



Town of Farragut, Tennessee
Municipal Planning Commission Meeting

Farragut Town Hall
11408 Municipal Center Drive

Thursday, June 19, 2025 at **6:00 PM**

AGENDA

- 1) Approval of Agenda
 - A) Postponement of action item 3) C)
- 2) Approval of Minutes
 - A) May 15, 2025
- 3) Action Items
 - A) Appointment of Youth Representative to the Planning Commission for FY 2026
 - B) Appointment of Tree Board Representative
 - C) Discussion and public hearing on approval of roughly 1,900 linear feet of .5 inch fiber cable in a new two-inch conduit within the right of way beginning at the northeast intersection of Kingston Pike and N. Campbell Station Road and extending along the east side of N. Campbell Station Road for 708 feet and then boring under N. Campbell Station Road to the west side of N. Campbell Station Road and then extending 177 feet to the south side of Jamestowne Boulevard and then along the south side of Jamestowne Boulevard for 915 feet to service the property at 11507 Kingston Pike (Comcast, Applicant)
 - D) Discussion and public hearing on approval of a new traffic signal at the northern intersection of Concord Road (State Route 332) and Loop Road (Town of Farragut, Applicant)
 - E) Discussion and public hearing on approval of a preliminary plat for improvements to Outlet Drive to include a turn lane for the property at 11471 Outlet Drive and for improvements at the Snyder Road/N. Campbell Station Road intersection in

**11408 MUNICIPAL CENTER DRIVE | FARRAGUT, TN 37934 | 865.966.7057 |
WWW.TOWNOFFARRAGUT.ORG**

It is the policy of the Town of Farragut not to discriminate on the basis of race, color, natural origin, gender, gender identity, sexual orientation, age, religion, disability or veteran status pursuant to Title VI of the Civil Rights Act of 1964, Public Law 93-112 and 101-336 in its hiring, employment practices and programs. To request accommodations due to disabilities, please call 865-966-7057 in advance of the meeting

association with the Venture at Laster Farms development in Knox County at 11471 Outlet Drive (Cannon & Cannon, Inc., Applicant)

- 4) Discussion Items
 - A) Discussion on updates to the Driveways and Other Access Ways Ordinance concerning how accesses are approved and opportunities to streamline the approval process where possible (Town of Farragut, Applicant)
- 5) Approval of Utilities
- 6) Citizens Forum



MINUTES

FARRAGUT MUNICIPAL PLANNING COMMISSION

May 15, 2025

MEMBERS PRESENT

Ron Pinchok, Chairman
Louise Povlin, Vice Chairman
Shannon Preston, Secretary
Ron Williams, Mayor
Scott Meyer, Vice Mayor
Jeff Devlin
Jon Greene
Derek Wright
Anna Presley, Youth Representative

MEMBERS ABSENT

Noah Myers

Staff Representatives: Mark Shipley, Community Development Director
David Smoak, Town Administrator
Chris Sheffield, Operations Manager
Darryl Smith, Town Engineer

1. Appointment of Chairman

Vice Chairman Povlin called the meeting to order and noted that commissioners would need to appoint a chairman to replace Scott Russ.

A motion was made by Commissioner Greene to nominate Commissioner Pinchok as the new chairman. The motion was seconded by Mayor Williams and was approved unanimously.

2. Approval of agenda

The staff recommended approval of the agenda as submitted.

A motion was made by Vice Chairman Povlin to follow the staff's recommendation. The motion was seconded by Vice Mayor Meyer and was approved unanimously.

3. Approval of minutes for the April 17, 2025 meeting

The staff recommended approval of the minutes as submitted.

A motion was made by Vice Chairman Povlin to follow the staff's recommendation. The motion was seconded by Mayor Williams and was approved unanimously.

4. Review of First Utility District Everett Road Water Tank and Booster Station Improvements Project (FUD, Applicant)

The staff reviewed this item and noted that it was for information purposes only since the proposed improvements were not within the Town limits. Seth Fisher from First Utility District was present and answered questions regarding the project.

5. Approval of FY 2026-2031 Capital Investment Plan (CIP)

Town Administrator, David Smoak, presented the CIP and answered questions from the commissioners.

A motion was made by Mayor Williams to recommend approval of the CIP as presented. The motion was seconded by Vice Chairman Povlin and was approved unanimously.

6. Discussion and public hearing on approval of a preliminary plat for improvements to Boyd Station Road in association with the Grove at Boyd Station Subdivision, Zoned R-1/OSMR (Rackley Engineering, Applicant)

The staff reviewed this item and recommended approval subject to the following conditions:

1. Please show a detail (elevation) of roundabout. There should be a vertical wall similar to the roundabout at Virtue in front of Brookmere.
2. Please add a supplemental plate to the two Detour signs "To Boyd Station Road" at the intersection of Evans Road and Virtue Road.
3. Please show anticipated utility relocations.
4. An irrevocable letter of credit will be required to ensure the completion of the improvements to Boyd Station Road and roundabout. The dollar amount will be determined by the Town Engineer.

A motion was made by Vice Chairman Povlin to follow the staff's recommendation. The motion was seconded by Mayor Williams and was approved unanimously.

7. Discussion and public hearing on approval of a site plan for a gym renovation and an expansion to the St. John Neumann Catholic School, 625 St. John Court, Zoned R-1 (Community Tectonics Architects, Inc., Applicant)

The staff reviewed this item and recommended approval subject to the following conditions:

1. Please consult with the Town's codes staff on the construction type to ensure compliance with the Town's adopted modifications as they would apply to an addition of this size and occupancy.
2. Please ensure that any new HVAC units will be screened by the building they are serving so they are not visible from adjacent properties or rights of ways.
3. A plat will be required for approval and recording to dissolve the property line between the school and the rectory.
4. Please sign and seal Sheet E100A.
5. Please show the footcandles along all abutting property lines to demonstrate that they will not exceed .5 footcandles.
6. Please note on the area light detail on Sheet E100A, what the height of the existing poles are that the new poles are to match.
7. Please correct the quantity of AA1 light poles shown on Sheet E100A.
8. Please remove SB Sediment Basin from legend of all SWPPP sheets.
9. Please correct Sheet 3 of the SWPPP sheets to list this as Phase 3 instead of Phase 1.
10. The Stormwater Operation and Maintenance Plan includes Grass Swales and Detention Pond. Please show on the site plan where the Grass Swales are located as well as the Detention Pond.

Please be sure to have the Covenants Maintenance Agreement along with the O&M Plan recorded at the Knox County Register of Deeds prior to Certificate of Occupancy.

FMPC Minutes

May 15, 2025

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11. Please submit irrevocable letter of credit for erosion control for \$11,300. A drainage permit fee will also be required in an amount provided by the Town Engineer.

A short discussion ensued. Bill Vinson was present on behalf of the applicant. A motion was made by Commissioner Meyer to follow the staff's recommendation. The motion was seconded by Commissioner Greene and was approved unanimously.

8. Approval of utilities

None.

9. Citizen forum

None.

The meeting was adjourned at 7:23 p.m.

Shannon Preston, Secretary

REPORT TO THE MUNICIPAL PLANNING COMMISSION

Prepared By: Mark Shipley, Community Development Director

Subject: Appointment of Youth Representative to the Planning Commission for FY 2026

Introduction & Background: Prior to the next fiscal year beginning in July a new Youth Representative will need to be appointed by the Planning Commission. Anna Presley has been the Youth Representative for the past fiscal year and her service on the Planning Commission has been outstanding and much appreciated.

Discussion & Recommendations: Included in the packet are applications and letters of recommendation for the two candidates that selected the Planning Commission as their first choice. One of the candidates is a Junior at Farragut High School and the other is a Senior at Farragut High School. This is a Planning Commission decision, but the staff would note that the only candidate that applied for the Visual Resources Review Board (VRRB) as his second choice was the senior that selected the Planning Commission as his first choice. This may need to be factored into the decision since the VRRB would have no other candidate.

Recommended By: Mark Shipley, Community Development Director

Proposed Motion: To appoint _____ as the youth representative to the Planning Commission for FY2026.

Print

Youth Representative Committee Application - Submission #6264

Date Submitted: 4/28/2025

Town of Farragut Youth Representative Committee Application

First Name

Albert

Last Name

Liu

Address1

Address2

City

Knoxville

State

TN

Zip

37934

Phone Number

Email

Briefly describe your life goals/aspirations:

Each week, I have the honor of volunteering as a tutor at the Joy of Music School, a nonprofit organization that has, for the past 27 years, provided free lessons and instruments to hundreds of financially disadvantaged youth in the Knoxville area. I chose to spend my time here because I believe in the principle that the organization was built on: ensuring the provision of equal opportunity to all. After volunteering at the school for over seventy hours, this idea has shaped my vision for the future because, in a time of growing economic inequalities, an escalating housing crisis, and an ever widening wealth gap, the opportunities available to underprivileged people are only going to decrease, and I wish to do everything in my power to prevent this from happening. By serving as a Youth Representative on a Town of Farragut Committee, I hope to gain a better understanding of local government, and the issues that prevent equal opportunity for every citizen in our town. Additionally, by working with community leaders, including our mayor and alderman, I hope to enhance my knowledge of civic leadership from those who already demonstrate it in Farragut. While my career will always be liable to change, my motivations and goals will always be rooted in the same principles of promoting the accessibility of opportunities to all. I am confident that wherever the future takes me, I will work to promote these values, and I am certain that I will apply the knowledge gained from my experience with the Town of Farragut to do so to the fullest extent of my abilities.

Which committees are you interested in serving?

Please select your first choice and second choice from the list below.

Youth Representatives serve a one-year term on the Arts and Beautification Committee, Farragut Museum Committee, Farragut Tourism / Visitor Advisory Committee, Parks and Athletics Council, Planning Commission, Stormwater Advisory Committee and the Visual Resources Review Board; Youth Representatives serve a two-year term on the Farragut Education Relations Committee.

First Committee Choice:

Planning Commission (3rd Thursday of each month at 7pm) ▼

Second Committee Choice:

Farragut Tourism/Visitor Advisory Committee (3rd Tuesday of January, March, May, July, September, and November) ▼

School Information

School

Farragut High School

Grade level for the 2024-2025 School Year

Junior ▼

Please list any school clubs, organizations or groups you are a member of:

LEADERSHIP AND SERVICE EXPERIENCE Civic Leaders of America National Director of Development 7/2024-present Director of Fundraising (Ohio River Valley State) 7/2023-7/2024 Fundraising Specialist (Ohio River Valley State) 12/2022-7/2023 Secured over \$13000 to fund programming for the non-profit organization Worked with both senior management and subordinate team members to define and execute projects Researched non-profit regulations and legal processes across 25 active states Helped organize 6 interstate conventions with an average attendance of 250 students Designed, marketed, and sold organization merchandise at 3 interstate conventions Junior State of America Director of Treasury and Convention (Farragut High School Chapter) 3/2022-5/2024 Raised over \$700 to fund programs for the Farragut High School Chapter Organized transportation and housing for students attending multi-day interstate conventions Organized a Tennessee state level convention attended by over 50 students from 6 different schools Youth in Government Co-President (Farragut High School Chapter) 5/2024-present Raised upwards of \$3500 to fund programming for the Farragut High School Chapter Organizing voter registration drives Planned and directed weekly meetings for a group of over 20 students Gloria Johnson for U.S. Senate Political Campaign Secretary and Field Intern 6/2022-present Canvassed Knoxville neighborhoods (~ 500 doors) and staffed high traffic Tennessee Democrat events Phone and Text banked around 2000 individuals across the state Trained and recruited volunteers and aided in managerial record documentation The Joy of Music School Trombone Tutor 8/2023-present Provided free tutoring to 3 students weekly at various competency levels Led a student to qualify for East Tennessee School Band and Orchestra Association: All-East HONORS/AWARDS/EXTRACURRICULARS National Honor Society Selected as 1 of 54 youth representatives of the Youth Leadership Knoxville Program Selected to attend Junior State of America Montezuma National Leadership Conference Tennessee Music Educators Association: All-State (2023, 2024,2025) Knoxville Symphony Youth Orchestra (First Trombonist) East Tennessee School Band and Orchestra Association: All-East (2023, 2024,2025) Farragut High School clubs: Competitive Marching Band (2022, 2023), Astronomy Club (Director of Outreach, Raised &700), Mock Trial, Mu Alpha Theta, Science Club, Engineering Club, Asian Culture Club, Varsity Tennis Team

School Official or Sponsor Name

Katherine King

Phone Number

(865) 966-9775

Please upload a letter of recommendation

Albert Liu Town of Farragut
Youth Representative Letter of
Recomendation.pdf

Farragut High School

*Principal
John C. Bartlett, EdD*

*Academy Coach
Amanda Edsell, EdD*

*Established 1904
11237 Kingston Pike, Knoxville, TN 37934
Phone: 865.966.9775
Fax: 865.671.7120*

*Academy Administrators
Patrick Bethel
Austin Bilbrey
Karey Lowdermilk, EdD
Cara Vaughn
Nicholas Walsh*

April 28, 2025

Recommendation for Albert Liu

Albert is currently a junior at Farragut high school and is in the top 5% of his very competitive class. He has a long-standing commitment to civic engagement that has led him to meaningful involvement in a variety of activities centered around politics, policy, and public service. Albert is a skilled organizer and fundraiser who holds local, regional, and national office positions in organizations like Youth in Government and Civic Leaders of America. All told he has raised over \$20,200 for these and other groups, organized multi-conferences and group travel, and more. He is truly impressive.

Albert is applying to the Farragut Planning Commission because he wants to better understand how local decisions about growth, infrastructure, and development are made. Having already been part of Youth Leadership Knoxville, Albert has seen firsthand the importance of policy at every level of government. However, local planning decisions often go unnoticed by students, even though they directly impact our student lives. Serving on the Planning Commission would allow him to bridge that gap by learning how rezoning, ordinances, and development plans are crafted.

I've always been impressed by Albert's maturity. He is thoughtful, measured, and at times even wise. His interest in all levels of governing drives his genuine interest in the Planning Committee. If given this opportunity, he will undoubtedly take a keen interest and be actively involved and enthusiastic. It's not possible for me to recommend him more strongly.

Kind Regards,

Katie King
STEM and Design Academy Counselor
Farragut High School

Print

Youth Representative Committee Application - Submission #6276

Date Submitted: 4/30/2025

Town of Farragut Youth Representative Committee Application

First Name

Hisato

Last Name

Kurosaki

Address1

Address2

City

Knoxville

State

TN

Zip

37934

Phone Number

Email

Briefly describe your life goals/aspirations:

One of the most fulfilling feelings in life is working hard so that other people can enjoy the results. This is something I learned through having the privilege of working as the Vice President of our school Astronomy Club, a member of the writing board of our school Model UN club, and as a staff member of the 2025 ALTMUN conference high school staff. In all of these experiences, I have learned that 1) leadership is a skill that is difficult and takes time to learn, 2) the effort that goes on behind the scenes is much more than what it seems, and 3) having people express their gratitude and joy from something you worked on is the most satisfying and enjoyable feeling. As a youth representative to the town, I hope to be able to do the same. One of the things that I enjoy most about Farragut is being able to walk. As a student who walks and bikes to school relatively often, I experience this firsthand very often. But it would be dishonest to state that it is perfect; there is much improvement to be made. I hope that with my input as a user of this infrastructure, we can continue to improve so that we are able to make Farragut a more enjoyable community for everyone: perhaps as enjoyable as it is to me.

Which committees are you interested in serving?

Please select your first choice and second choice from the list below.

Youth Representatives serve a one-year term on the Arts and Beautification Committee, Farragut Museum Committee, Farragut Tourism / Visitor Advisory Committee, Parks and Athletics Council, Planning Commission, Stormwater Advisory Committee and the Visual Resources Review Board; Youth Representatives serve a two-year term on the Farragut Education Relations Committee.

First Committee Choice:

Planning Commission (3rd Thursday of each month at 7pm) ▼

Second Committee Choice:

Visual Resources Review Board (4th Tuesday of each month at 7pm) ▼

School Information

School

Farragut High School

Grade level for the 2024-2025 School Year

Senior ▼

Please list any school clubs, organizations or groups you are a member of:

Astronomy Club Vice President, Model UN Club writing board, Environmental Club, ALTMUN 2025 staff, Knoxville Symphony Youth Orchestra.

School Official or Sponsor Name

Phone Number

Please upload a letter of recommendation

Hisato Kurosaki Letter of Recommendation.pdf

Farragut High School

*Principal
John C. Bartlett, EdD*

*Academy Coach
Amanda Edsell, EdD*

*Established 1904
11237 Kingston Pike, Knoxville, TN 37934
Phone: 865.966.9775
Fax: 865.671.7120*

*Grade Level Administrators
Patrick Bethel
Austin Bilbrey
Karey Lowdermilk, EdD
Cara Vaughn
Nicholas Walsh*

March 26, 2025

To Whom It May Concern:

I am pleased to recommend Hisato Kurosaki for the youth representative for the Town of Farragut. Hisato is currently a junior in my AP Calculus AB/BC class.

Hisato has strong written and verbal communication, is a strong team player, and is quite adaptable. I have been impressed watching him grow as a mathematician since August, and I have really seen him thrive this semester as we have gotten into more challenging topics. Overall, Hisato is an outstanding candidate for this role. He truly enjoys learning, has great interpersonal skills, and can understand and communicate complex ideas to a wide range of people.

Hisato has my highest recommendation for this opportunity. He has shown excellence in so many different areas of his life, whether it is in his classes at school or his extracurricular activities. Please do not hesitate to contact me for more information or if you have any other questions.

Best,



Jake Gullledge
Math Teacher
Farragut High School
jakob.gullledge@knoxschools.org
731-445-4998

REPORT TO THE MUNICIPAL PLANNING COMMISSION

Prepared By: Mark Shipley, Community Development Director

Subject: Appointment of Tree Board Representative

Introduction & Background: As part of the Town’s Tree City recognition a Tree Board is required along with a Public Tree Care Ordinance which provides for the Tree Board and establishes their duties.

Discussion & Recommendations: The Town’s adopted Public Tree Care Ordinance includes the Tree Board membership and the requirement for one of the members to be either a representative of the Board of Mayor and Aldermen or the Planning Commission. The Planning Commission’s current Tree Board representative is Scott Russ. However, with Scott Russ leaving the Planning Commission, a new representative is needed. The Tree Board includes mostly Town staff and meets once per quarter. This is a Planning Commission decision.

Recommended By: Mark Shipley, Community Development Director

Proposed Motion: To appoint _____ as the Tree Board representative from the Planning Commission.

REPORT TO THE MUNICIPAL PLANNING COMMISSION

Prepared By: Mark Shipley, Community Development Director

Subject: Discussion and public hearing on approval of roughly 1,900 linear feet of .5 inch fiber cable in a new two-inch conduit within the right of way beginning at the northeast intersection of Kingston Pike and N. Campbell Station Road and extending along the east side of N. Campbell Station Road for 708 feet and then boring under N. Campbell Station Road to the west side of N. Campbell Station Road and then extending 177 feet to the south side of Jamestowne Boulevard and then along the south side of Jamestowne Boulevard for 915 feet to service the property at 11507 Kingston Pike (Comcast, Applicant)

Introduction & Background:

This item involves a request for approval of a fiber cable extension along portions of N. Campbell Station Road and Jamestowne Boulevard as described in the agenda item caption.

Discussion & Recommendations:

As shown on the plans included in the packet, Comcast is proposing to extend roughly 1,900 linear feet of .5 inch fiber cable along a section of N. Campbell Station Road and Jamestowne Boulevard to service a tenant space in the Village Green Shopping Center.

The installation will involve directional boring to a depth of at least three feet. There will be some boring under sidewalks, driveways, and N. Campbell Station Road. The installation contractor is Source Broadband and they have a letter of credit filed with the Town for any work they do within the Town limits. This letter of credit is to ensure that any affected areas are restored to their pre-installation condition. Traffic control needed for the project will be coordinated with the Town's engineering department as part of their right of way permit.

Included in the packet is the plan set provided for this project. The staff recommends approval of the project subject to the following item being addressed:

1. A right of way permit being obtained through the Town's engineering department. This would cover traffic control and site restoration.

Recommended By: Mark Shipley, Community Development Director

Proposed Motion: To approve the Comcast cable extension project subject to the following condition:

1. A right of way permit being obtained through the Town's engineering department. This would cover traffic control and site restoration.

UNDERGROUND LEGEND

- - - - - PROPOSED UG
- - - - - EXISTING CONDUIT
- / — NUL (TRANSITION)
- PEDESTAL
- ∇ VAULT
- MH MAN HOLE
- W — WATER
- P — POWER
- S — STORM DRAIN
- F — FRONTIER
- S — SEMC
- U — UNKNOWN FIBER
- S — SPECTRUM
- C — COMCAST
- ▨ SIDEWALK
- DWB DRIVEWAY BORE
- RB ROAD BORE
- SWB SIDEWALK BORE
- TR TRENCH
- PT PULL THROUGH
- BR BORE

NOTES:

- CONSTRUCTION TYPE: NEW BUILD
- COMCAST WILL FOLLOW ALL TRAFFIC CONTROL PER THE CURRENT EDITION OF THE MUTCD
- COMCAST WILL NOT DISTURB ANY PAVEMENT
- TRENCH AT MINIMUM DEPTH OF 36" AND WITHIN BACK 5' OF ROW
- ALL ROAD BORES WILL BE DIRECTIONAL BORE AT A MINIMUM DEPTH OF 48"
- NO LANES WILL BE BLOCKED BEFORE 9 AM OR AFTER 4 PM

MATCHLINE A

708'BR

SPEED LIMIT 40 MPH

Start permit at ROW

341'BR

SPEED LIMIT 45 MPH

N CAMPBELL STATION RD

KINGSTON PIKE / SR 11 / SR1

JOB# JB0002161715
 PERMIT# TNKPSR11SR111507-UG-CITY
 OPP NAME: TenHats
 OPP ADDRESS: 11507 KINGSTON PIKE FARRAGUT TN 37934

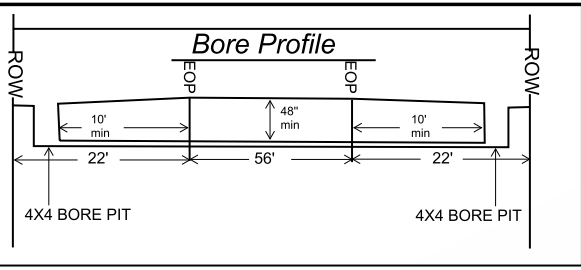
Submitted by: 
COMCAST

ALL WORK TO BE DONE IN BACK 5' OF ROW

DESC: COMCAST is to bore and install a total of 1,898' new 24CT of .5 fiber cable in new 2" conduit in existing ROW, then continue construction on to private property to service 11507 KINGSTON PIKE. JB0002161715

COMCAST CABLE
 5720 Asheville Hwy,
 Knoxville, TN 37924

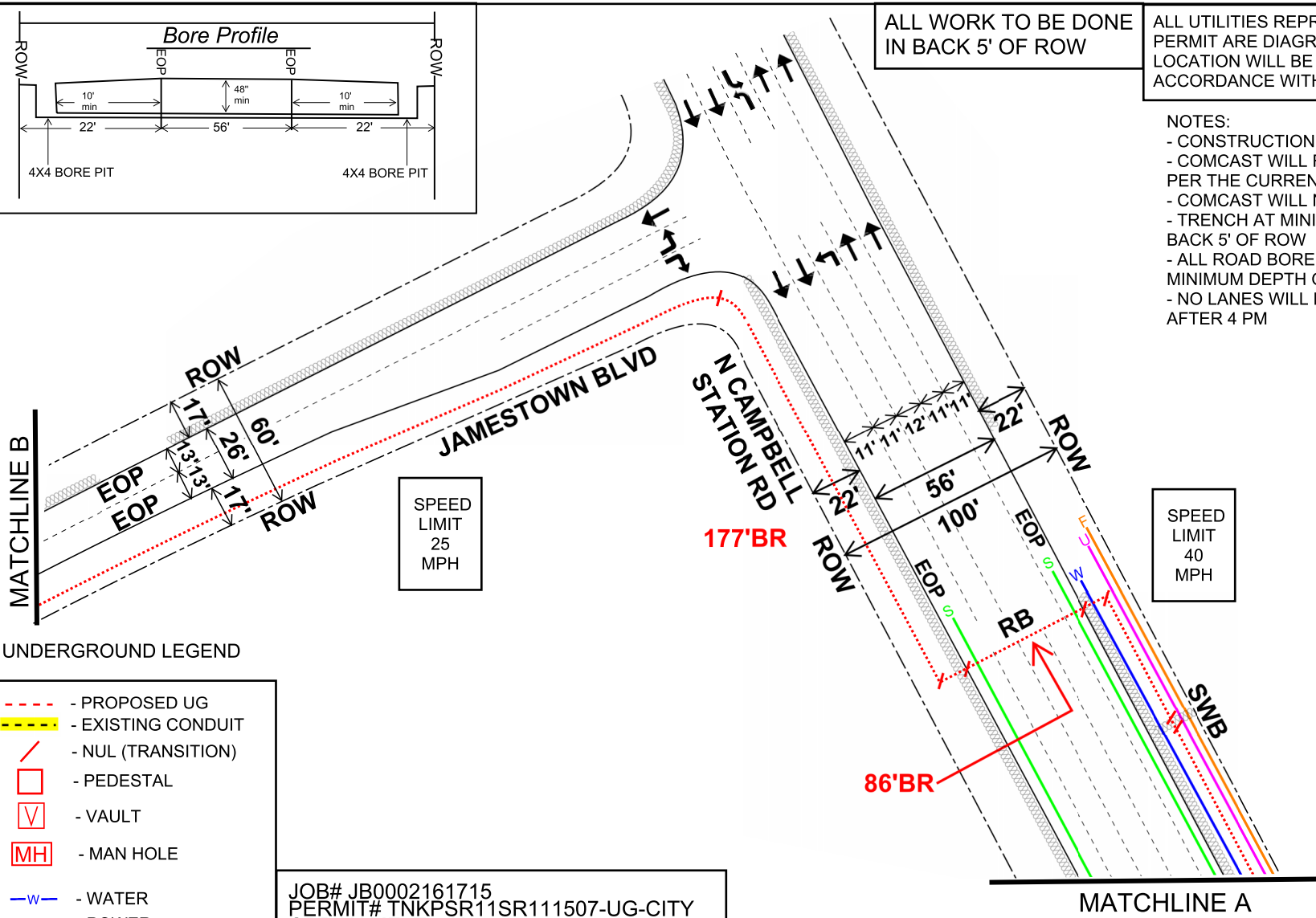
FARRAGUT CITY
 PERMIT APPLICATION



ALL WORK TO BE DONE IN BACK 5' OF ROW

ALL UTILITIES REPRESENTATIONS SHOWN ON THIS PERMIT ARE DIAGRAMMATIC IN NATURE. THE ACTUAL LOCATION WILL BE DETERMINED IN CONSTRUCTION IN ACCORDANCE WITH OGCA 25-9-1

- NOTES:
- CONSTRUCTION TYPE: NEW BUILD
 - COMCAST WILL FOLLOW ALL TRAFFIC CONTROL PER THE CURRENT EDITION OF THE MUTCD
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- - - - - EXISTING CONDUIT
- / — NUL (TRANSITION)
- PEDESTAL
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- [MH] MAN HOLE
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- PT PULL THROUGH
- BR BORE

JOB# JB0002161715
 PERMIT# TNKPSR11SR111507-UG-CITY
 OPP NAME: TenHats
 OPP ADDRESS: 11507 KINGSTON PIKE
 FARRAGUT TN 37934

DESC: COMCAST is to bore and install a total of 1,898' new 24CT of .5 fiber cable in new 2" conduit in existing ROW, then continue construction on to private property to service 11507 KINGSTON PIKE. JB0002161715

Submitted by:

COMCAST

COMCAST CABLE

5720 Asheville Hwy
 Knoxville, TN 37924

FARRAGUT CITY

PERMIT APPLICATION



NOTES:

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Submitted by:

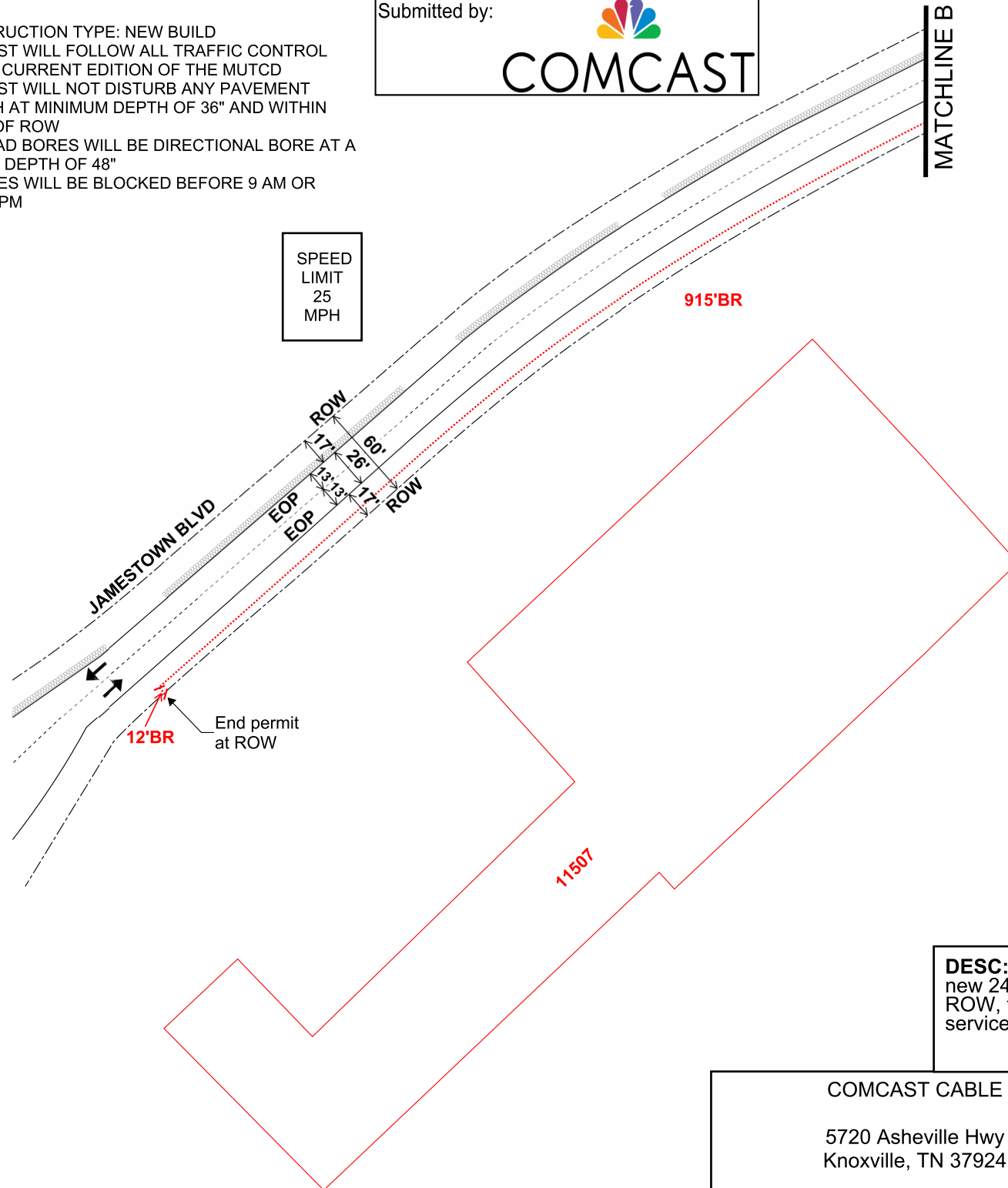


ALL WORK TO BE DONE IN BACK 5' OF ROW

UNDERGROUND LEGEND

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- C- COMCAST
- ▨ SIDEWALK
- DWB DRIVEWAY BORE
- RB ROAD BORE
- SWB SIDEWALK BORE
- TR TRENCH
- PT PULL THROUGH
- BR BORE

SPEED LIMIT
25
MPH



ALL UTILITIES REPRESENTATIONS SHOWN ON THIS PERMIT ARE DIAGRAMMATIC IN NATURE. THE ACTUAL LOCATION WILL BE DETERMINED IN CONSTRUCTION IN ACCORDANCE WITH OGCA 25-9-1

JOB# JB0002161715
 PERMIT# TNKPSR11SR111507-UG-CITY
 OPP NAME: TenHats
 OPP ADDRESS: 11507 KINGSTON PIKE
 FARRAGUT TN 37934

DESC: COMCAST is to bore and install a total of 1,898' new 24CT of .5 fiber cable in new 2" conduit in existing ROW, then continue construction on to private property to service 11507 KINGSTON PIKE. JB0002161715

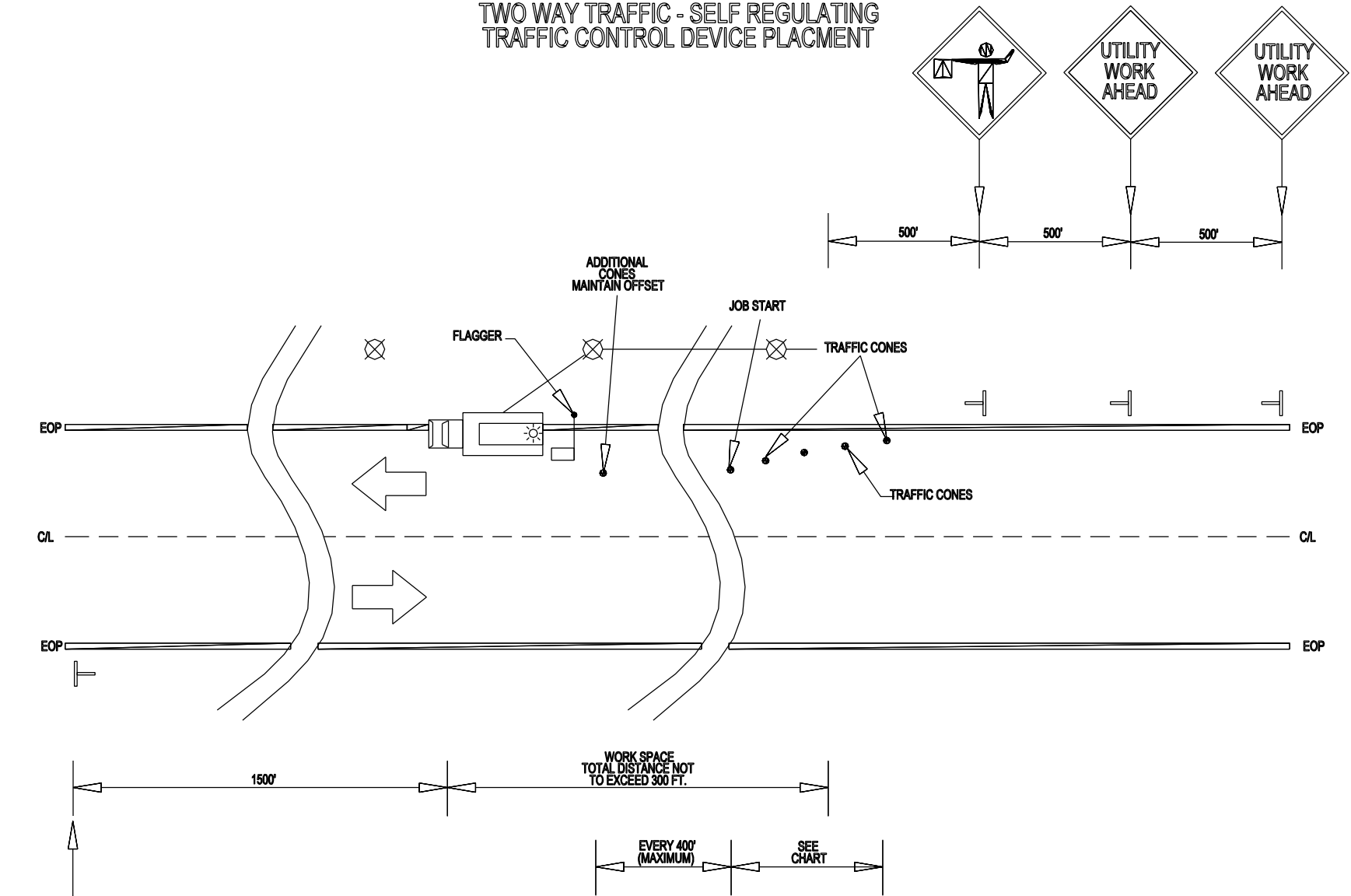
COMCAST CABLE
 5720 Asheville Hwy
 Knoxville, TN 37924

FARRAGUT CITY
 PERMIT APPLICATION





MOVING OPERATION TWO WAY TRAFFIC - SELF REGULATING TRAFFIC CONTROL DEVICE PLACEMENT



- NOTES:**
1. NO PARKING OF VEHICLES/EQUIPMENT ON THE ROADWAY SHOULDER OPPOSITE OF THE WORK AREA.
 2. DIAGRAM SHOWN FOR SPEED LIMIT OF 55MPH; FOR OTHER SPEED LIMITS, SEE CHART
 3. OPEN PORTION OF AFFECTED TRAFFIC LANE MUST BE AT LEAST TEN (10) FEET IN WIDTH.
 4. WHEN AERIAL FACILITIES ARE BEING PLACED WITH EQUIPMENT PARTIALLY ON THE TRAVELED PORTION OF THE HIGHWAY PLACE WARNING DEVICES AS ILLUSTRATED
*MAY USE "LANE NARROWS"

CONE AND WARNING SIGN SPACING AND TAPER LENGTHS					
SPEED LIMIT (MPH)	CONE SPACING (FT)	TAPER LENGTH (FT)	NUMBER OF CONES REQ'D	WARNING SIGN SPACING (FT)	MINIMUM SIGN SIZE
25	25	125	6	250	36"X36"
35	35	245	8	250	36"X36"
45	45	540	13	500	48"X48"
55	55	660	13	500	48"X48"
INTERSTATE, EXPRESSWAY AND LIMITED-ACCESS ROADWAYS				1000	48"X48"
				2640	48"X48"
				5280	48"X48"

REPORT TO THE MUNICIPAL PLANNING COMMISSION

Prepared By: Darryl Smith, Town Engineer

Subject: Discussion and public hearing on approval of a new traffic signal at the northern intersection of Concord Road (State Route 332) and Loop Road (Town of Farragut, Applicant)

Introduction & Background: The purpose of this item is the approval of a traffic signal to be located at the northern intersection of Concord Road and Loop Road.

Discussion & Recommendations: The Concord Road/Loop Road intersection meets warrants outlined in the Manual on Uniform Traffic Control Devices (MUTCD) for installation of a new traffic signal. The signal will provide safer and easier access to Concord Road, while creating gaps in northbound traffic that will enable others to enter Concord Road, particularly at Farragut Hills Boulevard during peak hours. No additional lanes are needed on Loop Road at this time, but a center turn lane could be added in the future with relatively minor modifications to the signal layout. The signal will be connected via fiber to the Town's Advanced Traffic Management System.

Recommended By: Darryl Smith, Town Engineer

Proposed Motion: Approval of the new traffic signal at the northern intersection of Concord Road and Loop Road as presented.

INDEX OF SHEETS

SHEET NAME	SHEET NO.
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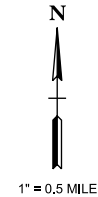
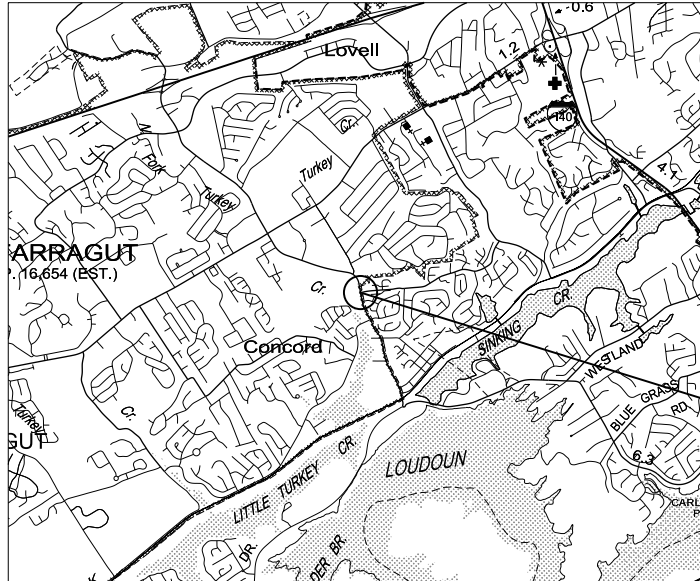


PROPOSALS MAY BE REJECTED IF ANY OF THE UNIT PRICES CONTAINED THEREIN ARE OBVIOUSLY UNBALANCED, EITHER EXCESSIVE OR BELOW THE REASONABLE COST ANALYSIS VALUE.

TDOT STANDARD ROADWAY AND TRAFFIC OPERATIONAL DRAWINGS

DRAWING NO.	CURRENT REV. DATE	DESCRIPTION
RD-A-1	02-20-20	STANDARD ABBREVIATIONS A THROUGH L
RD-A-2		STANDARD ABBREVIATIONS M THROUGH Z
RD-L-3	03-01-23	STANDARD LEGEND FOR SIGNALIZATION AND LIGHTING
RD-L-4	10-01-24	STANDARD LEGEND FOR SIGNALIZATION AND LIGHTING
RP-VC-10	03-04-21	VERTICAL CONCRETE CURBS AND CURB AND GUTTER (FOR 6" TO 12" GUTTER DEPTH)
RP-VC-11	03-04-21	VERTICAL CONCRETE CURB AND GUTTER (FOR 6" AND 7" GUTTER DEPTH)
MM-CR-1	06-28-19	DETECTABLE WARNING SURFACE PLACEMENT ON CRUB RAMPS
MM-CR-3		PARALLEL CURB RAMP
MM-CR-6		DUAL CROSSING CURB RAMP PLACED OUTSIDE CURVE
MM-CR-7		CURVE RAMPS IN BI-DIRECTIONAL DUAL CROSSING
T-M-3	01-24-25	MARKING STANDARDS FOR TRAFFIC ISLANDS, PAVED SHOULDERS AND MEDIANS FOR CONVENTIONAL ROADS
T-M-4	01-24-25	STANDARD INTERSECTION PAVEMENT MARKINGS
T-WZ-40	03-05-17	RIGHT LANE CLOSURES AT NEAR SIDE OF INTERSECTIONS
T-WZ-41	03-05-17	LEFT LANE CLOSURES AT NEAR SIDE OF INTERSECTIONS
T-WZ-51	04-02-12	TRAFFIC CONTROL FOR SIGNALS ONLY PROJECTS ON 4 OR 5 LANE MAJOR ROUTES
T-WZ-55	10-29-21	SIDEWALK TRAFFIC CONTROL
T-WZ-FAB1		FLASHING YELLOW ARROW BOARD
EC-STR-37	06-10-14	SEDIMENT TUBE
EC-STR-39A	08-01-12	CURB INLET PROTECTION TYPE 3 & 4
T-S-10	04-04-12	STANDARD MOUNTING DETAILS FLAT SHEET SIGNS ALUMINUM-STEEL DESIGN
T-S-16A	07-02-15	GROUND MOUNTED ROADSIDE SIGN PLACEMENT DETAILS
T-S-17	07-11-17	STANDARD GROUND MOUNTED SIGN USING PERFORATED/ KNOCKOUT SQUARE TUBE
T-S-19	06-12-20	STANDARD STEEL SIGN SUPPORTS
T-FO-2		FIBER OPTIC UNDERGROUND ENTRANCE DETAILS
T-FO-4		FIBER OPTIC PULL BOX, CABINET & POLE DETAILS
T-SG-2	06-27-16	LOOP LEAD-INS, CONDUIT AND PULL BOXES
T-SG-3A	06-27-16	ALTERNATE DETECTION DETAILS
T-SG-5	06-27-16	CONTROLLER CABINET DETAILS
T-SG-6	10-21-19	PEDESTRIAN SIGNAL DETAILS
T-SG-7	10-21-19	SIGNAL HEAD ASSEMBLIES
T-SG-7A		TYPICAL SIGNAL HEAD PLACEMENT FOR APPROACHES WITH NO THROUGH MOVEMENTS
T-SG-7C		TYPICAL SIGNAL HEAD PLACEMENT ONE-LANE AND TWO-LANE APPROACHES
T-SG-7H	10-21-19	TYPICAL SIGNAL HEAD PLACEMENT THREE-LANE AND FOUR-LANE APPROACHES
T-SG-9	07-15-24	DETAILS OF CANTILEVER SIGNAL SUPPORT
T-SG-9A	07-12-17	MISCELLANEOUS SIGNAL DETAILS
T-SG-10	09-12-23	MAST ARM POLE AND STRAIN POLES FOUNDATION DETAILS
T-SG-12	12-20-19	TYPICAL WIRING FOR SIGNAL HEADS AND DETECTION LOOPS

CONCORD ROAD AT LOOP ROAD TRAFFIC SIGNAL DESIGN



CONCORD ROAD AT LOOP ROAD

RON WILLIAMS, MAYOR
TOWN OF FARRAGUT
ENGINEERING DEPARTMENT
239 JAMESTOWNE BLVD, SUITE 201
FARRAGUT, TN 37934



THIS PROJECT TO BE CONSTRUCTED UNDER THE STANDARD SPECIFICATIONS OF THE TENNESSEE DEPARTMENT OF TRANSPORTATION DATED JANUARY 1, 2021 AND ADDITIONAL SPECIFICATIONS AND SPECIAL PROVISIONS CONTAINED IN THE PLANS AND IN THE PROPOSAL CONTRACT.

NO.	DATE	ISSUE DESCRIPTION



IF THIS DOCUMENT IS NOT SIGNED, SEALED, AND DATED, IT MAY NOT BE USED FOR CONSTRUCTION.

**CONCORD ROAD AT LOOP ROAD
TRAFFIC SIGNAL DESIGN**

PROJECT:



10025 Investment Drive, Suite 120
Knoxville, TN 37932
865.670.8555
www.cci-corp.com

CLIENT:

TOWN OF FARRAGUT
239 JAMESTOWN BLVD, SUITE 201
FARRAGUT, TENNESSEE 37934
865-966-7057

CCI PROJ. NO. 00394-0026.000

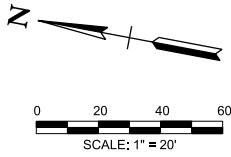
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TITLE SHEET

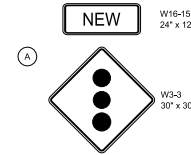
1



EXISTING WATER VALVE LOCATED IN AREA OF PROPOSED CURB RAMP NEAR POLE A TO BE ADJUSTED BY OTHERS. CONTRACTOR SHALL COORDINATE WITH FIRST UTILITY DISTRICT.

REMOVE EXISTING STOP AHEAD SIGN UPON INSTALLATION OF SIGN A
400' FROM STOP BAR

PROPOSED SIGN



SIGN A SHALL BE REMOVED BY THE TOWN OF FARRAGUT 6 MONTHS AFTER ACTIVATION OF SIGNAL STOP-AND-GO OPERATION.

EXISTING LEGEND

- UTILITY POLE
- CATCH BASIN
- POST MOUNTED SIGN
- F (UG) FIBER OPTIC CABLE
- ST STORM SEWER
- G GAS
- W WATER
- C OVERHEAD CABLE
- P PROPERTY LINE
- RIGHT-OF-WAY

PROPOSED LEGEND

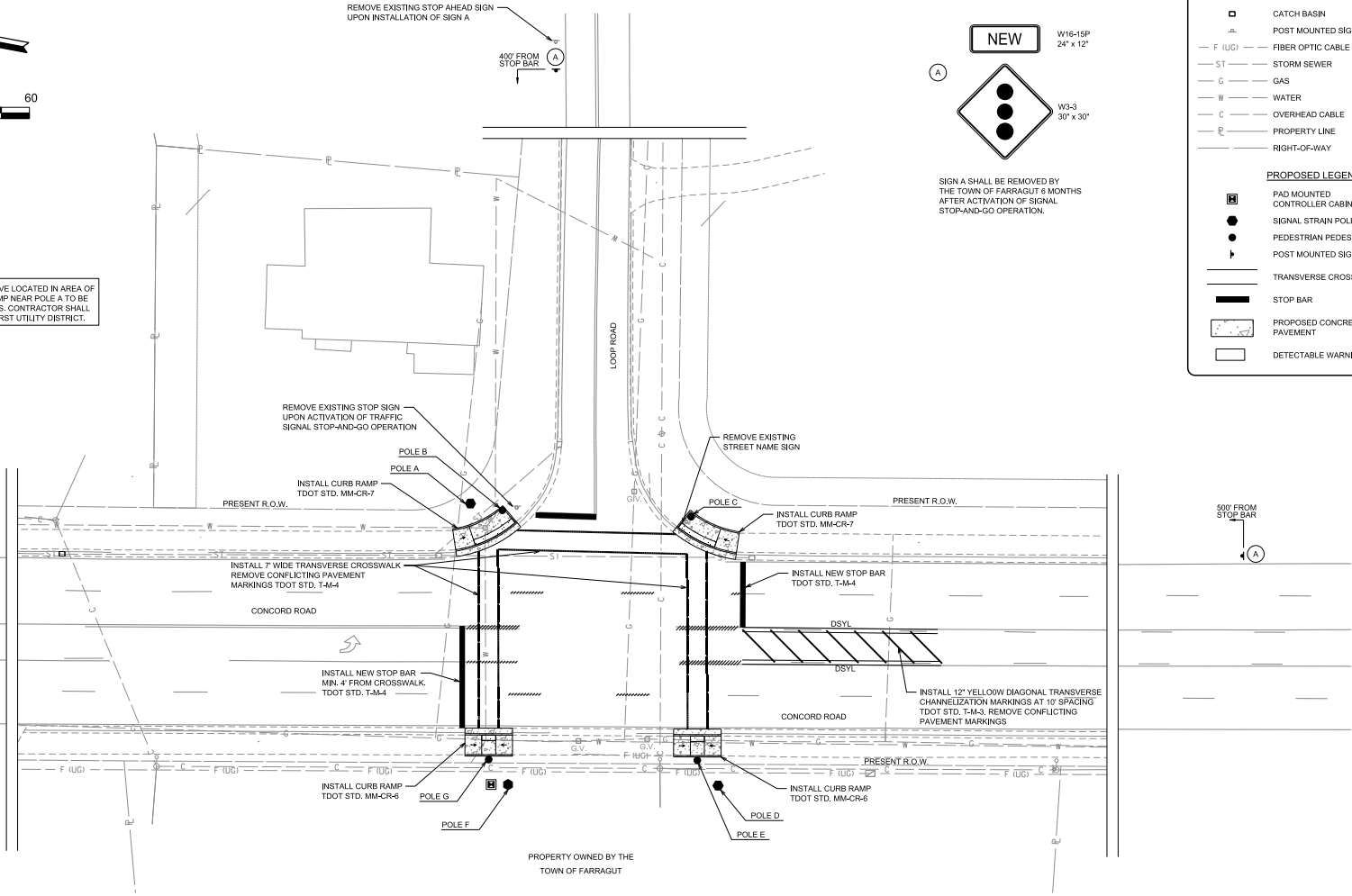
- PAD MOUNTED CONTROLLER CABINET
- SIGNAL STRAIN POLE
- PEDESTRIAN PEDESTAL POLE/POST
- POST MOUNTED SIGN
- TRANSVERSE CROSSWALK
- STOP BAR
- ▨ PROPOSED CONCRETE PAVEMENT
- DETECTABLE WARNING SURFACE

NO.	DATE	ISSUE DESCRIPTION
1	04/23/2025	REVISED PER UTILITY FEEDBACK



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**CONCORD ROAD AT LOOP ROAD
TRAFFIC SIGNAL DESIGN**



PROPOSED POLE LOCATIONS

POLE ID	POLE TYPE	NORTHING	EASTING
A	MAST ARM POLE	566099.50	2517415.67
B	PEDESTRIAN PEDESTAL POLE	566097.83	2517415.38
C	PEDESTRIAN PEDESTAL POLE	566021.10	2517426.63
D	MAST ARM POLE	565993.84	2517332.93
E	PEDESTRIAN PEDESTAL POLE	566032.80	2517340.45
F	MAST ARM POLE	566067.71	2517319.40
G	PEDESTRIAN PEDESTAL POLE	566076.16	2517326.97

COORDINATES FOR PROPOSED POLE LOCATIONS SHOULD BE FIELD VERIFIED WITH PROPOSED POLE LOCATIONS SHOWN ON THIS SHEET. CONTRACTOR TO VERIFY POLE HEIGHTS AND VERTICAL CLEARANCES PRIOR TO ORDERING POLES.

PROJECT:

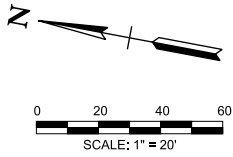
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10025 Investment Drive, Suite 120
Knoxville, TN 37932
865.670.8555
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239 JAMESTOWN BLVD, SUITE 201
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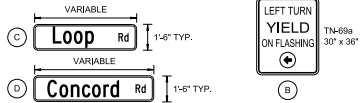
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PROPOSED LAYOUT

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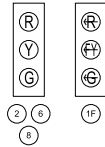
PROPOSED SIGNS



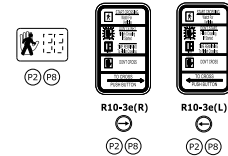
- NOTE:
- 10" U.C. LETTERS (MINIMUM)
 - 8" L.C. LETTERS (MINIMUM)
 - HIGH INTENSITY REFLECTIVE SHEETING
 - REFLECTIVE WHITE COPY
 - SIGN 'C' SHALL BE GREEN
 - SIGN 'D' SHALL BE BLUE

SNS LETTERING SHOWN FOR REFERENCE ONLY. SNS SIZE AND LETTERING TO BE COORDINATED AND DETERMINED BY THE TOWN OF FARRAGUT AND KNOX COUNTY PRIOR TO FABRICATION AND INSTALLATION. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH THE TOWN AND THE COUNTY, FABRICATIONS, AND INSTALLATIONS OF SNS'S.

PROPOSED SIGNAL HEADS



PROPOSED PEDESTRIAN SIGNAL DETAILS



PEDESTRIAN SIGNAL SPUSHBUTTONS SHALL BE ACCESSIBLE

EXISTING LEGEND

- UTILITY POLE
- ▣ FIBER OPTIC PULL BOX (TYPE B)
- F (UG) - FIBER OPTIC CABLE
- - - RIGHT-OF-WAY

PROPOSED LEGEND

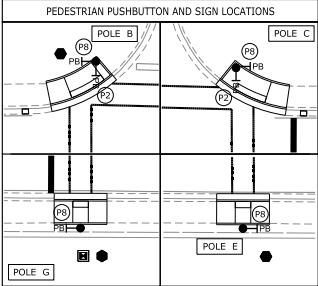
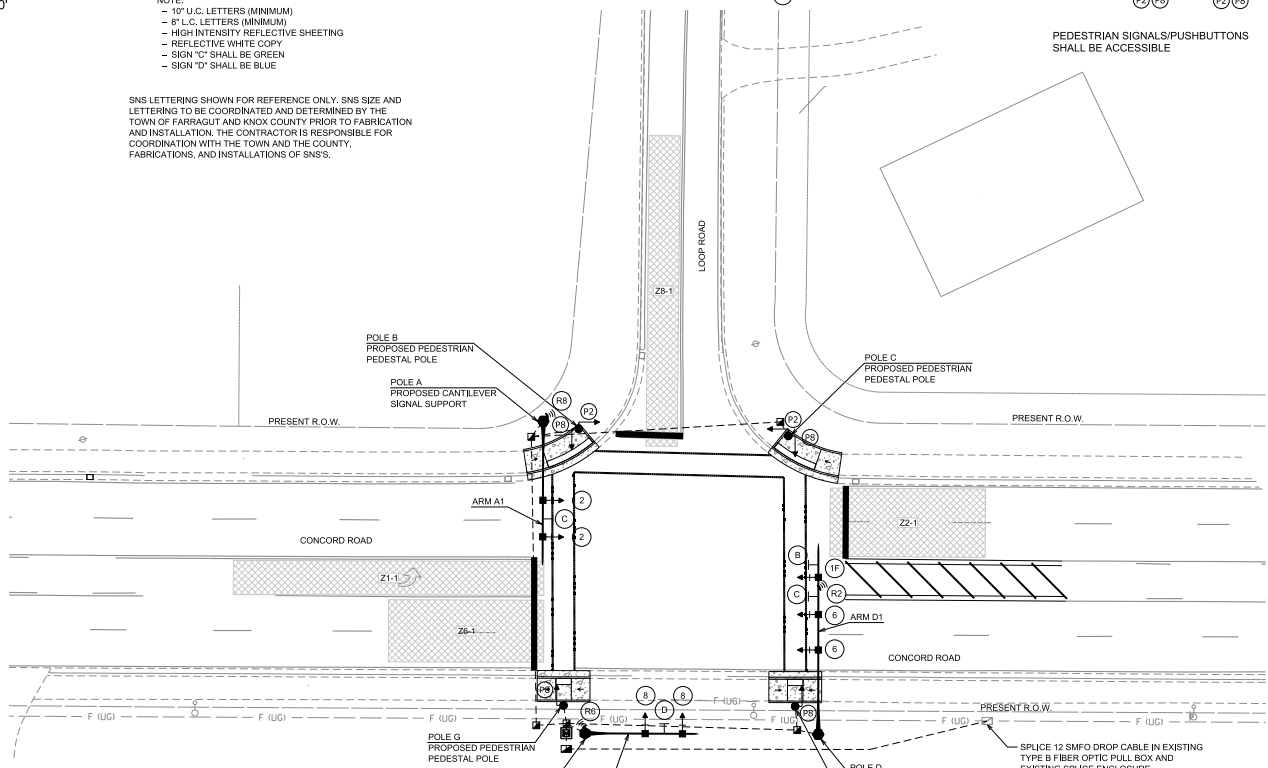
- ▣ PAD MOUNTED CONTROLLER CABINET
- SIGNAL STRAIN POLE
- PEDESTRIAN PEDESTAL POLE/POST
- ➡➡ VEHICLE SIGNAL HEAD W/ ASSOCIATED PHASE
- ➡➡ P2 PEDESTRIAN SIGNAL HEAD W/ ASSOCIATED PHASE
- PB P2 PEDESTRIAN PUSHBUTTON AND SIGN W/ ASSOCIATED PHASE
- ▣ RADAR DETECTOR
- ▣ SIGNAL PULL BOX (TYPE B)
- ▣ FIBER OPTIC PULL BOX (TYPE A)
- - - MAST ARM
- - - SIGNAL CONDUIT (PVC)
- ▣ RADAR DETECTION ZONE W/ ASSOCIATED PHASE

NO.	DATE	ISSUE DESCRIPTION



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CONCORD ROAD AT LOOP ROAD TRAFFIC SIGNAL DESIGN



CONNECTED VEHICLE EQUIPMENT

CONNECTED VEHICLE EQUIPMENT SHALL BE INSTALLED AT THIS INTERSECTION. CONTRACTOR SHALL DETERMINE OPTIMUM PLACEMENT OF RSU. SEE TECHNICAL SPECIAL PROVISIONS FOR ADDITIONAL GUIDANCE.

DETECTION ZONE SCHEDULE

ASSOC. ZONE	DETECTOR ID	ZONE DIMENSIONS	ASSOC. PHASE	AMP MODE	COMMENTS
Z1-1	R6	11 x 100	1	PRES.	DELAY/NORMAL W/ 3 SEC. DELAY
Z2-1	R2	20 x 50	2	PRES.	NORMAL
Z6-1	R6	22 x 50	6	PRES.	NORMAL
Z8-1	R8	10 x 100	8	PRES.	DELAY/NORMAL W/ 5 SEC. DELAY

- NOTES:
1. PROPOSED RADAR DETECTOR UNITS ARE SHOWN AT THE SUGGESTED PLACEMENT LOCATIONS. FINAL PLACEMENT SHALL BE BASED ON MANUFACTURER RECOMMENDATIONS.
 2. DETECTORS SPECIFIED AS DELAY/NORMAL SHALL HAVE A TIME DELAYED OUTPUT WHEN ASSOCIATED PHASE NOT GREEN (DE-AY SETTINGS AS SPECIFIED). OUTPUT SHALL BE NORMAL WHEN ASSOCIATED PHASE IS GREEN.
 3. ALL STOP BAR DETECTION ZONES SHALL BE PLACED 3 FEET IN FRONT OF STOP BAR UNLESS OTHERWISE NOTED.

CANNON & CANNON INC.

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Knoxville, TN 37932

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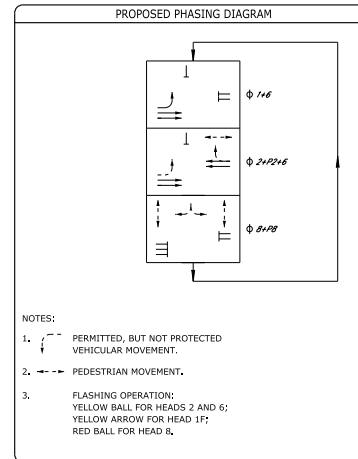
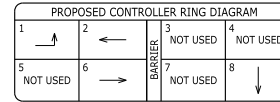
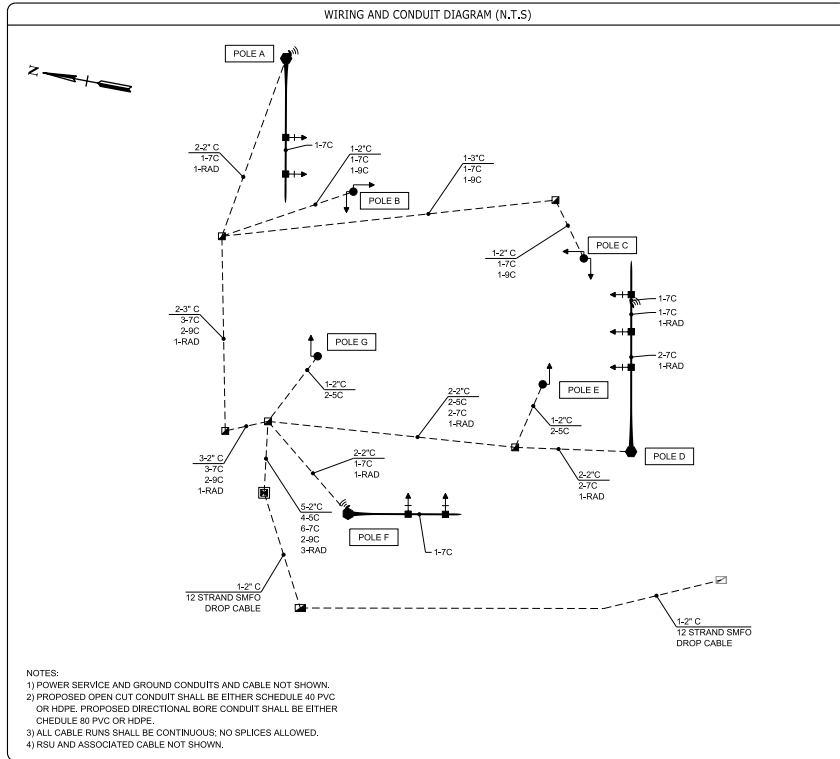
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239 JAMESTOWN BLVD, SUITE 201
FARRAGUT, TENNESSEE 37934
865-966-7057

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PROPOSED SIGNAL LAYOUT

3

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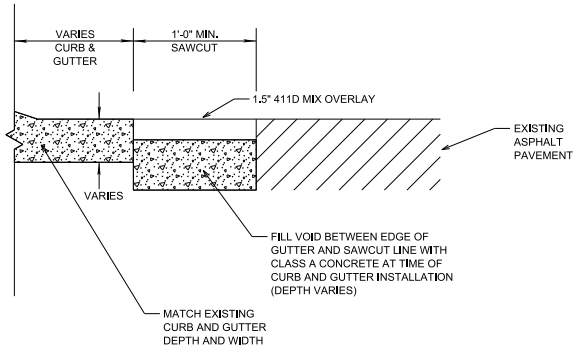


BASIC TIMING (SECS)											
PHASE	MINIMUM INITIAL	VEHICLE INTERVAL	MAX I	MAX II	CLEARANCE		PEDESTRIAN		RECALL TO	MEMORY POSITION	LEFT TURN OPERATION
					YELLOW	ALL RED	WALK	FLASHING DONT WALK			
1	5	1.5	15	20	4.0	1.0	-	-	MIN	OFF	PT+PM
2	10	2.0	50	60	4.0	1.0	7.0	11.0	MIN	OFF	
6	10	2.0	50	60	4.0	1.0	-	-	MIN	OFF	
8	6	1.0	30	40	4.0	1.5	7.0	16.0	MIN	OFF	

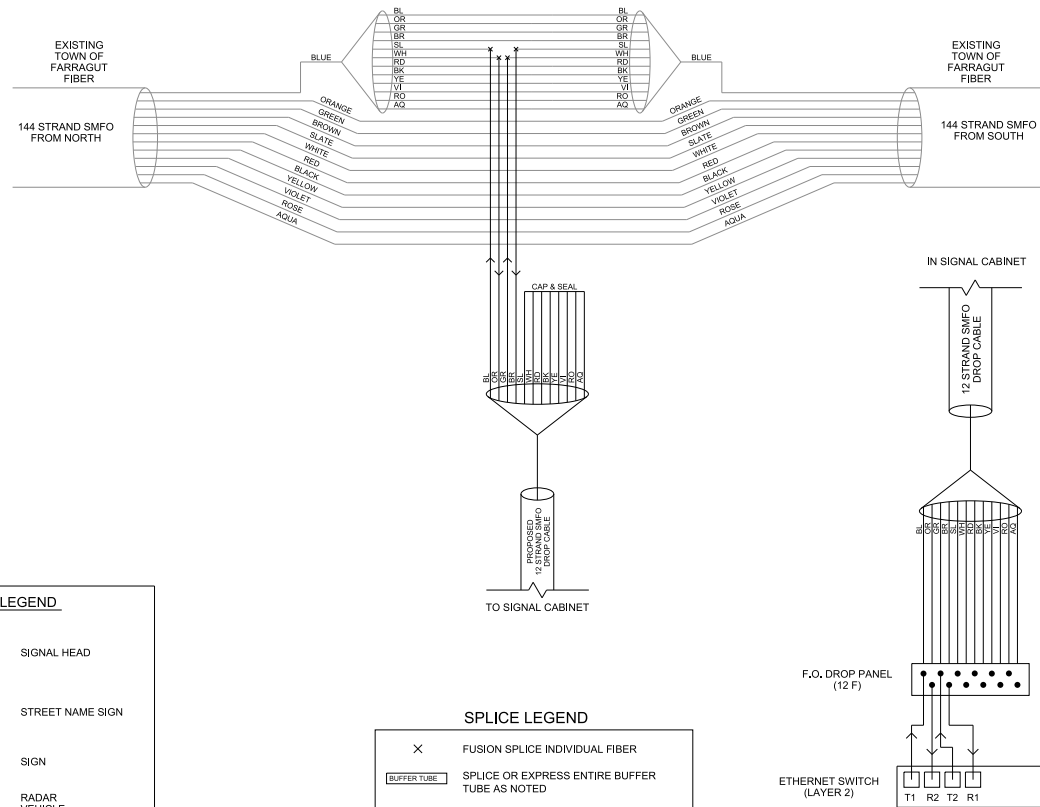
*COORDINATION TIMING TO BE PROVIDED BY THE TOWN OF FARRAGUT

NO.	ISSUE DESCRIPTION
DATE:	
<p>CONCORD ROAD AT LOOP ROAD TRAFFIC SIGNAL DESIGN</p>	
<p>10025 Investment Drive, Suite 120 Knoxville, TN 37932 865.670.8555 www.cci-corp.com</p>	
<p>CLIENT: TOWN OF FARRAGUT 239 JAMESTOWN BLVD, SUITE 201 FARRAGUT, TENNESSEE 37934 865-966-7057</p>	
<p>CCI PROJ. NO. 00394-0026.000 DATE: 04/09/2025 PM/PC: BHM DRAWN BY: WDR</p>	
<p>SIGNAL OPERATIONAL SETTINGS</p>	
4	

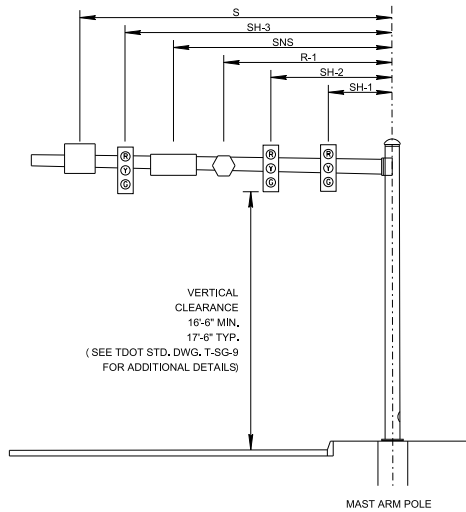
TYPICAL SAWCUT TIE-IN (N.T.S.)



FIBER SPLICE DIAGRAM



SIGNAL POLE DATA



LEGEND

- SIGNAL HEAD
- STREET NAME SIGN
- SIGN
- RADAR VEHICLE DETECTOR

S: SIGN
 SNS: STREET NAME SIGN
 SH-X: SIGNAL HEAD
 R: RADAR VEHICLE DETECTOR

SPLICE LEGEND

X FUSION SPLICE INDIVIDUAL FIBER

BUFFER TUBE SPLICE OR EXPRESS ENTIRE BUFFER TUBE AS NOTED

COLOR CODE TIA/EIA 598-A

(1) BLUE	(7) RED
(2) ORANGE	(8) BLACK
(3) GREEN	(9) YELLOW
(4) BROWN	(10) VIOLET
(5) SLATE	(11) ROSE
(6) WHITE	(12) AQUA

SIGNAL SUPPORT POLE DATA AND MAST ARM DETAILS								
POLE NO.	ARM	ARM LENGTH	SH-1	R-1	SNS	SH-2	S	SH-3
A	A1	45'	25.5'	0'	31.5'	37'	-	-
D	D1	60'	27'	47'	44.5'	38.5'	53'	49.0'
F	F1	35'	19.5'	0'	25.5'	31.5'	-	-

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CONCORD ROAD AT LOOP ROAD TRAFFIC SIGNAL DESIGN	
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CCI PROJ. NO. 00399-0026.000 DATE: 04/09/2025 PM/PC: BHM DRAWN BY: WDR	
MISCELLANEOUS DETAILS	
5	

FOOT NOTES	ITEM NO.	DESCRIPTION	UNIT	QTY.
	105-01	CONSTRUCTION STAKES, LINES AND GRADES	LS	1
	202-03-01	REMOVAL OF ASPHALT PAVEMENT	SY	13
	202-08-15	REMOVAL OF CURB AND GUTTER (AREA NEAR CURB RAMPS)	LF	105
2	209-05	SEDIMENT REMOVAL	CY	2
2	209-09-43	CURB INLET PROTECTION (TYPE 4)	EACH	2
3	407-02-14	ASPHALT PAVEMENT REPAIR	SY	13
	407-20-05	SAW CUTTING ASPHALT PAVEMENT	LF	110
	701-02-01	CONCRETE CURB RAMP (RETROFIT)	SF	675
	702-03	CONCRETE COMBINED CURB & GUTTER	CY	6
4	712-01	TRAFFIC CONTROL	LS	1
	713-14.21	STREET NAME SIGN (RIGID 0.100IN THICK)	SF	36
	713-15.36	REMOVE SIGN, SUPPORT & FOOTING	EACH	2
	713-16.20	SIGNS (W3-3 W/ W16-15P)	EACH	3
	713-16.21	SIGNS (TN-69A)	EACH	1
5	716-02.03	PLASTIC PAVEMENT MARKING (CROSS-WALK)	LF	215
5	716-02.04	PLASTIC PAVEMENT MARKING (CHANNELIZATION STRIPING)	SY	15
5	716-02.05	PLASTIC PAVEMENT MARKING (STOP LINE)	LF	85
6	716-08.01	REMOVAL OF PAVEMENT MARKING (LINE)	LF	400
6	716-08.03	REMOVAL OF PAVEMENT MARKING (CROSS-WALK)	LF	70
	716-12.02	ENHANCED FLATLINE THERMO PVMT MRKNG (6IN LINE)	LM	0.1
	717-01	MOBILIZATION	LS	1
7	725-28.20	SYSTEM INTEGRATION	LS	1
	730-02.09	SIGNAL HEAD ASSEMBLY (130 WITH BACKPLATE)	EACH	6
	730-02.55	SIGNAL HEAD ASSEMBLY (130 A3FY WITH BACKPLATE)	EACH	1
	730-03.21	INSTALL PULL BOX (TYPE B)	EACH	5
7	730-03.33	FIBER OPTIC SPLICE FUSION	EACH	4
7	730-03.41	ETHERNET SWITCH (FIELD LAYER 2)	EACH	1
7	730-03.56	FIBER OPTIC DROP CABLE (12F)	LF	200
7	730-03.57	FIBER OPTIC DROP PANEL (12F)	EACH	1
8	730-05.01	ELECTRICAL SERVICE CONNECTION	EACH	1
	730-08.02	SIGNAL CABLE - 5 CONDUCTOR	LF	280
	730-08.03	SIGNAL CABLE - 7 CONDUCTOR	LF	1000
	730-08.04	SIGNAL CABLE - 9 CONDUCTOR	LF	360
9	730-12.02	CONDUIT 2" DIAMETER (PVC SCHEDULE 40)	LF	625
10	730-12.24	CONDUIT 3" DIAMETER (DIRECTIONAL BORE)	LF	295
7, 11	730-13.12	VEHICLE DETECTOR (RADAR - STOP LINE)	EACH	1
7, 12, 15	730-15.07	CABINET (TS2 TYPE 2, BASE MOUNTED)	EACH	1
7, 13	730-16.04	CONTROLLER (ATC)	EACH	1
14, 15	730-23.28	PEDESTAL POLE (TYPE A)	EACH	4
14, 15	730-23.72	CANTILEVER SIGNAL SUPPORT (1 ARM @ 35')	EACH	1
14, 15	730-23.88	CANTILEVER SIGNAL SUPPORT (1 ARM @ 45')	EACH	1
14, 15	730-25.11	CANTILEVER SIGNAL SUPPORT (1 ARM @ 60')	EACH	1
7	730-26.11	COUNTDOWN PED SGNL HEAD W/AUDIBLE PUSHBUTTON & 15IN SIGN	EACH	6
7	730-35.50	ROAD SIDE UNIT (RSU)	EACH	1
2	740-11.01	TEMPORARY SEDIMENT TUBE 8IN	LF	300
2	801-03	WATER (SEEDING AND SODDING)	MG	0.4
2	803-01	SODDING (NEW SOD)	SY	450

- (8) PAY ITEM INCLUDES CONDUIT, CABLE, AND ALL OTHER ITEMS NECESSARY TO INSTALL ELECTRICAL SERVICE CONNECTION AT THE INTERSECTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE LOCAL UTILITY TO OBTAIN THE ESTIMATE FOR ANY CHARGES BY THE UTILITY FOR PROVIDING ELECTRICAL SERVICE TO THE SIGNAL CONTROLLER. THESE CHARGES SHALL BE INCLUDED IN THE PRICE BID FOR THIS ITEM.
- (9) CONDUIT SHALL BE SCHEDULE 40 PVC OR HDPE. CONDUIT SHALL INCLUDE TRACER WIRE.
- (10) CONDUIT SHALL BE SCHEDULE 80 PVC OR HDPE. CONDUIT SHALL INCLUDE TRACER WIRE.
- (11) STOP LINE RADAR DETECTION SHALL BE WAVETRONIX SMARTSENSOR MATRIX. ITEM INCLUDES 3 SENSOR UNITS, HARDWARE, SOFTWARE, PROCESSOR, MOUNTING ASSEMBLIES, POWER CABLE, AND RELATED EQUIPMENT TO PROVIDE FOR ALL STOP BAR DETECTION ZONES AS SHOWN ON THE PLANS.
- (12) ITEM INCLUDES FOUNDATION.
- (13) CONTROLLER SHALL BE MCCAIN ATC EX2 NEMA.
- (14) PAY ITEM INCLUDES THE COST OF THE FOUNDATION DESIGN AND, IF NECESSARY, THE SOIL EXPLORATION REQUIRED FOR THE DESIGN OF THE SIGNAL POLE FOUNDATION.
- (15) ITEM SHALL BE BLACK POWDER COATED.

FOOTNOTES:

- (1) DEPENDENT UPON THE DEPTH OF REMOVAL NEEDED, THIS PAY ITEM MAY SOMETIMES INCLUDE REMOVAL OF BASE MATERIAL THAT IS BELOW THE PAVEMENT SECTION.
- (2) PAY ITEM SHALL ONLY BE USED WHERE INDICATED BY THE ENGINEER OR INSPECTOR. SEE SUBSECTION 209.07 OF THE STANDARD SPECIFICATIONS FOR MAINTENANCE REPLACEMENT.
- (3) INCLUDES ALL NECESSARY BASE MATERIAL AND SITE PREPARATION FOR THE AREA OF REPAIR.
- (4) PAY ITEM IS INCLUSIVE OF ALL TEMPORARY TRAFFIC CONTROL ACTIVITIES AND DEVICES, INCLUDING BUT NOT LIMITED TO CONSTRUCTION SIGNS, CHANNELIZING DEVICES, BARRICADES, WARNING LIGHTS, ARROW BOARDS, AND MESSAGE SIGNS.
- (5) THE CONTRACTOR MAY ELECT TO SUBSTITUTE PREFORMED PLASTIC FOR THERMOPLASTIC. PREFORMED PLASTIC SHALL BE PAID FOR AT THE SAME UNIT PRICE AS THERMOPLASTIC.
- (6) PAVEMENT MARKING REMOVAL SHALL BE COMPLETED USING WATERBLASTING, HYDROBLASTING, OR GRINDING TECHNIQUES TO MINIMIZE VISIBILITY OF EXISTING STRIPING.
- (7) SEE SPECIAL PROVISION 730F SUPPLEMENTAL (SP 730FS) IN THE PROJECT MANUAL FOR SPECIFICATION OF THESE ITEMS.

NO.	DATE	ISSUE DESCRIPTION
1	04/23/2025	REVISED TO REMOVE LINES ON FOOTNOTES



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**CONCORD ROAD AT LOOP ROAD
TRAFFIC SIGNAL DESIGN**

PROJECT:



10025 Investment Drive, Suite 120
Knoxville, TN 37932
865.670.8555
www.cci-corp.com

CLIENT:
TOWN OF FARRAGUT
239 JAMESTOWN BLVD, SUITE 201
FARRAGUT, TENNESSEE 37934
865-966-7057

CCT PROJ. NO. 00399-0026.000
DATE: 04/09/2025
PM/PC: BHM
DRAWN BY: WDR

ESTIMATED QUANTITIES

6

NOTES

SCOPE OF WORK

THIS PROJECT CONSISTS OF A NEW TRAFFIC SIGNAL AT THE EXISTING INTERSECTION OF CONCORD ROAD (SR 332) AT LOOP ROAD IN THE TOWN OF FARRAGUT. THE SCOPE OF WORK INCLUDES THE INSTALLATION OF NEW MAST ARM POLES, CABINET, CONTROLLER, DETECTION, SIGNAL HEADS, PEDESTRIAN SIGNALS, CONDUIT, PULL BOXES, WIRING, FIBER COMMUNICATION, CONNECTED VEHICLE EQUIPMENT, CURB RAMPS, PAVEMENT MARKING, SIGNING, TRAFFIC CONTROL, EROSION CONTROL, AND INCIDENTALS TO PROVIDE A FULL FUNCTIONAL TRAFFIC SIGNAL.

SIGNALIZATION

- (1) THE DESIGN OF TRAFFIC SIGNAL SUPPORT POLES, MAST ARMS, STRAIN POLES, ETC. SHALL BE IN CONFORMANCE WITH THE AASHTO STANDARD SPECIFICATIONS FOR STRUCTURAL SUPPORTS FOR HIGHWAY SIGNS, LUMINAIRES AND TRAFFIC SIGNALS, CURRENT EDITION. OVERHEAD CANTILEVERED TRAFFIC SIGNAL STRUCTURES SHALL BE DESIGNED FOR FATIGUE CATEGORY 1.
- (2) THE TRAFFIC SIGNAL CONTRACTOR MUST PREQUALIFY WITH THE TENNESSEE DEPARTMENT OF TRANSPORTATION (TDOT), ONLY CONTRACTORS THAT HAVE BEEN PRE-QUALIFIED BY TDOT CAN PERFORM WORK ON THE TRAFFIC SIGNAL.
- (3) CONTRACTOR SHALL HAVE AN IMSA LEVEL II CERTIFIED TECHNICIAN ON-SITE DURING ALL CABINET RELATED CONSTRUCTION AND START-UP OPERATION OF THE SIGNAL.
- (4) CONTRACTOR SHALL SUBMIT ALL SHOP DRAWINGS TO THE TOWN OF FARRAGUT FOR APPROVAL PRIOR TO ORDERING ALL MATERIALS.
- (5) IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE TOWN OF FARRAGUT IN WRITING WHEN ALL WORK HAS BEEN COMPLETED AND THE SIGNAL INSTALLATION IS READY FOR FINAL INSPECTION.
- (6) EQUIPMENT AND INSTALLATION OF TRAFFIC SIGNAL SHALL COMPLY WITH THE APPLICABLE SECTIONS OF THE TDOT STANDARD SPECIFICATIONS SECTION 730. THE TOWN OF FARRAGUT'S SPECIAL PROVISIONS REGARDING SECTION 730FA-TRAFFIC SIGNALS", TDOT STANDARD TRAFFIC OPERATIONS DRAWINGS, AND THE REQUIREMENTS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD).
- (7) ALL EQUIPMENT SHALL MEET ALL APPLICABLE NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION STANDARDS.
- (8) ALL NEW TRAFFIC SIGNAL HEADS SHALL BE INCANDESCENT STYLE L.E.D. (LIGHT EMITTING DIODE) TYPE WITH CLEAR LENSES MEETING THE CURRENT STANDARDS PUBLISHED BY THE INSTITUTE OF TRANSPORTATION ENGINEERS. INCANDESCENT OR SCREW-IN MODULES ARE NOT ACCEPTABLE. COMPATIBILITY WITH CONFLICT MONITORS SHALL BE TESTED AND CONFIRMED. MANUFACTURER SHALL PROVIDE A MINIMUM FIVE-YEAR WARRANTY FOR OPERATION OF THE UNIT.
- (9) CIRCULAR INDICATIONS SHALL MEET "ITE VTSCH-LED CIRCULAR SIGNAL SUPPLEMENT" FOR EXPANDED/EXTENDED VIEW.
- (10) ARROW INDICATIONS SHALL MEET "ITE VTCSH-3 LED ARROW SPECIFICATION" FOR EXPANDED/EXTENDED VIEW.
- (11) SIGNAL HEADS SHALL BE BLACK IN COLOR AND EQUIPPED WITH BLACK SAFETY BACKPLATES WITH 2 INCH YELLOW RETROREFLECTIVE BORDERS AROUND THE FULL PERIMETER OF THE BACKPLATE. THE BORDER SHALL BE MADE OF TYPE III PRISMATIC OR BETTER MATERIAL.
- (12) PEDESTRIAN INDICATIONS SHALL MEET "ITE PTCSI PART 2".
- (13) ALL PEDESTRIAN SIGNAL HEADS SHALL BE BLACK IN COLOR.
- (14) ALL PEDESTRIAN TRAFFIC CONTROL INDICATIONS, WHERE CALLED FOR SHALL CONSIST OF LED MODULES DISPLAYING "WALKING PERSON" AND "HAND" SYMBOLS, ALONG WITH A PEDESTRIAN INTERVAL COUNTDOWN DISPLAY, WITHIN THE SAME FACE UNLESS OTHERWISE NOTED IN THE PLANS.
- (15) INCANDESCENT OR SCREW-IN MODULES ARE NOT ACCEPTABLE.
- (16) COMPATIBILITY WITH CONFLICT MONITORS AND LOAD SWITCHES SHALL BE TESTED AND CONFIRMED.

- (17) PEDESTRIAN PUSHBUTTONS SHALL BE FULLY ACCESSIBLE AND AUDIBLE WITH A VIBRO-TACTILE SURFACE AND COMPLIANT WITH ALL REQUIREMENTS OF THE MUTCD, ADA, AND PROWAG.
- (18) ALL SIGNAL CABLE SHALL BE INTERNATIONAL MUNICIPAL SIGNAL ASSOCIATION (IMSA) APPROVED CABLE AND SHALL COMPLY WITH TDOT STANDARD SPECIFICATIONS.
- (19) NEW SIGNAL CONTROLLERS SHALL BE MCCAIN ATC EX2 NEMA.
- (20) NEW SIGNAL CABINET SHALL BE 16-CHANNEL TS2 TYPE 2 COMPLETE WITH PANELS, WIRING, AND OTHER INCIDENTALS REQUIRED FOR COMPLETE OPERATION.
- (21) SIGNAL HEADS, WHEN VISIBLE TO DRIVERS BUT NOT OPERATIONAL, SHALL BE COMPLETELY COVERED.
- (22) CONTRACTOR SHALL STAKE THE LOCATION OF POLES, PEDESTALS, AND PULLBOXES PRIOR TO INSTALLATION AND SHALL CONTACT THE TOWN OF FARRAGUT FOR APPROVAL. ANY FIELD ADJUSTMENTS SHALL REQUIRE APPROVAL BY THE TOWN.
- (23) LOCATIONS OF SIGNAL POLES AND PULL BOXES ARE APPROXIMATE AND CAN BE ADJUSTED UP TO 2 FEET IN THE FIELD TO AVOID UTILITY CONFLICT. SUBJECT TO THE APPROVAL OF THE ENGINEER, IF SIGNAL POLES REQUIRE RELOCATION, CONTRACTOR SHALL COORDINATION WITH THE ENGINEER TO ESTABLISH LOCATIONS OR ADDITIONAL SIDEWALK OR PUSHBUTTON POSTS TO MAINTAIN ADA ACCESSIBILITY TO PUSHBUTTONS.
- (24) CLOSELY COORDINATE FOOTING INSTALLATION WITH EXISTING UTILITIES. HAND DIG FOUNDATION OR VARY SIZE AS REQUIRED.
- (25) ALL TRAFFIC SIGNAL EQUIPMENT SHALL BE INSTALLED WITHIN THE RIGHT-OF-WAY. NO EXCEPTIONS WILL BE PERMITTED WITHOUT WRITTEN APPROVAL FROM THE TOWN OF FARRAGUT.
- (26) CONTRACTOR SHALL CONTACT THE TOWN OF FARRAGUT ONE DAY PRIOR TO CONCRETE PLACEMENT FOR SIGNAL POLE FOUNDATIONS.
- (27) EACH POLE FOUNDATION SHALL INCLUDE AT LEAST ONE SPARE 2-INCH CONDUIT.
- (28) CONDUIT UNDER EXISTING ROADWAY PAVEMENT PAVED DRIVEWAYS AND SIDEWALK SHALL BE DIRECTIONAL BORE INSTALLATION.
- (29) DETECTION SHALL BE RADAR DETECTION UTILIZING WAVETRONIX SMARTSENSOR MATRIX AND ADVANCE, LATEST VERSIONS. DETECTOR UNITS SHALL BE PLACED ON MANUFACTURER RECOMMENDED RISERS AND/OR EXTENSION ARMS TO MAXIMIZE DETECTION WITHIN THE DETECTION ZONES, EITHER CURRENT OR SPECIFIED ON THE SIGNAL LAYOUT SHEETS. SENSOR LOCATIONS MAY VARY FROM THAT SHOWN ON THE LAYOUT SHEETS IF THE REVISED LOCATION IMPROVES DETECTION ACCURACY. CONTRACTOR SHALL NOT REVISE THESE LOCATIONS WITHOUT RECEIVING APPROVAL FROM THE TOWN OF FARRAGUT.
- (30) ALL SIGNAL POLES, MAST ARMS, PEDESTALS, AND CABINETS SHALL BE BLACK IN COLOR.

CONSTRUCTION WORK ZONE & TRAFFIC CONTROL

- (1) TEMPORARY TRAFFIC CONTROL DEVICES AND MEASURES SHALL BE PROVIDED DURING CONSTRUCTION IN FULL COMPLIANCE WITH THE LATEST EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES". THIS INCLUDES USE OF TYPICAL APPLICATION DIAGRAMS IN SECTION 6P.01 WHERE APPLICABLE.
- (2) TRAFFIC CONTROL DEVICES SHALL NOT BE DISPLAYED OR ERECTED UNLESS RELATED CONDITIONS ARE PRESENT NECESSITATING WARNING.
- (3) NO LANE CLOSURES WILL BE PERMITTED MONDAY-FRIDAY FROM 8:00 A.M. TO 9:00 A.M. AND 3:00 P.M. TO 7:00 P.M. APPROVAL FOR EXCEPTIONS MUST BE OBTAINED FROM THE TOWN OF FARRAGUT.
- (4) LANE CLOSURES ON STATE ROUTES ARE TO BE APPROVED BY THE TOWN OF FARRAGUT ENGINEERING DEPARTMENT AND THE TDOT INCIDENT MANAGEMENT OFFICE, MARK DYKES, AT 865-594-2456. LANE CLOSURES ON ALL OTHER STREETS ARE TO BE APPROVED BY THE TOWN OF FARRAGUT ENGINEERING DEPARTMENT AT 865-966-7057

MISCELLANEOUS

- (1) NOTHING IN THE NOTES OR SPECIAL PROVISIONS SHALL RELIEVE THE CONTRACTOR FROM HIS RESPONSIBILITIES TOWARD THE SAFETY AND CONVENIENCE OF THE GENERAL PUBLIC AND THE RESIDENTS ALONG THE PROPOSED CONSTRUCTION AREA.
- (2) ANY DISTURBED AREA DURING CONSTRUCTION SHALL BE RESTORED TO ORIGINAL CONDITION OR AS ACCEPTABLE BY THE TOWN OF FARRAGUT.
- (3) ALL NEW PAVEMENT MARKINGS SHOWN ON THE PLANS SHALL BE THERMOPLASTIC.
- (4) EROSION CONTROL DEVICES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE TENNESSEE EROSION AND SEDIMENT CONTROL HANDBOOK.
- (5) THE CONTRACTOR SHALL ESTABLISH AND MAINTAIN A PROACTIVE METHOD TO PREVENT SOIL MATERIAL, LITTER, CONSTRUCTION DEBRIS, CONSTRUCTION WASTES, PETROLEUM PRODUCTS AND OTHER CHEMICAL POLLUTANTS FROM ENTERING WATERS OF THE STATE/U.S.

NO.	DATE	ISSUE DESCRIPTION



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CONCORD ROAD AT LOOP ROAD TRAFFIC SIGNAL DESIGN

PROJECT:



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 Knoxville, TN 37932
 865.670.8555
 www.cci-corp.com

CLIENT:
TOWN OF FARRAGUT
 239 JAMESTOWN BLVD, SUITE 201
 FARRAGUT, TENNESSEE 37934
 865-966-7057

CCI PROJ. NO. 00394-0026_000
 DATE: 04/09/2025
 PM/PC: BHM
 DRAWN BY: WDR

NOTES

7

UTILITY

- (1) THE LOCATIONS OF UTILITIES SHOWN WITHIN THESE PLANS ARE APPROXIMATE ONLY. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES, ABOVE GRADE AND UNDERGROUND UTILITIES SHOWN WERE TAKEN FROM VISIBLE APPURTENANCES AT THE SITE, PUBLIC RECORDS, AND/OR MAPS PREPARED BY OTHERS, THEREFORE, RELIANCE UPON THE TYPE, SIZE, AND LOCATION OF UTILITIES SHOWN SHOULD BE DONE SO WITH THIS CIRCUMSTANCE CONSIDERED. DETAILED VERIFICATION OF EXISTENCE, LOCATION, AND DEPTH SHOULD ALSO BE MADE PRIOR TO ANY DECISION RELATIVE THERETO IS MADE. AVAILABILITY AND COST OF SERVICE SHOULD BE CONFIRMED WITH THE APPROPRIATE UTILITY COMPANY. IN TENNESSEE, IT IS A REQUIREMENT, PER "THE UNDERGROUND UTILITY DAMAGE PREVENTION ACT", THAT ANYONE WHO ENGAGES IN EXCAVATION MUST NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNERS, NO LESS THAN THREE (3) OR NOT MORE THAN TEN (10) WORKING DAYS PRIOR TO THE DATE OF THEIR INTENT TO EXCAVATE AND ALSO TO AVOID ANY POSSIBLE HAZARD OR CONFLICT. NOTIFICATION BY CALLING THE TENNESSEE ONE CALL SYSTEM, INC., AT 1-800-351-1111 AS REQUIRED BY TCA 65-31-106 WILL BE REQUIRED.
- (2) UNLESS OTHERWISE NOTED, ALL UTILITY ADJUSTMENTS WILL BE PERFORMED BY THE UTILITY OR ITS REPRESENTATIVE. THE CONTRACTOR AND UTILITY OWNERS WILL BE REQUIRED TO COOPERATE WITH EACH OTHER IN ORDER TO EXPEDITE THE WORK REQUIRED BY THIS CONTRACT. ON CONTRACTS WHERE CONSTRUCTION STAKES, LINES, AND GRADES ARE CONTRACT ITEMS, THE CONTRACTOR WILL BE REQUIRED TO PROVIDE RIGHT-OF-WAY OR SLOPE STAKES, DITCH OR STREAM BED GRADES, OR OTHER ESSENTIAL SURVEY STAKING TO PREVENT CONFLICTS WITH THE HIGHWAY CONSTRUCTION. FREQUENTLY, THIS WILL BE REQUIRED AS THE FIRST ITEM OF WORK AND AT ANY LOCATION ON THE PROJECT DIRECTED BY THE ENGINEER.
- (3) THE CONTRACTOR WILL PROVIDE ALL NECESSARY PROTECTIVE MEASURES TO SAFEGUARD EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION OF THIS PROJECT. IN THE EVENT THAT SPECIAL EQUIPMENT IS REQUIRED TO WORK OVER AND AROUND THE UTILITIES, THE CONTRACTOR WILL BE REQUIRED TO FURNISH SUCH EQUIPMENT. THE COST OF PROTECTING UTILITIES FROM DAMAGE AND FURNISHING SPECIAL EQUIPMENT WILL BE INCLUDED IN THE PRICE BID FOR OTHER ITEMS OF CONSTRUCTION.
- (4) PRIOR TO SUBMITTING HIS BID, THE CONTRACTOR WILL BE SOLELY RESPONSIBLE FOR CONTACTING OWNERS OF ALL AFFECTED UTILITIES IN ORDER TO DETERMINE THE EXTENT TO WHICH UTILITY RELOCATIONS AND/OR ADJUSTMENTS WILL HAVE UPON THE SCHEDULE OF WORK FOR THE PROJECT. WHILE SOME WORK MAY BE REQUIRED 'AROUND' UTILITY FACILITIES THAT WILL REMAIN IN PLACE, OTHER UTILITY FACILITIES MAY NEED TO BE ADJUSTED CONCURRENTLY WITH THE CONTRACTOR'S OPERATIONS. ADVANCE CLEAR CUTTING MAY BE REQUIRED BY THE ENGINEER AT ANY LOCATION WHERE CLEARING IS CALLED FOR IN THE SPECIFICATIONS AND CLEAR CUTTING IS NECESSARY FOR A UTILITY RELOCATION. ANY ADDITIONAL COST WILL BE INCLUDED IN THE UNIT PRICE BID FOR THE CLEARING ITEM SPECIFIED IN THE PLANS.
- (5) THE CONTRACTOR SHALL NOTIFY EACH INDIVIDUAL UTILITY OWNER OF HIS PLAN OF OPERATION IN THE AREA OF THE UTILITIES, PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL CONTACT THE UTILITY OWNERS AND REQUEST THEM TO PROPERLY LOCATE THEIR RESPECTIVE UTILITY ON THE GROUND. THIS NOTIFICATION SHALL BE GIVEN AT LEAST THREE (3) BUSINESS DAYS PRIOR TO COMMENCEMENT OF OPERATIONS AROUND THE UTILITY IN ACCORDANCE WITH TCA 65-31-106. NOTIFICATION BY CALLING THE TENNESSEE ONE CALL SYSTEM, INC AT 1-800-351-1111 WILL BE REQUIRED.

UTILITY OWNERS

ELECTRIC:
TVA
 400 West Summit Hill Drive
 Knoxville, TN 37902
 CONTACT: Stephen Williams
 PHONE:
 FAX:
 Email: sewilliams@tva.gov

GAS:
COLONIAL PIPELINE COMPANY
 5033 N. Middlebrook Pike
 Knoxville, TN 37921
 CONTACT: Jason Fenech
 PHONE: 865 360 5259
 FAX: 865 584 5249
 Email: jfenech@colpipe.com

GAS:
KINDER MORGAN
 5009 N Middlebrook Pike
 Knoxville, TN 37921
 CONTACT: Jose Pedraza
 PHONE: 770 330 1696
 FAX:
 Email: kmencroachmentseast@kindermorgan.com

SEWER / WATER:
FIRST UTILITY DISTRICT
 122 Durwood Road
 Knoxville, TN 37922
 CONTACT: Edwin Deyton
 PHONE: 865 218 3690
 FAX:
 Email: edeyton@fudknox.org

TELEPHONE:
AT&T CORP
 360 Gees Mill Business Parkway
 Conyers, GA 30013
 CONTACT: Trina Ivey
 OFFICE PHONE: 678 641 5522
 CELL PHONE: 770 335 8255
 Email: ki2863@att.com

TELEPHONE:
IRIS
 211 Commerce Street, Suite 610
 Nashville, TN 37201
 CONTACT: Dwane Laxton
 PHONE: 865 617 8711
 FAX:
 Email: dlaxton@iristransport.com

TELEPHONE:
WINDSTREAM COMMUNICATIONS
 102 Hillview Drive
 Linden, TN 37096
 CONTACT: Tommy Rayfield
 PHONE: 931 994 1249
 FAX:
 Email: tommy.rayfield@windstream.com

ELECTRIC:
LENOIR CITY UTILITIES BOARD
 501 n Cedar Bluff Road
 Knoxville, TN 37923
 CONTACT: John Wheeler
 PHONE: 865 988 0820
 FAX: 865 687 5282
 Email: jwheeler@lcub.com

GAS:
ENBRIDGE
 1575 Downtown West Blvd
 Knoxville, TN 37919
 CONTACT: Ross Pinney
 PHONE: 218 349 9085
 FAX:
 Email: Rcass.pinney@enbridge.com

GAS:
KNOXVILLE UTILITIES BOARD
 4505 Middlebrook Pike
 Knoxville, TN 37921-5599
 CONTACT: Tim Kelly
 PHONE: 865 558 2450
 FAX: 865 558 2436
 Email: timothy.kelly@kub.org

TELEPHONE:
AT&T
 307 Dr. Martin Luther King Jr. Parkway
 Morrisown, TN 37813
 CONTACT: Jay Frazier
 PHONE: 865 387 2685
 FAX:
 Email: Jf092g@att.com

TELEPHONE:
CHARTER / SPECTRUM
 11517 Kingston Pike
 Farragut, TN 37934
 CONTACT: Billy Click
 PHONE: 865 273 2710
 FAX:
 Email: Bclick @ charter.com

TELEPHONE:
MCI / VERIZON
 603 Warehouse Park Lane
 Knoxville, TN 37932
 CONTACT: Stanley Majka
 PHONE: 615 428 4943
 FAX:
 Email: stanley.m.majka@verizon.com

TELEPHONE:
SEGRA
 320 N cedar Bluff Road, Suite 102
 Knoxville, TN 37923
 CONTACT: Alicia Manzi
 PHONE: 803 250 9687
 FAX:
 Email: Alicia.manzi@segra.com

TELEPHONE:
TDS
 3250 Mynatt Avenue
 Knoxville, TN 37919
 CONTACT: Russell Jones
 PHONE: 802 485 3836
 FAX:
 Email: Russell.jones@tdstelecom.com

TELEPHONE:
WOW
 10115 Sherrill Blvd
 Knoxville, TN 37932
 CONTACT: Carl Diggs
 PHONE: 866 496 9669
 FAX:
 Email: Carl.diggs@wowinc.com

TELEPHONE:
XFINITY
 3399 Peachtree Road, Suite 550
 Atlanta, GA 30326
 CONTACT: Mark Stacey
 PHONE:
 FAX:
 Email: Mark.stacey@comcast.com

NO.	DATE	ISSUE DESCRIPTION



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**CONCORD ROAD AT LOOP ROAD
 TRAFFIC SIGNAL DESIGN**

PROJECT:



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 FARRAGUT, TENNESSEE 37934
 865-966-7057

CCI PROJ. NO. 00394-0026.000
 DATE: 04/09/2025
 PM/PC: BHM
 DRAWN BY: WDR

**UTILITY NOTES AND
 UTILITY CONTACTS**

REPORT TO THE MUNICIPAL PLANNING COMMISSION

Prepared By: Mark Shipley, Community Development Director

Subject: Discussion and public hearing on approval of a preliminary plat for improvements to Outlet Drive to include a turn lane for the property at 11471 Outlet Drive and for improvements at the Snyder Road/N. Campbell Station Road intersection in association with the Venture at Laster Farms development in Knox County at 11471 Outlet Drive (Cannon & Cannon, Inc., Applicant)

Introduction & Background:

This item involves a request for approval of a preliminary plat that addresses improvements to two sections of Town of Farragut streets in accordance with recommendations contained in a traffic impact study for a new residential development in Knox County. The proposed development will abut the Tapestry Apartments that are located at the eastern intersection of Snyder Road and Outlet Drive. The development is named Venture at Laster Farms and includes 240 multi-family units and 80 townhomes on 18 acres.

Discussion & Recommendations:

As shown on the plans included in the packet, the development's only access is off Outlet Drive and within Knox County, except for a taper and storage lane for westbound traffic that will mostly be within the Town of Farragut. The access was not placed further east (which would be preferable) due to the presence of sinkholes along that portion of the property's Outlet Drive frontage. As shown, the access is roughly 220 feet east of the Tapestry Apartments access and 175 feet east of the Tommy's Watersports access in the Town of Farragut. There is no proposed cross access to the Tapestry Apartments or any other abutting properties. The 75-foot taper and 140-foot storage lane proposed for the development's access is included in the traffic impact study recommendations that are in the packet. The taper and storage would facilitate westbound traffic flow.

The second area where physical improvements to Town of Farragut streets is proposed is the addition of a northbound right turn lane on N. Campbell Station Road at the Snyder Road intersection with a 140-foot taper and a 100-foot storage area. This

will help facilitate the flow of northbound traffic. At this same intersection, the existing three section signal head for the northbound approach of N. Campbell Station Road will be replaced with a five section right turn signal head per the traffic impact study recommendation.

At the conclusion of the project, updates will be made to the traffic signal timing at both the N. Campbell Station Road/Snyder Road intersection in the Town of Farragut and the Lovell Road/Outlet Drive intersection in Knox County. The entire project, including the portions involving physical improvements to Town of Farragut streets and traffic signals, will be supervised by Knox County. A letter of credit will be required to ensure that the recommendations in the traffic impact study are satisfactorily completed. Also, as recommended by the Town and specified with the County's rezoning associated with this development, no more than 100 Certificates of Occupancy can be issued in the Venture at Laster Farms development until all improvements involving Town of Farragut streets and intersections are completed to the satisfaction of the Town of Farragut.

Along with the traffic impact study recommendations, included in the packet is the revised plans that reflect comments noted at the staff/developer meeting on June 3. The staff recommends approval subject to the following items being satisfactorily completed:

1. Please include a note on this plan set that no more than 100 Certificates of Occupancy can be issued in the Venture at Laster Farms development until all improvements involving Town of Farragut streets and intersections are completed to the satisfaction of the Town of Farragut.
2. There is a discrepancy between the length of the taper recommended in the traffic impact study vs. the length shown on the plan set. Please either clarify or modify to ensure that the two are consistent.
3. A letter of credit to ensure the satisfactory completion of the items recommended in the traffic impact study being submitted in a dollar amount provided by the Town Engineer.

Recommended By:

Mark Shipley, Community Development Director

Proposed Motion:

To approve the preliminary plat subject to the following comments being addressed:

1. Please include a note on this plan set that no more than 100 Certificates of Occupancy can be issued in the Venture at Laster Farms development until all improvements involving Town of Farragut streets and intersections are completed to the satisfaction of the Town of Farragut.
2. There is a discrepancy between the length of the taper recommended in the traffic impact study vs. the length shown on the plan set. Please either clarify or modify to ensure that the two are consistent.
3. A letter of credit to ensure the satisfactory completion of the items recommended in the traffic impact study being submitted in a dollar amount provided by the Town Engineer.

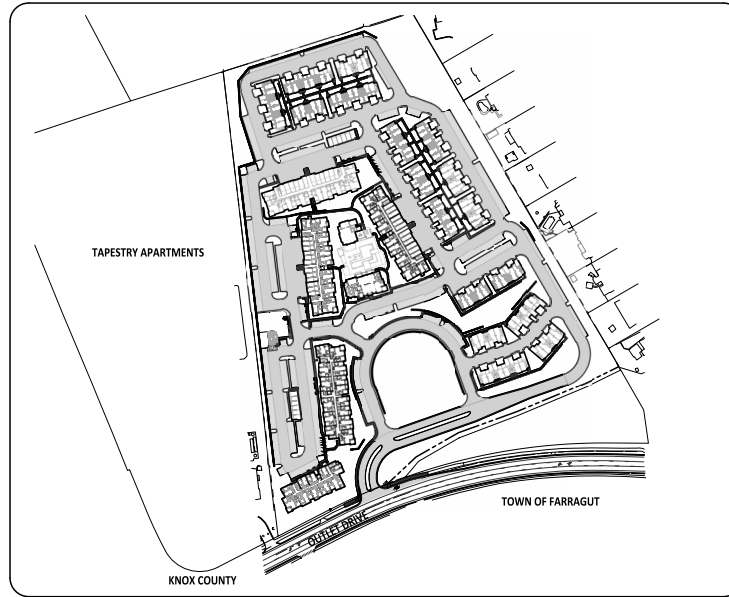
VENTURE AT LASTER FARMS

11471 OUTLET DRIVE

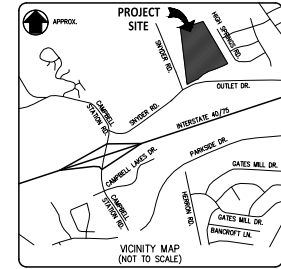
KNOXVILLE, TENNESSEE 37932

DRAWING INDEX

- C001 COVER SHEET
- C002 GENERAL NOTES AND LEGENDS
- C003 SITE DEMOLITION PLAN
- C004 SITE TURNING MOVEMENTS
- C101 LASTER FARMS WAY SITE LAYOUT PLAN
- C102 LASTER FARMS WAY SITE GRADING PLAN
- C103 N CAMPBELL STATION ROAD IMPROVEMENTS
- C104 ROAD IMPROVEMENTS SITE DETAILS
- C200 OVERALL SITE LAYOUT PLAN
- C201 SITE LAYOUT PLAN
- C202 SITE LAYOUT PLAN
- C203 SITE LAYOUT PLAN
- C204 DRIVEWAY PROFILES
- C205 SITE DETAILS
- C206 SITE DETAILS
- C300 OVERALL SITE GRADING PLAN
- C301 SITE GRADING & DRAINAGE PLAN
- C302 SITE GRADING & DRAINAGE PLAN
- C303 SITE GRADING & DRAINAGE PLAN
- C304 DRAINAGE DETAILS
- C305 DRAINAGE DETAILS & STORM PIPE TABLES
- C306 STORM STRUCTURE TABLES
- C401 INITIAL EROSION CONTROL PLAN
- C402 INTERMEDIATE EROSION CONTROL PLAN
- C403 FINAL EROSION CONTROL PLAN
- C404 EROSION CONTROL DETAILS
- C405 EROSION CONTROL DETAILS
- SA101 PUBLIC SANITARY SEWER PLAN
- SA201 PUBLIC SANITARY SEWER PROFILE
- SA202 PUBLIC SANITARY SEWER PROFILE
- W101 PUBLIC WATER UTILITY PLAN
- W201 PUBLIC WATER LINE PROFILES
- W202 PUBLIC WATER LINE PROFILES



LOCATION MAP
N.T.S.



PROPERTY DATA	
PROPERTY OWNER	CANDY LASTER 11471 OUTLET DRIVE KNOXVILLE TN 37932
TAX MAP NO.	130
PARCEL NUMBER	175.00
JURISDICTION	KNOX COUNTY
ZONING	OR "OFFICE, MEDICAL, AND RELATED SERVICES"
AREA	789,615.40 S.F. / 18.127 AC.

ISSUE DESCRIPTION	
NO.	
DATE	

05/30/2025

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VENTURE AT LASTER FARMS
11471 OUTLET DRIVE
KNOXVILLE, TN 37932

PROJECT:

CANNON & CANNON

18025 Investment Drive, Suite 120
Knoxville, TN 37932

865.670.8555
www.cci-corp.com

CLIENT:
VENTURE AT LASTER FARMS
OWNER LLC
9820 WESTPOINT DRIVE, SUITE 100
INDIANAPOLIS, IN 46256

CCI PROJ. NO. 01852-0001
DATE: MAY 30, 2025
PAV/PC: J. HUNT
DRAWN BY: C. DAKS

COVER SHEET

C001

GENERAL PROPERTY INFORMATION

1. **OWNERSHIP AND REFERENCE:**
PARCEL 175.00
CANDY LASTER
11471 OUTLET DRIVE
KNOXVILLE, TN 37932
TAX MAP 130, PARCEL 175.00
INST. NO. 2014027044626
2. **TOTAL SITE AREA:** 75814.40 S.F. / 18.127 AC.
3. **TOTAL DISTURBED AREA:** 18.3 AC. ±
4. **THE BOUNDARY AND TOPOGRAPHIC DATA SHOWN WAS PROVIDED BY CANNON & CANNON, INC., DATED JANUARY 17, 2024.**
5. **ABOVE GROUND AND UNDERGROUND UTILITIES AS SHOWN WERE LOCATED FROM VISIBLE FIELD EVIDENCE, UTILITY MARKINGS AND/OR DRAWINGS BY OTHERS. VERIFICATION AS TO EXISTENCE, LOCATION, SIZE, MATERIAL AND DEPTH SHOULD BE PURSUED PRIOR TO ANY DECISIONS BEING MADE RELATIVE TO UTILITIES TO AVOID COLLISIONS OR OTHER HAZARDS. NOTIFY TENNESSEE ONE CALL PRIOR TO ANY EXCAVATION OR GRADING ACTIVITIES.**
6. **PROPERTY CONCERNED REFLECTS PARCEL 175.00 AS SHOWN ON KNOX COUNTY CLT TAX MAP NO. 130.**
7. **PROPERTY ZONED:** OB (OFFICE, MEDICAL, AND RELATED SERVICES)
8. **ALL SETBACKS SHALL BE IN ACCORDANCE WITH THE KNOX COUNTY ZONING ORDINANCE.**
9. **SUBJECT PROPERTY LIES OUTSIDE THE 100 YEAR FLOODWAY PER FIRM MAPPING OF KNOX COUNTY, TENNESSEE. COMMUNITY PANEL NO. 4799302041G & 4799302043G DATED 8/05/2013.**

SITE DEMOLITION NOTES

1. **CONTRACTOR SHALL OBTAIN ALL PERMITS AND APPROVALS REQUIRED TO PERFORM DEMOLITION WORK.**
2. **INSTALL EPSC MEASURES PRIOR TO SITE DEMOLITION.**
3. **TERMINATION OF UTILITIES WITH APPROPRIATE UTILITY PRIOR TO DEMOLITION OF EXISTING SITE UTILITIES.**
4. **TERMINATION OF UTILITIES SHALL BE IN ACCORDANCE WITH THE UTILITY REQUIREMENTS. CONTRACTOR IS SOLELY RESPONSIBLE FOR VERIFYING FIELD CONDITIONS WITH THE APPROPRIATE UTILITY COMPANY IF REMOVAL WILL AFFECT ANY OTHER UTILITY SERVICES IN OPERATION. IF IT IS DETERMINED THE UTILITY LINE NEEDS TO REMAIN IN SERVICE, COORDINATE RELOCATION/REPLACEMENT WITH OWNER.**
5. **ALL ABANDONED UTILITY LINES AND APPURTENANCES SHALL BE REMOVED & DISPOSED OF PROPERLY.**
6. **CONTRACTOR TO ENSURE ALL EXISTING CUSTOMERS IN PROJECT AREA HAVE RELOCATED AND THAT ALL TERMINATION OF SERVICES HAVE BEEN APPROVED BY THE UTILITY PROVIDERS PRIOR TO DEMOLITION.**
7. **CONTRACTOR SHALL PROPERLY DISPOSE OF DEMOLITION MATERIAL OFF-SITE.**
8. **CONTRACTOR TO PERFORM DEMOLITION OF RETAINING WALLS, BUILDING WALLS, FOUNDATIONS, PAVEMENT, UNDERGROUND UTILITIES, ETC. AS REQUIRED TO INSTALL THE PROPOSED PLAN AS SHOWN.**
9. **EXCAVATIONS FROM DEMOLITION ARE TO BE BACKFILLED WITH SOIL OR ENGINEERED FILL IN ACCORDANCE WITH RECOMMENDATIONS BY A GEOTECHNICAL ENGINEER. CONTRACTOR SHALL PROVIDE A PLAN AS NEEDED FOR DETERMINING OF EXCAVATION AREAS.**
10. **THE UTILITY SERVICES SHOWN ARE BASED ON THE AVAILABLE INFORMATION PROVIDED. ADDITIONAL SERVICE LINES WHICH ARE NOT SHOWN MAY BE ENCOUNTERED DURING DEMOLITION. ALL UTILITY SERVICES CONNECTING TO THE BUILDING WILL BE REMOVED FROM WITHIN THE LIMITS OF DEMOLITION UNLESS OTHERWISE NOTED ON THE DEMOLITION PLANS. ALL SERVICES SHALL BE TERMINATED OR CAPPED IN ACCORDANCE WITH UTILITY PROVIDER GUIDELINES.**

GENERAL SITE NOTES

1. **PRIOR TO BEGINNING ANY CONSTRUCTION, THE DEVELOPER AND/OR CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AS REQUIRED BY LAW OR THE GOVERNING JURISDICTIONS. SUCH PERMITS MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE REQUIRED BY STATE OF TENNESSEE AND KNOX COUNTY.**
2. **UNLESS NOTED OTHERWISE, DIMENSIONS ARE TAKEN FROM OUTSIDE FACE OF BUILDING AND/OR FACE OF CURB.**
3. **THE MINERAL AGRICULTURE BASE AND ASPHALTIC SURFACE COURSES SHALL MEET MATERIALS, EQUIPMENT, CONSTRUCTION, AND TESTING REQUIREMENTS OF THESE DRAWINGS. THE TENNESSEE DEPARTMENT OF TRANSPORTATION (TDOT) KNOX COUNTY STANDARD SPECIFICATIONS AND TOWN OF FARRAGUT REQUIREMENTS.**
4. **TRAFFIC CONTROL DEVICES AND PAVEMENT MARKING SHALL CONFORM TO THE FEDERAL HIGHWAY ADMINISTRATION "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES."**
5. **ALL OFF-SITE WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRE AN APPROVED TRAFFIC CONTROL PLAN WHICH COMPLIES WITH THE MUTCD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR CONSTRUCTION.**
6. **CONTRACTOR IS RESPONSIBLE FOR REPAIRING RIGHT-OF-WAY ELEMENTS DAMAGED DURING CONSTRUCTION PER KNOX COUNTY STANDARDS.**
7. **PROPOSED LANDSCAPE WILL COMPLY WITH KNOX COUNTY TREE PROTECTION ORDINANCE.**
8. **LOCATING AND COORDINATING FOR THE RELOCATION OF EXISTING UTILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR. TENNESSEE'S ONE-CALL AND KNOX COUNTY UTILITY LOCATION SERVICE SHALL BE UTILIZED IN ADDITION TO COORDINATION WITH LOCAL UTILITY OWNERS. THE CONTRACTOR SHALL AT ALL TIMES PROTECT EXISTING UTILITIES AND WILL BE RESPONSIBLE FOR COSTS DUE TO DAMAGE CAUSED TO ANY UTILITY LINES.**
9. **REFER TO SHEET C003 (OR ORIGINAL SURVEY) FOR HORIZONTAL CONTROL INFORMATION.**

STORM PIPE NOTES

1. **INSTALL STORM SEWER PIPING AND APPURTENANCES TO MEET THE MATERIALS, EQUIPMENT, AND CONSTRUCTION REQUIREMENTS OF TDOT AND THE KNOX COUNTY STANDARD SPECIFICATIONS.**
2. **TRENCH DESIGN AND SAFETY FOR PIPELINE CONSTRUCTION IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL CONFORM WITH ALL APPLICABLE LOCAL, STATE, AND OSHA REGULATIONS.**
3. **STORM SEWER PIPE SHALL BE REINFORCED CONCRETE PIPE IN ACCORDANCE WITH AASHTO M170 OR EQUAL, OR SMOOTH INTERIOR HIGH DENSITY POLYETHYLENE PIPE IN ACCORDANCE WITH AASHTO M234 OR EQUAL PER KNOX COUNTY. STORMWATER PROGRAM STANDARD OPERATION PROCEDURES. REFER TO THE STORM PIPE TABLES FOR PIPE MATERIAL, SIZE, AND SLOPE.**
4. **PIPE DEFLECTION AND ALIGNMENT SHALL BE CHECKED AFTER BACKFILLING & COMPACTION ARE COMPLETE & PRIOR TO PLACING THE BASE. TEST DEFLECTION WITH A MANHOLE OR OTHER APPROVED METHOD.**
5. **PIPE WITH DEFLECTION GREATER OR GREATER OR WITH UNDESIRED MISALIGNMENT SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.**
6. **STORM PIPE LENGTHS LOCATED IN STORM PIPE TABLE REPRESENT CENTER OF STRUCTURE TO CENTER OF STRUCTURE (COORDINATE TO COORDINATE). CONTRACTOR TO ADJUST LENGTHS AS NEEDED BASED ON SIZE OF STRUCTURE (REFER TO STORM DATA TABLES).**
7. **ROOF DRAINS AND DOWNSPOUT LEADERS SHALL BE SDR 35 PVC OR SMOOTH INTERIOR HDPE. SLOPE 4" LEADERS AT A MINIMUM 2% SLOPE AND 6" OR LARGER LEADERS AT A MINIMUM 1% SLOPE. CLEANOUTS LOCATED IN TRAFFIC AREAS TO BE HEAVY DUTY RATED. REFER TO DOWNSPOUT/ROOF DRAIN CONNECTION DETAILS FOR ADDITIONAL INFORMATION. DOWNSPOUT LOCATIONS TO BE COORDINATED WITH ARCHITECTURAL DRAWINGS.**

GENERAL GRADING NOTES

1. **UNLESS NOTED OTHERWISE, THE PROPOSED GRADES SHOWN ON THESE DRAWINGS ARE FINISHED GRADE. CONTRACTOR TO ADJUST FOR PAVEMENT, TOPSOIL, ETC. THICKNESS AS REQUIRED. EXISTING AND PROPOSED CONTOURS ARE SHOWN AT 2 FT INTERVALS.**
2. **EROSION CONTROL DEVICES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE TENNESSEE EROSION AND SEDIMENT CONTROL HANDBOOK. THE DEVICES SHOWN ON THE DRAWINGS ARE THE MINIMUM REQUIRED. THE CONTRACTOR SHALL PROVIDE ADDITIONAL EROSION CONTROL DEVICES AS NEEDED.**
3. **THE SITE SHALL BE CLEARED AND GRUBBED WITHIN THE LIMITS OF EXCAVATION. COMPLETELY DISPOSE OF ALL MATERIALS AND RESULTING FROM CLEANING AND GRUBBING OFF-SITE OR ON-SITE AT A LOCATION DETERMINED BY THE OWNER.**
4. **ALL TREE STUMPS, BOLLERS, AND OTHER OBSTRUCTIONS SHALL BE REMOVED TO A DEPTH OF 2 FT BELOW THE SUBGRADE. ROCK SHALL BE SCARIFIED TO A DEPTH OF 1 FT BELOW SUBGRADE.**
5. **STRIP TOPSOIL TO A DEPTH AS REQUIRED BY GEOTECHNICAL ENGINEER. STRIP TOPSOIL ONLY FROM AREAS THAT WILL BE DISTURBED BY EXCAVATION, FILLING, PAVING, OR COMPACTION BY EQUIPMENT. TEMPORARILY STOCKPILE EXCAVATED MATERIALS AND INSTALL SILT FENCE OR OTHER APPROPRIATE EROSION CONTROL STRUCTURES ON THE DOWN HILL SIDE OF THE STOCKPILE.**
6. **PROOF ROLL AREAS TO RECEIVE FILL AND PLACE FILL IN ACCORDANCE WITH THE SITE SPECIFIC REPORT OF GEOTECHNICAL EXPLORATION PREPARED BY UES, DATED APRIL 14, 2025.**
7. **A 4 IN. MINIMUM UNIFORM LAYER (SETTLED) OF TOPSOIL SHALL BE PLACED OVER THE AREAS TO BE SEEDED AND TO THE FINISHED GRADE ELEVATIONS AS SHOWN ON THE DRAWINGS.**
8. **ALL NEWLY GRADED EARTHEN AREAS THAT ARE NOT TO BE PAVED, STABILIZED, OR SOODED SHALL BE SEED, FERTILIZED, AND MULCHED WITHIN 30 DAYS OF ATTAINMENT OF FINAL GRADE. REFER TO SEEDING MIXTURE CHART ON THIS SHEET FOR ADDITIONAL INFORMATION.**
9. **MULCH WITH STRAW AT A RATE OF 100 LBS/1000 SF OVER THE SEEDED AREAS.**
10. **DO NOT ALLOW WATER TO ACCUMULATE IN EXCAVATIONS OR POND ON-SITE. PROVIDE NECESSARY MEASURES TO KEEP THE SITE FREE-DRAINING.**
11. **PERIMETER SLOPES SHALL BE LANDSCAPED AND ARE NOT TO EXCEED 2:1 (H:V) UNLESS PROPER STABILIZATION IS PROPOSED BY A GEOTECHNICAL ENGINEER. NO SLOPE SHALL EXCEED 2:1 (H:V). ALL SLOPES STEEPER THAN 3:1 TO RECEIVE EROSION CONTROL BLANKET.**
12. **TO PREVENT EROSION, ALL SLOPES 2:1 OR GREATER ARE TO BE TRACKED WITH A DOZER TO FORM CLEAR MARKS PARALLEL TO THE CONTOUR.**
13. **STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS POSSIBLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. APPLY TEMPORARY SEEDING WHENEVER DRAINING OPERATIONS ARE HALTED FOR OVER 14 DAYS. APPLY TEMPORARY SEEDING TO ALL SOIL STOCKPILES. STEEP SLOPES (SLOPES GREATER THAN 3:3) SHALL BE STABILIZED WITHIN 7 DAYS AFTER CONSTRUCTION ACTIVITY ON THE SLOPE HAS TEMPORARILY OR PERMANENTLY CEASED.**
14. **APPLY PERMANENT SEEDING WHENEVER DRAINING OPERATIONS ARE COMPLETED AND ALL CONSTRUCTION OPERATIONS WILL NOT IMPACT THE DISTURBED AREA. APPLY PERMANENT SEEDING TO ALL NON-CONSTRUCTION AREAS WHICH SHOW SIGNS OF EXCESSIVE EROSION.**

GENERAL EROSION CONTROL NOTES

1. **INITIAL EROSION CONTROL MEASURES AS SHOWN ON THE EROSION CONTROL SHEETS SHALL BE INSTALLED AS FIRST PART OF CONSTRUCTION. THESE ITEMS SHALL BE COMPLETED PRIOR TO COMMENCING WITH SITE CLEARING, GRUBBING, AND OTHER OPERATIONS.**
2. **PRE-CONSTRUCTION VEGETATIVE GROUND COVER SHALL NOT BE DESTROYED, REMOVED, OR DISTURBED MORE THAN 15% OF THE GROUND COVER OR EARTH MOVING UNLESS THE AREA IS SEEDED AND/OR MULCHED OR OTHER TEMPORARY COVER IS INSTALLED.**
3. **EXISTING VEGETATION SHOULD BE PRESERVED TO THE MAXIMUM EXTENT PRACTICABLE.**
4. **SEDIMENT MUST BE REMOVED FROM SEDIMENT TRAPS, SILT FENCES, AND OTHER SEDIMENT CONTROL WHEN DESIGN CAPACITY HAS BEEN EXCEEDED BY SOIL. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS WHEN IT REACHES 1/4 TO 1/3 OF THE TOTAL STORAGE VOLUME.**
5. **ADEQUATE DRAINAGE, EROSION AND SEDIMENT CONTROL MEASURES, BEST MANAGEMENT PRACTICES AND/OR OTHER STORMWATER MANAGEMENT FACILITIES SHALL BE PROVIDED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION. DAMAGES TO ADJACENT PROPERTY AND/OR THE CONSTRUCTION SITE CAUSED BY THE CONTRACTOR'S OR PROPERTY OWNER'S FAILURE TO PROVIDE AND MAINTAIN ADEQUATE DRAINAGE AND EROSION/SEDIMENT CONTROL FOR THE CONSTRUCTION AREA SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND/OR PROPERTY OWNER.**
6. **QUALITY ASSURANCE OF EROSION PREVENTION AND SEDIMENT CONTROLS SHALL BE CONDUCTED BY QUALIFIED PERSONNEL. PERFORMING SITE ASSESSMENT AT EACH OUTFALL INVOLVING DRAINAGE TOTALING TO 10 OR MORE ACRES, OR FIVE OR MORE ACRES IF DRAINING TO IMPAIRED OR EXISTENTIAL WATERS. THIS ASSESSMENT WILL BE CONDUCTED AT EACH QUALIFYING OUTFALL WITHIN A MONTH OF CONSTRUCTION COMMENCEMENT IN ACCORDANCE WITH THE LATEST CONSTRUCTION GENERAL PERMIT.**
7. **FUGITIVE SEDIMENT THAT HAS ESCAPED THE CONSTRUCTION SITE MUST BE REMOVED SO THAT IT IS NOT SUBSEQUENTLY WASHED INTO STORM SEWERS AND/OR STREAMS BY THE NEXT RAIN AND/OR SO THAT IT DOES NOT POSE A SAFETY HAZARD TO USERS OF PUBLIC STREETS. ARRANGEMENTS CONCERNING REMOVAL OF SEDIMENT ON ADJOINING PROPERTY MUST BE SETTLED BY THE PERMITTEE WITH THE ADJOINING LAND OWNER.**
8. **LITTER, CONSTRUCTION DEBRIS, AND CONSTRUCTION CHEMICALS EXPOSED TO STORMWATER SHALL BE PICKED UP PRIOR TO ANTICIPATED STORM EVENTS OR BEFORE BEING CARRIED OFF THE SITE BY WIND, OR OTHERWISE PREVENTED FROM BECOMING A POLLUTION SOURCE FOR STORMWATER DISCHARGES.**
9. **INSPECTIONS OF OUTFALLS/EPSC MEASURES SHALL BE CONDUCTED AT LEAST TWICE WEEKLY AND AT LEAST 72 HOURS AHEAD OR AS REQUIRED IN THE LATEST CONSTRUCTION GENERAL PERMIT.**
10. **VEGETATION, EPSC & OTHER PROTECTIVE MEASURES SHALL BE REPAIRED, REPLACED, OR MODIFIED WITHIN 7 DAYS BEING NOTIFIED OF AN ISSUE.**
11. **CONSTRUCTION SHALL BE PHASED FOR ACTIVITIES THAT WILL DISTURB ≥ 50 ACRES.**
12. **EPSC SHALL BE DESIGNED TO CONTROL THE RAINFALL AND RUNOFF FROM A 5-YEAR, 24-HOUR RETURN INTERVAL STORM.**
13. **TEMPORARY SEDIMENT BASINS(S) SHALL BE PROVIDED FOR ON-SITE OUTFALLS THAT RECEIVE DRAINAGE FROM ≥ 5 ACRES SINCE THE SITE DISCHARGES TO WATERS WITH UNAVAILABLE PARAMETERS FOR SILTATION.**
14. **EXISTING OVERHEAD UTILITIES SHALL BE PROTECTED FOR ON-SITE OUTFALLS THAT RECEIVE DRAINAGE FROM ≥ 3.5 ACRES.**
15. **GREEN INFRASTRUCTURE BMPs (INFILTRATION AREAS) SHALL BE PROTECTED DURING SITE WORK. WITH SILT FENCE OR ADDITIONAL EROSION CONTROL MEASURES AS REQUIRED TO PREVENT SEDIMENTATION AND COMPACTION.**
16. **TEMPORARY SEDIMENT BASINS OR TRAPS SHALL REMAIN IN PLACE UNTIL SITE IS STABILIZED AND ALL FUTURE SECTIONS ARE COMPLETE. SEDIMENT BASINS WITH PERMANENT DETENTION PONDS SHALL BE CONVERTED TO DETENTION STRUCTURES AFTER FINAL STABILIZATION OF SITE.**
17. **IF OFF-SITE BORROW MATERIAL IS UTILIZED, A COPY OF PERMIT SHALL BE PROVIDED TO KNOX COUNTY.**

SEEDING MIXTURE CHART:

1. TEMPORARY SEEDING MIXTURES SHALL BE AS FOLLOWS:		
SEEDING DATES	GRASS SEED	PERCENTAGES
1/7/1 TO 5/7/1	ITALIAN RYE KOREAN LESPEDEZA SUMMER GAIS	33% 33% 34%
5/7/1 TO 7/7/1	SUDAN - SORGHUM	100%
5/7/1 TO 7/7/1	STAR MILLET	100%
7/7/1 TO 1/7/1	BALDWIN RYE ITALIAN RYE	67% 33%
2. PERMANENT SEEDING MIXTURES SHALL BE AS FOLLOWS:		
SEEDING DATES	GRASS SEED	PERCENTAGES
2/7/1 TO 7/7/1	KENTUCKY 31 FESCUE KOREAN LESPEDEZA	80% 15%
6/7/1 TO 8/7/1	KENTUCKY 31 FESCUE ENGLISH RYE KOREAN LESPEDEZA	50% 20% 100%
4/7/15 TO 8/7/15	BERMUDAGRASS (MULLED) ANNUAL LESPEDEZA	70% 30%
8/7/1 TO 12/1	KENTUCKY 31 FESCUE ENGLISH RYE WHITE CLOVER	70% 20% 10%
2/7/1 TO 12/1	KENTUCKY 31 FESCUE CROWN VETCH ENGLISH RYE	70% 25% 5%

LEGEND

	---884---	EXISTING CONTOUR		TEMP. INLET PROTECTION
	---990---	PROPOSED CONTOUR		STONE FILTER RING
	×0.050	PROPOSED SPOT ELEVATIONS		TEMP. ROCK CHECK DAM
	(70)	TOP BACK CURB		TEMP. ENHANCED CHECK DAM
	(80)	SIDWALK		EROSION CONTROL BLANKET
	(100)	TOP OF STEP		DRAINAGE AREA
	(120)	TOP OF WALL		TEMP. SILT FENCE
	(140)	TOP OF WALL		TEMP. SILT FENCE WITH BACKING
	(160)	BOTTOM OF WALL		TEMP. SEDIMENT TUBE
	(180)	BOTTOM OF WALL		FLOODWAY
	(200)	BOTTOM OF WALL		100-YR FLOODPLAIN
	(220)	PROPOSED STORM CLEANOUT		500-YR FLOODPLAIN
	(240)	PROPOSED STORM CLEANOUT		NO-FILL LINE
	(260)	PROPOSED STORM CLEANOUT		FEMA ZONE A
	(280)	PROPOSED STORM CLEANOUT		RIPIARIAN BUFFER ZONE
	(300)	PROPOSED STORM CLEANOUT		SINKHOLE BUFFER
	(320)	PROPOSED STORM CLEANOUT		
	(340)	PROPOSED STORM CLEANOUT		
	(360)	PROPOSED STORM CLEANOUT		
	(380)	PROPOSED STORM CLEANOUT		
	(400)	PROPOSED STORM CLEANOUT		
	(420)	PROPOSED STORM CLEANOUT		
	(440)	PROPOSED STORM CLEANOUT		
	(460)	PROPOSED STORM CLEANOUT		
	(480)	PROPOSED STORM CLEANOUT		
	(500)	PROPOSED STORM CLEANOUT		
	(520)	PROPOSED STORM CLEANOUT		
	(540)	PROPOSED STORM CLEANOUT		
	(560)	PROPOSED STORM CLEANOUT		
	(580)	PROPOSED STORM CLEANOUT		
	(600)	PROPOSED STORM CLEANOUT		
	(620)	PROPOSED STORM CLEANOUT		
	(640)	PROPOSED STORM CLEANOUT		
	(660)	PROPOSED STORM CLEANOUT		
	(680)	PROPOSED STORM CLEANOUT		
	(700)	PROPOSED STORM CLEANOUT		
	(720)	PROPOSED STORM CLEANOUT		
	(740)	PROPOSED STORM CLEANOUT		
	(760)	PROPOSED STORM CLEANOUT		
	(780)	PROPOSED STORM CLEANOUT		
	(800)	PROPOSED STORM CLEANOUT		
	(820)	PROPOSED STORM CLEANOUT		
	(840)	PROPOSED STORM CLEANOUT		
	(860)	PROPOSED STORM CLEANOUT		
	(880)	PROPOSED STORM CLEANOUT		
	(900)	PROPOSED STORM CLEANOUT		
	(920)	PROPOSED STORM CLEANOUT		
	(940)	PROPOSED STORM CLEANOUT		
	(960)	PROPOSED STORM CLEANOUT		
	(980)	PROPOSED STORM CLEANOUT		
	(1000)	PROPOSED STORM CLEANOUT		

	C.O.	PROPOSED SANITARY SEWER CLEAN OUT
	EXISTING GAS VALVE	EXISTING GAS VALVE
	EXISTING GAS MARKER	EXISTING GAS MARKER
	EXISTING WATER METER	EXISTING WATER METER
	EXISTING SANITARY MANHOLE	EXISTING SANITARY MANHOLE
	EXISTING WATER MANHOLE	EXISTING WATER MANHOLE
	EXISTING POWER MANHOLE	EXISTING POWER MANHOLE
	EXISTING TELEPHONE MANHOLE	EXISTING TELEPHONE MANHOLE
	EXISTING LOW PRESSURE SEWER	EXISTING LOW PRESSURE SEWER
	EXISTING MAILBOX	EXISTING MAILBOX
	EXISTING TELEPHONE	EXISTING TELEPHONE
	EXISTING TELEPHONE RISERS	EXISTING TELEPHONE RISERS
	EXISTING VALVE	EXISTING VALVE
	PROPOSED FIRE HYDRANT	PROPOSED FIRE HYDRANT
	PROPOSED WATER BLOW-OFF VALVE	PROPOSED WATER BLOW-OFF VALVE
	PROPOSED FIRE DEPART CONNECTION	PROPOSED FIRE DEPART CONNECTION
	PROPOSED POST INDICATOR VALVE	PROPOSED POST INDICATOR VALVE
	PROPOSED WATER VALVE	PROPOSED WATER VALVE
	PROPOSED FLUSH CONNECTION	PROPOSED FLUSH CONNECTION
	PROPOSED E/ONE GRINDER PUMP	PROPOSED E/ONE GRINDER PUMP
	PROPOSED SANITARY SEWER MANHOLE	PROPOSED SANITARY SEWER MANHOLE

ISSUE DESCRIPTION

NO.	DATE

05/30/2025

IF THIS DOCUMENT IS NOT SIGNED, SEALED, AND DATED, IT MAY NOT BE USED FOR CONSTRUCTION.

VENTURE AT LASTER FARMS
11077 OUTLET DRIVE
KNOXVILLE, TN 37932

CANNON & CANNON, INC.

10025 Investment Drive, Suite 120
Knoxville, TN 37932

865.670.8555
www.cci-corp.com

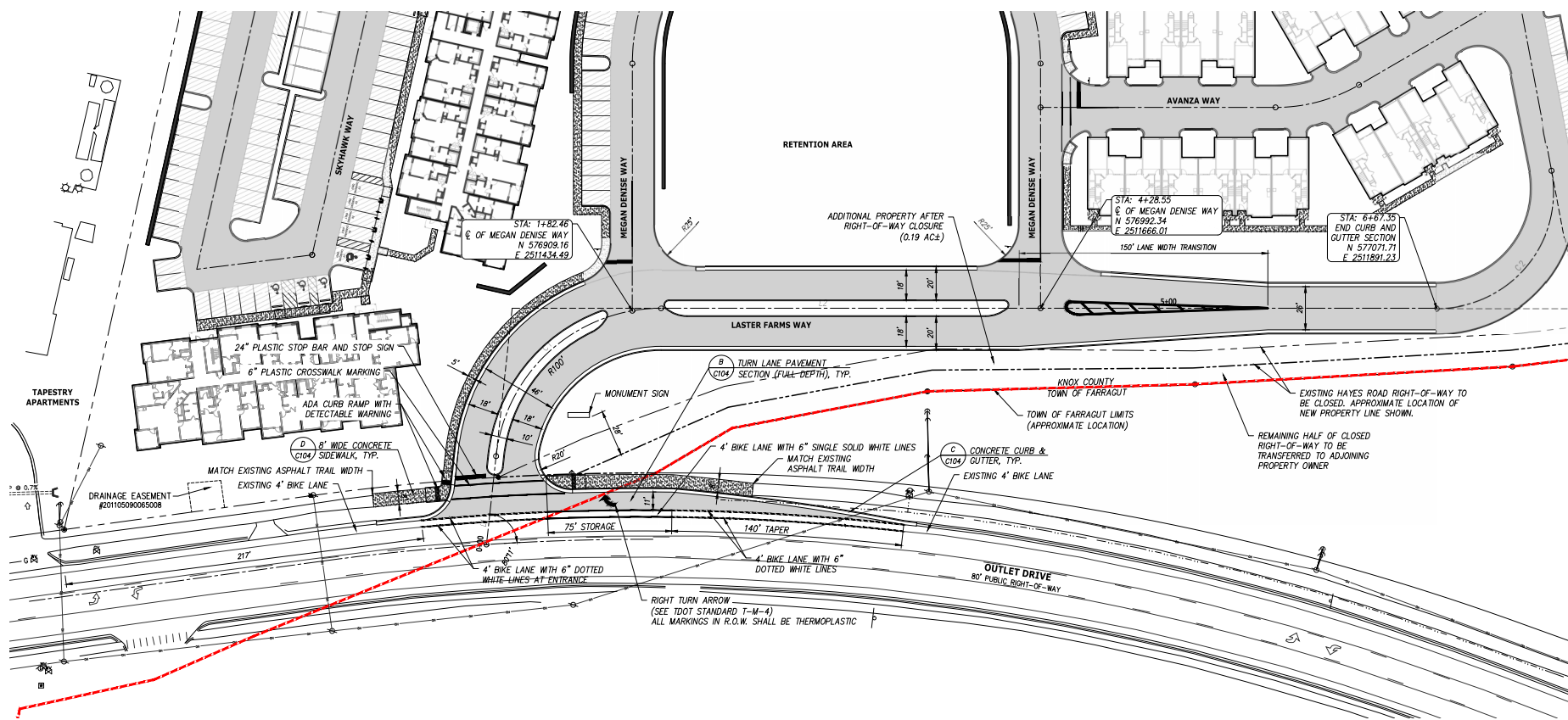
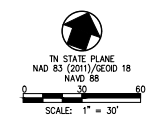
CLIENT:

VENTURE AT LASTER FARMS
OWNER LLC
9820 WESTPOINT DRIVE, SUITE 100
INDIANAPOLIS, IN 46256

CCI PROJ. NO. 01853-0001
DATE: MAY 30, 2025
PRVPC: J. HUNT
DRAWN BY: C. OAKS

GENERAL NOTES AND LEGENDS

C002



LASTER FARMS WAY HORIZONTAL CURVE DATA TABLE								
CURVE NO.	P.I. COORDINATES	P.C. STATION	P.T. STATION	DELTA ANGLE	RADIUS	CURVE LENGTH	CHORD BEARING	CHORD LENGTH
C1	N: 576886.52 E: 2511365.69	0+53.60	1+99.85	083° 47' 43"	100.000'	146.25'	N28° 41' 27.34"E	133.56'
C2	N: 577099.87 E: 2511971.16	6+47.72	7+90.67	100° 38' 02"	70.000'	122.95'	N20° 16' 17.85"E	107.74'

LASTER FARMS WAY LINE DATA TABLE		
LINE NO.	DISTANCE	BEARING
L1	53.60'	N13° 12' 24.14"W
L2	467.88'	N70° 35' 18.83"E

NOTES:
1. REFER TO SHEET C002 FOR GENERAL NOTES.

ISSUE DESCRIPTION

NO. DATE

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VENTURE AT LASTER FARMS
11971 OUTLET DRIVE
KNOXVILLE, TN 37932

PROJECT:

10025 Investment Drive, Suite 120
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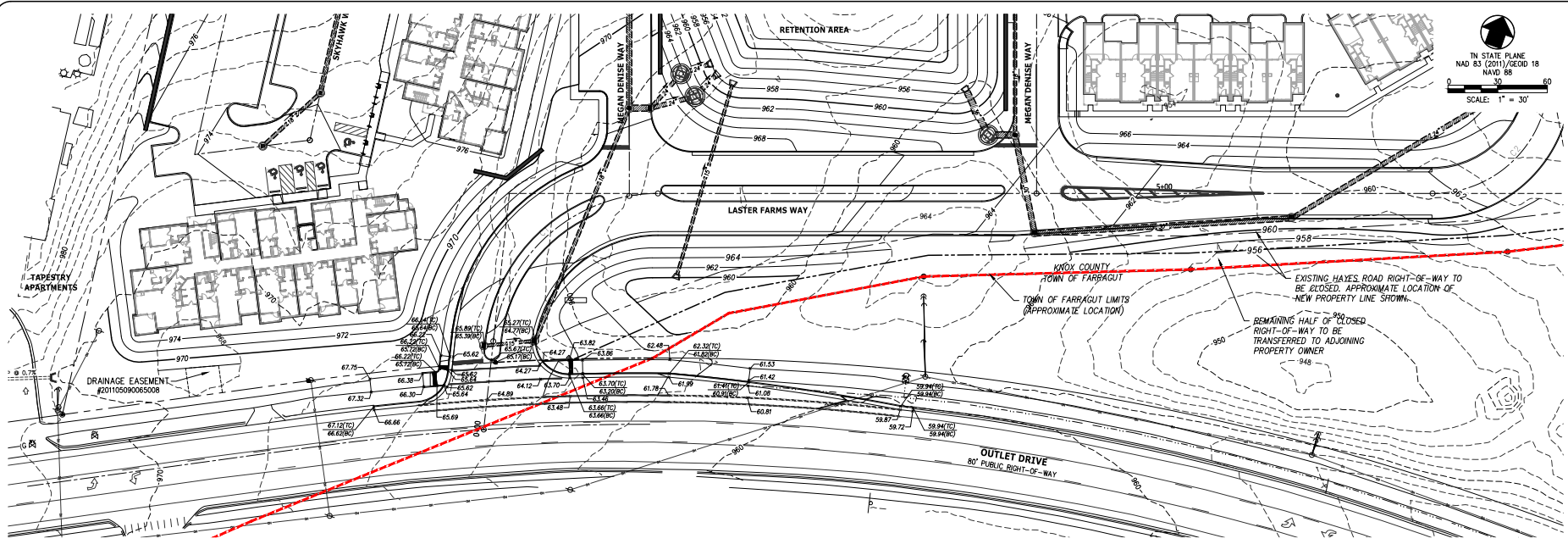
CLIENT:
VENTURE AT LASTER FARMS
OWNER LLC
9820 WESTPOINT DRIVE, SUITE 100
INDIANAPOLIS, IN 46236

CCI PROJ. NO. 01853-0001
DATE: MAY 30, 2025
PW/PC: J. HUNT
DRAWN BY: C. DAKS

LASTER FARMS WAY
SITE LAYOUT PLAN

C101





ISSUE DESCRIPTION

NO. DATE:

05/30/2025

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VENTURE AT LASTER FARMS
 11071 OUTLET DRIVE
 KNOXVILLE, TN 37932

PROJECT:

10025 Investment Drive, Suite 120
 Knoxville, TN 37932

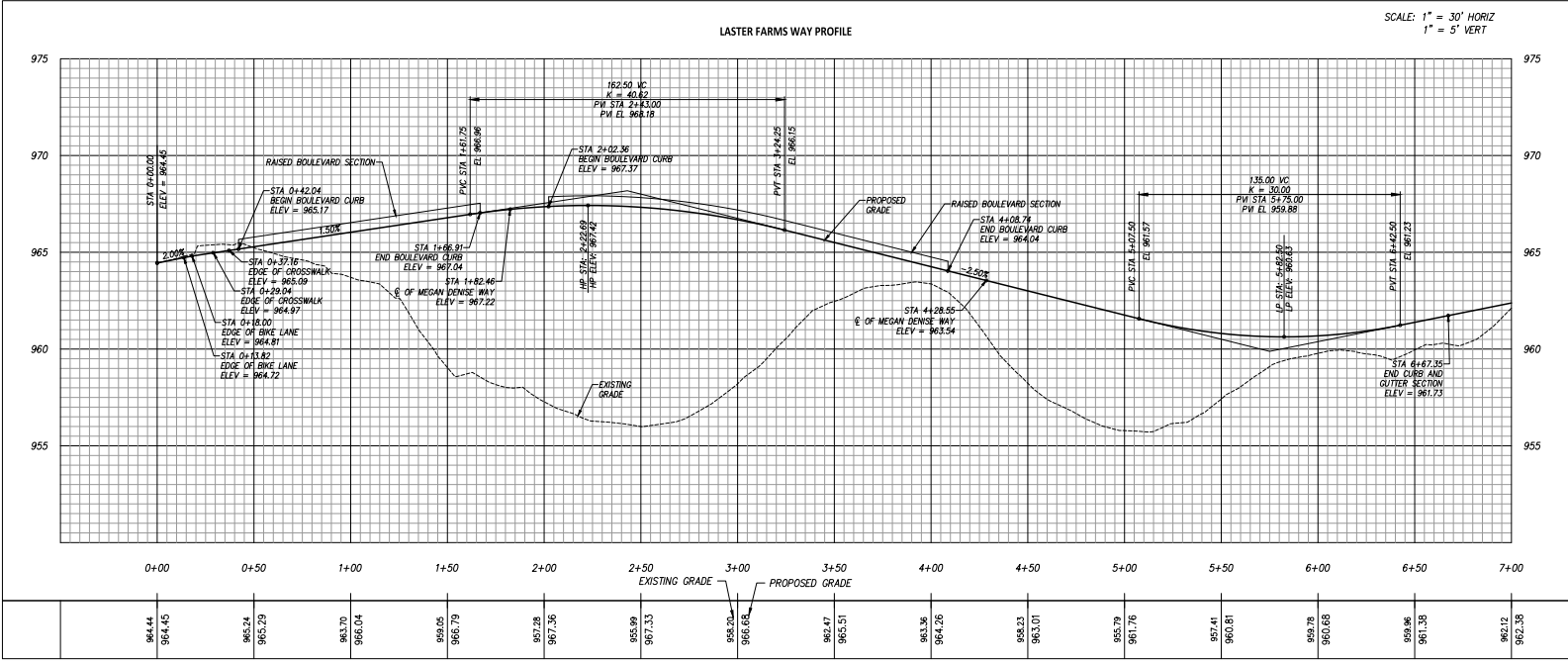
865.670.8555
 www.cci-corp.com

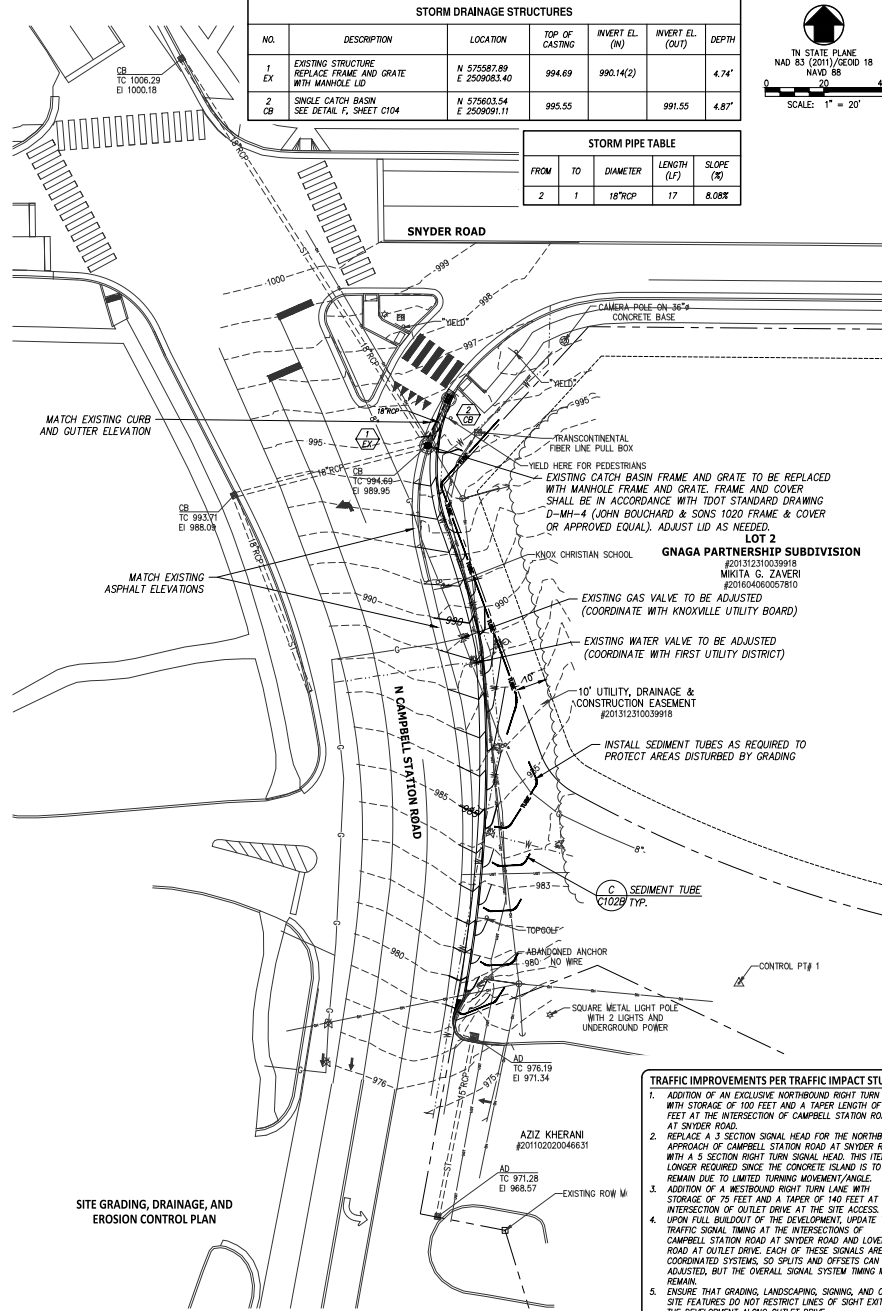
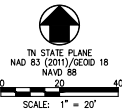
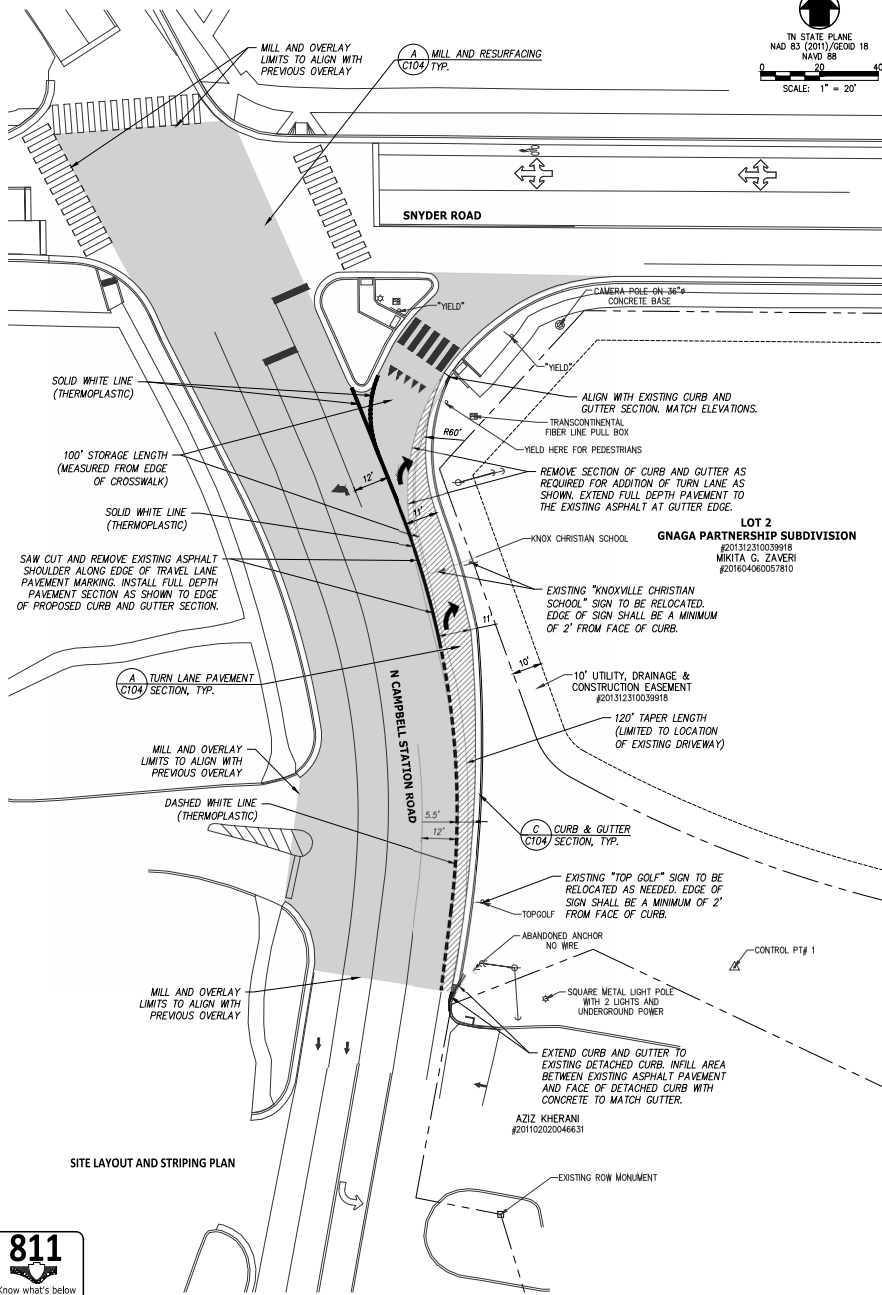
CLIENT:
 VENTURE AT LASTER FARMS
 OWNER LLC
 9820 WESTPOINT DRIVE, SUITE 100
 INDIANAPOLIS, IN 46236

CCI PROJ. NO. 01853-0001
 DATE: MAY 30, 2025
 P/W/C: J. HUNT
 DRAWN BY: C. OAKS

**LASTER FARMS WAY
 GRADING PLAN**

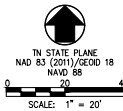
C102





STORM DRAINAGE STRUCTURES						
NO.	DESCRIPTION	LOCATION	TOP OF CASTING	INVERT EL. (IN)	INVERT EL. (OUT)	DEPTH
1	EXISTING STRUCTURE REPLACE FRAME AND GRATE WITH MANHOLE LID	N 575587.89 E 2509083.40	994.69	990.14(2)		4.74'
2	SINGLE CATCH BASIN SEE DETAIL F, SHEET C104	N 575603.54 E 2509091.11	995.55		991.55	4.87'

STORM PIPE TABLE				
FROM	TO	DIAMETER (IN)	SLOPE (%)	
2	1	18"TRCP	17	8.08%



ISSUE DESCRIPTION

NO. DATE: 16/06/2023 REVISION PER PARAGRAP COMMENTS

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VENTURE AT LASTER FARMS
11-071 OUTLET DRIVE
KNOXVILLE, TN 37932

10025 Investment Drive, Suite 120
Knoxville, TN 37932

865.670.8555
www.cci-corp.com

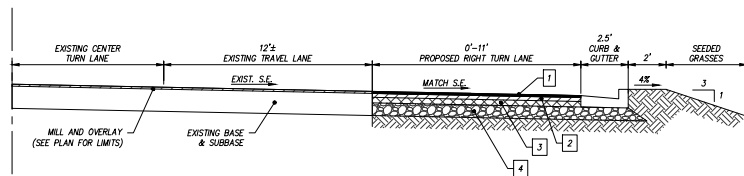
CLIENT:
VENTURE AT LASTER FARMS
OWNER LLC
9820 WESTPOINT DRIVE
INDIANAPOLIS, IN 46236

CCI PROJ. NO. 01863-0001
DATE: MAY 30, 2023
PWPC: J. HUNT
DRAWN BY: C. DAKS

N CAMPBELL STATION ROAD IMPROVEMENTS

C103

- TRAFFIC IMPROVEMENTS PER TRAFFIC IMPACT STUDY:**
- ADDITION OF AN EXCLUSIVE NORTHBOUND RIGHT TURN LANE WITH STORAGE OF 100 FEET AND A TAPER LENGTH OF 140 FEET AT THE INTERSECTION OF CAMPBELL STATION ROAD AT SNYDER ROAD.
 - REPLACE A J SECTION SIGNAL HEAD FOR THE NORTHBOUND APPROACH OF CAMPBELL STATION ROAD AT SNYDER ROAD WITH A S SECTION RIGHT TURN SIGNAL HEAD. THIS ITEM NO LONGER REQUIRED SINCE THE CONCRETE ISLAND IS TO REMAIN DUE TO LIMITED TURNING MOVEMENT/ANGLE.
 - ADDITION OF A WESTBOUND RIGHT TURN LANE WITH STORAGE OF 75 FEET AND A TAPER OF 140 FEET AT THE INTERSECTION OF OUTLET DRIVE AT THE SITE ACCESS.
 - UPON FULL BUILDOUT OF THE DEVELOPMENT, UPDATE THE TRAFFIC SIGNAL TIMING AT THE INTERSECTIONS OF CAMPBELL STATION ROAD AT SNYDER ROAD AND LOVELL ROAD AT OUTLET DRIVE. EACH OF THESE SIGNALS ARE IN COORDINATED SYSTEMS, SO SPLITS AND OFFSETS CAN BE ADJUSTED, BUT THE OVERALL SIGNAL SYSTEM TIMING MAY REMAIN.
 - ENSURE THAT GRADING, LANDSCAPING, SIGNING, AND OTHER SITE FEATURES DO NOT RESTRICT LINES OF SIGHT ALONG THE DEVELOPMENT ALONG OUTLET DRIVE.

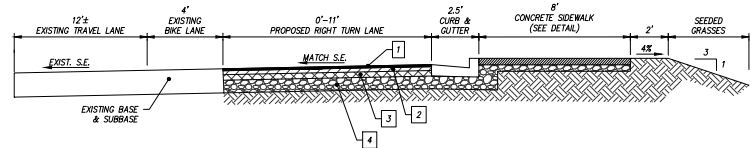


PROPOSED PAVEMENT SCHEDULE

1	ASPHALT CONCRETE SURFACE ① 1.25" THICK (APPROX. 132.5 LB/SY) 411-03.0 ASPHALT CONCRETE MIX (PCTO-22) (ACS) GRADING "D" 403-01 BITUMINOUS MATERIAL FOR TACK COAT (TC) RATE 0.05-0.10 GAL/SY
2	BITUMINOUS PLANT MIX BASE ② 3.0" THICK (APPROX. 339 LB/SY) 307-03.08 ASPHALT CONCRETE MIX (PCTO-22) (BPM-B-HM) GRADING "B-M2" 403-01 BITUMINOUS MATERIAL FOR TACK COAT (TC) RATE 0.05-0.10 GAL/SY
3	BITUMINOUS AGGREGATE BASE ③ 4.0" THICK (APPROX. 460 LB/SY) 307-03.02 ASPHALT CONCRETE MIX (PCTO-22) (BPM-B-HM) GRADING "A-S" 402-01 BITUMINOUS MATERIAL FOR PRIME COAT (PC) RATE 0.30-0.35 GAL/SY 402-02 AGGREGATE FOR COVER MATERIAL (PC) RATE 8-12 LB/SY
4	MINERAL AGGREGATE BASE ④ 8" THICK 303-01 MINERAL AGGREGATE, TYPE "A" BASE, GRADING "D"

- NOTES:**
- PAVEMENT SECTION SHOWN PER TDOT MINIMUM REQUIREMENTS.
 - ALL MATERIALS AND CONSTRUCTION SPECIFICATIONS SHALL MEET TENNESSEE DEPARTMENT OF TRANSPORTATION (TDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
 - CONTRACTOR TO PROVIDE TRAFFIC CONTROL PLAN AS REQUIRED BY TOWN OF FARRAGUT AND KNOX COUNTY.

**TURN LANE PAVEMENT SECTION
(CAMPBELL STATION ROAD)**
A
N.T.S.

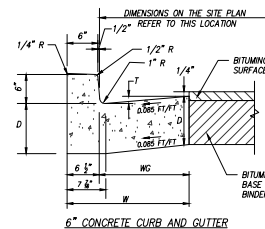


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- NOTES:**
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 - ALL MATERIALS AND CONSTRUCTION SPECIFICATIONS SHALL MEET TENNESSEE DEPARTMENT OF TRANSPORTATION (TDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
 - CONTRACTOR TO PROVIDE TRAFFIC CONTROL PLAN AS REQUIRED BY TOWN OF FARRAGUT AND KNOX COUNTY.

**TURN LANE PAVEMENT SECTION
(OUTLET DRIVE)**
B
N.T.S.

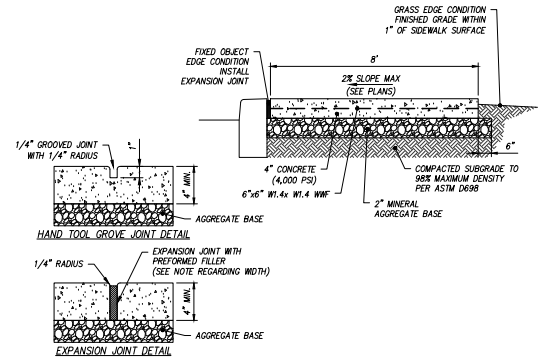


- GENERAL NOTES:**
- FOR SPECIFICATIONS, SEE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" OF THE TENNESSEE DEPARTMENT OF TRANSPORTATION (TDOT), SECTION 702 - CEMENT CONCRETE CURBS, GUTTER, AND COMBINED CURB AND GUTTER.
 - THE FRONT FACE OF THE CONCRETE CURBS FOR ALL DEGREES OF CURVATURE SHALL CONFORM TO THE CONTOUR OF THE CURVE AND NO CHORD SECTIONS WILL BE PERMITTED.
 - CONCRETE EXPANSION JOINT MATERIAL IS TO BE 1" PREFORMED FIBER IN ACCORDANCE WITH TDOT SECTION 805 - JOINT MATERIALS OF THE STANDARD SPECIFICATIONS.
 - EXPANSION JOINTS ARE TO BE PLACED AS FOLLOWS:
 - AT TANGENT POINTS OF CIRCULAR CURVES
 - BETWEEN CURBS AND ABUTTING RIGID OBJECTS
 - AT OTHER PLACES WHERE STRESSES MAY DEVELOP
 - SO AS TO LINE UP WITH PAVEMENT JOINTS WHERE THE ADJACENT PAVEMENT IS CONCRETE
 - MAXIMUM SPACING IS TO BE 100 FEET
 - CONTRACTION JOINTS ARE TO BE SPACED AT 10 FEET. THE SPACING OF 10 FEET MAY BE REDUCED FOR CLOSURES, BUT NOT LESS THAN 6 FEET.
 - EDGES OF JOINTS SHALL BE FINISHED ON ON-QUARTER INCH RADII.
 - REFERENCE TDOT STANDARD DRAWING 89-10-11 FOR ADDITIONAL INFORMATION.
 - CONTRACTOR TO ADJUST GUTTER SLOPE TO MATCH ASPHALT SLOPES FOR ENTRANCE AREA ONLY.

CONCRETE CURB AND GUTTER TABLE

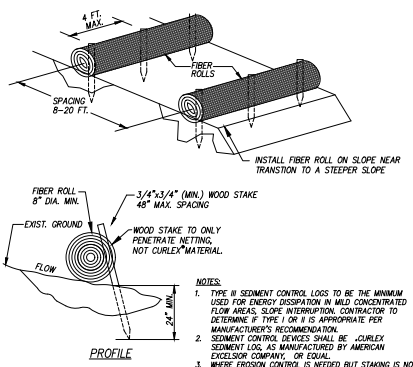
TYPE	TOTAL WIDTH (W) IN INCHES	WIDTH OF GUTTER (W _G) IN INCHES	VERTICAL DROP (D) IN INCHES	VERTICAL DEPTH (D ₁) OF GUTTER
6-30	30	22 1/2	2	MATCH PAVEMENT SECTION

CONCRETE CURB AND GUTTER SECTION
C
N.T.S.



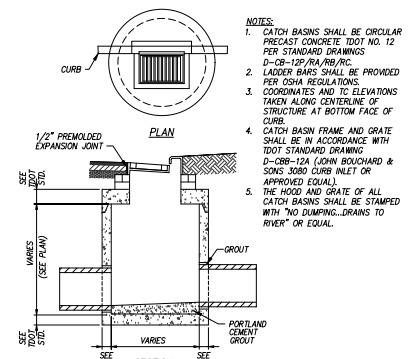
- NOTES:**
- SIDEWALK CROSS SLOPE SHALL BE 2% MAXIMUM.
 - SIDEWALKS SHALL HAVE A BROOM FINISH IN ACCORDANCE WITH TDOT SPECIFICATIONS.
 - WHERE NECESSARY TO REMOVE PARTS OF EXISTING SIDEWALKS ON RAMP, THE RESULTING EDGES SHALL BE CUT TO A NEAT LINE AND ANY OFFSETS IN SUCH LINES SHALL BE MADE AT RIGHT ANGLES.
 - MINERAL AGGREGATE BASE SHALL BE CRUSHED STONE, CLASS "A" AGGREGATE, GRADING "D".
 - PREFORMED EXPANSION JOINTS SHALL BE EQUALLY SPACED AT 25' O.C. AND WHERE THE SIDEWALK IS IN CONTACT WITH STREET RETURN, ON BUILDING LINES, WHERE WALKS LEAD TO BUILDING ENTRANCES, AT FIXED OBJECTS AND OTHER LOCATIONS WHERE STRESSES MAY DEVELOP, EXPANSION JOINT SHALL BE 1" WIDE IN AREAS IN CONTACT WITH CIRCULAR CURBS, BUILDINGS, RETAINING WALLS AND FIXED OBJECTS. ALL OTHER LOCATIONS SHALL BE 1/2" WIDE JOINTS.
 - EQUALLY SPACE CONTRACTION JOINTS AT 5' O.C. (APPROXIMATE) BETWEEN EXPANSION JOINTS.
 - SIDEWALKS WHICH DO NOT MEET ADA STANDARDS WITH REGARD TO RUNNING SLOPE AND CROSS SLOPES WILL BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
 - INSTALL SIDEWALK PER TDOT SPECIFICATIONS.

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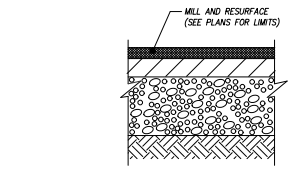
- NOTES:**
- TYPE III SEDIMENT CONTROL LOGS TO BE THE MINIMUM USED FOR ENERGY DISSIPATION IN MILD CONCENTRATED FLOW AREAS. SLOPE INTERRUPTION CONTRACTOR TO DETERMINE IF TYPE I OR II IS APPROPRIATE PER MANUFACTURER'S RECOMMENDATION.
 - SEDIMENT CONTROL DEVICES SHALL BE "CURLX" SEDIMENT LOG, AS MANUFACTURED BY AMERICAN EXCELSIOR COMPANY, OR EQUAL.
 - WHERE EROSION CONTROL IS NEEDED BUT STAKING IS NOT PRACTICAL, SECURE ROLL USING SANDBAGS AT 2' C-C SPACING.

TEMPORARY SEDIMENT TUBES
E
N.T.S.



- NOTES:**
- CATCH BASINS SHALL BE CIRCULAR PRECAST CONCRETE TDOT NO. 12 PER STANDARD DRAWINGS D-CB-12P/RA/RB/R/C.
 - LADDER BARS SHALL BE PROVIDED PER CSHA REGULATIONS.
 - COORDINATES AND TO ELEVATIONS TAKEN ALONG CENTERLINE OF STRUCTURE AT BOTTOM FACE OF CURB.
 - CATCH BASIN FRAME AND GRATE SHALL BE IN ACCORDANCE WITH TDOT STANDARD DRAWING D-CB-12A (JOHN BOURQUARD & SONS 3080 CURB INLET OR APPROVED EQUAL).
 - THE HOOD AND GRATE OF ALL CATCH BASINS SHALL BE STAMPED WITH "NO DUMPING...DRAINS TO RIVER" OR EQUAL.

SINGLE CATCH BASIN
F
N.T.S.



- NOTES:**
- MILL 1-1/4" SURFACE ASPHALT COURSE AT 1-1/4" THICK (TDOT SPEC. SECTION 415-01.02) - COLD PLANING OF BITUMINOUS PLANT MIX PAVEMENTS.
 - INSTALL SURFACE ASPHALT COURSE @ 1-1/4" THICK TO MATCH SURFACE COURSE SHOWN IN DETAIL A, THIS SHEET. CONTRACTOR TO MATCH GRADIES WITH SURROUNDING EXISTING SURFACES AND PROPOSED TURN LANE. ADDITION, CONTRACTOR TO REPLACE ALL STRIPING TO MATCH EXISTING LAYOUT. STRIPING TO BE INSTALLED PER MUTCD AND TOWN OF FARRAGUT REQUIREMENTS.

MILLING AND RESURFACING
G
N.T.S.

ISSUE DESCRIPTION
NO. DATE: 06/06/2024 REVISION PER FARRAGUT COMMENTS

05/06/2025
IF THIS DOCUMENT IS NOT SIGNED, SEALED, AND DATED, IT MAY NOT BE USED FOR CONSTRUCTION.

VENTURE AT LASTER FARMS
11-971 OUTLET DRIVE
KNOXVILLE, TN 37932

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CCI PROJ. NO. 01863-0001
DATE: MAY 30, 2025
P/N/C: J.MUNT
DRAWN BY: C. DAKS

ROAD IMPROVEMENTS
SITE DETAILS

C104

CONCLUSIONS & RECOMMENDATIONS

The primary conclusion of this study is that the traffic generated from the proposed development will have some impacts at the study intersections. Congestion and queueing issues during peak hours do currently exist at the intersection of Campbell Station Road at Snyder Road, and the proposed development is expected to worsen the potential issues. The northbound approach is currently the worst leg of this intersection and will continue to experience increasing queues. Addition of a northbound right lane with an overlap phase will greatly impact the functionality and capacity of this intersection. Furthermore, delays and queue lengths at the intersection of Lovell Road at Outlet Drive are anticipated to worsen particularly during the PM peak hour. However, these impacts could likely be reduced to an acceptable level with optimized signal timing at this intersection.

Based on the above conclusions and other discussions throughout the report, the following is a list of recommendations developed with this traffic impact study:

- 1) Addition of an exclusive northbound right turn lane with storage of 100 feet and a taper length of 140 feet at the intersection of Campbell Station Road at Snyder Road; this will require removal of the concrete island and pole location to outside the intersection. This turn lane would fall within the Town of Farragut.
- 2) Replace a 3 section signal head for the northbound approach of Campbell Station Road at Snyder Road with a 5 section right turn signal head.
- 3) Addition of a westbound right turn lane with storage of 75 feet and a taper of 140 feet at the intersection of Outlet Drive at the site access. This turn lane would fall within both Knox County and the Town of Farragut.
- 4) Upon full buildout of the development, update the traffic signal timing at the intersections of Campbell Station Road at Snyder Road and Lovell Road at Outlet Drive. Each of these signals are in coordinated systems, so splits and offsets can be adjusted, but the overall signal system timing may remain.
- 5) Ensure that grading, landscaping, signing, and other site features do not restrict lines of sight exiting the development along Outlet Drive.

REPORT TO THE MUNICIPAL PLANNING COMMISSION

Prepared By: Mark Shipley, Community Development Director

Subject: Discussion on updates to the Driveways and Other Access Ways Ordinance concerning how accesses are approved and opportunities to streamline the approval process where possible (Town of Farragut, Applicant)

Introduction & Background: This item is for discussion purposes only and includes some suggested updates to portions of the Town’s Driveways and Other Access Ways Ordinance.

Discussion & Recommendations: The original Driveways and Other Access Ways Ordinance dates back to 1997 and there are some provisions that are out of date and that need to better reflect current practice. There are also some provisions where the review and approval process could be streamlined to take into consideration site specific conditions that may warrant a simpler approval process.

Over the years different sections of this ordinance have been updated. The most recent involved traffic impact studies and the need for those to specifically take into consideration impacts to pedestrians and bicyclists. Recent traffic impact studies have included these considerations, and this has helped enhance safety for all users of the transportation system.

The amendments being proposed at this time would replace several sections in the existing ordinance. “Section 22-145. – Policy” would be replaced with a new section that is more consistent with other recent ordinance updates and establishes the purpose, intent, and general scope of the ordinance. This new section more clearly identifies the main reasons for this ordinance and ties the ordinance to strategies identified in the Comprehensive Land Use Plan, including connectivity and planning for how the remaining vacant parcels are developed and the impact to all users of the transportation system. Also being replaced are "Section 22-146. - General provisions," “Sections 22-150 (3)(4) and (5),” and “Section 22-151. Access to two or more

roads, streets, or highways.” These sections, in some cases, include outdated information or would be unnecessary since the provisions contained therein would be covered in other proposed sections where the information would be easier to find.

Like the Town’s sign ordinance that was updated a few years ago, new sections have also been added for where discrepancies between minimum standards may occur and for severability should some provision of the ordinance be found invalid by a court of competent jurisdiction. These sections are important from a legal perspective and are needed additions to this ordinance.

The most significant amendments proposed at this time include sections on the ”access approval process” and “access submittal requirements” that would be specific for different types of streets and differences in the context, including the nature of the access and the use(s) that it serves. The sections that these would replace are “Section 22-148. – Permit required” and “Section 22-149. – Permit approval.” These existing sections are included in the packet and need updates to reflect current practice and, where possible, help streamline the approval process. A recent example of where the access variance approval process could be simplified was a proposed subdivision entrance off Boring Road where a variance from the distance between driveways had to go before both the Planning Commission and the Board of Mayor and Aldermen. In this case, the nearest conflicting access was an access serving a single family dwelling unit. As proposed in the draft language, this variance could be approved solely by the Planning Commission as part of their review of the subdivision plat. There would be no extra step to go to the Board of Mayor and Alderman.

These new sections related to access approval and access submittal requirements add more clarity to the ordinance and also take into account how these are processed through the Town’s electronic permitting system. The variance section of the ordinance is now proposed to cross reference the access approval process.

And finally, a new section is proposed to provide clarity on the dimension and composition requirements associated with driveways serving single-family dwellings. This reflects what the Town’s expectations have been in relation to residential site plan reviews.

As noted above, this is for discussion purposes only. Included in the packet are existing sections of the ordinance that are proposed for replacement along with the proposed language. The staff will review this in more detail at the meeting.

Recommended By: Mark Shipley, Community Development Director

Proposed Motion: For discussion purposes only.

Suggested Amendments to the Driveways and Other Access Ways Ordinance

Sec. 22-.... Purpose, intent, and general scope.

The purpose and intent of this chapter is the following:

- a) Promote safety by ensuring that access requests take into consideration sight distance, topography, nearby access points, nearby intersections, street classifications and design speeds.
- b) Evaluate the trip generation and trip distribution associated with a project and its access points in terms of impacts to all users of the transportation system (motorists, pedestrians, bicyclists).
- c) Coordinate access to provide for connectivity options and account for future development and/or road improvement projects.
- d) Promote aesthetic considerations in relation to access, particularly in residential developments.

Sec. 22-.... Provisions declared to be minimum requirements.

The provisions of this chapter are considered to be minimum requirements. Wherever there is a discrepancy between the minimum standards noted in this chapter and those contained in any other lawfully adopted regulation or ordinance of the town, the strictest standard shall apply.

Sec. 22-.... Severability.

If any section, subsection, sentence, clause, or phrase of this chapter is for any reason held to be invalid by a court of competent jurisdiction, such decision shall not affect the validity of the remaining portions of this chapter.

Sec. 22-.... Access Approval Process.

The access approval process varies depending on the nature of the access, the street classification on which the access is requested, what the access is associated with, and whether the access can comply with the provisions of this chapter without a request for a variance.

- a) **Local Street Access Approval.** On streets that are classified as local on the adopted Major Road Plan, new access associated with a residential lot shall be shown on the residential site plan required for a building permit and approved through the building permit process. New access or modifications to existing access associated with a residential lot that is not part of a building permit, shall be submitted to the Town's engineering and planning staff for review and approval. Depending on the scope of work, such modifications may require a right-of-way permit submitted through the Town's electronic permitting system. A variance request from any provision of this chapter involving a street classified as local on

the adopted Major Road Plan shall be reviewed and approved by the planning commission.

- b) **Town Engineer Approval.** Site plans involving residential drives onto non-local streets that serve only one dwelling unit may be reviewed and approved by the Town engineer. Minor revisions to existing drives involving non-local streets may also be reviewed and approved by the Town engineer. Where a concern is raised by the Town engineer regarding an access request that the Town engineer could otherwise approve, such request shall be presented to the planning commission for approval.
- c) **Planning Commission Approval.** For streets that are classified as collector or arterial on the adopted Major Road Plan, new or modified access associated with a site plan or subdivision plat that requires a review from the Town’s planning commission shall be approved as part of the site plan or subdivision plat process. An access that serves more than one dwelling unit or a non-residential use but is not part of a larger site plan or subdivision plat shall also be reviewed and approved by the planning commission.

Access to a collector or arterial street shall generally require a deceleration lane and reviewed as part of the site plan or subdivision plat approval process. Also, to help lessen the number of access points to a collector or arterial street and provide more route options, cross access to abutting properties shall be required and shall be reviewed as part of the site plan or subdivision plat approval process. Appropriate access easements shall be platted once the access is complete. All accesses approved through the site plan or subdivision platting process shall comply with applicable provisions in the Subdivision Regulations and Zoning Ordinance.

- d) **Board of Mayor and Aldermen Approval.** Except as provided for in this part, board of mayor and aldermen approval of access shall only be required where a variance from any provision of this chapter is requested in association with a property’s access to a non-local street. In such case, the planning commission shall make a recommendation to the board of mayor and aldermen.

On streets that are classified as “collector” on the adopted Major Road Plan, the planning commission may approve a variance from the distance between driveways as part of a site plan or subdivision plat approval where the nearest driveway that is within the minimum distance required serves only one dwelling unit. In this case, such variance does not need approval from the board of mayor and aldermen.

- e) **Tennessee Department of Transportation (TDOT) Approval.** New or modified access involving a State of Tennessee highway shall be approved by TDOT in addition to any required town approval.
- f) **Temporary Access Approval.** Temporary construction access ways may be granted by the town engineer or his designee to facilitate construction. The length of time shall be determined by the town engineer based on the specifics of the project. Where a concern is raised by the Town engineer regarding a temporary access request that the Town

engineer could otherwise approve, such request shall be presented to the planning commission for approval.

Sec. 22-.... Access Submittal Requirements.

- a) **Local Street Access.** Where associated with a building permit, the residential site plan shall include the driveway and turn around location (where proposed), and dimensions and square footage of the driveway, turning radii, and turn around. For corner lots, the distance of the driveway edge, exclusive of turning radius, from the nearest intersecting curb or pavement edge (where curbing does not exist) shall be provided.
- b) **Local Street Access (non-building permit).** A new or modified residential access to a local street that is not associated with a building permit shall include the same information that would apply to a residential site plan along with an update on the total lot coverage that would result from the access addition or modification. This may be approved by the engineering or planning staff and uploaded into the project address. If the scope of the project requires a right-of-way permit the site plan will be submitted through the Town's electronic permitting system.
- c) **Non-Local Street Access – Town Engineer Approval.** Where the Town engineer may approve an access or a modified access to a non-local street, a site plan shall be submitted that shows the location and dimensions of the proposed access and the distance from the proposed access to the nearest access on both sides of the street. This dimension shall be measured from the nearest edges of driveway pavement, excluding the turning radius of each access. The site plan shall also include an update on the total lot coverage that would result from the access addition or modification.
- d) **Non-Local Street Access – Planning Commission Approval.** Where an access to a non-local street requires planning commission approval or is part of a site plan or subdivision plat that requires a review from the Town's planning commission, the access shall reflect and be consistent with the requirements associated with site plan and subdivision plat submittals. This would include the location and dimensions of the proposed access and the distance from the proposed access to the nearest access on both sides of the street. This dimension shall be measured from the nearest edges of driveway pavement, excluding the turning radius of each access.

Sec. 22-.... Single Family Residential Driveway Dimension and Composition Requirements.

In addition to other requirements in this chapter, new or modified accesses associated with a single-family residential lot shall comply with the following requirements associated with their dimensions and composition:

- a) **Width.** The maximum width of a driveway for a single-family dwelling shall be 24 feet throughout its length, excluding a turn around that is not within the public right of way. The maximum flare or radius shall be between three feet and five feet.

-
- b) **Composition.** Within the public right of way, a single-family residential driveway shall be paved with concrete or bituminous material. For purposes of this chapter, the right of way shall be a distance of at least 12 feet from the curb or street pavement edge (where curbing does not exist).

Sec. 22-.... Variance.

A variance request from any provision of this chapter shall be in accordance with the Access Approval Process outlined in Section....

EXISTING PROVISIONS AFFECTED BY PROPOSED AMENDMENTS

ARTICLE 5. DRIVEWAYS AND OTHER ACCESS WAYS

Sec. 22-145. Policy.

The efficiency and safety of a street, road, or highway is greatly affected by vehicles entering, leaving, or crossing the roadway. Commercial, office, and residential developments are major contributors to increased volume of traffic upon municipal streets, roads, and highways. Such developments also give rise to increased traffic volume of a type and pattern characterized by frequent ingress and egress to the same. Therefore, such development significantly affects the efficiency and safety of streets, roads, or highways within the municipality. In the interests of safety, the town must regulate access to the streets, roads, and highways within its town limits in a uniform manner that is fair to the general public, land-owners, and developers.

(Code 2007, § 16-401; Ord. No. 96-30, 1-1997)

Sec. 22-146. General provisions.

- (a) All access ways shall meet the minimum access requirements of this article or as determined by a traffic impact study.
- (b) The town municipal planning commission shall review access requests through the site plan review process and forward its recommendation to the board of mayor and aldermen.
- (c) The town municipal planning commission shall review new proposed roadway accesses to an existing public road through the subdivision platting process. These roadway accesses shall meet the minimum access requirements of this article or as determined by a traffic impact study.
- (d) The board of mayor and aldermen shall review access applications as provided in this article, except new roadway accesses to an existing public road created through the subdivision platting process.
- (e) Developments requiring the submittal of a site plan or a preliminary subdivision plat may require a traffic impact study.
- (f) The town municipal planning commission may require a traffic impact study as part of the rezoning submittal process when the requested zoning change increases the overall density from the base zone.
- (g) State department of transportation access permits shall be the responsibility of the applicant.

(Code 2007, § 16-402; Ord. No. 96-30, 1-1997; Ord. No. 14-18, § 2, 12-11-2014)

Sec. 22-148. Permit required.

- (a) No driveway or other means of access to any right-of-way of any road, street, or highway within the limits of the town shall be constructed nor shall any existing driveway or other means of access be altered except pursuant to a permit issued by the town. The submission of an access permit application shall be required.
- (b) For minor revisions to existing drives and residential drives onto non-local streets, an application for an access permit shall be accompanied by four copies of a plan of access which shall as a minimum, consist of clear drawings or a sketch showing the general layout and dimensions necessary to prove compliance with this article, and a brief description of the proposed use of the property.
- (c) For residential drives onto local streets, an application for an access permit shall be accompanied with the building permit and shown on the required site plan.

(Code 2007, § 16-404; Ord. No. 96-30, 1-1997)

Sec. 22-149. Permit approval.

- (a) The planning commission and the board of mayor and aldermen shall review, as provided for in this article, applications for access requiring the submittal of a site plan. Site plans involving residential drives onto non-local streets that serve only one dwelling unit may be reviewed and approved by the town's engineering staff. Minor revisions to existing drives may also be reviewed and approved by the town's engineering staff. Where a concern is raised by the town's engineering staff regarding an access request that they could otherwise approve, such request shall be presented to the planning commission and board of mayor and aldermen for approval.
- (b) The planning commission, the board of mayor and alderman, and town staff shall review applications for access for compliance with the requirements of this article. The planning commission, the board of mayor and alderman, or the town staff may require such revisions, corrections, and additions to the plans of access and such additional supporting documentation of the plan of access as may be reasonable considering the locations of proposed and existing access, the traffic impact study if required, and considerations of public safety and welfare. All revisions, corrections, and additions required shall be recorded on a final copy of a subdivision plat, site plan, or "drawing or sketch" of the access requested for approval before issuance of a permit.
- (c) An access permit shall be secured before issuance of a building permit.
- (d) No final certificate of occupancy or certificate of completion shall be issued until all applicable access control requirements as outlined in this article and other requirements of the individual access permit have been completed.

(Code 2007, § 16-405; Ord. No. 96-30, 1-1997; Ord. No. 23-02, § 1, 2-23-2023)

Sec. 22-150 (3), (4), and (5).

- (3) *Paved acceleration and deceleration lane requirement.* Paved acceleration and deceleration lanes may be required along any arterial or collector street or highway at the determination of the board of mayor and alderman upon the recommendation of the town engineer or his designee.
- (4) *Circulation drives and frontage roads.* Circulation drives (drives which interconnect all lot access points with all vehicle parking, loading, servicing, and like areas and structures) and frontage roads (roads which parallel the public streets giving access and which extend along the entire frontage of a particular property) shall be constructed in order to provide safe and efficient vehicular movement

between specified access points as specified in subsection (2) of this section. The location, width, and design of all circulation drives and frontage roads shall be approved by the board of mayor and aldermen upon recommendation of the town engineer or his designee. All frontage roads shall be dedicated as public streets and shall be maintained by the public.

- (5) *Subdivision standards for circulation drives and frontage roads.* Frontage roads and circulation drives shall be constructed in conformance with the subdivision regulations standards. Dedicated right-of-way for frontage roads shall be ten feet greater than the width of the newly constructed frontage road. All circulation drives shall be clearly defined and marked appropriately to assist public circulation into, on, and out of the property and through parking lot areas.

(Code 2007, § 16-406; Ord. No. 96-30, 1-1997; Ord. No. 09-14, § 1, 8-27-2009; Ord. No. 20-14, § 1, 9-24-2020)

Sec. 22-151. Access to two or more roads, streets, or highways.

In the event a parcel of land abuts and lies adjacent to two or more separate roads, streets, or highways, the board of mayor and alderman may limit or prohibit access to one or more such roads (provided that access to at least one such road shall always be permitted) if the safety and welfare of the public will be promoted by so doing. In so limiting or prohibiting access, consideration shall be first given to limiting or prohibiting access to the more heavily traveled abutting or adjacent road, street, or highway. Any party aggrieved by any action taken under the provisions of this section shall have the burden of establishing that such action taken does not promote the safety and welfare of the public.

(Code 2007, § 16-407; Ord. No. 96-30, 1-1997)

Sec. 22-152. Variance.

Notwithstanding anything contained herein to the contrary, the board of mayor and aldermen may grant approval for access and/or frontage roads other than as specifically herein permitted, provided such an access is reviewed with a recommendation by the town engineer or his designee and the planning commission.

(Code 2007, § 16-408; Ord. No. 96-30, 1-1997)

(Code 2007, § 16-410; Ord. No. 96-30, 1-1997)