



FARRAGUT MUNICIPAL PLANNING COMMISSION

AGENDA

September 16, 2021

Farragut Town Hall - Board Room

7:00 p.m.

For questions, please e-mail Mark Shipley at mshipley@townoffarragut.org or Bart Hose at bhose@townoffarragut.org.

- 1. Approval of agenda**
- 2. Approval of minutes – August 19, 2021**
- 3. Discussion and public hearing on a final plat for Brookmere Phase 3, Parcel 054, Tax Map 152, 34.67 Acres, 52 Lots, Zoned R-1/OSR (Ryan Lynch, Applicant)**
- 4. Discussion and public hearing on a site plan to add a second floor to the First Baptist Concord Church Educational Building, 11704 Kingston Pike, Zoned R-3 (Jeff Jordan, Applicant)**
- 5. Discussion on a request to amend the Farragut Municipal Code, Appendix A – Zoning, Chapter 4., Section XIII. – Outdoor site lighting, to allow for baseball and softball field lighting that is custom designed not to affect neighboring properties (Jeff Jordan, Applicant)**
- 6. Discussion on a request to amend the Farragut Municipal Code, Appendix A – Zoning, Chapter 3., Section I. – Agricultural district (A)., to provide for one accessory dwelling unit provided certain criteria can be satisfied (Keri Archer, Applicant)**
- 7. Discussion and public hearing on text amendments to the CLUP associated with the Medium and High-Density Residential land use designations (Town of Farragut, Applicant)**
- 8. Discussion and public hearing on amendments to the Penalties section of Chapter 113 – Tree Protection, of the Farragut Municipal Code, to increase penalties for removal of protected trees without permission**
- 9. Approval of utilities**
- 10. Citizen Forum**

11408 MUNICIPAL CENTER DRIVE | FARRAGUT, TN 37934 | 865.966.7057

WWW.TOWNOFFARRAGUT.ORG

It is the policy of the Town of Farragut not to discriminate on the basis of race, color, national origin, age, sex, or disability pursuant to Title VI of the Civil Rights Act of 1964, Public Law 93-112 and 101-336 in its hiring, employment practices and programs. To request accommodations due to disabilities, please call 865-966-7057 in advance of the meeting.

Public Comment Protocol

The Planning Commission welcomes and invites Farragut residents to participate in public meetings. At the end of each business meeting, there will be time reserved for public comment under the Citizen Forum agenda item. If you are interested in speaking, please fill out a blue comment card and turn it in to the Planning Director or other designated staff member. This time is set aside specifically for comments on items that are not on the Planning Commission regular agenda for the meeting. Each speaker will be given five (5) minutes to speak on his/her topic.

During the regular agenda portion of the meeting there may be an allowance for public comment for each agenda item. The Chairman may recognize individuals for public comment based on the following guidelines.

1. The Chairman shall maintain and control the meeting to provide a professional and objective environment;
2. Any Farragut resident, property owner, or business owner interested in speaking should fill out a blue comment card stating which agenda item they would like to comment on and turn in to the Planning Director or other designated staff member;
3. Speakers shall come to the podium and identify themselves by name and street address;
4. Public comment shall be limited to five (5) minutes per individual. Time for public comment may be amended at the discretion of the Chairman. Time is not transferable to other speakers;
5. Speakers should strive to avoid redundancy; each speaker should have their own original viewpoint;
6. Comments shall address issues, not individuals or personalities;
7. Comments may support or oppose issues or measures, but the motives of those with differing views shall not be questioned or attacked;
8. Personal attacks and malicious comments shall not be tolerated;
9. An applicant, and/or their representative(s), for an item on the regular agenda shall be afforded the time necessary to present their request and respond to questions. The five (5) minute limitation shall not apply. However, the Chairman may ask an applicant to stay on point in order to facilitate the efficiency of the meeting.

Each speaker will be asked if they can agree to abide by the Comment Protocol. If so, please be prepared to speak when your name is called.



**MINUTES
FARRAGUT MUNICIPAL PLANNING COMMISSION**

August 19, 2021

MEMBERS PRESENT

Rita Holladay, Chairman
Ed St. Clair, Vice-Chairman
Ron Williams, Mayor
Louise Povlin, Vice Mayor
Michael Bellamy
Scott Russ
Jon Greene
Noah Myers
Shannon Preston
Hank Standaert, Youth Representative

MEMBERS ABSENT

Staff Representatives: Mark Shipley, Community Development Director
David Smoak, Town Administrator

Prior to the regular meeting, staff conducted a workshop on undeveloped land and housing considerations. All Planning Commissioners and Board of Mayor and Aldermen were in attendance. Also attending was Jim Holladay from the Board of Zoning Appeals.

1. Approval of agenda

Staff recommended approval of the agenda as submitted.

A motion was made by Commissioner St. Clair to follow staffs' recommendation. Motion was seconded by Vice-Mayor Povlin and motion passed unanimously.

2. Approval of minutes – July 15, 2021

Staff recommended approval of the minutes as submitted.

A motion was made by Vice-Mayor Povlin to follow staffs' recommendation. Motion was seconded by Commissioner Myers and motion passed unanimously.

3. Discussion and public hearing on a plan to replace a water line on a section of Thornton Drive in the Thornton Heights Subdivision (FUD Applicant)

Staff reviewed this item and recommended approval subject to the following:

- 1) Please coordinate erosion and traffic control with the Town's engineering department as part of the right of way permit.
- 2) Please provide the Town with a copy of an as built of the replacement line.

Edwin Deyton was present on behalf of the First Utility District. After a short discussion, a motion was made Vice-Mayor Povlin to follow staffs' recommendation. Motion was seconded by Commissioner Myers and motion passed unanimously.

4. Discussion and public hearing on a plan to install underground communications conduit to provide fiber optic Comcast cable to the Farragut Primary, Intermediate, Middle, and High Schools (Fulghum, MacIndoe, & Associates, Applicant)

Staff reviewed this item and recommended approval subject to the following:

- 1) Please coordinate erosion and traffic control with the Town's engineering department as part of the right of way permit.
- 2) Please provide the Town with a copy of an as built of the conduit location and any new easements obtained for the work.

Adam Duncan was present on behalf of the applicant. A short discussion ensued. Vice-Mayor Povlin asked to modify the staffs' recommendation to request that the contractor coordinate with the schools to perform the work outside of peak school traffic hours. With this amended condition, Vice-Mayor Povlin recommended to follow staffs' recommendation. Motion was seconded by Mayor Williams and motion passed unanimously.

5. Discussion and public hearing on a re-subdivision plat for the Mary Smith property, Parcel 079, Tax Map 142, 328 Boring Road, Zoned R-2, 4 Lots, 17.83 Acres (LeMay & Associates, Applicant)

Staff reviewed this item and noted that the applicant has requested a variance from the requirement for 10% open space associated with this re-subdivision plat. This will need to be acted upon prior to acting on the plat. Staff recommended approval of the variance due to the number of lots involved and the size of the lots (each of the four new lots is greater than three acres). The open space requirement will be re-evaluated if the lots are further subdivided.

Richard Lemay was present as the applicant. A motion was made by Commissioner Myers to approve the variance for the reasons noted by staff. Motion was seconded by Commissioner St. Clair and motion passed unanimously.

Staff noted that, in terms of the plat, staff recommended approval subject to the following comments being satisfactorily addressed:

- 1) If water and sewer utilities are immediately available, the certificate indicating it has needs to be included and signed.
- 2) Per the adopted fee schedule, a variance requires a \$300 filing fee (this relates to the 10% open space variance).
- 3) If you show Lots 2 and 3 on this plat, please include the access easement platted with their creation.
- 4) The "approximate depressed area" reference on Lot 1-R is not adequate. If there is a depression and it can't otherwise be explained it needs to be located as a potential sinkhole area.
- 5) Please relocate the right of way dimension along Boring Road so it doesn't conflict with other text.
- 6) Please coordinate with Town staff on the language for Note #10.
- 7) A buffer strip is not required so reference to this should be removed in the plat notes.

Commissioner Myers asked Mr. Lemay if they understood that a pedestrian facility will now be required along the Boring Road frontage as part of construction on each of the proposed lots that front along Boring Road. Mr. Lemay said they understood. A motion was then made by Commissioner Myers to approve the plat subject to addressing staff comments. Motion was seconded by Commissioner St. Clair and motion passed unanimously.

6. Discussion and public hearing on amendments to the approved site plan for the Kingston Pike Village – Phase 2 (Grocery Store and Retails Shops), 115 S. Watt Road, Zoned PCD, 8 Acres (SITE Incorporated, Applicant)

Staff reviewed this item and recommended approval subject to the following:

- 1) Please correct contour line labels around detention basin on Sheets C1.1. and C1.2.
- 2) Please ensure that all plan sheets reflect the overlapping changes to the Little Joe's property, including property line modifications, resulting from the land swap.
- 3) Please explore connecting the sidewalk on the south side of the eastern Shops building to the parking lot of Little Joe's.
- 4) Consistent with the PCD zoning, please further break up the parking south of the Shops buildings into smaller pods by inserting some interior landscape islands and ensure that the landscape plan reflects this change.
- 5) Please note that all signage will have to be presented to and approved by the VRRB. What is shown on the site plan does not constitute approval of any signage.
- 6) Please include a dimension from the right of way to the nearest portion of the Shops buildings to verify setback compliance.
- 7) Please include FUD approved water and sewer plan sheets in final stamped approved set.
- 8) On the gooseneck lights shown on Sheet E0.2, please ensure that the bulb is recessed into the fixture head.
- 9) Please show how the HVAC units on the Shops and grocery buildings are being screened by the building they serve so they are not visible from adjacent properties or rights of ways.
- 10) It may be useful to note that the front elevation faces Kingston Pike.
- 11) In the final stamped approved site plan set please provide color elevations for the grocery building, like what is provided for the other buildings in this phase.
- 12) Please correct Sheet E-6 to note that the lighting under the gas canopy will be recessed so that the light source does not create any glare.
- 13) Please provide an erosion control letter of credit and drainage permit fee, as determined by the Town Engineer.

Tim Kirkendall and Annette Hommel were present on behalf of the applicant. A motion was made by Commissioner Myers to follow staffs' recommendation. Motion was seconded by Mayor Williams and motion passed unanimously.

7. Discussion and public hearing on a line-of-sight evaluation associated with the screening requirements for outdoor storage and sales related to a site plan for Moses Watersports, Parcel 176.02, Tax Map 130, 11470 Outlet Drive, Zoned OD-RE/E, 6.8 Acres (Urban Engineering, Inc., Applicant)

Staff reviewed this item and recommended approval with the plans clearly indicating that the screening fence shall be properly maintained so that it will perpetually fulfill the screening requirement. Staff noted that the Zoning Ordinance specifies that outdoor storage and sales areas shall be screened from public rights-of-ways with opaque materials that are architecturally compatible with the primary materials used on the building they are serving. Based on line-of-sight diagrams, the applicant is proposing an eight-foot-tall fence constructed

of wood colored to match the dark bronze storefront. Wood posts will be provided every eight feet. Main support posts will be provided every 50 feet and will be 16 inches in width and covered in a brick veneer to match brick used on the building.

Chris Sharp was present as the applicant. A motion was made by Commissioner St. Clair to follow staffs' recommendation. Motion was seconded by Vice-Mayor Povlin and motion passed unanimously.

8. Discussion on a concept for outdoor storage and display of farm implements and lawn care equipment on the property at 13127 Kingston Pike in association with the Ag-Pro (formerly Farragut Lawn and Tractor) at 13131 Kingston Pike, Zoned C-1 (Stewart Ritchie, Applicant)

This item was for discussion purposes only.

9. Discussion on a request to consider the concept of a single-family subdivision and commercial development on Parcels 8.01, 9, and 10.02, Tax Map 152, (north and west of the Dollar General Store at 12403 Kingston Pike), Zoned R-1, R-2, and C-1, 14.5 Acres (Kaity Patterson – BHN-P, Applicant)

This item was for discussion purposes only.

10. Discussion on text amendments to the CLUP to evaluate text associated with the Medium Density Residential land use designation and provide for text associated with the High-Density Residential land use designation (Town of Farragut, Applicant)

This item was for discussion purposes only.

11. Discussion on amendments to the Penalties section of Chapter 113 – Tree Protection, of the Farragut Municipal Code, to increase penalties for removal of protected trees without permission

This item was for discussion purposes only.

12. Approval of utilities

None.

13. Citizen Forum

None.

The meeting adjourned at 9:12 p.m.

Scott Russ, Secretary

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on a final plat for Brookmere Phase 3, Parcel 054, Tax Map 152, 34.67 Acres, 52 Lots, Zoned R-1/OSR (Ryan Lynch, Applicant))

INTRODUCTION AND BACKGROUND: Originally, this plat was submitted to include all the remaining unplatted lots in the Brookmere Subdivision off Virtue Road. The applicant has amended this to exclude, at this time, the lots to the south of the gas line easement. Those lots will be submitted as Phase 4 later. The amended request includes 42 lots (41 house lots and 1 open space lot) involving 15.67 acres.

DISCUSSION: During the staff/developer meeting on August 31, some discussion items included the level of completion in the field, correcting plat notes, more clearly identifying, and describing the 20-foot drainage easement that bisects Lots 97-113, and ensuring that the street connection into Kingsgate is completed and open for vehicular use.

Per the recorded public right of way, drainage, and utility easement agreement between the developer and the Town, a 30-foot permanent public access, drainage, and utility easement with a 20-foot street width is required to be constructed by the developer to connect Brookmere to West Kingsgate Road. This would satisfy the secondary vehicular access requirement of the Subdivision Regulations.

Staff would note that, as part of the review of the Phase 3 final plat, there will need to be clarity in terms of when the secondary access and its associated easements will be completed and established. If this is to be completed in Phase 4, then that needs to be specifically addressed at this time so that there is certainty as to when this will be available for the uses provided in the easement agreement. Currently, the area is in base stone only.

RECOMMENDATION: Included in the packet is the revised final plat. Staff will make a recommendation at the meeting based on whether the staffs' comments have been addressed.

OPEN SPACE: 30.57 ACRES (35.00%)
 SITE ACREAGE: 87.34 ACRES
 DISTURBED ACREAGE (PHASE 3): 15.6 ACRES
 OPEN SPACE PROVIDED: 33.01 ACRES (37.79%)

CERTIFICATE OF APPROVAL OF WATER SYSTEM

I hereby certify that it has been certified to us that the water system(s) outlined or indicated on the final subdivision plat entitled

RECONSTRUCT PHASE II - have been installed in accordance with current local and state government requirements.

CERTIFICATE OF APPROVAL OF SEWER SYSTEM

I hereby certify that it has been certified to us that the sewer systems outlined or indicated on the final subdivision plat entitled BRICKMERE PHASE II have been installed in accordance with current local and state government requirements.

CERTIFICATE OF APPROVAL FOR RECORDING

I hereby certify that the subdivision plat shown here has been found to comply with the Subdivision Regulations for Fannin County, Tennessee, with the exception of such variances, if any, as are noted in the minutes of the Planning Commission and that it has been approved for recording in the

CERTIFICATE OF APPROVAL OF STREET NAMES

This is to certify that the subdivision shown hereon has been reviewed for compliance with the Knox County Uniform Street Naming & Addressing System Ordinance, and the road names are hereby approved for recording.

[illegible]

MONUMENTS AND SURVEY CONTROL WAS PERFORMED USING GPS
ON HIPER SR NETWORK ROVER, DUAL FREQUENCY WAS USED (L1,L2)
PERFORMED WAS NETWORK ADJUSTED REAL TIME KINEMATICS (BASED ON
NETWORK NAD83(NRSR2007) VERTICAL DATUM IS NAVD88, GEOID09.
THE GPS WORK RATE: 4 CM PLUS 50 PARTS PER MILLION (BASED ON THE
DIFFERENCE BETWEEN THE TWO CORNERS BEING TESTED).
THE ERROR WAS NOT REDUCED TO GRID.

CERTIFICATE OF SURVEY ACCURACY

I hereby certify that the plan shown and described hereon is a true and correct survey to the accuracy required by the Farragut Municipal Planning Commission and that the monuments have been placed as shown hereon, to the specification of the Subdivision Regulations. This is a Category I Land Survey and the ratio of precision of the unadjusted survey is equal to or greater than 1:10,000.

_____ Date _____ Registered Surveyor
No. 2447

SHEET NO:
1 of 3

PROJECT NO.
4040-12

LYNCH SURVEYS LLC
SUBDIVISIONS | AS-BUILTS | SITE DESIGN
4405 COSTER RD. KNOXVILLE, TENN. 37912
865-584-2630 FAX: 865-584-2801 WWW.LYNCHSURVEY.COM

	REVISIONS
DRAWN BY: M.STRANGE	1 09/04/2020 TOF Comments
CHECKED BY: R. LYNCH	2
APPROVED BY: R.S.L.	3
SCALE: 1" =100'	4
DATE: 06/24/2021	5
	6

HomeStead Land Holdings
122 Perimeter Park Rd
Knoxville, Tennessee 37922
Phone 865-690-3200

BROOKMERE PHASE 3
CLT: 152 - 044
Knoxville, Tennessee 37934
District FW, Knox County, Tennessee

TOTAL AREA = 15.67 ACRES This Phase
OR 682,569 SQ. FT.
41 LOTS AND 1 OPEN LOT

OPEN SPACE:

SITE AREA: 87.34 ACRES

DISTURBED ACREAGE (PHASE 3): 15.6 ACRES

OPEN SPACE REQUIRED: 30.57 ACRES (35.02%)

OPEN SPACE PROVIDED: 33.07 ACRES (37.70%)

CERTIFICATE OF APPROVAL OF WATER SYSTEM

I hereby certify that it has been verified to us that the water system(s) shown on this plan is/are in accordance with the current local and state government requirements.

Date: _____

Name, Title, and Agency of Authorizing Approving Agent

CERTIFICATE OF APPROVAL OF SEWER SYSTEM

I hereby certify that it has been verified to us that the sewer system(s) shown on this plan is/are in accordance with the current local and state government requirements.

Date: _____

Name, Title, and Agency of Authorizing Approving Agent

CERTIFICATE OF APPROVAL FOR RECORDING

I hereby certify that the subdivision plan shown here has been found to comply with the Subdivision Regulations in Tennessee, and the platting of the same is in accordance with the current local and state government requirements.

Date: _____

Name, Title, and Agency of Authorizing Approving Agent

CERTIFICATE OF APPROVAL OF STREET NAMES

This is to certify that the subdivision street names have been reviewed for compliance with the Knox County Uniform Street Naming & Addressing System Ordinance, and the road names are hereby approved for recording.

Date: _____

Name, Title, and Agency of Authorizing Approving Agent

CERTIFICATE OF OWNERSHIP AND DESIGNATION

I, (We) hereby certify that I am (we are) the owner(s) of the property shown and described herein and that I (we) hereby adopt this plan of subdivision with my (our) free consent, and that I (we) have no objection to the recording of the same and that I (we) have no objection to the recording of the same.

Date: _____

Name: _____

CERTIFICATE OF COMMON AREA DESIGNATION

As shown on this plan, there are designated certain areas of land as common areas for the use of the common areas of the subdivision. These common areas are intended for use by the common areas of the subdivision and are not to be used for any other purpose. These common areas are not to be used for any other purpose, but are dedicated to the common use of the common areas of the subdivision.

Date: _____

Name: _____

CERTIFICATE OF ELECTRIC, GAS AND TELEPHONE AVAILABILITY

This is to certify that every lot within this subdivision has access to a source for the service (identified by signature(s)) below which service source is adequate to accommodate the reasonable needs of each lot on to this subdivision with such subdivision.

Date: _____

Name, Title, and Agency of Authorizing Approving Agent

Date: _____

Name, Title, and Agency of Authorizing Approving Agent

Date: _____

Name, Title, and Agency of Authorizing Approving Agent

CERTIFICATE FOR STREET APPROVAL

I certify that streets, sidewalks, and other required improvements have been installed in an acceptable manner and according to Town specifications, or that a security bond in the amount of \$ _____ has been posted with the Planning Commission to assure completion of all required improvements in case of default. Streets (are) public streets maintained at public expense.

Date: _____

Name: _____

Date: _____

Name: _____

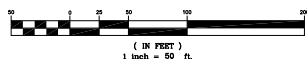
Date: _____

Name: _____

SEE SHEET 2 OF 3

CURVE	BEARING	CURVE TABLE	CHORD	RADIUS	LENGTH
C22	N86°50'52"W	28.28	20.00	31.42	
C23	N10°30'30"E	29.15	20.00	32.66	
C24	N70°00'00"E	27.39	20.00	30.17	
C25	N33°17'11"W	20.81	220.00	20.82	
C26	N20°28'16"W	76.84	220.00	77.34	
C27	N03°31'58"W	49.82	220.00	49.92	
C28	N11°00'18"E	64.18	220.00	64.41	
C29	N04°49'22"E	41.52	220.00	41.59	
C30	N17°54'20"E	58.67	220.00	58.84	
C31	N40°03'10"E	16.39	220.00	16.39	
C32	S43°56'28"W	17.99	20.00	18.62	
C33	N17°36'36"E	26.19	47.00	26.34	
C34	N60°45'19"E	48.61	47.00	51.59	
C35	S68°14'49"E	35.00	47.00	35.86	
C36	S62°11'17"E	35.00	47.00	35.86	
C37	S41°11'34"E	35.00	47.00	35.86	
C38	S73°13'17"E	47.64	47.00	49.96	
C39	N77°17'05"E	17.96	20.00	18.62	
C40	N10°15'34"E	23.10	180.00	23.16	
C41	N43°00'45"E	18.33	180.00	18.34	
C42	S36°46'21"E	26.46	20.00	28.91	
C43	S09°28'43"W	25.82	20.00	28.07	
C44	N28°42'58"W	59.45	88.00	60.73	
C45	N08°45'08"E	80.43	115.00	82.17	
C46	N09°45'08"E	69.94	105.00	71.45	
C47	S40°38'10"E	6.77	100.00	6.78	

GRAPHIC SCALE



LYNCH SURVEYS LLC
SUBDIVISIONS | AS-BUILTS | SITE DESIGN
4405 COSTER RD. KNOXVILLE, TENN. 37912
865-584-2630 FAX: 865-584-2801 WWW.LYNCHSURVEY.COM



OWNER 152 044:
HOMESTEAD LAND HOLDINGS LLC
122 PERIMETER PARK DRIVE
KNOXVILLE, TENNESSEE 37922

REVISIONS

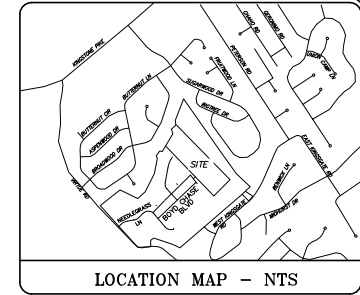
DRAWN BY: M. STRANGE
CHECKED BY: R. LYNCH
APPROVED BY: R.S.L.
SCALE: 1" = 50'
DATE: 06/24/2021

1
2
3
4
5
6

HomeStead Land Holdings
122 Perimeter Park Rd
Knoxville, Tennessee 37922
Phone 865-690-3200

BROOKMERE PHASE 3
CLT: 152 - 044
Knoxville, Tennessee 37934
District FW, Knox County, Tennessee

SHEET NO:
3 of 3
PROJECT NO.
4040-12



- WHERE MONUMENTATION WAS FOUND IT HAS BEEN IDENTIFIED, IRON PINS ARE TO BE SET AT ALL CORNERS AT TIME OF COMPLETION OF CONSTRUCTION, UNLESS OTHERWISE NOTED. ALL NEW PROPERTY MONUMENTS ARE 1/2" x 1/4" IRON PINS WITH PLASTIC CAP STAMPED "LYNCH 2447".
- DEED REFERENCES - PARCEL 044: 200600515-0067380
- THIS PROPERTY IS ZONED AS FOLLOWS: (PARCEL 044) R-1(OSR)
- A PORTION OF THIS PROPERTY DOES LIE WITHIN A 100/500 YEAR FLOOD ZONE PER FIRM FLOOD INSURANCE RATE MAP NUMBER: 47000200586 EFFECTIVE DATE: MAY 2, 2007 (SEE PHASE 1 PLAT RECORDED AS INSTRUMENT NUMBER: 201910100005219 FOR AREA AFFECTED).
- ALL UNDERGROUND UTILITIES ARE REFERENCED TO UTILITY COMPANIES MAPS AND ARE TO BE CONSIDERED APPROXIMATE.
- NORTH ROTATION: NAD83(NSRS2007)
- ALL WALKING TRAILS SHALL HAVE A 20' EASEMENT IN FAVOR OF THE TOWN OF FARRAGUT AND SHALL BE MAINTAINED AND LIBRARY OF USE OF SAID EASEMENTS.
- THE WATER AND SEWER LINES INSTALLED IN THIS SUBDIVISION AND/OR AS SHOWN HEREON SHALL HAVE A 15-FOOT-WIDE EASEMENT ON CENTER, SUBJECT TO THE RESTRICTIONS AND CONDITIONS OF RECORD. THE TOWN OF FARRAGUT SHALL ACCEPT MAINTENANCE AND LIBRARY OF USE OF SAID EASEMENTS.
- THE BUILDING SETBACKS FOR (R1, OSR) ZONING ARE AS FOLLOWS:
FRONT YARD: 20 FEET
FRONT FACING GARAGE: 30 FEET
SIDE YARD: (MINIMUM OF 10 FEET BETWEEN BUILDINGS) 10 FEET UNLESS SHOWN OTHERWISE.
REAR: 10 FEET
PERIPHERY PROPERTY LINE: 50 FEET
- TOTAL BUILDING LOTS: 41
TOTAL BUILDING AREA = 1,657 ACRES / 682,569 SF
OSR TOTAL LOT COVERAGE = 5.023 SF
OSR TOTAL LOT COVERAGE = 7.033 SF
- HOMESOWNERS ASSOCIATION DOCUMENTS RECORDED AT KNOX COUNTY REGISTER OF DEEDS OFFICE AS INSTRUMENT NUMBER: 201910100005219
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COINCIDE WITH THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE DEED CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THIS SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

GPS SURVEY NOTE:

ALL BOUNDARY MONUMENTS AND SURVEY CONTROL WAS PERFORMED USING GPS RECEIVERS. TRIPCHIPS HIPS OR NETWORK CORNER, OLD FREQUENTLY WAS USED (11.2) GPS SURVEY PERFORMED WAS NETWORK ADJUSTED REAL TIME KINEMATICS BASED ON TRIP CHIPS NETWORK. NAD83(NSRS2007) VERTICAL DATUM IS NAVD83. GEODROID PRECISION OF THE GPS WORK PAPA 4 CM PLUS 50 PARTS PER MILLION (BASED ON THE DIRECT DISTANCE BETWEEN THE TWO CORNERS BEING TESTED). DISTANCES HAVE NOT BEEN REDUCED TO GRID.

CERTIFICATE OF SURVEY ACCURACY

I hereby certify that the plan shown and described hereon is a true and correct survey to the accuracy required by the Faragut Municipal Planning Commission and that the monuments have been placed as shown hereon, to the specification of the Subdivision Regulations. This is a Category I Land Survey and the ratio of precision of the unadjusted survey is equal to or greater than 1:10,000.

Date: _____ Registered Surveyor
No. 2447



07/03/2018

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on a site plan to add a second floor to the First Baptist Concord Church Educational Building, 11704 Kingston Pike, Zoned R-3 (Jeff Jordan, Applicant)

INTRODUCTION AND BACKGROUND: This item involves a site plan for a second-floor addition and aluminum drive up canopy associated with the educational building at First Baptist Church Concord. The second-floor addition would add roughly 27,900 square feet to the existing building. This project is proposing no changes to the existing site.

DISCUSSION: During the staff/developer meeting on August 31, staff reviewed some discussion items, including compliance with the 75% masonry requirement for the net façade area of the building and whether enough parking was available to accommodate the proposed addition. The applicant has revised their initial building elevations to satisfy the masonry requirement. In terms of parking, the campus exceeds the amount of parking required based on the sanctuary space of the church. There are 1,338 parking spaces provided on the campus and 1,045 parking spaces that would be required based on the size of the sanctuary. Though the educational building is removed from the sanctuary and parking allocations have been provided based on the sanctuary size, due to the offset time of use between the school and the church, the applicant and staff are comfortable with the amount of parking available and would agree that no additional parking should be needed.

RECOMMENDATION: Staff will make a recommendation concerning the site plan at the meeting.

Sheet Index

T101	Title Sheet	001
C002	Site Plan and Parking Count	002
A103	Second Floor Plan, Building Height Analysis	003
A201	Existing 1 Story Elevation, New 2 Story Elevation	004
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		073

Notes:

Project Narrative:
This project consists of the following work items:
1. Adding new second floor level to existing one story building. The current roof slab was built originally to serve as a floor level.

Alteration Level (2018 IEBC): Level 2
Level 2 alterations include the reconfiguration of space, the addition or elimination of any door or window, the reconfiguration or extension of any system, or the installation of any additional equipment.

Building does not require Level 3 alteration since new area does not exceed 50% of the aggregate area of the existing building.

Applicable Codes:
2018 International Existing Building Code
2018 International Plumbing Code
2018 International Mechanical Code
2018 International Fire Code
2018 NFPA 101 Life Safety Code
2017 ANSI Accessibility code ICC A117.1-2017
2017 National Electric Code

Existing Fire Alarm - New Second Floor fire alarm system will be added and tied into existing fire alarm system, and will function as one system.

Existing Sprinkler System - New Second Floor sprinkler system will be added and tied into existing sprinkler system, and will function as one system.

Building Occupancy: E Educational
Construction type: Type IIB
Allowable area: 14,500 sf per floor
Area increase: increase by 200% (spr)
Final Allowable area: 43,500 sf pf
Allowable height: 3 story (w/ sprink)
Actual area: 27,900 sf per floor
Actual height: 2 story

First Baptist Concord

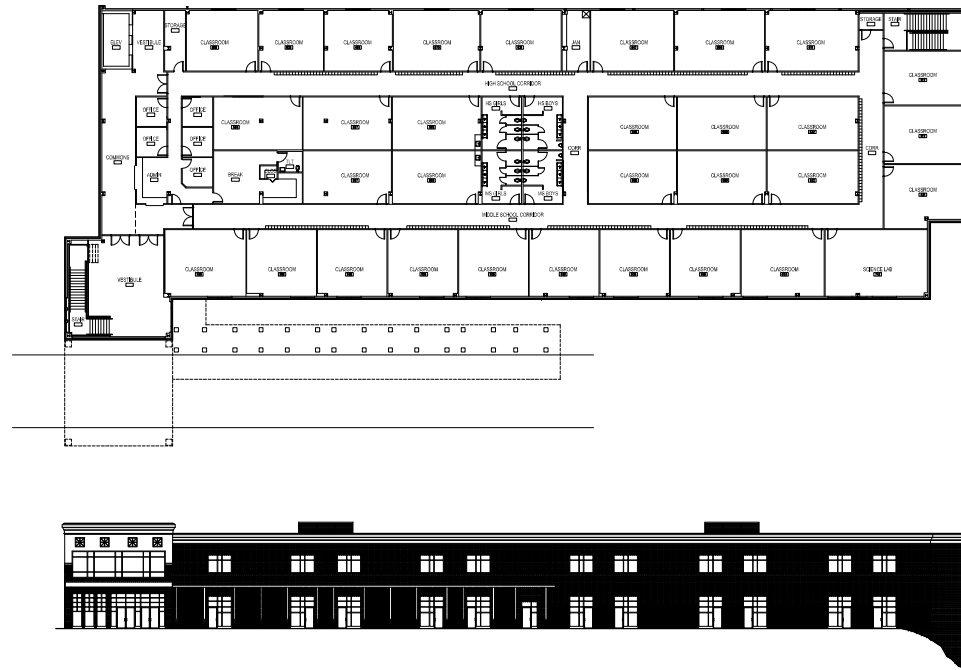
Educational Building Addition / Renovation

Knoxville, Tennessee

Contact List

Owner: First Baptist Concord 11704 Kingston Pike Knoxville, TN 37934 Ph: (865) 966-9791	Developer/Contractor: Myrick Gurosky & Associates, Inc. 700 Montgomery Highway Birmingham, AL 35216 Ph: (205) 313-3020 Contact: Hamilton Lunsford email: hlunsford@mgandassociates.com	Architect: Forrest Daniell & Associates 8007 American Way Daphne, AL 36526 Ph: (251) 625-6490 Contact: Jeff Jordan email: jjordan@fdaniell.com
Electrical Engineer: Jackson Renfro & Associates, Inc. Electrical Engineering and Design 141 Village Street, Suite 1 Birmingham, AL 35242 Ph: (205) 536-7114 Contact: Bobby Renfro email: bobby@jraee.com	Mechanical & Plumbing : MW Davis Dumas & Associates, Inc 4500 Southlake Park, Suite 200 Hoover, AL 35244 Ph: (205) 252-0246 Contact: Joe Davis email: jdavis@mwdda.com	

Floor Plan, Exterior Elevation



Educational Building Addition / Renovation
First Baptist Concord
Knoxville, Tennessee

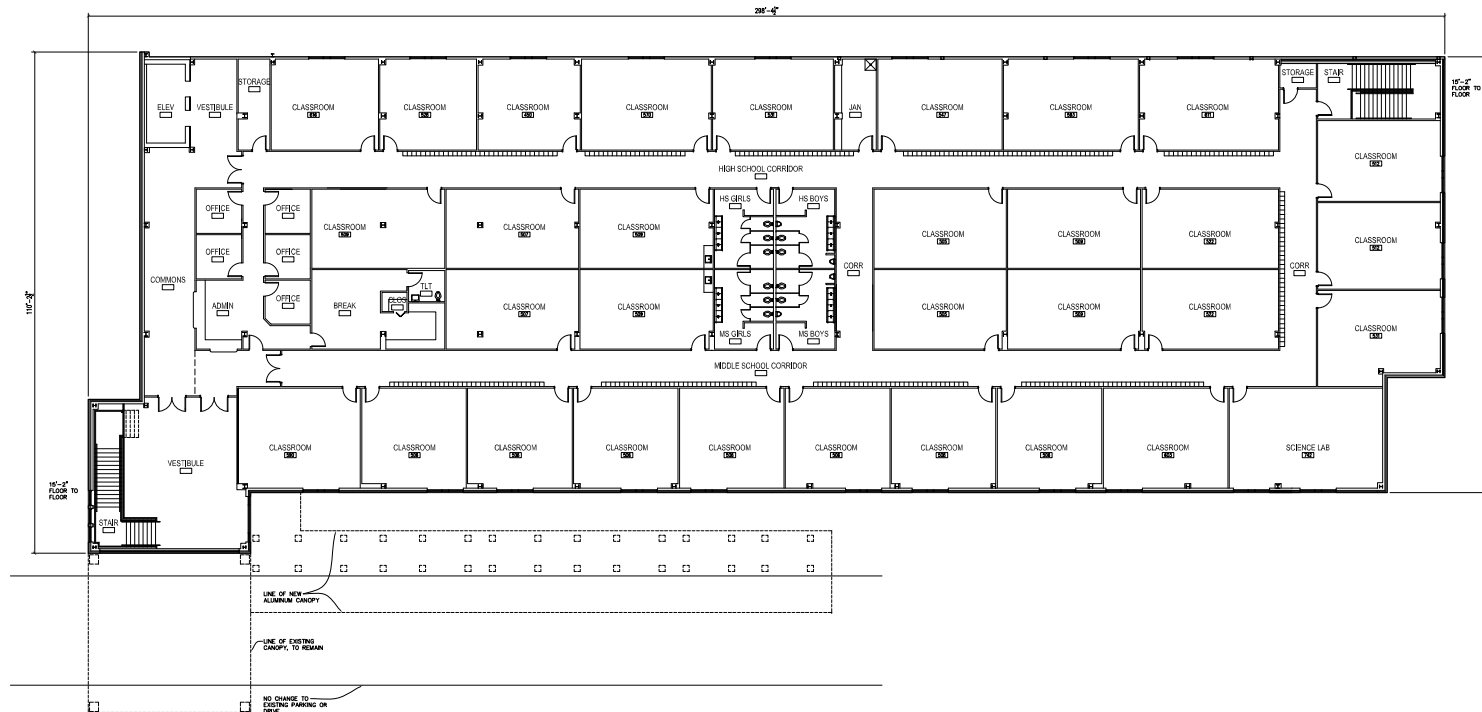


REVISIONS
AUGUST 30, 2021 UPDATED FOR COMMENTS

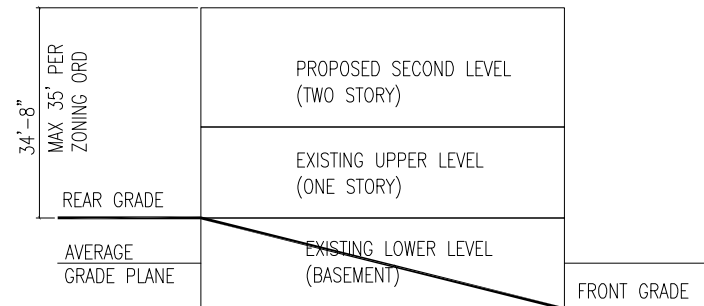


JOB #
DATE: AUGUST 6, 2021
T101
TITLE SHEET





NEW ADDITION - SECOND FLOOR PLAN
A103 1/8"=1'-0"



BUILDING HEIGHT ANALYSIS
A103 NOT TO SCALE



REVISIONS
1
2
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10





1 NEW 2-STORY FRONT ELEVATION
A201 3/22"x1'-0"



2 EXISTING 1-STORY FRONT ELEVATION
A201 3/22"x1'-0"

Educational Building Addition / Renovation
First Baptist Concord
Knoxville, Tennessee

FORREST DANIELL
& Associates, P.C.
FD&A
Architecture & Planning
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Daphne, AL 36526
251.625.6480 m-f
251.625.6484 fx
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REVISIONS
1 AUGUST 30, 2021
UPDATED FOR COMMENTS
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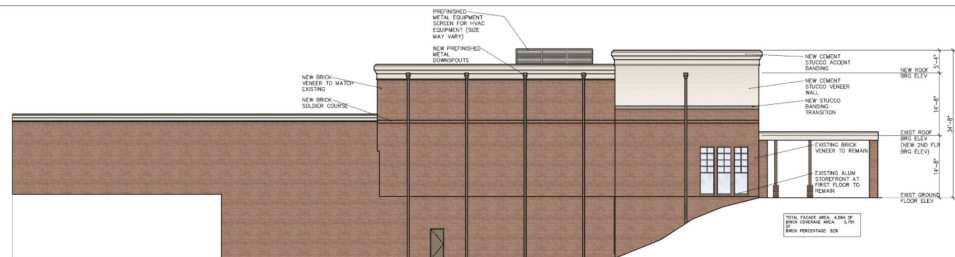


JOB #:
DATE: AUGUST 6, 2021
A201
EXTERIOR ELEVATIONS





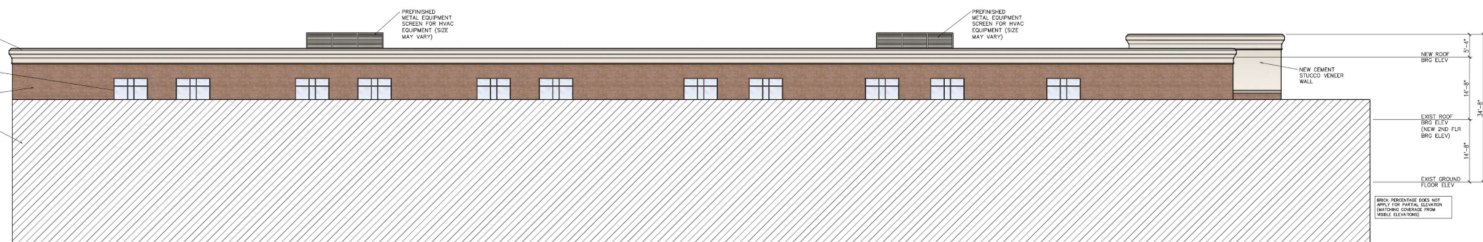
1 FRONT ELEVATION
3/10' x 1'-0"



2 LEFT SIDE ELEVATION
3/10' x 1'-0"



3 RIGHT SIDE ELEVATION
3/10' x 1'-0"



4 REAR ELEVATION
3/10' x 1'-0"



5 EQUIPMENT SCREEN DETAIL
NOT TO SCALE

NEW EQUIPMENT SCREENS ARE TO MATCH EXISTING ON-SITE EQUIPMENT SCREENS. THE CORRUGATED METAL PANEL CONSTRUCTION AND COLOR SHOWN ABOVE IS TO BE MATCHED FOR THE NEW ROOFTOP EQUIPMENT. THE SCREEN WILL BE A PREFABRICATED UNIT BY ARCHITECTURAL LAMINATIONS COMPANY OF EDEN.

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion on a request to amend the Farragut Municipal Code, Appendix A – Zoning, Chapter 4., Section XIII. – Outdoor site lighting, to allow for baseball and softball field lighting that is custom designed not to affect neighboring properties (Jeff Jordan, Applicant)

INTRODUCTION AND BACKGROUND: First Baptist Church has expanded their school functions in recent years and would like to have the opportunity for baseball and softball games in the evening. Key to this desire is the need to have ballfield lighting.

The Town's Outdoor Site Lighting provisions in the Zoning Ordinance do not address ballfield lighting and, to date, the only ballfield lights in the Town are at Town of Farragut parks and Knox County Schools. The school properties are under the jurisdiction of Knox County. The Outdoor Site Lighting provisions apply to private properties and mainly address exterior lights on buildings and lights within private parking lots. The maximum pole height for parking lot lights is 28 feet which, due to the direction of light angle needed to illuminate most playing surfaces, is not tall enough to control spillover light and glare onto adjoining properties.

The applicant is requesting to amend the existing language to provide an exception from the light pole height allowance for aimable sports lighting applications. To help ensure that the lighting does not affect neighboring properties, the applicant asked a lighting specialist from their vendor, Musco lighting, to develop an appropriate regulatory standard that is reflected in the proposed amendment. The standard would ensure that the footcandles at the property line do not exceed the current allowance of .5. The proposed amendment then specifically addresses the desire to eliminate glare onto adjacent properties by including a new type of light measurement called candela. Candela is an innovative industry recognized way to evaluate the directional intensity of light. The proposed standard would require ballfield lights to be aimed a minimum of 25 degrees down from the horizon and achieve a maximum of 7,500 candela 150 feet from field edge. The effect of this standard is that the lighting only illuminates the playing field and effectively produces zero spillover outside the playing field.

DISCUSSION: Lighting technology continues to evolve, and ballfield lights are where some of the biggest changes have occurred. The ballfield lights of the past that can be seen for miles are now largely obsolete as newer technologies are able to precisely direct the lighting to only the desired areas. Some examples of the newer types of lights like the ones proposed by the applicant are at the football field at Alcoa High School and the tennis courts at McFee Park. The height of the poles will vary depending on the field size and the areas targeted for illumination while sustaining an aiming direction of at least 25 degrees down from the horizon.

As discussed during the staff/developer meeting on August 31, the pole heights proposed by the applicant would range from 60 to 80 feet. For reference, the pole height for the lights at the tennis courts at McFee

Park is 60 feet. Some discussion ensued at the meeting regarding whether a cap on pole height should be included in the text amendment. The applicant indicated that virtually all applications of ballfield lighting could be provided for with a pole no taller than 80 feet.

Some discussion items that were reviewed during the staff/developer meeting included clarification of lines, terms, and tables on the plan sheets, providing details for pole and fixtures, addressing the Town's requirements for footcandles at the property lines, discussing whether the draft language was detailed enough to ensure the desired result, how the lights would be timed, and what other areas of Town may be affected by this proposed amendment.

Revisions that address some of these discussion items are included in the packet. Staff would note that the information being reviewed at this time is related only to the requested text amendment. The specifics of the ballfield plans, including any ballfield lights, will be reviewed as part of a site plan submittal at a future date. Some aspects of the layouts shown as part of this text amendment may need to be modified to meet all applicable requirements.

This is obviously a very technical topic that is well beyond the expertise of staff. A lighting specialist from Musco will be at the meeting to review the specifics of the request and answer questions.

EXISTING LANGUAGE

Sec. XIII. Outdoor site lighting.

It is the intent of this section to establish outdoor lighting requirements that reduce the negative effects of lighting, but at the same time address the need for adequate lighting for safety and visibility concerns. The following requirements shall apply to all developments and/or facilities, excluding single-family and two-family dwellings and street lighting. In no case, however, shall any light shine or glare so as to create a traffic safety hazard on any adjacent properties, rights-of-way, access easements, or driveways.

A. *Performance standards and criteria.*

- 
1. No lights shall shine or glare directly onto adjacent properties, rights-of-way, access easements, or driveways. For the purposes of this ordinance, glare shall be defined as any brightness within the field of vision of such a character as to cause annoyance, discomfort, interference with vision, or loss in visual performance and visibility.
 2. The maximum number of footcandles at a property line that is adjacent to non-commercial or non-office zoned land shall be 0.5 footcandles. The maximum number of footcandles at a street right-of-way or a property line that is adjacent to commercial or office zoned land shall be three footcandles.
 3. Light poles, including any supporting base, shall not exceed 28 feet in height. The height shall be measured from the ground to the top of the pole.

If an existing development is expanding, existing light poles are taller than 28 feet, and new light poles are to be added as part of the expansion to the project, the planning commission may approve a light pole taller than 28 feet so as to match the existing light poles if it can be shown that the taller light pole will not create any negative effects on any adjacent properties, rights-of-way, access easements, or driveways. In no case shall new light poles exceed the height of the existing light poles or 40 feet in height, whichever is less.

4. All pole lights shall be directed toward the ground. No portion of the bulb or the globe/glass/plastic surrounding the bulb shall protrude from the light box/housing. The shoebox style fixture shall be used unless it can be shown that a different style would be equivalent or better than these requirements. If the pole lights are located adjacent to property zoned residential or agriculture and such land is below the pole base elevation, exterior glare shields shall be added to the pole lights.
5. Unless specified elsewhere in this ordinance, all wall lights shall be directed toward the ground. No portion of the bulb or the globe/glass/plastic surrounding the bulb shall protrude from the light box/housing. The wedge style fixture shall be used unless it can be shown that a different style would be equivalent to or better than these requirements. The maximum mounting height on the wall for all wall lights shall be 15 feet.

Decorative wall-mounted lights may be used in lieu of a wedge style or comparable fixture provided they are located at public entrance ways into the building, the globe/glass/plastic are frosted/milky/white acrylic, the bulbs are frosted or yellow, the bulbs do not protrude from the globe/glass/plastic, and the maximum total wattage shall be 50 watts (standard bulb)/12 watts (compact florescent).

-
6. All ground-mounted lights, whether used to illuminate a building or a sign, shall be designed to minimize light that does not illuminate the target area. Blinders, or some other type of protectors, may be required to be placed on the lights so as to direct the beam away from adjacent properties, rights-of-way, access easements, or driveways.
 7. Lights located under gasoline service station canopies, canopies for bank automatic teller machines, and other such similar canopies shall be recessed into the structure ceiling and shall use light shields so as to prevent glare. No portion of the bulb or the glass/plastic surrounding the bulb shall protrude from the structure ceiling unless it can be shown that a different style would be equivalent to or better than these requirements.
 8. All electrical lines servicing all lights shall be underground.

B. *Plan submittal and post installation requirements.*

1. All site plans as required in Chapter 4 of the zoning ordinance shall include a lighting plan. The lighting plan shall include a scaled layout plan of the site showing the locations of lights, the height and type of proposed fixtures, and an isofootcandle diagram extending to and including all adjacent driveway, rights-of-way, easements, etc. Such plan shall be prepared and certified by a licensed electrical engineer.

Upon completion of the installation of the lights, a certification by a licensed electrical engineer shall be submitted to the Town of Farragut which shall verify that the lights have been installed per the approved lighting plan.

2. Existing facilities that are adding new lights or changing existing lights shall submit a lighting plan to the town staff for review and approval. All new lighting shall meet the criteria established in this ordinance.

The lighting plan shall include a scaled layout plan of the site showing the locations of lights, the height and type of proposed fixtures, and an isofootcandle diagram extending to and including all adjacent driveway, rights-of-way, easements, etc. Such plans shall be prepared and certified by a licensed electrical engineer.

Upon completion of the installation of the lights, a certification by a licensed electrical engineer shall be submitted to the Town of Farragut which shall verify that the lights have been installed per the approved lighting plan.

(Ord. No. 86-16, 4-1986; Ord. of 2-2006; Ord. No. 06-24, §§ 1, 2, 9-14-2006; Ord. No. 08-03, §§ 1, 2, 3-27-2008; Ord. No. 09-11, § 1, 6-25-2009; Ord. No. 12-20, §§ 1, 2, 1-24-2013; Ord. No. 13-15, § 1, 5-23-2013)

PROPOSED LANGUAGE

Sec XIII – Outdoor site lighting

A. Performance Standards and Criteria

2. The maximum number of footcandles at a property line that is adjacent to non-commercial or non-office zoned land shall be 0.5 footcandles. The maximum number of footcandles at a street right-of-way or a property line that is adjacent to commercial or office zoned land shall be three footcandles. Exception- for sports applications refer to A. 3.

3. Light poles, including any supporting base, shall not exceed 28 feet in height. The height shall be measured from the ground to the top of the pole. Exception-for aimable sports lighting applications mounting heights will be determined by achieving necessary aiming angles (25 degrees down from horizon, minimum) not to exceed 80 feet in height from ground to the top of pole., additionally these applications must achieve 7500 candela(maximum) 150 feet from field edge along with 0.5 footcandles at adjacent property line .

MUSCO LIGHTING PROPOSAL

PREPARED FOR:

First Baptist Concord Church Sports Complex

Lighting Project
Farragut, TN
August 30, 2021

Project #213477

Submitted by:

Musco Sports Lighting, LLC

Attn: Amber Wittmer
2107 Stewart Road
Muscatine, Iowa 52761

Toll Free: 800-756-1205
Fax: 800-374-6402





TABLE OF CONTENTS



A. BILL OF MATERIALS

B. LIGHTING DESIGN

C. PRODUCT INFORMATION

A. BILL OF MATERIALS

Equipment Description	
4	Light-Structure System™ Total Light Control™ TLC-LED-400 luminaires
12	Light-Structure System™ Total Light Control™ TLC-LED-1200 luminaires
32	Light-Structure System™ Total Light Control™ TLC-LED-1500 luminaires
12	Light-Structure System™ Total Light Control™ TLC-BT-575 luminaires
1	60 ft galvanized steel poles
6	70 ft galvanized steel poles
1	80 ft galvanized steel poles
1	90 ft galvanized steel poles
9	Pre-cast concrete foundations (9,500 PSI) with integrated grounding
✓	Factory wired and assembled pole top luminaire assemblies
✓	Factory wired electrical component enclosures
✓	Factory built wire harnesses with plug-in connections
Warranty	
✓	Musco's Constant 25™ product assurance and warranty program that eliminates 100% maintenance costs for 25 years, including labor, materials, monitoring and guaranteed light levels.



B. LIGHTING DESIGN

First Baptist Concord Church Sports Complex

Farragut,TN

Lighting System

Pole / Fixture Summary						
Pole ID	Pole Height	Mtg Height	Fixture Qty	Luminaire Type	Load	Circuit
A1-A2	70'	70'	4	TLC-LED-1200	4.68 kW	A
		16'	1	TLC-BT-575	0.58 kW	A
A4	60'	60'	1	TLC-LED-1200	1.17 kW	B
		60'	2	TLC-LED-900	1.78 kW	B
		16'	1	TLC-BT-575	0.58 kW	B
B1	80'	80'	7	TLC-LED-1500	10.01 kW	A
		16'	1	TLC-BT-575	0.58 kW	A
B2	80'	80'	1	TLC-LED-1200	1.17 kW	B
		80'	7	TLC-LED-1500	10.01 kW	A
		80'	2	TLC-LED-900	1.78 kW	B
		16'	1	TLC-BT-575	0.58 kW	A
		16'	1	TLC-BT-575	0.58 kW	B
B3-B4	70'	70'	1	TLC-LED-1200	1.17 kW	B
		70'	4	TLC-LED-1500	5.72 kW	B
		16'	1	TLC-BT-575	0.58 kW	B
C1-C2	70'	70'	5	TLC-LED-1500	7.15 kW	A
		16'	2	TLC-BT-575	1.15 kW	A
9			60		70.26 kW	

Circuit Summary			
Circuit	Description	Load	Fixture Qty
A	Baseball	48.28 kW	40
B	Softball	21.98 kW	20

Fixture Type Summary							
Type	Source	Wattage	Lumens	L90	L80	L70	Quantity
TLC-LED-1200	LED 5700K - 75 CRI	1170W	136,000	>120,000	>120,000	>120,000	12
TLC-LED-1500	LED 5700K - 75 CRI	1430W	160,000	>120,000	>120,000	>120,000	32
TLC-LED-900	LED 5700K - 75 CRI	890W	89,600	>120,000	>120,000	>120,000	4
TLC-BT-575	LED 5700K - 75 CRI	575W	52,000	>120,000	>120,000	>120,000	12

Light Level Summary

Calculation Grid Summary								
Grid Name	Calculation Metric	Illumination					Circuits	Fixture Qty
		Ave	Min	Max	Max/Min	Ave/Min		
Baseball (Infield)	Horizontal Illuminance	54.5	42	65	1.53	1.30	A	40
Baseball (Outfield)	Horizontal Illuminance	31.5	21	41	2.00	1.50	A	40
Blanket Grid	Horizontal	7.45	0	65	0.00		A,B	60
North Spill	Horizontal	0	0	0	0.00		A,B	60
Softball (Infield)	Horizontal Illuminance	51.5	40	62	1.53	1.29	B	20
Softball (Outfield)	Horizontal Illuminance	34.1	21	44	2.07	1.62	B	20
South Spil	Horizontal	0.10	0	0.28	491.27		A,B	60

From Hometown to Professional



We Make It Happen.

EQUIPMENT LIST FOR AREAS SHOWN

QTY	LOCATION	Pole		Luminaires					
		SIZE	GRADE ELEVATION	MOUNTING HEIGHT	LUMINAIRE TYPE	QTY / POLE	THIS GRID	OTHER GRIDS	
2	A1-A2	70'	-	15.5'	TLC-BT-575	1	1	0	
				70'	TLC-LED-1200	4	4	0	
1	B1	80'	-	15.5'	TLC-BT-575	1	1	0	
				80'	TLC-LED-1500	7	7	0	
1	B2	80'	-	80'	TLC-LED-1200	1*	0	1	
				80'	TLC-LED-900	2*	0	2	
				15.5'	TLC-BT-575	1/1*	1	1	
				80'	TLC-LED-1500	7	7	0	
2	C1-C2	70'	-	15.5'	TLC-BT-575	2	2	0	
				70'	TLC-LED-1500	5	5	0	
6			TOTALS			44	40	4	

* This structure utilizes a back-to-back mounting configuration

First Baptist Concord Church Sports Complex
Farragut, TN

GRID SUMMARY

Name: Baseball
Size: Irregular 300' / 368' / 330'
Spacing: 30.0' x 30.0'
Height: 3.0' above grade

ILLUMINATION SUMMARY

MAINTAINED HORIZONTAL FOOTCANDLES

	Infield	Outfield
Guaranteed Average:	50	30
Scan Average:	54.49	31.54
Maximum:	65	41
Minimum:	42	21
Avg / Min:	1.29	1.53
Guaranteed Max / Min:	2	2.5
Max / Min:	1.53	2.00
UG (adjacent pts):	1.32	1.56
CU:	0.73	
No. of Points:	25	88

LUMINAIRE INFORMATION

Applied Circuits: A
No. of Luminaires: 40
 Total Load: 48.28 kW

Guaranteed Performance: The ILLUMINATION described above is guaranteed per your Musco Warranty document and includes a 0.95 dirt depreciation factor.

Field Measurements: Individual field measurements may vary from computer-calculated predictions and should be taken in accordance with IESNA RP-6-15.

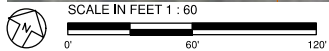
Electrical System Requirements: Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

Installation Requirements: Results assume $\pm 3\%$ nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.



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ILLUMINATION SUMMARY



Pole location(s) Ⓢ dimensions are relative to 0,0 reference point(s) ⊗

ENGINEERED DESIGN By: Connor Ramstead · File #213477AR1 · 30-Aug-21

EQUIPMENT LIST FOR AREAS SHOWN									
Pole			Luminaires						
QTY	LOCATION	SIZE	GRADE ELEVATION	MOUNTING HEIGHT	LUMINAIRE TYPE	QTY / POLE	THIS GRID	OTHER GRIDS	
1	A4	60'	-	60'	TLC-LED-900	2	2	0	
				15.5'	TLC-BT-575	1	1	0	
				60'	TLC-LED-1200	1	1	0	
1	B2	80'	-	80'	TLC-LED-1200	1*	1	0	
				80'	TLC-LED-900	2*	2	0	
				15.5'	TLC-BT-575	1/1*	1	1	
				80'	TLC-LED-1500	7	0	7	
2	B3-B4	70'	-	70'	TLC-LED-1200	1	1	0	
				15.5'	TLC-BT-575	1	1	0	
				70'	TLC-LED-1500	4	4	0	
4	TOTALS					28	20	8	

*This structure utilizes a back-to-back mounting configuration



ENGINEERED DESIGN By: Connor Ramstead · File #213477AR1 · 30-Aug-21

Pole location(s) ⦿ dimensions are relative to 0,0 reference point(s) ⊗

First Baptist Concord Church Sports Complex
Farragut,TN

GRID SUMMARY	
Name:	Softball
Size:	190'/220'/190' - basepath 60'
Spacing:	20.0' x 20.0'
Height:	3.0' above grade

ILLUMINATION SUMMARY		
MAINTAINED HORIZONTAL FOOTCANDLES		
	Infield	Outfield
Guaranteed Average:	50	30
Scan Average:	51.51	34.10
Maximum:	62	44
Minimum:	40	21
Avg / Min:	1.28	1.60
Guaranteed Max / Min:	2	2.5
Max / Min:	1.53	2.07
UG (adjacent pts):	1.27	1.62
CU:	0.65	
No. of Points:	25	72
LUMINAIRE INFORMATION		
Applied Circuits:	B	
No. of Luminaires:	20	
Total Load:	21.98 kW	

Guaranteed Performance: The ILLUMINATION described above is guaranteed per your Musco Warranty document and includes a 0.95 dirt depreciation factor.

Field Measurements: Individual field measurements may vary from computer-calculated predictions and should be taken in accordance with IESNA RP-6-15.

Electrical System Requirements: Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

Installation Requirements: Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.



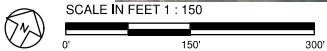
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ILLUMINATION SUMMARY

EQUIPMENT LIST FOR AREAS SHOWN

QTY		Pole		GRADE ELEVATION	MOUNTING HEIGHT	Luminaires			QTY / POLE	THIS GRID	OTHER GRIDS
		LOCATION	SIZE			LUMINAIRE TYPE					
2		A1-A2	70'	-	15.5'	TLC-BT-575	1	1	1	0	
					70'	TLC-LED-1200	4	4	4	0	
1		A4	60'	-	60'	TLC-LED-900	2	2	2	0	
					15.5'	TLC-BT-575	1	1	1	0	
					60'	TLC-LED-1200	1	1	1	0	
1		B1	80'	-	15.5'	TLC-LED-1500	1	1	1	0	
					80'	TLC-LED-1500	7	7	7	0	
1		B2	80'	-	80'	TLC-LED-1200	1*	1	1	0	
					80'	TLC-LED-900	2*	2	2	0	
					15.5'	TLC-BT-575	1/1*	2	0	0	
					80'	TLC-LED-1500	7	7	0	0	
2		B3-B4	70'	-	70'	TLC-LED-1200	1	1	1	0	
					15.5'	TLC-BT-575	1	1	0	0	
					70'	TLC-LED-1500	4	4	0	0	
2		C1-C2	70'	-	15.5'	TLC-BT-575	2	2	0	0	
					70'	TLC-LED-1500	5	5	0	0	
9					TOTALS		60	60	0	0	

* This structure utilizes a back-to-back mounting configuration



ENGINEERED DESIGN By: Connor Ramstead · File #213477AR1 · 30-Aug-21

First Baptist Concord Church Sports Complex
Farragut, TN

GRID SUMMARY

Name: Blanket Grid
Size: 190'/220'/190' - basepath 60'
Spacing: 30.0' x 30.0'
Height: 3.0' above grade

ILLUMINATION SUMMARY

MAINTAINED HORIZONTAL FOOTCANDLES

Entire Grid

Scan Average: 7.45

Maximum: 65

Minimum: 0

Avg / Min: -

Max / Min: -

UG (adjacent pts): 63.00

CU: 0.92

No. of Points: 1015

LUMINAIRE INFORMATION

Applied Circuits: A, B

No. of Luminaires: 60

Total Load: 70.26 kW

Guaranteed Performance: The ILLUMINATION described above is guaranteed per your Musco Warranty document and includes a 0.95 dirt depreciation factor.

Field Measurements: Individual field measurements may vary from computer-calculated predictions and should be taken in accordance with IESNA RP-6-15.

Electrical System Requirements: Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

Installation Requirements: Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.



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ILLUMINATION SUMMARY

EQUIPMENT LIST FOR AREAS SHOWN									
Pole			Luminaires						
QTY	LOCATION	SIZE	GRADE ELEVATION	MOUNTING HEIGHT	LUMINAIRE TYPE	QTY / POLE	THIS GRID	OTHER GRIDS	
2	A1-A2	70'	-	15.5'	TLC-BT-575	1	1	0	
				70'	TLC-LED-1200	4	4	0	
1	A4	60'	-	60'	TLC-LED-900	2	2	0	
				15.5'	TLC-BT-575	1	1	0	
				60'	TLC-LED-1200	1	1	0	
1	B1	80'	-	15.5'	TLC-BT-575	1	1	0	
				80'	TLC-LED-1500	7	7	0	
1	B2	80'	-	80'	TLC-LED-1200	1*	1	0	
				80'	TLC-LED-900	2*	2	0	
				15.5'	TLC-BT-575	1/1*	2	0	
				80'	TLC-LED-1500	7	7	0	
2	B3-B4	70'	-	70'	TLC-LED-1200	1	1	0	
				15.5'	TLC-BT-575	1	1	0	
				70'	TLC-LED-1500	4	4	0	
2	C1-C2	70'	-	15.5'	TLC-BT-575	2	2	0	
				70'	TLC-LED-1500	5	5	0	
9	TOTALS					60	60	0	

* This structure utilizes a back-to-back mounting configuration



ENGINEERED DESIGN By: Connor Ramstead · File #213477AR1 · 30-Aug-21

First Baptist Concord Church Sports Complex
Farragut, TN

GRID SUMMARY	
Name:	North Spill
Spacing:	30.0'
Height:	3.0' above grade

ILLUMINATION SUMMARY	
HORIZONTAL FOOTCANDLES	
Scan Average:	Entire Grid 0.0005
Maximum:	0.00
Minimum:	0.00
No. of Points:	40
LUMINAIRE INFORMATION	
Applied Circuits:	A, B
No. of Luminaires:	60
Total Load:	70.26 kW

Guaranteed Performance: The ILLUMINATION described above is guaranteed per your Musco Warranty document.

Field Measurements: Individual field measurements may vary from computer-calculated predictions and should be taken in accordance with IESNA RP-6-15.

Electrical System Requirements: Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

Installation Requirements: Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.



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ILLUMINATION SUMMARY

EQUIPMENT LIST FOR AREAS SHOWN									
Pole			Luminaires						
QTY	LOCATION	SIZE	GRADE ELEVATION	MOUNTING HEIGHT	LUMINAIRE TYPE	QTY / POLE	THIS GRID	OTHER GRIDS	
2	A1-A2	70'	-	15.5'	TLC-BT-575	1	1	0	
				70'	TLC-LED-1200	4	4	0	
1	A4	60'	-	60'	TLC-LED-900	2	2	0	
				15.5'	TLC-BT-575	1	1	0	
				60'	TLC-LED-1200	1	1	0	
1	B1	80'	-	15.5'	TLC-BT-575	1	1	0	
				80'	TLC-LED-1500	7	7	0	
1	B2	80'	-	80'	TLC-LED-1200	1*	1	0	
				80'	TLC-LED-900	2*	2	0	
				15.5'	TLC-BT-575	1/1*	2	0	
				80'	TLC-LED-1500	7	7	0	
2	B3-B4	70'	-	70'	TLC-LED-1200	1	1	0	
				15.5'	TLC-BT-575	1	1	0	
				70'	TLC-LED-1500	4	4	0	
2	C1-C2	70'	-	15.5'	TLC-BT-575	2	2	0	
				70'	TLC-LED-1500	5	5	0	
9	TOTALS					60	60	0	

* This structure utilizes a back-to-back mounting configuration



ENGINEERED DESIGN By: Connor Ramstead · File #213477AR1 · 30-Aug-21

First Baptist Concord Church Sports Complex
Farragut, TN

GRID SUMMARY

Name: South Spill
Spacing: 30.0'
Height: 3.0' above grade

ILLUMINATION SUMMARY

HORIZONTAL FOOTCANDLES

Entire Grid
Scan Average: 0.1003
Maximum: 0.28
Minimum: 0.00
No. of Points: 15

LUMINAIRE INFORMATION

Applied Circuits: A, B
No. of Luminaires: 60
Total Load: 70.26 kW

Guaranteed Performance: The ILLUMINATION described above is guaranteed per your Musco Warranty document.

Field Measurements: Individual field measurements may vary from computer-calculated predictions and should be taken in accordance with IESNA RP-6-15.

Electrical System Requirements: Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

Installation Requirements: Results assume $\pm 3\%$ nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.



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ILLUMINATION SUMMARY

First Baptist Concord Church Sports Complex
Farragut, TN

EQUIPMENT LAYOUT

INCLUDES:
- Baseball
- Softball

Electrical System Requirements: Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

Installation Requirements: Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.

EQUIPMENT LIST FOR AREAS SHOWN

Pole				Luminaires		
QTY	LOCATION	SIZE	GRADE ELEVATION	MOUNTING HEIGHT	LUMINAIRE TYPE	QTY / POLE
2	A1-A2	70'		15.5'	TLC-BT-575	1
				70'	TLC-LED-1200	4
1	A4	60'	-	60'	TLC-LED-900	2
				15.5'	TLC-BT-575	1
				60'	TLC-LED-1200	1
1	B1	80'	-	15.5'	TLC-BT-575	1
				80'	TLC-LED-1500	7
1	B2	80'	-	80'	TLC-LED-1200	1*
				80'	TLC-LED-900	2*
				15.5'	TLC-BT-575	1/1*
				80'	TLC-LED-1500	7
2	B3-B4	70'	-	70'	TLC-LED-1200	1
				15.5'	TLC-BT-575	1
				70'	TLC-LED-1500	4
2	C1-C2	70'	-	15.5'	TLC-BT-575	2
				70'	TLC-LED-1500	5
9	TOTALS					60

* This structure utilizes a back-to-back mounting configuration

SINGLE LUMINAIRE AMPERAGE DRAW CHART

Ballast Specifications (.90 min power factor)	Line Amperage Per Luminaire (max draw)							
	208 (60)	220 (60)	240 (60)	277 (60)	347 (60)	380 (60)	480 (60)	
Single Phase Voltage	7.0	6.6	6.1	5.2	4.2	4.0	3.0	
TLC-LED-1200	8.5	8.1	7.4	6.4	5.1	4.7	3.7	
TLC-LED-900	5.3	5.0	4.6	4.0	3.2	2.9	2.3	
TLC-BT-575	3.4	3.2	2.9	2.5	2.0	1.8	1.5	

Pole location(s) ⚡ dimensions are relative to 0,0 reference point(s) ⊗

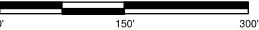


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EQUIPMENT LAYOUT



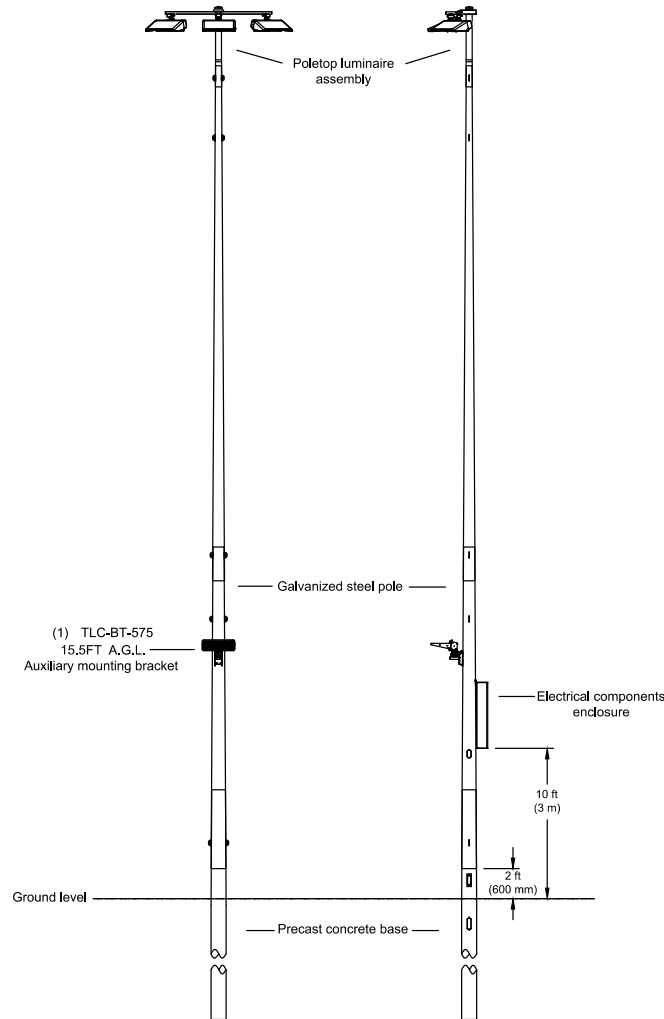
SCALE IN FEET 1 : 150



ENGINEERED DESIGN By: Connor Ramstead · File #213477AR1 · 30-Aug-21

C. PRODUCT INFORMATION

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POLE(S): A4

Musco 60FT Light-Structure System™ pole
TLC for LED™ luminaires

PROJECT NUMBER: 213477	DRAWN BY: Kronsted	SCALE: NTS	DATE: 08/30/2021	DRAWING NUMBER: 213477P1
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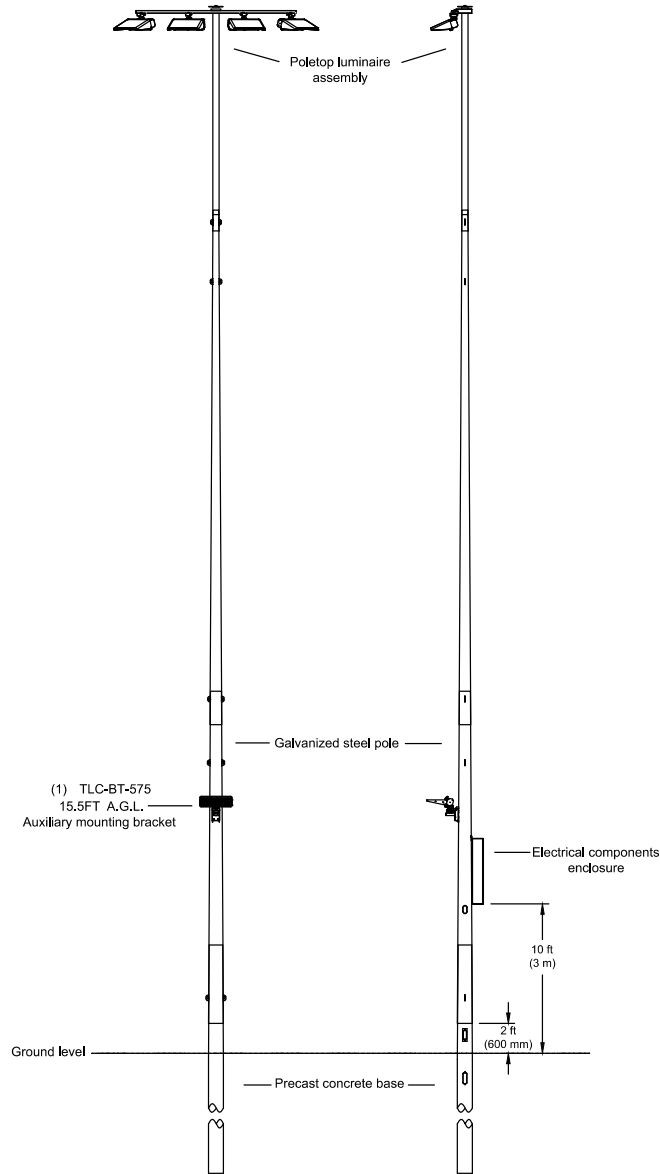
DATE:	BY:	R.L.	REVISIONS:

MUSCO
Lighting

CORPORATE OFFICE:
P.O. Box 808
100 1st Avenue West
Oskaloosa, Iowa 52577
+1-800-825-6020
+1-641-673-0411

First Baptist Concord Church
Farragut, TN
Pole Configuration Drawing **B**

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POLE(S): A1, A2

Musco 70FT Light-Structure System™ pole
TLC for LED™ luminaires

PROJECT NUMBER: 213477	DRAWN BY: Q. Rasmussen	DATE: 08/30/2021
SCALE: NTS	DATE: 08/30/2021	PROJECT NUMBER: 213477P1
2	OF	6 SHEETS

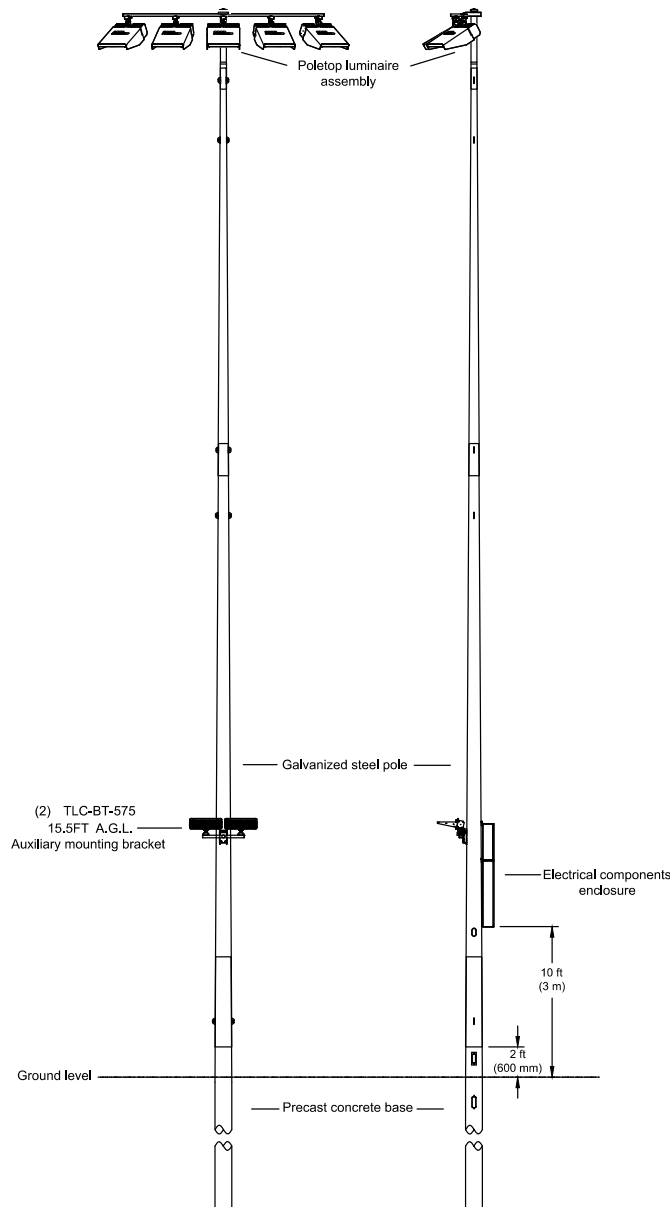
DATE:	BY:	R/L:	REVISIONS:

MUSCO
Lighting

CORPORATE OFFICE:
P.O. Box 808
100 1st Avenue West
Oskaloosa, Iowa 52577
+1-800-825-6020
+1-641-673-0411

First Baptist Concord Church
Farragut, TN
Pole Configuration Drawing

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POLE(S): C1, C2
Musco 70FT Light-Structure System™ pole
TLC for LED™ luminaires

PROJECT NUMBER: 213477	DRAWN BY: Cramsted	SCALE: NTS	DATE: 08/30/2021
213477P1			

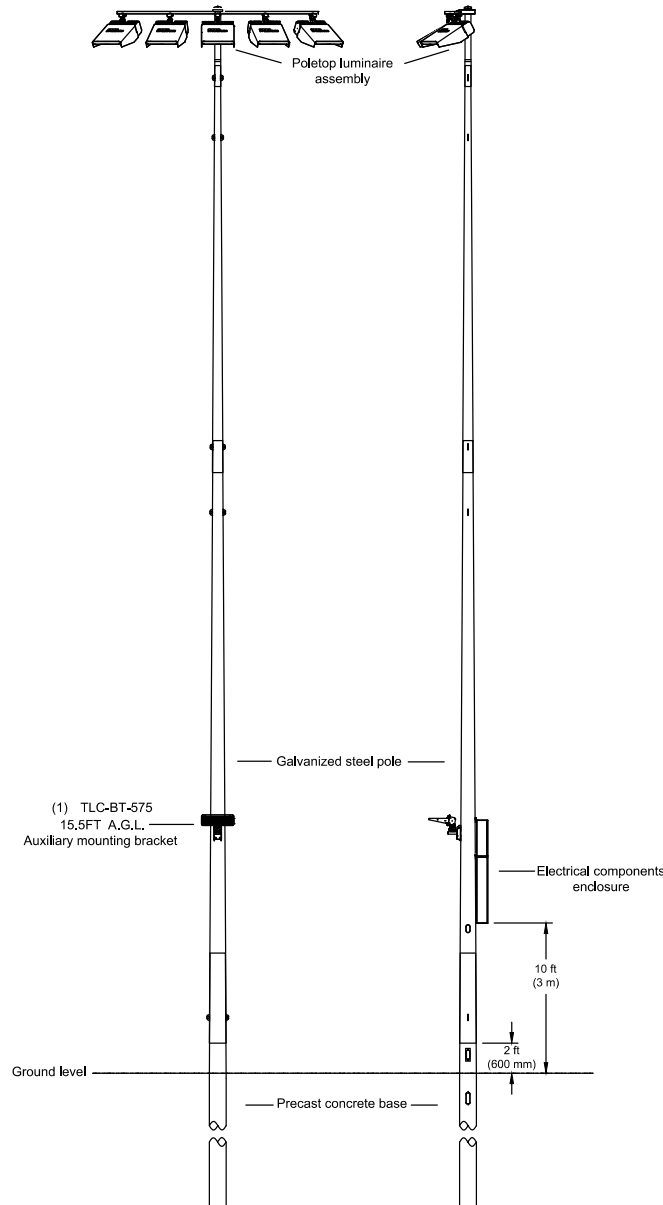
DATE:	BY:	REVISIONS:

MUSCO
Lighting

CORPORATE OFFICE:
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100 1st Avenue West
Oskaloosa, Iowa 52577
+1-800-825-6020
+1-641-673-0411

First Baptist Concord Church
Farragut, TN
Pole Configuration Drawing

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POLE(S): B3, B4
Musco 70FT Light-Structure System™ pole
TLC for LED™ luminaires

PROJECT NUMBER: 213477	DRAWN BY: Cromstead	DATE: 08/30/2021	PROJECT NUMBER: 213477P1
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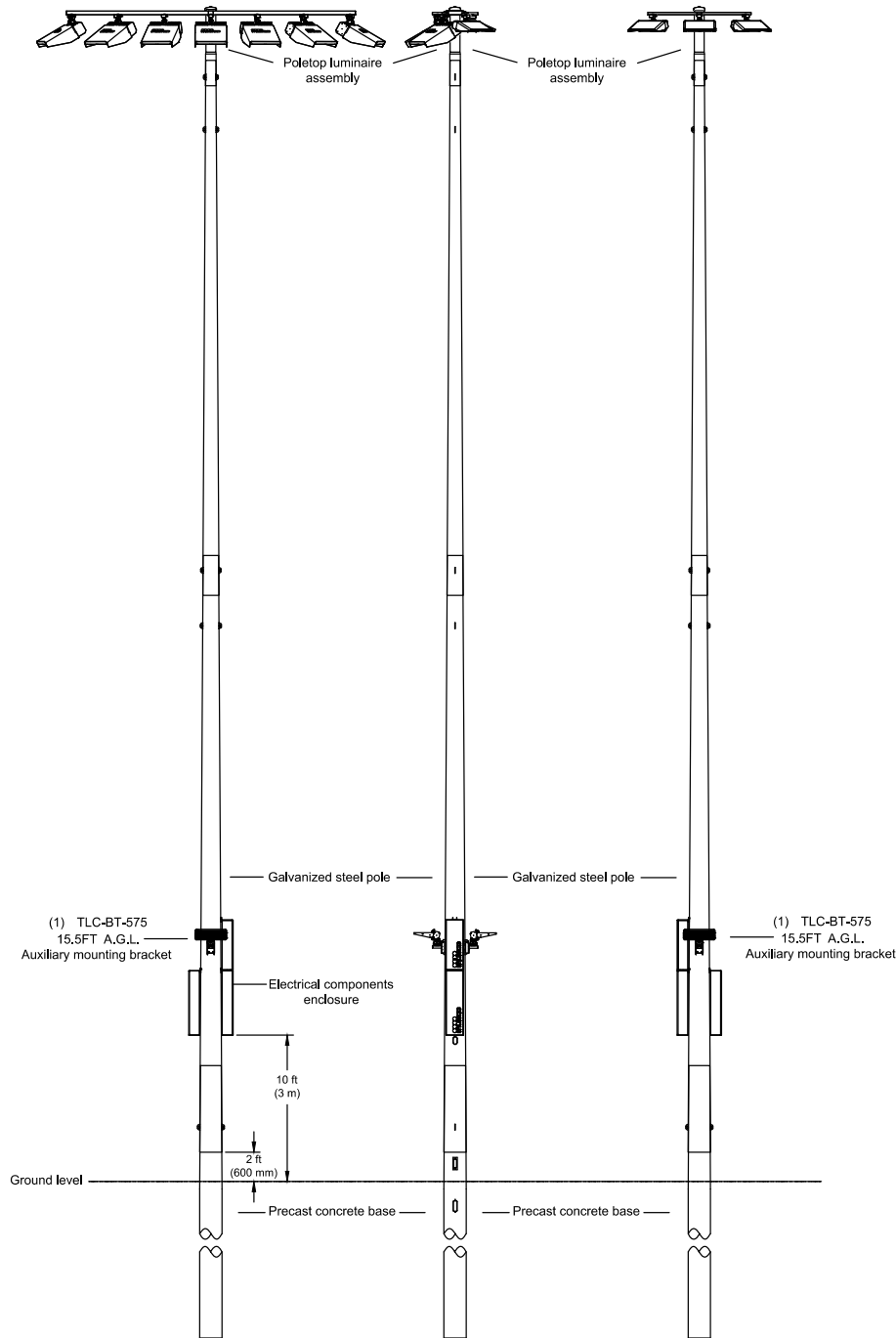
DATE:	BY:	R.L.	REVISIONS:

MUSCO Lighting

CORPORATE OFFICE:
P.O. Box 808
100 1st Avenue West
Osakeola, Iowa 52577
+1-800-825-6020
+1-641-673-0411

First Baptist Concord Church
Farragut, TN
Pole Configuration Drawing

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POLE(S): B2

Musco 80FT Light-Structure System™ pole
TLC for LED™ luminaires

PROJECT NUMBER: 213477	DRAWN BY: Cromstead	DATE: 08/30/2021	SCALE: NTS
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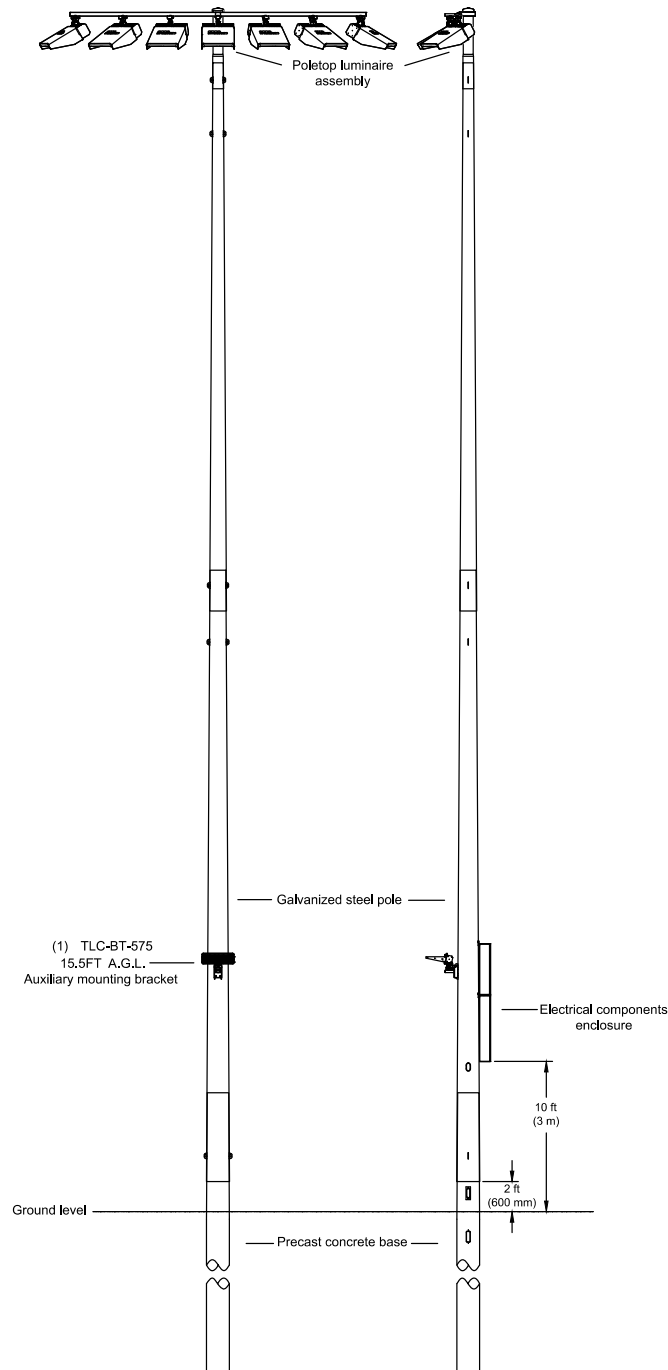
DATE:	BY:	REVISIONS:

MUSCO Lighting

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Oskaloosa, Iowa 52577
+1-800-825-6020
+1-641-673-0411

First Baptist Concord Church
Farragut, TN
Pole Configuration Drawing

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POLE(S): B1

Musco 80FT Light-Structure System™ pole
TLC for LED™ luminaires

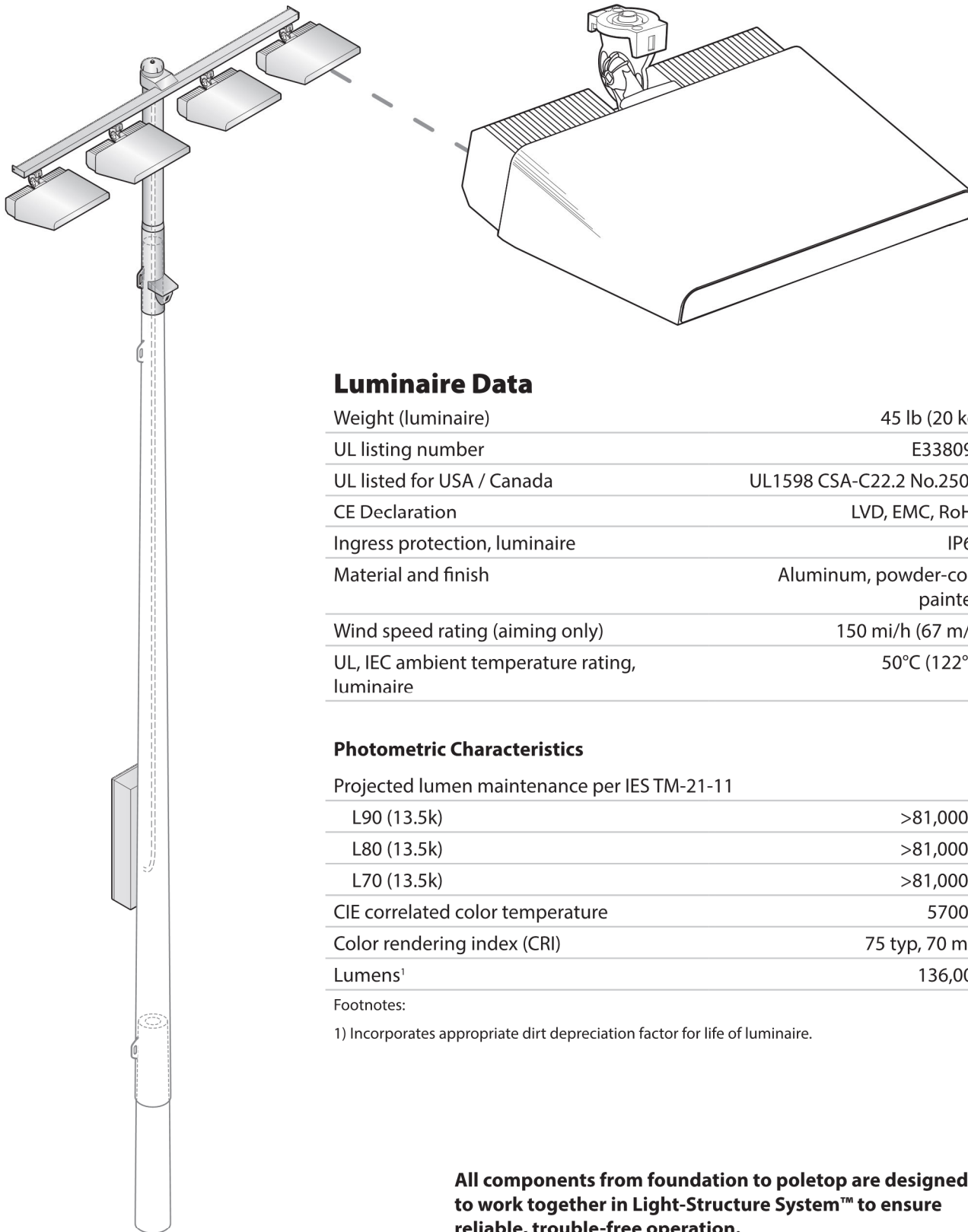
PROJECT NUMBER: 213477	DRAWN BY: Cromsted	SCALE: NTS	DATE: 08/30/2021
DRAWING NUMBER: 213477P1			

DATE:	BY:	R.L.	REVISIONS:

CORPORATE OFFICE:
P.O. Box 808
100 1st Avenue West
Oskaloosa, Iowa 52577
+1-800-825-6020
+1-641-873-0411

First Baptist Concord Church
Farragut, TN
Pole Configuration Drawing

Luminaire and Driver – TLC-LED-1200



Luminaire Data

Weight (luminaire)	45 lb (20 kg)
UL listing number	E338094
UL listed for USA / Canada	UL1598 CSA-C22.2 No.250.0
CE Declaration	LVD, EMC, RoHS
Ingress protection, luminaire	IP65
Material and finish	Aluminum, powder-coat painted
Wind speed rating (aiming only)	150 mi/h (67 m/s)
UL, IEC ambient temperature rating, luminaire	50°C (122°F)

Photometric Characteristics

Projected lumen maintenance per IES TM-21-11	
L90 (13.5k)	>81,000 h
L80 (13.5k)	>81,000 h
L70 (13.5k)	>81,000 h
CIE correlated color temperature	5700 K
Color rendering index (CRI)	75 typ, 70 min
Lumens ¹	136,000

Footnotes:

1) Incorporates appropriate dirt depreciation factor for life of luminaire.

All components from foundation to poletop are designed to work together in Light-Structure System™ to ensure reliable, trouble-free operation.

Luminaire and Driver – TLC-LED-1200

Driver Data

Electrical Data

Rated wattage¹

Per driver 1170 W

Per luminaire 1170 W

Number of luminaires per driver 1

Starting (inrush) current <40 A, 256 µs

Fuse rating 15 A

UL, IEC ambient temperature rating, electrical components enclosure 50°C (122°F)

Ingress protection, electrical components enclosure IP54

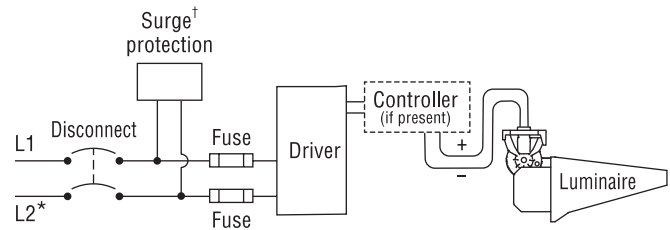
Efficiency 95%

Dimming mode optional

Range, energy consumption 14 – 100%

Range, light output 19 – 100%

Typical Wiring



* If L2 (com) is neutral then not switched or fused.

† Not present if indoor installation.

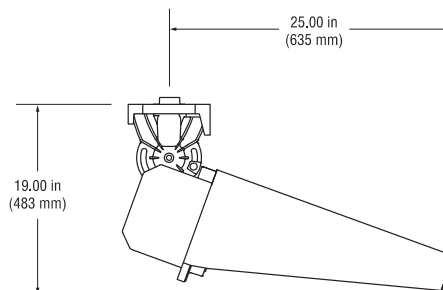
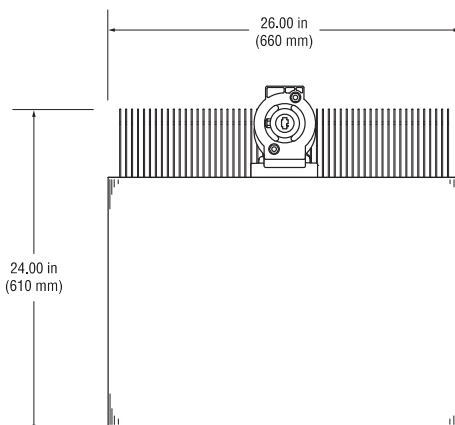
	200 Vac 50/60 Hz	208 Vac 60 Hz	220 Vac 50/60 Hz	230 Vac 50 Hz	240 Vac 50/60 Hz	277 Vac 60 Hz	347 Vac 60 Hz	380 Vac 50/60 Hz	400 Vac 50 Hz	415 Vac 50 Hz	480 Vac 60 Hz
Max operating current per luminaire ²	7.26 A	6.98 A	6.60 A	6.31 A	6.05 A	5.24 A	4.18 A	3.82 A	3.63 A	3.50 A	3.03 A

Footnotes:

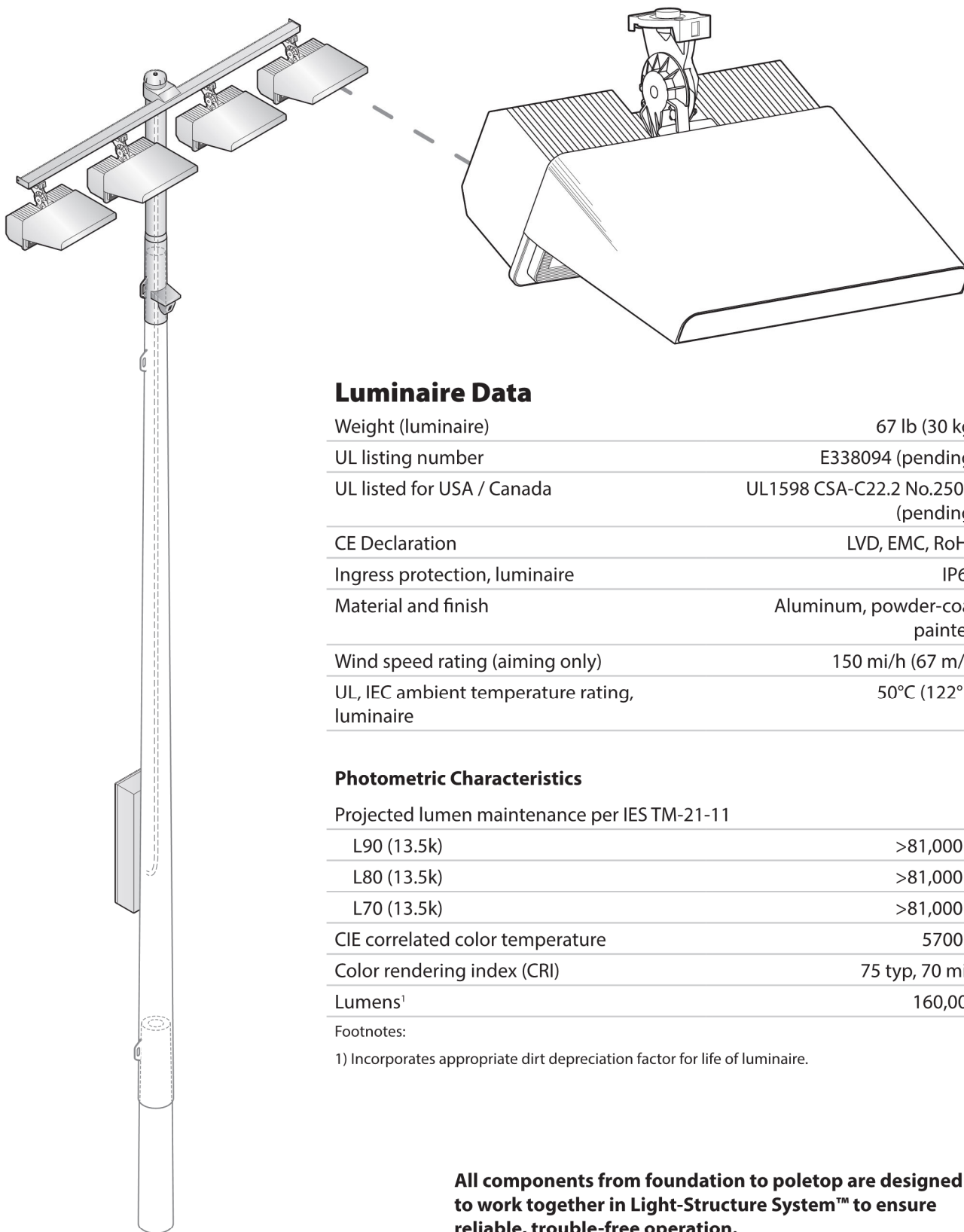
- 1) Rated wattage is the power consumption, including driver efficiency losses, at stabilized operation in 25°C ambient temperature environment.
- 2) Operating current includes allowance for 0.90 minimum power factor, operating temperature, and LED light source manufacturing tolerances.

Notes

1. Use thermal magnetic HID-rated or D-curve circuit breakers.
2. See *Musco Control System Summary* for circuit information.



Luminaire and Driver – TLC-LED-1500



Luminaire Data

Weight (luminaire)	67 lb (30 kg)
UL listing number	E338094 (pending)
UL listed for USA / Canada	UL1598 CSA-C22.2 No.250.0 (pending)
CE Declaration	LVD, EMC, RoHS
Ingress protection, luminaire	IP65
Material and finish	Aluminum, powder-coat painted
Wind speed rating (aiming only)	150 mi/h (67 m/s)
UL, IEC ambient temperature rating, luminaire	50°C (122°F)

Photometric Characteristics

Projected lumen maintenance per IES TM-21-11	
L90 (13.5k)	>81,000 h
L80 (13.5k)	>81,000 h
L70 (13.5k)	>81,000 h
CIE correlated color temperature	5700 K
Color rendering index (CRI)	75 typ, 70 min
Lumens ¹	160,000

Footnotes:

1) Incorporates appropriate dirt depreciation factor for life of luminaire.

All components from foundation to poletop are designed to work together in Light-Structure System™ to ensure reliable, trouble-free operation.

Luminaire and Driver – TLC-LED-1500

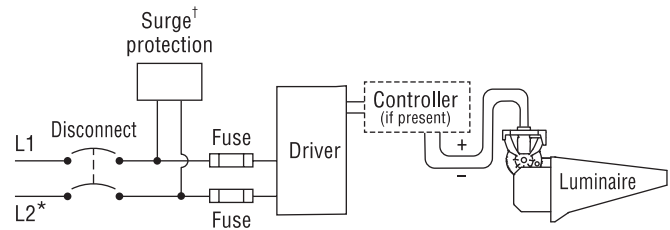
Driver Data

Typical Wiring

Electrical Data

Rated wattage¹

Per driver	1430 W
Per luminaire	1430 W
Number of luminaires per driver	1
Starting (inrush) current	<40 A, 256 μ s
Fuse rating	15 A
UL, IEC ambient temperature rating, electrical components enclosure	50°C (122°F)
Ingress protection, electrical components enclosure	IP54
Efficiency	95%
Dimming mode	optional
Range, energy consumption	12 – 100%
Range, light output	17 – 100%



* If L2 (com) is neutral then not switched or fused.

† Not present if indoor installation.

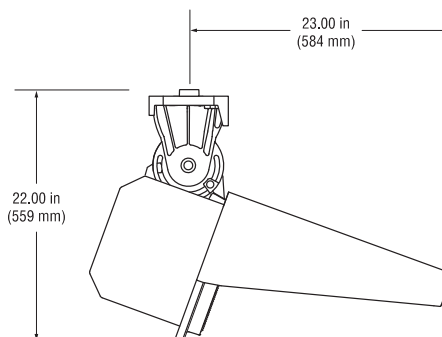
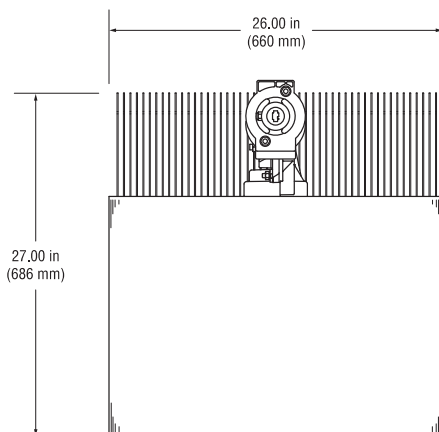
	200 Vac 50/60 Hz	208 Vac 60 Hz	220 Vac 50/60 Hz	230 Vac 50 Hz	240 Vac 50/60 Hz	277 Vac 60 Hz	347 Vac 60 Hz	380 Vac 50/60 Hz	400 Vac 50 Hz	415 Vac 50 Hz	480 Vac 60 Hz
Max operating current per luminaire ²	8.86 A	8.52 A	8.06 A	7.71 A	7.39 A	6.40 A	5.11 A	4.67 A	4.43 A	4.27 A	3.70 A

Footnotes:

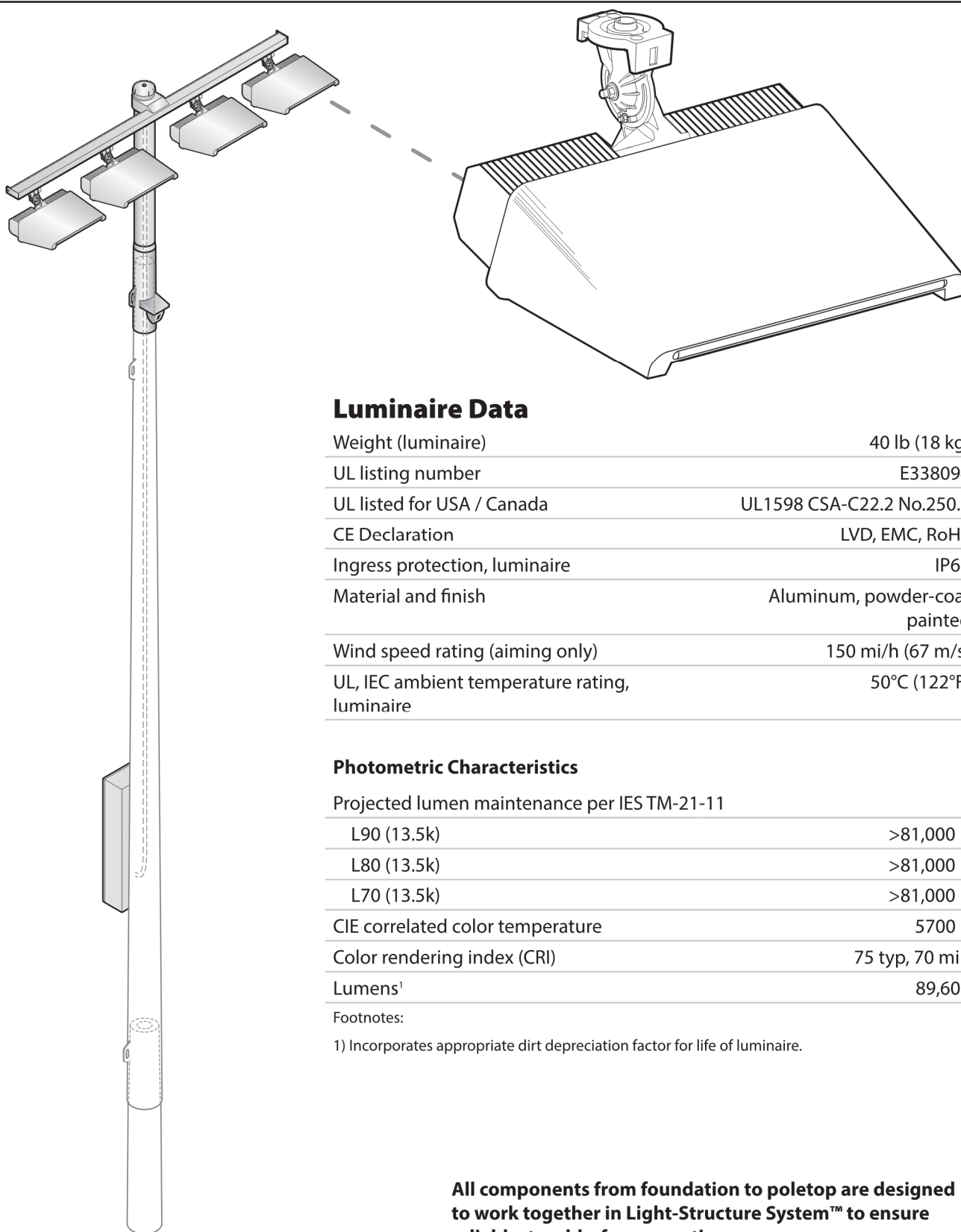
- 1) Rated wattage is the power consumption, including driver efficiency losses, at stabilized operation in 25°C ambient temperature environment.
- 2) Operating current includes allowance for 0.90 minimum power factor, operating temperature, and LED light source manufacturing tolerances.

Notes

1. Use thermal magnetic HID-rated or D-curve circuit breakers.
2. See *Musco Control System Summary* for circuit information.



Luminaire and Driver – TLC-LED-900



Luminaire Data

Weight (luminaire)	40 lb (18 kg)
UL listing number	E338094
UL listed for USA / Canada	UL1598 CSA-C22.2 No.250.0
CE Declaration	LVD, EMC, RoHS
Ingress protection, luminaire	IP65
Material and finish	Aluminum, powder-coat painted
Wind speed rating (aiming only)	150 mi/h (67 m/s)
UL, IEC ambient temperature rating, luminaire	50°C (122°F)

Photometric Characteristics

Projected lumen maintenance per IES TM-21-11

L90 (13.5k)	>81,000 h
L80 (13.5k)	>81,000 h
L70 (13.5k)	>81,000 h
CIE correlated color temperature	5700 K
Color rendering index (CRI)	75 typ, 70 min
Lumens ¹	89,600

Footnotes:

1) Incorporates appropriate dirt depreciation factor for life of luminaire.

All components from foundation to poletop are designed to work together in Light-Structure System™ to ensure reliable, trouble-free operation.

Luminaire and Driver – TLC-LED-900

Driver Data

Electrical Data

Rated wattage¹

Per driver 890 W

Per luminaire 890 W

Number of luminaires per driver 1

Starting (inrush) current <40 A, 256 μ s

Fuse rating 15 A

UL, IEC ambient temperature rating, electrical components enclosure 50°C (122°F)

Ingress protection, electrical components enclosure IP54

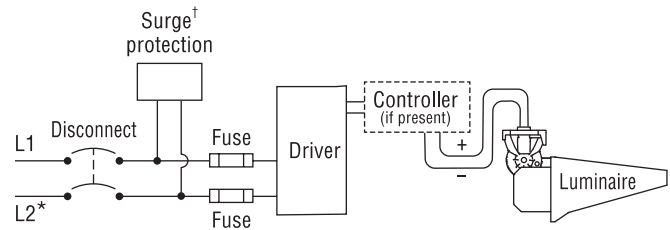
Efficiency 95%

Dimming mode optional

Range, energy consumption 25 – 100%

Range, light output 30 – 100%

Typical Wiring



* If L2 (com) is neutral then not switched or fused.

† Not present if indoor installation.

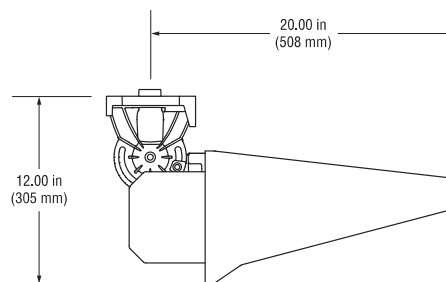
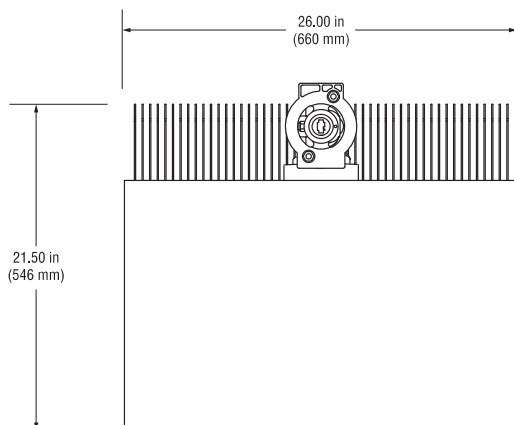
	200 Vac 50/60 Hz	208 Vac 60 Hz	220 Vac 50/60 Hz	230 Vac 50 Hz	240 Vac 50/60 Hz	277 Vac 60 Hz	347 Vac 60 Hz	380 Vac 50/60 Hz	400 Vac 50 Hz	415 Vac 50 Hz	480 Vac 60 Hz
Max operating current per luminaire ²	5.50 A	5.29 A	5.00 A	4.78 A	4.58 A	3.97 A	3.17 A	2.90 A	2.75 A	2.65 A	2.29 A

Footnotes:

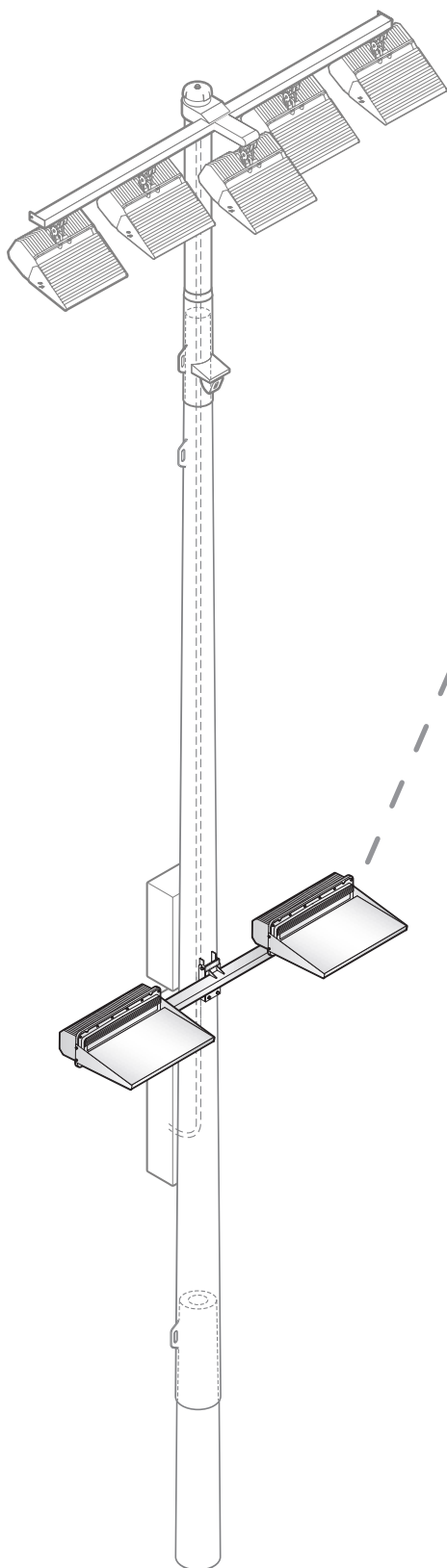
- 1) Rated wattage is the power consumption, including driver efficiency losses, at stabilized operation in 25°C ambient temperature environment.
- 2) Operating current includes allowance for 0.90 minimum power factor, operating temperature, and LED light source manufacturing tolerances.

Notes

1. Use thermal magnetic HID-rated or D-curve circuit breakers.
2. See *Musco Control System Summary* for circuit information.



Luminaire and Driver Components – TLC-BT-575



Luminaire Data

Weight (luminaire)	34 lb (15 kg)
UL listing number	E338094
UL Listed for USA / Canada	UL1598 CSA-C22.2 No.250.0
Ingress protection, luminaire	IP65
Impact rating	IK07
Material and finish	Aluminum, powder-coat painted
Wind speed rating (aiming only)	150 mi/h (67 m/s)
UL, IEC ambient temperature rating, luminaire	50°C (122°F)

Photometric Characteristics

Projected lumen maintenance per IES TM-21-11	
L90 (20k)	>120,000 h
L80 (20k)	>120,000 h
L70 (20k)	>120,000 h
Lumens ¹	52,000
CIE correlated color temperature	5700 K
Color rendering index (CRI)	75 typ, 70 min
LED binning tolerance	7-step MacAdam Ellipse

Footnotes:

1) Incorporates appropriate dirt depreciation factor for life of luminaire.

All components from foundation to poletop are designed to work together in Light-Structure System™ to ensure reliable, trouble-free operation.

Luminaire and Driver Components – TLC-BT-575

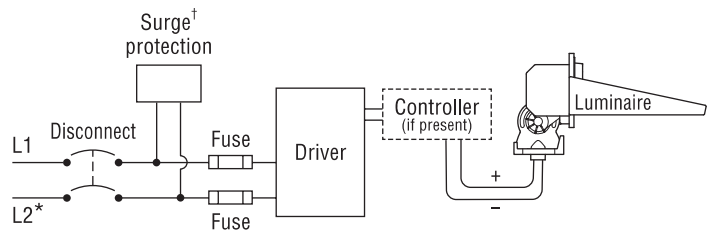
Driver Data

Typical Wiring

Electrical Data

Rated wattage¹

Per driver	575 W
Per luminaire	575 W
Number of luminaires per driver	1
Starting (inrush) current	<40 A, 256 µs
Fuse rating	15 A
UL, IEC ambient temperature rating, electrical components enclosure	50°C (122°F)
Ingress protection, electrical components enclosure	IP54
Efficiency	95%



* If L2 (com) is neutral then not switched or fused.

† Not present if indoor installation.

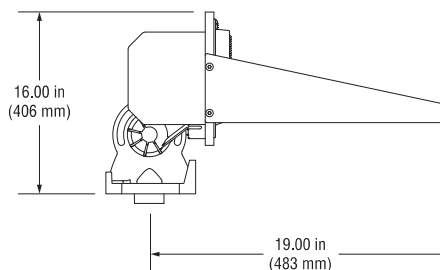
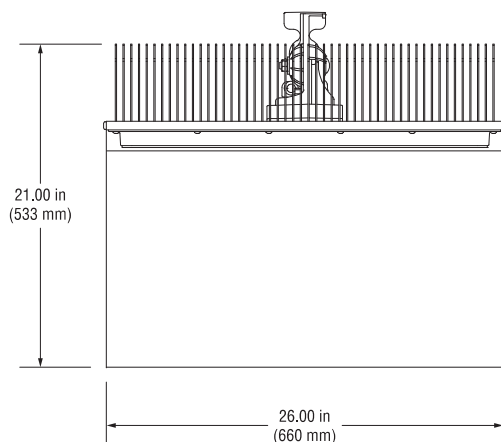
	200 Vac 50/60 Hz	208 Vac 60 Hz	220 Vac 50/60 Hz	230 Vac 50 Hz	240 Vac 50/60 Hz	277 Vac 60 Hz	347 Vac 60 Hz	380 Vac 50/60 Hz	400 Vac 50 Hz	415 Vac 50 Hz	480 Vac 60 Hz
Max operating current² per luminaire	3.48 A	3.35 A	3.16 A	3.03 A	2.90 A	2.51 A	2.01 A	1.83 A	1.74 A	1.68 A	1.45 A

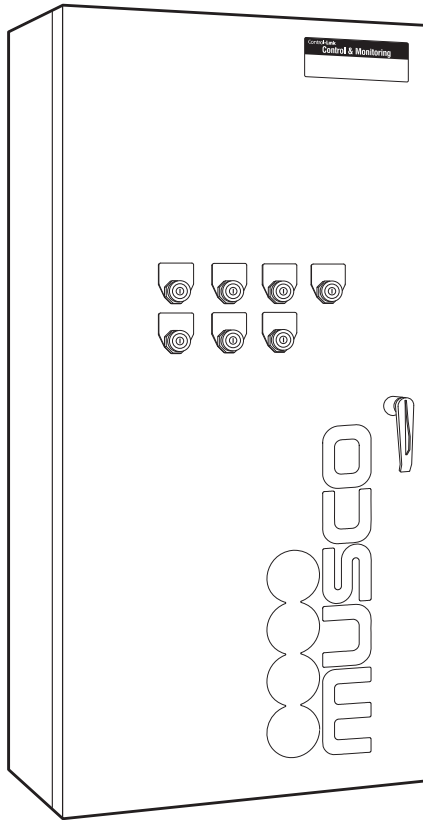
Footnotes:

- 1) Rated wattage is the power consumption, including driver efficiency losses, at stabilized operation in 25°C ambient temperature environment.
- 2) Operating current includes allowance for 0.90 minimum power factor, operating temperature, and LED light source manufacturing tolerances.

Notes

1. Use thermal magnetic HID-rated or D-curve circuit breakers.
2. See Musco *Control System Summary* for circuit information.





Overview

Control-Link® Control and Monitoring System provides remote on/off control, dimming, system monitoring, and management of your lighting system.

Features

Control

- Lighting system and auxiliary equipment
- Control with: Control-Link website, smartphone app, phone call, email, or fax up to 10 years in advance
- Seven controllable lighting zones
- Three customizable dimming levels (factory set at 100%, 50%, 20%)
- Multi-level user security settings
- Door-mounted or remote-mounted on/off/auto switches allow for manual override of automated control

Monitoring

- Detects luminaire outages and other issues that affect light quality

Management and Support

- Control-Link Central™ service center provides support 24 hours a day, 7 days a week for scheduling, monitoring, and reporting
- Luminaire outage notification within the next business day
- Customized usage reports through website

Technical Specifications

Control and Monitoring Cabinet Ratings

UL 508A Listed E204954
 CE declaration LVD, EMC, RoHS
 IEC 60439-1 compliant UL test report 05NK26317
 IEC Emissions/Immunity Class A compliant
 Operating temperature -4°F to 140°F (-20°C to 60°C)
 FCC Part 15 Class A compliant
 Weight for 72 inch (1829 mm) cabinet 180 lb (82 kg)
 Weight for 48 inch (1219 mm) cabinet 140 lb (64 kg)
 Short Circuit Current Rating (SCCR)

with 30 A contactors* 18 kA
 with 60 or 100 A contactors* 25 kA

*Minimum circuit breaker interrupt rating must be greater than or equal to SCCR rating listed above.

Construction

Control and Monitoring Cabinet

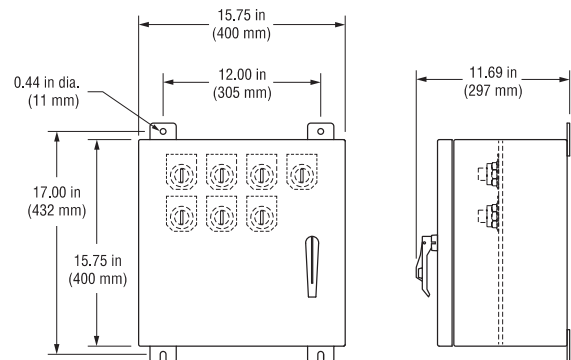
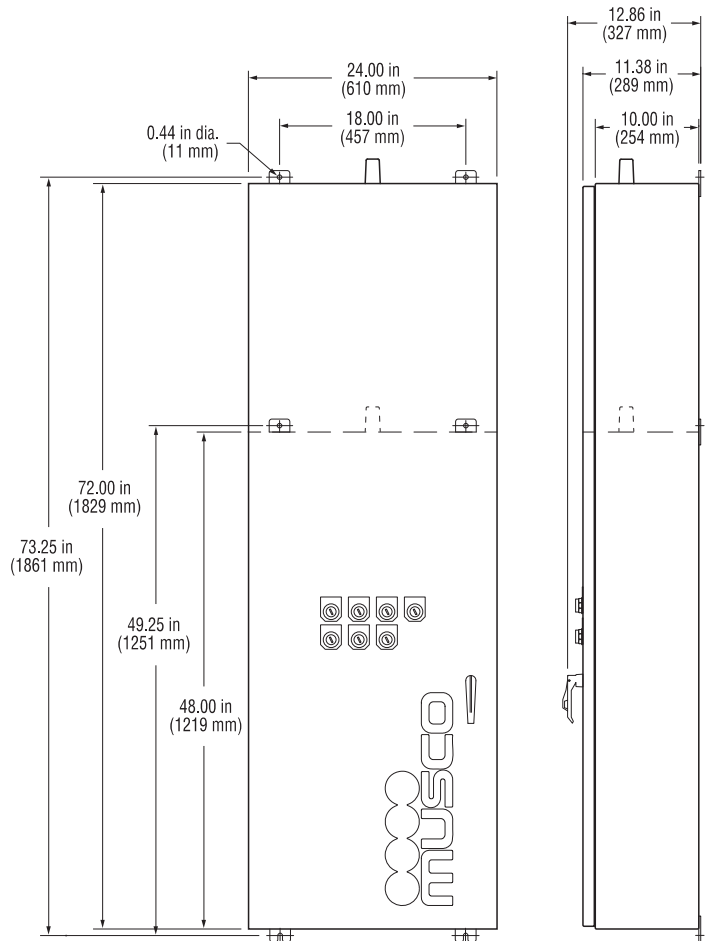
- NEMA type 4 (IP65) cabinet
- Powder-coated aluminum 5052 H32 cabinet and panel
- Lockable, 3-point latch
- Supports lighting system voltage up to 480 V
- Requires 120 V or 230 V phase-to-neutral control voltage
- Protective cover isolates high voltage

On/Off/Auto Manual Switches Cabinet (optional)

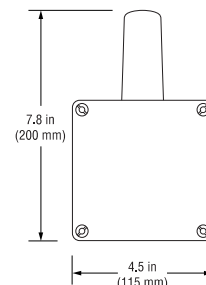
- NEMA type 4 (IP65) cabinet
- Powder-coated aluminum 5052 H32 cabinet and panel
- Lockable door
- Hinged interior panel for switch mounting

Remote Wireless Antenna Cabinet (for wireless communication)

- Cast aluminum with texture gray paint finish
- Omnidirectional antenna
- Operating temperature: -40°C (-40°F) to 85°C to (185°F)
- Frequency: 900 MHz or 2.4 GHz



Manual switches cabinet



Remote wireless antenna cabinet

Internal Details

- Factory wired, programmed, and tested
- Internally fused
- Control power terminal blocks provided
- One control circuit operates entire cabinet
- Plug-in wire harnesses provided to connect multiple cabinets

Control Module

Receives and stores schedules from Control-Link Central™ service center, operates your equipment, and verifies schedules were carried out.

- Executes scheduled on/off or dimming events.
- Stores schedules for up to 7 days
- Reboots automatically and executes current schedule when power is restored, in case of power interruption
- Monitors Musco lighting system and reports issues to keep facilities operating and to help plan routine maintenance. Alerts Control-Link Central service center to schedule appropriate action or maintenance.

Communication Modules

Communication with Control-Link Central is done via an integrated, high speed, cellular connection with no additional monthly charges during the warranty period.

Communication with light poles is done via powerline communication or wireless communication.

- Powerline communication requires a dedicated 20A circuit (lighting circuit distribution panel)
- Wireless communication requires a dedicated antenna to be mounted at least 3 ft above the cellular antenna, and 7 ft total distance away, and line of sight to lighting poles.

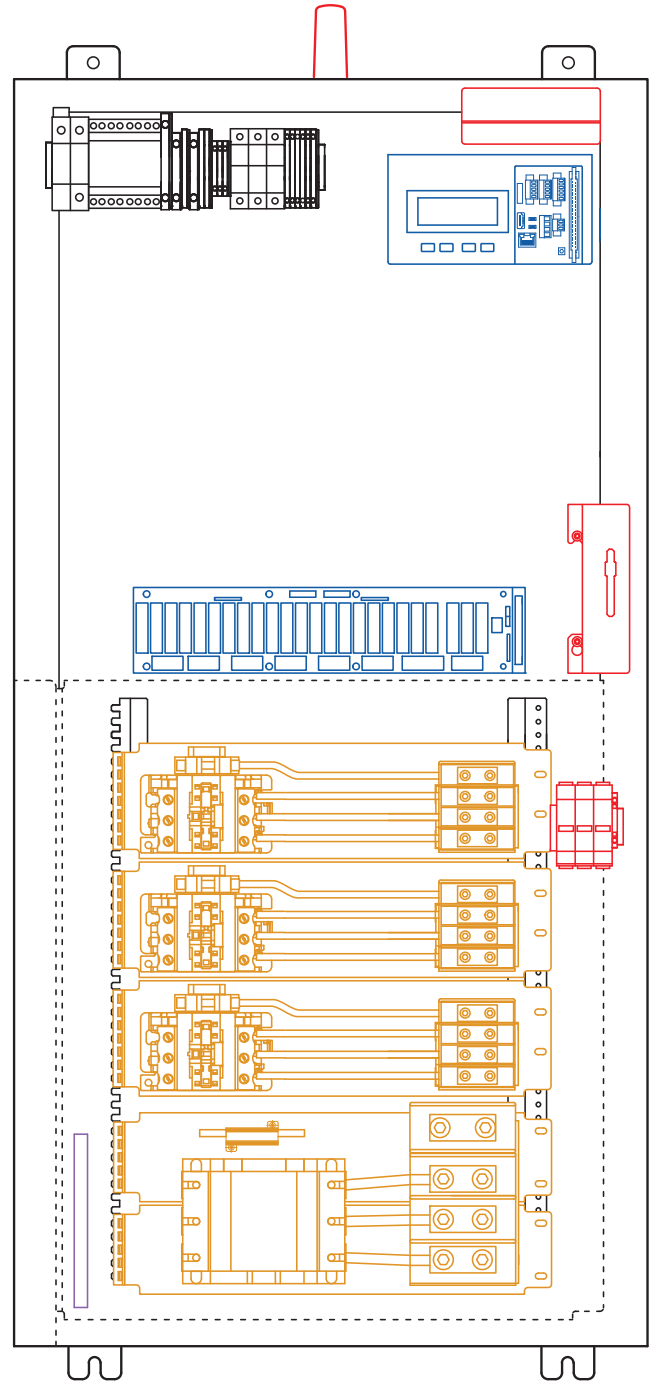
Contactor Modules

Operates equipment based on control module schedules.

- Compliant with IEC 60947-4-1 for continuous operation at 100% of rated current
- Contactors rated for 30, 60, or 100 amps

Ground Bar

Provides integral ground bar for lighting equipment grounding.

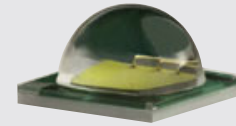


Lighting terms you'll hear

Creating Light Energy

LED – Light-emitting diode

Small semiconductor device that creates light when electricity passes through it.



Light-emitting diode

High intensity discharge (HID) lamp — Metal halide, high-pressure sodium, and mercury vapor

A group of light sources that create light when electricity ignites gasses inside an arc tube.



Metal halide lamp

Incandescent

A light source that creates light when electricity passes through a filament.

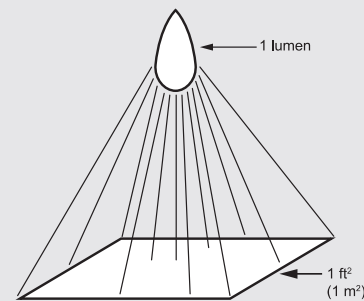
Measuring Light Energy

Lumen (1 lm)

Measure of light, much like a mile is a measure of distance.

Footcandle (fc)

One lumen of light spread over 1 square-foot of surface. A light level of 30 footcandles means that 30 lumens of light are being projected onto each square foot of playing surface.



Lux (lx)

Lux is the metric equivalent to a footcandle. A lux is 1 lumen spread over 1 square meter.

Candela (cd)

Measure of the intensity of a light source. Relates to predicting on-field and off-field glare. You can relate this to car headlights: high beam = approximately 30,000 cd. Low beam = approximately 12,000 cd.

Coloring rendering index (CRI)

A scale from 0 – 100 used to measure a light source's ability to show colors realistically as compared to natural light (daylight). Higher CRI values mean a light source is more true to color.

Color temperature

A unit of measure in degrees Kelvin that indicates the color of a light source. Temperatures below 3500K appear yellow or warmer. Above 4500K appear bluish white or cooler. Absolute white is 5000K.

Controlling Light – Lighting Performance

Photometrics

Control of light energy through redirection

Constant light level

The amount of light you can expect on the field at any given time over the extended life of the fixture or system.

Initial footcandles or lux

The amount of light on the field when the lighting system is first put into use.

Target (maintained) footcandles or lux

The lowest average amount of light you should always have on your field to meet minimum performance requirements.

Light loss

Amount of brightness from a fixture lost over time due to aging of the light source, dirt accumulation, temperature and voltage variations, and maintenance.

L_p lumen maintenance

The number of operating hours an LED light source will maintain the percentage (p) of its initial light output, noted as L_p.

Uniformity

The smoothness of light on the field.

Point by point

Computer-generated model of your proposed lighting system showing footcandle/lux readings at given points on your field.

Spill light

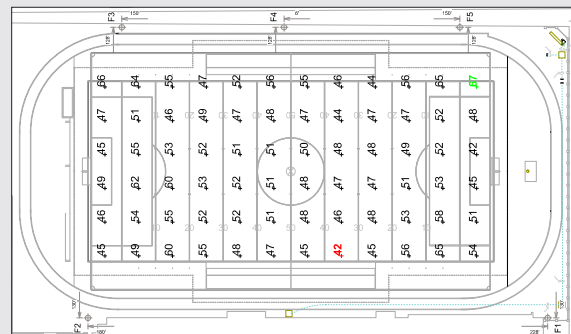
Wasted light that falls off the field into undesired areas, such as a neighbor's back yard.

Glare

Destructive light from a light source that shines in players', spectators', or neighbors' eyes, making it difficult to see.

Sky glow

Destructive light in the night sky which results from light that is reflected upwards.



Point by point

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion on a request to amend the Farragut Municipal Code, Appendix A – Zoning, Chapter 3., Section I. – Agricultural district (A)., to provide for one accessory dwelling unit provided certain criteria can be satisfied (Keri Archer, Applicant)

INTRODUCTION AND BACKGROUND: This agenda item involves a request to allow an accessory dwelling unit on a lot of record in the Agricultural (A) Zoning District, provided certain criteria could be satisfied. The (A) Zoning District is mostly limited to areas in the southwest portion of the Town. As the Town has grown, properties that were zoned (A) have been rezoned to permit residential development. Some provisions in the (A) District have not been revisited in some time since the district is slowly becoming less relevant.

One existing provision provides for up to three detached single-family dwellings as a use permitted as a special exception through the Board of Zoning Appeals (BZA). Chapter 4, Section II., E., of the Zoning Ordinance provides the BZA with review standards when considering special exceptions. One of the standards is that the use meets all requirements set out in the particular zoning classification in which the use is to be located. The (A) District requires a land area of five acres for a single-family dwelling. Staff would infer that the existing language would essentially require a property owner to have at least five acres per dwelling unit which would mean that to have two dwelling units on the same lot there would need to be at least ten acres. The applicant has a five-acre lot of record at 13000 Allen Kirby Road that is part of a five-acre minimum lot size subdivision known as Somerset Farms.

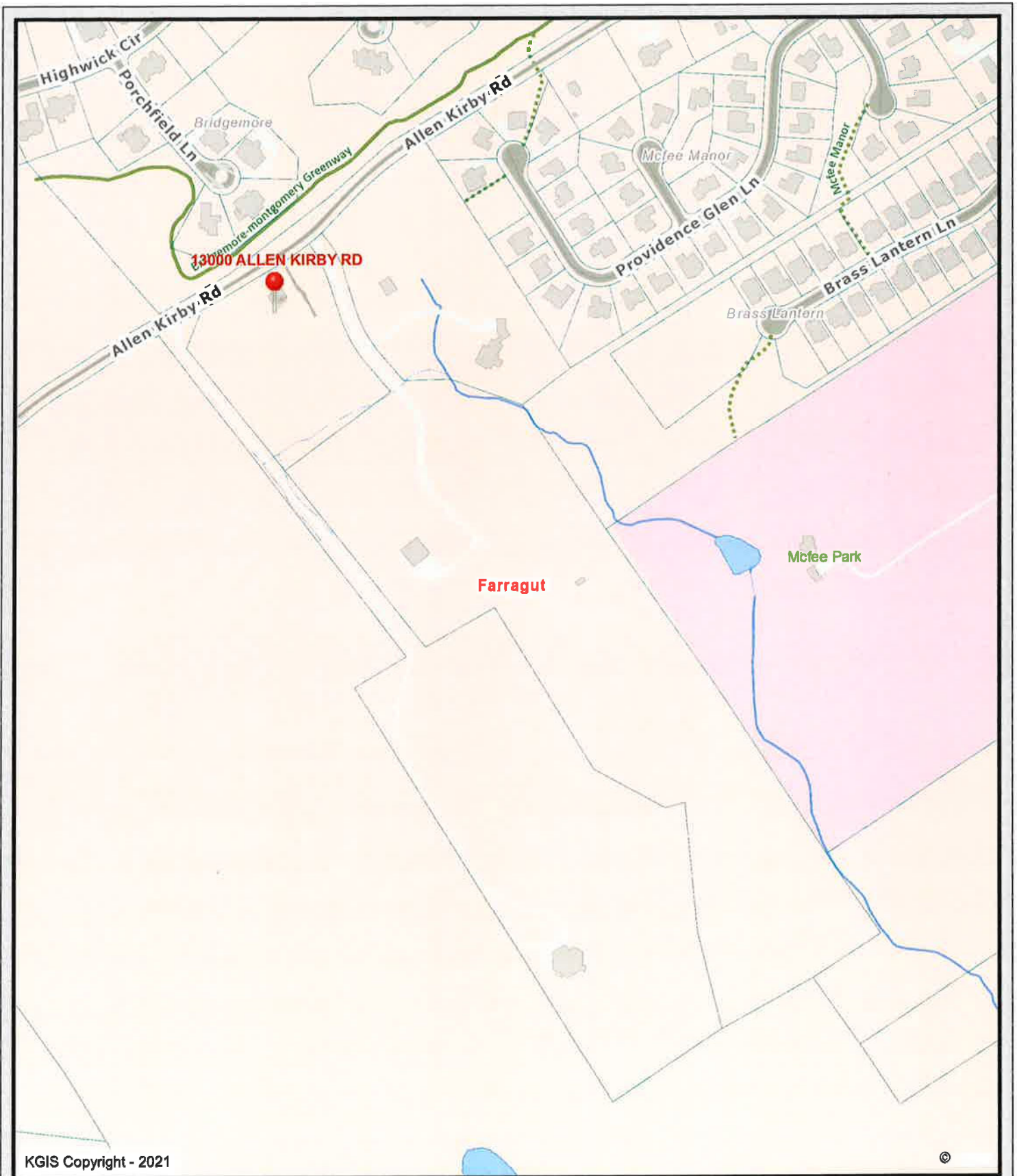
DISCUSSION: In reviewing the existing language with the applicant, it was apparent that this needed to be re-visited, especially given how the Town has evolved from an agrarian to a largely residential community. With the population growth and the need for providing the infrastructure for services expected, there have been changes to the Subdivision Regulations and adopted fire code that render the current provision for up to three dwelling units on a single lot of record outdated and impractical.

From the staffs' perspective, a more focused approach as part of a need to update the (A) District and address the applicant's desire to have an accessory dwelling unit on their five-acre lot off Allen Kirby Road would be to establish specific criteria to allow an accessory dwelling unit in the (A) District by right. Some of the criteria suggested by staff would address the fire code and infrastructure requirements that would now apply. Specific criteria include:

1. The lot of record must be at least five acres.
2. The lot of record shall not have more than one existing dwelling unit.
3. The lot of record must front directly on an existing public street for at least 100 feet.
4. The existing and additional dwelling unit shall meet the setback requirements for principal dwelling units in the (A) District.

5. The additional dwelling unit shall be situated so that it could exist on its own should a future property owner desire to try to rezone the property and sell off the land with the second dwelling unit.
6. The second dwelling unit will not create an additional access to a public street. The access will have to be shared with the existing dwelling unit.
7. The second dwelling unit shall be able to satisfy all applicable utility, code, and fire suppression requirements.

These criteria and some other considerations related to a possible text amendment were discussed at the staff/developer meeting on August 31. Staff reviewed the areas that are currently zoned (A) and discussed the larger need to revisit the general list of uses permitted as a special exception for relevance to current conditions. This section of the (A) District is included in the packet.



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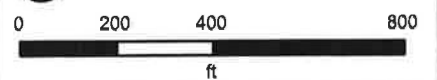
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13000 Allen Kirby Road

Knoxville - Knox County - KUB Geographic Information System



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Sec. I. - Agricultural district (A).

A. *General description.* This district provides space for agricultural uses which comprise an important part of the economy and land use of the Town of Farragut. The intent is to permit lands best suited for agriculture to be used for agriculture purposes and also to prevent the encroachment of urban and other incompatible land uses on farm lands and thereby protect the physical and economic well-being of agricultural operations.

B. *Permitted uses and structures.*

1. Agricultural uses.
2. Detached single-family dwellings.
3. Mobile homes.
4. Schools, public and private, and churches and other places of worship provided the following development criteria are met:
 - a. Access shall be directly to a street having a designated classification of local collector or greater, or a local street which is not interior to a subdivision. The street on which the school or church accesses must meet the minimum design standards established in the Farragut Subdivision Regulations.
 - b. There shall be a minimum lot size of five acres.
 - c. There shall be a buffer strip which meets the following minimum development criteria:
 - 1) The buffer strip shall be a minimum of 25 feet in width on all side and rear property lines;
 - 2) Existing, mature vegetation shall be preserved and incorporated into the buffer strip;
 - 3) No grading shall occur in the buffer strip; and
 - 4) Detention basins, measured from top-of-slope to top-of-slope, and associated structures shall not be located within any buffer strips.
 - d. The following setback requirements are met:
 - 1) *Front yard.* All buildings and structures, excluding signs, shall be set back from the nearest point of any right-of-way no less than 50 feet. For the purposes of this ordinance, the interstate highway right-of-way shall be considered a side or rear lot line.
 - 2) *Side and rear yards.*
 - a) All buildings shall be set back a minimum of 50 feet. Setbacks shall be measured from the nearest point of any property line; and
 - b) All accessory structures, excluding signs and fences, shall be set back a minimum of 30 feet. Setbacks shall be measured from the nearest point of any property line.
 - e. The maximum coverage for the total building area shall not exceed 35 percent and the

total lot coverage shall not exceed 60 percent.

f. A site plan and landscape plan shall be submitted as regulated in Chapter 4.

5. Accessory uses and structures.

6. Customary Home Occupations as regulated in Chapter 4.

7. Cemeteries and historical monuments.

8. Signs as regulated in the [Farragut] Municipal Code.

9. Utility uses.

10. Existing off-premises outdoor advertising as regulated in Chapter 4.

 C. *Uses permitted as special exceptions.* The following uses may be permitted on review by the Board of Zoning Appeals in accordance with provisions in Tennessee Code Annotated § 13-7-207 [T.C.A. § 13-7-207]. With the exceptions of numbers 5 and 7, all specially permitted uses shall be adjacent and contiguous to the right-of-way of "Collector" or "Arterial" streets. Buffer strips may be required as a condition for granting a special exception. Please refer to "General Review Standards," Chapter 4, Administration and Enforcement, Special Exceptions, General Review Standards, for review criteria.

1. Athletic fields, tennis courts, country club and golf courses, parks, playgrounds, community swimming pools, and recreational areas operated by membership organizations for the benefit of their members.

2. Commercial livestock feed and sales yard.

3. Dog kennels, livery stable or riding academy, fish and minnow raising, and the raising of fur-bearing animals.

4. One temporary roadside stand, provided that it does not exceed an area of 200 square feet, and that it is located no closer than 35 feet to any street surface except major arterials where they shall be no closer than 50 feet, but in no case on a right-of-way.

5. Quarry and subsurface extraction of natural mineral resources.

6. Marina and boat docks.

7. Up to three detached single-family dwellings may be permitted provided that the owner has, with a written request for approval, submitted a scale plan of not less than 1" = 50' showing the lot lines and right-of-way lines showing existing buildings and the proposed dwelling(s). Each dwelling must have independently adequate yard and set back space between it and any other primary structure or lot and right-of-way lines as required in Part D of this section.

8. Windmills.

D. *Area regulations.*

1. *Front yard.* All structures, excluding fences and certain utility structures, shall be set back from the nearest point of any right-of-way a minimum of 50 feet, except as provided for elsewhere in this ordinance or the [Farragut] Municipal Code. Electrical substations, utility

offices, or any other utility building shall meet the front yard setback requirements.

2. *Side yard.*

- a. All principal buildings used as a residence shall be set back a minimum of 25 feet;
- b. All agricultural structures, excluding fences, shall be set back a minimum of 35 feet; and
- c. All non-agricultural accessory structures, excluding fences, shall be set back a minimum of 20 feet.

3. *Rear yard.*

- a. All principal buildings used as a residence shall be set back a minimum of 35 feet;
- b. All agricultural structures, excluding fences, shall be set back a minimum of 35 feet; and
- c. All non-agricultural accessory structures, excluding fences, shall be set back a minimum of ten feet.

4. *Lot width.* Each lot shall front on a public road for a minimum of 100 feet.

5. *Maximum lot coverage.*

- a. Total building area: 15 percent, except as provided for elsewhere in this section; and
- b. Total lot coverage: 25 percent, except as provided for elsewhere in this section.

6. *Size regulations.* No non-agricultural accessory building shall exceed 30 percent of the footprint of the principal building used as a residence or 600 square feet in size, whichever is greater.

7. *Land area.* Minimum lot size of five acres.

E. *Height regulations.*

- 1. No principal building shall exceed 2½ stories, or 35 feet in height, except as provided for elsewhere in this ordinance or the [Farragut] Municipal Code; and
- 2. No accessory structure shall exceed 15 feet in height, except as provided for elsewhere in this ordinance or the [Farragut] Municipal Code.

F. *Parking.* As regulated in Chapter 4.

(Ord. No. 86-16, 4-1986; Ord. of 2-2006)

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on text amendments to the CLUP associated with the Medium and High-Density Residential land use designations (Town of Farragut, Applicant)

INTRODUCTION AND BACKGROUND: Prior to last month's Planning Commission meeting, staff conducted a workshop that primarily focused on housing issues as they relate to the CLUP and current zoning ordinance provisions. This provided some background for a workshop discussion item that was on the regular agenda concerning possible text amendments to the CLUP associated with the Medium Density and High-Density Residential land uses. These amendments would help provide a framework for more focused community input concerning specific priority areas and potential amendments to the future land use map.

DISCUSSION: During the discussion of this item, staff reviewed the history of the Medium Density Residential land use and the evolution of the High-Density Residential land use. Staff noted that when the Medium Density Residential land use was mapped and described in the original update to the CLUP in 2012, it provided for a very wide range of housing types and a density of 6-12 dwelling units per acre. It became apparent that this created too much variation and was problematic when evaluating rezoning requests.

Consequently, in October of 2018, the Planning Commission approved a change to the Future Land Use Map to break down this land use into two different types. The Medium Density Residential land use would now include a density of 6 to 8 dwelling units per acre and a new High-Density Residential land use would provide for a density of 9 to 12 dwelling units per acre and would be targeted toward more large-scale multi-family residential projects. The Lanesborough and the Overlook Apartment developments were subsequently mapped with this new land use category.

An issue in relation to this change in the Future Land Use Map was that the corresponding text that would describe the Intent, Location, Density, and Character of both the new High-Density Residential land use and the modified Medium Density Residential land use would be needed.

During the review with the Planning Commission at the August meeting, Commissioners felt that, based on community input and the fact that some large-scale high density residential projects have been approved in recent years, the Town has sufficiently provided for this type of housing. The text in the CLUP for the High-Density Residential land use should be clear that what exists and has been approved is all that would be prescribed for the Town. No additional areas should be shown with this land use designation.

In terms of the Medium Density Residential land use, Commissioners noted that it should be narrowed somewhat in terms of the housing types and include language that acknowledge the importance of this

land use type for transitional areas and certain infill locations. The housing products should be limited to 2½ stories and provide for building footprints generally compatible with those of abutting developments. Within a larger development, an opportunity to transition internally to other footprint options may be appropriate. A key emphasis would be on the characteristics of what is built rather than density. Important elements would be streetscaping and provisions for creating gathering spaces that could appeal to a variety of age groups.

RECOMMENDATION: Staff has included in the packet Resolution PC-21-12 which would amend the text of the CLUP for the Medium Density and High-Density Residential land uses. Staff recommends approval of Resolution PC-21-12.

RESOLUTION PC-21-12

FARRAGUT MUNICIPAL PLANNING COMMISSION

A RESOLUTION TO APPROVE AMENDMENTS TO THE TEXT OF THE COMPREHENSIVE LAND USE PLAN UPDATE DECEMBER 2012 FOR THE LAND USE DESCRIPTIONS FOR MEDIUM DENSITY RESIDENTIAL AND HIGH DENSITY RESIDENTIAL

WHEREAS, the Tennessee Code Annotated, Section 13-4-201et seq, provides that the Municipal Planning Commission shall make and adopt a general plan for the physical development of the municipality; and

WHEREAS, the Farragut Municipal Planning Commission has adopted the Comprehensive Land Use Plan Update on December 12, 2012; and

WHEREAS, the Farragut Municipal Planning Commission may periodically amend various aspects of the Comprehensive Land Use Plan Update;

NOW, THEREFORE, BE IT RESOLVED that the Farragut Municipal Planning Commission hereby recommends as part of the approval of Resolution PC-21-12, the text amendments included with this resolution for the Medium Density and High-Density Residential land uses.

ADOPTED this 16th day of September 2021.

Rita Holladay, Chairman

Scott Russ, Secretary

Land Use Descriptions

5 Medium density residential

Intent

- Increase diversity of housing choices in Farragut
- Allow/encourage significant residential uses within walking distance of pedestrian-oriented commercial uses such as hubs or mixed use neighborhoods.

Location

- Vacant/underdeveloped parcels near major roadways.
- Areas with a similar existing density (built or zoned).
- Adjacent to non-residential uses.
- Proximate to mixed use.
- Near large parks.

Density

- 6 -8 dwelling units per acre.

Character

- A mix of attached and detached housing types. May include single-family houses as well as small multi-family dwellings such as duplex, triplex, townhomes, and small condo/apartment buildings.

- Ample pedestrian amenities such as parks, trails, or landscaping.
- Connect to existing or potential pedestrian ways.
- 'Gridded' or semi-gridded street network.



Figure 31: Residential land uses (High density, Medium density, Low density, and Very low density residential).

Residential land uses

residential land uses are intended to increase housing option while preserving the town's existing stable neighborhoods. (See [Chapter 2: Eight Key Strategies](#), Strategy 3: *Allowing/Encouraging Greater Housing Choice.*)



Figure 32: Medium density residential character.

Proposed Language

Land Use Descriptions

5 Medium density residential

Intent

- Increase diversity of housing choices in Farragut.
- Provide transitional and infill housing options with a residential scale compatible with its surroundings.
- Housing types for varied age groups that are well connected internally and to their surroundings.
- Heavy emphasis on streetscaping and gathering spaces that create interest and engagement.

Location

- Vacant/underdeveloped parcels abutting collector or arterial streets where lower density residential may be less desired and marketable.
- Transitional areas between lower density residential and non-residential (Mixed Use Neighborhood).
- Transitional areas within or on periphery of Mixed-Use Town Center.

Density

- Potentially 6-8 units per acre, provided compatible in building scale to existing abutting residential developments.

Character

- Mixture of residential that can transition to its surroundings and internally from small lot single family detached to cottage cluster and attached single family not to exceed 2½ stories.

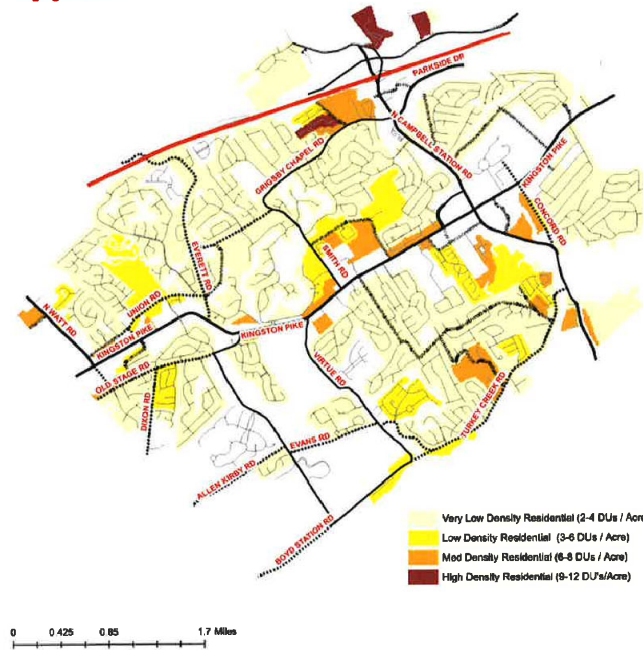


Figure 31: Residential land uses (High density, Medium density, Low density, and Very low density residential).

Residential land uses

residential land uses are intended to increase housing option while preserving the town's existing stable neighborhoods. (See [Chapter 2: Eight Key Strategies](#), Strategy 3: Allowing/Encouraging Greater Housing Choice.)



Figure 32: Medium density residential character.

Proposed Language

Land Use Descriptions

6

High density residential

Intent

- Increase diversity of housing choices in Farragut.
- Provide for significant residential density within walking distance of pedestrian oriented non-residential uses.
- Integrated internally and externally both in terms of vehicular and pedestrian connectivity.
- Consists of functional gathering spaces for transitional areas and community engagement.

Location

- Limited to areas where it exists or has been approved as part of a Planned Commercial Development.
- Abutting or having direct access to major arterial streets that are convenient to the Interstate.

Density

- 9 - 12 dwelling units per acre.

Character

- Multi-family residential.
- Up to 4 stories.
- Footprint of up to 15,000 square feet.

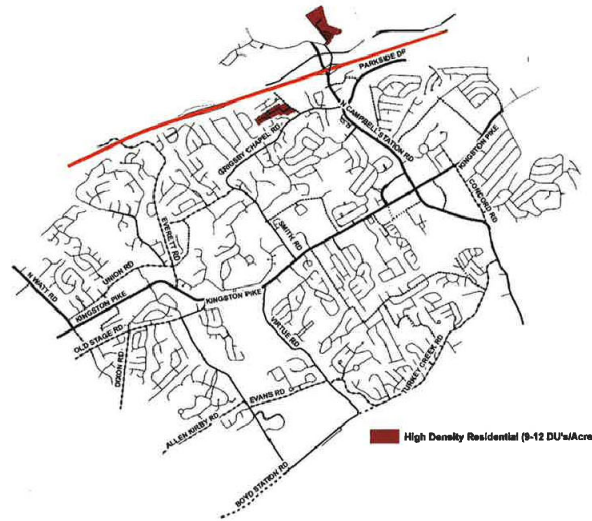


Figure 31: High Density Residential.



Figure 32: High density residential character.

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on amendments to the Penalties section of Chapter 113 – Tree Protection, of the Farragut Municipal Code, to increase penalties for removal of protected trees without permission (Town of Farragut, Applicant)

INTRODUCTION AND BACKGROUND: This item was discussed for workshop purposes last month. As part of the discussion, staff reviewed the rationale for the proposed amendment that would strengthen the penalties for unapproved removal of protected trees. Planning Commissioners were in support of the proposed language. Consequently, staff has prepared Resolution PC-21-13 which recommends approval of Ordinance 21-16, an ordinance to amend Section 113-2. Penalties., of the Town's Tree Protection Ordinance.

DISCUSSION: The language included in Ordinance 21-16 is identical to the language presented to the Planning Commission last month and notably stiffens the penalty for unapproved removal of protected trees. The language also updates fines that can be levied through the Town's Municipal Court consistent with State of Tennessee law.

RECOMMENDATION: Staff recommends approval of Resolution PC-21-13.

RESOLUTION PC-21-13

FARRAGUT MUNICIPAL PLANNING COMMISSION

A RESOLUTION TO APPROVE AN AMENDMENT TO THE FARRAGUT MUNICIPAL CODE, CHAPTER 113 – TREE PROTECTION, SECTION 113-2. – PENALTIES, AS IT RELATES TO PENALTIES FOR UNAPPROVED REMOVAL OF PROTECTED TREES

WHEREAS, the Tennessee Code Annotated, Section 6-2-201, delegates the authority to local governmental units to adopt regulations designed to promote the public health, safety, and general welfare of their citizenry; and

WHEREAS, the Tennessee Code Annotated, Section 13-4-201et seq, provides that the Municipal Planning Commission shall make and adopt a general plan for the physical development of the municipality; and

WHEREAS, the Tree Protection Ordinance is, among other objectives, intended to establish permitting requirements for the removal of protected trees and penalties for unapproved removal of protected trees; and

WHEREAS, a public hearing was held on this request on September 16, 2021;

NOW, THEREFORE, BE IT RESOLVED that the Farragut Municipal Planning Commission hereby recommends approval to the Farragut Board of Mayor and Aldermen an ordinance, Ordinance 21-16, amending the Farragut Municipal Code, Chapter 113 – Tree Protection, Section 113-2. – Penalties, as it relates to penalties for unapproved removal of protected trees.

ADOPTED this 16th day of September 2021.

Rita Holladay, Chairman

Scott Russ, Secretary

ORDINANCE:	21-16
PREPARED BY:	Shipley
REQUESTED BY:	Staff
1ST READING:	_____
2ND READING:	_____
PUBLISHED IN:	_____
DATE:	_____

AN ORDINANCE TO AMEND THE FARRAGUT MUNICIPAL CODE, CHAPTER 113 – TREE PROTECTION, SECTION 113-2. – PENALTIES, AS IT RELATES TO PENALTIES FOR UNAPPROVED REMOVAL OF PROTECTED TREES

WHEREAS, the Board of Mayor and Aldermen of the Town of Farragut, Tennessee, wishes to amend the Farragut Municipal Code, Chapter 113 – Tree Protection, Section 113-2. – Penalties, as it relates to penalties for unapproved removal of protected trees.

NOW, THEREFORE, BE IT ORDAINED by the Board of Mayor and Aldermen of the Town of Farragut, Tennessee, that the Farragut Municipal Code is hereby amended as follows:

SECTION 1.

The Farragut Municipal Code, Chapter 113 – Tree Protection, Section 113-2. – Penalties, as it relates to penalties for unapproved removal of protected trees, is amended by replacing it in its entirety with the following:

Sec. 113-2. Penalties.

- (a) At a minimum, where any protected tree is removed without first obtaining formal approval, in writing or on approved plans, from the Town of Farragut, such tree shall be replaced with trees in locations approved by the Town staff. The required minimum number of replacement trees shall be equal to, in caliper inches, four times the caliper inches of the tree or trees removed. As an example, if a 15-inch tree is removed without approval, at least 60 caliper inches of qualifying replacement trees shall be provided based on a replacement plan approved by Town staff.

If, because of the time of year involved, the required replacement trees cannot be installed or would likely incur significant losses, a completion letter of credit shall be required to ensure that all replacement trees are satisfactorily installed at the appropriate time. Where replacement trees are not planted on public properties, a 2-year maintenance letter of credit shall be required for such trees to ensure that any replacement trees that die or are damaged are replaced, as guided by Town staff. The dollar amount for the letters of credit shall be determined by Town staff based on general material and installation costs should the Town have to provide or replace the required trees.

- (b) Any person, firm, partnership, or corporation who shall violate a provision of this chapter, or fail to comply therewith, or with any of the requirements thereof, may also be prosecuted

within the limits provided by local laws. Each day that a violation continues shall be deemed a separate offense.

- (c) The foregoing provisions relative to replacement trees and prosecution shall not in any way prevent the Town from also issuing stop work orders, withholding inspections, cashing bonds or letters of credit, or seeking injunctive relief against a violator of this chapter.

SECTION 2.

This ordinance shall take effect from and after its final passage and publication, the public welfare requiring it.

Ron Williams, Mayor

Allison Myers, Town Recorder

Certified to the Farragut Board of Mayor and Aldermen this ____ day of _____, 2021, with approval recommended.

Rita Holladay, Chairman

Scott Russ, Secretary

FARRAGUT MUNICIPAL PLANNING COMMISSION

EXISTING

Sec. 113-2. Penalties.

- (a) At a minimum, where any protected tree is removed without first obtaining the required permission, such tree shall be replaced with a tree approved by the town staff. The required minimum number of replacement trees shall be equal to, in caliper inches, the caliper inches of the tree or trees removed.
- (b) In addition, any person, firm, partnership or corporation violating any of the provisions of this chapter shall be deemed guilty of a misdemeanor and, upon conviction thereof, shall be fined in an amount not to exceed \$500.00. Each day a violation is committed or permitted to continue shall constitute a separate offense and shall be punishable as such.
- (c) The foregoing provisions relative to replacement trees and fines shall not in any way prevent the town from also issuing stop work orders, withholding inspections, cashing bonds or letters of credit, or seeking injunctive relief against a violator of this chapter.

(Code 2007, § 14-116; Ord. No. 99-39, 10-1999)

PROPOSED

Sec. 113-2. Penalties.

- (a) At a minimum, where any protected tree is removed without first obtaining **formal approval, in writing or on approved plans, from the Town of Farragut** ~~the required permission,~~ such tree shall be replaced with **a tree trees in locations** approved by the **Town** staff. The required minimum number of replacement trees shall be equal to, in caliper inches, **four times** the caliper inches of the tree or trees removed. **As an example, if a 15-inch tree is removed without approval, at least 60 caliper inches of qualifying replacement trees shall be provided based on a replacement plan approved by Town staff.**

If, because of the time of year involved, the required replacement trees cannot be installed or would likely incur significant losses, a completion letter of credit shall be required to ensure that all replacement trees are satisfactorily installed at the appropriate time. Where replacement trees are not planted on public properties, a 2-year maintenance letter of credit shall be required for such trees to ensure that any replacement trees that die or are damaged are replaced, as guided by Town staff. The dollar amount for the letters of credit shall be determined by Town staff based on general material and installation costs should the Town have to provide or replace the required trees.

- (b) **Any person, firm, partnership, or corporation who shall violate a provision of this chapter, or fail to comply therewith, or with any of the requirements thereof, may also be prosecuted within the limits provided by local laws. Each day that a violation continues shall be deemed a separate offense.** ~~In addition, any person, firm, partnership or corporation violating any of the provisions of this chapter shall be deemed guilty of a misdemeanor and, upon conviction~~

~~thereof, shall be fined in accordance with the an amount not to exceed \$500.00. Each day a violation is committed or permitted to continue shall constitute a separate offense and shall be punishable as such.~~

- (c) The foregoing provisions relative to replacement trees and **prosecution** ~~fin~~es shall not in any way prevent the Town from also issuing stop work orders, withholding inspections, cashing bonds or letters of credit, or seeking injunctive relief against a violator of this chapter.