLAN FOR LOCATION AND TYPE



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01-29-2019	2	ADDED 5G SITES	CYI

CONSTRUCTION FIRM
MANAGER:
PHONE:

PREPARED BY :
CYIENT
ENGINEER: C.PENNINGTON
PHONE:

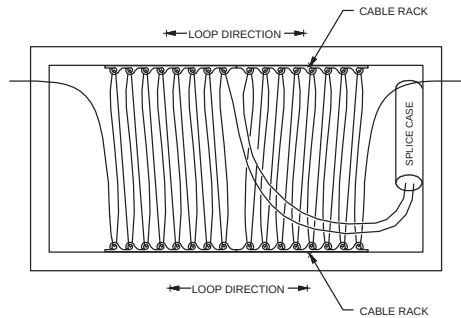


CONSTRUCTION DETAIL DRAWINGS			
SMC_5G_FARRAGUT			
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DRAFTER:	SCALE: NTS	SHEET: 81 OF 86	REVISION: 1

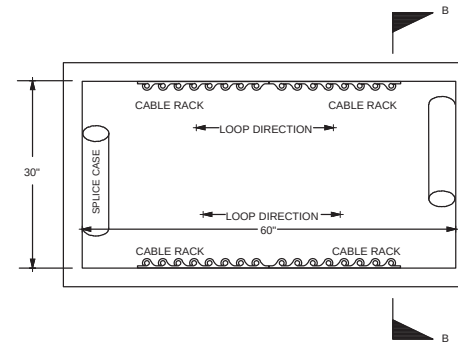
CONSTRUCTION DETAILS/TYPICALS

HANDHOLE SLACK STORAGE DETAILS

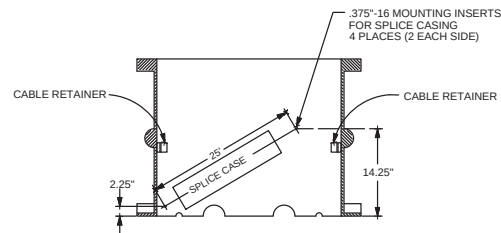
DETAIL "A"
CABLE SLACK ARRANGEMENT



DETAIL "B"
HANDHOLE LAYOUT



SECTION B-B



REVISIONS			
DATE:	REV	DESCRIPTIONS:	BY:
11-18-2019	0	LLD	CYI
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01-29-2019	2	ADDED 5G SITES	CYI

CONSTRUCTION FIRM	
MANAGER:	ENGINEER: C.PENNINGTON
PHONE:	PHONE:

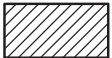
PREPARED BY :	
CYIENT	
MANAGER:	ENGINEER: C.PENNINGTON
PHONE:	PHONE:



CONSTRUCTION DETAIL DRAWINGS			
SMC_5G_FARRAGUT			
CITY: FARRAGUT	STATE: TENNESSEE	COUNTY: KNOX	
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Table 6h-2. Meaning of Symbols on Typical Application Diagrams

Symbols	Description
	Arrow board
	Arrow board support or trailer (shown facing down)
	Changeable message sign or trailer
	Channelizing device
	Crash cushion
	Direction of temporary traffic detour
	Direction of traffic
	Flagger
	High-level warning device (free tree)
	Longitudinal channelizing device
	Luminaire
	Pavement marking that should be removed for a long-term project

Symbols	Description
	Shadow vehical
	Sign (shown facing left)
	Surveyor
	Temporary barrier
	Temporary barrier with warning light
	Temporary barrier with warning light
	Truck-mounted attenuator
	Type barricade
	Warning light
	Work space
	Work vehicle

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	01-29-2019	2	ADDED 5G SITES	CYI				PHONE:	PHONE:		
								DRAFTER:	SCALE: NTS	SHEET: 83 OF 86	REVISION: 1

Figure 6H-11. Lane Closure on a Two-Lane Road with Low Traffic Volumes (TA-11)

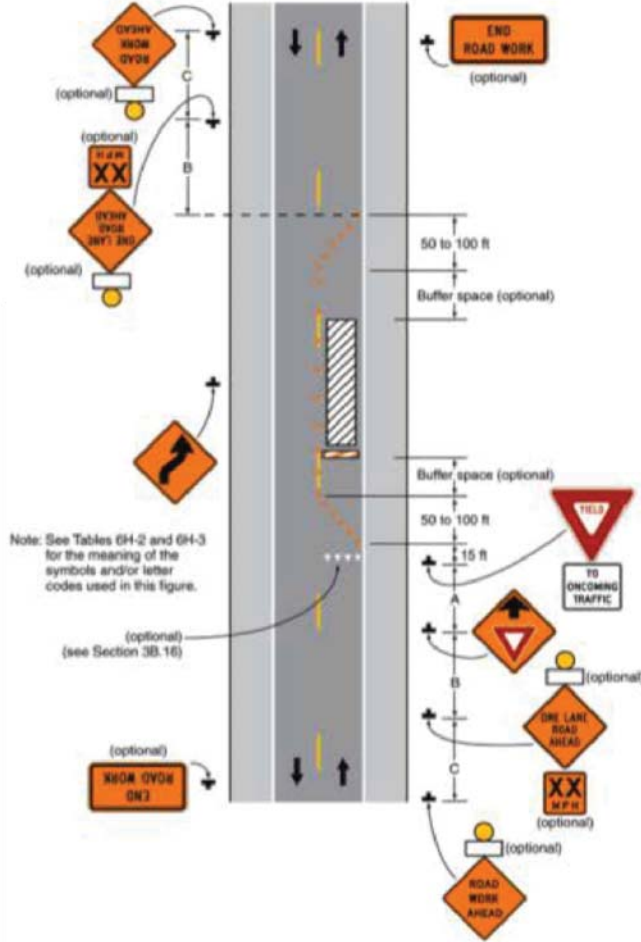
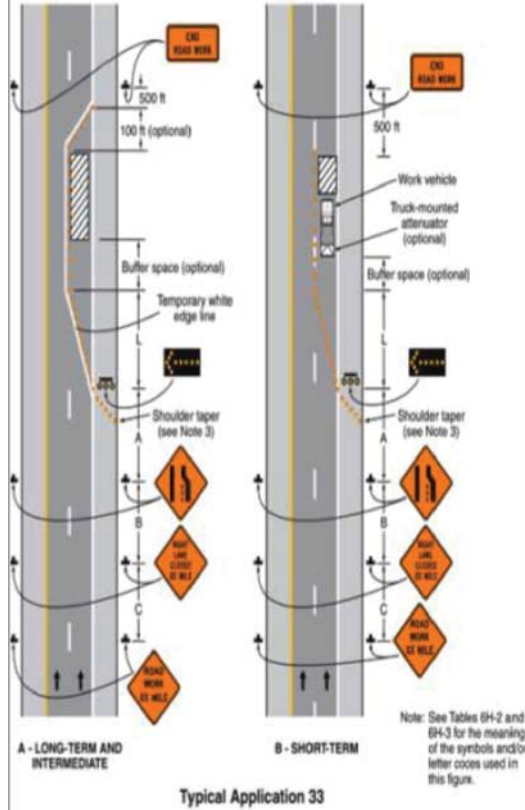
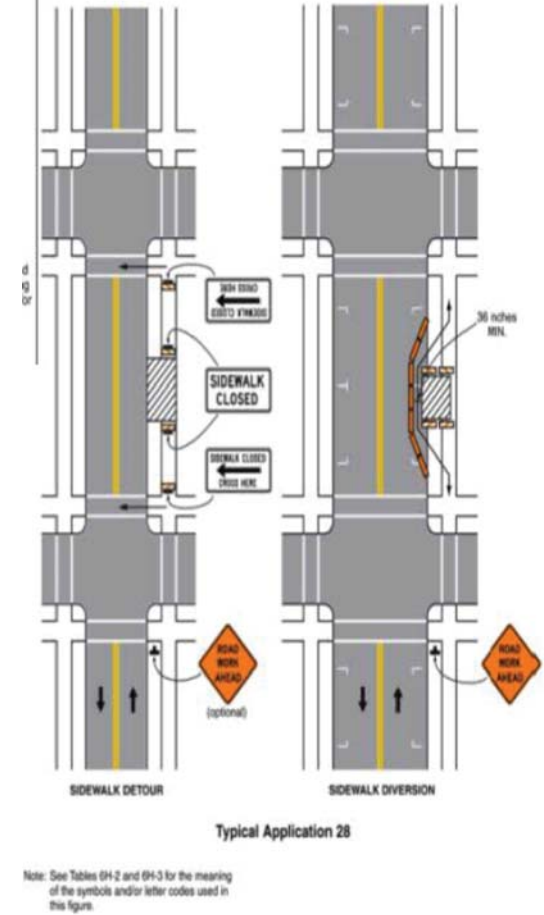


Figure 6H-33. Stationary Lane Closure on a Divided Highway (TA-33)



Typical Application 11
Figure 6H-28. Sidewalk Detour or Diversion (TA-28)



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CONSTRUCTION FIRM	
CYIENT	
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PHONE:	PHONE:

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CYIENT	
MANAGER:	ENGINEER: C.PENNINGTON
PHONE:	PHONE:



CONSTRUCTION DETAIL DRAWINGS			
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DRAFTER:	SCALE: NTS	SHEET: 84 OF 86	REVISION: 1

Figure 6H-6. Shoulder Work with Minor Encroachment (TA-6)

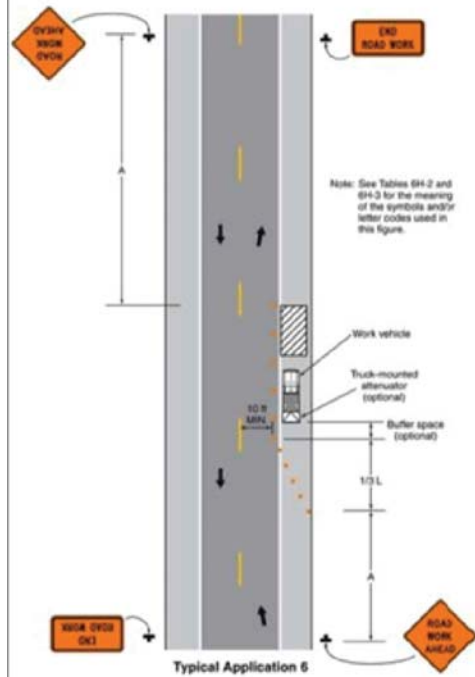


Figure 6H-1. Work Beyond the Shoulder (TA-1)

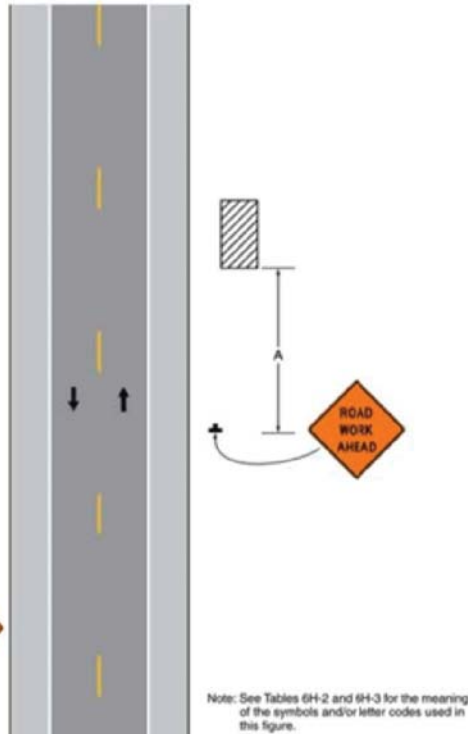


Figure 6H-10. Lane Closure on a Two-Lane Road Using Flaggers (TA-10)

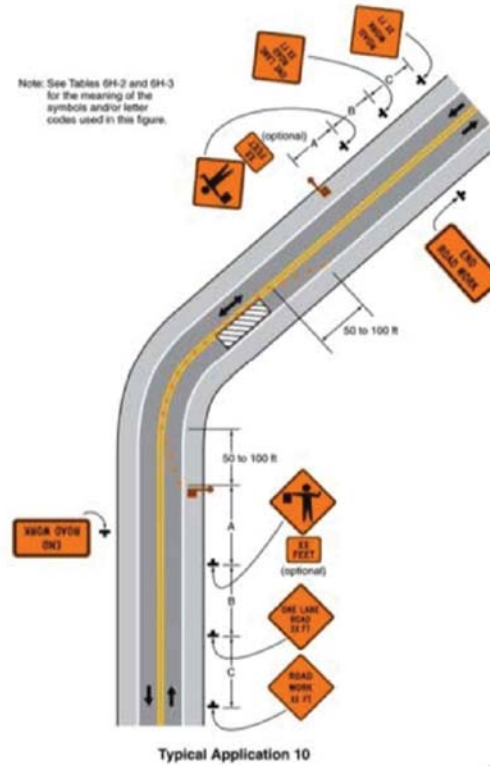
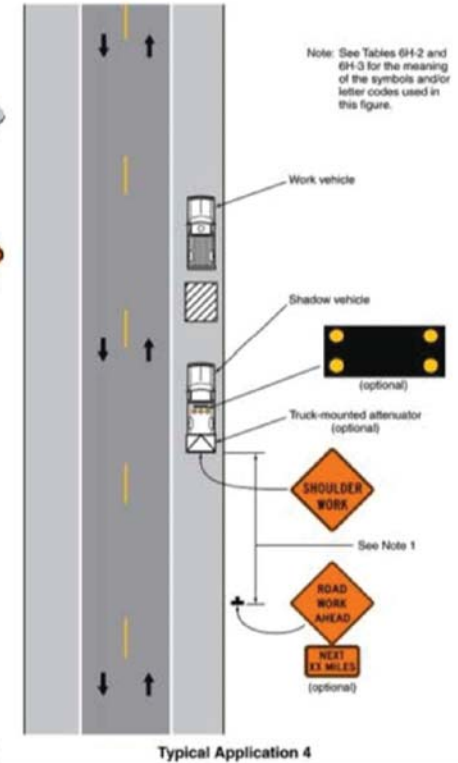


Figure 6H-4. Short-Duration or Mobile Operation on a Shoulder (TA-4)



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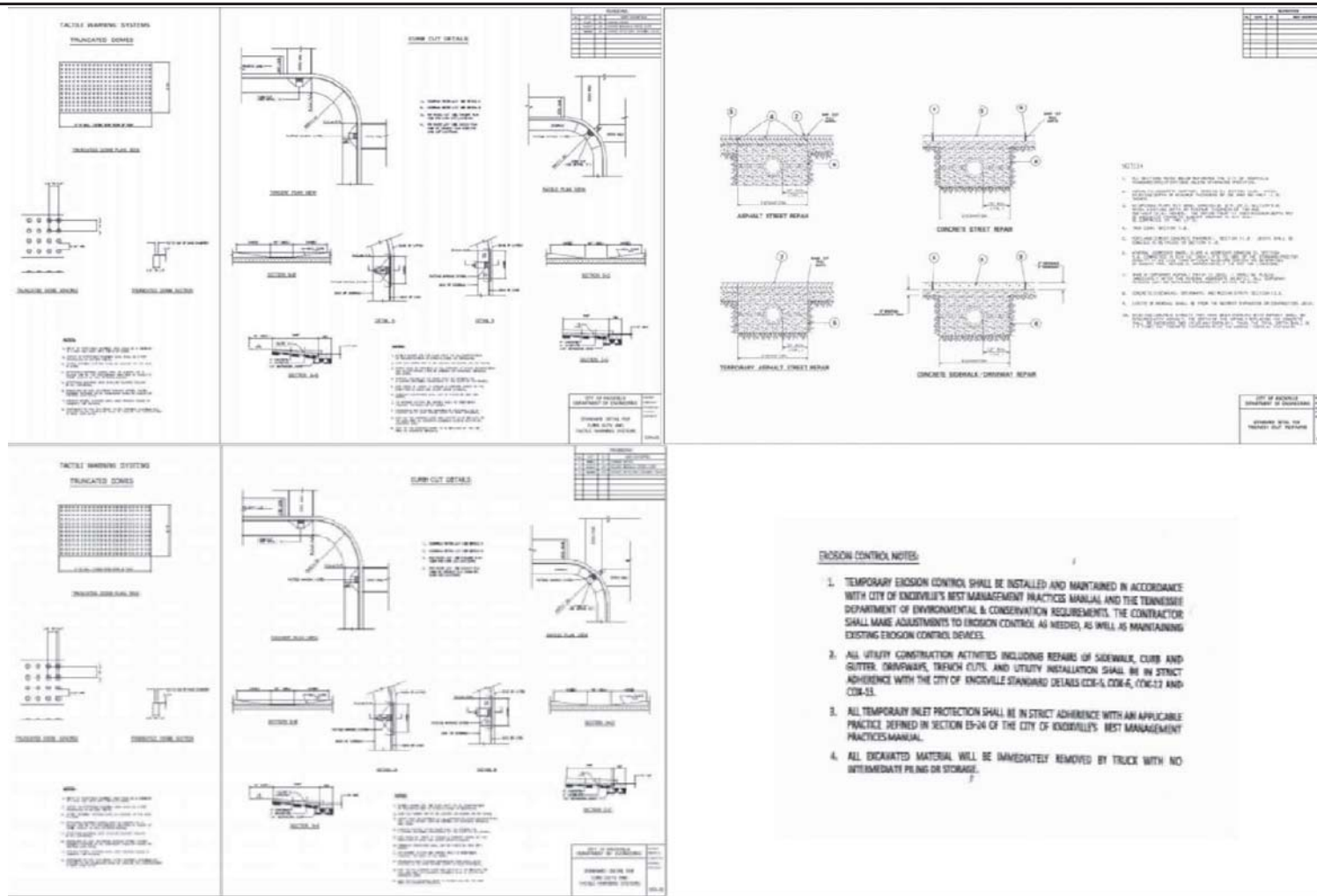
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		CYIENT	
MANAGER:		ENGINEER: C.PENNINGTON	
PHONE:		PHONE:	



CONSTRUCTION DETAIL DRAWINGS

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		REVISION: 1



 Know what's below. Call 811 before you dig. 72 HOURS NOTICE REQUIRED	REVISIONS				CONSTRUCTION FIRM		PREPARED BY :		 OUTSIDE PLANT CONSTRUCTION	 MCI metro ACCESS TRANSMISSION SERVICES, LLC	CONSTRUCTION DETAIL DRAWINGS			
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	11-18-2019	0	LLD	CYI		CITY: FARRAGUT								
	01-13-2019	1	ROUTE MODIFICATION	CYI		STATE: TENNESSEE								
	01-29-2019	2	ADDED 5G SITES	CYI		COUNTY: KNOX								
						DRAFTER:								
					MANAGER:	ENGINEER: C.PENNINGTON			SCALE: NTS					
					PHONE:	PHONE:			SHEET: 86 OF 86					
									REVISION:1					



MCImetro

ACCESS TRANSMISSION SERVICES,LLC



CYIENT

OUTSIDE PLANT CONSTRUCTION

NA EAST TENNESSEE MTSO_FH
1710AISU.138, 1710AISU.145-20200210

PERMITS:
TO BE LABELED AT A LATER DATE

FQID'S	NFID
FIB:TAIL::500090963-481'	1710AISU.145
FIB:TAIL::500090952-376'	1710AISU.138

FRONTHAUL
CONSTRUCTION DRAWINGS

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	02-13-2020	0	LLD	CYI					DRAFTER:	SCALE: NTS	SHEET: 01 OF 25	REVISION:1
	04-03-2020	1	REDLINES	CYI								
									MANAGER:	ENGINEER:C.PENNINGTON		
				PHONE: 662-620-6634	PHONE: 662-620-6634							

SHEET INDEX

<i>DESCRIPTION</i>	<i>SHEET NUMBER</i>
COVER SHEET	01
SHEET INDEX	02
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TCP TYPICALS	12-25

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	DATE:	REV	DESCRIPTIONS:	BY:		1710AISU.138, 1710AISU.145-20200210								
	02-13-2020	0	LLD	CYI		CITY: KNOXVILLE STATE: TENNESSEE COUNTY: KNOX								
	04-03-2020	1	REDLINES	CYI		DRAFTER: SCALE: NTS SHEET: 02 OF 25 REVISION: 1								
						MANAGER: ENGINEER: C. PENNINGTON								
				PHONE: 662-620-6634 PHONE: 662-620-6634										

SYMBOL KEY

MCI PROPOSED CONSTRUCTION

	DIRECTIONAL BORE
	OPEN TRENCH
	PROPOSED STRAND
	UNDERGROUND FIBER OPTIC CABLE
	AERIAL FIBER OPTIC CABLE
	17"x30"x24" VAULT
	24"x36"x24" VAULT
	30"x60"x30" VAULT
	36"x60"x36" VAULT
	BORE PIT
	PROPOSED MANHOLE
	ANCHOR AND GUY
	OVERHEAD GUY
	PUSH BRACE
	SIDEWALK ANCHOR AND GUY
	RISER
	PROPOSED SPLICER
	RCL FUTURE SPLICER
	FI EQUIPMENT AERIAL
	AERIAL SLACK LOOP
	VES2K SITE
	RCL RING CUT LATERAL
	REEL END SPLICER
	FI EQUIPMENT UG
	UG SLACK LOOP
	DEMAND POINT
	OVERLASH

OTHER UTILITIES

	GAS LINE
	GAS METER
	GAS VALVE
	TELECOM MANHOLE
	TELECOM CABINET
	UNKNOWN MANHOLE
	UNKNOWN VAULT
	TREE LINE
	TELECOM LINE
	CABLE TV LINE
	FIBER OPTIC CABLE LINE
	RAILROAD
	WATER LINE
	FIRE HYDRANT
	WATER VALVE
	WATER METER
	STORM WATER LINE
	STORM WATER UTILITY
	WASTE WATER LINE
	WASTE WATER MANHOLE
	OVERHEAD POWER LINE
	UNDERGROUND POWER LINE

MCI EXISTING CONSTRUCTION

	EXISTING MCI METRO CONDUIT
	EXISTING MCI METRO VAULT
	EXISTING 17"x30"x24" VAULT
	EXISTING 24"x36"x24" VAULT
	EXISTING 24"x36"x36" VAULT
	EXISTING 30"x48"x36" VAULT
	EXISTING 36"x76"x42" VAULT
	EXISTING STRAND
	EXISTING MANHOLE
	EXISTING SPLICER
	ROAD SIGN
	SEWAGE MH
	EXISTING UTILITY
	TELECOM LINE
	CABLE TV LINE
	FIBER OPTIC CABLE LINE
	RAILROAD
	WATER LINE
	FIRE HYDRANT
	WATER VALVE
	WATER METER
	STORM WATER LINE
	STORM WATER UTILITY
	WASTE WATER LINE
	WASTE WATER MANHOLE
	OVERHEAD POWER LINE
	UNDERGROUND POWER LINE
	POWER TRANSFORMER
	POWER MANHOLE
	POWER JUNCTION BOX
	POWER CABINET
	POWER VAULT
	WOODEN POLE
	STEEL POLE
	CONCRETE POLE
	STREET LIGHT
	TRAFFIC LIGHT
	ADA RAMP
	MAIL BOX

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	DATE:	REV	DESCRIPTIONS:	BY:	CYIENT	ENGINEER: C. PENNINGTON	1710AISU.138, 1710AISU.145-20200210						
	02-13-2020	0	LLD	CYI									
	04-03-2020	1	REDLINES	CYI									
					MANAGER:					CITY: KNOXVILLE	STATE: TENNESSEE	COUNTY: KNOX	
					PHONE: 662-620-6634		PHONE: 662-620-6634			DRAFTER:	SCALE: NTS	SHEET: 03 OF 25	REVISION: 1

CONTACT INFORMATION

MCI METRO INC.

OUTSIDE PLANT ENGINEERING:

PROJECT ENGINEER: I
STANLEY MAJKA (615)428-4943
PROJECT MANAGER:
JULIE FURUKAWA (925)393-3184

RIGHT-OF-WAY:

AGENT

MANAGER

CONTRACTS:

OTHERS:

DESIGN CONTRACTOR:

NAME OF FIRM
CYIENT INC
SENIOR PROJECT MANAGER
JOSH RIDINGS 662-620-6634
PROJECT MANAGER
TBD TBD

CONSTRUCTION CONTRACTOR:

NAME OF FIRM
MASTEC
PROJECT MANAGER
EILEEN WOODSTRA (984)212-1878
PROJECT SUPERVISOR
LEILA RAY WILLIAMS (629)201-1484

RAILROADS

KOHR: JARRETT MANKIN (800)818-0184
NORFOLK SOUTHERN: DYLAN ANGEL TBD
CSX: TBD TBD

UTILITIES

KUB: BEKIM HALITI (865)558-2376
LES BEAVER (865)558-2737
SARA AUER (865)558-2598
LCUB: HEATHER WATKINS (865)998-0758
FORT LOUDOUN ELECTRIC COOP: JARROD BRACKET 1-(877)353-2674
MICHAEL WEBB 1-(877)353-2674

CITY GOVERNMENT

CITY OF KNOXVILLE: TONY VANDERGRIFF (865)215-6100
CITY OF KNOXVILLE: GEORGE DAWS (865)215-6121
TOWN OF FARRAGUT: MARK SHIPLEY (865)966-7057
CITY OF MARYVILLE: KEITH BREWER (865)273-3515
BARON SWAFFORD (865)273-3305
DAVID PRICHARD (865)273-3507
CITY OF CLINTON: CURTIS PEREZ (865)259-1108
CITY OF ALCOA: STEVE REYNOLDS (865)380-4869

COUNTY GOVERNMENT

KNOX COUNTY: CHRIS SIVYER (865)388-3447
KNOX COUNTY: JIM SNOWDEN (865)215-5808
SEVIER COUNTY: DOUG SAWYER (865)429-4585
BLOUNT COUNTY: JEFF HEADRICK (865)982-4662
CHICO MESSER (865)982-4652
THOMAS LLOYD (865)681-9301
JEFF HATCHER (865)984-3421
ANDERSON COUNTY: GARY LONG (865)457-2735

STATE GOVERNMENT

TDOT UTILITIES: ROYCE FOUT: (PERMITS) (865)755-3698
TDEC: BRANDON YATES (615)687-7101
BILL MURPH (615)687-7124

FEDERAL GOVERNMENT

USACE (CORP OF ENGINEERS) (615)369-7500

OTHER



72 HOURS NOTICE REQUIRED

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02-13-2020	0	LLD	CYI
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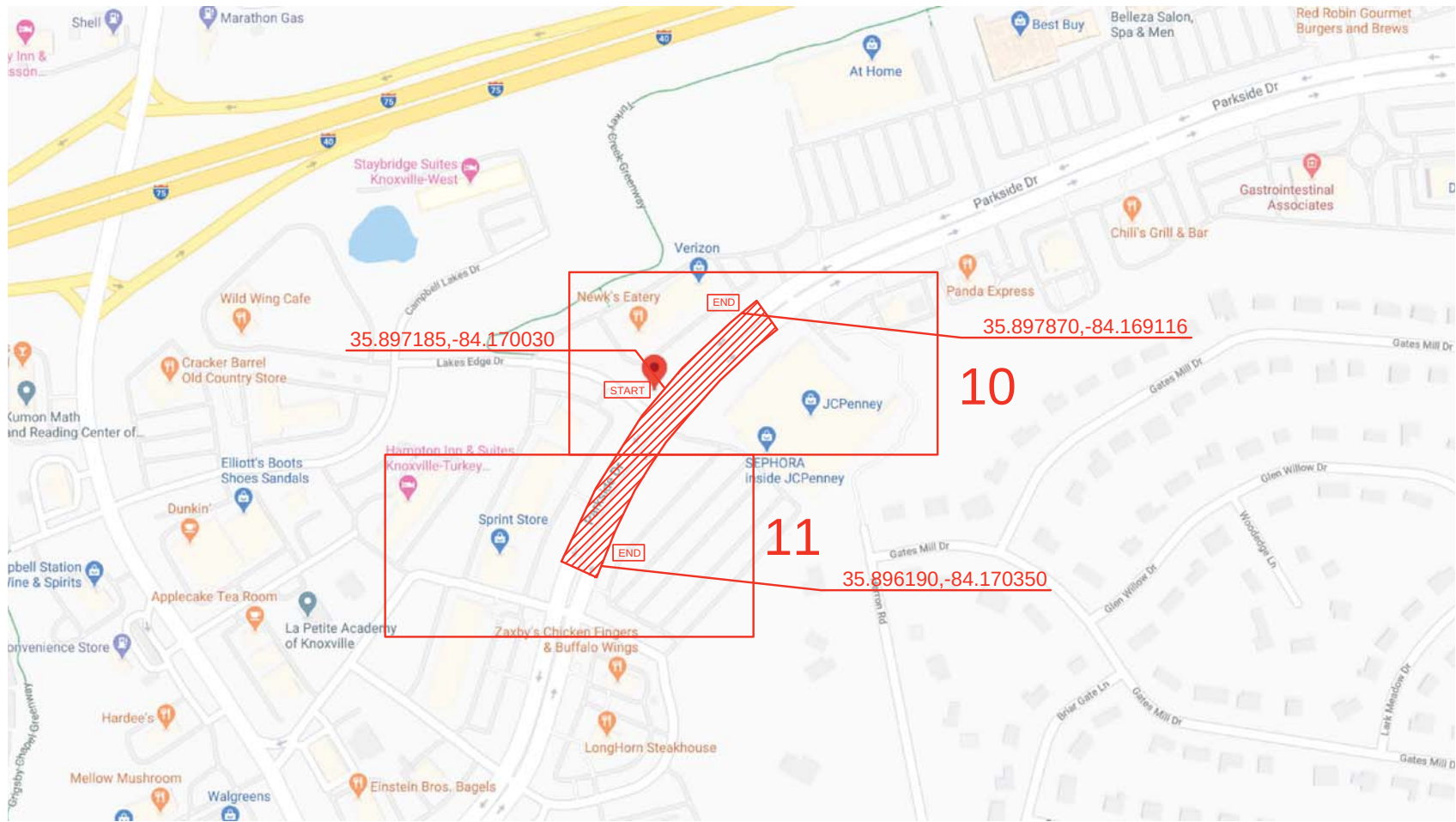
CONSTRUCTION FIRM	
MANAGER:	ENGINEER: C. PENNINGTON
PHONE: 662-620-6634	PHONE: 662-620-6634

PREPARED BY :

MasTec
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MCI
ACCESS TRANSMISSION
SERVICES, LLC

CONTACT INFORMATION SHEET			
1710AISU.138, 1710AISU.145-20200210			
CITY: KNOXVILLE	STATE: TENNESSEE	COUNTY: KNOX	
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PHONE: 662-620-6634

PREPARED BY :
CYIENT
ENGINEER: C. PENNINGTON
PHONE: 662-620-6634



KEY MAP			
1710AISU.138, 1710AISU.145-20200210			
CITY: KNOXVILLE	STATE: TENNESSEE	COUNTY: KNOX	
DRAFTER:	SCALE: NTS	SHEET: 05 OF 25	REVISION: 1

GENERAL NOTES AND REQUIREMENTS

GENERAL NOTES

1. MCI COMPRISES THE FOLLOWING OPERATING ENTITIES:
 - MCI COMMUNICATIONS SERVICES, INC.
 - MCI METRO ACCESS TRANSMISSION SERVICES, LLC
 - MCI METRO ACCESS TRANSMISSION SERVICES OF VIRGINIA, INC.
 - MCI METRO ACCESS TRANSMISSION SERVICES OF MASSACHUSETTS, INC.
 - METROPOLITAN FIBER SYSTEMS OF NEW YORK, INC.
2. ALL WORK TO BE PERFORMED IN STRICT ACCORDANCE WITH THE APPLICABLE CODES OR REQUIREMENTS OF ANY REGULATING GOVERNMENTAL AGENCY, MCI METRO, OR THE RIGHT-OF-WAY GRANTOR.
3. LOCATIONS OF SOME OF THE PHYSICAL FEATURES WERE OBTAINED FROM DATED RAILROAD VALUATION MAPS OR OTHER DRAWINGS, AND MAY BE AS SHOWN OR DEPICTED ON THESE DRAWINGS.
4. ALL KNOWN BURIED OBSTRUCTIONS ARE SHOWN ON SITE PLAN. ANY AND ALL OTHERS ENCOUNTERED ARE ALSO THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE, PROTECT, AND REPAIR, IF DAMAGED.
5. ANY AND ALL IMPROVEMENTS, SUCH AS ASPHALT OR CONCRETE PAVEMENT, CURBS, GUTTERS, WALKS, DRAINAGE DITCHES, EMBANKMENTS, SHRUBS, TREES, GRASS SOD, ETC., IF DAMAGED, SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITIONS.
6. EQUIPMENT TYPES SPECIFIED HEREIN (IE: "BACKHOE" "SWAMP PLOW", ETC.) ARE SUGGESTIONS ONLY AND ARE NOT INTENDED AS REQUIREMENTS. CONTRACTOR WILL BE NOTIFIED AS TO EXCEPTIONS.

OSP CONSTRUCTION GENERAL REQUIREMENTS

- ALL FEDERAL, STATE AND LOCAL SAFETY REGULATIONS MUST BE FOLLOWED WITHOUT EXCEPTION.
- PERSONAL PROTECTIVE EQUIPMENT APPROPRIATE FOR THE SPECIFIC WORK SITE SHALL BE USED AT ALL TIMES. AT A MINIMUM, HARD HAT, SAFETY SHOES/STEEL-TOED BOOTS, AND FLORESCENT ORANGE OR GREEN WORK VEST ARE REQUIRED UPON ENTERING ANY MCI WORK SITE.
- USE OF INTOXICANTS, DRUGS, INHALANTS OR ANY OTHER SUBSTANCES THAT MAY IMPAIR ALERTNESS ARE STRICTLY PROHIBITED.
- CONTRACTORS ARE NOT ALLOWED TO CUT ANY CABLE. CABLES SCHEDULED FOR REMOVAL WILL BE CUT BY MCI OPERATIONS PERSONNEL, AND ONLY AFTER VERIFICATION THAT ALL TRAFFIC HAS BEEN OFF-LOADED.
- EXTREME CAUTION MUST BE USED AT ALL TIMES WHEN WORKING ON OR NEAR ACTIVE CABLES. AN MCI EMPLOYEE OR CONTRACT REPRESENTATIVE MUST APPROVE AND BE PRESENT PRIOR TO AND DURING ALL CABLE HANDLING ACTIVITIES.
- TOOLS AND EQUIPMENT SPECIFICALLY DESIGNED FOR THE JOB AT HAND ARE REQUIRED. USE THE PROPER TOOL FOR THE JOB.
- CONDUIT WORK INVOLVING ACTIVE CABLES REQUIRES SPECIALIZED TOOLS SPECIFICALLY DESIGNED TO ACCESS DUCTS WITH ACTIVE CABLES.
- PROTECTING MCI FACILITIES IS EXTREMELY IMPORTANT; HOWEVER, SAFETY REGARDING YOURSELF AND OTHERS IS THE MOST IMPORTANT PART OF ANY PROJECT.



72 HOURS NOTICE REQUIRED

REVISIONS				CONSTRUCTION FIRM	PREPARED BY :
DATE:	REV	DESCRIPTIONS:	BY:		
02-13-2020	0	LLD	CYI		
04-03-2020	1	REDLINES	CYI		
				MANAGER:	ENGINEER:C.PENNINGTON
				PHONE: 662-620-6634	PHONE: 662-620-6634

MasTec
OUTSIDE PLANT CONSTRUCTION

MCI
MCI metro
ACCESS TRANSMISSION
SERVICES,LLC

GENERAL NOTES
1710AISU.138, 1710AISU.145-20200210

CITY: KNOXVILLE	STATE: TENNESSEE	COUNTY: KNOX
DRAFTER:	SCALE: NTS	SHEET: 06 OF 25
		REVISION: 1

GENERAL NOTES AND REQUIREMENTS

CONSTRUCTION NOTES

1. ALL CONDUIT WILL BE 4" ID SCHEDULE 40 (i.e. PVC OR BSP/GSP, MANUFACTURED SPLIT PVC OR SPLIT BSP/GSP), UNLESS SPECIFIED OTHERWISE.
2. CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES 48 HOURS PRIOR TO CONSTRUCTION ACTIVITY. SEE CONTACT SHEET FOR CONTACT NAME AND TELEPHONE NUMBER.
3. ALL UNDERGROUND OBSTRUCTIONS, WHEN LOCATED, WILL REQUIRE THE PLACEMENT OF A BURIED CABLE MARKER AND THE PLACEMENT OF 4" MANUFACTURED SPLIT PVC, BSP/GSP OVER OR UNDER EACH OBSTRUCTION.
4. SHORING MAY BE REQUIRED AND SHALL COMPLY WITH O.S.H.A. STANDARDS.
5. ALL BURIED CONDUIT/CABLE WILL BE PLACED AT 42" MINIMUM COVER UNLESS SPECIFIED OTHERWISE ON THE CONSTRUCTION DRAWINGS.
6. MECHANICAL PROTECTION SHALL BE REQUIRED ANYTIME A 36" MINIMUM COVER IS UNOBTAINABLE UNLESS SPECIFIED OTHERWISE ON THE CONSTRUCTION DRAWINGS.
7. ALL 90 DEGREE BENDS IN CONDUIT CONSTRUCTION WILL BE A MINIMUM 38.2" RADIUS UNLESS SPECIFIED OTHERWISE. ALL SPLIT CONDUIT BENDS AND SOLID PVC BENDS SHALL REQUIRE CONCRETE ENCASEMENT, UNLESS SPECIFIED OTHERWISE.
8. OPERATIONS PERSONNEL TO BE CONTACTED BY THE CONTRACTOR 48 HOURS PRIOR TO CONSTRUCTION. SEE CONTACT SHEET FOR CONTACT NAME AND TELEPHONE NUMBER.
9. ALL STATIONING IS BASED ON AS-BUILT INFORMATION, THEREFORE SOME VARIANCE SHOULD BE ANTICIPATED. ADJUST AS NEEDED.
10. RAILROAD COMMUNICATION AND SIGNAL CABLES TO BE LOCATED PRIOR TO THE CONSTRUCTION ACTIVITY. RAILROAD TO BE GIVEN 48 HOURS NOTICE PRIOR TO CONSTRUCTION.
11. ALL BURIED CABLE MARKER POSTS AND HARDWARE PLACED AND/OR REMOVED ON ALL NEW AND EXISTING ROUTES SHALL BE IMPLEMENTED AS FOLLOWS.
 - ON THOSE ROUTES THAT ARE CONSIDERED TO BE IN A NORTH TO SOUTH GEOGRAPHICAL ORIENTATION, THE SOUTHERN-MOST SIGN AND POST SHOULD BE REMOVED. FOR NEW ROUTES BEING CONSTRUCTED, ONE SIGN POST WILL BE PLACED AT THE NORTH END OF EACH HANDHOLE.
 - ON THOSE ROUTES THAT ARE CONSIDERED TO BE IN AN EAST TO WEST GEOGRAPHICAL ORIENTATION, THE WESTERN-MOST SIGN AND POST SHOULD BE REMOVED. FOR NEW ROUTES BEING CONSTRUCTED, ONE SIGN POST WILL BE PLACED AT THE EAST END OF THE EACH HANDHOLE.

FIBER OPTIC CABLE UNCOVERING SYSTEM

1. THE TITLE OF THIS PROGRAM, F.O.C.U.S., AN ACRONYM FOR "FIBER OPTIC CABLE UNCOVERING SYSTEM," WAS SELECTED TO REMIND EVERYONE INVOLVED WITH WORKING NEAR MCI'S ACTIVE FIBER OPTIC SYSTEMS TO FOCUS ON PROTECTING THE FACILITIES. IF, DURING THE COURSE OF THE PROJECT, YOU NOTICE ANY ACTIVITY WHICH MAY JEOPARDIZE THE MCI OSP FACILITIES, IT IS YOUR DUTY TO STOP THE WORK AND RE-F.O.C.U.S.
2. F.O.C.U.S. RULES MUST BE FOLLOWED ON ALL MCI PROJECTS INVOLVING WORK ON OR NEAR MCI OSP FACILITIES. SAFETY IS MCI'S NUMBER ONE PRIORITY; EVERYONE MUST REFRAIN FROM UNSAFE AND IMPROPER PRACTICES.
3. REVIEW OF F.O.C.U.S. IS MANDATORY AT EVERY PRE-BID, PRE-CONSTRUCTION SITE MEETING AND DAILY TAILGATE MEETING. F.O.C.U.S. DISCUSSION MUST INCLUDE SITE-SPECIFIC HISTORY, UNIQUE PROBLEMS, FACILITY CONFIGURATIONS THAT MAY BE ENCOUNTERED, AND PAST ERRORS. "THOSE WHO DO NOT LEARN FROM HISTORY ARE DOOMED TO REPEAT IT." DO NOT LET THIS HAPPEN TO YOU.
4. ANY WORK NEAR OR REQUIRING HANDLING OF MCI OUTSIDE PLANT FACILITIES CAN ONLY BE PERFORMED WITH AN MCI EMPLOYEE OR CONTRACT REPRESENTATIVE PRESENT -- THIS MEANS OUT OF HIS OR HER VEHICLE AND DIRECTLY MONITORING THE SYSTEM. THE REPRESENTATIVE MUST HAVE A PROPERLY OPERATING CABLE LOCATOR CHECKED FOR ACCURACY EVERY DAY PRIOR TO COMMENCEMENT OF WORK (COMPARISON OF LINE AND DEPTH READINGS TO ACTUAL LINE AND DEPTH OF THE CABLE).
5. LOCATE AND POT HOLE REQUIREMENTS:
 - PRIOR TO ANY EXCAVATION, THE MCI EMPLOYEE OR CONTRACT REPRESENTATIVE MUST VERIFY THE INITIAL LOCATE MARKS COMPLETED BY MCI OPERATIONS. DO NOT TRUST LOCATE RESULTS COMPLETED BY OTHERS! THE MCI OR CONTRACT REPRESENTATIVE MUST LOCATE THE CABLE RUNNING LINE BY MAKING AT LEAST ONE PASS IN EACH DIRECTION. LOCATE RESULTS MUST THEN BE COMPARED WITH PREVIOUS MARKS AND THE AS-BUILTS.
 - IF THE PROPOSED WORK INVOLVES DIGGING OR EXCAVATING WITHIN 3 FEET OF THE CABLE, THE CABLE ROUTE WILL BE MARKED CONTINUALLY WITH ORANGE PAINT AND SUPPLEMENTED BY MARKER FLAGS PLACED EVERY 10 FT. THE EXCAVATION CONTRACTOR MUST POT HOLE (ALL POT HOLES MUST BE COMPLETED BY HAND DIGGING OR VACUUM EXCAVATION) A MINIMUM OF EVERY 15 FT., THEN EXPOSE THE ENTIRE LENGTH OF THE CABLE BY HAND DIGGING OR VACUUM EXCAVATION.
 - IF THE PROPOSED WORK INVOLVES DIGGING OR EXCAVATING WITHIN 5 FEET (BUT NOT CLOSER THAN 3 FEET) OF THE CABLE, THE CABLE ROUTE WILL BE MARKED CONTINUALLY WITH ORANGE PAINT AND SUPPLEMENTED BY MARKER FLAGS PLACED EVERY 10 FT. THE EXCAVATION CONTRACTOR MUST POT HOLE THE CABLE A MINIMUM OF EVERY 15 FT.
 - IF THE PROPOSED WORK INVOLVES DIGGING OR EXCAVATING WITHIN 15 FEET (BUT NOT CLOSER THAN 5 FEET) OF THE CABLE, THE CABLE ROUTE WILL BE MARKED CONTINUALLY WITH ORANGE PAINT AND SUPPLEMENTED BY MARKER FLAGS PLACED EVERY 10 FT. THE EXCAVATION CONTRACTOR MUST POT HOLE THE CABLE A MINIMUM OF EVERY 30 FT.
 - THE CABLE WILL ALSO BE POT HOLED AT ANY CHANGE IN THE RUNNING LINE OF MORE THAN 1 FT. IN ANY DIRECTION, ANYTIME THE ACCURACY OF THE ELECTRONIC LOCATE IS QUESTIONED, OR THE MARKED RUNNING LINE DOES NOT MATCH THE AS-BUILTS.
6. EXPOSING REQUIREMENTS:
 - NO MECHANICAL EXCAVATION WITHIN 3 FT. OF OSP FACILITIES WILL BE ALLOWED UNLESS THE FACILITIES HAVE FIRST BEEN PROPERLY LOCATED, POT HOLED, POSITIVELY IDENTIFIED, CONTINUOUSLY EXPOSED BY HAND DIGGING OR VACUUM EXCAVATION, AND THE FACILITIES ARE CLEARLY VISIBLE.
 - IN ADDITION, MECHANICAL EXCAVATION WITHIN 3 FT. OF OSP FACILITIES REQUIRES ON-SITE PRIOR APPROVAL FROM MCI'S EMPLOYEE OR CONTRACT REPRESENTATIVE.
7. PLEASE REFER TO THE LATEST EDITION OF THE MCI OSP HANDBOOK FOR ADDITIONAL DETAILS. KNOW IT AND FOLLOW IT.



72 HOURS NOTICE REQUIRED

REVISIONS				CONSTRUCTION FIRM		PREPARED BY :	
DATE:	REV	DESCRIPTIONS:	BY:			CYIENT	
02-13-2020	0	LLD	CYI				
04-03-2020	1	REDLINES	CYI				
				MANAGER:		ENGINEER:C.PENNINGTON	
				PHONE: 662-620-6634		PHONE: 662-620-6634	



GENERAL NOTES 1710AISU.138, 1710AISU.145-20200210

CITY: KNOXVILLE		STATE: TENNESSEE		COUNTY: KNOX	
DRAFTER:		SCALE: NTS	SHEET: 07 OF 25	REVISION: 1	

CLARIFICATION NOTES

CLARIFICATION NOTES

BID UNIT	DESCRIPTION	UOM
BDE-100	Simple OSP Design	EA
BDE-101	Simple OSP Design Adder (to BDE-100)	EA
BDE-200	Full OSP Design	EA
BDE-201	Full OSP Design Adder (to BDE-200)	EA
BDE-300	Direct Cost Application Fees	C+5%
BDE-400	Property Access Approval - MTU/Slip/Campus	EA
BDE-501	Property Design and Engineering - MTU 1 - 15 units	EA
BDE-502	Property Design and Engineering - MTU 16 - 50 units	EA
BDE-503	Property Design and Engineering - MTU 50+ units	EA
BDE-504	Property Design and Engineering - Strip Mall 1 - 5 units	EA
BDE-505	Property Design and Engineering - Strip Mall 6+ units	EA
BDE-506	Property Design and Engineering - Campus 1 - 5 units	EA
BDE-507	Property Design and Engineering - Campus 6 - 20 units	EA
BDE-508	Property Design and Engineering - Campus 21 + units	EA
BDC-050-S.1	Mobilization Fee - Private Property	EA
BDC-050-S.2	Mobilization Fee - Public ROW	EA
BDC-051	Trip Charge	EA
BDC-101	Construction - New Underground (Direct Buried) w/Tracer (>12" cover)	FT
BDC-102	Construction - New Underground 18mm Micro Duct HDPE (12" to 24" cover)	FT
BDC-103	Construction - New Underground 1x1.25" HDPE (12" to 24" cover)	FT
BDC-104-S.1	Construction - New Underground 1x2" HDPE (12" to 24" cover) - Private Property	FT
BDC-104-S.2	Construction - New Underground 1x2" HDPE (depth complies w/governing jurisdiction) - Public ROW	FT
BDC-105-S.1	Construction - New Underground HDPE (size 18mm up to 2") (Bore) - Private Property	FT
BDC-105-S.2	Construction - New Underground HDPE (size 18mm up to 2") (Bore) - Public ROW	FT
BDC-106-S.1	Construction - New Underground (MicroTrench) - Private Property	FT
BDC-106-S.2	Construction - New Underground (MicroTrench) - Public ROW	FT
BDC-107	Construction - Remove and Reinstall Asphalt (4" increments)	SF
BDC-108	Construction - Remove and Reinstall Concrete (4" increments)	SF
BDC-109	Construction - New Underground Rock Adder through Rock in 6" increments (Mechanical) (Adder BDC-101-104)	FT
BDC-110	Construction - New Underground Rock Adder (Bore) (Adder BDC-105)	FT
BDC-111	Construction - Place Handhole - Small (size 17 inches x 30 inches)	EA
BDC-112	Construction - Place Handhole - Medium (size 24 inches x 36 inches)	EA
BDC-113	Construction - Place Handhole - Large (size 36 inches x 60 inches)	EA
BDC-114	Construction - Place Manhole - (size 4 feet x 4 feet)	EA
BDC-200-S.1	Construction - Intercept Existing Conduit/Innerduct - Private Property	EA
BDC-200-S.2	Construction - Intercept Existing Conduit/Innerduct - Public ROW	EA
BDC-300	Construction - Cable placement	FT
BDC-301	Construction - Cable removal	FT
BDC-400-S.1	Installation of aerial fiber (No strand required) - Private Property	FT
BDC-400-S.2	Installation of aerial fiber (New strand required) - Public ROW	FT
BDC-501	Remove molding	FT
BDC-502	Place new molding	FT
BDC-503	Install in-building innerduct	FT
BDC-504.1	Place Electrical Conduit EMT 1"	FT
BDC-504.2	Place Electrical Conduit EMT 2"	FT
BDC-504.3	Place Electrical Conduit EMT 3"	FT
BDC-504.4	Place Electrical Conduit EMT 4"	FT
BDC-505	Place Cable Raceway	EA

CLARIFICATION NOTES

BID UNIT	DESCRIPTION	UNIT
BDC-506	Ground Penetrating Radar (GPR) Survey	EA
BDC-507	Core Bore <= 2.5 inch Diameter Hole - depth of 12 inches	EA
BDC-508	Core Bore <= 2.5 inch Diameter Hole - depth of 12-24 inches	EA
BDC-509	Core Bore <= 2.5 inch Diameter Hole - depth of 24-36 inches	EA
BDC-510	Core Bore 2.5 to 4 inch Diameter Hole - depth of 12 inches	EA
BDC-511	Core Bore 2.5 to 4 inch Diameter Hole - depth of 12-24 inches	EA
BDC-512	Core Bore 2.5 to 4 inch Diameter Hole - depth of 24-36 inches	EA
BDC-513	Core Bore 4 to 5 inch Diameter Hole - depth of 12 inches	EA
BDC-514	Core Bore 4 to 5 inch Diameter Hole - depth of 12-24 inches	EA
BDC-515	Core Bore 4 to 5 inch Diameter Hole - depth of 24-36 inches	EA
BDC-600	Direct Cost - 3rd Party or Make Ready	C+5%
BDC-701	Cable Prep/Splicing/Testing (Loose Tube)	Fiber
BDC-702	Cable Prep/Splicing/Testing (Ribbon)	Fiber
BDC-800	FIBinal Placement	EA
BDC-900	Sub-duct Installation	FT
BDES-01	General Operative & Bucket Truck - Assistance to VzB Operations Personnel	HR
BDES-02	General Operative - Assistance to VzB Operation Personnel	HR
BDES-03	Miscellaneous Engineering For Third-Party Work Functions - Hourly	HR
BDES-04	Journeyman "A" Regular Hour	HR
BDES-05	Journeyman "A" Overtime Hour	HR
BDES-06	Journeyman "B" Regular Hour	HR
BDES-07	Journeyman "B" Overtime Hour	HR
BDES-08	Laborer/Helper/Splicer Helper Regular Hour	HR
BDES-09	Laborer/Helper/Splicer Helper Overtime Hour	HR
BDES-10	Foreman Regular Hour	HR
BDES-11	Foreman Overtime Hour	HR



72 HOURS NOTICE REQUIRED

REVISIONS				CONSTRUCTION FIRM	PREPARED BY :
DATE:	REV	DESCRIPTIONS:	BY:		
02-13-2020	0	LLD	CYI		
04-03-2020	1	REDLINES	CYI		
				MANAGER:	ENGINEER:C.PENNINGTON
				PHONE: 662-620-6634	PHONE: 662-620-6634



CLARIFICATION NOTES 1710AISU.138, 1710AISU.145-20200210

CITY: KNOXVILLE	STATE: TENNESSEE	COUNTY: KNOX
DRAFTER:	SCALE: NTS	SHEET: 08 OF 25
		REVISION: 1

Bid Unit Information			
Bid Unit	Description	UOM	LENGTH/QUANTITY
BDE-501	Property Design and Engineering - MTU 1 - 15 units	EA	NA
BDE-502	Property Design and Engineering - MTU 16 - 50 units	EA	NA
BDE-503	Property Design and Engineering - MTU 50+ units	EA	NA
BDE-504	Property Design and Engineering - Strip Mall 1 - 5 units	EA	NA
BDE-505	Property Design and Engineering - Strip Mall 6+ units	EA	NA
BDE-506	Property Design and Engineering - Campus 1 - 5 units	EA	NA
BDE-507	Property Design and Engineering - Campus 6 - 20 units	EA	NA
BDE-508	Property Design and Engineering - Campus 21+ units	EA	NA
BDC-050	Mobilization Fee - Private Property	EA	NA
BDC-050	Mobilization Fee - Public RDW	EA	NA
BDC-051	Trip Charge	EA	NA
BDC-101	Construction - New Underground (Direct Buried) w/Tracer (>12" cover)	FT	NA
BDC-102	Construction - New Underground 18mm Micro Duct HDPE (12" to 24" cover)	FT	NA
BDC-103	Construction - New Underground 1x1.25" HDPE (12" to 24" cover)	FT	NA
BDC-104	Construction - New Underground 1x2" HDPE (12" to 24" cover) - Private Property	FT	NA
BDC-104	Construction - New Underground 1x2" HDPE (depth complies w/governing jurisdiction) - Pub	FT	NA
BDC-105	Construction - New Underground HDPE (size 18mm up to 2") (Bore) - Private Property	FT	NA
BDC-105	Construction - New Underground HDPE (size 18mm up to 2") (Bore) - Public RDW	FT	113'
BDC-106	Construction - New Underground (Micro Trench) - Private Property	FT	NA
BDC-106	Construction - New Underground (Micro Trench) - Public RDW	FT	NA
BDC-107	Construction - Remove and Reinstate Asphalt (4" increments)	SF	NA
BDC-108	Construction - Remove and Reinstate Concrete (4" increments)	SF	NA
BDC-109	Construction - New Underground Rock Adder through Rock in 6" Increments (Mechanical) (	FT	NA
BDC-110	Construction - New Underground Rock Adder (Bore) (Adder BDC-105)	FT	NA
BDC-111	Construction - Place Handhole - Small (size 17 inches x 30 inches)	EA	2
BDC-112	Construction - Place Handhole - Medium (size 24 inches x 36 inches)	EA	NA
BDC-113	Construction - Place Handhole - Large (size 36 inches x 60 inches)	EA	NA
BDC-114	Construction - Place Manhole - (size 4 feet x 4 feet)	EA	NA
BDC-200	Construction - Intercept Existing Conduit/Innerduct - Private Property	EA	NA
BDC-200	Construction - Intercept Existing Conduit/Innerduct - Public RDW	EA	744'
BDC-300	Construction - Cable Placement	FT	NA
BDC-301	Construction - Cable Removal	FT	NA
BDC-400	Installation of aerial fiber (No strand required) - Private Property	FT	NA
BDC-400	Installation of aerial fiber (New strand required) - Public RDW	FT	NA
BDC-501	Remove molding	FT	NA
BDC-502	Place new molding	FT	NA
BDC-503	Install In-Building Innerduct	FT	NA
BDC-504	Place Electrical Conduit EMT 1"	FT	NA
BDC-504	Place Electrical Conduit EMT 2"	FT	NA
BDC-504	Place Electrical Conduit EMT 3"	FT	NA
BDC-504	Place Electrical Conduit EMT 4"	FT	NA
BDC-505	Place Cable Raceway	EA	NA
BDC-506	Ground Penetrating Radar (GPR) Survey	EA	NA
BDC-507	Core Bore <= 2.5 inch Diameter Hole - depth of 12 inches	EA	NA
BDC-508	Core Bore <= 2.5 inch Diameter Hole - depth of 12-24 inches	EA	NA
BDC-509	Core Bore <= 2.5 inch Diameter Hole - depth of 24-36 inches	EA	NA
BDC-510	Core Bore 2.5 to 4 inch Diameter Hole - depth of 12 inches	EA	NA
BDC-511	Core Bore 2.5 to 4 inch Diameter Hole - depth of 12-24 inches	EA	NA
BDC-512	Core Bore 2.5 to 4 inch Diameter Hole - depth of 24-36 inches	EA	NA
BDC-513	Core Bore 4 to 5 inch Diameter Hole - depth of 12 inches	EA	NA
BDC-514	Core Bore 4 to 5 inch Diameter Hole - depth of 12-24 inches	EA	NA
BDC-515	Core Bore 4 to 5 inch Diameter Hole - depth of 24-36 inches	EA	NA
BDC-600	Direct Cost - 3rd Party or Make Ready	c=5%	NA
BDC-701	Cable Prep/Splicing/Testing (Loose Tube)	Fiber	NA
BDC-702	Cable Prep/Splicing/Testing (Ribbon)	Fiber	NA
BDC-800	Terminal Placement	EA	1
BDC-900	Sub-Buct Installation	FT	NA
BDES-01	General Operative & Bucket Truck - Assistance to VtB Operations Personnel	HR	NA
BDES-02	General Operative - Assistance to VtB Operation Personnel	HR	NA
BDES-03	Miscellaneous Engineering for Third-Party Work Functions - Hourly	HR	NA
BDES-04	Journeyman "A" Regular Hour	HR	NA
BDES-05	Journeyman "A" Overtime Hour	HR	NA
BDES-06	Journeyman "B" Regular Hour	HR	NA

CLARIFICATIONS SUMMARY

CODES	PROPOSED ITEM	UNITS	LENGTH/QUANTITY
BDC-300	BFO 288CT	LF	NA
BDC-400-S.2	AEFO 288CT	NA	NA
BDC-800	12 PORT MPT w/1000' tail	EA	NA
BDC-800	12 PORT MPT w/500' tail	EA	1
BDC-200-S.2	EXISTING CONDUIT	LF	744'
BDC-105-S.2	BORE 2" HDPE	LF	113'
BDC-106-S.2	TRENCH	NA	NA
BDC-111	17"X30"X24"HH	EA	2
	TRACER WIRE	LF	113"
	GROUND RODS	EA	NA
	SPLICE CLOSURE	EA	NA
BDC-400-S.2	6.6M OHG	NA	NA
BDC-108	CONCRETE RESTORAL	NA	NA



72 HOURS NOTICE REQUIRED

REVISIONS			
DATE:	REV	DESCRIPTIONS:	BY:
02-13-2020	0	LLD	CYI
04-03-2020	1	REDLINES	CYI

CONSTRUCTION FIRM	
MANAGER:	
PHONE: 662-620-6634	

PREPARED BY :	
ENGINEER: C. PENNINGTON	
PHONE: 662-620-6634	



CLARIFICATION SUMMARY 1710AISU.138, 1710AISU.145-20200210

CITY: KNOXVILLE	STATE: TENNESSEE	COUNTY: KNOX
DRAFTER:	SCALE: NTS	SHEET: 09 OF 25
		REVISION: 1



EXISTING HANDHOLE
AND CABLE PLACED IN PROJECT
KNX_1801AWEJ_18_KVSWTN_TO_FARRAGUT
ACPT:HH::116080430
END PROPOSED 12 PORT MPT TAIL
PLACE 12 PORT MPT
FQPID FIB:MPT::500064071-BURIED (E)
GPS
35.897870,-84.169116

NOTE: CABLE DESIGN BY
FORESITE GROUP IN PROJECT
KNX_1801AWEJ_18_KVSWTN_TO_FARRAGUT

PULL PROPOSED 12 PORT MPT TAIL
THROUGH EXISTING CONDUIT.
EXT.HH-EXT.HH1=376'
FQPID FIB:TAIL::500090952-376'
OSP:UGSPAN::500186612-376'

SPLICE HERE
EXISTING HANDHOLE
ACPT:HH::116080473
AND CABLE PLACED IN PROJECT
KNX_1801AWEJ_18_KVSWTN_TO_FARRAGUT
START PROPOSED (2) 12 PORT MPT TAILS
LEAVE 75' LOOP ON EACH TAIL FOR
SPLICING
LOOP:SLACK::500082898
LOOP:SLACK::500082973
GPS
35.897185,-84.170030

PULL PROPOSED 12 PORT MPT TAIL
THROUGH EXISTING CONDUIT.
EXT.HH-NEW.HH1=368'
FQPID FIB:TAIL::500090952-368'
OSP:UGSPAN::500186612-368'

NOTE: CABLE DESIGN BY
FORESITE GROUP IN PROJECT
KNX_1801AWEJ_18_KVSWTN_TO_FARRAGUT

FIELD CONSTRUCTION NOTES:
ALL UTILITY WORK PERFORMED SHALL BE IN ACCORDANCE WITH "STATE RULES AND
REGULATIONS FOR ACCOMMODATING UTILITIES WITHIN HIGHWAY RIGHTS-OF-WAY"
UTILITY LOCATIONS SHOWN ON THIS PLAN ARE BASED ON DOCUMENT RESEARCH AND FIELD
EVALUATION. THE INFORMATION MAY NOT BE ACCURATE OR COMPLETE. IT IS THE CONTRACTOR'S
RESPONSIBILITY TO PHYSICALLY LOCATE AND VERIFY LOCATION AND DEPTH OF ALL UTILITIES
WITH OURS PRIOR TO THE START OF CONSTRUCTION.
ALL INSTALLATIONS MUST COMPLY WITH MINIMUM HORIZONTAL AND VERTICAL
CLEARANCES FROM UTILITIES.
PROPOSED HANDHOLES AND BORE PITS ARE SUBJECT TO CHANGE DUE TO EXISTING FIELD
CONDITIONS.

SEE SHEET 11 OF 25

  Know what's below. Call 811 before you dig. 72 HOURS NOTICE REQUIRED	REVISIONS			CONSTRUCTION FIRM	PREPARED BY :	 OUTSIDE PLANT CONSTRUCTION	 MCI metro ACCESS TRANSMISSION SERVICES,LLC	CONSTRUCTION DRAWING			
	DATE:	REV	DESCRIPTIONS:	BY:				1710AISU.138, 1710AISU.145-20200210			
	02-13-2020	0	LLD	CYI				CITY: KNOXVILLE	STATE: TENNESSEE	COUNTY: KNOX	
	04-03-2020	1	REDLINES	CYI				DRAFTER:	SCALE: 1"=50'	SHEET: 10 OF 25	REVISION:1
								MANAGER:	ENGINEER: C. PENNINGTON		
				PHONE: 662-620-6634	PHONE: 662-620-6634						

SEE SHEET 10 OF 25

11555 PARKSIDE DR

PULL PROPOSED 12 PORT MPT TAIL
THROUGH EXISTING CONDUIT.
EXT.HH-NEW.HH1=368'
FQND FIB: TAIL::500090952-368'
OSP:UGSPAN::500186612-368'

PLACE NEW TIER 22 HH1 17"X 30"X 24"
LEAVE 150' LOOP FOR MAINTENANCE
GPS
35.896332,-84.170673

BORE 113' 2" HDPE AND TRACER WIRE.
PULL PROPOSED 12 PORT MPT TAIL
THROUGH NEW CONDUIT.
NEW.HH1-NEW HH2=113'
FQND FIB: TAIL::500090963-113'
OSP:UGSPAN::500186690-113'

PLACE NEW TIER 22 HH1 17"X 30"X 24"
ACPT:HH::501309769
END PROPOSED 12 PORT MPT TAIL
PLACE 12 PORT MPT
FQND FIB: MPT::500064079-BURIED(E)
GPS
35.896190,-84.170350

11655 PARKSIDE DR

FROM HUB
EAST TN MT/50

FIELD CONSTRUCTION NOTES:
ALL UTILITY WORK PERFORMED SHALL BE IN ACCORDANCE WITH "STATE RULES AND REGULATIONS FOR ACCOMMODATING UTILITIES WITHIN HIGHWAY RIGHTS-OF-WAY".
UTILITY LOCATIONS SHOWN ON THIS PLAN ARE BASED ON DOCUMENT RESEARCH AND FIELD EVALUATION. THE INFORMATION MAY NOT BE ACCURATE OR COMPLETE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PHYSICALLY LOCATE AND VERIFY LOCATION AND DEPTH OF ALL UTILITIES WITH OUPS PRIOR TO THE START OF CONSTRUCTION.
ALL INSTALLATIONS MUST COMPLY WITH MINIMUM HORIZONTAL AND VERTICAL CLEARANCES FROM UTILITIES.
PROPOSED HANDHOLES AND BORE PITS ARE SUBJECT TO CHANGE DUE TO EXISTING FIELD CONDITIONS.



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CONSTRUCTION FIRM		PREPARED BY:	
MANAGER:		ENGINEER:C.PENNINGTON	
PHONE: 662-620-6634		PHONE: 662-620-6634	

MasTec
OUTSIDE PLANT CONSTRUCTION

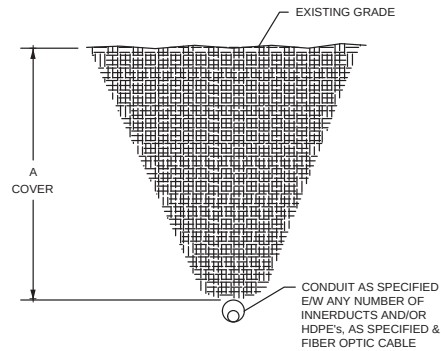
MCI
MCI metro
ACCESS TRANSMISSION
SERVICES,LLC

CONSTRUCTION DRAWING			
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DRAFTER:	SCALE: 1"=50'	SHEET: 11 OF 25	REVISION: 1

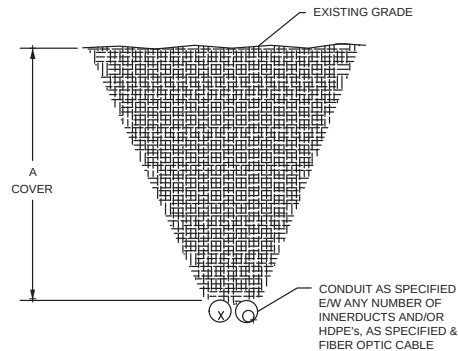
CONSTRUCTION DETAILS/TYPICALS

TYPICAL DIRECTIONAL BORE DETAIL

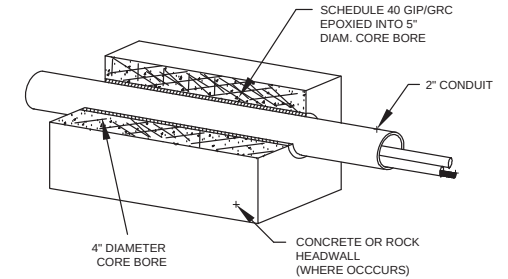
TYPICAL DETAIL A
DIRECTIONAL BORE CROSS SECTION
FOR CONDUIT



TYPICAL DETAIL B
DIRECTIONAL BORE CROSS SECTION
FOR JOINT CONDUIT



TYPICAL DETAIL C
4" CORE BORE



NOTE:
EPOXY GROUT IS USED AT BOTH ENDS OF CORE BORE
TO SEAL GAP BETWEEN 2" CONDUIT AND PVC SLEEVE.



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CONSTRUCTION FIRM	
MANAGER:	ENGINEER: C. PENNINGTON
PHONE: 662-620-6634	PHONE: 662-620-6634

PREPARED BY :	
CYIENT	



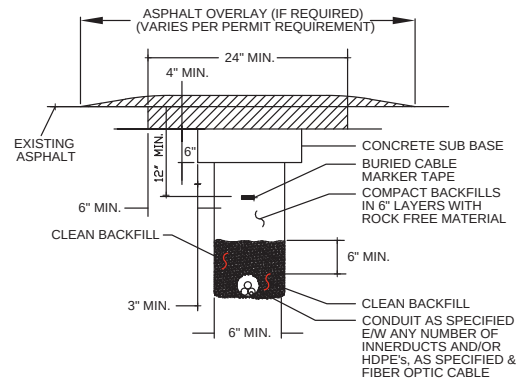
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CITY: KNOXVILLE	STATE: TENNESSEE	COUNTY: KNOX	
DRAFTER:	SCALE: NTS	SHEET: 12 OF 25	REVISION: 1

CONSTRUCTION DETAILS/TYPICALS

RESTORATION DETAILS

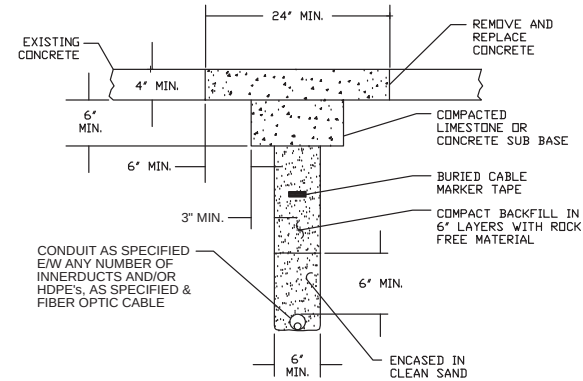
TYPICAL DETAIL A

REMOVE AND RESTORE ASPHALT
FOR CONDUIT



TYPICAL DETAIL B

REMOVE AND RESTORE CONCRETE
FOR CONDUIT



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PHONE: 662-620-6634		PHONE: 662-620-6634	

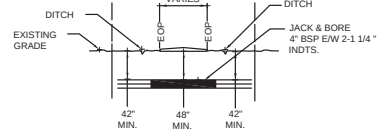


CONSTRUCTION DETAIL DRAWINGS
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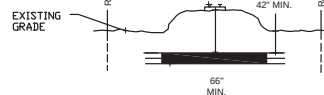
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DRAFTER:	SCALE: NTS	SHEET: 13 OF 25
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JACK AND BORE DETAIL

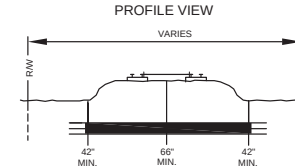
JACK & BORE ROADWAY



JACK & BORE MAIN TRACK



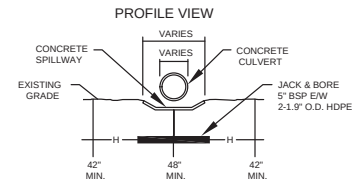
JACK AND BORE DUAL TRACKS



JACK & BORE AUXILLARY TRACK



JACK AND BORE CULVERT
AND/OR SPILLWAY

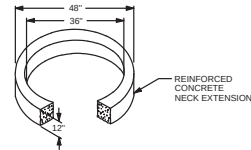


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				MANAGER:	ENGINEER: C.PENNINGTON						
				PHONE: 662-620-6634							

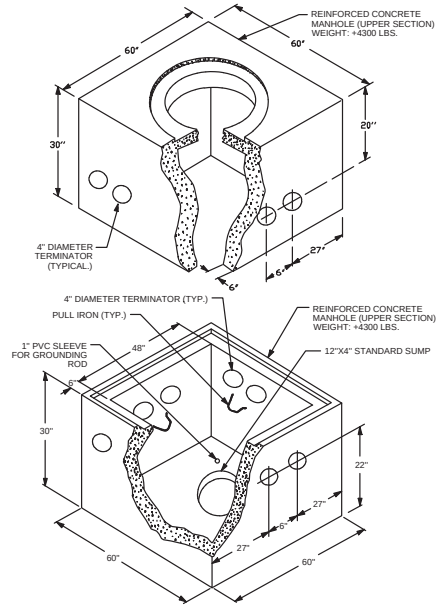
CONSTRUCTION DETAILS/TYPICALS

4'x4'x4' OR 4'x4'x2' MANHOLE DETAILS

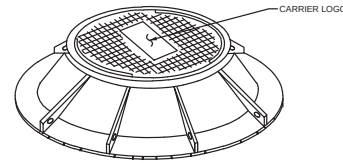
TYPICAL DETAIL "A"
TYPICAL NECK EXTENSION DETAIL



TYPICAL DETAIL "D"
DALWORTH QUICKSET MANHOLE
WALLS: 6in. HEADROOM: 48in.

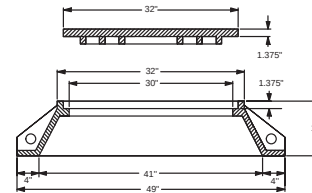


TYPICAL DETAIL "B"
MANHOLE COVER IRONWORKS #B-30

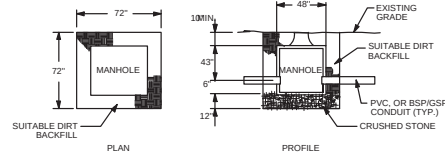


- NOTES:**
1. EACH COVER TO HAVE (4) PICK SLOTS FOR REMOVING.
 2. STAMP CARRIER'S ID IN COVER.
 3. ACCESS HOLE: 30"

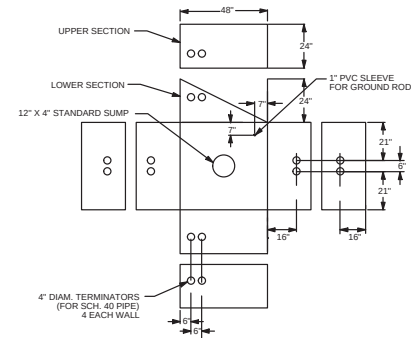
TYPICAL DETAIL "E"
RING AND COVER DETAIL
RING: 390lbs. COVER: 300lbs.



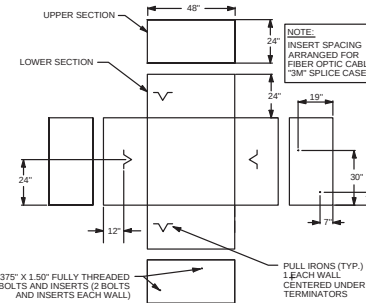
TYPICAL DETAIL "G"
TYPICAL MANHOLE EXCAVATION PIT



TYPICAL DETAIL "C"
TERMINATORS, SUMP, & GROUND ROD SLEEVE
2 SECTIONS



TYPICAL DETAIL "F"
BOLT INSERTS AND PULL IRONS
2 SECTIONS



- NOTES:**
1. VOID IN EXCAVATED AREAS TO BE BACKFILLED WITH SELECT MATERIAL.
 2. BOTTOM OF EXCAVATED PIT TO BE BACKFILLED WITH 12" OF CRUSHED STONE (3/4" GRADE).
 3. SHORING WILL BE REQUIRED.
 4. ALL MANHOLES SHALL BE PLACED WITH COVER FLUSH WITH EXISTING GRADE.



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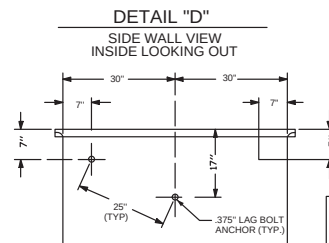
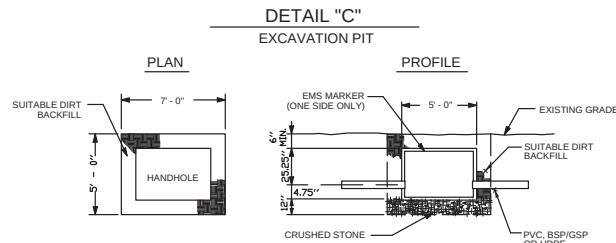
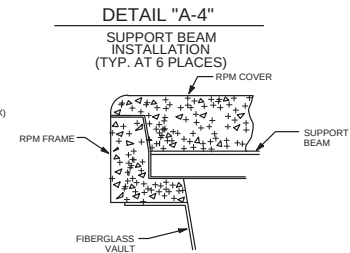
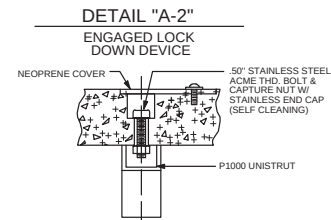
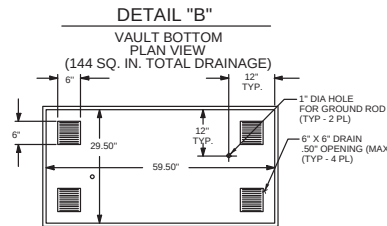
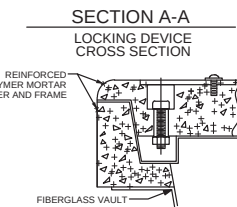
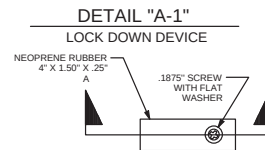
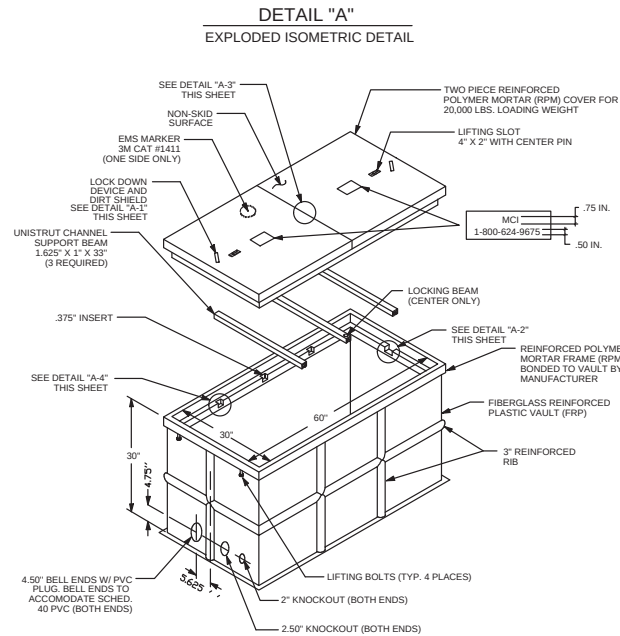
PREPARED BY:	
ENGINEER: C. PENNINGTON	
PHONE: 662-620-6634	



CONSTRUCTION DETAIL DRAWINGS			
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CONSTRUCTION DETAILS/TYPICALS

2.5' x 5' x 2.5' HANDHOLE DETAILS



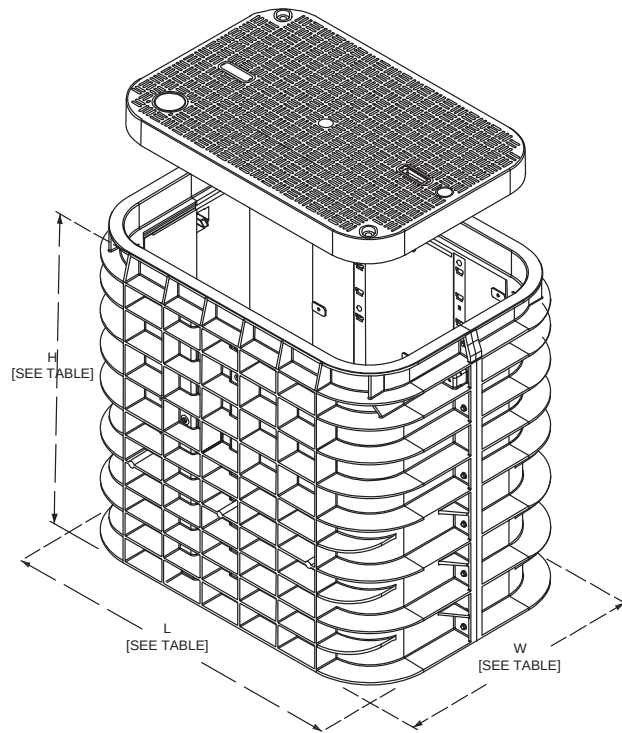
- NOTES**
1. VOID IN EXCAVATED AREAS TO BE BACKFILLED WITH SELECT MATERIAL.
 2. BOTTOM OF EXCAVATED PIT TO BE BACKFILLED WITH 12" OF CRUSHED STONE (.75" GRADE).
 3. SHORING WILL BE REQUIRED.
 4. ALL HANDHOLES SHALL BE PLACED AT EXISTING GRADE.

NOTE
LINEAR DISTANCE BETWEEN LAG BOLT ANCHORS MUST BE 25".

 Know what's below. Call 811 before you dig. 72 HOURS NOTICE REQUIRED	REVISIONS			CONSTRUCTION FIRM		PREPARED BY :		 MasTec OUTSIDE PLANT CONSTRUCTION	 MCI MCImetro ACCESS TRANSMISSION SERVICES,LLC	CONSTRUCTION DETAIL DRAWINGS										
										1710AISU.138, 1710AISU.145-20200210										
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CONSTRUCTION DETAILS/TYPICALS

TYPICAL VAULT DETAIL



VAULT MODEL	L (LENGTH)	W (WIDTH)	H (HEIGHT)
BULK324V073	30 IN.	17 IN.	24 IN.
BULK424V073	36 IN.	24 IN.	24 IN.
BULK436V073	36 IN.	24 IN.	36 IN.
BULK736V073	48 IN.	30 IN.	36 IN.
BULK942V073	76 IN.	36 IN.	42 IN.

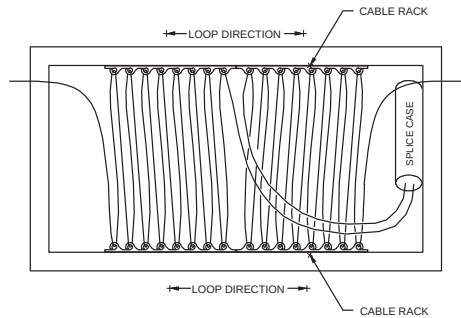
*NOTE: SEE SITE PLAN FOR LOCATION AND TYPE

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					PHONE: 662-620-6634		PHONE: 662-620-6634									

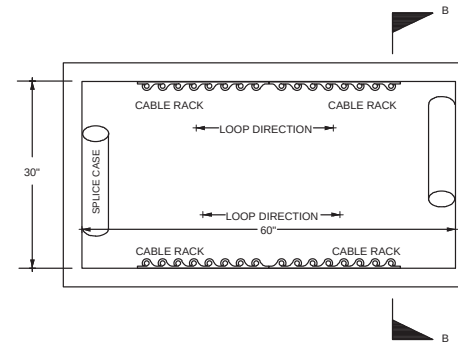
CONSTRUCTION DETAILS/TYPICALS

HANDHOLE SLACK STORAGE DETAILS

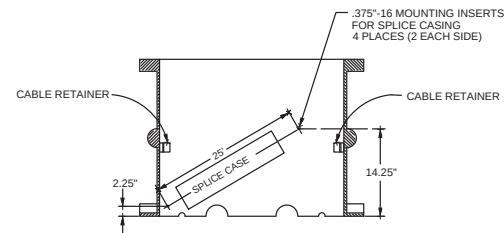
DETAIL "A"
CABLE SLACK ARRANGEMENT



DETAIL "B"
HANDHOLE LAYOUT



SECTION B-B



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PHONE: 662-620-6634	PHONE: 662-620-6634

PREPARED BY :	
CYIENT	

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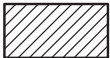
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MCImetro
ACCESS TRANSMISSION
SERVICES, LLC

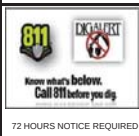
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Table 6h-2. Meaning of Symbols on Typical Application Diagrams

Symbols	Description
	Arrow board
	Arrow board support or trailer (shown facing down)
	Changeable message sign or trailer
	Channelizing device
	Crash cushion
	Direction of temporary traffic detour
	Direction of traffic
	Flagger
	High-level warning device (free tree)
	Longitudinal channelizing device
	Luminaire
	Pavement marking that should be removed for a long-FIB project

Symbols	Description
	Shadow vehical
	Sign (shown facing left)
	Surveyor
	Temporary barrier
	Temporary barrier with warning light
	Temporary barrier with warning light
	Truck-mounted attenuator
	Type barricade
	Warning light
	Work space
	Work vehicle



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MANAGER:
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ENGINEER: C. PENNINGTON
PHONE: 662-620-6634



CONSTRUCTION DETAIL DRAWINGS			
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DRAFTER:	SCALE: NTS	SHEET: 19 OF 25	REVISION: 1

Figure 6H-11. Lane Closure on a Two-Lane Road with Low Traffic Volumes (TA-11)

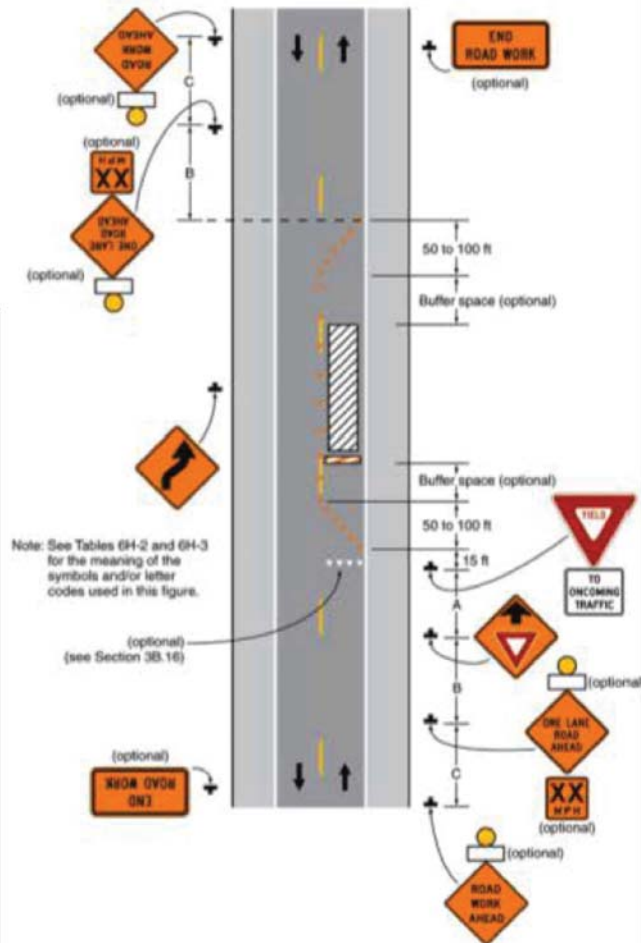
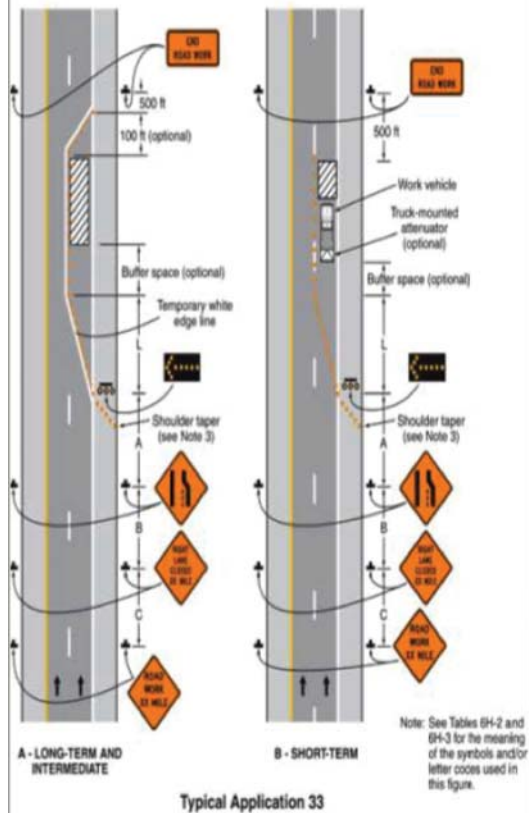
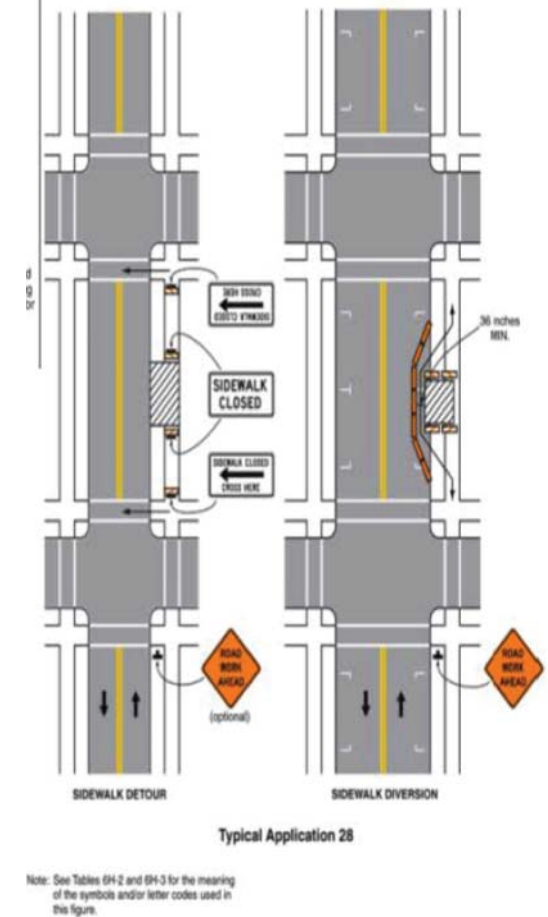


Figure 6H-33. Stationary Lane Closure on a Divided Highway (TA-33)



Typical Application 11
Figure 6H-28. Sidewalk Detour or Diversion (TA-28)



  Know what's below. Call 811 before you dig. 72 HOURS NOTICE REQUIRED	REVISIONS <table border="1"> <thead> <tr> <th>DATE:</th> <th>REV</th> <th>DESCRIPTIONS:</th> <th>BY:</th> </tr> </thead> <tbody> <tr> <td>02-13-2020</td> <td>0</td> <td>LLD</td> <td>CYI</td> </tr> <tr> <td>04-03-2020</td> <td>1</td> <td>REDLINES</td> <td>CYI</td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>			DATE:	REV	DESCRIPTIONS:	BY:	02-13-2020	0	LLD	CYI	04-03-2020	1	REDLINES	CYI									CONSTRUCTION FIRM 	PREPARED BY : 	  	CONSTRUCTION DETAIL DRAWINGS 1710AISU.138, 1710AISU.145-20200210	<table border="1"> <tr> <td>CITY: KNOXVILLE</td> <td>STATE: TENNESSEE</td> <td>COUNTY: KNOX</td> </tr> <tr> <td>DRAFTER:</td> <td>SCALE: NTS</td> <td>SHEET: 20 OF 25</td> </tr> <tr> <td> </td> <td> </td> <td>REVISION:1</td> </tr> </table>	CITY: KNOXVILLE	STATE: TENNESSEE	COUNTY: KNOX	DRAFTER:	SCALE: NTS	SHEET: 20 OF 25			REVISION:1
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DRAFTER:	SCALE: NTS	SHEET: 20 OF 25																																			
		REVISION:1																																			
			MANAGER:	ENGINEER: C.PENNINGTON																																	
			PHONE: 662-620-6634																																		

Figure 6H-6. Shoulder Work with Minor Encroachment (TA-6)

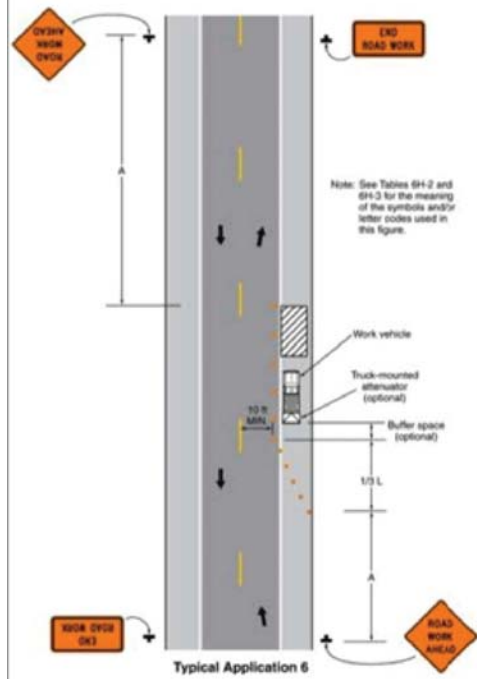


Figure 6H-1. Work Beyond the Shoulder (TA-1)

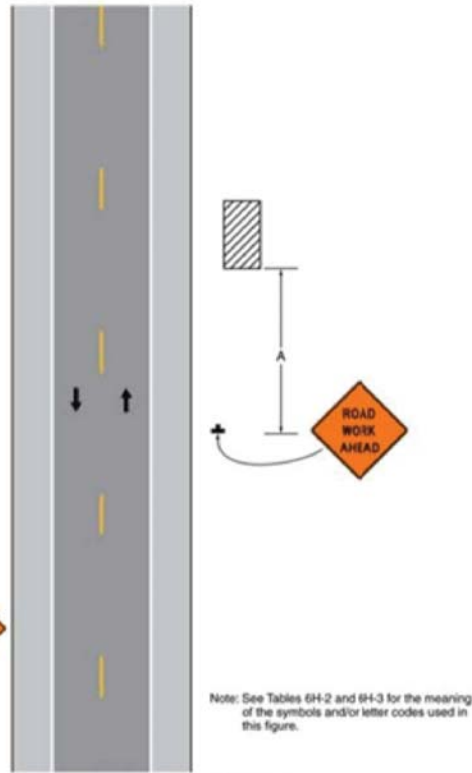


Figure 6H-10. Lane Closure on a Two-Lane Road Using Flaggers (TA-10)

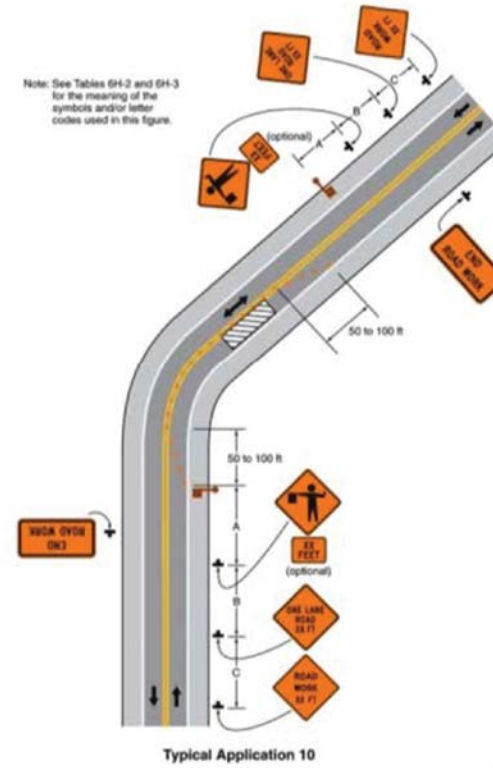
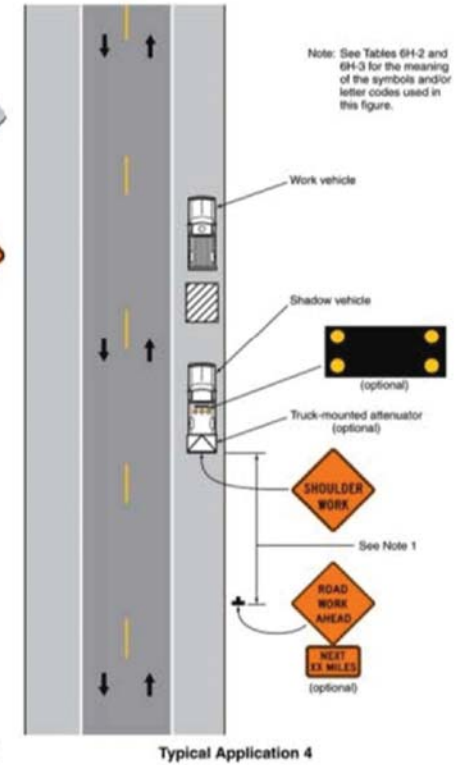


Figure 6H-4. Short-Duration or Mobile Operation on a Shoulder (TA-4)



811
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CYIENT		CYIENT	
MANAGER:		ENGINEER: C. PENNINGTON	
PHONE: 662-620-6634		PHONE: 662-620-6634	

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OUTSIDE PLANT CONSTRUCTION

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MCI metro
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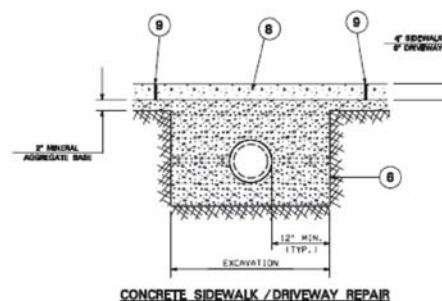
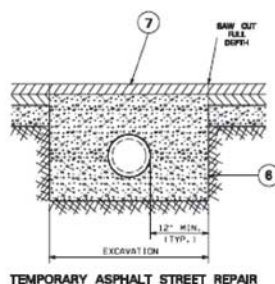
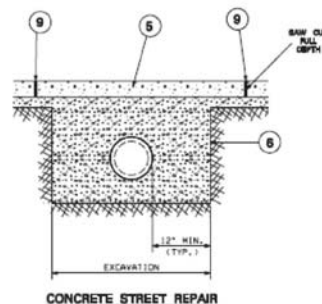
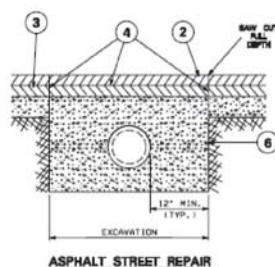
CONSTRUCTION DETAIL DRAWINGS			
1710AISU.138, 1710AISU.145-20200210			
CITY: KNOXVILLE	STATE: TENNESSEE	COUNTY: KNOX	
DRAFTER:	SCALE: NTS	SHEET: 21 OF 25	REVISION: 1

EROSION CONTROL NOTES:

1. TEMPORARY EROSION CONTROL SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH CITY OF KNOXVILLE'S BEST MANAGEMENT PRACTICES MANUAL AND THE TENNESSEE DEPARTMENT OF ENVIRONMENTAL & CONSERVATION REQUIREMENTS. THE CONTRACTOR SHALL MAKE ADJUSTMENTS TO EROSION CONTROL AS NEEDED, AS WELL AS MAINTAINING EXISTING EROSION CONTROL DEVICES.
2. ALL UTILITY CONSTRUCTION ACTIVITIES INCLUDING REPAIRS OF SIDEWALK, CURB AND GUTTER, DRIVEWAYS, TRENCH CUTS, AND UTILITY INSTALLATION SHALL BE IN STRICT ADHERENCE WITH THE CITY OF KNOXVILLE STANDARD DETAILS COK-5, COK-6, COK-12 AND COK-13.
3. ALL TEMPORARY INLET PROTECTION SHALL BE IN STRICT ADHERENCE WITH AN APPLICABLE PRACTICE DEFINED IN SECTION ES-24 OF THE CITY OF KNOXVILLE'S BEST MANAGEMENT PRACTICES MANUAL.
4. ALL EXCAVATED MATERIAL WILL BE IMMEDIATELY REMOVED BY TRUCK WITH NO INTERMEDIATE PILING OR STORAGE.

 811 Know what's below. Call 811 before you dig. 72 HOURS NOTICE REQUIRED	REVISIONS				CONSTRUCTION FIRM	PREPARED BY :	 MasTec OUTSIDE PLANT CONSTRUCTION	 MCI MCI metro ACCESS TRANSMISSION SERVICES,LLC	CONSTRUCTION DETAIL DRAWINGS 1710AISU.138, 1710AISU.145-20200210			
	DATE:	REV	DESCRIPTIONS:	BY:	 CYIENT	 ACCESS TRANSMISSION SERVICES,LLC			CITY: KNOXVILLE		STATE: TENNESSEE	COUNTY: KNOX
	02-13-2020	0	LLD	CYI					DRAFTER:	SCALE: NTS	SHEET: 22 OF 25	REVISION: 1
	04-03-2020	1	REDLINES	CYI								
				MANAGER:	ENGINEER: C. PENNINGTON							
				PHONE: 662-620-6634	PHONE: 662-620-6634							

REVISIONS			
NO.	DATE	BY	BRIEF DESCRIPTION



NOTES:

- ALL SECTIONS NOTED BELOW REFERENCE THE CITY OF KNOXVILLE STANDARD SPECIFICATIONS UNLESS OTHERWISE SPECIFIED.
- ASPHALTIC CONCRETE SURFACE, GRADING D, SECTION 10.0. MATCH EXISTING DEPTH OR MINIMUM THICKNESS OF ONE AND ONE-HALF (1.5) INCHES.
- BITUMINOUS PLANT MIX BASE, GRADING D, B-M, OR C, SECTION 9.0. MATCH EXISTING DEPTH OR MINIMUM THICKNESS OF TWO AND ONE-HALF (2.5) INCHES. THE ENTIRE FOUR (4) INCH MINIMUM DEPTH MAY BE ASPHALTIC CONCRETE SURFACE GRADING D, BUT SHALL BE COMPACTED IN TWO LIFTS.
- TACK COAT, SECTION 7.0.
- PORTLAND CEMENT CONCRETE PAVEMENT, SECTION 11.0. JOINTS SHALL BE COMELED AS DETAILED IN SECTION 11.0.
- MINERAL AGGREGATE BASE, CLASS A AGGREGATE GRADING D, SECTION 5.0. COMPACTED IN SIX (6) INCH LIFTS TO 100% OF THE STANDARD PROCTOR DENSITY AT 2% LESS THAN OPTIMUM MOISTURE CONTENT AS DETERMINED BY METHOD 194, METHOD D, APPROXIMATELY 140 PCF FOR LIMESTONE.
- WHEN A TEMPORARY ASPHALT PATCH IS USED, IT SHALL BE PLACED IMMEDIATELY AFTER THE MINERAL AGGREGATE BACKFILL. ALL TEMPORARY REPAIRS MUST BE REPLACED PERMANENTLY WITHIN 90 DAYS.
- CONCRETE SIDEWALKS, DRIVEWAYS, AND MEDIAN STRIPS, SECTION 13.0.
- LIMITS OF REMOVAL SHALL BE FROM THE NEAREST EXPANSION OR CONTRACTION JOINT.
- EXISTING CONCRETE STREETS THAT HAVE BEEN OVERLAID WITH ASPHALT SHALL BE REPAIRED WITH ASPHALT. THE DEPTH OF THE ASPHALT REPLACING THE CONCRETE SHALL BE INCREASED SIX (6) PLUS ANY OVERLAY. THUS, THE TOTAL DEPTH SHALL BE 1.5 TIMES THE CONCRETE THICKNESS PLUS THE ASPHALT OVERLAY THICKNESS.

CITY OF KNOXVILLE DEPARTMENT OF ENGINEERING	
STANDARD DETAIL FOR TRENCH CUT REPAIRS	CDK-12



REVISIONS			
DATE:	REV	DESCRIPTIONS:	BY:
02-13-2020	0	LLD	CYI
04-03-2020	1	REDLINES	CYI

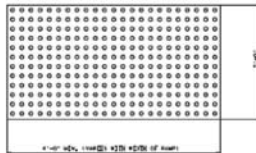
CONSTRUCTION FIRM	
MANAGER:	ENGINEER: C. PENNINGTON
PHONE: 662-620-6634	PHONE: 662-620-6634

PREPARED BY:	
CYIENT	
MANAGER:	ENGINEER: C. PENNINGTON
PHONE: 662-620-6634	PHONE: 662-620-6634

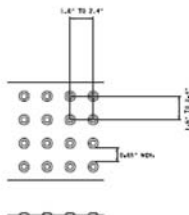


CONSTRUCTION DETAIL DRAWINGS			
1710AISU.138, 1710AISU.145-20200210			
CITY: KNOXVILLE	STATE: TENNESSEE	COUNTY: KNOX	
DRAFTER:	SCALE: NTS	SHEET: 23 OF 25	REVISION: 1

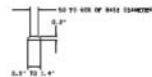
TRUNCATED DOMES



TRUNCATED DOME PLAN VIEW



TRUNCATED DOME SPACING

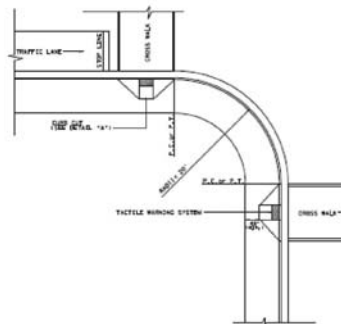


TRUNCATED DOME SECTION

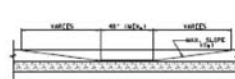
NOTES:

4. MOUTH OF DETECTABLE WARNING SHALL BE A MINIMUM OF 4' WEST AND 4' EAST WITH MOUTH OF SHAWL.
5. LENGTH OF DETECTABLE WARNING SHALL BE 2 FEET MINUS 6 INCHES OF SLOPE WIDTH.
6. TACTILE WARNING SYSTEMS SHALL BE LOCATED AT THE BACK OF CURB.
7. DETECTABLE WARNING CONES SHALL BE ADDED ON A SQUARE YARD BY THE SUBSEQUENT PLACEMENT OF TRAILS TO BE REMOVED TO HOLD THE CONES IN PLACE.
8. DETECTABLE WARNING AREA SHALL BE COLORED YELLOW IN ALL LOCATIONS.
9. APPROXIMATELY 10% OF A SLOPE SURFACE ADJACENT TACTILE WARNING SHALL BE AN "EQUIVALENT" BE PLACED ON EXISTING CURB DOTS.
10. TACTILE ADJACENT SYSTEMS SHALL HAVE BEHAVIOR KEYS TO THE CURB DOTS.
11. APPROXIMATELY 10% OF A SLOPE SURFACE ADJACENT TACTILE WARNING SYSTEMS ON AN EQUIVALENT SHALL BE USED IN THE CONSTRUCTION OF THE CURB DOTS.

CURB CUT DETAILS



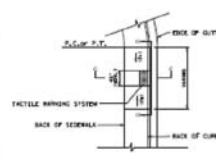
TANGENT PLAN VIEW



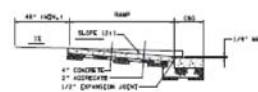
SECTION B-8



DETAIL A



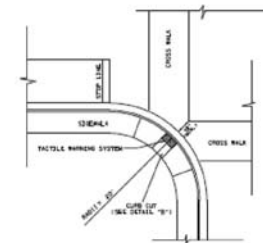
DETAIL B



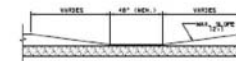
SECTION A-A

NOTES:

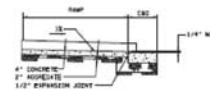
9. SETBACKS SHALL BE ON THE PLAN AREA FOR ALL CONSTRUCTION OR RECONSTRUCTION OF STRUCTURE, CURBS OR SIDEWALKS.
10. CURB CUT RAMP ARE TO BE LOCATED AS SHOWN ON THE PLAN.
11. RAMPWAYS SHALL BE PROVIDED AT ALL CORNERS OF STREET INTERSECTIONS AND WHERE THERE IS A CHANGING OR CHANGING AHEAD ADVISORY SIGNAGE AND CURBS.
12. SURFACE TEXTURES OF THE RAMP SHALL BE OBTAINED BY TROUSSE PROTRUDING, INDEPENDENT TO THE CURB, OF THE RAMP, TO PROVIDE A SURFACE TEXTURE TO BE UNIFORM, CRACKS ON THE RAMP TYPE OF SAGIN AND SHORT SLOPE CHANNEL.
13. GRAVAGE STRUCTURES SHALL NOT BE PLACED IN THE LEFT HAND RAMP.
14. THE NORMAL GUTTER LINE PROVIDED SHALL BE MAINTAINED THROUGHOUT THE AREA OF THE RAMP.
15. CROSSWALK AND STOPPED MARKINGS IF USED, SHALL BE SO LOCATED AS TO NOT INTERFERE WITH THE RAMP OR CURB.
16. CURBS AND SIDEWALKS SHALL BE CONCRETE OR IN THE UNIT PAVEMENT OF CONCRETE COMPOUND CURB & GUTTER OR CONCRETE CURB.
17. THE CONCRETE OF THE CONCRETE RAMP TO BE INCLUDED IN THE UNIT PAVEMENT OF CONCRETE SIDEWALK.



RADIUS PLAN VIEW



SECTION D-D



SECTION C-C

[illegible]

CITY OF KNOXVILLE DEPARTMENT OF ENGINEERING	Drawing No. Project No. Sheet No. of Revisions
STANDARD DETAIL FOR CURB CUTS AND TACTILE WARNING SYSTEMS	COK-



72 HOURS NOTICE REQUIRED

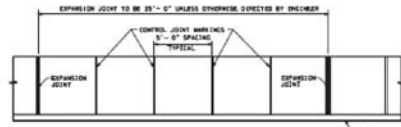
REVISONS				CONSTRUCTION FIRM	PREPARED BY :
DATE:	REV	DESCRIPTIONS:	BY:		
02-13-2020	0	LLD	CYI		
04-03-2020	1	REDLINES	CYI		
				MANAGER:	ENGINEER: C.PENNINGTON
				PHONE: 662-620-5634	



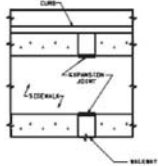
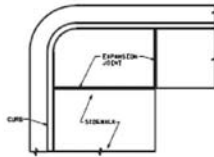
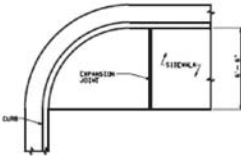
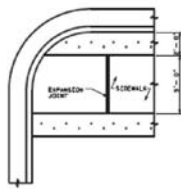
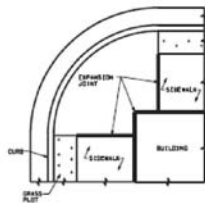
CONSTRUCTION DETAIL DRAWINGS
1710AISU.138, 1710AISU.145-20200210

CITY: KNOXVILLE	STATE: TENNESSEE	COUNTY: KNOX
DRAFTER:	SCALE: NTS	SHEET: 24 OF 25
		REVISION: 1

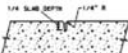
JOINT DETAILS



SIDEWALK CONTROL AND EXPANSION JOINT DETAIL

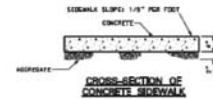


DETAIL OF EXPANSION JOINT

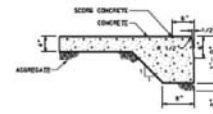
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DETAIL OF CONTROL JOINT

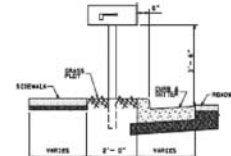
SIDEWALK DETAILS



**CROSS-SECTION OF
CONCRETE SIDEWALK**



**CROSS-SECTION OF
CONCRETE SIDEWALK
WITH INTEGRAL CURB**



MALBOX PLACEMENT FOR CONCRETE SIDEWALK

NOTE:

1. VARIATION NECESSARY TO INDICATE BASIS OF GRADING SHALL BE INDICATED ON SHEETS BY THE FOLLOWING WORDS: GRADE SHALL BE TO TOP OF A SPECIFIC BANK AND ANY CHANGES IN BANK LEANS SHALL BE SHOWN AT RIGHT ANGLES.
2. COST OF THE MINERAL, APPROPRIATE BANK SHALL BE INDICATED IN THE UNIT PRICE FOR MINERAL.
3. MINERAL APPROPRIATE BANK SHALL BE CLASSIFIED BY THE CLASS A APPROPRIATE GRADING D.
4. ALL MINERALS SHALL BE CONSIDERED AS TO PROVIDE POSITIVE GRADING.

[illegible]

CITY OF KNOXVILLE DEPARTMENT OF ENGINEERING	DRAWING NO. PROJECT NO. SHEET NO.
STANDARD DETAIL FOR CONCRETE SIDEWALKS	COK-

REVISONS			CONSTRUCTION FIRM	PREPARED BY :
DATE:	REV	DESCRIPTIONS:	BY:	
02-13-2020	0	LLD	CYI	
04-03-2020	1	REDLINES	CYI	
			MANAGER:	ENGINEER: C. PENNINGTON
			PHONE: 662-620-6634	PHONE: 662-620-6634



MasTec
OUTSIDE PLANT CONSTRUCTION


MCImetro
ACCESS TRANSMISSION
SERVICES,LLC

CONSTRUCTION DETAIL DRAWINGS
1710AISU.138, 1710AISU.145-20200210

CITY: KNOXVILLE	STATE: TENNESSEE	COUNTY: KNOX	
DRAFTER:	SCALE: NTS	SHEET: 25 OF 25	REVISION: 1

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on a request for a text amendment to Appendix A – Zoning, Chapter 2. – Definitions, to define Art and Fitness Studio, and Chapter 3. – Specific District Regulations, Section XVII. – Office District (O-1), to modify permitted uses (Matthew McClanahan, Applicant)

INTRODUCTION AND BACKGROUND: This item was discussed as a workshop item at last month's Planning Commission meeting. Staff noted that the applicant had modified their original text amendment request involving definitions and permitted uses associated with the O-1 Zoning District. The applicant was requesting that the following uses be adding as permitted uses to the O-1 District:

1. Barber Shop/Beautician/Hair Salon
2. Art and Fitness Studio
3. Personal Fitness Instructor
4. Nutritionist
5. Dry Cleaner/Laundromat Drop Off Location

DISCUSSION: After reviewing the applicant's revised request and referring to some of the typical uses permitted in general office zoning districts in other communities, staff recommends, as provided for in Ordinance 20-06, that the following uses be added to the O-1 District since they would appear to be consistent with the general description and intent of the O-1 District:

1. Barber Shop/Beautician/Hair Salon, and
2. Art and Fitness Studio, provided the building space and/or tenant space shall not exceed 1,500 gross square feet

For clarity purposes, staff is proposing to add a definition in Chapter 2 for an "Art and fitness studio." The definition proposed is very similar to the City of Knoxville's and this is a permitted use in their general office zoning district. In addition to the proposed new uses in O-1, staff is recommending that "Mortuary establishments" be removed as a permitted use in O-1. These uses require a significant amount of parking and would appear to conflict with the intent of the O-1 District.

RECOMMENDATION: Included in your packet is Resolution PC-20-04 which recommends approval of Ordinance 20-06.

RESOLUTION PC-20-04

FARRAGUT MUNICIPAL PLANNING COMMISSION

A RESOLUTION TO AMEND THE TEXT OF THE FARRAGUT ZONING ORDINANCE, ORDINANCE 86-16, AS AMENDED, PURSUANT TO AUTHORITY GRANTED BY SECTION 13-4-201, TENNESSEE CODE ANNOTATED, BY AMENDING CHAPTER 2. DEFINITIONS, TO ADD A DEFINITION FOR ART AND FITNESS STUDIO AND AMENDING CHAPTER 3. SPECIFIC DISTRICT REGULATIONS, SECTION XVII. – OFFICE DISTRICT (O-1), B. TO ADD, AS PERMITTED USES, BARBER SHOP/BEAUTICIAN/HAIR SALON AND ART AND FITNESS STUDIO, AND REMOVE, AS A PERMITTED USE, MORTUARY ESTABLISHMENTS

WHEREAS, the Tennessee Code Annotated, Section 13-4-201et seq, provides that the Municipal Planning Commission shall make and adopt a general plan for the physical development of the municipality; and

WHEREAS, the Farragut Municipal Planning Commission has adopted various elements of a zoning plan as an element of the general plan for physical development; and

WHEREAS, a public hearing was held on this request on May 21, 2020;

NOW, THEREFORE, BE IT RESOLVED that the Farragut Municipal Planning Commission hereby recommends approval to the Farragut Board of Mayor and Aldermen of an ordinance, amending Ordinance 86-16, of the Farragut Zoning Ordinance, by adding Ordinance 20-06.

ADOPTED this 21st day of May 2020.

Rita Holladay, Chairman

Rose Ann Kile, Secretary

ORDINANCE:	20-06
PREPARED BY:	Shipley
REQUESTED BY:	Matthew McClanahan
CERTIFIED BY FMPC:	May 21, 2020
PUBLIC HEARING:	_____
PUBLISHED IN:	_____
DATE:	_____
1ST READING:	_____
2ND READING:	_____
PUBLISHED IN:	_____
DATE:	_____

AN ORDINANCE TO AMEND THE TEXT OF THE FARRAGUT ZONING ORDINANCE, ORDINANCE 86-16, AS AMENDED, PURSUANT TO AUTHORITY GRANTED BY SECTION 13-4-201, TENNESSEE CODE ANNOTATED, BY AMENDING CHAPTER 2. DEFINITIONS, TO ADD A DEFINITION FOR ART AND FITNESS STUDIO AND AMENDING CHAPTER 3. SPECIFIC DISTRICT REGULATIONS, SECTION XVII. – OFFICE DISTRICT (O-1), B. TO ADD, AS PERMITTED USES, BARBER SHOP/BEAUTICIAN/HAIR SALON AND ART AND FITNESS STUDIO, AND REMOVE, AS A PERMITTED USE, MORTUARY ESTABLISHMENTS

WHEREAS, the Board of Mayor and Aldermen of the Town of Farragut, Tennessee, wishes to amend Chapter 2, Definitions, and Chapter 3, Specific District Regulations, of the Farragut Zoning Ordinance, Ordinance 86-16,

NOW, THEREFORE, BE IT ORDAINED by the Board of Mayor and Aldermen of the Town of Farragut, Tennessee, that the Farragut Zoning Ordinance is hereby amended as follows:

SECTION 1.

The Farragut Zoning Ordinance, Chapter 2, Definitions, is amended by adding the following definition:

Art and fitness studio: An establishment where an art or fitness related activity is taught, studied, and/or practiced such as dance, martial arts, photography, music, painting, gymnastics, sports lessons, pilates, or yoga.

SECTION 2.

The Farragut Zoning Ordinance, Chapter 3, Specific District Regulations, Section XVII. Office District (O-1), B., is amended by adding, as permitted uses, *Barber Shop/Beautician/Hair Salon* and *Art and Fitness Studio*, provided the building space and/or tenant space shall not exceed 1,500 gross square feet, and deleting, as a permitted use, *Mortuary establishments*.

SECTION 3.

This ordinance shall take effect from and after its final passage and publication, the public welfare requiring it.

Ron Williams, Mayor

Allison Myers, Town Recorder

Certified to the Farragut Board of Mayor and Aldermen this ____ day of _____, 2020, with approval recommended.

Rita Holladay, Chairman

Rose Ann Kile, Secretary

FARRAGUT MUNICIPAL PLANNING COMMISSION

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion on a request to rezone Parcel 019, Tax Map 162, 1013 McFee Road, 24.85 Acres, from Agricultural (A) to Open Space Mixed Residential Overlay (R-1/OSMR) (Rackley Engineering, Applicant)

INTRODUCTION AND BACKGROUND: As shown on the maps included with this item, this rezoning request involves the Gibson farm property that is south of the parcel that is immediately south of McFee Park on the west side of McFee Road. The property is currently zoned Agricultural (A). Due to the presence of a major overhead transmission line easement that runs horizontally through the property and a drainageway along the western portion of the property, the applicant is asking for a rezoning to the Open Space Mixed Residential Overlay (R-1/OSMR) Zoning District. This is the same zoning district as the Cottages at Pryse Farms on the east side of McFee Road just north of McFee Park.

DISCUSSION: The OSMR District permits both attached and detached single family but the overall density is the same as the standard Open Space Residential (OSR) District which permits only detached single family. The density is based on the Rural Residential (R-1) Zoning District, which provides for a 20,000 square foot minimum lot size. The OSR is a much more common district and includes a number of newer developments throughout the Town, including Bridgemore, Sheffield, Brass Lantern, and Brookmere – all of which are located in the general area.

In the case of the Gibson farm property, the total number of permitted dwelling units (attached and detached) would be 54. From the applicant's perspective, the large overhead utility line and associated 100-foot easement divides the property and makes it more beneficial to be able to cluster the attached portion of the development in a smaller area that can be separated from the detached portion of the development. Though not part of the rezoning consideration, staff will recommend that any development on this property provide for walking trail and vehicular connections to abutting properties. Unlike the Brass Lantern property north of McFee Park, the tracts abutting the Gibson farm property have not yet been developed and there are opportunities for cross parcel pedestrian and vehicular connections.

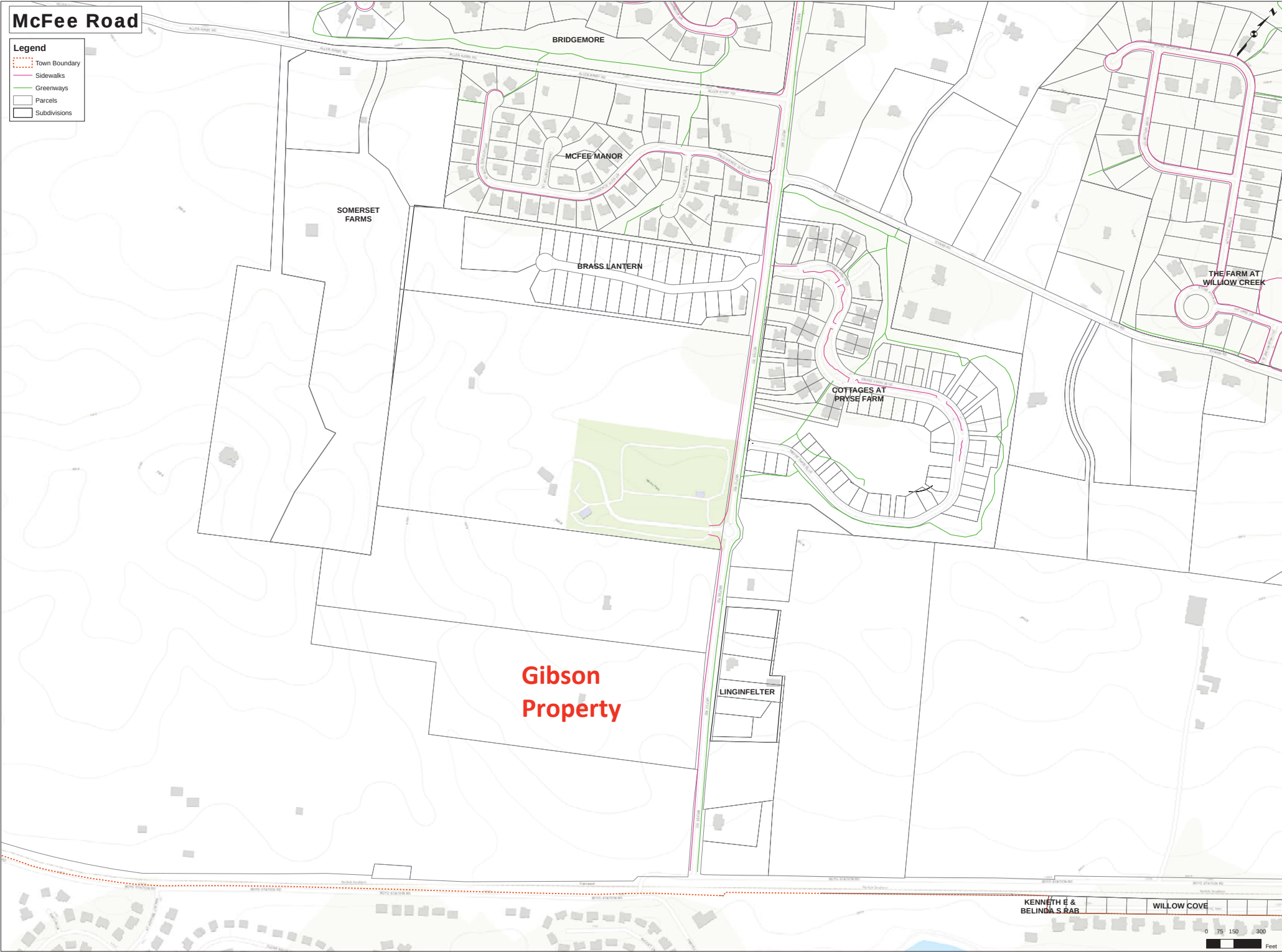
A few months ago, the McFee Road corridor south of McFee Park was the subject of a public workshop where input was provided with regards to the future of this portion of Town. The predominant recommendation was that the future land use map show most of the area, including the property that is the subject of this rezoning request, as Open Space Cluster Residential. Both the OSR and the OSMR Districts would be consistent with this land use designation.

A consideration concerning the OSR vs. the OSMR is that this is generally a rural area (hence the current zoning of Agricultural) and is the more-dense form of an attached development appropriate for this area or would an OSR Zoning District be a better fit? Again, the density would not be affected. It would be more of a form-based or bulk consideration.

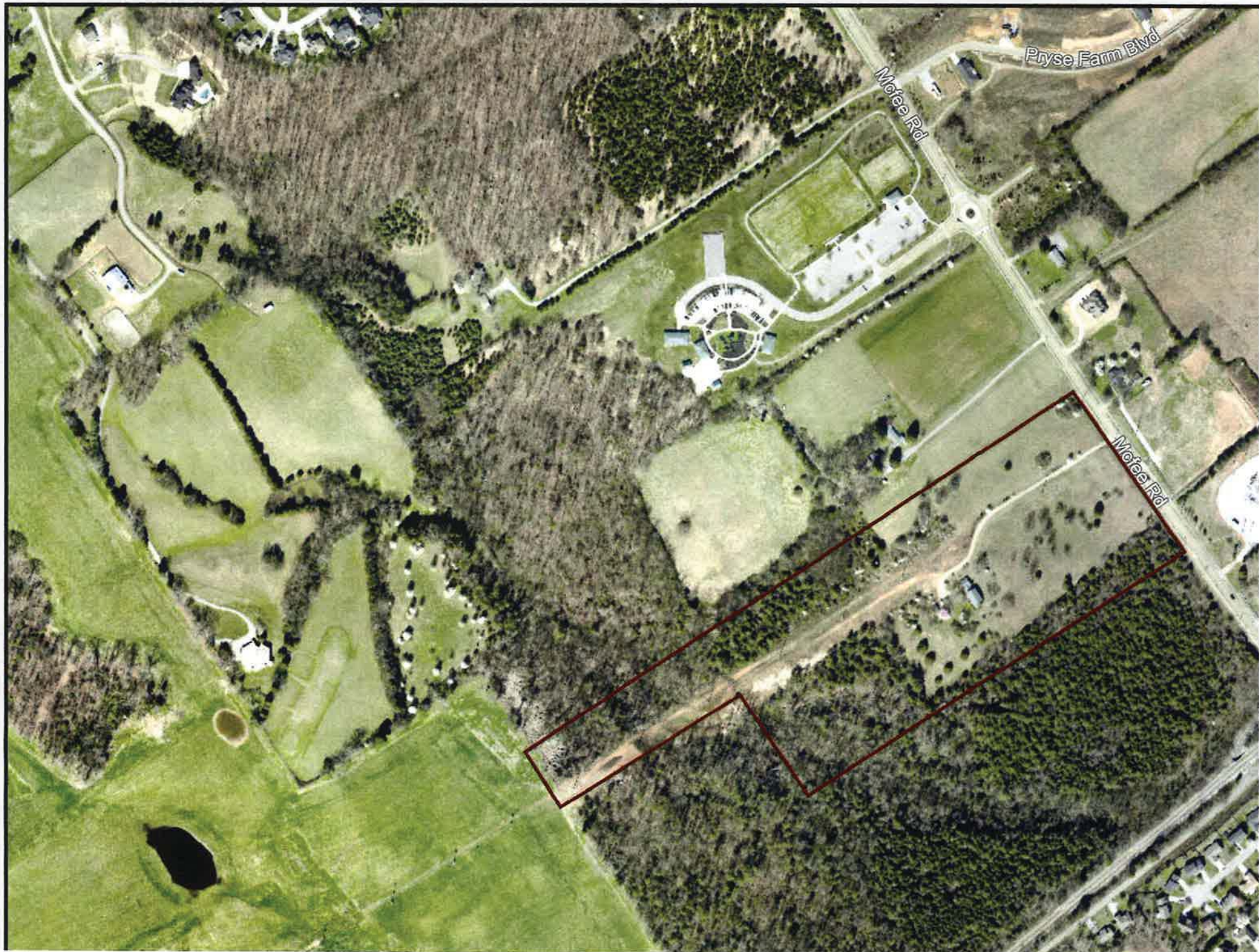
McFee Road

Legend

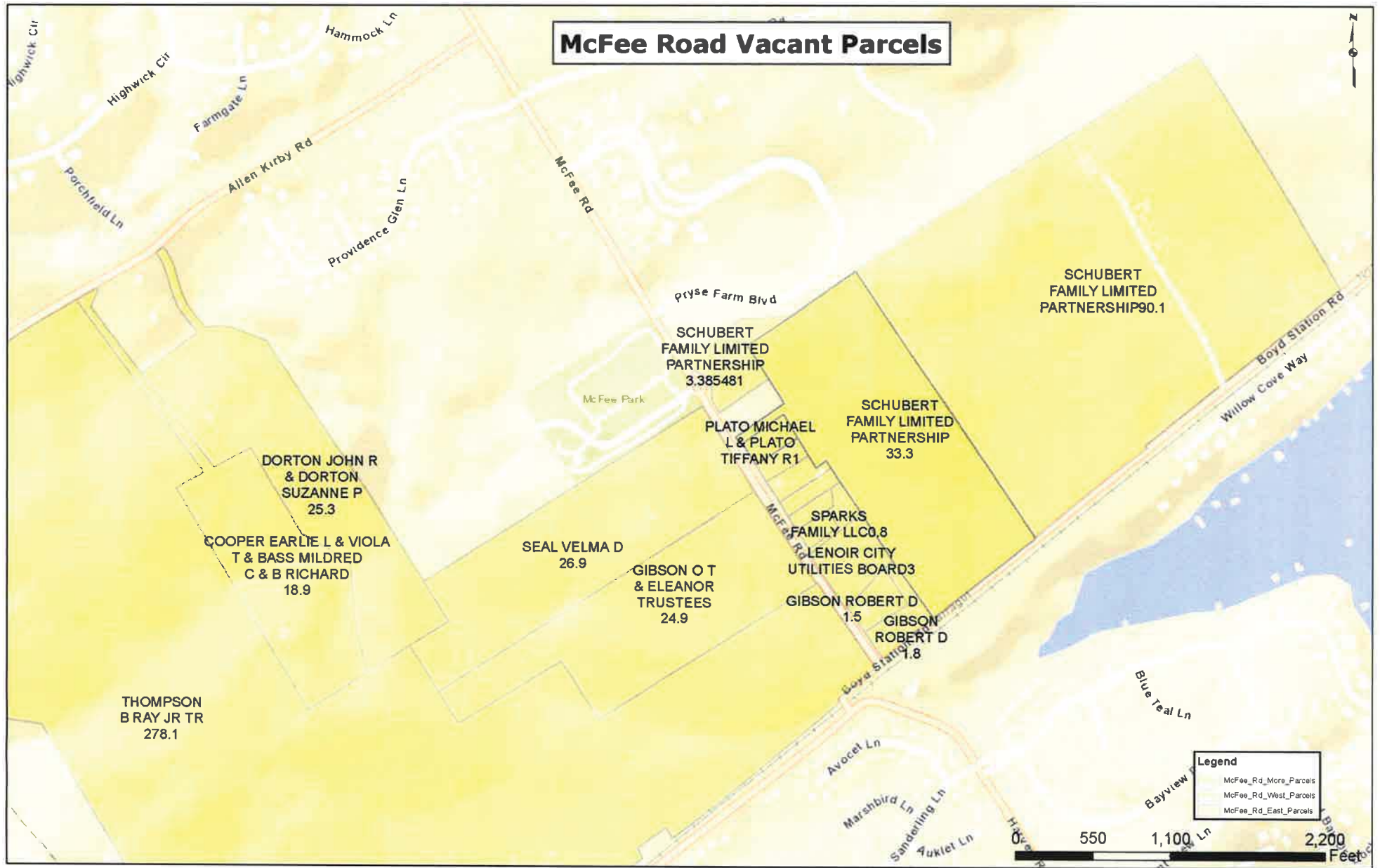
- Town Boundary
- Sidewalks
- Greenways
- Parcels
- Subdivisions



**Gibson
Property**



McFee Road Vacant Parcels



Parcel Area in Acreages

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion on a conceptual review of exterior building elevations and a typical street profile for the redevelopment of the old Kroger property, 11238 Kingston Pike (SITE Incorporated, Applicant)

INTRODUCTION AND BACKGROUND: The purpose of this agenda item is to continue a review of preliminary information submitted to obtain early feedback regarding a multiple use development envisioned on the old Kroger and some its surrounding properties. This was discussed at last month's Planning Commission meeting and some revised renderings were discussed at the May 5 staff/developer meeting.

DISCUSSION: The following link includes the renderings that were discussed at the staff/developer meeting: <https://view.mylumion.com/?p=opgh99crqndobahw>. A document that was not ready for the staff/developer meeting was an overall concept plan of the envisioned project. This was recently provided to staff and is included in the packet. Staff has not yet reviewed the master plan but will provide some input at the meeting on the 21st.



REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Bart Hose, Assistant Community Development Director

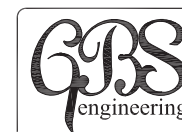
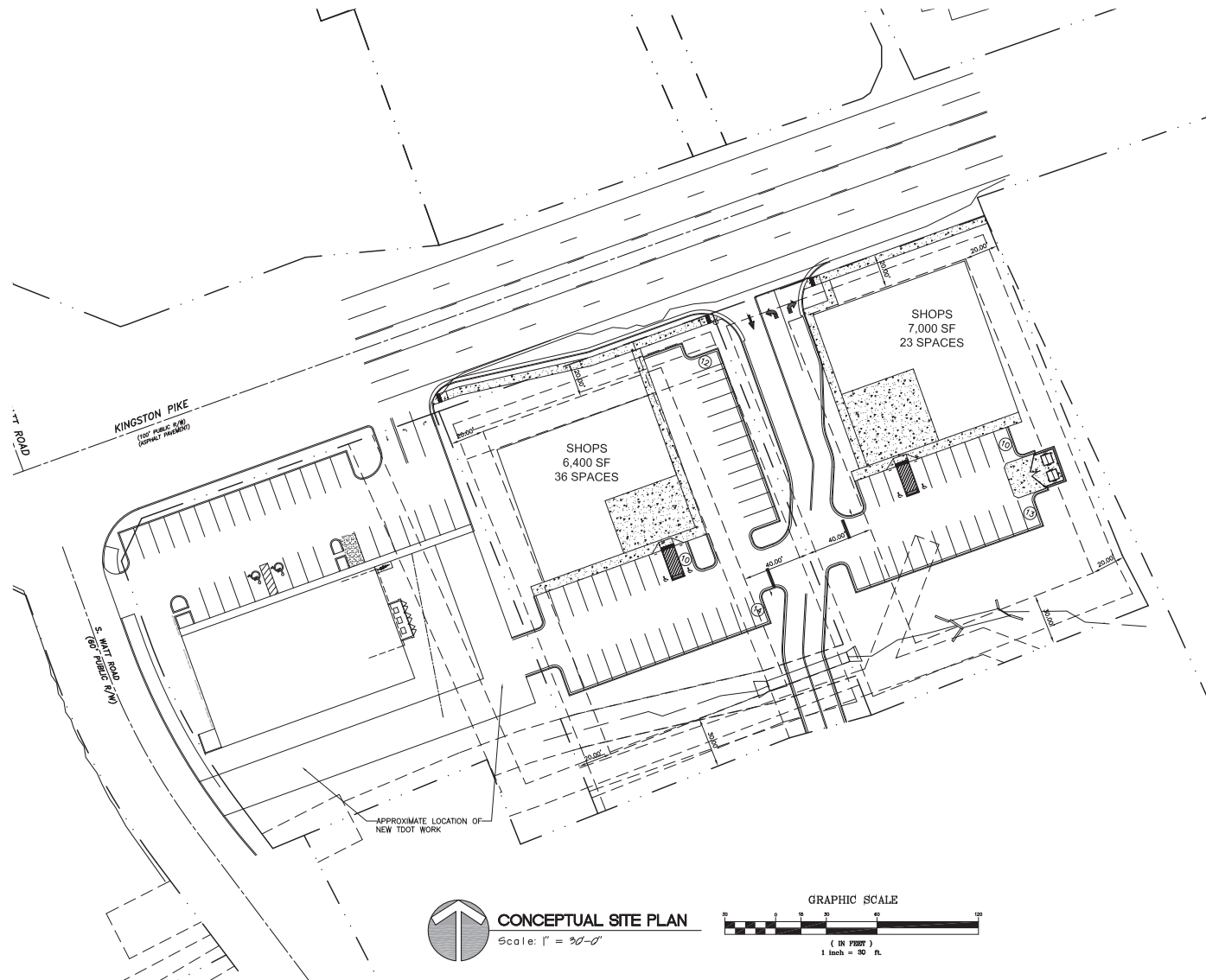
SUBJECT: Discussion on a conceptual review of a site plan for 13036 and 13038 Kingston Pike, two Acres, Zoned C-1 (MBH, Inc., Applicant)

INTRODUCTION AND BACKGROUND: This item involves a conceptual site plan for the development of two small retail/office buildings near the intersection of Kingston Pike and S. Watt Road. The property in question consists of two lots located immediately to the east of the Dixie Lee Wines & Liquor property and to the north of the Cool Sports Icearium property. As noted, the proposed development includes a 6,400 square foot building and a 7,000 square foot building on approximately two acres. The property fronts on Kingston Pike and the developers are proposing one main entrance drive off Kingston Pike with cross-lot connectivity to both the Dixie Lee Liquor site and the Icearium property. The cross-lot access provisions will provide indirect vehicular and pedestrian access to S. Watt Road through each of those sites. The applicants are requesting Planning Commission input on their development concept.

DISCUSSION: The conceptual plan was discussed at the May 5th staff developer meeting. This included staff review items related to the proposed access to Kingston Pike, the need for additional cross-lot access to the east, and coordination with an upcoming TDOT project affecting the Kingston Pike/Watt Road intersection and access to the Dixie Lee Liquor site. The Kingston Pike access and cross-lot access to the east present site design implications for the developers.

As noted, the site plan includes a full left-turn/right-turn driveway access point on Kingston Pike. It is located between the two proposed buildings on the site, and across from the access to a flag-lot owned by the applicants on the other side of Kingston Pike. The proposed location does not meet the Town's minimum distance standards for the separation of driveways along arterial streets and would require a variance. In addition, and given its location, the staff is also recommending that the proposed access be restricted to right-in and right-out only traffic. The staff would also encourage the applicants and Planning Commission to consider the development of the properties on the other side of Kingston Pike. The applicants have aligned the proposed driveway with the future access point for their flag-lot on the other side of Kingston Pike, but this could present access issues for the two lots located on either side of the flag-lot. In effect, all three of the lots on that side of Kingston Pike should share the same common access point and this should be discussed in advance with those property owners.

Finally, the staff feels it is important for the applicants to make provisions for future cross-lot access to the east. There is currently a topographic drop-off between the proposed site and the adjoining property that limits eastward connectivity. This drop-off will, however, likely be mitigated as the adjoining property is filled and graded for future development. Given the potential for additional development in the area and the limitations on driveway spacing along Kingston Pike, planning now for connectivity is critical. An alternate location for the proposed dumpster pad should be identified on the concept plan to provide an opportunity to connect the site to the adjoining property to the east.



1313 Kalmia Road
Knoxville, TN 37909
Phn: 865.566.0185
Fax: 888.485.7005

REV	DESCRIPTION	BY	DATE
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-	--	-	-
-	--	-	-
-	--	-	-
-	--	-	-
PROJECT NAME: 13000 Kingston Pike		DRAWN BY: By	SHEET NO: CSP1
DRAWING TITLE: Conceptual Site Plan		CHECKED BY: Checked	
LOCATION: Street Address		FILE NAME: File-Name	
City, County, Zip		JOB NUMBER Job-No	
CLT Map XXX, Parcel No. XXX		ISSUE DATE: 03/06/2020	
Owner:	OWNER		

CSP1

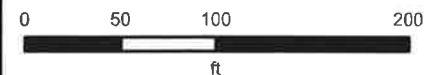


13036 Kingston Pike

Knoxville - Knox County - KUB Geographic Information System



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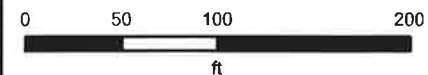


13038 Kingston Pike

Knoxville - Knox County - KUB Geographic Information System



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REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Trevor Hobbs, Assistant to the Town Administrator

SUBJECT: Discussion on the development of zoning provisions governing pain management clinics, methadone treatment and similar drug/alcohol treatment clinics or facilities (Town of Farragut, Applicant)

INTRODUCTION AND BACKGROUND: In response to community concerns, staff has been asked to investigate zoning provisions for the regulation of pain management clinics and outpatient (office based) drug treatment clinics. The separation of such uses from areas with concentrations of children is a particular concern.

Pain management clinics and drug treatment clinics are distinctly separate types of facilities and are subject to regulation by the State of Tennessee. Pain management clinics are regulated by the State Department of Health and drug treatment facilities are regulated by the Department of Mental Health and Substance Abuse.

The Town's current zoning ordinance does not specifically define such uses or make any distinction between types of medical facilities. Because of this, pain management clinics and drug treatment clinics would fall within the broader "Medical, dental, and veterinary facilities" use category listed as a permitted use within most of the Town's commercial, business, and office related zoning districts. In addition, there are no additional location or separation requirements applied to these uses under the current zoning ordinance.

Staff discussed these concepts with the Board of Mayor and Aldermen in March 2020 and with the Planning Commission in April 2020.

Among that guidance was the intent to include the concept of addiction related counseling in the definition of Drug Treatment Clinics or Facilities, to separate these uses from parks, libraries, community centers, schools, and childcare facilities, and to limit the use to the C-2 Zoning District and possibly the O-1-3 and O-1-5 Districts since they are concentrated in the Parkside Drive area which is mostly zoned C-2.

Following from those discussions, staff has drafted language for a potential ordinance.

DISCUSSION: The proposed ordinance is composed of two elements. First, it creates definitions for Drug Treatment Clinic or Facility, Pain Management Clinic or Facility, and Medical/Dental/Veterinary Clinic or Facility. Second, the ordinance adds the use of "Drug Treatment, and Pain Management Clinic or Facility" to the C-2, O-1-3, and O-1-5 Districts, subject to several conditions.

While it is clear that these two uses are defined and regulated by the State as distinctly separate uses, based on feedback and concerns expressed to staff, it is our recommendation that these uses have the same conditions for approval in the context of zoning.

PROPOSED ACTION: Provide clarification, feedback, and direction on the content and language of the proposed ordinance, and any changes that should be made before a formal recommendation is made to the Board of Mayor and Aldermen.

ORDINANCE:

PREPARED BY:

Hobbs/Hose

REQUESTED BY:

Staff

1ST READING:

2ND READING:

PUBLISHED IN:

DATE:

AN ORDINANCE TO AMEND THE TEXT OF THE FARRAGUT ZONING ORDINANCE, ORDINANCE 86-16, AS AMENDED, PURSUANT TO AUTHORITY GRANTED BY SECTION 13-4-201, TENNESSEE CODE ANNOTATED, BY AMENDING CHAPTER 2., DEFINITIONS, TO DEFINE DRUG TREATMENT CLINIC OR FACILITY, MEDICAL, DENTAL, OR VETERINARY CLINIC OR FACILITY, AND PAIN MANAGEMENT CLINIC OR FACILITY, AND AMENDING CHAPTER 3., SPECIFIC DISTRICT REGULATIONS, SECTION XV. – REGIONAL COMMERCIAL DISTRICT (C-2), SECTION XVIII. – OFFICE DISTRICT, THREE STORIES (O-1-3), AND SECTION XXV. – OFFICE DISTRICT, FIVE STORIES (O-1-5) TO ADD, AS PERMITTED USES, DRUG TREATMENT AND PAIN MANAGEMENT CLINICS OR FACILITIES

WHEREAS, the Board of Mayor and Aldermen of the Town of Farragut, Tennessee, wishes to amend Chapter 2, Definitions, and Chapter 3, Specific District Regulations, of the Farragut Zoning Ordinance, Ordinance 86-16,

NOW, THEREFORE, BE IT ORDAINED by the Board of Mayor and Aldermen of the Town of Farragut, Tennessee, that the Farragut Zoning Ordinance is hereby amended as follows:

SECTION 1.

The Farragut Municipal Code, Appendix A, Zoning, Chapter 2, Definitions, is amended by adding the following definitions:

Drug Treatment Clinic or Facility: A facility licensed by the State for the counseling of patients and/or the issuing of a prescription for methadone, suboxone, or similar medications, in the treatment, maintenance, and/or detoxification of persons, for outpatient, non-residential purposes only.

Medical, Dental, or Veterinary Clinic or Facility: A facility operated by one or more physicians, dentists, chiropractors, psychiatrists, physiotherapists, other licensed practitioners of the healing arts, or veterinarians for the examination and treatment of persons solely on an outpatient basis, or for the examination and treatment of their pets and animals. Medical/dental offices/clinics also include alternative medicine clinics, such as acupuncture and holistic therapies, and physical therapy offices for physical rehabilitation. Urgent care facilities, and "minute clinics" are considered medical/dental offices/clinics.

Pain Management Clinic or Facility: A privately-owned facility in which a medical doctor, an osteopathic physician, an advanced practice nurse, and/or a physician assistant provides pain management services to patients, a majority of whom are issued a prescription for opioids, benzodiazepine, barbiturates, or carisoprodol, or similar medications, for more than ninety (90) days in a twelve (12) month period. A pain management clinic does not include:

1. A medical or dental school, an osteopathic medical school, a nursing school, a physician assistant program or an outpatient clinic associated with any of the foregoing schools or programs;
2. A hospital as defined in T.C.A. § 68-11-201, including any outpatient facility or clinic of a hospital;
3. Hospice services as defined in T.C.A. § 68-11-201;
4. A nursing home as defined in T.C.A. § 68-11-201;
5. A facility maintained or operated by the state government; or
6. A hospital or clinic maintained or operated by the federal government.

SECTION 2.

The Farragut Municipal Code, Appendix A, Zoning; Chapter 3, Specific Zoning Regulations; Sec. XV, Regional Commercial District (C-2); Subpart B, Permitted Principal and Accessory Uses and Structures is amended by adding item 18 as follows:

18. Drug Treatment, and Pain Management Clinics or Facilities, provided the following development criteria are met:
 1. The approval by the Town of a pain management or drug treatment clinic or facility shall be contingent upon the receipt of the appropriate license and certificate of need by the State of Tennessee Department of Health or Department of Mental Health and Substance Abuse.
 2. Applicants seeking approval of a pain management or drug treatment clinic or facility shall provide written documentation that the Knox County Sheriff's Department has been notified in writing regarding the facility's proposed location, hours of operation, programs and treatment methods offered, and staffing levels and qualifications.
 3. The clinic or facility shall not be located within one thousand (1,000) feet of any public or private school, child-care facility as regulated in Chapter 4, public library, community center or public park, as measured from property line to property line.
 4. For newly constructed free-standing facilities off-street parking shall be provided for the facility at a rate of five (5) spaces per one thousand (1,000) square feet of clinic floor area.
 5. The facility shall see patients on the basis of appointments only.

SECTION 3.

The Farragut Municipal Code, Appendix A, Zoning; Chapter 3, Specific Zoning Regulations; Sec. XVIII, Office District, Three Stories (O-1-3) is deleted in its entirety and replaced by the following:

Sec. XVIII. – Office district, three stories (O-1-3)

- A. *General Description and Limitations.* With the addition of any uses specifically listed below, this district provides identical use and area requirements as the Office District (O-1), except that no building shall exceed three stories, or 42 feet, in height and that any three-story building constructed in an O-1-3 zone which abuts a residential district or B-1 zone have a minimum building setback of 70 feet. In all such cases, this 70-foot setback is from the O-1-3 zoning line, regardless of property ownership.
- B. *Additional Permitted Principal Uses*
1. Drug Treatment, and Pain Management Clinics or Facilities, provided the following additional development criteria are met:
 - a. The approval by the Town of a pain management or drug treatment clinic or facility shall be contingent upon the receipt of the appropriate license and certificate of need by the State of Tennessee Department of Health or Department of Mental Health and Substance Abuse.
 - b. Applicants seeking approval of a pain management or drug treatment clinic or facility shall provide written documentation that the Knox County Sheriff's Department has been notified in writing regarding the facility's proposed location, hours of operation, programs and treatment methods offered, and staffing levels and qualifications.
 - c. The clinic or facility shall not be located within one thousand (1,000) feet of any public or private school, child-care facility as regulated in Chapter 4, public library, community center or public park, as measured from property line to property line.
 - d. For newly constructed free-standing facilities off-street parking shall be provided for the facility at a rate of five (5) spaces per one thousand (1,000) square feet of clinic floor area.
 - e. The facility shall see patients on the basis of appointments only.

SECTION 4.

The Farragut Municipal Code, Appendix A, Zoning; Chapter 3, Specific Zoning Regulations; Sec. XXV, Office District, Five Stories (O-1-5) is deleted in its entirety and replaced by the following:

Sec. XXV. – Office district, five stories (O-1-5)

- A. *General description.* This district provides space for offices which provide regional services. The intent of this district is to permit lands adjacent to the interstate and/or Parkside Drive to have taller buildings.
- B. *Permitted principal and accessory uses and structure.* With the addition of any uses specifically listed below, this district provides identical use requirements as the Office District (O-1).

1. Drug Treatment, and Pain Management Clinics or Facilities, provided the following additional development criteria are met:
 - a. The approval by the Town of a pain management or drug treatment clinic or facility shall be contingent upon the receipt of the appropriate license and certificate of need by the State of Tennessee Department of Health or Department of Mental Health and Substance Abuse.
 - b. Applicants seeking approval of a pain management or drug treatment clinic or facility shall provide written documentation that the Knox County Sheriff's Department has been notified in writing regarding the facility's proposed location, hours of operation, programs and treatment methods offered, and staffing levels and qualifications.
 - c. The clinic or facility shall not be located within one thousand (1,000) feet of any public or private school, child-care facility as regulated in Chapter 4, public library, community center or public park, as measured from property line to property line.
 - d. For newly constructed free-standing facilities off-street parking shall be provided for the facility at a rate of five (5) spaces per one thousand (1,000) square feet of clinic floor area.
 - e. The facility shall see patients on the basis of appointments only.

C. *Area regulations.*

1. Front yard, side yard, rear yard, buffer strips, and land area. This district provides identical area requirements as the Office District (O-1), except that any building taller than 35 feet which abuts a residential district or B-1 Buffer Zone shall have a minimum building setback of 70 feet. In all such cases, this 70-foot setback is from the O-1-5 zoning line, regardless of property ownership.
2. Maximum lot coverage. The total lot coverage shall be 60 percent. If a parking garage which accommodates a minimum of 20 percent of the required parking spaces is constructed as part of the development, the total lot coverage may be increased to 70 percent.

D. *Height regulations.* No structure shall exceed 75 feet in height, except as provided

for elsewhere in this ordinance.

SECTION 5.

This ordinance shall take effect from and after its final passage and publication, the public welfare requiring it.

Ron Williams, Mayor

Allison Myers, Town Recorder

Certified to the Farragut Board of Mayor and Aldermen this ____ day of _____, 2020, with approval recommended.

Rita Holladay, Chairman

Rose Ann Kile, Secretary

FARRAGUT MUNICIPAL PLANNING COMMISSION



1,000 ft Use Restriction Setback from Childcare Facilities

Legend

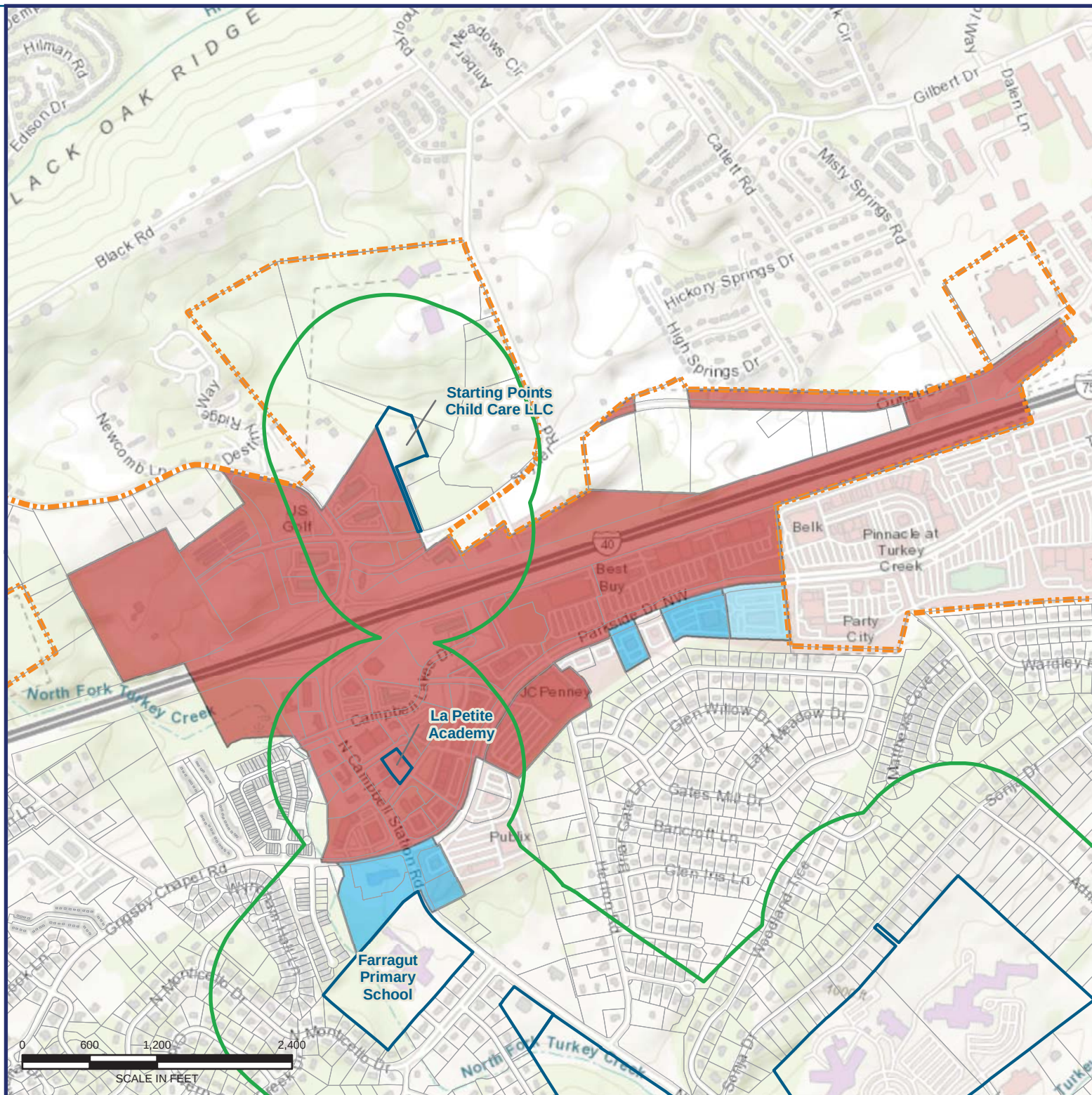
- Schools, Daycare, Parks & Community Center
- 1,000' Buffer
- Parcels
- Town of Farragut Boundary
- O-1-3, Office, Three Stories
- O-1-5, Office, Five Stories
- C-2, Regional Commercial



1 inch = 1,200 feet
Map Prepared: 5/14/2020

CONTACTS:

GIS:
Carrie Smith
carrie.smith@aecom.com



REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on an ordinance to amend the Farragut Sign Ordinance
(Town of Farragut, Applicant)

INTRODUCTION AND BACKGROUND: This item was discussed in detail at a workshop/training session conducted at the February 20, 2020 Planning Commission meeting. At that time, staff reviewed the process that has been followed in the development of the revised sign ordinance. Staff also reviewed each section and discussed the rationale behind the various provisions.

DISCUSSION: During the February workshop, feedback was provided on some minor aspects of the ordinance and staff updated the ordinance to reflect the recommended changes. Due to the COVID-19 issue, this item was not considered at the March or April Planning Commission meetings. In the meantime, staff conducted a Webex meeting on April 30 with the Sign Ordinance Update Committee to obtain any final input that should be reflected in the ordinance that will be taken back to the Planning Commission and the Visual Resources Review Board.

The changes proposed as a result of the April 30 meeting are minor and shown in **BLUE** on the “Sign Ordinance Copy May 21 FMPC” file that will be e-mailed separately along with Resolution PC-20-02 and Ordinance 20-04. Staff will also e-mail some illustrations that have been prepared to better explain or identify certain aspects of the ordinance. These illustrations are still in progress and staff expects to have a final product soon but not likely before the next Planning Commission meeting. These illustrations will not be part of the ordinance so that changes or updates to the illustrations can be made more easily in the future.

RECOMMENDATION: Staff recommends approval of Resolution PC-20-02 which recommends approval of Ordinance 20-04.

RESOLUTION PC-20-02

FARRAGUT MUNICIPAL PLANNING COMMISSION

A RESOLUTION TO APPROVE AN AMENDMENT TO CHAPTER 109-SIGNS, OF THE CODE OF ORDINANCES OF THE TOWN OF FARRAGUT, TO REPLACE THE EXISTING SIGN ORDINANCE WITH A NEW SIGN ORDINANCE

WHEREAS, the Tennessee Code Annotated, Section 13-4-201et seq, provides that the Municipal Planning Commission shall make and adopt a general plan for the physical development of the municipality; and

WHEREAS, the Farragut Municipal Planning Commission has adopted various elements of a zoning plan as an element of the general plan for physical development; and

WHEREAS, a public hearing was held on this request on May 21, 2020;

NOW, THEREFORE, BE IT RESOLVED that the Farragut Municipal Planning Commission hereby recommends approval to the Farragut Board of Mayor and Aldermen of an ordinance, amending Chapter 109 - Signs, by replacing it in its entirety with Ordinance 20-04.

ADOPTED this 21st day of May 2020.

Rita Holladay, Chairman

Rose Ann Kile, Secretary

ORDINANCE:	20-04
PREPARED BY:	Shipley
REQUESTED BY:	Town of Farragut
CERTIFIED BY FMPC:	May 21, 2020
PUBLIC HEARING:	_____
PUBLISHED IN:	_____
DATE:	_____
1ST READING:	_____
2ND READING:	_____
PUBLISHED IN:	_____
DATE:	_____

AN ORDINANCE TO AMEND THE CODE OF ORDINANCES OF THE TOWN OF FARRAGUT TENNESSEE, PURSUANT TO AUTHORITY GRANTED BY SECTION 6-2-201, TENNESSEE CODE ANNOTATED, BY AMENDING CHAPTER 109 – SIGNS, TO REPLACE THE EXISTING SIGN ORDINANCE WITH A NEW ORDINANCE

WHEREAS, the Board of Mayor and Aldermen of the Town of Farragut, Tennessee, wishes to amend Chapter 109 - Signs, of the Code of Ordinances of the Town of Farragut, to replace the existing Sign Ordinance with a new Sign Ordinance.

NOW, THEREFORE, BE IT ORDAINED by the Board of Mayor and Aldermen of the Town of Farragut, Tennessee, that Chapter 109 – Signs, of the Code of Ordinances of the Town of Farragut, is hereby amended as follows:

SECTION 1.

The Code of Ordinances of the Town of Farragut, Chapter 109 – Signs, is amended by deleting it in its entirety and substituting in lieu thereof the following:

Chapter 109 – Signs.

Section 109-1. Authority.

This chapter shall be known as the "Sign Ordinance of the Town of Farragut, Tennessee." This chapter is adopted under the authority granted by T.C.A. § 6-2-201.

Section 109-2. Purpose, Intent, and General Scope.

(a) The purpose and intent of this chapter is the following:

- (1) Regulate the number, location, size, type, illumination, and other physical characteristics of signs within the Town in order to promote the public health, safety and welfare.
 - (2) Maintain, enhance, and improve the aesthetic environment of the Town by preventing visual clutter.
 - (3) Improve the visual appearance of the Town while providing for effective means of communication, consistent with constitutional guarantees.
 - (4) Avoid signage that is a threat to safety due to its placement and other physical characteristics.
 - (5) Ensure the safe construction and maintenance of signs, and
 - (6) Support businesses in the Town by providing for fair and consistent sign allocations and enforcement of the sign regulations set forth herein.
- (b) This ordinance is not intended to regulate the message on any sign, any building design, any display not defined as a sign, or any sign which cannot be viewed from outside a building.

Section 109-3. Provisions declared to be minimum requirements.

The provisions of this chapter are considered to be minimum requirements. Wherever there is a discrepancy between the minimum standards noted in this chapter and those contained in any other lawfully adopted regulation or ordinance of the town, the strictest standard shall apply.

Section 109-4. Severability.

If any section, subsection, sentence, clause, or phrase of this chapter is for any reason held to be invalid by a court of competent jurisdiction, such decision shall not affect the validity of the remaining portions of this ordinance.

Section 109-5. Substitution.

Signs containing noncommercial speech are permitted anywhere that advertising or business signs are permitted, subject to the same regulations applicable to such signs.

Section 109-6. Definitions.

The following words, terms and phrases, when used in this chapter, shall have the meanings ascribed to them in this section, except where the context clearly indicates a different meaning:

Abandoned sign means a sign which identifies or advertises a business, lessor, owner, product, or activity that has been discontinued for 90 days or more.

Architectural compatibility means visual harmony and consistency with regard to color, building/sign materials, style, mounting, and illumination.

Athletic field means a piece of land designed, approved, and dedicated for playing a game.

Banner sign means any sign of flexible lightweight material that allows movement caused by wind. A flag, as defined herein, shall not be considered a banner sign.

Changeable copy sign means any sign where letters or numbers displayed on the sign are designed to be changed frequently to display different messages.

Dilapidated sign means a sign that is in a bad, unsafe, or unsightly condition due to neglect or misuse.

Flag means a fabric sign of a non-commercial nature with a distinctive color and design that is used as an emblem, standard, decoration, or symbol and that is hoisted on a permanent freestanding flagpole or mounted with a pole attached to a building.

Freestanding sign means a sign that is either anchored in the ground or secured so that it is not subject to being moved by wind and that is independent of any building.

Freestanding building frontage sign means a non-illuminated sign of a solid material with copy that is meant to be readable only to a pedestrian and that is placed near the front of a building.

Gas pump signs means permanent signs, including Federally required safety information, adhered to a gas pump island and reviewed through a sign permit process.

Ground-mounted sign means a sign erected on a freestanding frame and not attached to any building. Such signs may be two-sided, provided that both sides cannot be seen simultaneously from any point. Such signs have a solid base with no exposed poles.

Interior accessory freestanding sign means a sign permitted interior to a development and not meant to be readable from a public street, public access easement, or adjacent property.

Interstate/interchange pole sign means a sign permitted near the interstate interchange as stipulated in this ordinance.

Legibility means how easy a sign is to read. This is based on the characteristics of letters, numbers, and characters that make it possible to differentiate one from another.

Manual on Uniform Traffic Control Devices (MUTCD) means the manual produced by the Federal Highway Administration that addresses three specific types of signs: guide, warning, and directional. The manual includes minimum size, height, and placement standards to achieve readability and prevent traffic accidents.

Non-commercial means not naming, advertising, or calling attention to a business or commercial product, service, or activity.

Normal maintenance means replacing lights, painting, staining, repairing a damaged element of a sign, or replacing a sign face that has faded over time with exposure to the elements with an identical sign face. Normal maintenance shall not include any other modifications to a sign.

Peripheral accessory freestanding sign means a sign permitted near the entrance and exit points to a development.

Permanent ground mounted subdivision sign means a permanent sign permitted near the entrance to a subdivision.

Permanent parcel sign means a wall mounted sign permitted on a principal dwelling unit.

Portable sign means a sign not permanently attached to the ground or a building and is easily removable using ordinary hand tools.

Primary permanent ground mounted sign means the primary sign permitted for a single-use or multiple use non-residential development.

Primary permanent wall mounted sign means the primary wall sign for a development or tenant.

Prohibited sign means any sign not specifically permitted in this ordinance or that is not compliant with the applicable provisions of this ordinance.

Projecting sign means a sign, other than a wall mounted sign, which is affixed to and projects from a building, wall, or support structure such as a column, forming an angle between said building or wall and the face of the sign.

Public access easement means a recorded access easement that runs with the land and that provides direct two-way public access to at least two parcels.

Roof sign means any sign attached to a building which projects in part or in whole above the top edge of a building wall.

Sandwich board sign means a freestanding temporary sign, with no moving parts or lights, displayed outside a business during business hours. It is not intended as permanent business signage.

Sign means any letter, number, figure, symbol, trademark, graphic, logo, design, or device mounted or otherwise placed and intended to be visible from outside of a building, used to attract attention in order to advertise, identify, announce, notify, direct, or communicate. Sculptures, artwork, and architectural accents shall not generally be considered a sign unless they would otherwise be used as outlined in this definition.

Sign area means the entire face of a sign, including the advertising surface and any framing, trim, or molding but not including the supporting structure.

Snipe sign means a sign affixed to trees, utility poles, light poles, fences, or other objects.

Temporary means related to an event or activity that has a limited amount of time.

Temporary freestanding subdivision entrance sign means a sign permitted on a temporary basis near the entrance to a subdivision.

Temporary parcel sign means a sign permitted on a parcel for a temporary event or activity.

Temporary freestanding subdivision sign means a sign permitted on a temporary basis for a subdivision.

Under-canopy sign means a sign that is hung perpendicular to a building under a canopy which projects over the public entrances into a building.

Visibility obstruction means a sign that by virtue of its placement has created a visibility obstruction harmful to the public safety.

Wall sign means a sign attached parallel to and projecting not more than 12 inches from the wall of a building and does not project in part or in whole above the top edge of a building wall.

Window sign means a sign that is painted on, attached to, or suspended directly behind or in front of a window or the glass portion of the door.

Section 109.7. Administration.

- (a) *Sign administrator to enforce chapter.* The Town administrator or his/her designee shall act as the sign administrator and shall enforce and carry out all provisions of this chapter. In the event there is a question concerning the general intent or meaning of any provision of this chapter, the sign administrator shall have the authority to make such administrative decisions and interpretations. Administrative interpretation shall in no way be construed as permitting or granting an exception to the provisions of this chapter. When the definition of a sign or an issue concerning architectural compatibility, illumination, or some unique physical characteristic of a sign are questioned by the sign administrator, the sign administrator may consult with the Visual Resources Review Board about such question.
- (b) *Application and permit process.* Unless otherwise provided by this chapter, permits are required for all types of signs. It shall be unlawful for any person, agency, firm, or corporation to erect, structurally repair (other than normal maintenance), replace, alter, relocate, change the panels of, change the establishment being advertised on a sign, as defined in this chapter, without first obtaining a permit to do so from the Town.

- (1) *General application requirements and fees.* Applicants shall submit a completed sign application and the required fee to the Town prior to commencing any work on installation of a new or replacement sign. The required fee is per the schedule approved by the Town Board of Mayor and Aldermen. Per the approved fee schedule, an additional penalty fee shall be paid if work is commenced prior to receiving a permit from the Town. Government or government sponsored entities are waived from the fee requirement.
- (2) *Application required for each sign.* A separate application must be completed and submitted for each new or replacement sign.
- (3) *Wall mounted sign application reviews.* Wall sign applications shall be reviewed by the sign administrator for conformance with the requirements. The sign administrator shall approve or deny the application within 15 working days of submittal. When architectural compatibility, illumination, or some unique physical characteristic of a sign are questioned by the sign administrator, the sign administrator may consult with the Visual Resources Review Board about such matter.
- (4) *Wall mounted sign application submittal requirements.* All wall sign applications shall include the following:
 - a. A dimensioned schematic drawing of the building showing the proposed sign location.
 - b. A photograph of the businesses located on either side which demonstrates the color, material, and illumination of these adjacent signs.
 - c. The width of the building wall or lease space upon which the sign is to be mounted.
 - d. A dimensioned colored drawing (or simulated photograph) of the sign showing the copy on the sign face, and
 - e. An indication of how the sign is to be mounted and illuminated.
- (5) *Ground-mounted sign application reviews.* Ground-mounted sign applications shall be reviewed by the Visual Resources Review Board for conformance with the requirements of this chapter and any overlapping regulations, including the Architectural Design Standards, as amended, prior to the issuance of a sign permit.
- (6) *Ground-mounted sign submittal deadlines.* Ground-mounted sign applications shall be submitted in accordance with the deadlines established by the Town for the meeting at which the ground mounted sign is to be considered by the Visual Resources Review Board.
- (7) *Ground-mounted sign coordination with site and landscape plans.* As part of a site plan and landscape plan review process with the Planning

Commission and Visual Resources Review Board, applicants for new developments or redevelopments shall take into account anticipated locations for ground mounted signs. These should be shown on both the site and landscape plans in order to help lessen conflicts with landscaping, utilities, and other site development components.

- (8) *Ground-mounted sign application submittal requirements.* All ground-mounted sign applications shall be accompanied by complete sets of plans which include the following:
- a. A dimensioned site plan of the parcel showing the proposed sign location in relation to property lines and platted easements.
 - b. A proposed landscaping plan for the area around the sign base.
 - c. A detail of the sign lighting, including lighting placement, type, and lumens.
 - d. A detail of the materials and colors used for the sign structure.
 - e. A dimensioned colored drawing of the sign showing the copy on the sign face, height and length of the sign face and sign structure, overall height of the sign, and size of the address numbers required at the top of the sign.
 - f. Information that may be requested by the sign administrator to help verify compliance with the Architectural Design Standards, and
 - g. An acknowledgment that an as-built survey may be required by the sign administrator to verify compliance with applicable provisions associated with ground-mounted signs.
- (9) *Expiration of sign permits.* A sign permit shall become null and void if installation of the sign has not been initiated within 180 days of issuance. If work authorized by such permit is suspended or abandoned for 180 days any time after the work has been initiated, the sign permit shall be void and a new permit shall be first obtained to resume work. After a permit expires, a partially completed sign structure must be removed within 30 days if no new permit is issued.
- (10) *Changes to an approved sign permit.* A new permit may be required, as determined by the sign administrator, where changes have been made to an approved sign that would alter the physical characteristics of the sign.
- (11) *Temporary parcel sign application reviews.* Temporary parcel signs provided for in Section 109-12 (c)(2) and 109-12 (d)(2) and that are restricted to a total of 40 calendar days per year shall be permitted through a Town of Farragut Temporary Sign Permit Application. The application shall cover a ten-day period and an applicant is permitted to apply for four applications per calendar year. Each application shall be reviewed and approved by the sign administrator and shall include the following:

- a. Verification that the entity has a valid Certificate of Occupancy.
 - b. An indication of the dates when the sign will be installed and removed.
 - c. A dimensioned drawing showing the height and length of the sign face and the overall height of the sign.
 - d. A verification that the material used is a minimum of ten millimeters (.39 inches) in thickness and will be supported by metal t-posts.
 - e. A verification that the sign will be set back at least 20 feet from the back of the public street curb or edge of street where curbing is not provided.
 - f. An acknowledgment that banners, pennants, streamers, and similar flexible or wind activated signs shall not be used.
- (c) *Text amendment process.* Amendments to the text of this chapter shall first be reviewed by the Visual Resources Review Board and the Town Municipal Planning Commission with recommendations regarding the proposed change forwarded to the Town Board of Mayor and Aldermen.

Section 109-8. Enforcement.

- (a) *Sign enforcement process.* Noncompliance with this chapter shall be deemed a violation. When the sign administrator finds violations of the provisions of this chapter, the administrator shall document such findings and take the appropriate action to correct said violations. A citation to municipal court may be issued to the owner, agent, or employee for violations of this chapter.
- (b) *Separate offense.* Each day a violation continues shall be considered a separate offense. The owner or tenant of any building, sign, premises, or sign thereon, and any architect, builder, contractor, agent, or other person who commits, or participates in, assists in, or maintains any violation hereunder may be found responsible for a separate offense. Nothing herein contained shall prevent the town from taking such lawful action as is necessary to prevent or remedy any violation of this article.

Section 109-9. Appeals.

- (a) The Town Board of Zoning Appeals shall have the following responsibilities:
- (1) *Interpretations/General Appeals.* To hear and decide appeals where it is alleged by the appellant that there is an error in any order, requirement, permit, decision, or refusal made by the sign administrator and/or the Visual Resources Review Board in the carrying out or enforcement of any provision of this chapter, and
 - (2) *Variances.* To authorize, upon an appeal relating to said property, a variance from such strict application so as to relieve such difficulties or hardship.

Variances shall not be granted to allow a larger sign or a sign which is otherwise not permitted in this chapter. Variances shall be granted only whereby special physical characteristics of the lot, parcel, or tract exist, that the strict application of the provisions of this chapter would deprive the applicant of an otherwise permitted sign.

(b) Appeals procedure.

- (1) *Denial required.* After a written denial of a sign permit from the sign administrator, a party may make an application for an interpretation or a variance.
- (2) *General application requirements and fees.* The application shall be submitted to the Town in accordance with the deadlines established by the Town for the meeting at which the application is to be considered by the Board of Zoning Appeals. The required fee associated with the application is per the schedule approved by the Town Board of Mayor and Aldermen. The Board of Zoning Appeals shall consider and decide all appeals within 30 days of first hearing the appeal, and
- (3) *Minutes.* The minutes of the Board of Zoning Appeals shall fully set forth such circumstances or conditions warranting the granting of a variance.

Section 109-10. Legal nonconforming signs.

- (a) *Definition.* Existing signs which were legally in existence prior to the adoption of the ordinance from which this chapter is derived which do not conform to the specific provisions of this article are declared legal nonconforming signs.
- (b) *Continuance.* Any legal nonconforming sign may be continued in operation and maintenance after the effective date of the ordinance from which this chapter is derived, provided:
 - (1) The sign is not relocated or replaced.
 - (2) The structure or size of the sign is not altered in any way except toward compliance with this chapter.
 - (3) No new or additional signs are added to the premises, and
 - (4) Other than changing the text of changeable copy signs or normal maintenance, no other existing permanent signs are changed or replaced on the premises.
- (c) *Maintenance/damage/deterioration.* A legal nonconforming sign is subject to all requirements of this chapter regarding safety, maintenance, and repair. However, if the sign suffers more than 50 percent damage or deterioration, as based on a certified appraisal, it must be brought into conformance with this chapter or removed.

Section 109-11. General restrictions.

(a) All signs erected, replaced, reconstructed, expanded, or relocated on any property within the Town shall conform with the provisions of this section.

(1) *Signs not requiring permits.* The following types of signs are exempted from permit requirements but must be in conformance with all other requirements of this chapter:

- a. Signs authorized in accordance with the Manual of Uniform Traffic Control Devices (MUTCD), as amended.
- b. Signs placed by or on behalf of a governmental entity.
- c. Street or address identification numbers/letters as stipulated in the adopted building and/or fire code.
- d. Permanent parcel signs.
- e. Signs, as provided for in TCA, Title 2, Chapter 7, Section 143. Tennessee Freedom of Speech Act.
- f. Temporary signs of any kind, unless a permitting process is specifically required in association with specific events, programs, or community objectives promoted by the Town of Farragut.
- g. Flags, and
- h. Window signs.

(2) *Prohibited signs.* The following types of signs are prohibited within the Town:

- a. Abandoned or dilapidated signs, which shall be removed by the property owner or responsible entity.
- b. Any sign placed on public property or right-of-way without the written consent of the public authority having jurisdiction over the property.
- c. Any sign which bears or contains statements, or words of an obscene, pornographic, or immoral character, as defined by the United States Supreme Court.
- d. Any signs with flashing, chasing, pulsating, twinkling, dancing, scintillating, and/or oscillating lights or any other rotating, revolving, or otherwise moving part or the appearance of moving parts or motion. This includes individuals holding signs not otherwise provided for in accordance with the United States Constitution.
- e. Off-premises signs, unless required by and in accordance with the MUTCD or placed by or authorized on behalf of or by a governmental entity.
- f. Off-premises outdoor advertising (billboards).
- g. Banners, feather flags, pennants, ribbons, festoons, buntings, streamers, spinners, balloons, or other types of lighter-than-air or wind-activated signs and attention getting devices.
- h. Bollard covers, tire stack covers, and similar signs.
- i. Portable signs that do not comply with the location, size, or use restrictions of this chapter.

- j. Search lights.
- k. Signs attached to, suspended from, or painted on any vehicle or similar mobile structure which is regularly parked or situated on any street, parking lot, or private property when one of the purposes of so locating such vehicle or similar mobile structure is to display, demonstrate, advertise, or attract the attention of the public.
- l. Signs imitating or resembling official traffic or government signs or signals.
- m. Roof signs, or signs extending beyond the main roof line, provided that signs may be mounted on an architectural feature extending beyond the roof line if such feature is fully enclosed and considered an integral part of the occupied space, such as an atrium or high ceiling.
- n. Snipe signs, and
- o. All other signs not specifically permitted or that are not a lawful nonconforming sign.

(3) *Criteria in determining sign area.*

- a. Ground Mounted and Other Non-Wall Mounted Signs.
 - (1) The sign area for all ground mounted (and other non-wall mounted) signs shall include and encompass the entire sign face, framing, trim, and associated moldings. The area shall not include the supporting sign structure.
 - (2) For a sign with two parallel faces, only the area of a single face shall be considered. If the faces of a sign are not parallel, then the total sign area shall be the sum of the areas of the individual, non-parallel faces.
 - (3) Where a ground mounted sign is mounted on a larger ornamental wall structure, such as on a subdivision entrance wall feature, its area shall be measured in the same fashion as a wall mounted sign (see part b. below).
- b. Wall Mounted Signs.
 - (1) For cabinet type/style signs, the sign area shall include the external perimeter of the entire cabinet measured to include all sign elements, including any internal spaces where such sign includes cut-out areas.
 - (2) For signs that include channel letters and/or other individual elements (letters, logos, etc.) mounted on raceways or directly on a wall, the sign area shall be measured by drawing an imaginary single, regular geometric shape of a rectangle, circle, or equilateral triangle around and encompassing all sign elements. The text and other graphics (sign elements) do not have to be physically, visually, or topically related, or physically connected to be included in the measured area.
 - (3) For window signs, the sign area shall be calculated separately for each window sign and, for each sign, shall include all background, framing, or other supporting material that forms the physical extent of the sign.

- (4) *Criteria in determining sign height for ground-mounted signs.* Unless provided for otherwise in this chapter, the sign height shall be measured by the vertical dimension from the ground level at the base of the sign, including the supporting structure, to the top most point of the sign and/or its associated framing/support, exclusive of the additional 18 inches permitted to accommodate address numbers. Unless otherwise specified in this chapter, if the ground level at the base of the sign is lower than the adjacent street grade, the height shall be computed from the adjacent street grade, excluding elevated bridges or interchanges.
- (5) *Criteria in determining setback for ground-mounted and pole signs.* The setback shall be measured from the farthest most protrusion of the sign to the nearest point of a property line. All signs shall be located outside of the visibility triangle. For the purposes of this article, the interstate highway right-of-way shall be considered a side or rear lot line.
- (6) *Construction specifications.* All signs shall be installed in compliance with all building and fire codes adopted by the Town. All electrical service to ground-mounted and pole signs shall be under ground. Any lighting of signs shall be installed to prevent any glare upon adjoining properties or rights-of-way.
- (7) *Sign maintenance and removal.*
 - a. All signs shall be properly maintained. Exposed surfaces shall be clean and painted if paint is required. Defective parts shall be replaced. The sign administrator shall have the right to order the repair or removal of any sign which is defective, damaged, or substantially deteriorated.
 - b. When any sign is removed, all structural components shall be removed with the sign and such removal shall be in compliance with all building and fire codes adopted by the Town. All structural components of ground-mounted and pole signs shall be removed to ground level. The structural components of all other signs, including painted wall signs, shall be removed back to the original building configuration. All visual remains of the sign shall be removed.

Section 109-12. Sign regulations by land use and/or zoning districts.

All signs shall comply with the following regulations. Any sign that is not specifically permitted shall be prohibited.

- (a) *Signs permitted in all zoning districts.* The following signs are permitted in all zoning districts subject to compliance with all applicable provisions of this chapter or other applicable Town regulations, standards, or requirements:
 - (1) Flags.
 - (2) Signs authorized in accordance with the Manual of Uniform Traffic Control Devices (MUTCD), as amended.

- (3) Signs, as provided for in TCA, Title 2, Chapter 7, Section 143. Tennessee Freedom of Speech Act.
- (4) Signs placed by or on behalf of a governmental entity.
- (5) Street or address identification numbers/letters as stipulated in the adopted building and/or fire code.
- (6) Temporary parcel sign, and
- (7) Temporary signs specifically authorized by the Town to promote specific events, programs, or community objectives.

(b) *Signs permitted on land for residential uses.* The following signs are permitted on land used for residential purposes. Recreational facilities developed as part of a residential development shall also follow these regulations:

- (1) *Permanent ground mounted subdivision sign.* Once a preliminary plat or a site plan has been approved in relation to a subdivision, a permanent ground mounted subdivision sign shall be permitted as follows:
 - a. *Sign area.* A subdivision is permitted a total of 40 square feet per single-family or multi-family development entrance, with either one ground-mounted sign not to exceed 40 square feet or two ground mounted signs not to exceed 20 square feet each.
 - b. *Sign placement.* Such signs and the structures/walls on which they are affixed shall be out of any platted drainage or utility easements and shall be set back a minimum of ten feet from any front property line(s) and five feet from any side or rear property line. Such signs and the structures/walls on which they are affixed shall be located on either a platted open space lot or within a platted sign easement. Any signs or structures proposed within the public right of way as part of a streetscape plan submittal, shall be recommended for approval by the Planning Commission and Visual Resources Review Board before being presented to the Board of Mayor and Aldermen for approval.
 - c. *Sign height.* Permanent freestanding subdivision signs, excluding the supporting structure, shall not exceed six feet in height.
 - d. *Sign illumination.* If such sign or its supporting structures are to be illuminated, external illumination shall be used and such illumination shall be directed only onto the sign face. Each individual light fixture shall not exceed 850 lumens per fixture and shall be shielded so that no glare is created, and
 - e. *Sign landscaping.* Each sign shall be landscaped with at least six shrubs that are a minimum of 12 inches in height and/or an evenly distributed area of seasonal or perennial flowers with such area being not less than 50 square feet. All qualifying landscaping shall be within seven feet of the sign base.

- (2) *Temporary freestanding subdivision entrance sign.* One hard surface (minimum of one inch in thickness) non-illuminated temporary sign is permitted per public street entrance into a new subdivision development, provided the following criteria are met:
- The sign shall not exceed 32 square feet.
 - The sign shall not exceed ten feet in overall height.
 - The sign shall be set back a minimum of 20 feet from the back of street curb.
 - The sign shall not be erected until a preliminary plat or site plan has been approved, and
 - The sign shall be removed within 15 days of the installation of the permanent freestanding subdivision sign.
- (3) *Temporary freestanding subdivision sign.* One hard surface (minimum of one inch in thickness) non-illuminated temporary sign is permitted per new subdivision development provided the following criteria are met:
- The sign shall not exceed 32 square feet.
 - The sign shall not exceed ten feet in overall height.
 - The sign shall be set back a minimum of 20 feet from the back of street curb.
 - The sign shall not be erected until a preliminary plat or site plan has been approved, and
 - The sign shall be removed when at least 75% of the units/lots within the development, as based on the approved preliminary plat, have received Certificates of Occupancy.
- (4) *Permanent parcel sign.* Each individual house lot shall be permitted one non-illuminated permanent wall mounted sign not to exceed two square feet.
- (5) *Temporary parcel sign.* Each individual house lot shall be permitted one temporary parcel sign not to exceed six square feet in area and six feet in overall height. This may include a sign where the owner consents and the property is being offered for sale or lease. A temporary parcel sign shall be removed within two days of the termination of the event/activity for which the sign was used. Where the termination of an event/activity is questioned by the sign administrator, the burden shall be on the sign holder to verify that the event/activity has not terminated.
- (6) *Flag.* Each single-family house lot with an occupied dwelling unit shall be permitted one freestanding flagpole not to exceed 25 feet in height with up to two flags not to exceed 15 square feet each being permitted on such pole. The flagpole shall meet the setbacks that apply to the principal building (the dwelling unit).

In lieu of a freestanding flagpole, one house mounted flagpole shall be permitted provided the pole does not exceed six feet in length and the flag does not exceed 15 square feet.

- (7) *Subdivision exit sign.* One non-illuminated ground-mounted sign not to exceed six square feet in size and four feet in height shall be permitted per single-family or multi-family development entrance. Such sign shall be placed at the rear of the permanent subdivision sign so that it is only visible to vehicles exiting the development.

Where a single-family or multi-family development does not have a permanent subdivision sign at its egress point or because of the setback or angle of the permanent subdivision sign is such that the message area would not be readable; one non-illuminated single-faced freestanding homeowner association notification sign shall be permitted per egress point. Such freestanding sign shall be set back a minimum of five feet from all property lines and shall be located on property which is part of the subdivision and which is zoned the same as the subdivision.

Where such sign is proposed on property which is not owned by the homeowners' association, an appropriate easement shall be recorded as a condition for approval of the sign. Such signs shall be landscaped per this chapter and the sign face shall be oriented so that it is only visible to vehicles exiting the development. The back of the sign face shall be constructed of material which is non-reflective and the sign shall be generally compatible with other entrance features in the immediate area.

- (c) *Signs permitted for developments being used for single-use non-residential purposes, including freestanding churches and schools, are as follows:*

- (1) *Primary permanent ground mounted sign.* Unless provided for otherwise in this chapter, one primary permanent ground mounted sign shall be permitted provided the following criteria are met:
- a. *Sign area and setback determination.* The sign area is based on its setback from the front property line. The minimum setback from a front property line is ten feet with the maximum permitted sign face area being 20 square feet. For each additional foot that the sign is set back from the ten-foot minimum, the sign face area may be increased by two square feet with the maximum sign face area being 40 square feet at a 20-foot setback. Sign structures shall also be outside of any platted easements and at least ten feet from any side or rear property line.
 - b. *Corner lot.* If a property accesses two different public streets, a primary permanent ground mounted sign shall be permitted for each street provided

- the signs are at least 150 feet apart, as measured from a straight line connecting the closest points of each sign structure. Each sign shall face, in a perpendicular manner, the nearest public street from which the access is provided.
- c. *Signs on same frontage.* If a property fronts the same public street for at least 400 feet, a second primary permanent ground-mounted sign shall be permitted along such frontage provided the structure of such sign is at least 350 feet from the structure of the other sign permitted along the same frontage.
 - d. *Height and addressing.* Unless otherwise provided for in Section 109-11. (4), the maximum height of a primary permanent ground-mounted sign is six feet. An additional 18 inches of overall sign height is permitted to enclose or otherwise provide for address numbers. Address numbers shall be at the top of the sign and shall be eight inches in number height. Where a property abuts two public streets and has a sign facing each street, the address numbers shall be required on the sign that is perpendicular to the street with the assigned address.
 - e. *Landscaping.* Each sign shall be landscaped with at least six shrubs that are a minimum of 12 inches in height and/or an evenly distributed area of seasonal or perennial flowers with such area being not less than 50 square feet. All qualifying landscaping shall be within seven feet of the sign base. Ground-mounted sign placement and site landscaping shall be coordinated to the greatest extent possible as part of the site plan and landscape plan review processes. Landscaping proposed around a ground mounted sign shall also be specifically evaluated in terms of ensuring that the copy on a sign face is not obstructed.
 - f. *Illumination.* If external illumination is used, such illumination shall be directed only onto the sign face and shall be shielded so that no glare is created. Each individual light fixture shall not exceed 850 lumens per fixture, and
 - g. *Sign base and architectural compatibility.* Each primary permanent ground mounted sign, regardless of permitted height and sign face area, shall have a minimum two-foot above grade base below the sign face. The sign base shall be solid with no exposed poles. The base and other elements of the support structure of the sign shall be constructed of material that is compatible with the primary exterior material(s) used on the principal building(s).
- (2) *Temporary parcel sign.* Unless provided for otherwise in this chapter, one temporary parcel sign shall be permitted for the development provided the following criteria are met:
- a. Such sign does not exceed 20 square feet in area and six feet in overall height and is placed at least 20 feet from the back of the public street curb

or edge of street where curbing is not provided. Temporary parcel signs shall be a minimum of ten millimeters (.39 inches) in thickness and supported by metal t-posts. Banners, pennants, streamers, and similar flexible or wind activated signs shall not be permitted.

- b. A temporary parcel sign shall be permitted for no more than 40 calendar days per year with such time tracked through a temporary sign permitting process. During any period when a parcel is offered for sale or property within the parcel is offered for lease, one additional temporary parcel sign shall be permitted on the parcel. Such additional sign shall not be subject to the 40-day limitation but shall be subject to all other physical requirements associated with temporary parcel signs and shall be removed within two days of the termination of the event/activity for which the sign was used. Where the termination of an event/activity is questioned by the sign administrator, the burden shall be on the sign holder to verify that the event/activity has not terminated.

(3) *Primary permanent wall mounted sign.* Unless provided for otherwise in this chapter, each principle building shall be permitted one wall mounted sign which may be installed on any single building elevation subject to the following criteria:

- a. *Sign area.* The sign area, unless provided for otherwise in this chapter, shall be based on the width of the building wall (same horizontal plane) on which the sign is to be mounted with one square foot of sign area being permitted for each one linear foot of building width, as measured from exterior wall edge to exterior wall edge. Such signs shall not exceed 350 square feet, unless provided for otherwise in this chapter.
- b. *Corner lot.* Where a principle building directly faces more than one public street or public access easement that provides access to the property, one wall mounted sign shall be permitted for up to two frontages. One of the permitted signs shall be limited to .75 square feet of sign area for each one (1) linear foot of building wall on which the sign is to be mounted.
- c. *Buildings exceeding 300 linear feet of wall length.* If a building has more than 300 linear feet of wall length, there shall be a maximum of one sign per principal building entrance. Such signs shall be located within the entrance vicinity. One additional sign may be located anywhere on the building wall. All such signs shall be spaced a minimum of 50 feet apart. Each sign shall be calculated separately with the total sign area of all signs combined not exceeding a ratio of one square foot of sign area for each one linear foot of building wall on which the sign is to be mounted. No individual sign shall exceed 350 square feet. Such signage shall be limited to one wall.

- d. *Developments with no paved surfaces in front yard.* If a building has no paved surfaces located in the front yard between the building and the street, one wall mounted sign shall be permitted on the side of the building which fronts upon a public street(s) and one wall mounted sign shall be permitted on the side of the building which faces upon a customer parking area. One of the permitted signs shall be limited to .75 square feet of sign area for each one linear foot of building wall on which the sign is to be mounted. In the case of a corner lot, the owner is permitted a total of two wall mounted signs. The owner may choose between placing the sign on any two of the three qualifying elevations. One of the two permitted signs shall be limited to .75 square feet of sign area for each one linear foot of building wall on which the sign is to be mounted.
 - e. *Developments abutting the Interstate.* Within the C-2, Regional Commercial District, one wall mounted sign shall be permitted on the building elevation that faces the interstate, provided such elevation is at least 100 linear feet in length. Such building elevation is permitted one square foot of sign area for each one linear foot of building wall on which the sign is to be mounted not to exceed 350 square feet, and
 - f. *Compatibility.* All wall signs shall be architecturally compatible with the principal building and shall be consistent in terms of sign material, general color, mounting style, and illumination with the other signs on the same building.
- (4) *Interior accessory freestanding sign.* For each public street or public access easement that provides direct access to the property, one interior accessory freestanding sign shall be permitted provided the following criteria are met:
- a. Such sign shall not exceed six square feet in sign area and four feet in overall height.
 - b. Such sign shall be at least 60 feet from any property line.
 - c. Such sign shall be at least five feet from any parking lot or accessway curb.
 - d. Such sign shall not create a visibility obstruction, and
 - e. Such sign shall have a base constructed of material that is compatible with the primary exterior material used on the principal building(s).
- (5) *Peripheral accessory freestanding sign.* For each public street or public access easement that provides direct access to the property, one peripheral accessory freestanding sign shall be permitted provided the following criteria are met:
- a. Such sign shall not exceed two square feet in sign area and 30 inches in overall height.

- b. Such sign shall have a base that is architecturally compatible with the building it is associated with, and
- c. Such sign shall be at least 15 feet from the back of the public street/access easement curb and at least five feet from any parking lot or accessway curb.

(6) *Window sign.* On each first-floor building elevation, window signage shall be permitted provided the following criteria are met:

- a. Window signage shall not exceed 25% of the total window area of a building elevation or 20 square feet (as measured by the cumulative total of all window signs on the same building elevation), whichever is less, and
- b. Up to six square feet of window signage may be internally illuminated but shall not have any moving, blinking, or flashing message.

(7) *Freestanding building frontage sign.* Along one building elevation, one non-illuminated freestanding building frontage sign shall be permitted, provided the following criteria are met:

- a. Such sign shall be placed within 10 feet of the building.
- b. Such sign shall not obstruct pedestrian facilities.
- c. Such sign shall not interfere with or cause the removal of landscaping.
- d. Such sign shall not exceed six square feet in sign area and four feet in overall height.
- e. Such sign shall only be readable by pedestrians at the building frontage of the development.
- f. Such sign shall be removed during non-business hours, and
- g. Such sign shall be of a solid (non-flexible) material, such as a sandwich board sign. Banners, pennants, streamers and similar flexible or wind activated signs shall not be permitted.

(8) *Interstate/interchange pole sign.* Establishments located within the C-2 Regional Commercial District shall be permitted one internally illuminated interchange pole sign, subject to the following criteria:

- a. The existing lot of record (at the time of this ordinance adoption) for the establishment shall be located within 200 feet of the right of way of the Campbell Station Road/I40 Interchange.
- b. Such sign shall not exceed 400 square feet.
- c. Such sign shall be set back a minimum of 20 feet from the front property line and ten feet from the side and rear property lines.
- d. Such sign shall have a maximum of two sides provided both sides cannot be seen simultaneously from any point, and

- e. The maximum height for such sign relative to mean sea level shall be 1,030 feet or 60 feet above the centerline elevation of the interstate road at the point nearest the sign, whichever is less. A certified survey which verifies the sign height shall be submitted to the sign administrator within ten days after the sign is installed.

(9) *Athletic fields.* Athletic field signage on non-government property shall not be visible from public rights of ways and adjacent properties.

- (10) *Flag.* Two flags shall be permitted on one freestanding flagpole per 400 feet of property frontage on a public street. Such flags shall not individually exceed 25 square feet in size and 25 feet in mounted height. Flag poles shall meet the setback requirements for principal buildings in the corresponding zoning district.

In lieu of a freestanding flagpole, one building mounted flagpole shall be permitted on the principal building provided the pole does not exceed six feet in length and the flag does not exceed 15 square feet.

- (d) *Signs permitted on land for multiple use buildings or multiple building complexes for commercial purposes, offices, or government facilities.* The following signs are permitted on land used for multiple use buildings (including schools and churches with multiple buildings) used for commercial purposes, offices, or government facilities or land used for multiple building complexes used for commercial purposes, offices, or government facilities:

- (1) *Primary permanent ground mounted sign.* Unless provided for otherwise in this chapter, one primary permanent ground mounted sign is permitted provided the following criteria are met:

- a. *Sign area and setback determination.* The sign area is based on its setback from the front property line. Signs with only one entity represented on the sign face shall be subject to the provisions for primary permanent ground mounted signs that govern freestanding establishments in Section 109-12 (c)(1).

- i. Where a building has more than one tenant and more than one entity represented on the sign face, the minimum setback from a front property line is ten feet with the maximum permitted sign face area being 20 square feet. Beyond this minimum, for each additional one foot the sign is set back from the ten foot minimum setback, the sign face area may be increased by four square feet up to a maximum permitted sign face area of 60 square feet at the 20 foot setback from the front property line.

- ii. Where a development fronts the same public street for at least 400 feet, the above provided 60 square foot sign may be substituted with two smaller signs along this 400 feet of street frontage. Each smaller sign shall not exceed 40 square feet and shall be at least 150 feet apart, as measured from a straight line connecting the closest points of each sign structure. Such signs shall be set back a minimum of 15 feet from the front property line. This sign option shall be permitted for each 60 square foot sign that would otherwise qualify for the property based on its public street frontage.
 - iii. In addition to the setback from the front property line, all primary permanent ground-mounted signs and the structures on which they are mounted shall be placed outside of any platted easements and set back at least ten feet from any side or rear property line.
 - iv. An applicant may use the allocated sign face area to distribute tenant listings in any manner desired, provided the sign administrator and the Visual Resources Review Board approve the arrangement in terms of its legibility, compatibility, and general appearance. As a general guide, the outer dimension of an individual tenant panel should be at least eight inches in height to provide for the space necessary to improve legibility.
- b. *Corner lot.* If a property accesses two different public streets, a primary permanent ground mounted sign shall be permitted for each street provided the signs are at least 150 feet apart, as measured from a straight line connecting the closest points of each sign structure. Each sign shall face, in a perpendicular manner, the nearest public street from which the access is provided.
 - c. *Signs on same frontage.* If a property fronts the same public street for at least 400 feet, a second primary permanent ground-mounted sign shall be permitted along such frontage, provided the structure of such sign is at least 350 feet from the structure of the other sign permitted along the same frontage.
 - i. Should a development qualify, as provided for in Subsection a. ii., above, for two smaller primary permanent ground-mounted signs in lieu of one larger 60 square foot primary permanent ground-mounted sign, each 400 feet of public street frontage may have two smaller signs, provided these smaller signs are at least 150 feet apart. Should an owner with the qualifying frontage mix a 60 square foot sign with two smaller 40 square foot signs, the sign nearest the 60 square foot sign shall be at least 350 feet from such sign.

- d. *Height Determination.* Permitted sign height is based on the setback from the front property line. Unless otherwise provided for in Section 109-11. (4), where the sign is set back the minimum of ten feet from the front property line, the maximum permitted height shall be six feet. Beyond this point, a sign with more than one tenant shall be permitted two inches of increased allowable sign height for each additional one foot of setback from the front property line up to a maximum of 7.66 feet (92 inches) in overall height (exclusive of addressing) at a 20-foot setback from the front property line.
 - e. *Addressing.* An additional 18 inches of overall sign height is permitted to enclose or otherwise provide for address numbers. Address numbers shall be at the top of the sign and shall be eight inches in number height. Where a property abuts two public streets and has a sign facing each street, the address numbers shall be required on the sign that is perpendicular to the street with the assigned address.
 - f. *Landscaping.* Each sign shall be landscaped with at least six shrubs that are a minimum of 12 inches in height and/or an evenly distributed area of seasonal or perennial flowers with such area being not less than 50 square feet. All qualifying landscaping shall be within seven feet of the sign base. The placement of landscaping should be evaluated as part of the sign permit review process to ensure that selected landscaping will not block the sign message.
 - g. *Illumination.* If external illumination is used, such illumination shall be directed only onto the sign face and shall be shielded so that no glare is created. Each individual light fixture shall not exceed 850 lumens per fixture.
 - h. *Sign base and architectural compatibility.* Each primary permanent ground mounted sign, regardless of permitted height and sign face area, shall have a minimum two-foot above grade base below the sign face. The sign base shall be solid with no exposed poles. The base and other elements of the support structure of the sign shall be constructed of material that is compatible with the primary exterior material(s) used on the principal building(s), and
 - i. *Legibility.* All written and numerical information included on a multiple tenant permanent ground mounted sign shall be legible for a person driving the posted speed limit on the corresponding street. Individual letters or figures used within a logo or emblem are not required to be legible. However, the logo or emblem, as a whole, must be legible. The background color shall be consistent on all tenant panels so that the sign in its entirety has a general cohesion and no single tenant panel appears out of place.
- (2) *Temporary parcel sign.* Unless provided for otherwise in this chapter, each tenant is permitted one temporary parcel sign provided the following criteria are met:

- a. Such sign does not exceed 20 square feet in area and six feet in overall height and is placed at least 20 feet from the back of the public street curb or edge of street where curbing is not provided. Temporary parcel signs shall be a minimum of ten millimeters (.39 inches) in thickness and supported by metal t-posts. Banners, pennants, streamers, and similar flexible or wind activated signs shall not be permitted.
- b. A temporary parcel sign shall be permitted for no more than 40 calendar days per year with such time tracked through a temporary sign permitting process. During any period when a parcel is offered for sale or property within the parcel is offered for lease, one additional temporary parcel sign shall be permitted for the entire development (not each tenant). Window signage may be used for individual tenant spaces for lease. Such additional sign shall not be subject to the 40-day limitation but shall be subject to all other physical requirements associated with temporary parcel signs and shall be removed within two days of the termination of the event/activity for which the sign was used. Where the termination of an event/activity is questioned by the sign administrator, the burden shall be on the sign holder to verify that the event/activity has not terminated.

(3) *Primary permanent wall mounted sign.* Unless provided for otherwise in this chapter, each separate use within a building which has its own separate and exclusive exterior public entrance to the building shall be permitted one wall mounted sign provided the following criteria are met:

- a. *Sign area.* The sign area shall be based on the width of the tenant space on the exterior building wall (same horizontal plane) on which the sign is to be mounted with one square foot of sign area being permitted for each one linear foot of tenant space width as measured from the centers of the exterior wall where the tenant separations occur. If a tenant is on the end of the building, the recognized tenant space would terminate at the end of the building. Such signs shall not exceed 350 square feet, unless provided for otherwise in this chapter. Such wall mounted sign shall be limited to the side of a building which fronts upon a public street/public access easement, faces upon a customer parking area, faces upon a pedestrian mall, or is the point of the principal public access into the establishment.
- b. *Corner lot.* Where a tenant directly faces more than one public street or public access easement that provides access to the property, one wall mounted sign shall be permitted for up to two frontages. One of the permitted signs shall be limited to .75 square feet of sign area for each one linear foot of building wall on which the sign is to be mounted.
- c. *Tenant space exceeding 300 linear feet.* If an individual tenant has more than 300 linear feet of building wall of lease space, there shall be a maximum of one sign per principal building entrance. Such signs shall be

located within the entrance vicinity. One additional sign may be located anywhere on the building wall. All such signs shall be spaced a minimum of 50 feet apart. Each sign shall be calculated separately with the total sign area of all signs combined not exceeding a ratio of one square foot of sign area for each one linear foot of building wall on which the sign is to be mounted. No individual sign shall exceed 350 square feet. Such signage shall be limited to one wall.

- d. *Development with no paved surfaces in front yard.* If a building has no paved surfaces located in the front yard between the building and the street, an individual tenant space which is located in the building and fronts upon a public street and faces upon a customer parking area shall be permitted one wall mounted sign on the side of the building which fronts upon a public street(s) and one wall mounted sign on the side of the building which faces upon a customer parking area. One of the permitted signs shall be limited to .75 square feet of sign area for each one linear foot of building wall on which the sign is to be mounted.

In the case of a corner lot, the owner is permitted a total of two wall mounted signs. The owner may choose between placing the sign on any two of the three qualifying elevations. One of the two permitted signs shall be limited to .75 square feet of sign area for each one linear foot of building wall on which the sign is to be mounted.

- e. *Shared entrance building.* With the exception of the O-1-3 and O-1-5 Zoning Districts, a building with multiple uses that all share the public exterior entrances into the building shall be allowed to distribute wall mounted signage from an overall square footage determined by applying one square foot of sign area for each linear foot of building wall on which the sign(s) is(are) to be mounted. Such signs may be calculated separately provided the cumulative total square footage of all signs does not exceed the overall square footage permitted. Such signs shall be limited to the side of the building which fronts a public street or faces upon a customer parking area and shall be compatible in terms of sign material, general color, mounting style, and illumination;
- f. *Pedestrian mall.* In the case where a building has a pedestrian mall, the property owner may opt for a different wall signage alternative. When a wall has a pedestrian mall access, each separate use which faces upon such wall shall be permitted one wall sign not to exceed 25 square feet. In addition, each separate use which faces upon the pedestrian mall shall be permitted one wall sign not to exceed 25 square feet with the total signage for mall uses not to exceed 100 square feet. In no case shall a use have more than one sign. Such signs shall be placed on the wall that has the pedestrian mall access and which fronts upon a public street or faces upon a customer

parking area. The maximum sign area allowed on such wall shall be one square foot per linear foot of building wall length;

- g. *Development abutting the interstate.* Within the C-2, Regional Commercial District, one wall mounted sign shall be permitted on the building elevation that faces the interstate, provided the individual tenant space has at least 100 linear feet of building wall abutting the interstate. Such building elevation is permitted one square foot of sign area for each one linear foot of building wall on which the sign is to be mounted not to exceed 350 square feet; and
- h. *Compatibility.* Wall mounted signage within a multiple tenant development shall be compatible in terms of sign material, general color, mounting style, and illumination. Where a center has an existing mixture of different types of signs, the property owner shall submit to the sign administrator and the VRRB a plan for ensuring compatibility as individual tenant signs transition. The objective is that over time the center will have wall mounted signs that are compatible with each other.

(4) *Interior accessory freestanding sign.* For each public street or public access easement that provides direct access to the property, one interior accessory freestanding sign shall be permitted, provided the following criteria are met:

- a. Such sign shall not exceed 12 square feet in sign area and six feet in overall height.
- b. Such sign shall be at least 60 feet from any property line.
- c. Such sign shall be at least five feet from any parking lot or accessway curb.
- d. Such sign shall not create a visibility obstruction, and
- e. Such sign shall have a base constructed of material that is compatible with the primary exterior material used on the principal building(s).

(5) *Peripheral accessory freestanding sign.* For each public street or public access easement that provides direct access to the property, one peripheral accessory freestanding sign shall be permitted provided the following criteria are met:

- a. Such sign shall not exceed two square feet in sign area and 30 inches in overall height.
- b. Such sign shall have a base that is architecturally compatible with the building it is associated with, and
- c. Such sign shall be at least 15 feet from the back of the public street/access easement curb and at least five feet from any parking lot or accessway curb.

- (6) *Window sign.* On each first-floor building elevation, window signage shall be permitted provided the following criteria are met:
- a. Window signage shall not exceed 25% of the total window area of an individual tenant or 20 square feet (as measured by the cumulative total of all window signs on the same lease space elevation), whichever is less, and
 - b. Up to six square feet of window signage may be internally illuminated but shall not have any moving, blinking, or flashing message.
- (7) *Freestanding building frontage sign – Mixed-Use Town Center and Mixed-Use Neighborhood.* Due to its emphasis on the pedestrian, within the Mixed-Use Town Center and Mixed-Use Neighborhood land use areas, each tenant within a multiple tenant development shall be permitted one non-illuminated freestanding building frontage pedestrian-oriented sign, provided the following criteria are met:
- a. Such sign shall be placed within ten feet of the building.
 - b. Such sign shall not obstruct pedestrian facilities and shall only be permitted where the sidewalk along a frontage is at least eight feet in width.
 - c. Such sign shall not interfere with or cause the removal of landscaping.
 - d. Such sign shall not exceed six square feet in sign area and four feet in overall height.
 - e. Such sign shall only be readable by pedestrians at the multiple tenant development.
 - f. Such sign shall be removed during non-business hours, and
 - g. Such sign shall be of a solid (non-flexible) material, such as a sandwich board sign. Banners, pennants, streamers and similar flexible or wind activated signs shall not be permitted.
- (8) *Projecting sign – Mixed-Use Town Center and Mixed-Use Neighborhood.* Due to its emphasis on the pedestrian, within the Mixed-Use Town Center and Mixed-Use Neighborhood land use areas, an individual tenant may be permitted one non-illuminated projecting sign near the principal entrance not to exceed four square feet in size. Such sign shall comply with adopted building code clearance requirements and shall be hung perpendicular to the building.
- (9) *Under canopy sign.* When the roof of a building is extended as a canopy over the public entrances in the building, one non-illuminated sign per principal entrance shall be permitted. Such signs shall not exceed four square feet in size, shall comply with adopted building code clearance requirements, and shall be hung perpendicular to the building.

- (10) *Athletic fields.* Athletic field signage on non-government property shall not be visible from public rights of ways and adjacent properties.
- (11) *Flag.* Two flags shall be permitted on one freestanding flagpole per 400 feet of property frontage on a public street. Such flags shall not individually exceed 25 square feet in size and 25 feet in mounted height. Flag poles shall meet the setback requirements for principal buildings in the corresponding zoning district.

In lieu of a freestanding flagpole, one building mounted flagpole shall be permitted on the principal building provided the pole does not exceed six feet in length and the flag does not exceed 15 square feet.

- (e) *Wall signs in the Office District, Three Stories (O-1-3) and Office District, Five Stories (O-1-5); shared entrance building.*

- (1) A building with multiple uses that all share the public exterior entrances into the building and that has more than 225 feet of building wall facing a public street shall be permitted four wall signs. Each sign shall be roughly proportional in size and general appearance. Such signs may be calculated separately provided the cumulative total square footage of all four signs shall not exceed one square foot of sign area for each linear foot of building wall which faces a public street. The cumulative square footage of all four wall signs shall not exceed 350 square feet. Such wall signs shall be limited to two on the side of a building which fronts upon a public street and shall be a minimum of 50 feet apart. Building elevations that do not face a public street shall be limited to one wall sign per elevation and shall be centered on said elevation, and
- (2) All such wall signs shall be architecturally compatible with the principal structure and shall be consistent in terms of style, color, and illumination with the other signs in the complex. All wall signage shall be limited to two colors on all building elevations.

- (f) *Signs permitted on land for banks and other lending institutions.* In addition to the applicable regulations above, the following additional signs are permitted on land used for banks and other lending institutions:

- (1) *Automatic teller machines.* One sign which shall not exceed two square feet in sign area, and which is posted at the machine. One sign, which shall not exceed two square feet in sign area, and which is posted above the drive-thru lane on the overhead canopy, and
- (2) *Drive-thru teller lanes.* One sign which shall not exceed two square feet in sign area, and which is posted at the service window. One sign which shall not exceed two square feet in sign area per drive-thru lane, and which is posted above the lane on the overhead canopy.

(g) *Signs permitted on land for theaters.* In addition to the applicable regulations above, the following additional signs are permitted on land used for theaters:

- (1) *Marquee sign.* A marquee sign shall be limited to the side of the theater building with the principal public entrance. Such sign shall not exceed one square foot of sign area for each linear foot of building wall on which the sign is to be mounted, not to exceed 350 square feet, and
- (2) *Poster case signs.* One poster case sign is permitted per movie screen or stage, which shall each not exceed 16 square feet in sign area, including frames. Illumination shall be in such a manner as to light the poster for readability only. Poster case signs shall be used in lieu of any temporary window signs. Such signs shall be mounted on the building wall with the principal public entrance.

(h) *Signs permitted on land for other businesses with drive-thru windows.* In addition to the applicable regulations above, the following additional signs are permitted on land used for other businesses with drive-thru windows:

- (1) *Wall signs.* One sign per drive-thru lane which shall not exceed two square feet in sign area, and which shall be posted at the ordering point. One sign per drive-thru lane which shall not to exceed two square feet in sign area, and which shall be posted at the pick-up point, and
- (2) *Canopy signs.* One sign per drive-thru lane which shall not exceed two square feet in sign area, and which shall be posted above the lane on the overhead canopy.

(i) *Signs permitted on land for restaurants with drive-thru windows.* In addition to the applicable regulations above, the following additional signs are permitted on land used for restaurants with drive-thru windows:

Menu board signs (outside of the Mixed-Use Town Center land use area):

- (1) *Generally.* One sign per drive-thru lane which shall not exceed 30 square feet in sign area and six feet in overall height, and
- (2) *Order box signs.* One sign per drive-thru lane which shall not exceed one square foot in sign area and 30 inches in overall height.

(j) *Signs permitted for gasoline stations/convenience stores.* For the purposes of this chapter, gasoline service stations/convenience stores shall be considered single-use non-residential and such sign regulations shall apply. If such establishments also have a restaurant with a drive-thru window, such drive-thru window sign regulations shall apply. In addition to these signs, the following additional signs are permitted:

- (1) *Canopy signs.* Two signs which shall each not exceed nine square feet in sign area, and which shall be posted on two different sides of the canopy over the gas pumps.

- (2) *Gas pump signs.* Any number of signs calculated separately, and which shall not exceed a cumulative sign area of eight square feet per side of each gas pump island. Only one sign permit shall be required for all the gas pump islands on the site.
 - (3) *Car wash signs.* In addition to the wall signs permitted elsewhere in this chapter, one additional wall sign shall be permitted on the wall of the vehicle entrance at a car wash. Such wall sign shall be permitted one square foot of sign area for each linear foot of building wall on which the sign is to be mounted, and
 - (4) *Car wash order box signs.* One sign per car wash entrance which shall not exceed one square foot in sign area and 30 inches in overall height.
- (k) *Signs permitted on land for large medical campuses on tracts of land ten acres or larger.* For the purposes of this chapter, large medical campuses shall be considered multiple use/multiple building complexes. In addition to the applicable regulations provided for in association with multiple use/multiple building complexes, the following additional signs are permitted on land used for large medical campuses located on tracts of land larger than ten acres:
- (1) *Parking lot directory signs.* Parking lot directory signs shall be located at key decision-making locations within the parking lot in relation to building entrances. The physical layout of the campus shall determine the total number of signs needed. Such signs are not intended to be legible from adjacent streets and shall meet the following criteria:
 - a. Such signs shall be set back a minimum of 35 feet from side and rear property lines, 60 feet from front property lines, and five feet from the edge of driveway pavement.
 - b. The entire sign structure shall not exceed 30 square feet, the sign area of such signs shall not exceed 12 square feet, and the sign shall not exceed six feet in overall height.
 - c. At a single key decision making location within the parking lot, if one parking lot directory sign is not large enough to accommodate the essential directional information, two such signs may be placed side by side.
 - d. The letters and numbers on the signs shall not exceed five inches in height with each tenant/occupant listing to be limited to the same color, size, and shape, and
 - e. Such signs shall be architecturally compatible with the principal building.
 - (2) *Wall signs.*

With the exception of individual medical offices, each separate principal medical use within a building shall be allowed one wall sign. Such wall signs shall be limited to the side of a building which fronts upon a public street or faces upon a customer parking area. The permitted sign area shall be as provided for in this chapter.

Due to its unique safety related characteristics, an emergency room shall be allowed one wall sign for each building wall approach to the emergency room portion of the building. The permitted sign area shall be as provided for in this chapter.

SECTION 2.

This ordinance shall take effect from and after its final passage and publication, the public welfare requiring it.

Ron Williams, Mayor

Allison Myers, Town Recorder

Certified to the Farragut Board of Mayor and Aldermen this _____ day of _____, 2020, with approval recommended.

Rita Holladay, Chairman

Rose Ann Kile, Secretary

FARRAGUT MUNICIPAL PLANNING COMMISSION