



FARRAGUT MUNICIPAL PLANNING COMMISSION

AGENDA

April 18, 2024

Farragut Community Center – Assembly Room

7:00 p.m.

For questions, please e-mail Mark Shipley at mshipley@townoffarragut.org, Bart Hose at bhose@townoffarragut.org, or Holley Marlowe at hmarlowe@townoffarragut.org

- 1. Approval of agenda**
- 2. Approval of minutes for the March 21, 2024 meeting**
- 3. Request for approval for the installation of six inch Medium Density Polyethylene (MDPE) pipe along a section of the south side of Kingston Pike east of Little Turkey Creek Commons to and along a portion of the west side of Old Stage Road and two inch MDPE from Old Stage Road to Windham Hill Road and from Old Stage Road along a short section of the north side of Somersworth Drive just past the intersection with Gwinhurst Road (KUB, Applicant)**
- 4. Approval of FY 2025-2030 Capital Investment Plan (CIP)**
- 5. Discussion on a request to amend the Future Land Use Map for Parcels 070 and 072, Tax Map 142, between the Waverly Court Subdivision and Baldwin Park Subdivision, 341 Boring Road, from Open Space Cluster Residential to Very Low Density Residential, 12 Acres (Homestead Land Holdings, Applicant)**
- 6. Discussion on a request to amend the Zoning Map for Parcels 070 and 072, Tax Map 142, between the Waverly Court Subdivision and Baldwin Park Subdivision, 341 Boring Road, from R-1 and R-2 to R-3, 12 Acres (Homestead Land Holdings, Applicant)**
- 7. Discussion on amendments to the Sign Ordinance in association with the Mixed-Use Town Center area (JA Fielden, Applicant)**
- 8. Approval of utilities**
- 9. Citizen forum**

**11408 MUNICIPAL CENTER DRIVE | FARRAGUT, TN 37934 | 865.966.7057 |
WWW.TOWNOFFARRAGUT.ORG**

It is the policy of the Town of Farragut not to discriminate on the basis of race, color, natural origin, gender, gender identity, sexual orientation, age, religion, disability or veteran status pursuant to Title VI of the Civil Rights Act of 1964, Public Law 93-112 and 101-336 in its hiring, employment practices and programs. To request accommodations due to disabilities, please call 865-966-7057 in advance of the meeting



Public Comment Protocol

At the end of each business meeting, there will be time reserved for public comment under the Citizen Forum agenda item. If you are interested in speaking, please fill out a blue comment card and turn it in to the Planning Director. This time is set aside specifically for comments on items that are not on the Planning Commission regular agenda for the meeting. Each speaker will be given five (5) minutes to speak on his/her topic.

The Commission also seeks public comment on regular agenda items during the portion of the meeting devoted to discussion and consideration of the specific agenda item.

The Chairman may recognize individuals for public comment during both the regular agenda and Citizen Forum portions of the meeting based on the following guidelines.

1. The Chairman shall maintain and control the meeting to provide a professional and objective environment conducive to presentation and discussion of the agenda items;
2. Any Farragut resident interested in speaking should fill out a blue comment card stating which agenda item they would like to comment on and turn it in to the Planning Director;
3. Speakers shall come to the podium and identify themselves by name and street address;
4. Public comment shall be limited to five (5) minutes per individual. Time for public comment may be amended at the discretion of the Chairman; provided that when additional time is allowed, speakers with differing points of views are allowed the same amount of time if requested. Time is not transferable to other speakers;
5. Speakers should strive to avoid redundancy; different considerations than expressed by previous speakers on a subject are encouraged;
6. Comments that threaten violence or imminent physical harm toward any individual will not be tolerated.
7. Comments may support or oppose issues or measures;
8. Personal attacks on the character of individuals who hold different points of view that have no relationship to the merits of the matter or issue raised for discussion will not be tolerated.
9. An applicant, and/or their representative(s), for an item on the regular agenda shall be afforded the time necessary to present their request and respond to questions. The five (5) minute limitation shall not apply. However, the Chairman may ask an applicant to stay on point in order to facilitate the efficiency of the meeting.

Each speaker will be asked if they can agree to abide by the Comment Protocol. If so, please be prepared to speak when your name is called.



**MINUTES
FARRAGUT MUNICIPAL PLANNING COMMISSION**

March 21, 2024

MEMBERS PRESENT

Scott Russ, Chairman
Ed St. Clair, Vice Chairman
Shannon Preston, Secretary
Louise Povlin, Vice Mayor
Noah Myers
Jeff Devlin
Jon Greene
Ron Pinchok

MEMBERS ABSENT

Ron Williams, Mayor

Staff Representative: Mark Shipley, Community Development Director

1. Approval of agenda

The staff recommended approval of the agenda with a modification being made to remove Agenda Item #4 from the agenda at the request of the applicant.

A motion was made by Vice Mayor Povlin to follow the staff's recommendation. The motion was seconded by Commissioner Myers and was approved unanimously.

2. Approval of minutes – February 15, 2024

The staff recommended approval of the minutes as submitted.

A motion was made by Commissioner St. Clair to follow the staff's recommendation. The motion was seconded by Commissioner Myers and was approved unanimously except for Vice Mayor Povlin that abstained due to being absent.

3. Discussion and public hearing on a site plan for the relocation of the old Belleaire Drive Kingston Pike access at the First Baptist Church Concord, 11704 Kingston Pike, Zoned R-1 and R-3 (MBI Companies, Applicant)

The staff reviewed this item and recommended approval of the site plan subject to the following comments being satisfactorily addressed:

1. Please correct the zoning on Sheet 1 to reflect that the current zoning is R-1 and R-3.
2. Please submit an erosion control letter of credit for \$9,000.
3. Please obtain TDOT access permit. Though the staff does not foresee any issues with this permit, if there are major changes recommended by TDOT then this may need to come back to the Planning Commission.

FMPC Minutes

March 21, 2024

Page 2

One citizen spoke on the item and Issac Jeffers spoke on behalf of the applicant. A motion was made by Commissioner St. Clair to follow the staff's recommendation. The motion was seconded by Commissioner Greene and was approved unanimously.

- 4. Request for approval for the installation of six inch Medium Density Polyethylene (MDPE) pipe along a section of the south side of Kingston Pike east of Little Turkey Creek Commons to and along a portion of the west side of Old Stage Road and two inch MDPE from Old Stage Road to Windham Hill Road and from Old Stage Road along a short section of the north side of Somersworth Drive just past the intersection with Gwinhurst Road (KUB, Applicant)**

- 5. Approval of utilities**

None.

- 6. Citizen forum**

None.

The meeting was adjourned at 7:16 p.m.

Shannon Preston, Secretary

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Request for approval for the installation of six inch Medium Density Polyethylene (MDPE) pipe along a section of the south side of Kingston Pike east of Little Turkey Creek Commons to and along a portion of the west side of Old Stage Road and two inch MDPE from Old Stage Road to Windham Hill Road and from Old Stage Road along a short section of the north side of Somersworth Drive just past the intersection with Gwinhurst Road (KUB, Applicant)

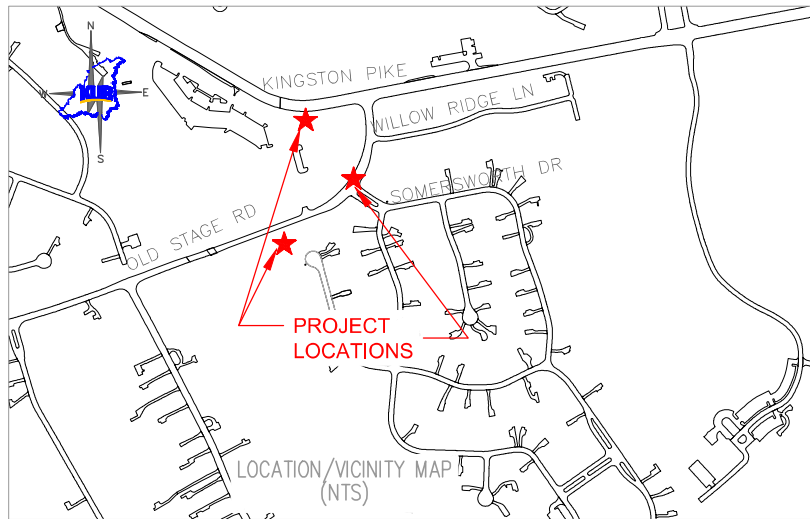
INTRODUCTION AND BACKGROUND: This utility related item involves a request to install approximately 646 linear feet of six inch Medium Density Polyethylene (MDPE) pipe along a section of the south side of Kingston Pike east of Little Turkey Creek Commons to and along a portion of the west side of Old Stage Road and approximately 726 linear feet of two inch MDPE from Old Stage Road to Windham Hill Road and from Old Stage Road along a short section of the north side of Somersworth Drive just past the intersection with Gwinhurst Road.

DISCUSSION: The proposed installation will be performed by KUB and the only open cutting will be at tie in locations. KUB will be obtaining a permit from TDOT for working in the Kingston Pike right of way and will coordinate work with the Town's engineering department through a right of way permit. Any areas that are disturbed will be required to be restored to their previous condition. KUB will also coordinate traffic control with the Town's engineering department.

RECOMMENDATION: The staff recommends approval subject to the following items being addressed:

- 1) Please obtain a right-of-way permit from the Town's Engineering Department, including erosion and traffic control measures and inspections, as needed.
- 2) Please notify all affected property owners prior to the work being initiated.
- 3) Please obtain an access permit from TDOT.

KNOXVILLE UTILITIES BOARD WENTWORTH LOOP SYS IMPROVEMENT GAS MAIN PROJECT



Know what's below.
Call before you dig.

DRAWING INDEX

SHEET NO. TITLE

- | | |
|---|--------------------------------------|
| 1 | COVER SHEET |
| 2 | GENERAL NOTES AND LEGEND |
| 3 | KEY SHEET |
| 4 | PLAN VIEW 1 |
| 5 | PLAN VIEW 2 |
| 6 | PLAN VIEW 3 |
| 7 | EROSION AND SEDIMENT CONTROL DETAILS |
| 8 | PAVEMENT REPAIR DETAILS |
| 9 | TEST STATION AND TRACER WIRE DETAL |

REV.	DESCRIPTION	DRAWN BY:	CHK.:	APPV.:	EST#:	JOB#:	MAXIMO#:	W.F.P.I#:	DATE:	Knoxville Utilities Board ENGINEERING WENTWORTH LOOP SYSTEM IMPROVEMENT INSTALL 646 LF 6" MDPE MAIN; 726 2"MDPE MAIN COVER SHEET SCALE: N.T.S. GRID/CLT:	
5											
4											
3											
2											
1										SHEET 1 of 9 B—	
0	FIRST ISSUE OF DRAWING	IDM	BAE	TJK		J0021720	W24-28431		1/29/2024		

B-

GENERAL NOTES

1. SUPPLEMENTAL BASEMAPPING INFORMATION WAS TAKEN FROM THE KNOXVILLE GEOGRAPHIC INFORMATION SYSTEM (KGIS) AS PROVIDED BY KUB.
2. UTILITIES SHOWN WERE LOCATED FROM ACTUAL FIELD EVIDENCE, EXISTING UTILITY AGENCY RECORDS AND ANY OTHER AVAILABLE EVIDENCE. OTHER UTILITIES MAY EXIST AND NOT BE SHOWN OR VARY FROM WHERE SHOWN. NO GUARANTEE IS EXPRESSED OR IMPLIED AS TO THE ACTUAL LOCATION OF ANY UTILITIES SHOWN, WHICH ARE NOT VISIBLE FROM THE SURFACE.
3. LOCATION OF EXISTING UTILITIES, PIPING AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND ARE NOT NECESSARILY REPRESENTATIVE OF ALL EXISTING FACILITIES. IT IS THE INSTALLER'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION OF EXISTING UTILITIES, PIPING, AND UNDERGROUND STRUCTURES THAT MAY INTERFERE WITH THE PROPOSED WORK BY POTHOLING AND CONTACTING THE UTILITY COMPANIES INVOLVED.
4. PROVIDE ALL NECESSARY PROTECTIVE MEASURES TO SAFEGUARD THE EXISTING UTILITIES FROM DAMAGE DURING THE CONSTRUCTION OF THIS PROJECT. FURNISH ANY SPECIAL EQUIPMENT REQUIRED TO WORK OVER AND AROUND THE UTILITIES.
5. INSTALLER TO COORDINATE DISRUPTION/REMOVAL OF ANY LANDSCAPING, SPRINKLER SYSTEMS, FENCES, SHEDS, GARDENS, RETAINING WALLS, ORNAMENTALS, ETC. WITH THE PROJECT KUB CUSTOMER SUPPORT REPRESENTATIVE
6. EXISTING AND PROPOSED EASEMENTS ON THESE DRAWINGS ARE SHOWN FOR GENERAL INFORMATION ONLY AND ARE APPROXIMATE. INSTALLER TO REFER TO ACTUAL EXECUTED EASEMENT DOCUMENTS FOR PROPERTY ACCESS AND USE FOR CONSTRUCTION PURPOSES.
7. INSTALLER SHALL MAINTAIN ACCESS TO ALL PROPERTIES DURING CONSTRUCTION.
8. 24-HOUR EMERGENCY CONTACT: KUB SYSTEM OPERATIONS 524-2911
9. ALL ROAD CROSSINGS TO BE INSTALLED BY HDD UNLESS OTHERWISE NOTED ON PROJECT DRAWINGS.
10. ANTICIPATED OPERATING PRESSURE 35-45 PSIG

PROJECT MANAGER:

CONTACT: DALLAS COPLIN
OFFICE PHONE NO.: (865) 558-2838
MOBILE PHONE NO.: (865) 318-9394
KNOXVILLE UTILITIES BOARD
4505 MIDDLEBROOK PIKE
KNOXVILLE, TENNESSEE 37921
EMAIL ADDRESS: DALLAS.COPLIN@KUB.ORG

UTILITY OWNERS:

WATER
FIRST UTILITY DISTRICT
122 DURWOOD ROAD
KNOXVILLE, TN 37922
(865) 966-9741

SEWER
FIRST UTILITY DISTRICT
122 DURWOOD ROAD
KNOXVILLE, TN 37922
(865) 966-9741

ELECTRIC
LENOIR CITY UTILITIES BOARD
7698 CREEKWOOD PARK BLVD
LENOIR CITY, TN 37772
(865) 986-6591

ABBREVIATIONS:

DI	DUCTILE IRON
CI	CAST IRON
AC	ASBESTOS CEMENT
HDPE	HIGH DENSITY POLYETHYLENE
MDPE	MEDIUM DENSITY POLYETHYLENE
PL	PLASTIC
ST	STEEL
EOP	EDGE OF PAVEMENT
PE	POLYETHYLENE
PE	POLYETHYLENE

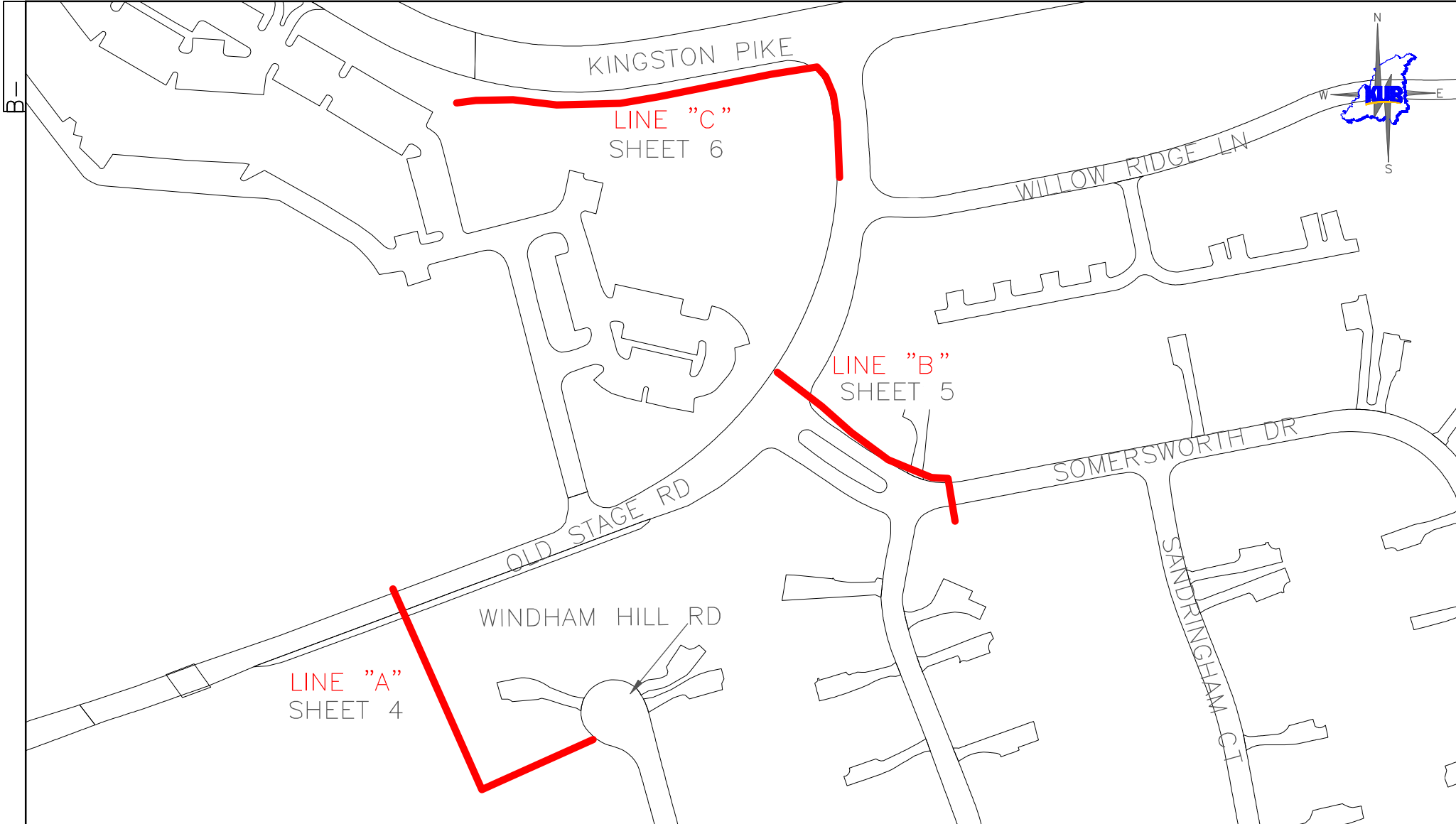
LEGEND:

	EXISTING BUILDING
	EXISTING ASPHALT PAVEMENT
	EXISTING FENCE
	EXISTING STORM PIPE
	EXISTING CREEK/DITCH
	EXISTING R.O.W./PROPERTY LINE (APPROXIMATE FROM KGIS)
	EXISTING SIDEWALK
	EXISTING GAS MAIN (TO REMAIN)
	PROPOSED GAS MAIN
	EXISTING GAS VALVE
	PROPOSED GAS VALVE
	EXISTING ELECTRIC POLE
	PROPOSED TEST STATION
	EXISTING WATER LINE
	EXISTING SANITARY SEWER LINE
	EXISTING ELECTRIC UTILITY LINE

REV.	DESCRIPTION	DRAWN BY:	CHK.:	APPV.:	EST#:	JOB#:	MAXIMO#:	W.F.P.I#:	DATE:	Knoxville Utilities Board ENGINEERING WENTWORTH LOOP SYSTEM IMPROVEMENT INSTALL 646 LF 6" MDPE MAIN; 726 2"MDPE MAIN GENERAL NOTES AND LEGEND SCALE: N.T.S. GRID/CLT:	
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Knoxville Utilities Board
 ENGINEERING
 WENTWORTH LOOP
 SYSTEM IMPROVEMENT
 INSTALL 646 LF 6" MDPE MAIN; 726 2"MDPE MAIN
 KEY SHEET
 SCALE: N.T.S. GRID/CLT:



SHEET 3 of 9

B-

B-

FIGURE 15720-UU6
TEST STATION & (2) 17 LB. ANODES

EXISTING SIDEWALK

EXISTING
CATCH BASIN

OLD STAGE RD

24" STORM DRAIN

ONE WAY FEED
28' CUSTOMERS

S/D ENTRANCE
SIGN
RETAINING WALL

LINE "B" 310 LF 2" MDPE
SIDEWALK
SOMERSWORTH DR

ONE WAY FEED
219' CUSTOMERS
4" MDPE 1993
408:32

PROPOSED 2" MDPE
ROAD BORE

FIGURE 15720-KK2
TEST STATION
& (2) 17 LB. ANODES

ELECTRIC
TRANSFORMER BOX
& COMM. VAULT ROW ~ 25'
10' U&D

2" MDPE 1993
408:32
ROW ~ 25'
10' U&D

Knoxville Utilities Board
ENGINEERING

WENTWORTH LOOP
SYSTEM IMPROVEMENT
INSTALL 646 LF 6" MDPE MAIN; 726 2"MDPE MAIN
PLAN VIEW 2

KUB

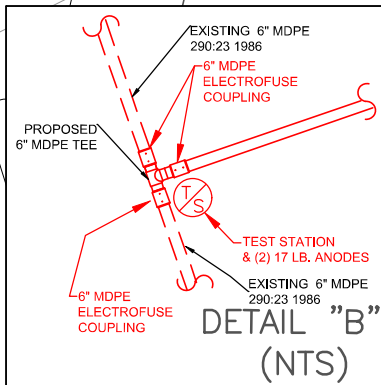
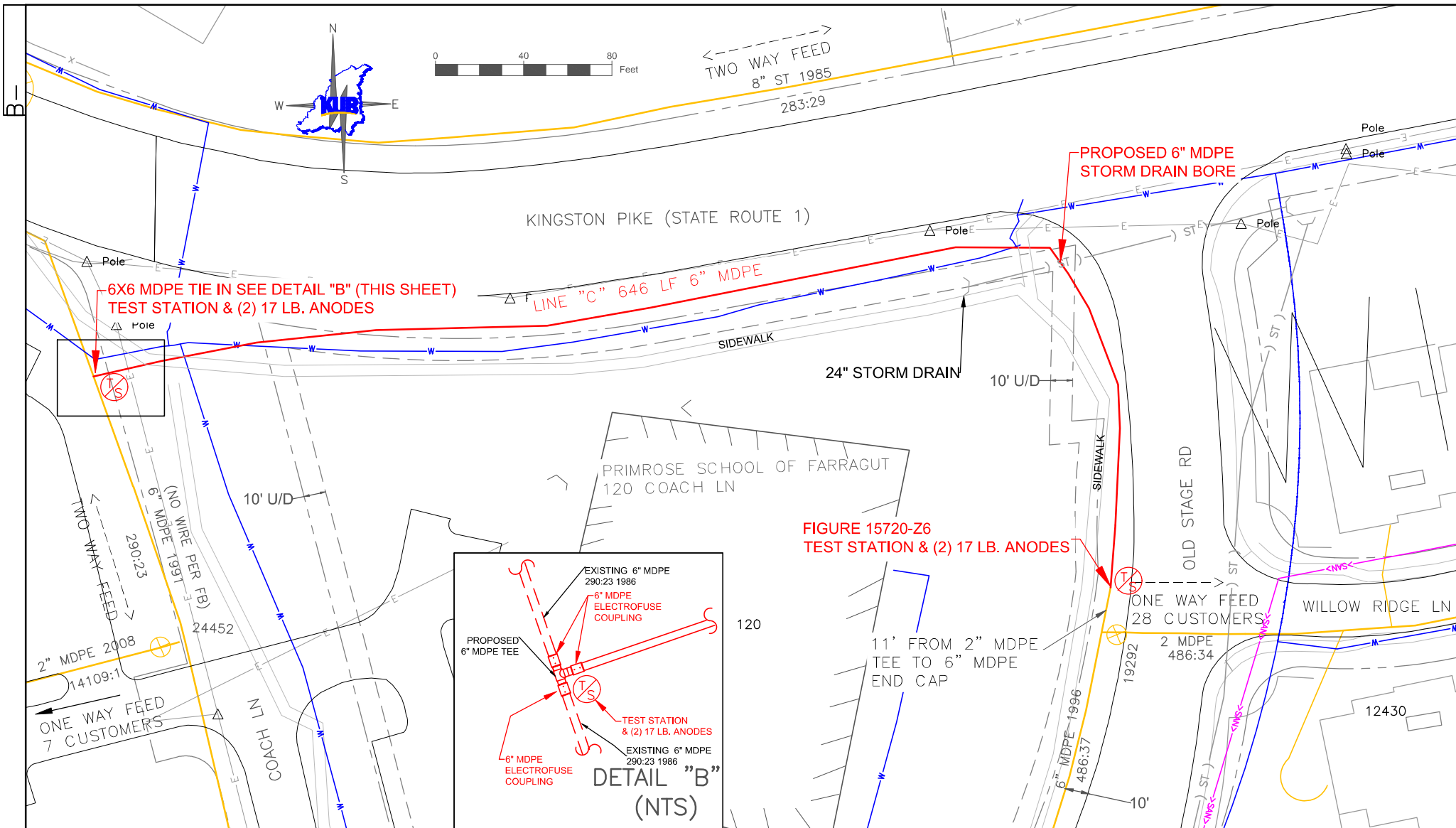
SHEET 5 of 9

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SCALE: 1"=40'

GRID/CLT:



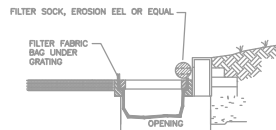
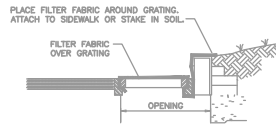
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Knoxville Utilities Board
ENGINEERING
WENTWORTH LOOP
SYSTEM IMPROVEMENT
INSTALL 646 LF 6" MDPE MAIN; 726 2"MDPE MAIN
PLAN VIEW 3
SCALE: 1"=40'
GRID/CLT:

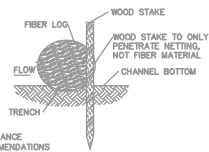
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SHEET 6 of 9

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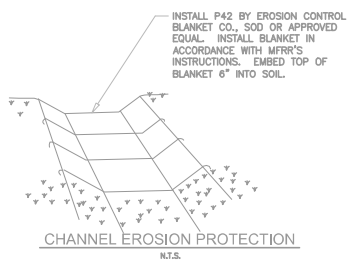


CURB INLET PROTECTION
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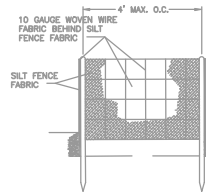


INSTALL FIBER LOG IN ACCORDANCE
WITH MANUFACTURER'S RECOMMENDATIONS

FIBER LOG BARRIER
N.T.S.

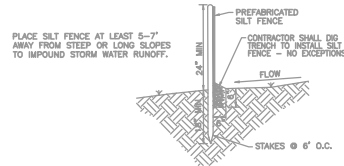


CHANNEL EROSION PROTECTION
N.T.S.

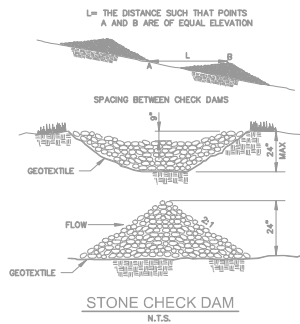


WIRE FENCE REINFORCEMENT IS REQUIRED BELOW SLOPES THAT ARE OVER 8' HIGH, OR WHERE SILT FENCE IS INSTALLED IMMEDIATELY ADJACENT TO GRADING LIMITS. INSTALL REINFORCEMENT AT LOCATIONS WHERE WASHOUT OR HEAVY FLOW MAY OCCUR.

SILT FENCE REINFORCEMENT
N.T.S.



SILT FENCE
N.T.S.



STONE CHECK DAM
N.T.S.

SEDIMENT & EROSION CONTROL NOTES

1. OWNER: KUB - PO BOX 58017, KNOXVILLE, TN 37950-9017
2. THIS PROJECT INCLUDES THE INSTALLATION OF APPROXIMATELY 646 L.F. OF 6" MDPE AND 726 L.F. OF 2" MDPE GAS LINE.
3. TOTAL DISTURBED AREA IS APPROXIMATELY 0.1 ACRES.
4. ALL CONSTRUCTION LIES ABOVE THE 100 YEAR FLOOD HAZARD.
5. EROSION AND SEDIMENT CONTROL SHALL BE THE CONTRACTOR'S RESPONSIBILITY FOR COMPLIANCE, INSTALLATION, MAINTENANCE AND REMOVAL. CONTROLS SHALL BE CONSISTENT WITH THE TDEC EROSION AND SEDIMENT CONTROL HANDBOOK.
6. THE EROSION CONTROLS MUST BE INSTALLED ALONG THE WATER LINE ALIGNMENT WHERE THEY ARE NEEDED AND REMOVED WHEN THE AREA HAS BEEN STABILIZED. CHANGES MAY BE MADE TO IMPROVE EROSION AND SEDIMENT CONTROLS.
7. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
8. SILT FENCE SHALL BE INSTALLED AS REQUIRED TO PREVENT SEDIMENT FROM THIS PROJECT BEING DEPOSITED ON ADJACENT PROPERTY.
9. DISTURBED AREAS SHALL BE RESTORED TO NEAR ORIGINAL CONDITION (CONCRETE, ASPHALT, GRASS, ETC.).
10. CONTRACTOR SHALL NOT INSTALL SEDIMENT TRAPS SHOULD POTENTIAL EXIST FOR PAVEMENT FLOODING AND/OR WATER DAMAGE TO ADJACENT PROPERTY.
11. EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSPECTED BY THE CONTRACTOR AT THE END OF EACH DAY'S WORK AND AT THE END OF EACH AND EVERY RAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND OR REMOVAL OF ACCUMULATED SILTS AND SEDIMENTS FROM THE EROSION AND SEDIMENT CONTROL DEVICES. (CONT.)

12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE OF S&D STRUCTURES. ALL SILTS AND/OR SEDIMENTS REMOVED FROM THE EROSION/SEDIMENT CONTROL DEVICES SHALL BE DEPOSITED ON SITE IN SUCH A MANNER AS TO PREVENT S&D SILTS AND/OR SEDIMENTS FROM REENTERING THE CONTROL DEVICES AND OR EXITING THE SITE THROUGH THE STORM DRAINAGE SYSTEMS AND/OR SURFACE DRAINAGE.
13. FAILURE TO INSTALL, OPERATE AND/OR MAINTAIN ALL EROSION CONTROL MEASURES SHALL BE JUSTIFICATION TO STOP CONSTRUCTION ON THE JOB SITE UNTIL SUCH MEASURES ARE CORRECTED IN ACCORDANCE WITH APPROVED PLANS OR AS DIRECTED BY THE OWNER.
14. THE CONTRACTOR SHALL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ON SITE ONTO PUBLIC ROADWAYS OR INTO STORM DRAINS SHALL BE REMOVED IMMEDIATELY.
15. UPON PIPE INSTALLATION, DISTURBED SOIL SHALL BE STABILIZED WITH TEMPORARY COVER OR PERMANENT VEGETATION AS REQUIRED EVERY TWO WEEKS AND PRIOR TO ANY RAIN EVENT.
16. MATERIAL STAGING AREA SHALL BE ENCOMPASSED WITH SILT FENCE IF THE AREA IS DISTURBED.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADDITIONAL EROSION CONTROLS CREATED BY DRAINAGE PATTERNS AT VARIOUS STAGES DURING CONSTRUCTION. DIFFICULTY IN CONTROLLING EROSION DURING ANY PHASE OF CONSTRUCTION SHALL BE REPORTED TO THE RPR IMMEDIATELY.
18. THE CONTRACTOR SHALL REMOVE ACCUMULATED SILT BEFORE THE SILT IS WITHIN 12-INCHES OF THE TOP OF THE SILT FENCE UTILIZED FOR EROSION CONTROL.
19. STRAW MULCHING SHALL BE USED WITH PERMANENT VEGETATION APPLICATIONS AND SHALL BE FREE OF WEED SEEDS AND SPREAD AT A RATE OF 90 POUNDS PER 1000 SQUARE FEET.
20. EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL ALL DISTURBED SOIL WITHIN THE CONSTRUCTION AREA HAS BEEN COMPLETELY STABILIZED WITH PERMANENT VEGETATION AND ALL ROADS/DRIVEWAYS HAVE BEEN PAVED.
21. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO OR CONCURRENT WITH LAND DISTURBING ACTIVITIES.

22. IN STREETS AND OTHER PAVED AREAS, REMOVE EXCAVATED MATERIALS FROM THE SITE AS CONSTRUCTION PROGRESSES TO PREVENT ANY EROSION OF THE EXCAVATED MATERIAL. IN OTHER AREAS, PLACE THE EXCAVATED MATERIAL SO AS NOT TO BLOCK ANY DRAINAGE AREAS. REPLACE EXCAVATED MATERIAL IN THE TRENCH IMMEDIATELY AFTER WORK HAS BEEN COMPLETED AND APPROVED BY THE OWNER.
23. RESTORE AND COVER EXPOSED AREAS SUBJECT TO EROSION AS QUICKLY AS POSSIBLE BY MEANS OF SEEDING AND MULCHING. FIBER MATTING MAY BE NECESSARY AS REQUIRED BY OWNER.



Know what's below.
Call before you dig.

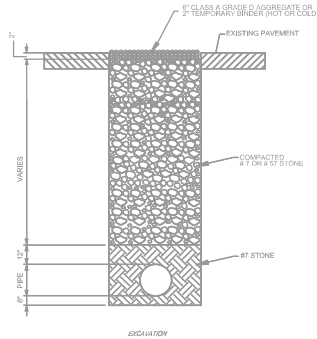
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Knoxville Utilities Board	
ENGINEERING	
WENTWORTH LOOP	
SYSTEM IMPROVEMENT	
INSTALL 646 LF 6" MDPE MAIN; 726 2"MDPE MAIN	
EROSION AND SEDIMENT CONTROL DETAILS	
SCALE: N.T.S.	GRID/CLT:

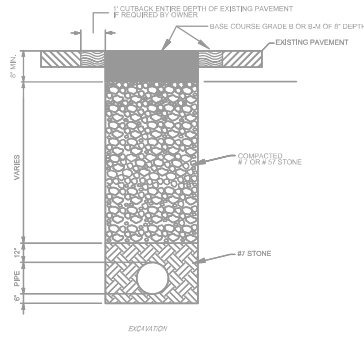


SHEET 7 of 9

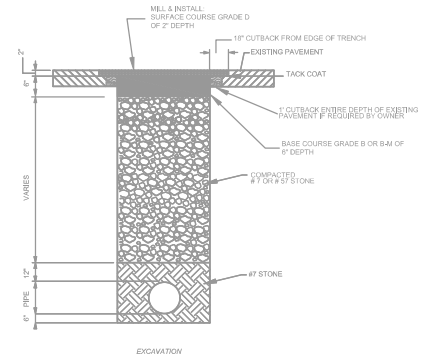
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TEMPORARY PAVEMENT REPAIR (INSTALLED BY CONTRACTOR)
N.T.S.



PERMANENT PATCHING: BASE COURSE
PAVEMENT REPAIR (INSTALLED BY CONTRACTOR)
N.T.S.



PERMANENT PATCHING: BASE COURSE + SURFACE COURSE
(INSTALLED BY OWNER OR CONTRACTOR)
N.T.S.

TEMPORARY PAVEMENT REPAIR (INSTALLED BY CONTRACTOR)

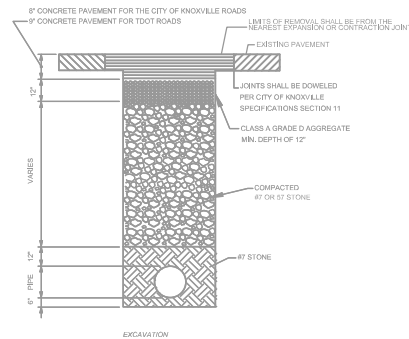
- NO. 7 STONE SHALL BE USED FOR PIPE BEDDING. PIPE BEDDING SHALL BE PLACED FROM 6" BELOW THE PIPE TO 12" ABOVE THE PIPE CROWN.
- NO. 7 OR #57 STONE SHALL BE COMPACTED IN MAXIMUM 12" LIFTS (WITH A MINIMUM OF 2 LIFTS) USING VIBRATORY COMPACTION EQUIPMENT REQUIRED TO ACHIEVE JOB SPECIFICATIONS.
- NO. 7 OR #57 STONE SHALL BE CONSOLIDATED TO A MINIMUM OF 90% MAXIMUM DRY DENSITY.
- 2" OF CLASS A GRADE D AGGREGATE OR 2" OF TEMPORARY BINDER (HOT OR COLD) SHALL BE COMPACTED UP TO THE PAVEMENT SURFACE.
- THE PAVEMENT REPAIR (INSTALLED BY CONTRACTOR) SHALL BE PLACED WITHIN 14 CALENDAR DAYS OF BACKFILL ON 28 DAYS IF APPROVED BY THE OWNER. PRIMARY COLLECTION ON ARTISIAL STREETS MUST HAVE 2" OF TEMPORARY BINDER WITHIN 14 CALENDAR DAYS OF BACKFILL.

PAVEMENT REPAIR (INSTALLED BY CONTRACTOR)

- AT THE TIME OF THE PAVEMENT REPAIR (INSTALLED BY CONTRACTOR) THE TEMPORARY PAVEMENT REPAIR SHALL BE REMOVED DOWN TO THE REQUIRED DEPTH LEAVING A MINIMUM OF 12" OF NO. 7 OR #57 STONE.
- 2" OF BASE COURSE B OR B41 SHALL BE INSTALLED TO MATCH THE EXISTING PAVEMENT SURFACE. COMPACTED IN A MINIMUM OF TWO 4" LIFTS.
- BASE COURSE LIFTS SHALL BE COMPACTED TO A MINIMUM OF 90% MAXIMUM THEORETICAL DENSITY.
- EXISTING CONCRETE STREETS THAT HAVE BEEN OVERLAP WITH ASPHALT PAVEMENT SHALL BE REPAIRED WITH NEW ASPHALT PAVEMENT. THE DEPTH OF THE NEW ASPHALT REPLACING THE CONCRETE SHALL BE A MINIMUM OF 6" COMPACTED IN A MINIMUM OF TWO 4" LIFTS PLUS THE THICKNESS OF THE OVERLAYING ASPHALT.
- CONCRETE STREETS WITHOUT ASPHALT OVERLAY SHALL BE REPAIRED FOLLOWING THE KUB PAVEMENT REPAIR STANDARD.

PAVEMENT SURFACING (INSTALLED BY OWNER OR CONTRACTOR)

- AT THE TIME OF PAVEMENT REPAIR (INSTALLED BY OWNER OR CONTRACTOR) THE BINDER SHALL BE MILLED TO THE REQUIRED DEPTH WITH 16 INCH CUTTRACKS BEYOND THE EXCAVATED TRENCH WIDTH.
- 2" OF SURFACE COURSE GRADE D SHALL BE INSTALLED TO MATCH THE EXISTING PAVEMENT SURFACE AND COMPACTED.
- PAVEMENT SURFACING MAY BE BURNED IN USING THE PATONMASTER METHOD IN LIEU OF MILL AND TOPPING.
- TO BE INSTALLED BY OWNER WITHIN 12 MONTHS AFTER INSTALLATION OF THE PAVEMENT REPAIRS DESCRIBED ABOVE.



PERMANENT CONCRETE REPAIR (INSTALLED BY CONTRACTOR)
N.T.S.

Equipment Type	Equipment Weight (tons)	Minimum Downward Force (lbs)	Minimum Frequency Hertz	VPM	Minimum Amplitude (inches)	Maximum Lift thickness (inches)	Minimum number of passes required
Steel wheeled vibratory roller - walk behind	< 1 ton	N/A	41	2460	0.02		5
Steel wheeled vibratory roller - walk behind	< 2 tons	N/A	30	1800	0.02		5
Steel wheeled vibratory roller - ride on	< 1 ton	N/A	30	1800	0.02		5
Steel wheeled vibratory roller - ride on	1 - 2 tons	N/A	30	1800	0.02		5
Steel wheeled vibratory roller - ride on	> 2 tons	N/A	30	1800	0.02	< 1 ton - 4-6" 1 - 2 tons - 8" > 2 tons - 12"	5
Walk behind vibratory plate compactor - single direction	< 1 ton	N/A	38	2280	0.03		4
Walk behind vibratory plate compactor - reversible	< 1 ton	N/A	38	2280	0.03		4
Buckhoe vibratory plate attachment	N/A	7500	33	2000	0.02		3
Buckhoe vibratory wheel	N/A	7500	43	2500	0.085	Not to exceed 12"	3

NOTE: JUMPING JACKS MAY BE USED, WITH PERMISSION OF OWNER, IN AREAS OF COMPACTION TOO SMALL FOR OTHER COMPACTION EQUIPMENT. LIFTS SHALL NOT EXCEED 4" IN DEPTH.



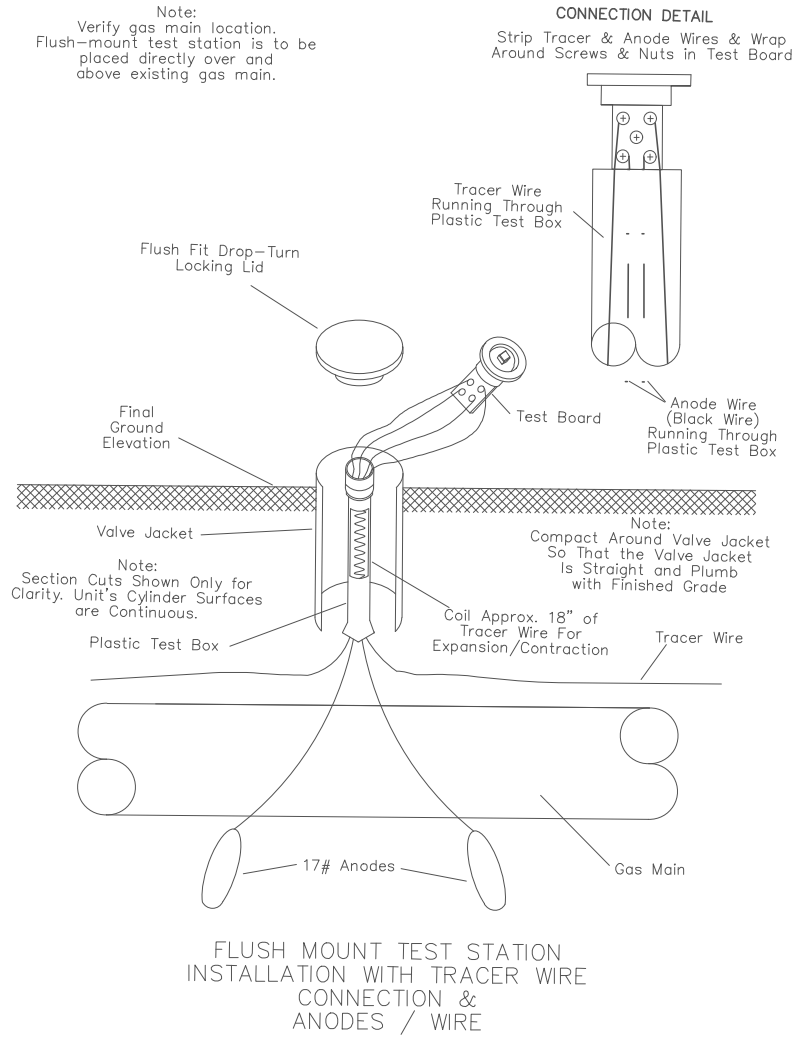
Know what's below.
Call before you dig.

REV.	DESCRIPTION	DRAWN BY:	CHK.:	APPV.:	EST#:	JOB#:	MAXIMO#:	W.F.P.I#:	DATE:
5									
4									
3									
2									
1									
0	FIRST ISSUE OF DRAWING	IDM	BAE	TJK		J0021720	W24-28431		1/29/2024

Knoxville Utilities Board ENGINEERING WENTWORTH LOOP SYSTEM IMPROVEMENT INSTALL 646 LF 6" MDPE MAIN; 726 2"MDPE MAIN PAVEMENT REPAIR DETAILS
SCALE: N.T.S. GRID/CLT:

KUB
SHEET 8 of 9
B-

B-



Know what's below.
Call before you dig.

REV.	DESCRIPTION	DRAWN BY:	CHK.:	APPV.:	EST#:	JOB#:	MAXIMO#:	W.F.P.I#:	DATE:	Knoxville Utilities Board ENGINEERING WENTWORTH LOOP SYSTEM IMPROVEMENT INSTALL 646 LF 6" MDPE MAIN; 726 2"MDPE MAIN TEST STATION DETAIL SHEET 9 of 9	
5											
4											
3											
2											
1											
0	FIRST ISSUE OF DRAWING	IDM	BAE	TJK		J0021720	W24-28431		1/29/2024	SCALE: N.T.S.	GRID/CLT:

MEETING DATE: April 18, 2024

AGENDA ITEM #4

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: David Smoak, Town Administrator

SUBJECT: Approval of FY 2025-2030 Capital Investment Plan (CIP)

INTRODUCTION AND BACKGROUND:

Town Recorder, Allison Myers, will present the Capital Investment Plan for review and recommendation to the Board of Mayor & Aldermen.

Capital Investment Program-310							
Beginning Balance	14,332,048	9,944,832	10,359,832	8,303,832	9,853,832	11,553,832	
Greenways & General Government Projects	FY2025	FY2026	FY2027	FY2028	FY2029	FY2030	Total
Land Acquisition	0	0	300,000	300,000	300,000	300,000	1,200,000
KP Pedestrian Underpass at N. Fork Turkey Creek	0	635,000	0	0	0		635,000
Sonja Drive/Admiral Road Sidewalk (Phases 1-3)	1,250,000	0	0	0	0		1,250,000
Campbell Station Inn Improvements	750,000	0	0	0	0	0	750,000
Red Mill Trailhead	0	170,000	0	0	0	0	170,000
Everett Road Greenway Connection	0	0	70,000	0	0	0	70,000
Town Facilities Security Plan	80,000	0					80,000
General Government Projects Total	2,080,000	805,000	370,000	300,000	300,000	300,000	4,155,000
Parks	FY2025	FY2026	FY2027	FY2028	FY2029	FY2030	Total
MBLP Field 1 & 2 Turf Replacement	1,841,880	0	0	0	0	0	1,841,880
MBLP Walk trail and ADA Repair & Repaving	180,000	0	0	0	0	0	180,000
McFee Park Phase 5: Dog Park & Storage	465,336	0	0	0	0	0	465,336
MBLP Pickleball Courts	1,450,000	0	0	0	0	0	1,450,000
McFee Park Splash Pad Elements	50,000	0	0	80,000	0	0	130,000
Sand Volleyball Complex Reconstruction	0	50,000	0	0	0	0	50,000
Anchor Park Fence	0	0	175,000	0	0	0	175,000
Anchor Park Playground	0	0	300,000	0	0	0	300,000
McFee Park: Courts, Tennis Pavilion & Restrooms	0	0	535,000	0	0	0	535,000
MBLP Trail Lighting Update	0	0	0	125,000	0	0	125,000
MBLP Field 3 Turf Replacement	0	0	0	725,000	0	0	725,000
McFee Tennis & Basketball Court Resurfacing	0	0	0	40,000	0	0	40,000
Parks Total	3,987,216	50,000	1,010,000	970,000	0	0	6,017,216
Engineering Projects	FY2025	FY2026	FY2027	FY2028	FY2029	FY2030	Total
Stormwater Improvements	200,000	200,000	200,000	200,000	200,000	200,000	1,200,000
Boyd Station Road Roundabout	760,000	0	0	0	0	0	760,000
Boyd Station Road Improvements - Town Participation	465,000	0	0	0	0	0	465,000
Boyd Station Road Greenway	40,000	0	0	0			40,000
Union Road Improvements	9,100,000	0	0	0	0	0	9,100,000
Virtue Road-Phase II (Brookmere to Boyd Station)	925,000	0	7,480,000	0	0	0	8,405,000
Turkey Creek Greenway/Road Improvements	500,000	0	2,000,000	0	0	0	2,500,000
Watt Road Roundabout	0	850,000	0	0	0	0	850,000
Concord Road/Loop Road Signal	700,000		0				700,000
Campbell Station Road/Jamestowne Signal		700,000	0				700,000
Evans Road Improvements	0	0	0	0	820,000	730,000	1,550,000
Engineering Total	12,690,000	1,750,000	9,680,000	200,000	1,020,000	930,000	26,270,000

CIP Expenditure Total	18,757,216	2,605,000	11,060,000	1,470,000	1,320,000	1,230,000	36,442,216
<u>Funding Sources</u>	FY2025	FY2026	FY2027	FY2028	FY2029	FY2030	Total
L-STBG Funding (Virtue Road)	740,000	0	5,984,000	0	0	0	6,724,000
L-STBG Funding (Union Road)	7,280,000	0	0	0	0	0	7,280,000
LPRF Grant	1,250,000	0	0	0	0	0	1,250,000
Interest Earnings	100,000	20,000	20,000	20,000	20,000	20,000	200,000
Transfer from General Fund	5,000,000	3,000,000	3,000,000	3,000,000	3,000,000	3,000,000	20,000,000
CIP Reserves	4,387,216		2,056,000	0	0	0	6,443,216
Funding Total	18,757,216	3,020,000	11,060,000	3,020,000	3,020,000	3,020,000	48,905,288
Total CIP Funding Sources	18,757,216	3,020,000	11,060,000	3,020,000	3,020,000	3,020,000	48,905,288
Total CIP Expenditures	18,757,216	2,605,000	11,060,000	1,470,000	1,320,000	1,230,000	42,523,636
Revenue over (under) expenditures	0	415,000	0	1,550,000	1,700,000	1,790,000	
Ending Balance	9,944,832	10,359,832	8,303,832	9,853,832	11,553,832	13,343,832	
Assigned Fund Balance							
Greenway Connectors	0	0	0	0	0		
Land Acquisition	0	0	0	300,000	600,000	900,000	
Stormwater Projects	562,034	762,034	962,034	1,162,034	1,362,034	1,562,034	
Outstanding Projects	2,333,572	2,333,572	2,333,572	2,333,572	2,333,572	2,333,572	
Total Assigned Balance	2,895,606	3,095,606	3,295,606	3,795,606	4,295,606	4,795,606	
Available Fund Balance	7,049,226	7,264,226	5,008,226	6,058,226	7,258,226	8,548,226	

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion on a request to amend the Future Land Use Map for Parcels 070 and 072, Tax Map 142, between Waverly Court Subdivision and Baldwin Park Subdivision, 341 Boring Road, from Open Space Cluster Residential to Very Low Density Residential, 12 Acres (Homestead Land Holdings, Applicant)

INTRODUCTION AND BACKGROUND: This item is for discussion purposes only and involves a request to amend the Future Land Use Map for the two parcels between the Waverly Court Subdivision and the Baldwin Park Subdivision from Open Space Cluster Residential to Very Low Density Residential.

The two parcels combined are approximately 12 acres and were included in the Boring Road Study Area community workshop sessions completed a few months ago. During that process, the Future Land Use Map was updated based on the predominant community input. The subject parcels were changed from Medium Density Residential to Open Space Cluster Residential. The thought was that the area between Waverly Court and Baldwin Park may be a good candidate for an open space mixed residential development with attached single family abutting Waverly Court and detached small lot residential abutting Baldwin Park. The Open Space Cluster Residential land use designation would most closely reflect that development option.

DISCUSSION: Recently, the applicant began looking at these parcels for residential development. They looked at the OSMR, Open Space Mixed Residential Zoning District, and the R-4, Attached Single Family Zoning District, but felt that given the relative small size of the tracts involved and the Knox County school planned for nearby property to the east, a more traditional detached residential development would be more appropriate.

Under the next agenda item, the applicant has requested to rezone these two tracts from R-1 and R-2 to R-3, Small Lot Single Family Residential. The R-3 District is the same as Baldwin Park and would likely result in a comparable development. The land use designation that is most similar to the R-3 Zoning District is the Very Low-Density Residential land use (2-4 dwelling units per acre). The developed density of Baldwin Park is 2.37 units per acre, and this would likely be comparable to the density that would result from the development on the tracts involved in this request.

RECOMMENDATION: Though this is only a discussion item, when this is presented for a vote in May, the staff will be recommending approval. The Very Low-Density Residential land use is compatible with the surrounding plan of development.



Future Land Use

Legend

- Floodway
- 0.2% Chance of Flood
- Civic/Institutional
- Office/Light Industrial
- LU Industrial
- Commercial
- Regional Commercial
- Open Space
- Parks and Rec
- Open Space Cluster Residential
- Rural Residential (> 1 Acre lots)
- Very Low Density Residential (2-4 DUs / Acre)
- Low Density Residential (3-8 DUs / Acre)
- Med Density Residential (6-8 DUs / Acre)
- High Density Residential (9-12 DUs/Acre)
- Mixed Use Neighborhood (Up to 8 DUs / Acre)
- Mixed Use Town Center (8-15 DUs / Acre)



1 in = 1,300 ft

Current as of: 6/29/2023



REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

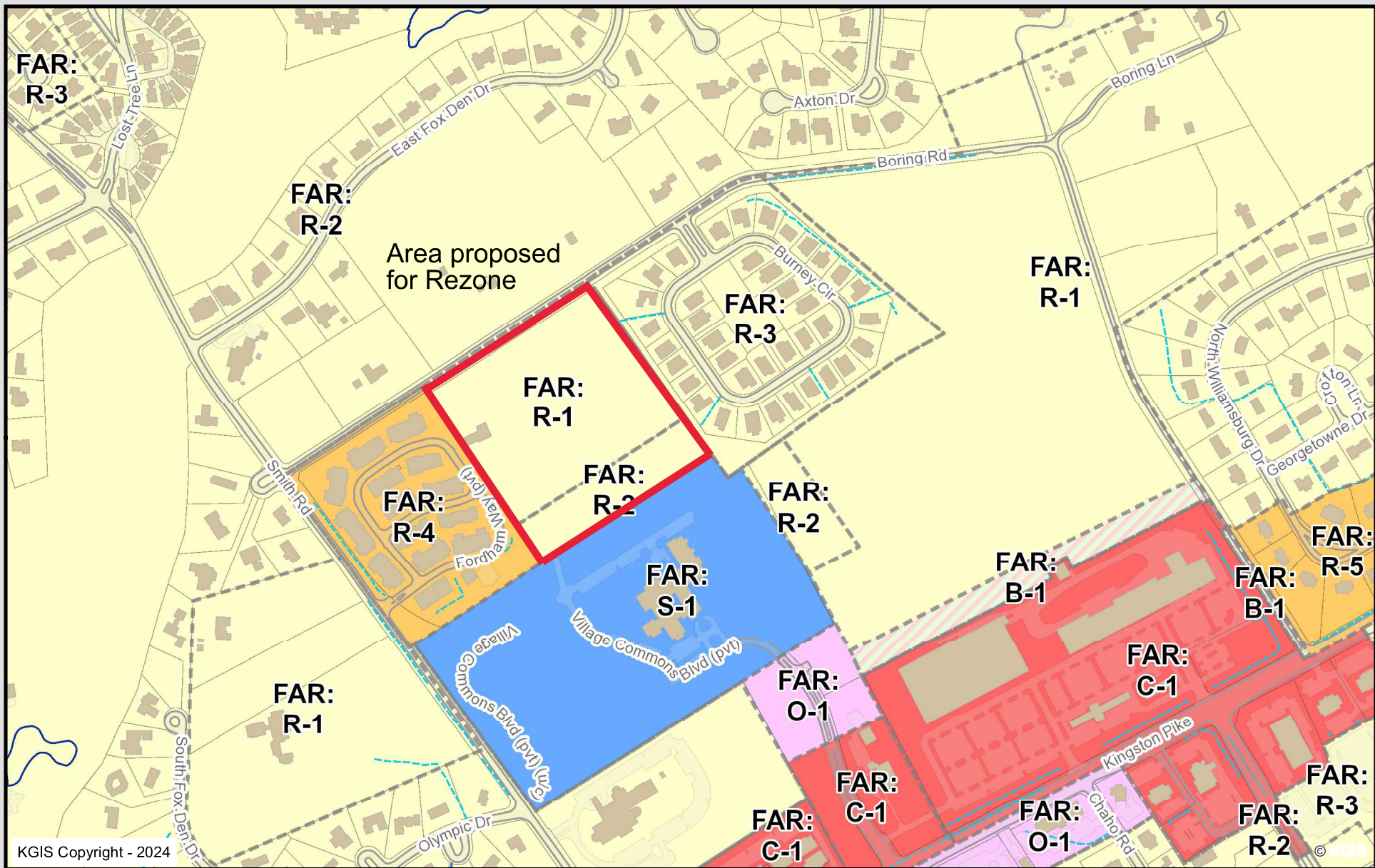
SUBJECT: Discussion on a request to amend the Zoning Map for Parcels 070 and 072, Tax Map 142, between Waverly Court Subdivision and Baldwin Park Subdivision, 341 Boring Road, from R-1 and R-2 to R-3, 12 Acres (Homestead Land Holdings, Applicant)

INTRODUCTION AND BACKGROUND: Related to the previous item, this involves a zoning map amendment for the two parcels between the Waverly Court Subdivision and the Baldwin Park Subdivision. The parcels are currently zoned R-1 and R-2 and the applicant is requesting a rezoning to R-3.

The R-3 Zoning District is the same as the Baldwin Park Subdivision which abuts the parcels to the east. The southern parcel involved in this rezoning abuts the Village Commons senior living community. The northern parcel included in this rezoning is accessed along Boring Road and an access from Village Commons is stubbed into the southern parcel.

The frontage along Boring Road was improved as part of the Baldwin Park Subdivision so no additional improvements to Boring Road would be required in association with this rezoning. The Town Engineer will be coordinating with the applicant on the traffic impact study level needed for this rezoning request since it would result in greater density than the existing zoning.

RECOMMENDATION: The requested R-3 Zoning District is consistent with the adjacent Baldwin Park Subdivision and would result in less density than the Waverly Court Subdivision to the west. Though only a discussion item at this time, when this is presented for a vote in May, the staff will be recommending approval.



Farragut Zoning Map

Knoxville - Knox County - KUB Geographic Information System



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REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion on amendments to the Sign Ordinance in association with the Mixed-Use Town Center area (JA Fielden, Applicant)

INTRODUCTION AND BACKGROUND: This agenda item is for discussion purposes only. As the Town Center at Biddle Farms has proceeded, some signage related considerations have become evident. The Town's existing sign ordinance does not account for certain signage that has been requested by some businesses that will open in the Town Center. There is also some clarity needed on color and lighting considerations as they would apply to signs. Note that as amendments are considered, the focus should not be on a specific development. Amended language would likely be applied to the Town Center area in general and potentially other areas, if deemed appropriate.

DISCUSSION: The applicant has requested three different amendments to the sign ordinance and staff will review these below with an introduction and some questions that will need to be answered to provide the staff with guidance on how to proceed with specific language that would be included in any desired amendments to the sign ordinance.

Canopy Signage. The first amendment is related to canopy signs. Currently, the sign ordinance only permits wall signs that are to be mounted within one foot of the building face. The applicant would like to have the opportunity to install signage on the outer edge of structural canopies that will be provided on some of the buildings. Some images of what these types of signs look like are included in the packet. The staff is in support of providing for this type of sign but has some questions and clarifications that need to be discussed. Many of these were discussed with the applicant at the staff/developer meeting on April 2. Those questions/clarifications are as follows:

1. For purposes of this type of sign, a clear definition of a "canopy" is needed. The staff would envision it being a permanent metal structural extension that is visually and structurally part of the building it serves.
2. If a canopy sign is desired, should it be permitted only at entrance areas and not over a portion of the canopy that is not backed by the building wall?
3. Should canopy signs be permitted to extend below the canopy provided code required clearance is satisfied?
4. Should the letter height permitted on canopy signs be tied to a proportion of the canopy thickness?
5. Should a canopy sign be permitted to extend into a window area? If so, should there be a limitation on such extension?
6. Should it be clear that a canopy sign, where used, would be in place of a wall sign. Otherwise, building clutter could result.
7. Should canopy signs be illuminated the same as wall signs in the Town Center area? Currently, wall signs must be back-lit, reverse-lit, halo-lit, or externally lit on the primary sign. The staff has

permitted some face lit on logos and subtext. Having consistency in lighting helps differentiate signage in the Town Center from other portions of the Town.

8. Should the main channel letters on canopy signs be limited to white, black, or silver/gray/natural aluminum but have flexibility in font, style, and provide for corporate colors on logos and subtext (this is what is applied currently for wall signs). Note that the applicant agreed with using colors in the manner described above.
9. Should limitations be made regarding the extent of backer boards where those are used for the mounting of canopy signs?

Main Building Signage with Multiple Tenants. The second amendment requested is mostly related to clarity on compatibility as applied to colors and illumination. The existing sign ordinance states that “Wall mounted signage within a multiple tenant development shall be compatible in terms of sign material, general color, mounting style, and illumination.” This helps create a more aesthetically pleasing building frontage and helps avoid the inconsistencies seen on some of the older developments in the Town.

The staff’s application of this has been to allow white, black, or silver/gray/natural aluminum colors on the primary wall signage but also permit corporate colors on subtext or logos. The result is that the general objective of the compatibility requirement is retained while also allowing a business to display their corporate colors in some fashion. Some of the information included in the applicant’s request is consistent with the staff’s approach as applied to compatibility. Some clarifications concerning compatibility that may be needed are the following:

1. Is the current application of allowing white, black, or silver/gray/natural aluminum colors on the primary wall signage and permitting corporate colors on subtext or logos appropriate? Again, this appears to be consistent with the language provided in the applicant’s amendment request and could be further clarified as part of this amendment request.
2. Though signs are not permitted on awnings, some clarity is needed on the colors that could be used for awnings. The staff would recommend that awning colors could be any colors provided for in the adopted color palette for building trims and accent colors as well as colors that the Planning Commission would see as comparable to colors provided for in the adopted color palette. This would provide businesses with flexibility in awning colors while avoiding colors that are undesirable. A question for discussion is whether awning colors should be solid or if striping and other color arrangement would be acceptable.
3. Is the current application of permitting only back-lit, reverse-lit, halo-lit, or externally lit signs on the primary sign in the Town Center area still desired. The staff would support the current practice with all wall or canopy signs as it helps to create a distinct and high-quality look for signs installed in this portion of the Town. Some good examples are in the Farragut Gateway and at 35 North.

Main Monument (Iconic Element) Sign. The third amendment requested involves signage envisioned at the main entrance to the Biddle Farms Town Center off Kingston Pike. The applicant would like to install entrance elements with signage on each side of the street leading into Biddle Farms. The current issue with this request is that the monument sign on the west side of the entrance is within 150 feet of the sign installed for Aldi to the west. The proposed sign is roughly 140 feet from the Aldi sign.

The applicant’s requested entrance signage is included in the packet. Some general questions the staff noted at the staff/developer meeting were as follows:

1. The entrance features are not required as iconic elements. The buildings themselves that frame the intersection are the only structures that require iconic elements. As proposed, the scale of the

monument sign wall would appear to detract from the nearby buildings. The staff noted to the applicant at the staff/developer meeting that he may want to set up a mock monument sign board to assess how it would relate to the adjacent building(s) in terms of scale compatibility. The staff indicated that it may be useful to finish the build-out of the two buildings at the intersection in question and see what entrance elements (if any) would be appropriate and fit best within the available space.

2. If monument signs are desired in the manner proposed currently by the applicant, the staff would recommend that these be treated like permanent ground mounted subdivision signs provided for on land for residential uses.
3. If residential subdivision entrance signage is used, should it apply only to approved PCD developments? Approved PCD developments in the Town Center area only?
4. Should such signage be limited to one entrance location or per entrance (as currently provided for in relation to residential subdivisions)?



BIDDLE FARMS

FARRAGUT TOWN CENTER

Text Amendment Request – Canopy Signage

Town of Farragut current signage regulations do not allow canopy signage at the Biddle Farms Farragut Town Center.

1. Canopy Signage – Biddle Farms Farragut Town Center requests an amendment to allow canopy signage on the following buildings in the town center:

- a. Building A
- b. Building C
- c. Building D
- d. Building F
- e. Building G

Specifics of Canopy construction/appearance:

- a. Canopy lettering must be channel mount lettering
- b. Height of lettering to be no larger than 36”
- b. Lettering can only be up-lit or exterior lit
- c. Main channel lettering required to be white
- d. Subtext will be allowed to be any brand color
- e. Lettering font not specified but allowed to be branding specific
- f. Channel lettering may not impede more than 20% of total window area

Sample of Canopy Lettering Proposed at Biddle Farms Farragut Town Center



BIDDLE FARMS
FARRAGUT TOWN CENTER

Concept
Images of
Proposed
Canopy
Signage



BIDDLE FARMS
FARRAGUT TOWN CENTER

Text Amendment Request – Main Building Signage with Multiple Tenants

Town of Farragut current signage regulations require that if a building contains multiple tenants, each tenant's signage color scheme is required to be the same. i.e. if one is yellow and black, other tenant is required to have yellow and black signage.

1. Main Signage – Biddle Farms Farragut Town Center requests an amendment to allow each tenant in a building to have their own branding colors on their signage.

Biddle Farms Farragut Town Center will require all tenants main building signage to include the following:

- a. Signage required to be on a backer
- b. Individual channel letters
- c. Channel lettering to be white
- d. Channel lettering to be backlit halo
- e. Channel lettering font not specified but allowed to be branding specific
- f. Subtext/byline lettering to be vinyl and can be brand specific coloring
- g. Main building signage only placed in locations specified by Biddle Farms Farragut Town Center
 - locations per building will be provided
- h. Buildings affected by this are: Building A, Building D, Building E, Building F, Building G



BIDDLE FARMS
FARRAGUT TOWN CENTER

Concept Images of
Proposed Canopy
Signage



Sample of Proposed Halo Lit
Signage at Biddle Farms
Farragut Town Center



BIDDLE FARMS
FARRAGUT TOWN CENTER

Text Amendment Request – Biddle Farms Farragut Main Monument (iconic element)

Town of Farragut current signage regulations require that 150 feet between ground mounted signs.

One side of the Biddle Farms Farragut main monument is only 140 feet from the ground mounted sign featuring Aldi and two other tenants, to be determined.

1. Monument Signage – Biddle Farms Farragut Town Center requests an amendment to allow our ground mounted sign to be accepted with only 140 feet to the other sign on Kingston Pike.



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Letterset A - Monument Letters
50" thick, FCO, painted aluminum logo & letters, to be sud mounted to existing monument



Qty: 02
Site: C005, C008

Colors & Finishes

Colors shown here may not exactly match manufacturers color chart swatch or actual sample. Client to either provide samples or specifications for custom colors prior to production or approve DeNyse color samples or color specifications

- C1 Pantone 4272
- C2 Pantone 303
- C3 Pantone 430
- C4 Black
- C5 White

Fonts Used

NewBaskerville SC






BIDDLE FARMS
FARRAGUT TOWN CENTER