



FARRAGUT MUNICIPAL PLANNING COMMISSION

AGENDA

July 18, 2024

Farragut Community Center – Assembly Room

7:00 p.m.

For questions, please e-mail Mark Shipley at mshipley@townoffarragut.org, Bart Hose at bhose@townoffarragut.org, or Holley Marlowe at hmarlowe@townoffarragut.org

- 1. Election of Officers**
- 2. Approval of agenda**
- 3. Approval of minutes for the June 20, 2024 meeting**
- 4. Approval to replace existing two-inch steel gas main lines with new two-inch Medium Density Polyethylene (MDPE) plastic gas main lines along various streets in the Village Green Subdivision (KUB, Applicant)**
- 5. Approval to add approximately 385 linear feet of new fiber optic communication cable in a new conduit and approximately 1,000 linear feet of fiber optic communication cable in an existing conduit along a portion of the east side of West End Avenue and extending to the macro cellular tower under construction in the northeast corner of the West End Center (ADB Engineering on behalf of MCI Network, Applicant)**
- 6. Discussion on the approval of the Town of Farragut Mixed Use Town Center Vision Plan (Town of Farragut, Applicant)**
- 7. Discussion on a request to rezone Parcel 191.1, Tax Map 130, south of Home Federal Bank off Parkside Drive, 1.57 Acres, from Office District, Three Stories (O-1-3) to General Commercial (C-1) (Turkey Creek Land Partners, LLC, Applicant)**
- 8. Discussion and public hearing on approval of a plat of correction related to Parcel 191.1, Tax Map 130, south of Home Federal Bank off Parkside Drive, to amend the buffer strip width from 50 feet to 35 feet, 1.57 Acres, Zoned O-1-3 (Turkey Creek Land Partners, LLC, Applicant)**
- 9. Discussion and public hearing on approval of a plat involving the re-subdivision of Lots 1 and 2, Parcels 3.22 and 3.24, Tax Map 143, into three lots, 27.35 Acres, Zoned PCD (Biddle Farms Residential, LLC, Applicant)**

**11408 MUNICIPAL CENTER DRIVE | FARRAGUT, TN 37934 | 865.966.7057 |
WWW.TOWNOFFARRAGUT.ORG**

It is the policy of the Town of Farragut not to discriminate on the basis of race, color, natural origin, gender, gender identity, sexual orientation, age, religion, disability or veteran status pursuant to Title VI of the Civil Rights Act of 1964, Public Law 93-112 and 101-336 in its hiring, employment practices and programs. To request accommodations due to disabilities, please call 865-966-7057 in advance of the meeting



- 10. Discussion on a request to amend the text of the Farragut Zoning Ordinance to permit a second dwelling unit on an existing lot of record that is greater than 1.5 acres in the Rural Single-Family Residential (R-1) Zoning District (Tyler Butler, Applicant)**
- 11. Discussion on a request to rezone the property at 12715 Union Road from Rural Single-Family Residential (R-1) and General Single-Family Residential (R-2) to Agricultural (A), 8.64 Acres (Wil Glafenhein, Applicant)**
- 12. Discussion and public hearing on amendments to the Future Land Use Map in the Comprehensive Land Use Plan Update involving the following locations: 1) Updating the land purchased by Knox County Schools off Boring Road to reflect a Civic/Institutional land use designation, 2) Updating the land purchased by the Town of Farragut off McFee Road to reflect a Parks and Recreation land use designation, 3) Updating the areas that are currently shown as Medium Density Residential and Low Density Residential south and east of the Ford property and the Park Place Subdivision to reflect a Very Low Density Residential land use designation, and 4) Updating the areas that are currently shown as Medium Density Residential along a portion of Concord Road to reflect a Low Density Residential land use designation in the northern portion and a Civic/Institutional land use designation for the Pleasant Forest Cemetery and the area abutting the cemetery to the north (Town of Farragut, Applicant)**
- 13. Approval of utilities**
- 14. Citizen forum**

Public Comment Protocol

At the end of each business meeting, there will be time reserved for public comment under the Citizen Forum agenda item. If you are interested in speaking, please fill out a blue comment card and turn it in to the Planning Director. This time is set aside specifically for comments on items that are not on the Planning Commission regular agenda for the meeting. Each speaker will be given five (5) minutes to speak on his/her topic.

The Commission also seeks public comment on regular agenda items during the portion of the meeting devoted to discussion and consideration of the specific agenda item.

The Chairman may recognize individuals for public comment during both the regular agenda and Citizen Forum portions of the meeting based on the following guidelines.

1. The Chairman shall maintain and control the meeting to provide a professional and objective environment conducive to presentation and discussion of the agenda items;
2. Any Farragut resident interested in speaking should fill out a blue comment card stating which agenda item they would like to comment on and turn it in to the Planning Director;



3. Speakers shall come to the podium and identify themselves by name and street address;
4. Public comment shall be limited to five (5) minutes per individual. Time for public comment may be amended at the discretion of the Chairman; provided that when additional time is allowed, speakers with differing points of views are allowed the same amount of time if requested. Time is not transferable to other speakers;
5. Speakers should strive to avoid redundancy; different considerations than expressed by previous speakers on a subject are encouraged;
6. Comments that threaten violence or imminent physical harm toward any individual will not be tolerated.
7. Comments may support or oppose issues or measures;
8. Personal attacks on the character of individuals who hold different points of view that have no relationship to the merits of the matter or issue raised for discussion will not be tolerated.
9. An applicant, and/or their representative(s), for an item on the regular agenda shall be afforded the time necessary to present their request and respond to questions. The five (5) minute limitation shall not apply. However, the Chairman may ask an applicant to stay on point in order to facilitate the efficiency of the meeting.

Each speaker will be asked if they can agree to abide by the Comment Protocol. If so, please be prepared to speak when your name is called.

Tennessee Code Annotated 39-17-306. Disrupting meetings or processions.

- a) A person commits an offense if, with the intent to prevent or disrupt a lawful meeting, procession, or gathering, the person substantially obstructs or interferes with the meeting, procession, or gathering by physical action or verbal utterance.
- b) A violation of this section is a Class A misdemeanor.



**MINUTES
FARRAGUT MUNICIPAL PLANNING COMMISSION**

June 20, 2024

MEMBERS PRESENT

Scott Russ, Chairman
Ed St. Clair, Vice Chairman
Ron Williams, Mayor
Shannon Preston, Secretary
Noah Myers
Jeff Devlin
Jon Greene
Ron Pinchok
Leo Davis, Youth Representative

MEMBERS ABSENT

Louise Povlin, Vice Mayor

Staff Representative: Mark Shipley, Community Development Director
David Smoak, Town Administrator

1. Approval of agenda

The staff recommended that agenda item #5 be removed from the agenda.

A motion was made by Mayor Williams to follow the staff's recommendation. The motion was seconded by Commissioner St. Clair and was approved unanimously.

2. Approval of minutes – May 16, 2024

The staff recommended approval of the minutes as submitted.

A motion was made by Commissioner Myers to follow the staff's recommendation. The motion was seconded by Commissioner Devlin and was approved unanimously.

3. Appointment of Youth Representative

A motion was made by Commissioner St. Clair to nominate Anna Presley as the Youth Representative for the next fiscal year. The motion was seconded by Commissioner Myers and was approved unanimously.

4. Discussion of a Town of Farragut Wayfinding Schematic Design Plan (Town of Farragut, Applicant)

Hallie Riddle, Town of Farragut Tourism Manager, introduced representatives from Guide Design Studio to review the current status of the comprehensive wayfinding program that they are working on for the Town. This item was for discussion purposes only.

5. Request for approval for sidewalk and street improvements to Admiral Road and portions of Sonja Drive (Town of Farragut, Applicant)

Removed from the agenda.

6. Discussion and public hearing on a request to amend the Farragut Zoning Map for Parcel 15402, Tax Map 130, west of the Cotton Eyed Joe's, from C-2 to OD-RE/E, 3.1 Acres (Cox Universal Group, Applicant)

The staff reviewed this item and recommended approval of Resolution PC-24-06 which recommends approval of Ordinance 24-10 to the Board of Mayor and Aldermen.

A motion was made by Commissioner St. Clair to follow the staff's recommendation. The motion was seconded by Commissioner Pinchok and was approved unanimously.

7. Discussion and public hearing on a site plan for a new hotel concept for the property at 11320 Outlet Drive (formerly approved as a Skore Hotel), 4.34 Acres, Zoned OD-RE/E (Land Development Solutions, Applicant)

The staff reviewed this item and recommended approval subject to an erosion control letter of credit being provided to account for the modified site plan. It was also noted during discussion that the plans needed to reflect the updated room count where this information was listed on the plans.

A short discussion ensued, and a motion was made by Mayor Williams to follow the staff's recommendation. The motion was seconded by Commissioner Pinchok and was approved unanimously.

8. Discussion on an amendment to the development concept plan for the commercial portion of the Kingston Pike Village/Farragut Junction Planned Commercial Development (PCD) project at the southwest intersection of Kingston Pike and S. Watt Road (Daniel Smith, Applicant)

This item was for discussion purposes only. The applicant presented a development option with a day care facility as part of the overall project. Commissioners were receptive to this use and it being in the project. Commissioner Myers asked the applicant to look at moving the building near Kingston Pike so that the parking would be south of the building. The applicant indicated that they would look at this.

9. Discussion and public hearing on amendments to the Farragut Code of Ordinances, Chapter 22 - Article 5. Driveways and Other Access Ways, Section 22-147. Traffic Impact Study Requirements, to provide for additional considerations for pedestrians and bicyclists (Town of Farragut, Applicant)

The staff reviewed this item and recommended approval of Resolution PC-24-07 which recommends approval of Ordinance 24-11 to the Board of Mayor and Aldermen.

A short discussion ensued, and Commissioner Greene mentioned a concern with the last two sentences in Section (e) which related to the "Required qualifications for preparers of traffic impact studies" and proposed some different language. After further discussion, the proposed language in Section (e) was removed. With this modification to Ordinance 24-11, a motion was made by Commissioner Myers to recommend approval of Resolution PC-24-07. The motion was seconded by Commissioner Devlin and was approved unanimously.

10. Discussion and public hearing on approval of the Town of Farragut Mixed Use Town Center Vision Plan (Town of Farragut, Applicant)

The staff reviewed this item and the non-clerical changes that were made since the May Planning Commission meeting. The staff recommended approval of Resolution PC-24-08 which recommends approval of Ordinance 24-13.

A motion was made by Commissioner Myers follow the staff's recommendation. The motion was seconded by Commissioner Greene. A lengthy discussion ensued, and several people spoke regarding the Vision Plan. The comments were mostly focused on the Vision Plan being adopted as an ordinance rather than approved as a plan. The staff reviewed the rationale for adopting this as an ordinance and some of the commissioners agreed that having this adopted as an ordinance made sense and would give the concepts in the plan more credibility and viability. However, given the concerns that were raised, a revised motion was made by Commissioner Myers to rescind his motion and instead move to postpone until the Town Attorney could be consulted on the best manner to adopt the Vision Plan. The amended motion was seconded by Commissioner St. Clair and was approved unanimously.

- 11. Discussion and public hearing on amendments to the Future Land Use Map in the Comprehensive Land Use Plan Update involving the following locations: 1) Updating the land purchased by Knox County Schools off Boring Road to reflect a Civic/Institutional land use designation, 2) Updating the land purchased by the Town of Farragut off McFee Road to reflect a Parks and Recreation land use designation, 3) Updating the areas that are currently shown as Medium Density Residential and Low Density Residential south and east of the Ford property and the Park Place Subdivision to reflect a Very Low Density Residential land use designation, and 4) Updating the areas that are currently shown as Medium Density Residential along a portion of Concord Road to reflect a Low Density Residential land use designation in the northern portion and a Civic/Institutional land use designation for the Pleasant Forest Cemetery and the area abutting the cemetery to the north (Town of Farragut, Applicant)**

For discussion purposes only.

12. Approval of utilities

None.

13. Citizen forum

None.

The meeting was adjourned at 9:07 p.m.

Shannon Preston, Secretary

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Approval to replace existing two-inch steel gas main lines with new two-inch Medium Density Polyethylene (MDPE) plastic gas main lines along various streets in the Village Green Subdivision (KUB, Applicant)

INTRODUCTION AND BACKGROUND: This item involves Phase 1 of a major gas line upgrade in the Village Green Subdivision. Specifically, the project will involve replacing an existing two-inch steel gas line with a new two-inch MDPE plastic gas line. This phase will affect the following streets in the Village Green Subdivision:

- Russfield Drive, West and East Heritage Drive, Chowning Drive, Dominion Circle, Governors Lane, Nassau Drive, Village Green Parkway, Georgetown Drive, South Williamsburg Drive, Crofton Lane, Boundary Lane, and a line extending to Boring Road.

DISCUSSION: Given the scale of this project, it will be critical for KUB to notify all affected property owners of the project and properly manage the upgrade. This will include coordination with the Town's engineering department regarding traffic control and restoring affected areas to their previous condition.

RECOMMENDATION: Included in the packet are the plan sheets associated with this project. The staff recommends approval subject to the following:

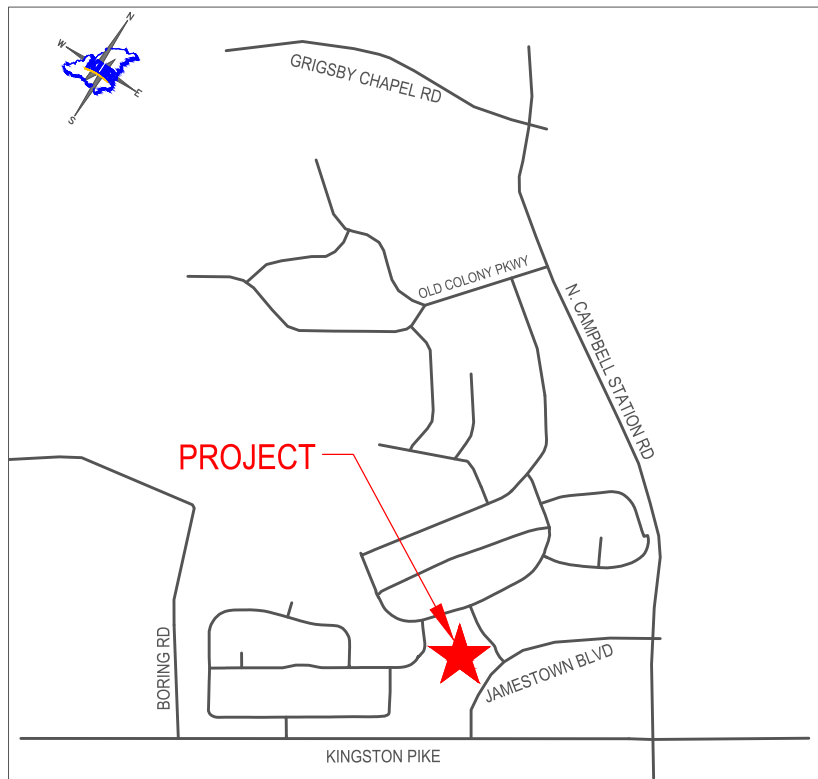
1. Obtaining a right of way permit through the engineering department that will cover traffic control and site restoration.
2. Other than the tie in locations, all work is to be performed using directional boring.
3. Notifying affected property owners of the project.

KNOXVILLE UTILITIES BOARD

VILLAGE GREEN SD PH1 – REPL

STEEL MAIN REPLACEMENT PROJECT

CONTROL NUMBER 3632



LOCATION / VICINITY MAP

DRAWING INDEX

SHEET NO. TITLE

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2	GENERAL NOTES AND LEGEND
3	KEY SHEET
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26	EROSION CONTROL AND TEST STATION DETAILS
27	PAVEMENT REPAIR DETAILS



Know what's below.
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REV	DESCRIPTION	DRAWN BY:	CHK.:	APPV.:	EST#:	JOB#:	MAXIMO#:	W.F.P.I#:	DATE:	Knoxville Utilities Board ENGINEERING VILLAGE GREEN SD PH1 – REPL STEEL MAIN REPLACEMENT PROJECT COVER SHEET SCALE: N.T.S. GRID/CLT:		KUB SHEET 1 of 27 B-
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GENERAL NOTES

1. SUPPLEMENTAL BASEMAPPING INFORMATION WAS TAKEN FROM THE KNOXVILLE GEOGRAPHIC INFORMATION SYSTEM (KGIS) AS PROVIDED BY KUB.
2. UTILITIES SHOWN WERE LOCATED FROM ACTUAL FIELD EVIDENCE, EXISTING UTILITY AGENCY RECORDS AND ANY OTHER AVAILABLE EVIDENCE. OTHER UTILITIES MAY EXIST AND NOT BE SHOWN OR VARY FROM WHERE SHOWN. NO GUARANTEE IS EXPRESSED OR IMPLIED AS TO THE ACTUAL LOCATION OF ANY UTILITIES SHOWN, WHICH ARE NOT VISIBLE FROM THE SURFACE.
3. LOCATION OF EXISTING UTILITIES, PIPING AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND ARE NOT NECESSARILY REPRESENTATIVE OF ALL EXISTING FACILITIES. IT IS THE INSTALLER'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION OF EXISTING UTILITIES, PIPING, AND UNDERGROUND STRUCTURES THAT MAY INTERFERE WITH THE PROPOSED WORK BY POTHOLES AND CONTACTING THE UTILITY COMPANIES INVOLVED.
4. PROVIDE ALL NECESSARY PROTECTIVE MEASURES TO SAFEGUARD THE EXISTING UTILITIES FROM DAMAGE DURING THE CONSTRUCTION OF THIS PROJECT. FURNISH ANY SPECIAL EQUIPMENT REQUIRED TO WORK OVER AND AROUND THE UTILITIES.
5. INSTALLER TO COORDINATE DISRUPTION/REMOVAL OF ANY LANDSCAPING, SPRINKLER SYSTEMS, FENCES, SHEDS, GARDENS, RETAINING WALLS, ORNAMENTALS, ETC. WITH THE PROJECT KUB CUSTOMER SUPPORT REPRESENTATIVE.
6. EXISTING AND PROPOSED EASEMENTS ON THESE DRAWINGS ARE SHOWN FOR GENERAL INFORMATION ONLY AND ARE APPROXIMATE. INSTALLER TO REFER TO ACTUAL EXECUTED EASEMENT DOCUMENTS FOR PROPERTY ACCESS AND USE FOR CONSTRUCTION PURPOSES.
7. INSTALLER SHALL MAINTAIN ACCESS TO ALL PROPERTIES DURING CONSTRUCTION.
8. 24-HOUR EMERGENCY CONTACT: KUB SYSTEM OPERATIONS 524-2911
9. ALL ROAD CROSSINGS TO BE INSTALLED BY HDD UNLESS OTHERWISE NOTED ON PROJECT DRAWINGS.
10. ANTICIPATED OPERATING PRESSURE 35-45 PSIG

PROJECT MANAGER:

CONTACT: DALLAS COPLIN
OFFICE PHONE NO.: (865) 558-2838
MOBILE PHONE NO.: (865) 318-9394
KNOXVILLE UTILITIES BOARD
4505 MIDDLEBROOK PIKE
KNOXVILLE, TENNESSEE 37921
EMAIL ADDRESS: dallas.coplin@kub.org

UTILITY OWNERS:

WATER
FIRST UTILITY DISTRICT
122 DURWOOD RD
KNOXVILLE, TN 37922
(865) 966-9741

SEWER
FIRST UTILITY DISTRICT
122 DURWOOD RD
KNOXVILLE, TN 37922
(865) 966-9741

ELECTRIC
LENOIR CITY UTILITIES BOARD
7698 CREEKWOOD PARK BLVD
LENOIR CITY, TN 37771
(844) 687-5282

ABBREVIATIONS:

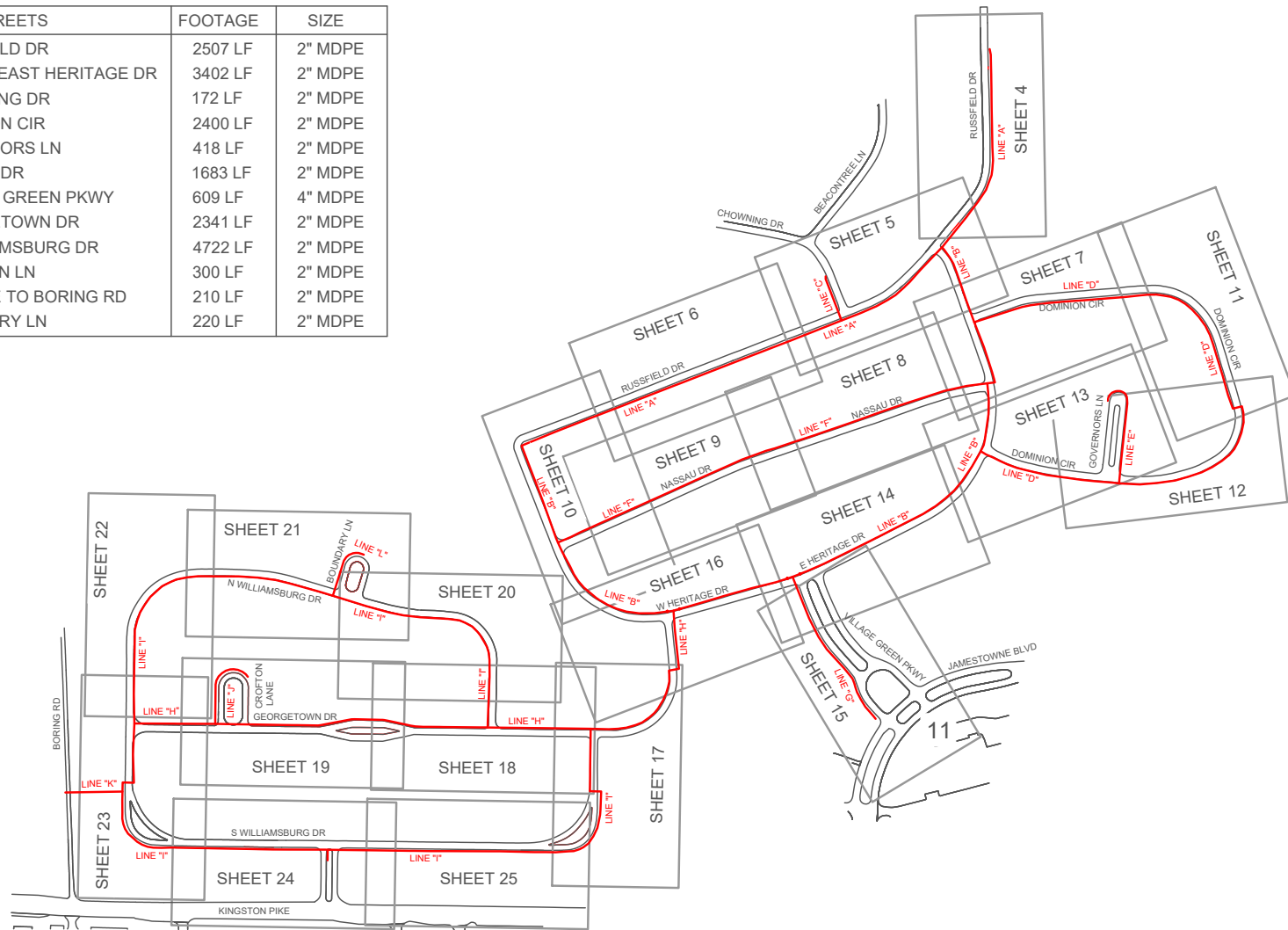
DI	DUCTILE IRON
CI	CAST IRON
AC	ASBESTOS CEMENT
HDPE	HIGH DENSITY POLYETHYLENE
MDPE	MEDIUM DENSITY POLYETHYLENE
PL	PLASTIC
ST	STEEL
EOP	EDGE OF PAVEMENT
PE	POLYETHYLENE

LEGEND:

	EXISTING BUILDING
	KUB "HEAT ONLY" GAS CUSTOMER
	REPLACE / RELOCATE RISER
GRESHAM RD	EXISTING ASPHALT PAVEMENT
	EXISTING STORM PIPE
	EXISTING CREEK/DITCH
	EXISTING R.O.W./PROPERTY LINE (APPROXIMATE FROM KGIS)
	EXISTING GAS MAIN (TO BE RETIRED)
	EXISTING GAS MAIN (TO REMAIN)
	EXISTING HIGH PRESSURE GAS MAIN (MAOP ABOVE 60 PSIG)
	PROPOSED GAS MAIN
	EXISTING GAS VALVE (TO REMAIN)
	EXISTING GAS VALVE (TO BE RETIRED)
	PROPOSED GAS VALVE
	EXISTING TEST STATION (TO REMAIN)
	EXISTING TEST STATION (TO BE RETIRED)
	PROPOSED TEST STATION
	EXISTING FIRST UTILITY DISTRICT WATER LINE
	EXISTING FIRST UTILITY DISTRICT SANITARY SEWER LINE
	PROPOSED EASEMENT

REV.	DESCRIPTION	DRAWN BY:	CHK.:	APPV.:	EST#:	JOB#:	MAXIMO#:	W.F.P.I#:	DATE:	Knoxville Utilities Board ENGINEERING VILLAGE GREEN SD PH1 – REPL STEEL MAIN REPLACEMENT PROJECT PLAN VIEW 1 SCALE: N.T.S. GRID/CLT:		 SHEET 2 of 27 B-
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LINE	STREETS	FOOTAGE	SIZE
LINE "A"	RUSSELD DR	2507 LF	2" MDPE
LINE "B"	WEST & EAST HERITAGE DR	3402 LF	2" MDPE
LINE "C"	CHOWNING DR	172 LF	2" MDPE
LINE "D"	DOMINION CIR	2400 LF	2" MDPE
LINE "E"	GOVERNORS LN	418 LF	2" MDPE
LINE "F"	NASSAU DR	1683 LF	2" MDPE
LINE "G"	VILLAGE GREEN PKWY	609 LF	4" MDPE
LINE "H"	GEORGETOWN DR	2341 LF	2" MDPE
LINE "I"	S WILLIAMSBURG DR	4722 LF	2" MDPE
LINE "J"	CROFTON LN	300 LF	2" MDPE
LINE "K"	LOT LINE TO BORING RD	210 LF	2" MDPE
LINE "L"	BOUNDARY LN	220 LF	2" MDPE



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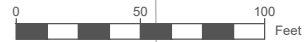
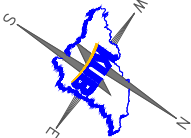
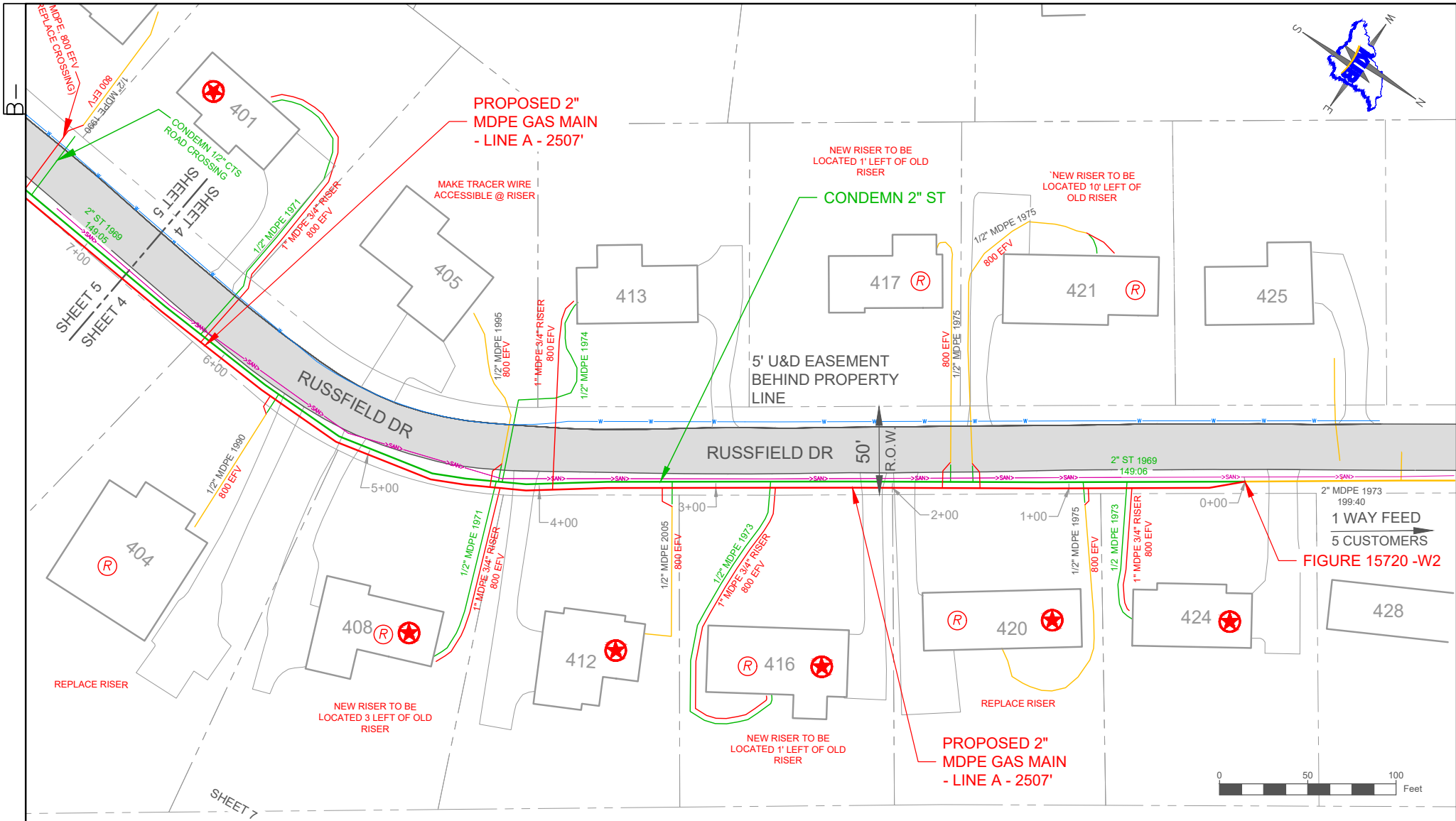
Knoxville Utilities Board
ENGINEERING

VILLAGE GREEN SD PH1 - REPL
STEEL MAIN REPLACEMENT PROJECT

KEY SHEET

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SHEET 3 of 27



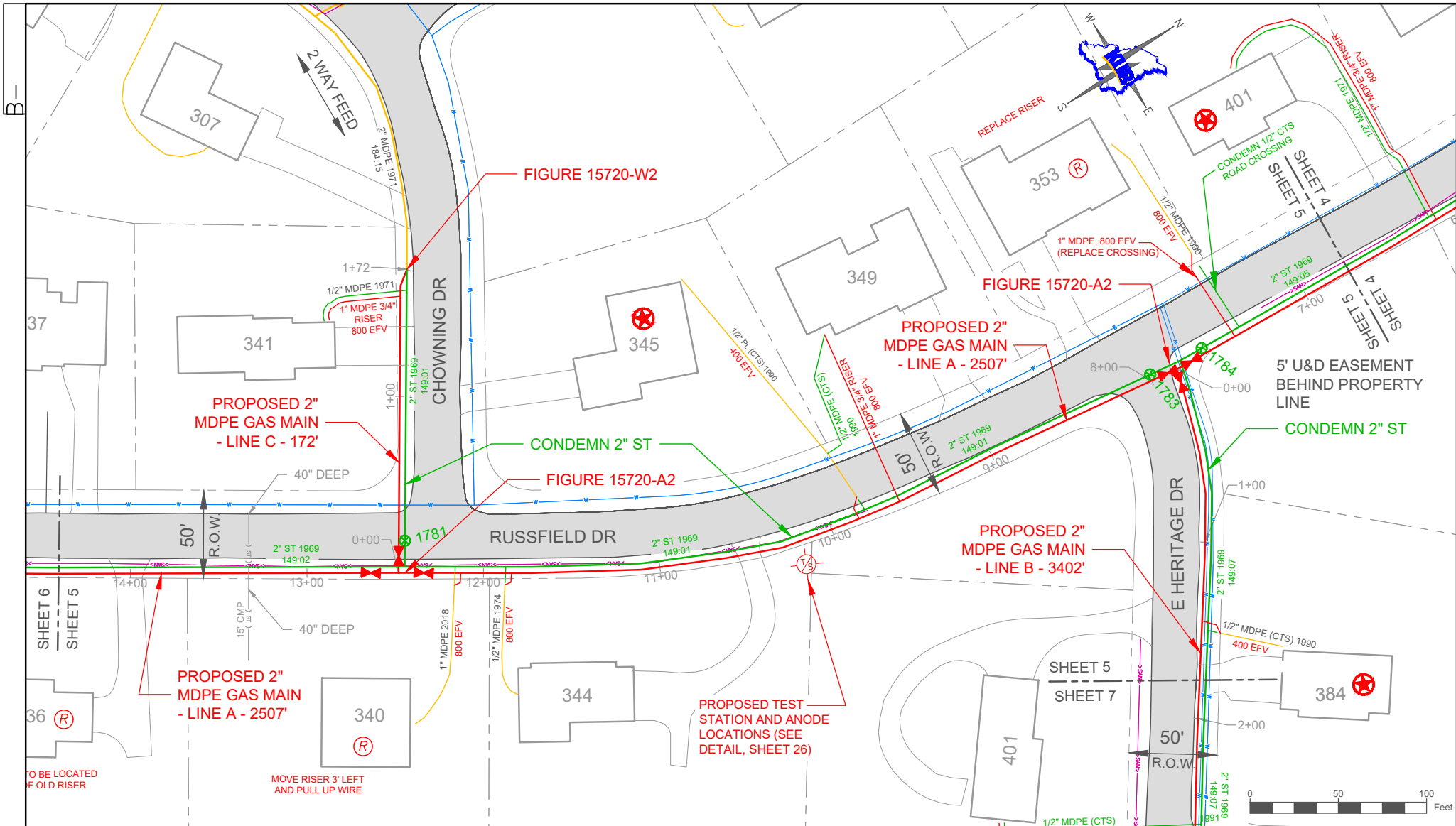
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Knoxville Utilities Board
ENGINEERING
VILLAGE GREEN SD PH1 – REPL
STEEL MAIN REPLACEMENT PROJECT
PLAN VIEW 1
SCALE: 1"=50'
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SHEET 4 of 27

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Knoxville Utilities Board
ENGINEERING

VILLAGE GREEN SD PH1 – REPL
STEEL MAIN REPLACEMENT PROJECT

PLAN VIEW 2

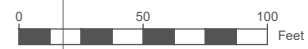
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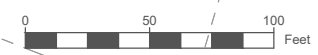
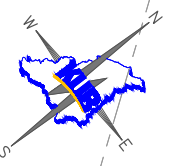
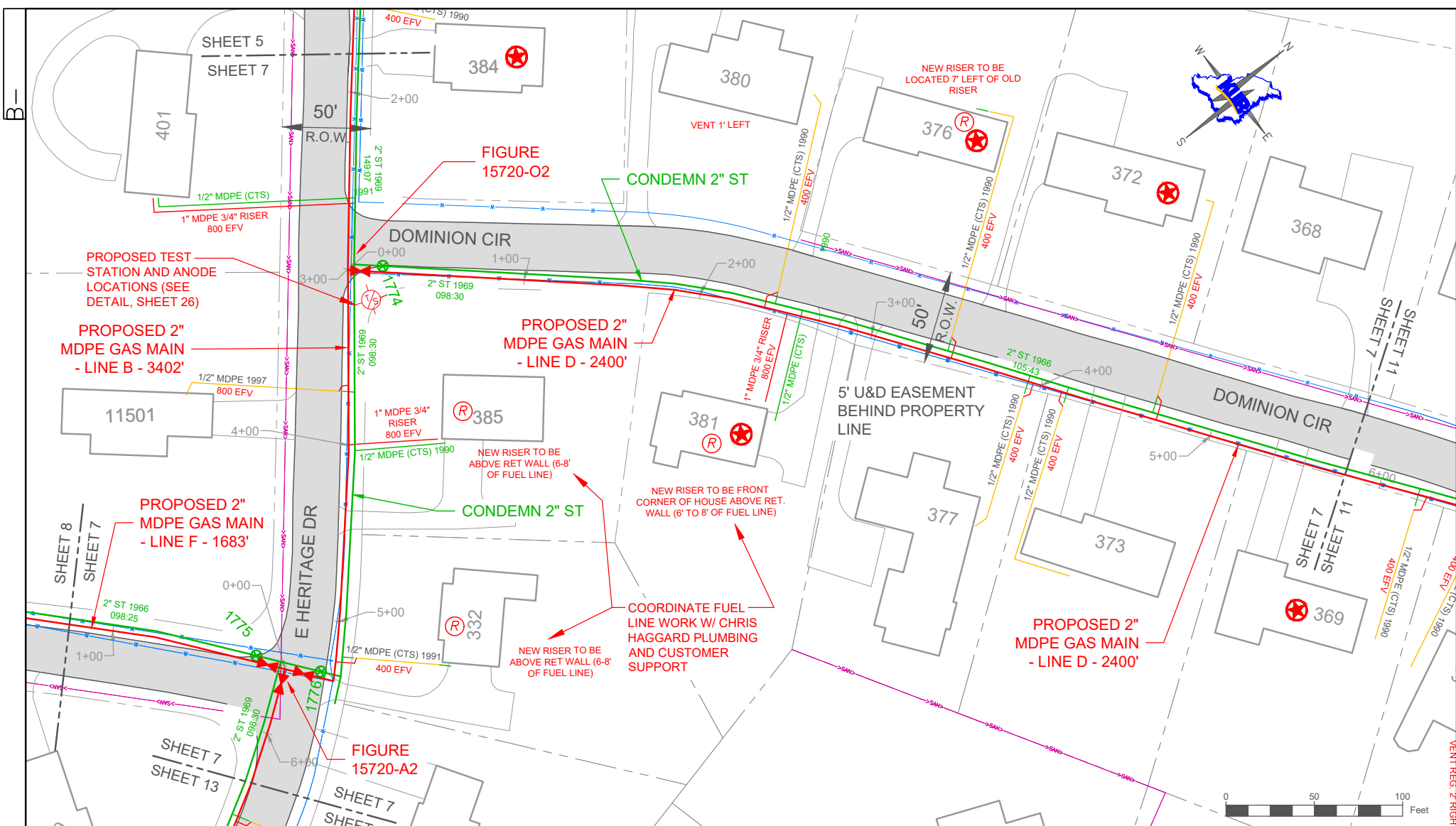
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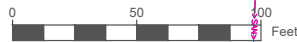
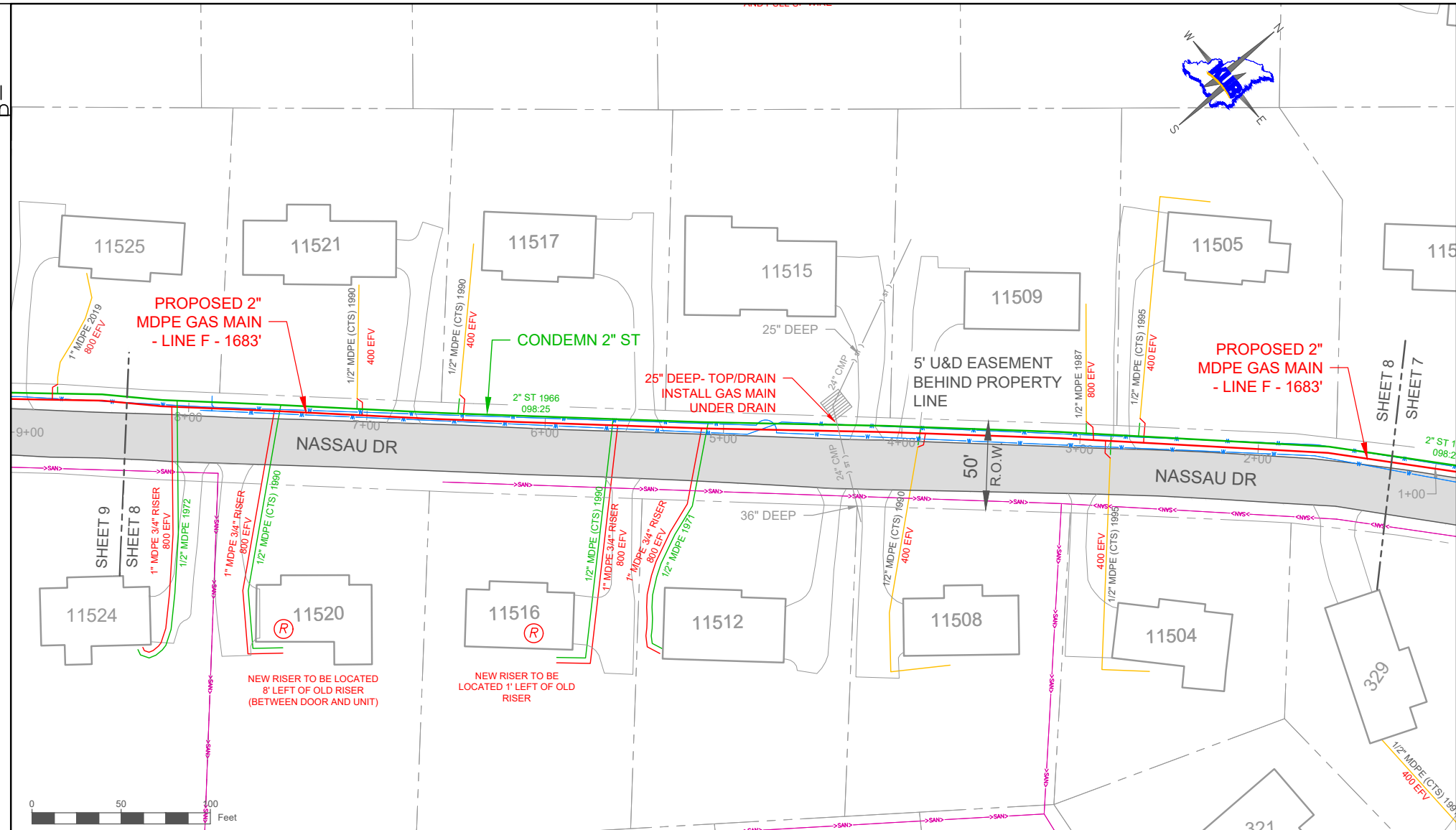
Knoxville Utilities Board
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VILLAGE GREEN SD PH1 - REPL
STEEL MAIN REPLACEMENT PROJECT
PLAN VIEW 4
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SHEET 7 of 27

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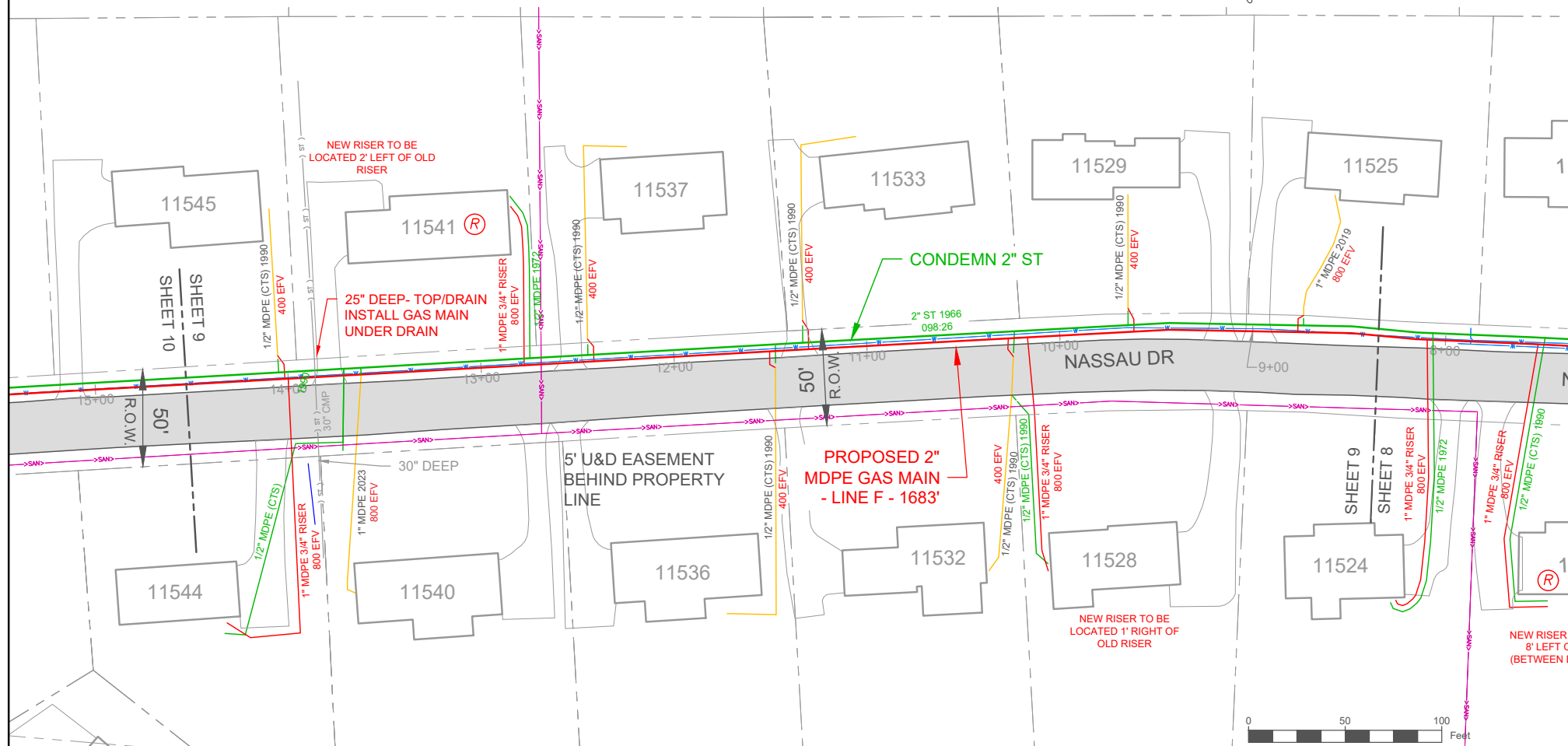
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Knoxville Utilities Board
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VILLAGE GREEN SD PH1 - REPL
STEEL MAIN REPLACEMENT PROJECT
PLAN VIEW 5
SCALE: 1"=50'
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VILLAGE GREEN SD PH1 – REPL
STEEL MAIN REPLACEMENT PROJECT

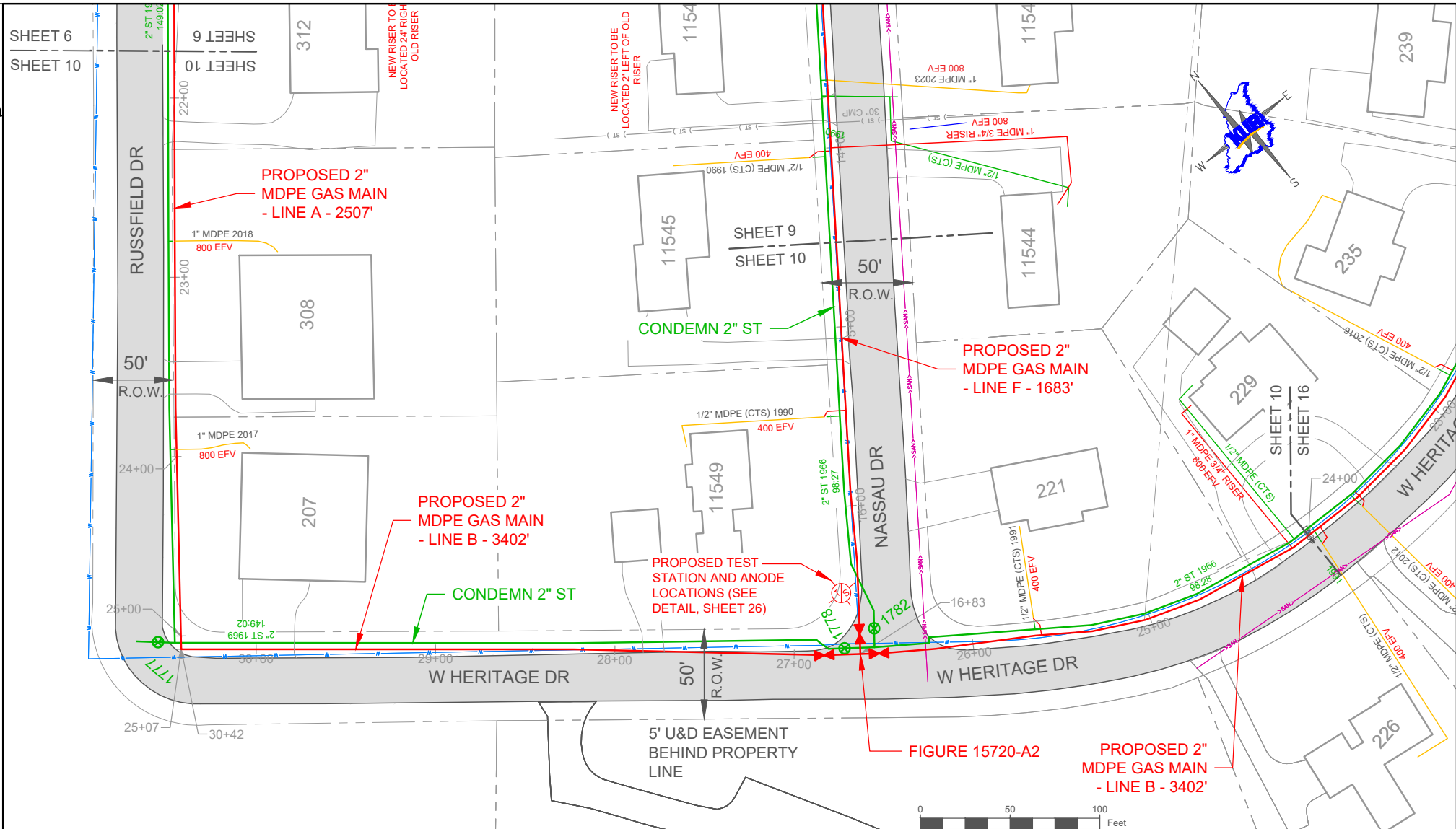
PLAN VIEW 6

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SHEET 9 of 27

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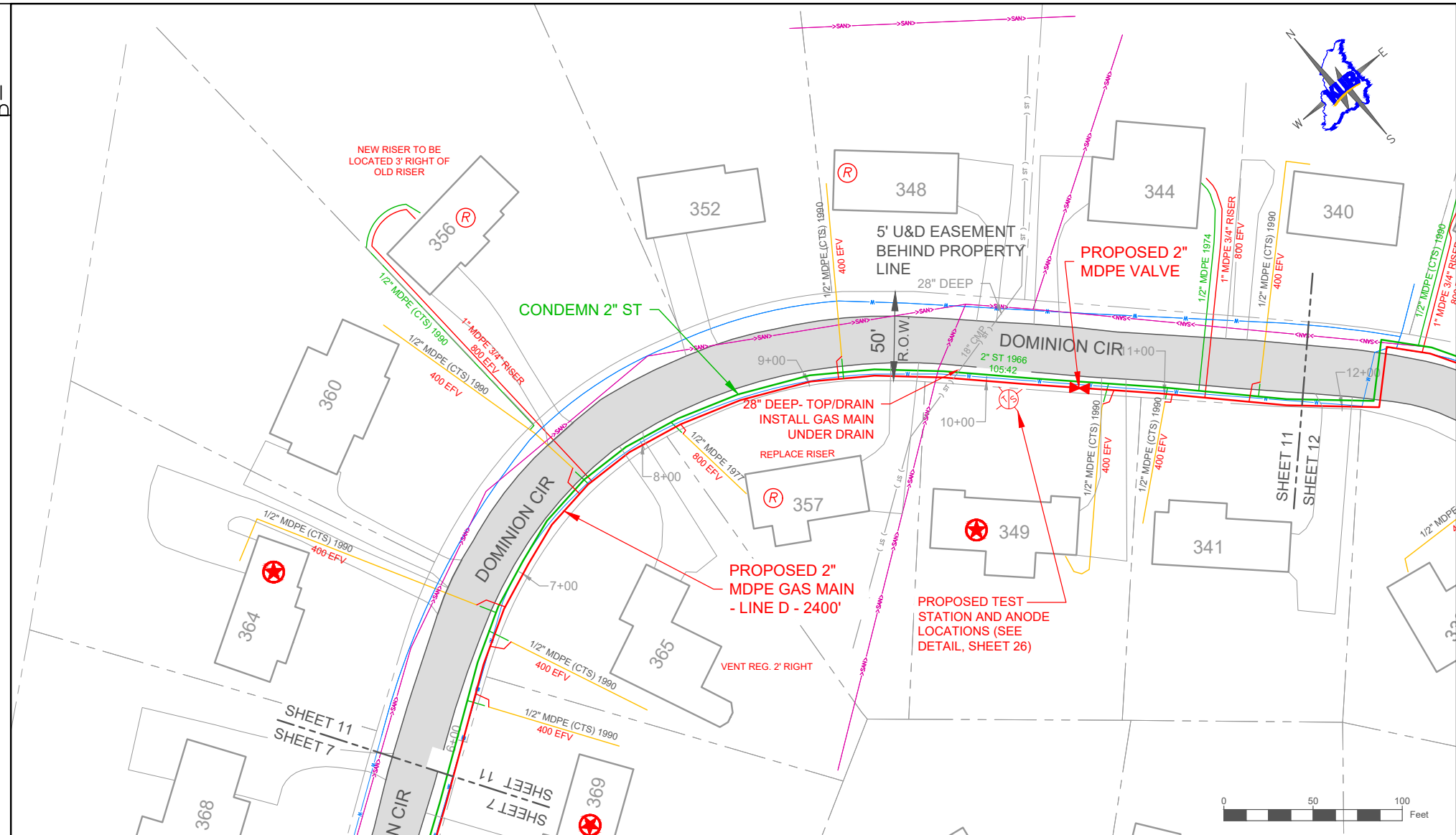
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Knoxville Utilities Board
ENGINEERING
VILLAGE GREEN SD PH1 – REPL
STEEL MAIN REPLACEMENT PROJECT
PLAN VIEW 7
SCALE: 1"=50'
GRID/CLT:


SHEET 10 of 27
B-

B-



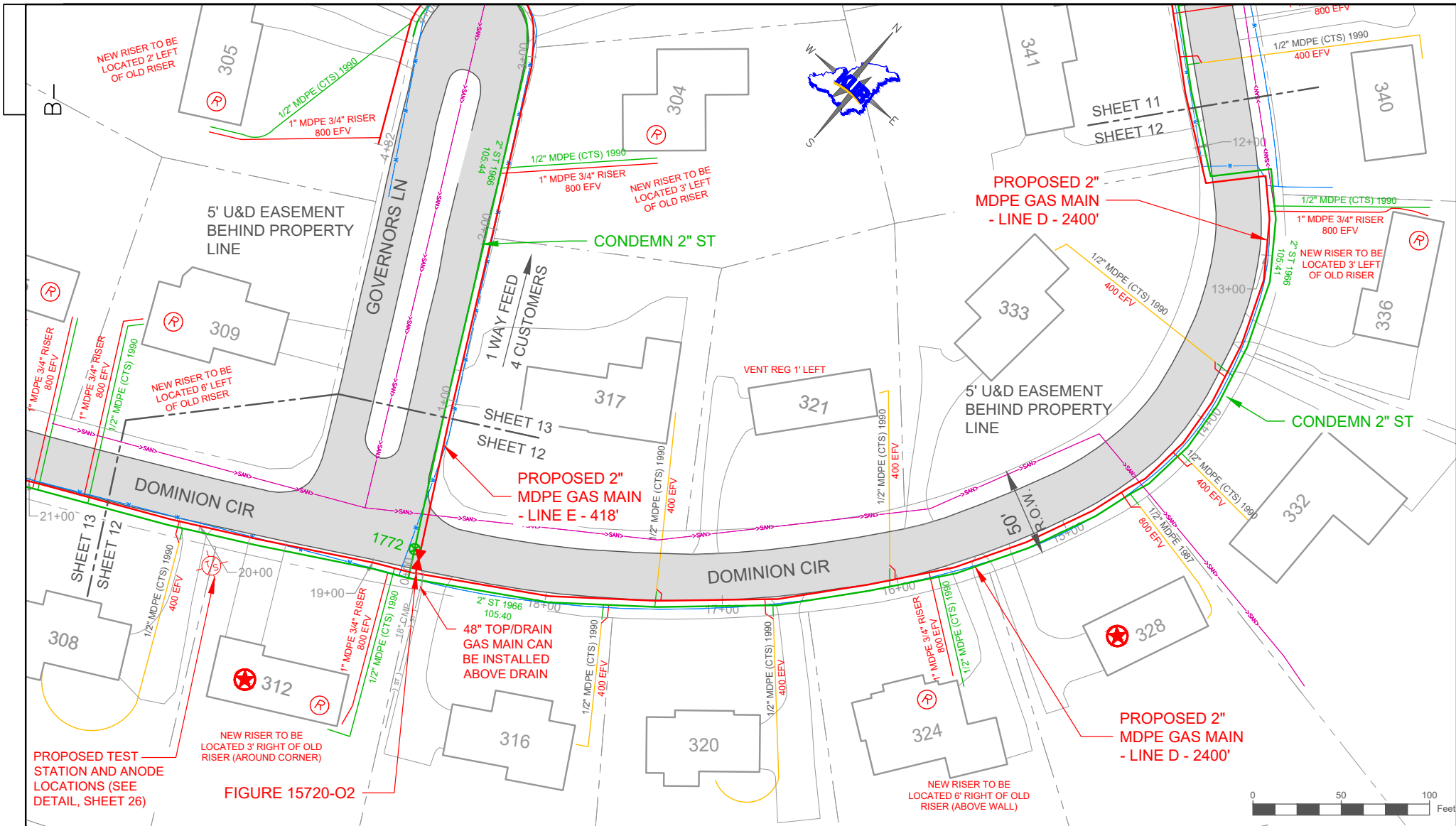
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Knoxville Utilities Board
ENGINEERING
VILLAGE GREEN SD PH1 - REPL
STEEL MAIN REPLACEMENT PROJECT
PLAN VIEW 8
SCALE: 1"=50'
GRID/CLT:



SHEET 11 of 27

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REV.	DESCRIPTION	DRAWN BY:	CHK.:	APPV.:	EST#:	JOB#:	MAXIMO#:	W.F.P.I#:	DATE:
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Knoxville Utilities Board
ENGINEERING
VILLAGE GREEN SD PH1 – REPL
STEEL MAIN REPLACEMENT PROJECT

PLAN VIEW 9

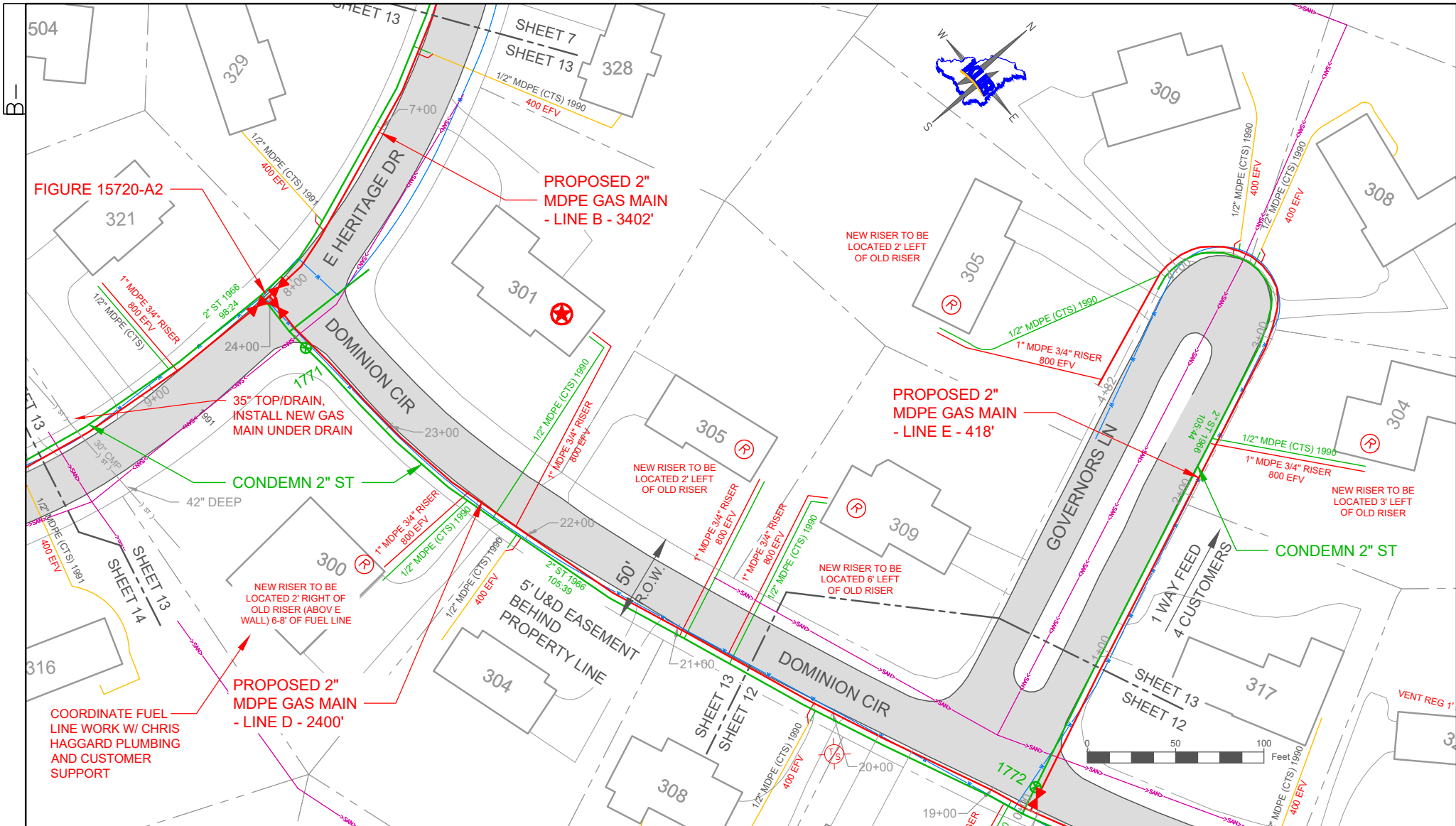
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SHEET 12 of 27

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Knoxville Utilities Board
ENGINEERING

VILLAGE GREEN SD PH1 – REPL
STEEL MAIN REPLACEMENT PROJECT

PLAN VIEW 10

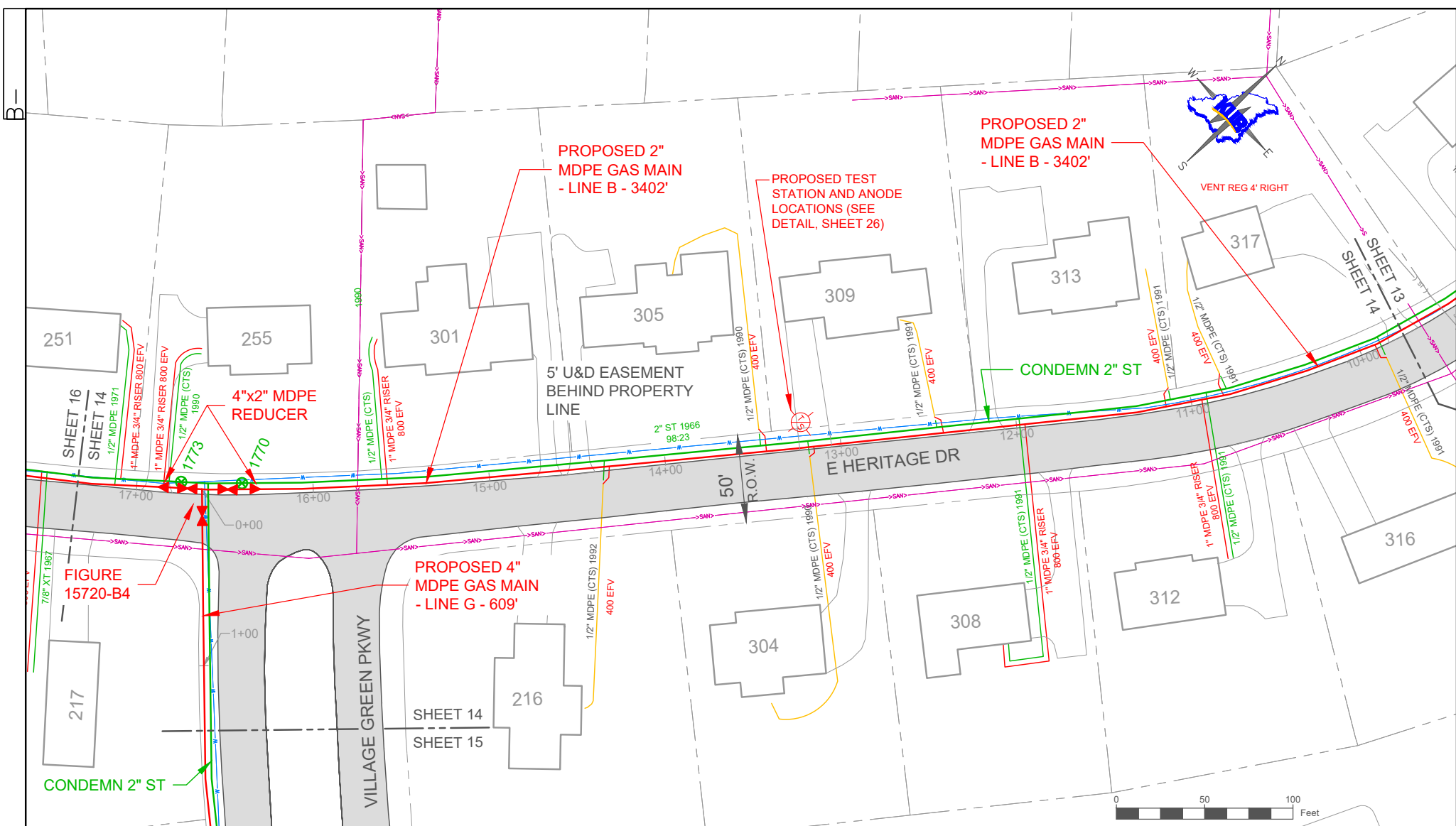
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SHEET 13 of 27

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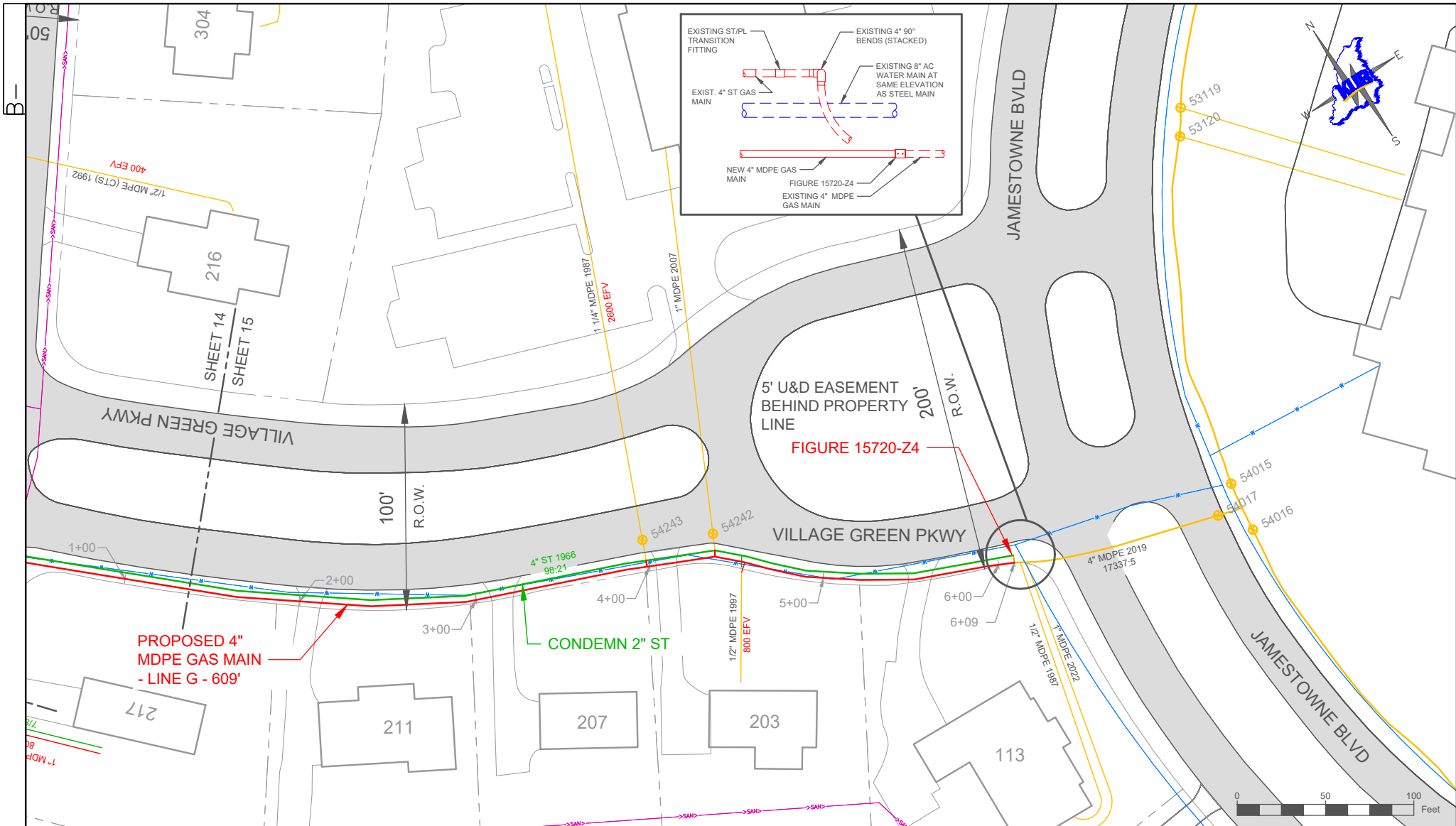
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Knoxville Utilities Board
ENGINEERING
VILLAGE GREEN SD PH1 - REPL
STEEL MAIN REPLACEMENT PROJECT
PLAN VIEW 11
SCALE: 1"=50'
GRID/CLT:



SHEET 14 of 27

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REV.	DESCRIPTION	DRAWN BY:	CHK.:	APPV.:	EST#:	JOB#:	MAXIMO#:	W.F.P.I#:	DATE:
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Knoxville Utilities Board
ENGINEERING

VILLAGE GREEN SD PH1 - REPL
STEEL MAIN REPLACEMENT PROJECT

PLAN VIEW 12

SCALE: 1"=50'

GRID/CLT:

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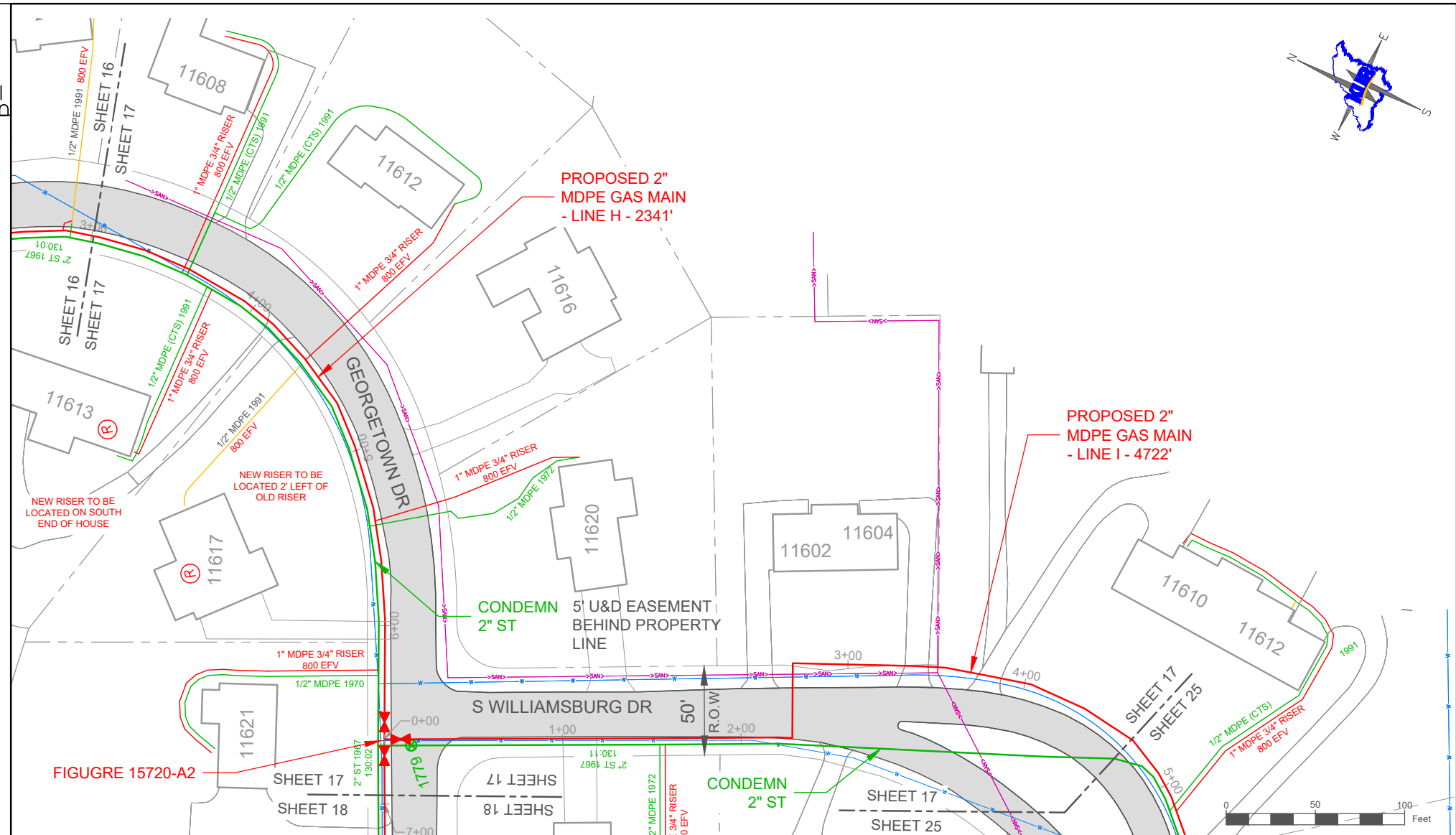
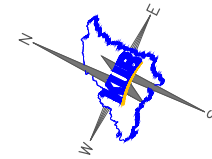
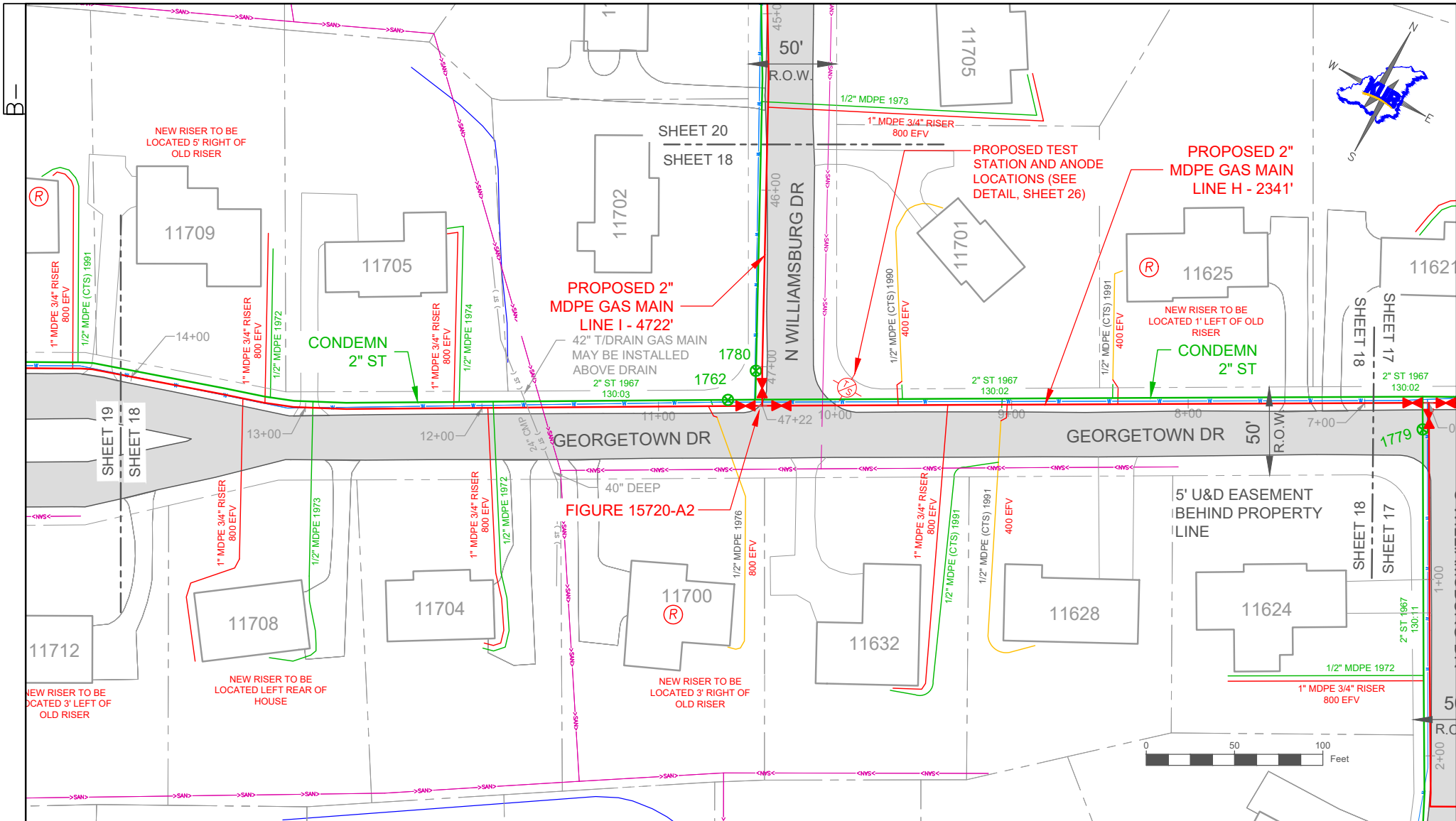


FIGURE 15720-A2

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Knoxville Utilities Board
ENGINEERING
VILLAGE GREEN SD PH1 - REPL
STEEL MAIN REPLACEMENT PROJECT
PLAN VIEW 14
SCALE: 1"=50'
GRID/CLT:

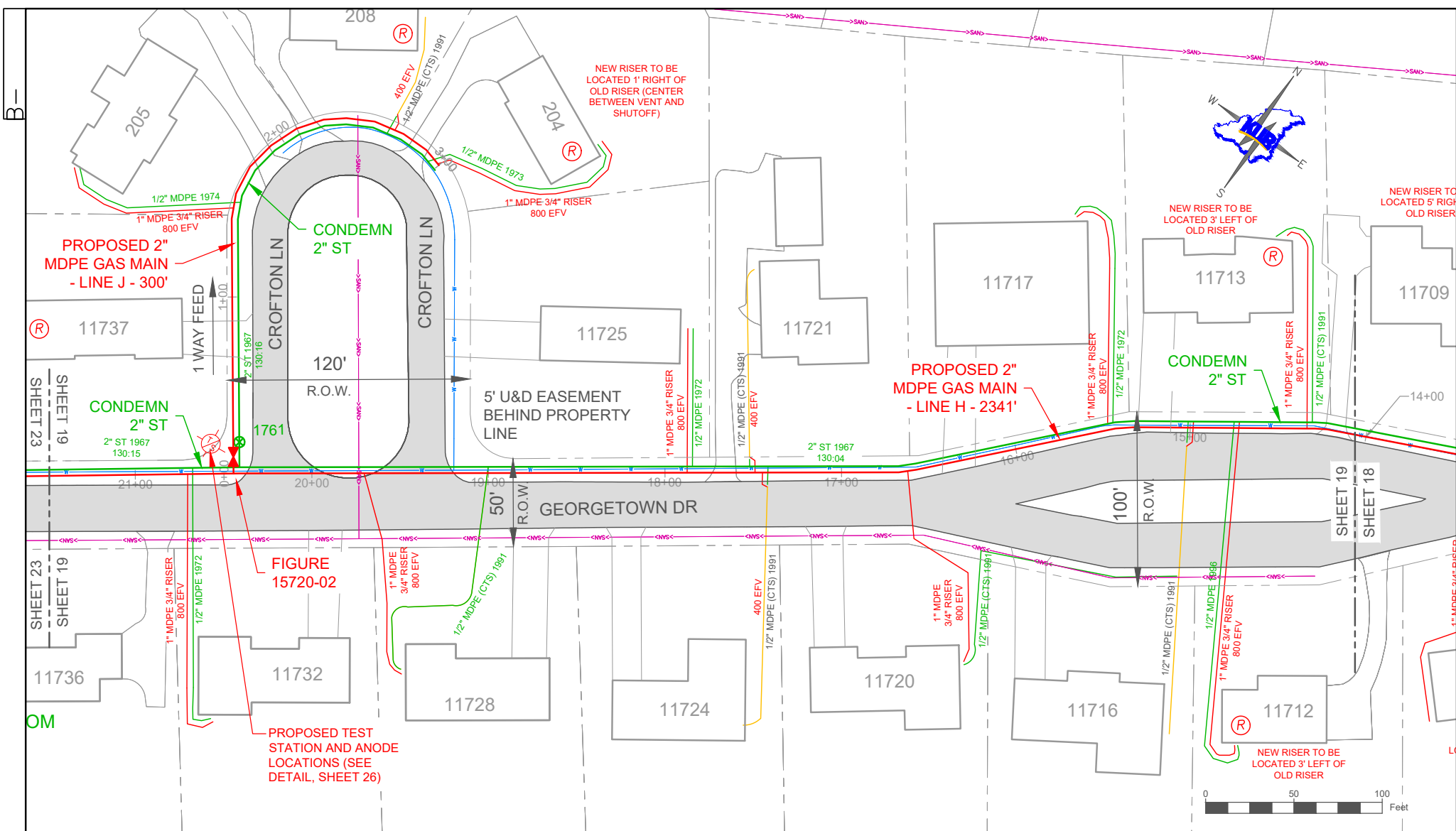
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SHEET 17 of 27
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REV.	DESCRIPTION	DRAWN BY:	CHK.:	APPV.:	EST#:	JOB#:	MAXIMO#:	W.F.P.I#:	DATE:
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Knoxville Utilities Board
ENGINEERING
VILLAGE GREEN SD PH1 - REPL
STEEL MAIN REPLACEMENT PROJECT
PLAN VIEW 15
SCALE: 1"=50'
GRID/CLT:

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REV	DESCRIPTION	DRAWN BY:	CHK.:	APPV.:	EST#:	JOB#:	MAXIMO#:	W.F.P.I#:	DATE:
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Knoxville Utilities Board
ENGINEERING

VILLAGE GREEN SD PH1 - REPL
STEEL MAIN REPLACEMENT PROJECT

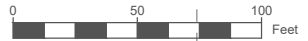
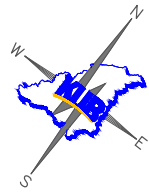
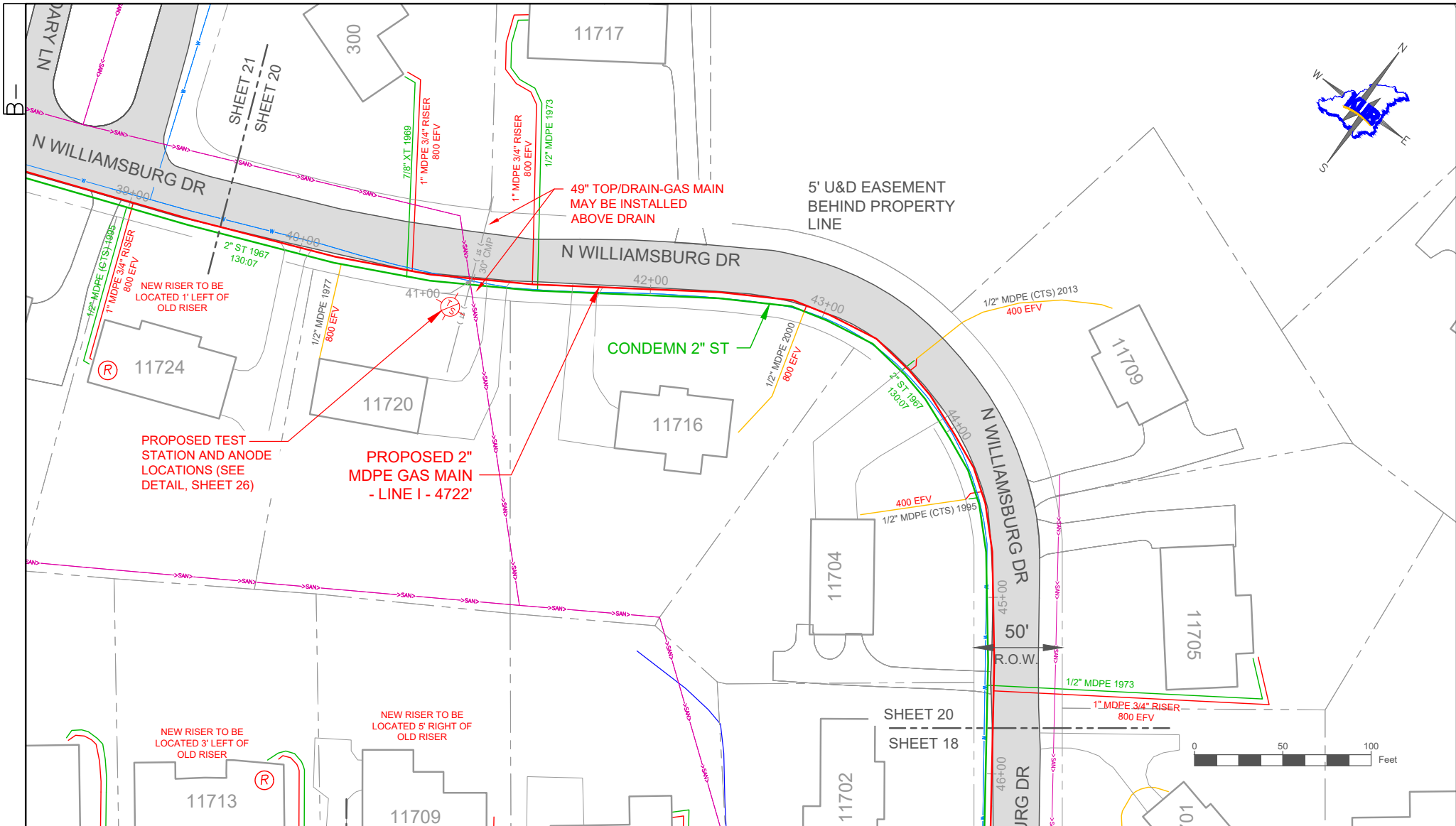
PLAN VIEW 15

SCALE: 1"=50'

GRID/CLT:

SHEET 19 of 27

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REV	DESCRIPTION	DRAWN BY:	CHK.:	APPV.:	EST#:	JOB#:	MAXIMO#:	W.F.P.I#:	DATE:
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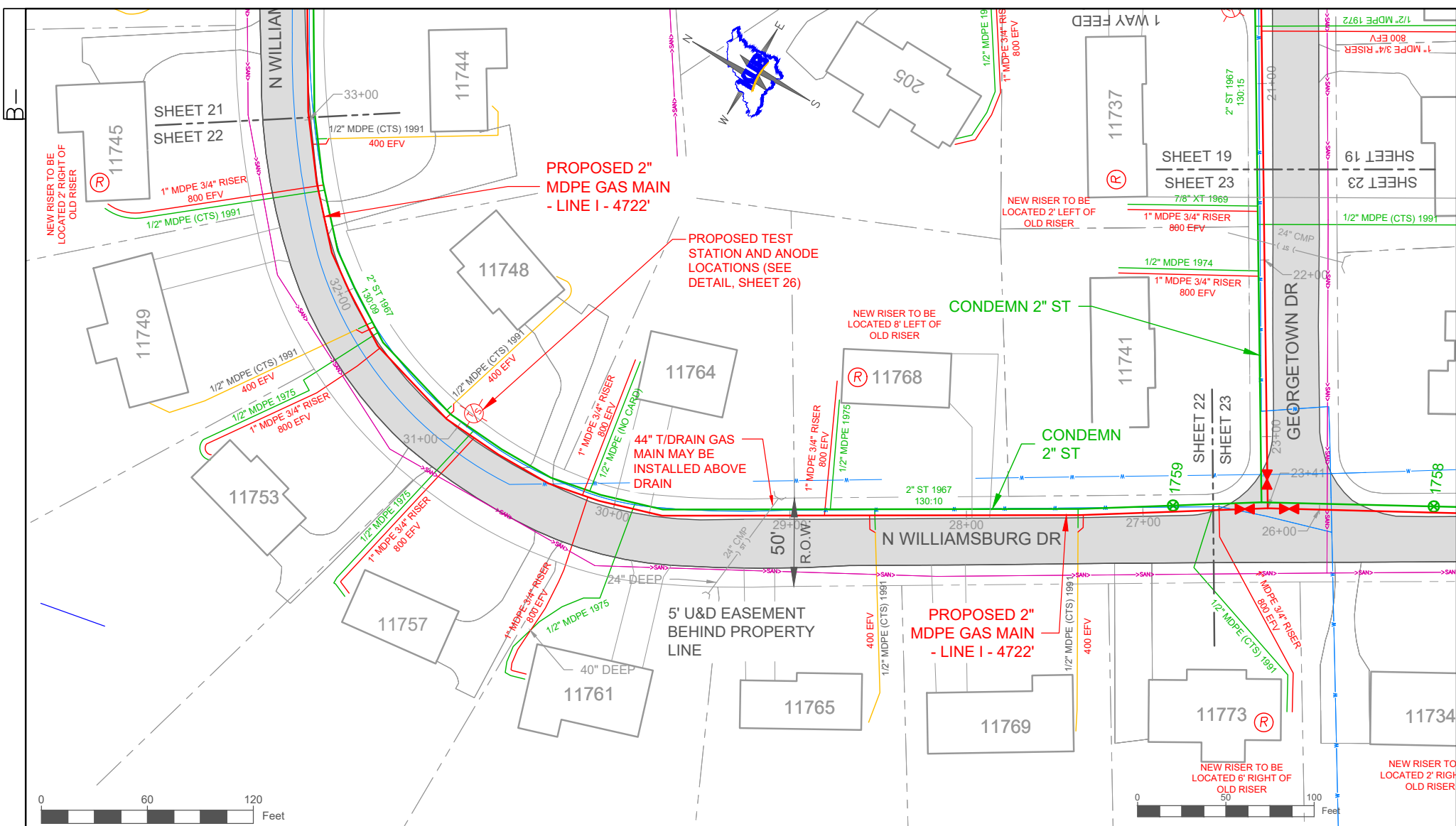
Knoxville Utilities Board
ENGINEERING
VILLAGE GREEN SD PH1 – REPL
STEEL MAIN REPLACEMENT PROJECT
PLAN VIEW 17
GRID/CLT:



SHEET 20 of 27

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REV	DESCRIPTION	DRAWN BY:	CHK.:	APPV.:	EST#:	JOB#:	MAXIMO#:	W.F.P.I#:	DATE:
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Knoxville Utilities Board
ENGINEERING

VILLAGE GREEN SD PH1 - REPL
STEEL MAIN REPLACEMENT PROJECT

PLAN VIEW 19

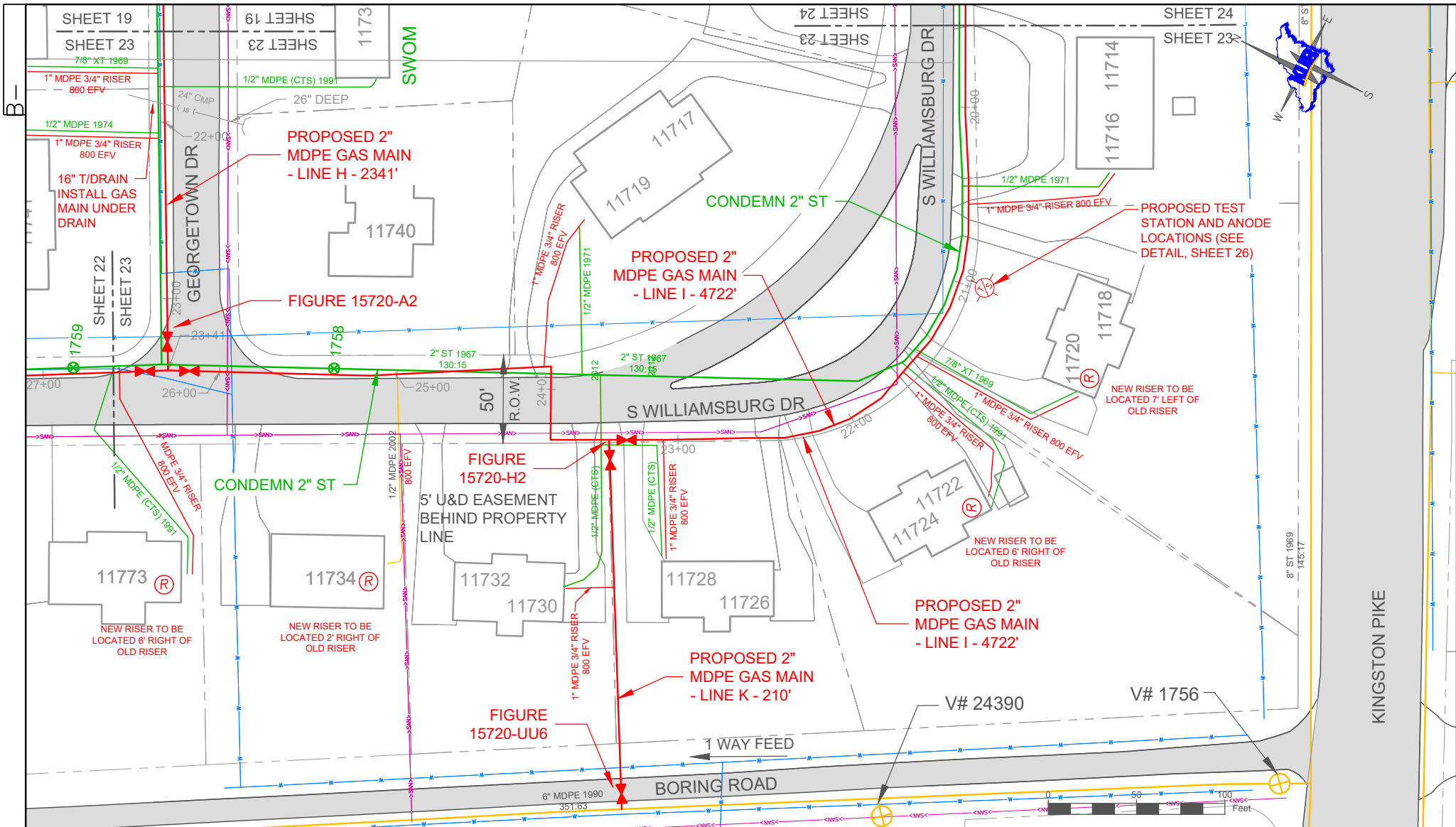
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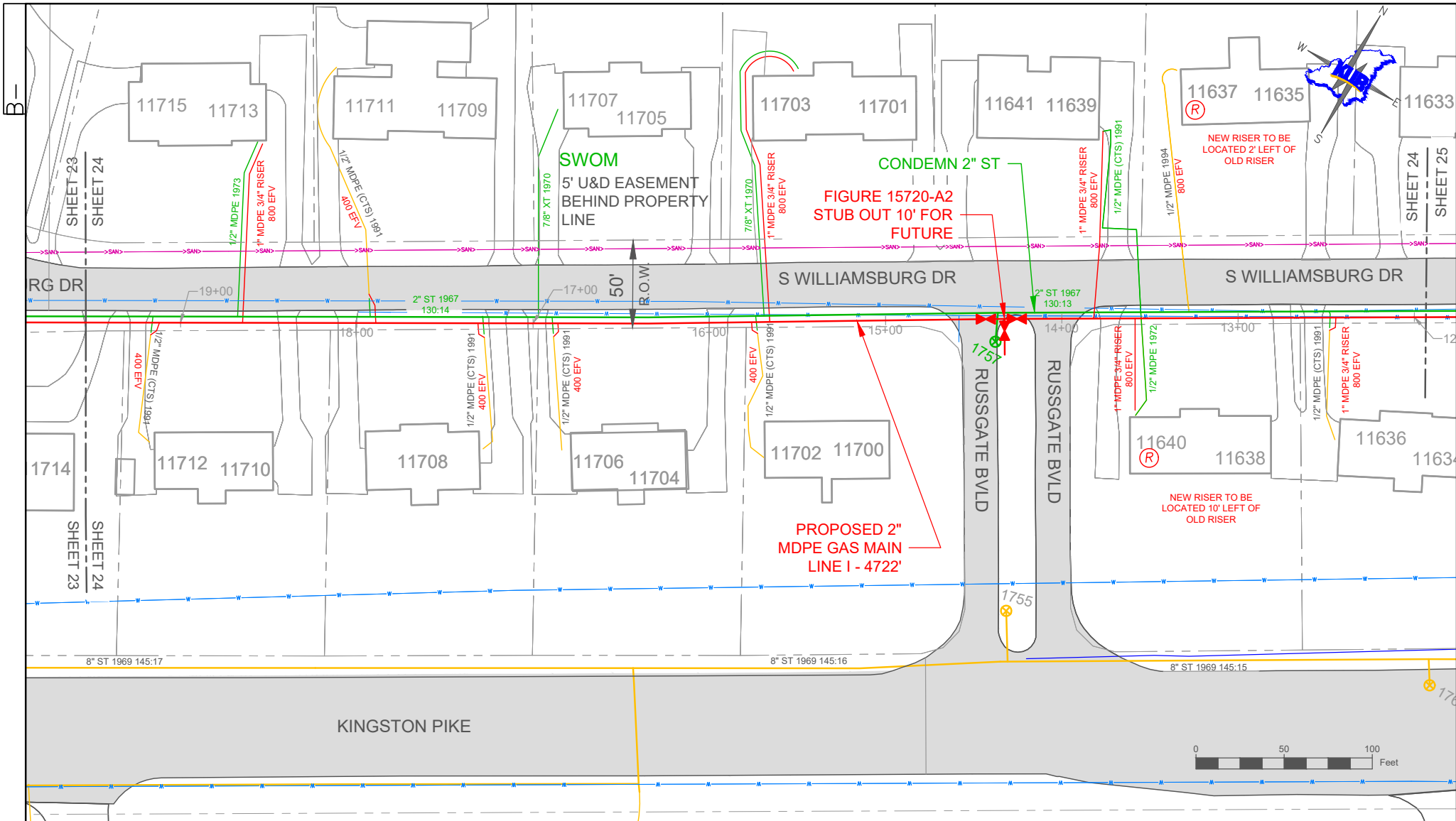
SHEET 22 of 27

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Knoxville Utilities Board
 ENGINEERING
 VILLAGE GREEN SD PH1 - REPL
 STEEL MAIN REPLACEMENT PROJECT
 PLAN VIEW 20
 SCALE: 1"=50'
 GRID/CLT:



REV.	DESCRIPTION	DRAWN BY:	CHK.:	APPV.:	EST#:	JOB#:	MAXIMO#:	W.F.P.I#:	DATE:
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Knoxville Utilities Board
ENGINEERING

VILLAGE GREEN SD PH1 – REPL
STEEL MAIN REPLACEMENT PROJECT

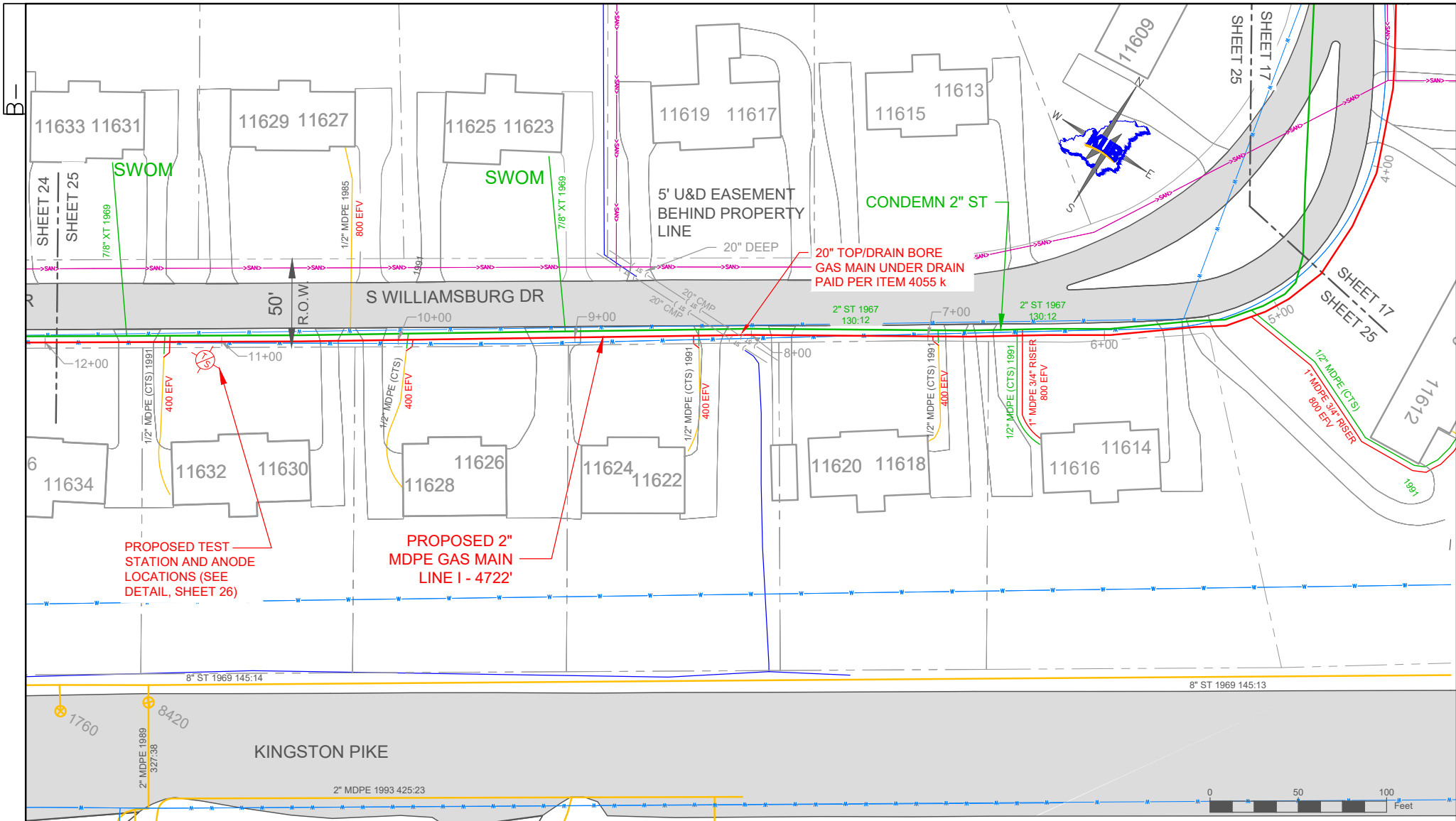
PLAN VIEW 21

SCALE: 1"=50'

GRID/CLT:

SHEET 24 of 27

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Knoxville Utilities Board
ENGINEERING

VILLAGE GREEN SD PH1 – REPL
STEEL MAIN REPLACEMENT PROJECT

PLAN VIEW 22

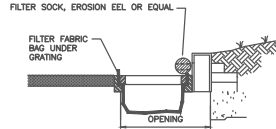
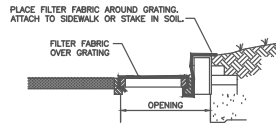
SHEET 25 of 27

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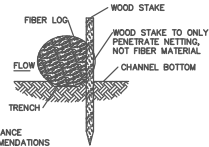
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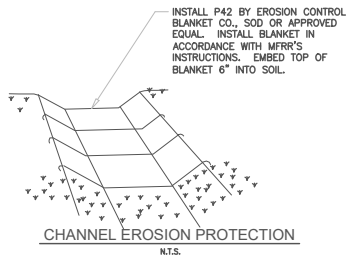


CURB INLET PROTECTION
N.T.S.

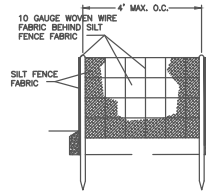


INSTALL FIBER LOG IN ACCORDANCE
WITH MANUFACTURER'S RECOMMENDATIONS

FIBER LOG BARRIER
N.T.S.

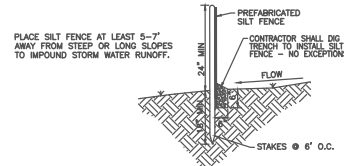


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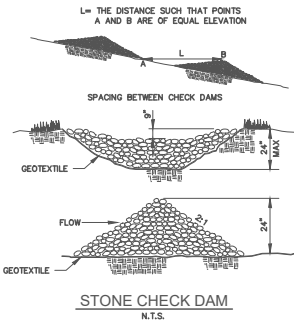


WIRE FENCE REINFORCEMENT IS REQUIRED BELOW SLOPES THAT ARE OVER 6' HIGH, OR WHERE SILT FENCE IS INSTALLED IMMEDIATELY ADJACENT TO GRADING LIMITS. INSTALL REINFORCEMENT AT LOCATIONS WHERE WASHOUT OR HEAVY FLOW MAY OCCUR.

SILT FENCE REINFORCEMENT
N.T.S.



SILT FENCE
N.T.S.



STONE CHECK DAM
N.T.S.

SEDIMENT & EROSION CONTROL NOTES

- OWNER: KUB - PO BOX 58017, KNOXVILLE, TN 37950-9017
- THIS PROJECT INCLUDES THE INSTALLATION OF APPROXIMATELY 16,375 L.F. OF 2" MDPE GAS LINE AND 609 L.F. OF 4" MDPE GAS SERVICE.
- TOTAL DISTURBED AREA IS APPROXIMATELY 1.3 ACRES.
- ALL CONSTRUCTION LIES ABOVE THE 100 YEAR FLOOD HAZARD.
- EROSION AND SEDIMENT CONTROL SHALL BE THE CONTRACTOR'S RESPONSIBILITY FOR COMPLIANCE. INSTALLATION, MAINTENANCE AND REMOVAL CONTROLS SHALL BE CONSISTENT WITH THE TDEC EROSION AND SEDIMENT CONTROL HANDBOOK.
- THE EROSION CONTROLS MUST BE INSTALLED ALONG THE WATER LINE ALIGNMENT WHERE THEY ARE NEEDED AND REMOVED WHEN THE AREA HAS BEEN STABILIZED. CHANGES MAY BE MADE TO IMPROVE EROSION AND SEDIMENT CONTROLS.
- EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- SILT FENCE SHALL BE INSTALLED AS REQUIRED TO PREVENT SEDIMENT FROM THIS PROJECT BEING DEPOSITED ON ADJACENT PROPERTY.
- DISTURBED AREAS SHALL BE RESTORED TO NEAR ORIGINAL CONDITION (CONCRETE, ASPHALT, GRASS, ETC.).
- CONTRACTOR SHALL NOT INSTALL SEDIMENT TRAPS SHOULD POTENTIAL EXIST FOR PAVEMENT FLOODING AND/OR WATER DAMAGE TO ADJACENT PROPERTY.
- EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSPECTED BY THE CONTRACTOR AT THE END OF EACH DAY'S WORK AND AT THE END OF EACH AND EVERY RAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND OR REMOVAL OF ACCUMULATED SILTS AND SEDIMENTS FROM THE EROSION AND SEDIMENT CONTROL DEVICES. (CONT.)

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE OF SAID STRUCTURES. ALL SILTS AND/OR SEDIMENTS REMOVED FROM THE EROSION/SEDIMENT CONTROL DEVICES SHALL BE DEPOSITED ON SITE IN SUCH A MANNER AS TO PREVENT SAID SILTS AND/OR SEDIMENTS FROM RE-ENTERING THE CONTROL DEVICES AND OR EXITING THE SITE THROUGH THE STORM DRAINAGE SYSTEMS AND/OR SURFACE DRAINAGE.

12. FAILURE TO INSTALL, OPERATE AND/OR MAINTAIN ALL EROSION CONTROL MEASURES SHALL BE JUSTIFICATION TO STOP CONSTRUCTION ON THE JOB SITE UNTIL SUCH MEASURES ARE CORRECTED IN ACCORDANCE WITH APPROVED PLANS OR AS DIRECTED BY THE OWNER.

13. THE CONTRACTOR SHALL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ON SITE ONTO PUBLIC ROADWAYS OR INTO STORM DRAINS SHALL BE REMOVED IMMEDIATELY.

14. UPON PIPE INSTALLATION, DISTURBED SOIL SHALL BE STABILIZED WITH TEMPORARY COVER OR PERMANENT VEGETATION AS REQUIRED EVERY TWO WEEKS AND PRIOR TO ANY RAIN EVENT.

15. MATERIAL STAGING AREA SHALL BE ENCOMPASSED WITH SILT FENCE IF THE AREA IS DISTURBED.

16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADDITIONAL EROSION CONTROLS CREATED BY DRAINAGE PATTERNS AT VARIOUS STAGES DURING CONSTRUCTION. DIFFICULTY IN CONTROLLING EROSION DURING ANY PHASE OF CONSTRUCTION SHALL BE REPORTED TO THE RPR IMMEDIATELY.

17. THE CONTRACTOR SHALL REMOVE ACCUMULATED SILT BEFORE THE SILT IS WITHIN 12-INCHES OF THE TOP OF THE SILT FENCE UTILIZED FOR EROSION CONTROL.

18. STRAW MULCHING SHALL BE USED WITH PERMANENT VEGETATION APPLICATIONS AND SHALL BE FREE OF WEED SEEDS AND SPREAD AT A RATE OF 90 POUNDS PER 1000 SQUARE FEET.

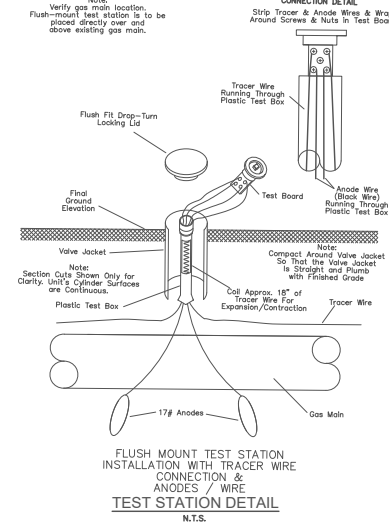
19. EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL ALL DISTURBED SOIL WITHIN THE CONSTRUCTION AREA HAS BEEN COMPLETELY STABILIZED WITH PERMANENT VEGETATION AND ALL ROADS/DRIVEWAYS HAVE BEEN PAVED.

20. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO OR CONCURRENT WITH LAND DISTURBING ACTIVITIES.

- IN STREETS AND OTHER PAVED AREAS, REMOVE EXCAVATED MATERIALS FROM THE SITE AS CONSTRUCTION PROGRESSES TO PREVENT ANY EROSION OF THE EXCAVATED MATERIAL. IN OTHER AREAS, PLACE THE EXCAVATED MATERIAL, SO AS NOT TO BLOCK ANY DRAINAGE AREAS. REPLACE EXCAVATED MATERIAL IN THE TRENCH IMMEDIATELY AFTER WORK HAS BEEN COMPLETED AND APPROVED BY THE OWNER.
- RETAIN NATURAL VEGETATION WHENEVER FEASIBLE.
- RESTORE AND COVER EXPOSED AREAS SUBJECT TO EROSION AS QUICKLY AS POSSIBLE BY MEANS OF SEEDING AND MULCHING. FIBER MATTING MAY BE NECESSARY AS REQUIRED BY OWNER.

BREAK TRACER WIRE EVERY 1000' AND INSTALL A TEST STATION. INSTALL (2) 17 LB ANODES AT EACH TEST STATION LOCATION

Note: Verify gas main location. Flush-mount test station is to be placed directly over and above existing gas main.



Know what's below.
Call before you dig.

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FIRST SHEET OF DRAWING

6324 (BAE) 7039 (TJK) 7810 (BPC)

J0015607

6/5/24

SCALE: N.T.S.

Knoxville Utilities Board
ENGINEERING

VILLAGE GREEN SD PH1 - REPL
STEEL MAIN REPLACEMENT PROJECT

EROSION AND SEDIMENT CONTROL

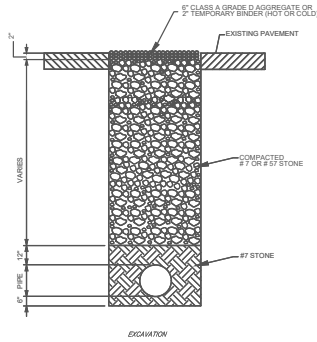
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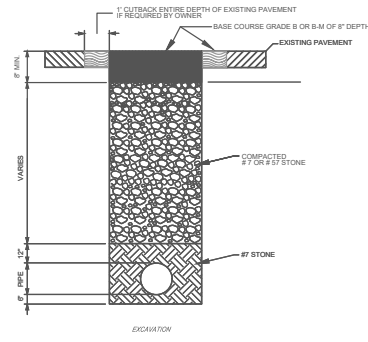
SHEET 26 of 27

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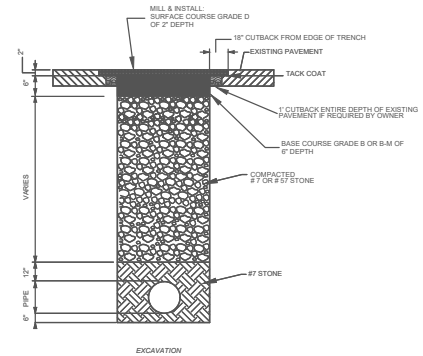
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TEMPORARY PAVEMENT REPAIR (INSTALLED BY CONTRACTOR)
N.T.S.



PERMANENT PATCHING: BASE COURSE
PAVEMENT REPAIR (INSTALLED BY CONTRACTOR)
N.T.S.



PERMANENT PATCHING: BASE COURSE + SURFACE COURSE
(INSTALLED BY OWNER OR CONTRACTOR)
N.T.S.

TEMPORARY PAVEMENT REPAIR (INSTALLED BY CONTRACTOR)

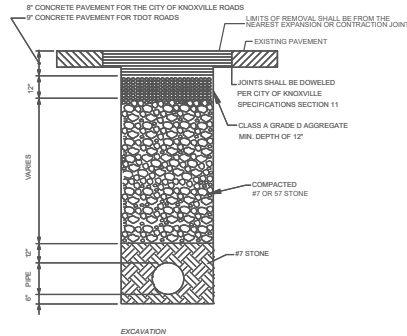
- NO. 7 STONE SHALL BE USED FOR PIPE BEDDING. PIPE BEDDING SHALL BE PLACED FROM 6" BELOW THE PIPE TO 12" ABOVE THE PIPE CROWN.
- NO. 7 OR #57 STONE SHALL BE COMPACTED IN MAXIMUM 12" LIFTS (WITH A MINIMUM OF 2 LIFTS) USING VIBRATORY COMPACTION EQUIPMENT REQUIRED TO ACHIEVE JOB SPECIFICATIONS.
- NO. 7 OR #57 STONE SHALL BE CONSOLIDATED TO A MINIMUM OF 95% MAXIMUM DRY DENSITY.
- 6" OF CLASS A GRADE D AGGREGATE OR 2" OF TEMPORARY BINDER (HOT OR COLD) SHALL BE COMPACTED UP TO THE PAVEMENT SURFACE.
- THE PAVEMENT REPAIR (INSTALLED BY CONTRACTOR) SHALL BE PLACED WITHIN 14 CALENDAR DAYS OF BACKFILL OR 28 DAYS IF APPROVED BY THE OWNER. PRIMARY COLLECTOR OR ARTERIAL STREETS MUST HAVE 2" OF TEMPORARY BINDER WITHIN 2 CALENDAR DAYS OF BACKFILL.

PAVEMENT REPAIR (INSTALLED BY CONTRACTOR)

- AT THE TIME OF THE PAVEMENT REPAIR (INSTALLED BY CONTRACTOR) THE TEMPORARY PAVEMENT REPAIR SHALL BE REMOVED DOWN TO THE REQUIRED DEPTH LEAVING A MINIMUM OF 12" OF NO. 7 OR #57 STONE.
- 6" OF BASE COURSE B OR B-M SHALL BE INSTALLED TO MATCH THE EXISTING PAVEMENT SURFACE COMPACTED IN A MINIMUM OF TWO 4" LIFTS.
- BASE COURSE LIFTS SHALL BE COMPACTED TO A MINIMUM OF 95% MAXIMUM THEORETICAL DENSITY.
- EXISTING CONCRETE STREETS THAT HAVE BEEN OVERLAD WITH ASPHALT PAVEMENT SHALL BE REPAIRED WITH NEW ASPHALT PAVEMENT. THE DEPTH OF THE NEW ASPHALT REPLACING THE CONCRETE SHALL BE A MINIMUM OF 8" COMPACTED IN A MINIMUM OF TWO 4" LIFTS PLUS THE THICKNESS OF THE OVERLAYING ASPHALT.
- CONCRETE STREETS WITHOUT ASPHALT OVERLAY SHALL BE REPAIRED FOLLOWING THE KUB PAVEMENT REPAIR STANDARDS.

PAVEMENT SURFACING (INSTALLED BY OWNER OR CONTRACTOR)

- AT THE TIME OF PAVEMENT REPAIR (INSTALLED BY OWNER OR CONTRACTOR) THE BINDER SHALL BE MILLED TO THE REQUIRED DEPTH WITH 18 INCH CUTBACKS BEYOND THE EXCAVATED TRENCH WIDTH.
- 2" OF SURFACE COURSE GRADE D SHALL BE INSTALLED TO MATCH THE EXISTING PAVEMENT SURFACE AND COMPACTED.
- PAVEMENT SURFACING MAY BE BURNED IN USING THE PATCHMASTER METHOD IN LIEU OF MILL AND TOPPING.
- TO BE INSTALLED BY OWNER WITHIN 12 MONTHS AFTER INSTALLATION OF THE PAVEMENT REPAIRS DESCRIBED ABOVE.



PERMANENT CONCRETE REPAIR (INSTALLED BY CONTRACTOR)
N.T.S.

Equipment Type	Equipment Weight (tons)	Minimum Downward Force (lbs)	Minimum Frequency Hertz	VPM	Minimum Amplitude (inches)	Maximum lift thickness (inches)	Minimum number of passes required
Steel wheeled vibratory roller - walk behind	< 1 ton	N/A	41	2460	0.02		5
Steel wheeled vibratory roller - walk behind	< 2 tons	N/A	30	1800	0.02		5
Steel wheeled vibratory roller - ride on	< 1 ton	N/A	30	1800	0.02		5
Steel wheeled vibratory roller - ride on	1 - 2 tons	N/A	30	1800	0.02		5
Steel wheeled vibratory roller - ride on	> 2 tons	N/A	30	1800	0.02	< 1 ton - 4-6" 1 - 2 tons - 8" > 2 tons - 12"	5
Walk behind vibratory plate compactor - single direction	< 1 ton	N/A	38	2280	0.03		4
Walk behind vibratory plate compactor - reversible	< 1 ton	N/A	38	2280	0.03		4
Backhoe vibratory plate attachment	N/A	7500	33	2000	0.02		3
Backhoe vibratory wheel attachment	N/A	7500	43	2500	0.085	Not to exceed 12"	3

NOTE: JUMPING JACKS MAY BE USED, WITH PERMISSION OF OWNER, IN AREAS OF COMPACTION TOO SMALL FOR OTHER COMPACTION EQUIPMENT. LIFTS SHALL NOT EXCEED 4" IN DEPTH.



Know what's below.
Call before you dig.

REV.	DESCRIPTION	DRAWN BY:	CHK.:	APPV.:	EST#:	JOB#:	MAXIMO#:	W.F.P.I#:	DATE:
5									
4									
3									
2									
1									

FIRST SHEET OF DRAWING

6324 (BAE)

7039 (TJK)

7810 (BPC)

J0015607

6/5/24

SCALE: N.T.S.

Knoxville Utilities Board
ENGINEERING

VILLAGE GREEN SD PH1 - REPL
STEEL MAIN REPLACEMENT PROJECT

PAVEMENT REPAIR DETAILS

GRID/CLT:

KUB

SHEET 27 of 27

B-

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Approval to add approximately 385 linear feet of new fiber optic communication cable in a new conduit and approximately 1,000 linear feet of fiber optic communication cable in an existing conduit along a portion of the east side of West End Avenue and extending to the macro cellular tower under construction in the northeast corner of the West End Center (ADB Engineering on behalf of MCI Network, Applicant)

INTRODUCTION AND BACKGROUND: This item involves the installation of a new fiber optic communication cable mostly within an existing conduit on the east side of West End Avenue. Approximately, 1,000 linear feet will be within an existing conduit and approximately 385 linear feet will be within a new conduit.

DISCUSSION: In the section where a new conduit is proposed, all work will be required to use directional boring. A right of way permit will be required with the Town's engineering department to coordinate traffic control and ensure that affected areas are restored to their previous condition.

RECOMMENDATION: Included in the packet are the plan sheets associated with this project. The staff recommends approval subject to the following:

1. Obtaining a right of way permit through the engineering department that will cover traffic control and site restoration.
2. Other than the tie in locations, all work is to be performed using directional boring.
3. Notifying affected property owners of the project.

MCI NETWORK
ACCESS TRANSMISSION SERVICES CORP
OUTSIDE PLANT CONSTRUCTION
FIBER OPTIC CABLE ROUTE

PROJECT #: 2404CGIG
FARRAGUT_SCHOOLS
SITE SPAN NFID# 2404CGIG.01

CONTACT INFORMATION:

ADB ENGINEERING
Justen DeRousse - jderousse@adb-us.com - (573) 379-6555

VZ ENGINEERING
Scotty Skidmore - scotty.skidmore@one.verizon.com - (865) 585-4304

VZ PROJECT MANAGER
Luann Davenport - luann.davenport@one.verizon.com - (615) 969-9725

UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE RECORDS AND FIELD OBSERVATIONS BUT ARE NOT NECESSARILY EXACT. IT IS THE CONTRACTORS RESPONSIBILITY TO FIELD LOCATE ALL UNDERGROUND OBSTRUCTIONS AND UTILITIES PRIOR TO CONSTRUCTION. COMPLETE REPAIR OF ANY AND ALL DAMAGES INCURRED SHALL BE AT THE EXPENSE OF THE CONTRACTOR.

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ALERT 48 HOURS NOTICE
REQUIRED.
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PROJECT ENGINEER:



DESIGN BY:

RTB

CHECKED BY:

MTL

FW: 2404CGIG

PROJECT:

NED

SHEET TITLE:

CONSTRUCTION PLAN

SHEET NO.

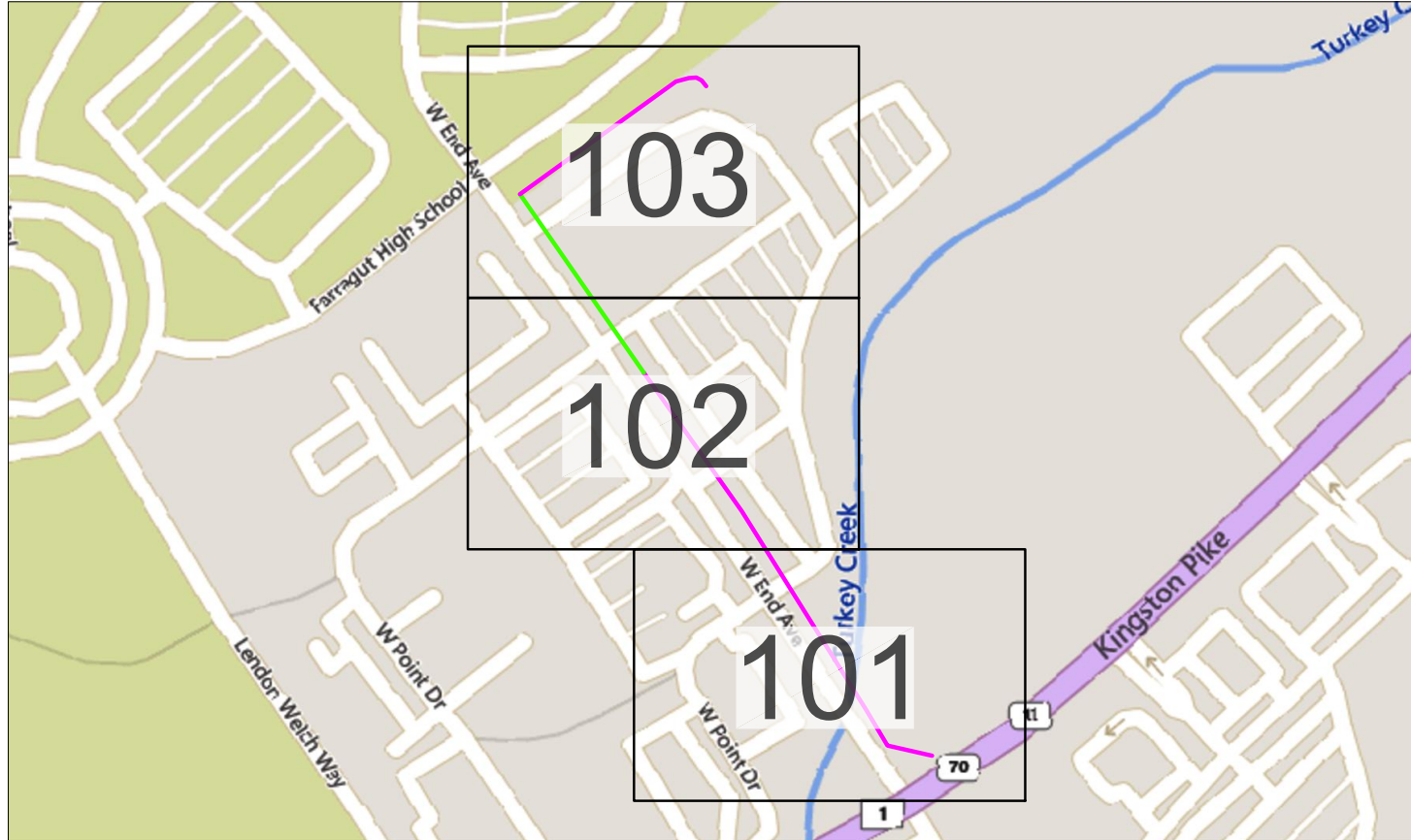
T-1

DATE

5/8/24

LOCATION MAP

2404CGIG_FARRAGUT_SCHOOLS_2404CGIG.01



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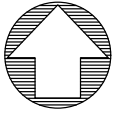
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SCALE: 1" = 50'

PROJECT ENGINEER:



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RTB

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2404CGIG

PROJECT:

NED

SHEET TITLE:

CONSTRUCTION PLAN

SHEET NO.:

T-2

DATE:

5/8/24

CLARIFICATION SUMMARY SHEET
PROJECT SPECIFIC

PROJECT CLARIFICATION SUMMARY					
CLARIFICATION NUMBER	CLARIFICATION NUMBER AND ALPHA	DESCRIPTION	QUANTITY	UNIT	FQID(s)
112	BDC-112	CONSTRUCTION - PLACE HANDHOLE - MEDIUM (SIZE 24 NCHES X 36 INCHES)	1	EA	ACPT:HH::502491441
105	BDC-105	CONSTRUCTION - NEW UNDERGROUND HDPE (SIZE 18MM UP TO 2") (BORE)	385	LF	OSP:SPANPATH::501064899
300	BDC-300	CONSTRUCTION - SN - CABLE PLACEMENT	1388	LF	FIB:TAIL::500991998
800	BDC-800	TERMINAL PLACEMENT	2	EA	FIB:GHT::500643645 FIB:TNPL::500643736

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2404CGIG

PROJECT:

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SHEET TITLE:

CONSTRUCTION PLAN

SHEET NO.

T-3

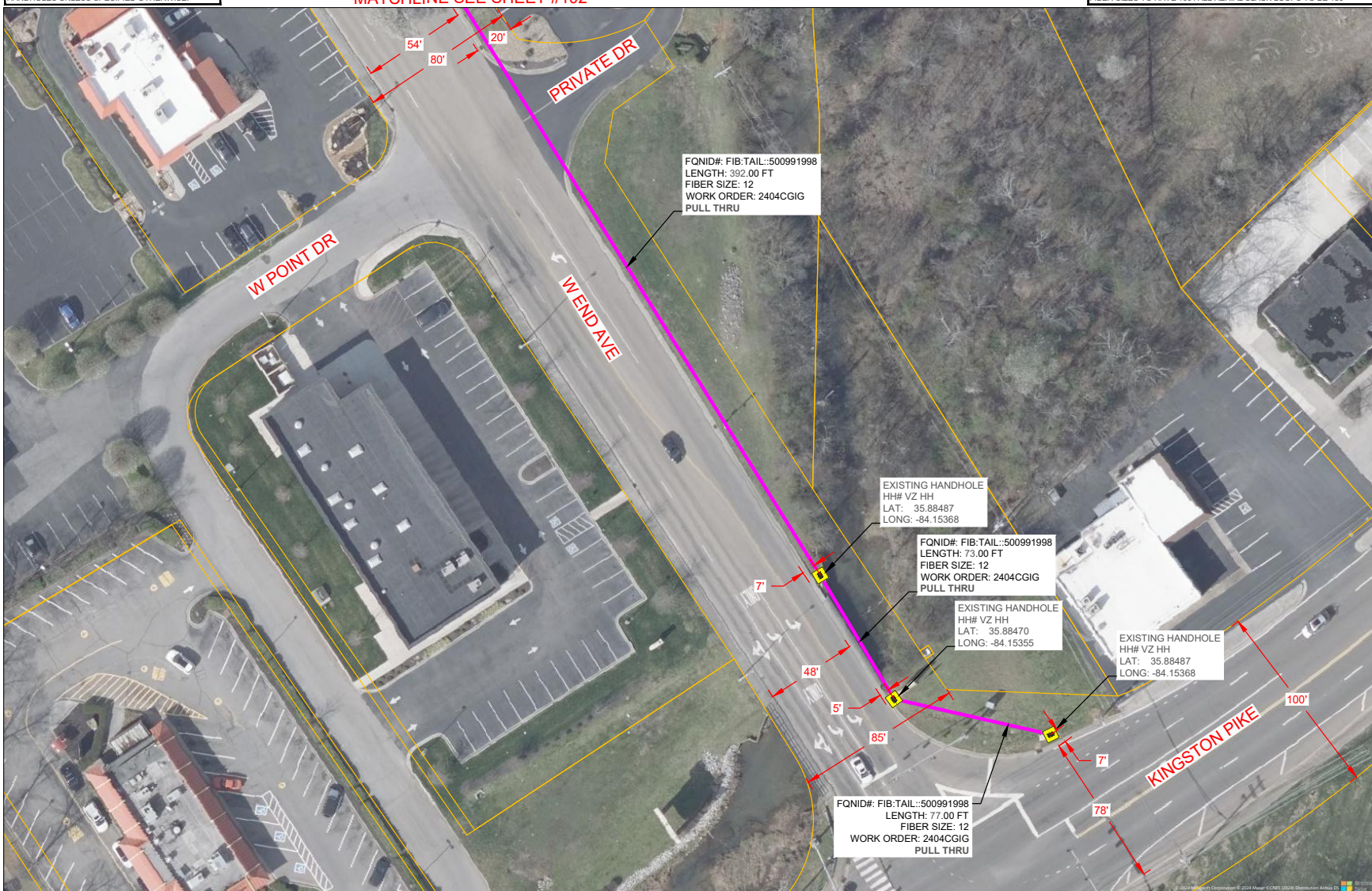
DATE

5/8/24

ALL HANDHOLES TO BE QUARTZITE 30"x60"x30" TIER 22
HANDHOLES UNLESS SPECIFIED OTHERWISE.

MATCHLINE SEE SHEET #102

ALL HANDHOLES WITH 864 FIBER TO HAVE 50' SLACK LOOP. ALL OTHER
FIBER SIZES TO HAVE 100'. ALL AERIAL SLACK LOOPS TO BE 150'.



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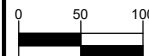
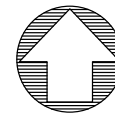
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SCALE: 1" = 50'

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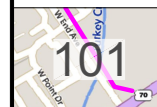


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HANDHOLE: ■

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2404CGIG

PROJECT:

NED

SHEET TITLE:

CONSTRUCTION PLAN

SHEET NO.

101

DATE

5/8/24

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MATCHLINE SEE SHEET #101

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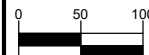
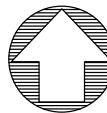
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CONSTRUCTION PLAN

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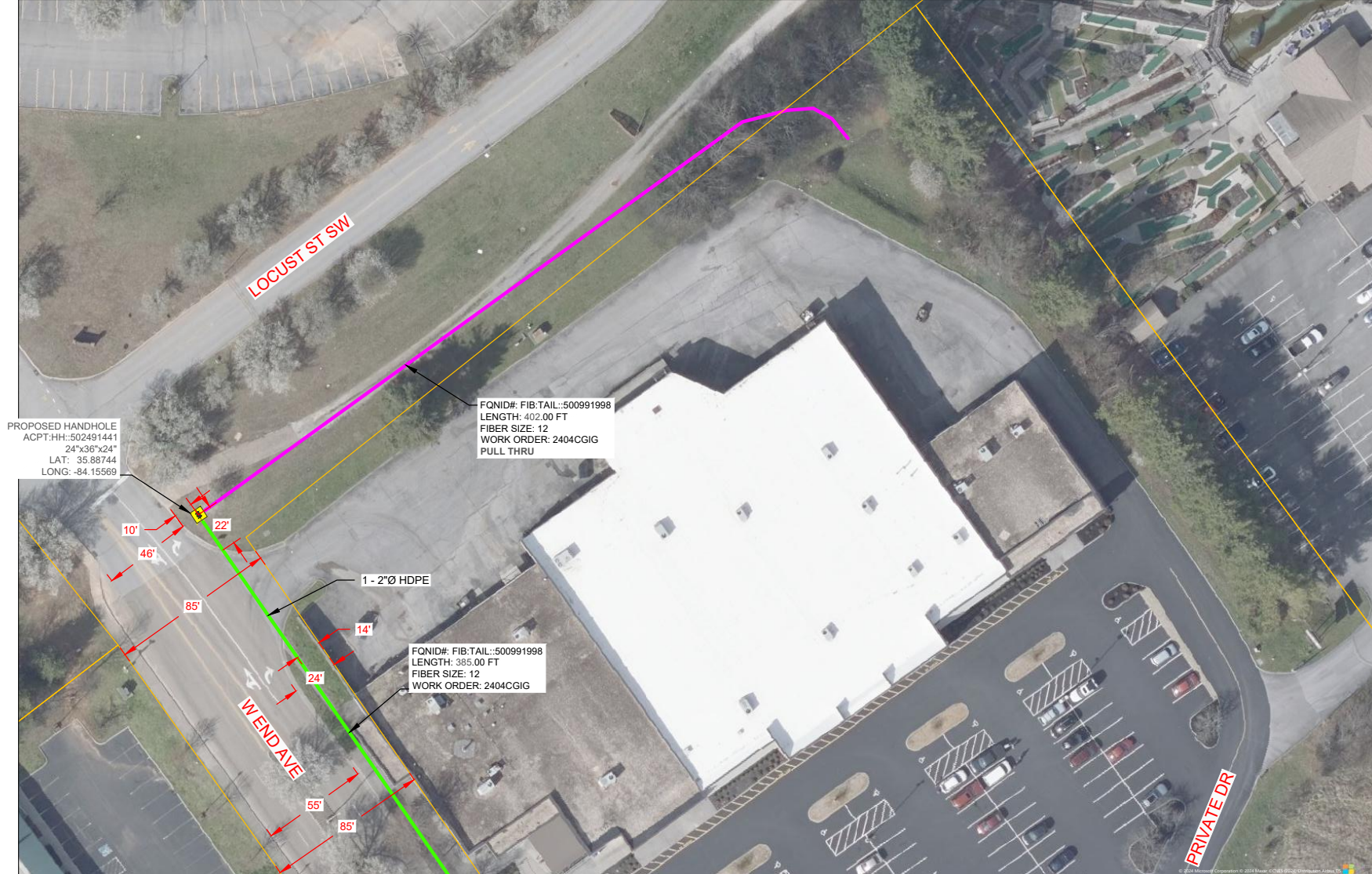
102

DATE

5/8/24

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FIBER SIZES TO HAVE 100'. ALL AERIAL SLACK LOOPS TO BE 150'



PROPOSED HANDHOLE
ACPT:HH-502491441
24"x36"x24"
LAT: 35.88744
LONG: -84.15569

FQID#: FIB.TAIL::500991998
LENGTH: 402.00 FT
FIBER SIZE: 12
WORK ORDER: 2404CGIG
PULL THRU

1 - 2"Ø HDPE

FQID#: FIB.TAIL::500991998
LENGTH: 385.00 FT
FIBER SIZE: 12
WORK ORDER: 2404CGIG

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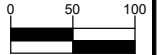
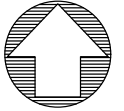
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SCALE: 1" = 50'

PROJECT ENGINEER:

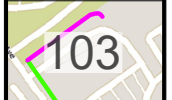
ADB
COMPANIES

DRAWN BY:

RTB

CHECKED BY:

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EXISTING: —

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2404CGIG

PROJECT:

NED

SHEET TITLE:

CONSTRUCTION PLAN

SHEET NO.

103

DATE

5/8/24

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion on the approval of the Town of Farragut Mixed Use Town Center Vision Plan
(Town of Farragut, Applicant)

INTRODUCTION AND BACKGROUND: This item is for discussion purposes only. During discussion at the June 20 Planning Commission meeting, the staff reviewed this item and the modifications that were made since the workshop discussion in May.

DISCUSSION: Some citizens expressed concerns about adopting the Vision Plan as an ordinance. The staff explained the rationale behind proposing this to be adopted by ordinance. Some planning commissioners also felt that adopting the Vision Plan by ordinance would provide it with more substance and convey to anyone interested in developing in the town center area that there was a strong level of commitment to the general concepts outlined in the Vision Plan.

However, since adopting the Vision Plan was not tied to a deadline and due to concerns about the best way to adopt the Vision Plan, commissioners voted to postpone action until the Town staff could consult with the Town Attorney further on this matter. As a result, during discussion of this item at the July meeting, the Town Attorney will be present and will review his assessment of how best to adopt the Vision Plan. Any other remaining comments on the Plan can also be discussed and the Plan could then be re-visited in August for final action from the Planning Commission.

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

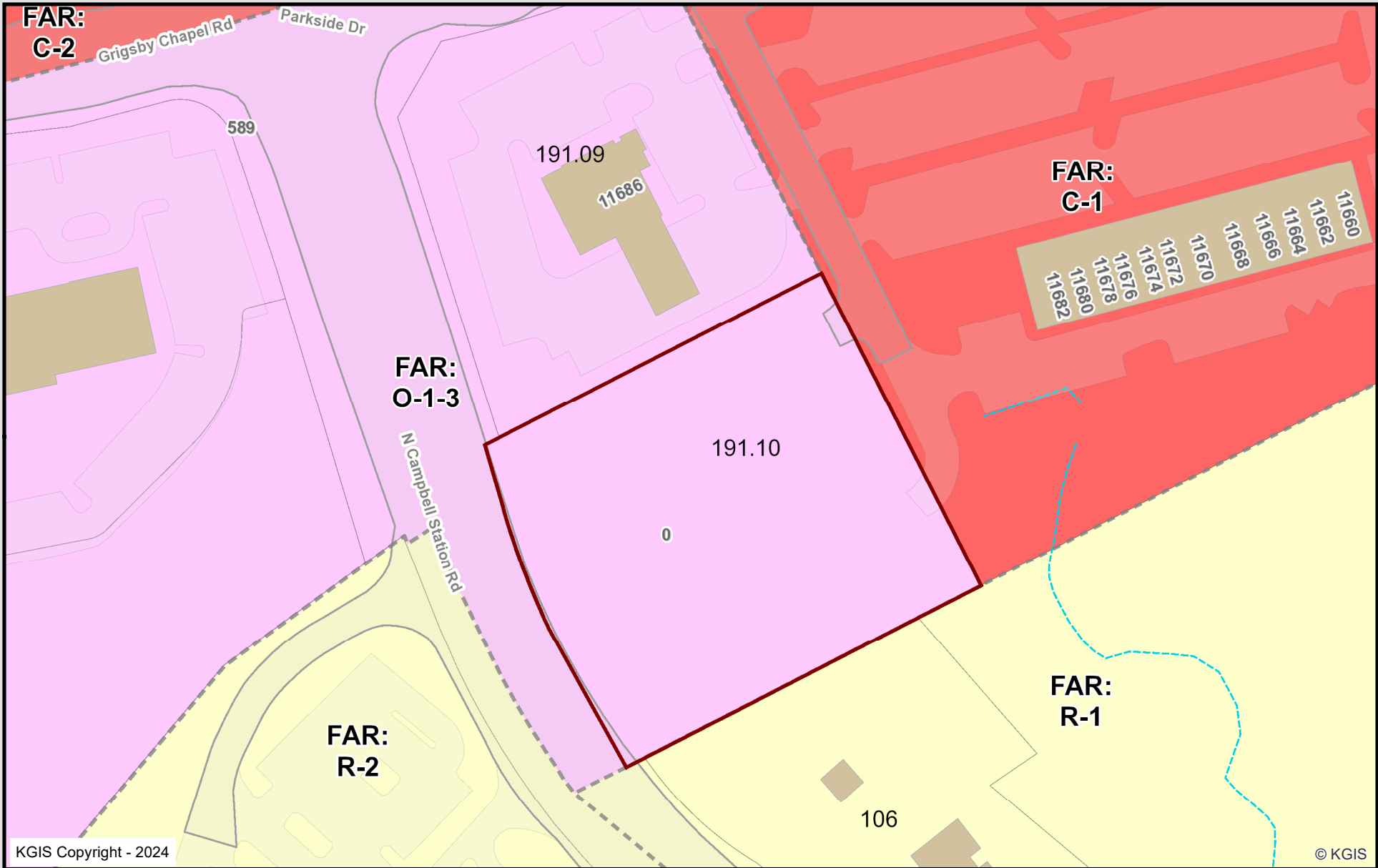
SUBJECT: Discussion on a request to rezone Parcel 191.1, Tax Map 130, south of Home Federal Bank off Parkside Drive, 1.57 Acres, from Office District, Three Stories (O-1-3) to General Commercial (C-1) (Turkey Creek Land Partners, LLC, Applicant)

INTRODUCTION AND BACKGROUND: This item is for discussion purposes only and involves a rezoning request for the last undeveloped tract in the Turkey Creek development off Parkside Drive. The tract in question is just south of the Home Federal Bank and abuts N. Campbell Station Road but is accessed through a joint access easement shared with Home Federal Bank and the Publix shopping center. No access is permitted to N. Campbell Station Road for this tract.

DISCUSSION: Both the Home Federal tract and the tract that is the subject of this rezoning are zoned O-1-3, which permits office type uses up to three stories. Given that the property is visible from N. Campbell Station Road, the applicant has been approached with different restaurant concepts. However, under the O-1-3 District, restaurants are not permitted uses.

The applicant is requesting to rezone this property to General Commercial (C-1), which is the same district as the property to the east where the Publix shopping center is situated. The staff asked if the applicant wished to include the Home Federal tract in the rezoning request since a bank is a permitted use in the C-1 District. The applicant indicated that they only wanted to include the tract south of Home Federal in this rezoning application.

Though this is only for discussion purposes, the staff would view the C-1 District as a better fit for this property than the O-1-3 given the size of the tract. The O-1-3 has a 70-foot building setback from abutting zoning lines and is not large enough to provide for a three-story office building and associated parking should that be desired. The C-1 District would provide the applicant with more options to market the property and a restaurant use would provide good sales tax revenue for the Town. It is also adjacent to land zoned C-1 and would be compatible with that built environment.



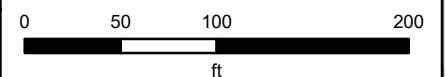
Letter Landscape

Knoxville - Knox County - KUB Geographic Information System

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Rezone of 0 N. Campbell Station
Parcel 191.1 Tax Map 130 19110

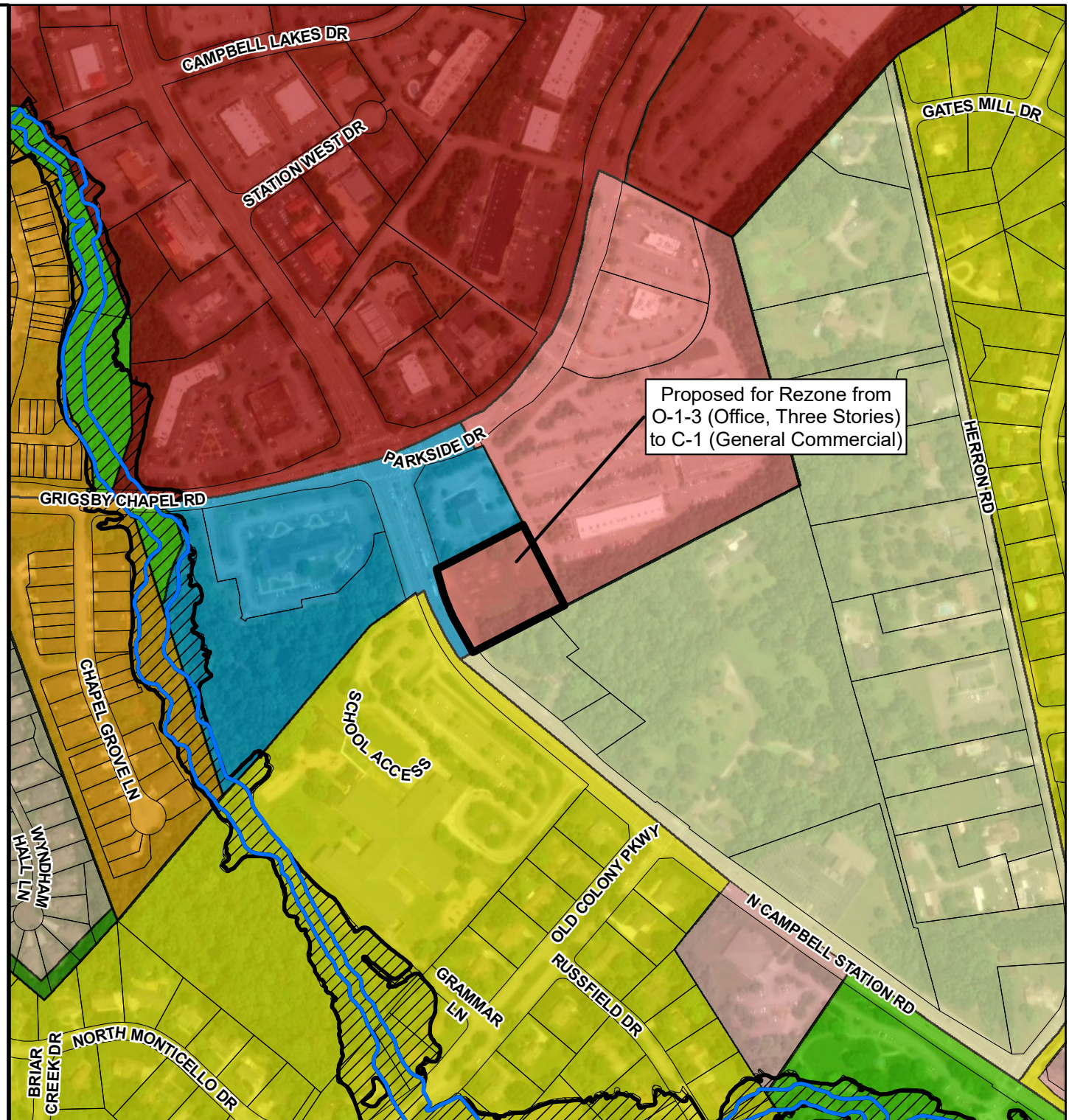
Proposed for Rezone from
O-1-3 (Office, Three Stories)
to C-1 (General Commercial)

Legend

-  Floodway
-  100 year Flood Zone
-  500 year Flood Zone
-  Parcels
-  Subject Area
-  B-1, Buffer
-  OS-P, Open Space/Park
-  S-1, Community Service
-  R-1, Rural Single-Family Residential
-  R-2, General Single-Family Residential
-  R-3, Small Lot Single-Family Residential
-  R-4, Attached Single-Family Residential
-  O-1-3, Office, Three Stories
-  C-1, General Commercial
-  C-2, Regional Commercial



1 in = 400 ft



REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on approval of a plat of correction related to Parcel 191.1, Tax Map 130, south of Home Federal Bank off Parkside Drive, to amend the buffer strip width from 50 feet to 35 feet, 1.57 Acres, Zoned O-1-3 (Turkey Creek Land Partners, LLC, Applicant)

INTRODUCTION AND BACKGROUND: This item is related to the previous item and involves a request to re-plat the buffer strip width for the parcel that is being requested for a rezoning. The current platted buffer strip width is 50 feet, and the applicant is requesting to amend this to 35 feet.

DISCUSSION: When the Turkey Creek development was platted in this portion of the project, the developer applied a platted buffer strip along the abutting residential zoned properties that was in excess of what was required in the zoning district. As reviewed by the Town Attorney, this was a self-imposed buffer that the developer, with approval from the Town, could amend provided it would not be less than the minimum buffer strip width required in the associated zoning district.

As mentioned in Agenda Item #6, the property in question is currently zoned O-1-3 which requires a 25-foot buffer strip. The requested C-1 District requires a minimum 35-foot buffer strip. As a result, the applicant's request would comply with the requested zoning district and would not affect the width of the remaining buffer since it abuts areas that have already developed.

The additional 15 feet of usable property is desired in the event a use with higher parking demands, like a restaurant, is constructed on the property. Since the current plat for this tract includes a plat note that specifies a 50-foot buffer, the plat that is the subject of this agenda item would amend that note to lessen the buffer to 35 feet for this one undeveloped tract. Should the additional 15 feet not be needed, the planted 50-foot buffer would stay in place. Lessening the buffer strip from 50 to 35 feet only provides the property with more options and marketability while also being consistent with the required buffer for the C-1 District.

RECOMMENDATION: The staff recommends approval of the plat of correction. This would only affect the one undeveloped tract in Turkey Creek and is compatible with the C-1 Zoning District.

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on approval of a plat involving the re-subdivision of Lots 1 and 2, Parcels 3.22 and 3.24, Tax Map 143, into three lots, 27.35 Acres, Zoned PCD (Biddle Farms Residential, LLC, Applicant)

INTRODUCTION AND BACKGROUND: Like the Kroger Marketplace Planned Commercial Development (PCD) to the west, as portions of the Biddle Farms at Farragut Town Center PCD project proceed, different sections may be subdivided to establish separate ownership. These subdivided lots are still subject to the overall requirements of the PCD and the covenants that govern the PCD. In the case of the plat being presented at this time it is establishing the right of way for Neptune Road and creating a separate lot for the townhome portion of the Biddle Farms at Farragut Town Center PCD development.

RECOMMENDATION: The initial staff comments were discussed with the applicant at the July 2 Staff/Developer meeting and the revised plat is included in the packet. The staff recommends approval subject to the following:

1. A completion letter of credit for surface course, sidewalk, and greenway being provided in an amount determined by the Town Engineer associated with Neptune Road.
2. The platted right of way for Neptune Road should either be consistent throughout or clear dimensions provided where the right of way varies so that it can be easily recreated in the future for ownership and maintenance purposes.
3. Obtaining all required signatures on the plat.

REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion on a request to amend the text of the Farragut Zoning Ordinance to permit a second dwelling unit on an existing lot of record that is greater than 1.5 acres in the Rural Single-Family Residential (R-1) Zoning District (Tyler Butler, Applicant)

INTRODUCTION AND BACKGROUND: This is for discussion purposes only and involves a request to have the Farragut Zoning Ordinance amended in the R-1 Zoning District to permit the option for a second dwelling unit on an existing lot that exceeds 1.5 acres.

DISCUSSION: As discussed at the July 2 Staff/Developer meeting, the applicant has an existing lot off Fretz Road that pre-dates the Town's Subdivision Regulations. The lot does not have direct frontage on an existing public street. There is an existing home on the lot that is accessed through a private access easement that also provides access to one other lot.

The applicant initially discussed trying to subdivide the lot but, given its configuration and the presence and proximity of dwelling units on the lots that abut the applicant's property, there was no way to do this in compliance with the Subdivision Regulations. The applicant has a parent that lives on the existing property and would like to construct a home on the property to help with the parent as a means of aging in place.

The staff noted that since subdividing would not be possible in this case the language in the Zoning Ordinance could be re-visited in this regard to see if there is interest in providing for this. As with any request for a text amendment, the staff must assess the impact of the change throughout the Town.

There are currently roughly 150 lots in Town that are zoned R-1 and exceed 1.5 acres. Fifteen of these lots are either open space owned by homeowner's associations or churches. During discussion at the Staff/Developer meeting the staff noted that the main initial question before moving forward with this would be whether the Commission and ultimately the Board of Mayor and Aldermen would be open to providing for a second dwelling unit on a lot exceeding 1.5 acres in the R-1 Zoning District. If this is not something that is desired, then this request would not likely need to proceed. If there is an openness to allowing the second dwelling unit what would be some of the requirements that could be added to prevent envisioned issues? Some of these could be similar to the Agricultural Zoning District which was amended in 2021 to provide for a second single-family detached dwelling. Those requirements included:

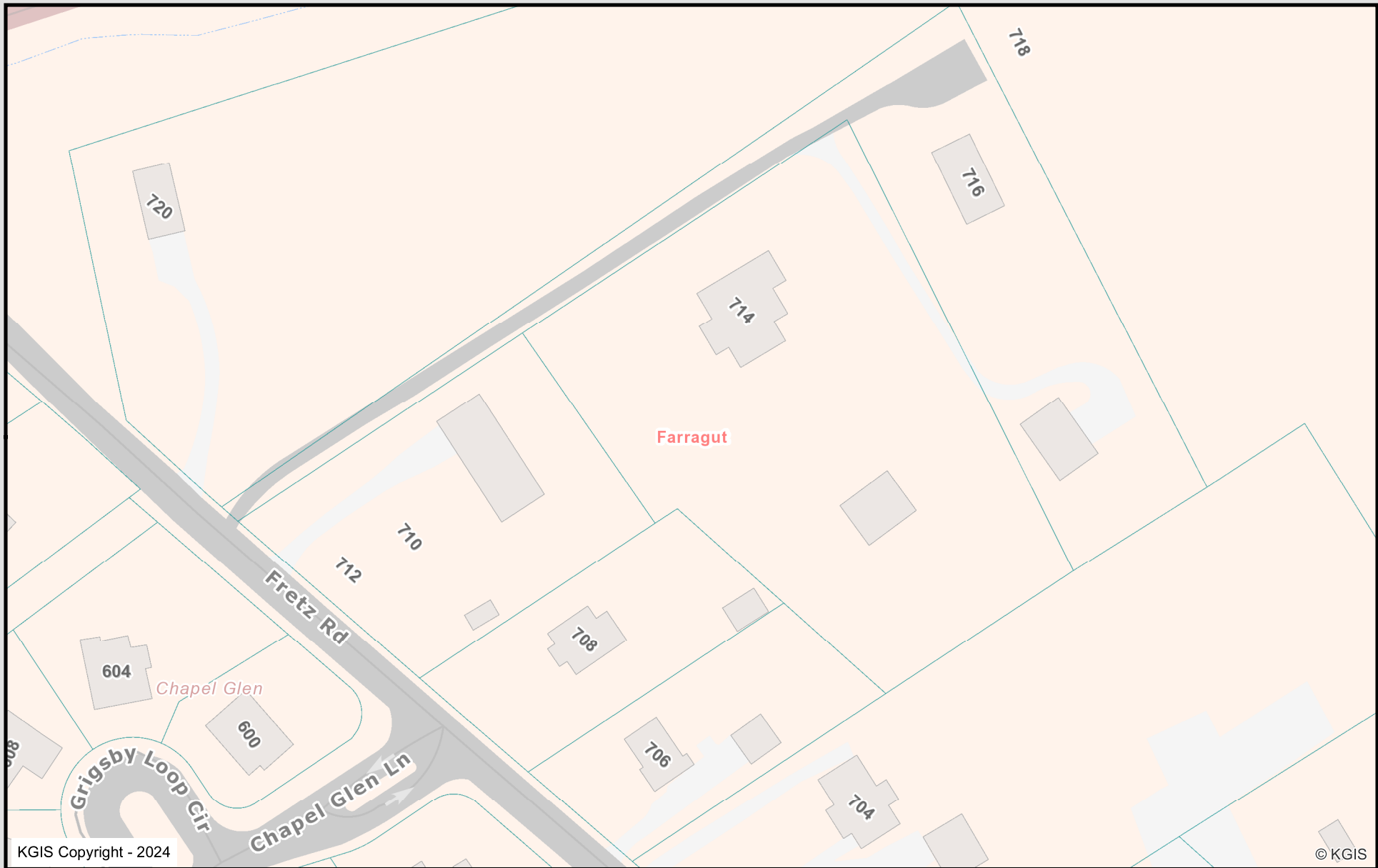
1. The second dwelling being a single-family detached unit.
2. A minimum lot size of five acres (the applicant's request would be 1.5 acres – which is the typical minimum lot size of what is referred to as an "estate lot").
3. Setback compliance with the requirements for dwelling units in the Agricultural District.
4. Minimum distances between dwelling units.
5. No additional access being required for the second dwelling unit.

6. Adherence to applicable utility, code, and fire suppression requirements.

There was also language requiring frontage of at least 100 feet on an existing public street. As mentioned above, the applicant's property does not have frontage on a public street so this requirement would have to be evaluated in relation to the text amendment requested at this time.

Another consideration is that the second dwelling unit, when not used by a family member, may become a rental unit. This is not necessarily an issue as many subdivisions within the Town have rental homes, but it is certainly a consideration. Most lots that are more than 1.5 acres are either not within subdivisions or in older subdivisions that do not have active homeowner's associations or covenants that may further apply restrictions to these additional dwelling units.

From the staff's perspective there is an obvious benefit to a property owner to provide more options for the housing and/or care of relatives, especially given housing and elderly care costs. This would also promote one of the eight strategies identified in the Comprehensive Land Use Plan to provide more housing choice. If this moves forward, it will be essential to establish appropriate requirements for these so that unintended negative impacts could be avoided.

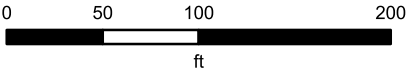


Letter Landscape

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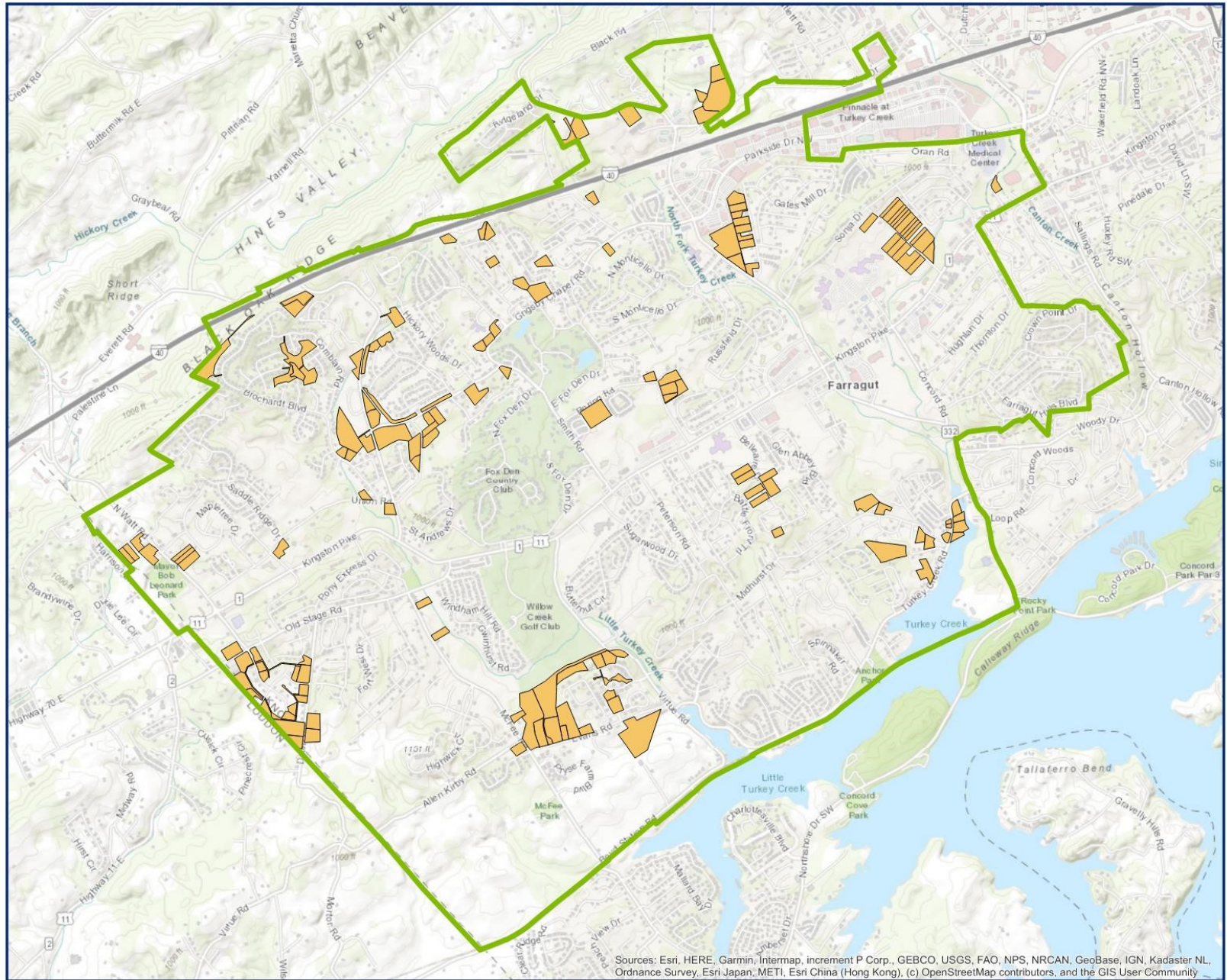
Parcels Zoned R-1 Over 1.5 Acres

 R-1 Parcel Over 1.5 Acres



1 inch = 2,800 feet

Map Prepared: 6/27/2024



REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

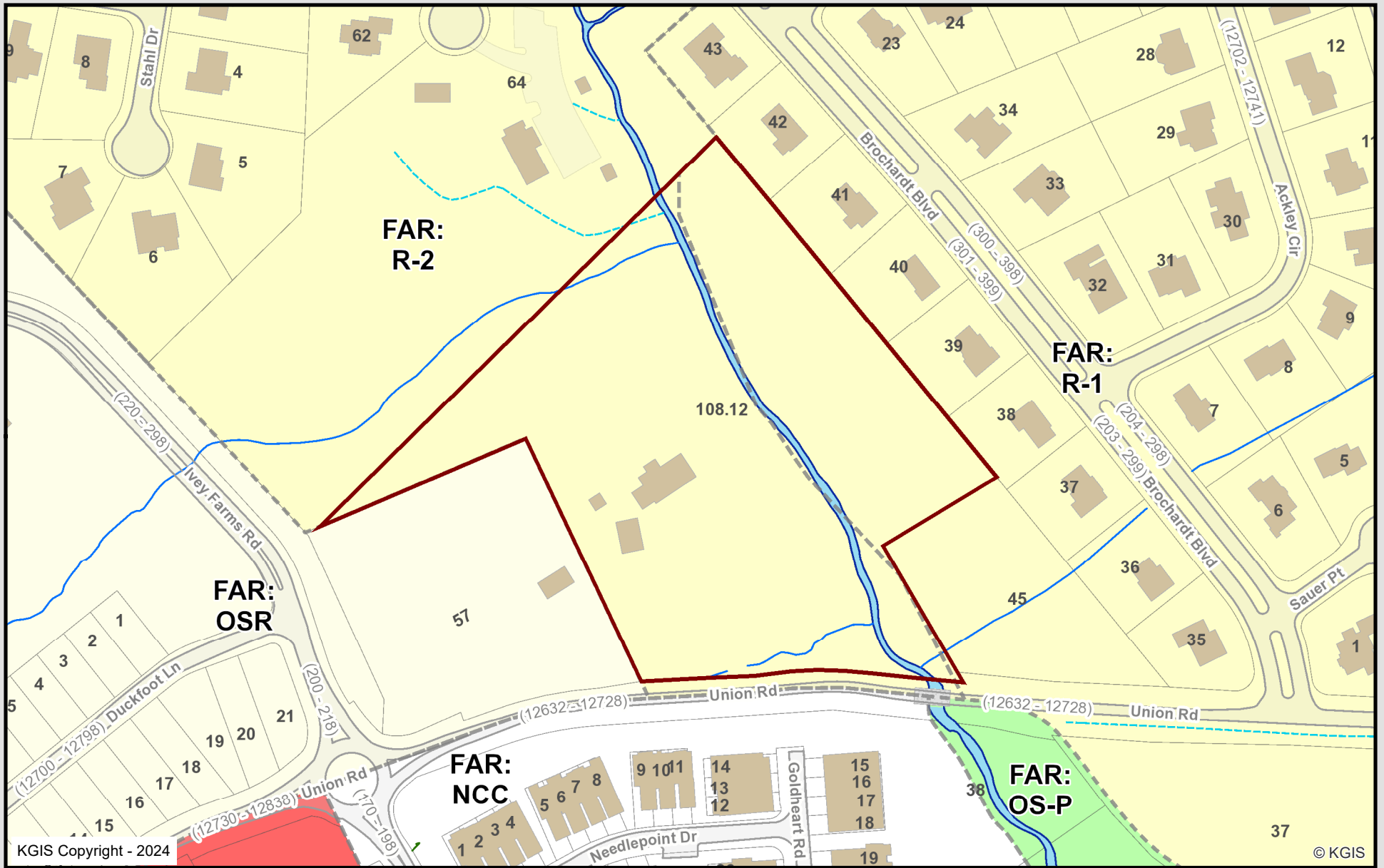
PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion on a request to rezone the property at 12715 Union Road from Rural Single-Family Residential (R-1) and General Single-Family Residential (R-2) to Agricultural (A), 8.64 Acres (Wil Glafenhein, Applicant)

INTRODUCTION AND BACKGROUND: This is for discussion purposes only. The property in question fronts along Union Road just to the west of the Fox Run Subdivision. The property has one dwelling unit and is bisected by a stream that is a tributary of Little Turkey Creek. On the west side of the stream where the dwelling unit is situated, the property is zoned R-2. On the east side of the stream that abuts a number of dwelling units in the Fox Run Subdivision, the property is zoned R-1.

It was discovered through a citizen request that the applicant has chickens in a pen that is situated on the land that is zoned R-2. Within the R-2 District the only agricultural uses permitted are crops on tracts that are at least five acres. The applicant's rezoning request is mainly intended to zone the property so that it can have chickens.

DISCUSSION: The rezoning application indicates that the desired zoning district for the entire property is the Agricultural District (A). From the staff's perspective, a better option would be the R-1 District since the property abuts R-1 zoned land to the east. Since the applicant's land is more than one acre, chickens would be a permitted use under the R-1 District. Also, as noted in the previous agenda item, the Agricultural District does provide for a second single-family detached dwelling unit and this property would qualify.



12715 Union Road

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REPORT TO THE FARRAGUT MUNICIPAL PLANNING COMMISSION

PREPARED BY: Mark Shipley, Community Development Director

SUBJECT: Discussion and public hearing on amendments to the Future Land Use Map in the Comprehensive Land Use Plan Update involving the following locations: 1) Updating the land purchased by Knox County Schools off Boring Road to reflect a Civic/Institutional land use designation, 2) Updating the land purchased by the Town of Farragut off McFee Road to reflect a Parks and Recreation land use designation, 3) Updating the areas that are currently shown as Medium Density Residential and Low Density Residential south and east of the Ford property and the Park Place Subdivision to reflect a Very Low Density Residential land use designation, and 4) Updating the areas that are currently shown as Medium Density Residential along a portion of Concord Road to reflect a Low Density Residential land use designation in the northern portion and a Civic/Institutional land use designation for the Pleasant Forest Cemetery and the area abutting the cemetery to the north (Town of Farragut, Applicant)

INTRODUCTION AND BACKGROUND: This item was discussed last month and involves updates to the existing Future Land Use Map (FLUM) to account for how the properties will ultimately be used or to provide consistency with the Mixed-Use Town Center Vision Plan.

DISCUSSION: There are four different areas where the FLUM is proposed to be updated:

1. The property off Boring Road that was purchased by Knox County Schools should now be designated as a Civic/Institutional Land Use. The land is currently designated as Low Density Residential, Very Low Density Residential, and Open Space. The area shown as Open Space is not proposed to be changed.
2. The property purchased by the Town off McFee Road should now be designated as a Parks and Recreation Land Use. The property is currently designated as Open Space Cluster Residential and Open Space. The area shown as Open Space is not proposed to be changed.
3. The areas to the south and east of the Ford Property and the Glen Abbey and Park Place Subdivisions should now be designated as Very Low Density Residential. This would account for the area's topography and would establish a land use designation consistent with the abutting Glen Abbey, Park Place, and Bridgewater Subdivisions. The area is currently designated as Low Density Residential, Medium Density Residential, and Open Space. The area shown as Open Space is not proposed to be changed.
4. The area along Concord Road that is currently designated as Medium Density Residential should now be mostly designated as Low Density Residential since townhomes are shown in the Mixed-Use Town Center Vision Plan for the affected area. The remaining area along Concord Road currently shown as Medium Density Residential nearest the Pleasant Forest Cemetery should now be designated as a Civic/Institutional Land Use to be consistent with the Mixed-Use Town Center Vision Plan. The Pleasant Forest Cemetery is currently shown as an Open Space Land Use. This is proposed to be updated to a Civic/Institutional Land Use.

RECOMMENDATION: Included in the packet is Resolution 24-09 which would amend the Future Land Use Map of the four different areas that are associated with this agenda item. The staff recommends approval of Resolution 24-09.

RESOLUTION 24-09

FARRAGUT MUNICIPAL PLANNING COMMISSION

A RESOLUTION TO APPROVE AMENDMENTS TO THE FUTURE LAND USE MAP IN THE COMPREHENSIVE LAND USE PLAN UPDATE, DECEMBER 2012, TO AMEND THE DESIGNATION FOR THE LAND PURCHASED BY KNOX COUNTY SCHOOLS OFF BORING ROAD TO REFLECT A CIVIC/INSTITUTIONAL LAND USE DESIGNATION, 2) THE DESIGNATION OF THE LAND PURCHASED BY THE TOWN OF FARRAGUT OFF MCFEE ROAD TO REFLECT A PARKS AND RECREATION LAND USE DESIGNATION, 3) THE DESIGNATION OF THE AREAS THAT ARE CURRENTLY SHOWN AS MEDIUM DENSITY RESIDENTIAL AND LOW DENSITY RESIDENTIAL SOUTH AND EAST OF THE FORD PROPERTY AND THE PARK PLACE SUBDIVISION TO REFLECT A VERY LOW DENSITY RESIDENTIAL LAND USE DESIGNATION, AND 4) THE DESIGNATION OF THE AREAS THAT ARE CURRENTLY SHOWN AS MEDIUM DENSITY RESIDENTIAL ALONG A PORTION OF CONCORD ROAD TO REFLECT A LOW DENSITY RESIDENTIAL LAND USE DESIGNATION IN THE NORTHERN PORTION AND A CIVIC/INSTITUTIONAL LAND USE DESIGNATION FOR THE PLEASANT FOREST CEMETERY AND THE AREA ABUTTING THE CEMETERY TO THE NORTH

WHEREAS, the Tennessee Code Annotated, Section 13-4-201et seq, provides that the Municipal Planning Commission may make, adopt and amend from time to time a general plan for the physical development of the municipality; and

WHEREAS, the Farragut Municipal Planning Commission, after holding a public hearing as required by T.C.A. § 13-4-202(a), adopted the Comprehensive Land Use Plan Update (the “Plan”) on December 12, 2012; and

WHEREAS, The Farragut Municipal Planning Commission desires to amend the Plan as described in the above caption;

NOW, THEREFORE, BE IT RESOLVED that the Farragut Municipal Planning Commission hereby amends the Plan through approval of Resolution 24-09 as shown on Exhibits A - D.

ADOPTED this 18th day of July 2024.

Scott Russ, Chairman

Shannon Preston, Secretary



Exhibit A Resolution PC-24-09

FLUM Amendment
of 0 Boring Road
Parcel 069, Tax Map 142

Proposed for FLUM Amendment from
Office/Light Industrial, Very Low Density
Residential and Low Density Residential
to Civic/Institutional

Proposed for FLUM Amendment from
Office/Light Industrial, Very Low Density
Residential and Low Density Residential
to Civic/Institutional

Legend

- Parcels
- Subject Area
- Civic/Institutional
- Office/Light Industrial
- Commercial
- Open Space
- Parks and Rec
- Rural Residential (> 1 Acre)
- Very Low Density Residential (2-4 DUs /
- Low Density Residential (3-6 DUs /
- Med Density Residential (6-8 DUs / Acre)
- Mixed Use Neighborhood (6-8 DUs /



1 in = 500 ft

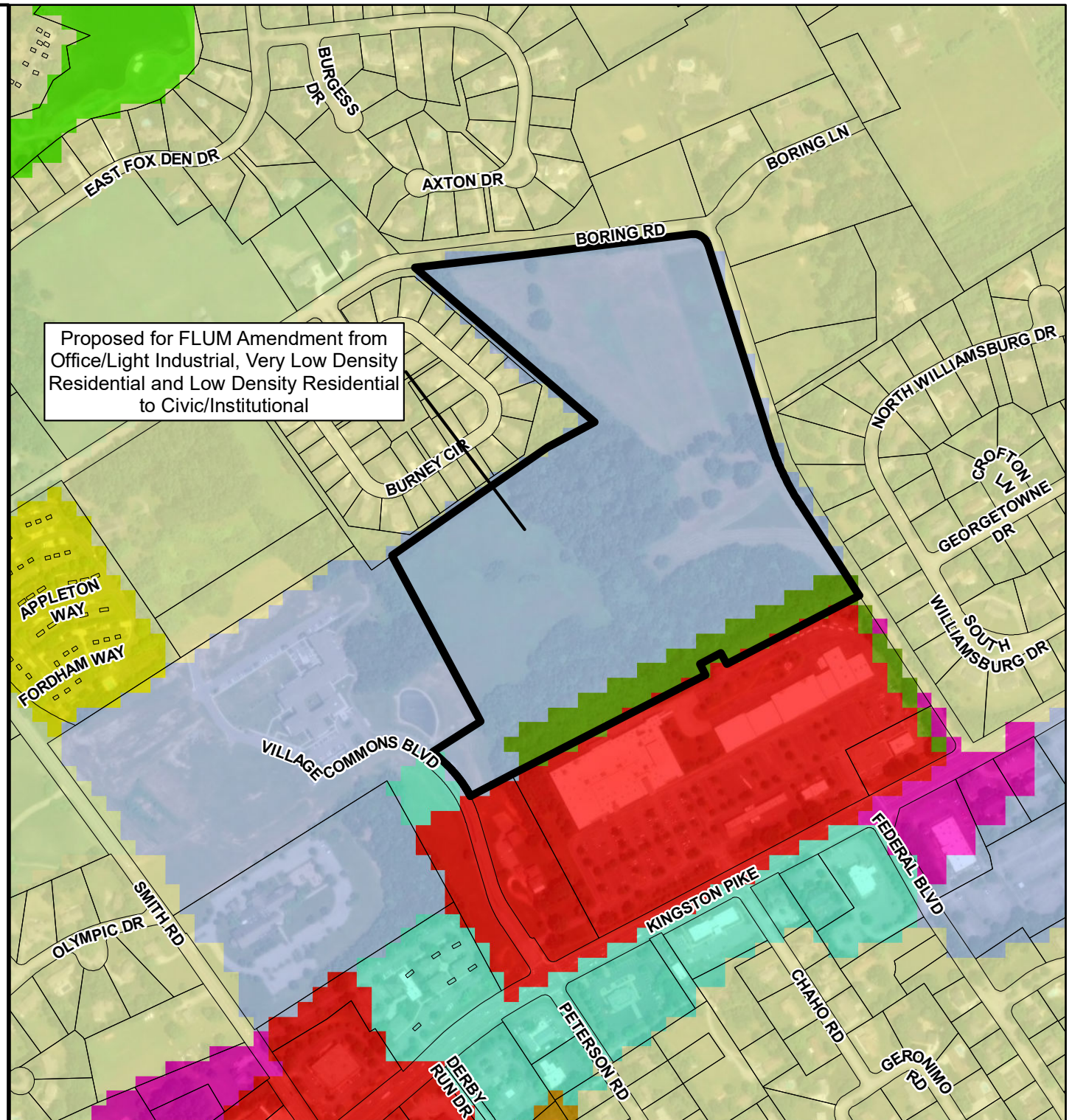


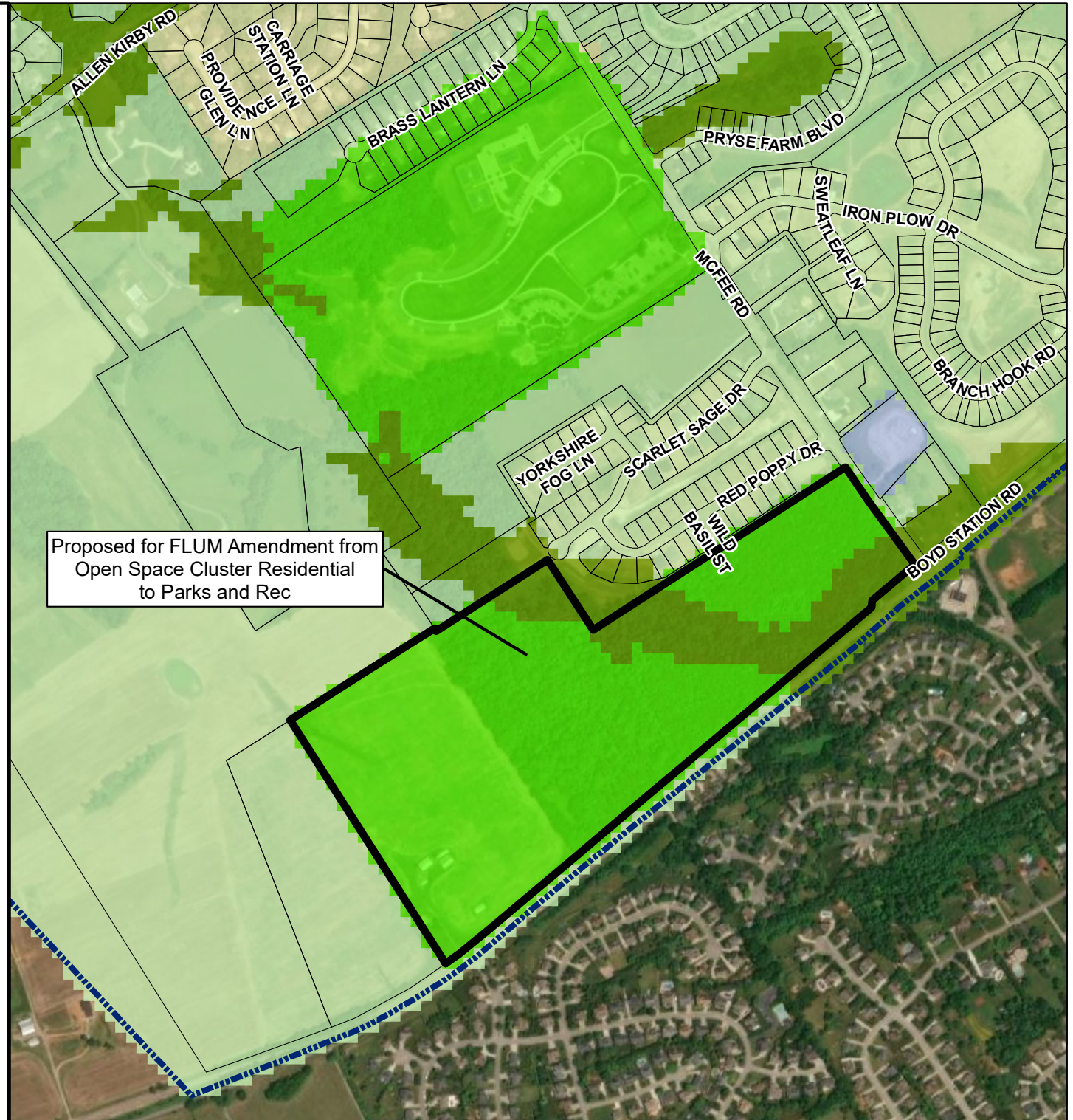
Exhibit B Resolution PC-24-09

FLUM Amendment
of Parcel 02402, Tax Map 162

Proposed for FLUM Amendment from
Open Space Cluster Residential
to Parks and Rec

Legend

-  Parcels
-  Subject Area
-  Civic/Institutional
-  Open Space
-  Parks and Rec
-  Open Space Cluster Residential
-  Rural Residential (> 1 Acre)
-  Very Low Density Residential (2-4 DUs /



1 in = 700 ft



Exhibit C Resolution PC-24-09

FLUM Amendment
of Various Addresses
Parcels 148 and 149, Tax Map 142 and
Parcels 003 and 00306, Tax Map 143

Proposed for FLUM Amendment from
Medium Density Residential and Low
Density Residential to
Very Low Density Residential

Legend

-  Subject Area
-  Floodway
-  100 year Flood Zone
-  500 year Flood Zone
-  Parcels
-  Civic/Institutional
-  Open Space
-  Parks and Rec
-  Very Low Density Residential (2-4 DUs /
-  Low Density Residential (3-6 DUs /
-  Mixed Use Town Center (8-15 DUs /



1 in = 500 ft

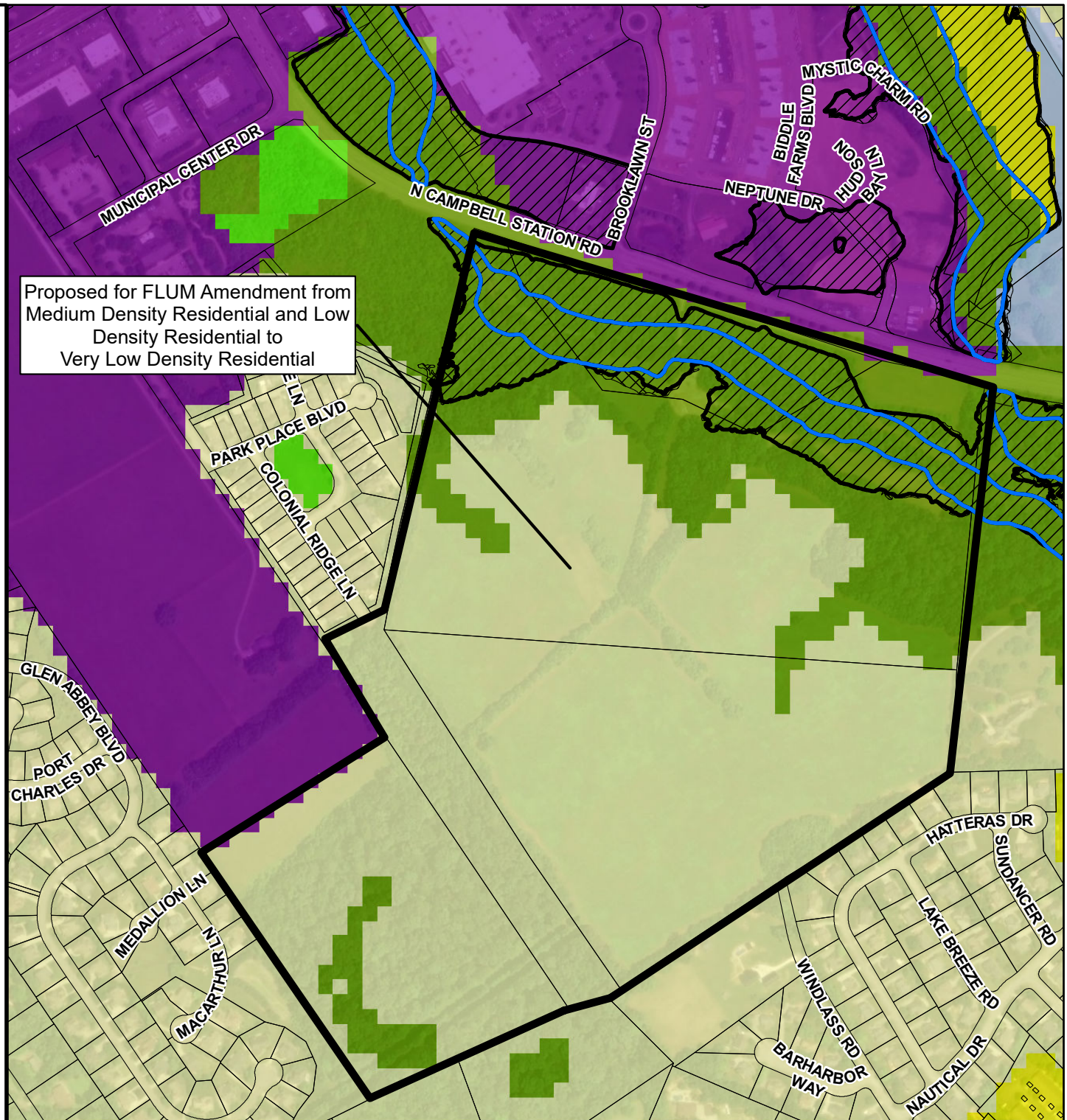




Exhibit D Resolution PC-24-09

FLUM Amendment
of Various Addresses

Proposed for FLUM Amendment from
Medium Density Residential to Low
Density Residential,
Low Density Residential to Very Low
Density Residential and
Parks and Rec to Civic/Institutional

Legend

-  Subject Area
-  Floodway
-  100 year Flood Zone and Treeline
-  500 year Flood Zone
-  Parcels
-  Civic/Institutional
-  Commercial
-  Open Space
-  Parks and Rec
-  Open Space Cluster Residential
-  Very Low Density Residential (2-4 DUs /
-  Low Density Residential (3-6 DUs /
-  Mixed Use Town Center (8-15 DUs /



1 in = 500 ft

