



FARRAGUT VISUAL RESOURCES REVIEW BOARD

AGENDA

Farragut Town Hall

Board Room

Tuesday, January 22, 2019

7:00 p.m.

1. Approval of Minutes for the November 27, 2018 meeting.
2. Review of an individual tenant panel (ground sign on Kingston Pike) for IRM Insurance, located at 11002 Kingston Pike.
3. Review of an individual tenant panel (ground sign on Kingston Pike) for MK Tax Services, located at 11002 Kingston Pike.
4. Review of a Subdivision Entrance Sign for Brass Lantern Subdivision, located at 801 McFee Road.
5. Review of a Subdivision Entrance Sign for Brookmere Subdivision, Located at 430 Virtue Road.
6. Review of a landscape plan for the Brookmere Subdivision Clubhouse and Entrance Area, Located at 430 Virtue Road.



FARRAGUT VISUAL RESOURCES REVIEW BOARD – Minutes

The Farragut Visual Resources Review Board met on Tuesday, November 27, 2018 in the Board Room at the Farragut Town Hall. Marty Layman presided. Members in attendance were Marty Layman, Jeanie Stow, Brittany Moore, Cindy Hollyfield, Randy Armstrong, Kaivon Kiumarsi, and Youth Representative, Alex Butler. Board member David Freeman was absent.

Chairman Layman called the meeting to order at 7:00 pm.

1. Minutes:

A motion was made by Hollyfield to approve the October 23, 2018 minutes as submitted. The motion was seconded by Kiumarsi and the motion passed unanimously.

2. Ground Mounted Sign Applications:

a) St Elizabeth's Episcopal Church – 110 Sugarwood Dr.

38.9 square foot ground mounted sign for the St Elizabeth's Episcopal Church located at 110 Sugarwood Dr.

Staff reviewed the item noting that the sign appears to comply with the Town's requirements, however, legibility may be a concern given the size of the white lettering against a gray background. Staff recommended approval.

A representative of the Church was present and stated that they planned to darken the gray background to improve contrast with the lettering.

A motion was made by Hollyfield to approve the sign with the gray background being darkened. The motion was seconded by Moore and it passed unanimously.

b) Farragut Dental Studio (Tenant Panel) – 11201 West Point Dr. Suite 101.

6.6 square-foot tenant panel sign located at 11201 West Point Dr. Suite 101.

Staff reviewed the item and noted that the proposed sign appears to comply with the requirements and matches the size of the adjacent Mortgage Investors Group panel. Staff recommended approval.

A motion was made by Stow to approve the sign panel. The motion was seconded by Kiumarsi and it passed unanimously.

- c) **Easton Park (Permanent Subdivision Sign)** – 11739 Turkey Creek Rd.
34-square foot Permanent Subdivision sign located at 11739 Turkey Creek Rd.
Staff reviewed the item noting that the regulations allow for up to a 40-square foot sign. Staff recommended approval subject to the subdivision plat being updated to include a sign easement and the actual location of the sign being field verified by a surveyor.

A motion was made by Stow to approve the sign subject to staff's recommendation. The motion was seconded by Kiumarsi and it passed unanimously.

- d) **Comfort Suites (Ground Sign)** – 811 North Campbell Station Rd.
Sign panel face replacement located at 811 North Campbell Station Rd.
The staff explained that Comfort Suites was requesting approval to replace/reface their existing sign. Staff also noted that it was co-located with the sign for the County Inn and Suites on the same ground sign structure. Staff recommended approval based on compliance with the sign ordinance.

A motion was made by Kiumarsi to approve the sign (panel). The motion was seconded by Moore and it passed unanimously.

- e) **Comfort Suites (Interstate Pole Sign)** – 811 North Campbell Station Rd.
Replacement of existing Interstate Pole Sign
The staff explained that the proposed sign structure would be 35 feet in height and that the sign face would total 249 square feet in area. By contrast, staff noted that the existing sign totals 290 square feet in area and is 57 feet high. Staff recommended approval subject to the signs actual location and height being field verified by a surveyor for compliance.

A motion was made by Armstrong to approve the sign subject to staff's recommendation. The motion was seconded by Stow and it passed unanimously.

Meeting adjourned at 7:25 p.m.

MEMORANDUM

TO: Farragut Visual Resources Review Board
FROM: Bart Hose, Assistant Community Development Director
SUBJECT: Regularly Scheduled Meeting - Tuesday, January 22, 2019 at 7:00 p.m.

AGENDA

1. Approval of Minutes for the November 27, 2018 meeting

2. Ground Mounted Sign Applications

a) IRM Insurance (Tenant Panel) – 11002 Kingston Pike

Tenant panel for IRM Insurance located at 11002 Kingston Pike.

IRM Insurance is requesting approval of a tenant panel for their office located at 11002 Kingston Pike in the Concord Square Development.

The proposed panel appears to be legible and similar to other panels on the sign. The staff recommends approval.

b) MK Tax Services (Tenant Panel) – 11002 Kingston Pike

Tenant panel for MK Tax Services located at 11002 Kingston Pike.

MK Tax Services is requesting approval of a tenant panel for their office located at 11002 Kingston Pike in the Concord Square Development.

The proposed panel appears to be legible and similar to other panels on the sign. The staff recommends approval.

c) Brass Lantern Subdivision (Permanent Entrance Sign) – 801 McFee Road

Permanent Subdivision Entrance Sign located at 801 McFee Road.

Brass Lantern Subdivision is requesting approval for construction of a permanent subdivision entrance sign located at 801 McFee Road. The Town's staff has identified several issues or questions regarding the submitted plans. This includes the following:

1. The sign and structure violate the Town's required 10-foot setback standards (10 feet from all property lines).
2. The dimensions of the sign (message component) are not clearly provided in conformance with Town standards.
3. The proposed spot-lights may require additional cut-off shields to comply with the Town's lighting standards.
4. The location of the proposed sign and other revised plan elements conflict with the previously approved landscaping plan for the development. The approved landscaping plan will need to be revised to reflect sign location and other revised plan elements, including the mail facility.

5. No previously submitted plan or plat sheets reflect the relocation of site lighting (pole) elements to the median island. Revised plan/plat sheets will be required.
6. Any sign easement(s) required to accommodate the sign will have to be added to overall subdivision plat.
7. Property/ROW and easement lines should be labeled on all sheets and setback distances from all property/ROW lines must be clearly identified on all sheets.

The staff has discussed these issues with the applicant's design professionals and they plan to reduce the size of lot 30 and increase the size of the open space lot to address the setback issues. They are also aware that the signage plan will require adjustments to the subdivision plat and a revised landscaping plan. A final subdivision plat is now scheduled to be reviewed by the Planning Commission in February.

The staff has asked the applicants to submit a revised plan addressing the noted issues prior to the meeting. Any approval of the entrance sign plan should be made subject to all noted issues being addressed in a satisfactory manor, and all related changes to the subdivision plat and landscaping plan being formally made and approved. This includes submission of the revised landscaping plan to the Board for review.

d) Brookmere Subdivision (Permanent Entrance Sign) – 430 Virtue Road

Permanent Subdivision Entrance Sign located at 430 Virtue Road.

Brookmere Subdivision is requesting approval for construction of a permanent subdivision entrance sign located at 430 Virtue Road. The sign and entranceway structure will be located in a median island within Needlegrass Lane (proposed). The location within the road right-of-way has been approved by the Board of Mayor and Aldermen. The proposed sign actually includes two separate signs, one located on each side of the median and entranceway structure. Each sign totals 12 square feet in area, which falls within the Town's size requirements. Please also note that the project's landscaping plan (see next agenda items) includes the proposed entrance sign.

The staff recommends approval subject to the following issues being satisfactorily addressed;

1. Clearly documenting that the sign(s) does not exceed the Town's 6-foot maximum height requirement;
2. The inclusion of all light fixture cut-sheet details on the applicable plan sheets and ensuring that each fixture is keyed and clearly located on the plan;
3. Field verification, by staff, that the lighting plan conforms with Town standards;
4. The installed location and height of the sign(s) being field verified by a surveyor.

3. Landscape Plans

a) Brookmere Subdivision Clubhouse & Entrance – 430 Virtue Road

This item involves a landscaping plan for the planned clubhouse and entrance area at Brookmere Subdivision, a large new subdivision being developed off Virtue Road. The landscape plan includes the clubhouse and subdivision entrance area, including the permanent entrance sign. The plan depicts extensive landscaping for the areas in question.

Staff recommends approval of the plan subject to listing all plant material sizes in accordance with the Town's landscaping requirements on the included plant schedule (sheet 11 of 20).

Double Sided Tenant Sign

- Acrylic inner piece - 9" x 128"
 - Covered with Smoke Grey Day/Night Vinyl
- Outer piece - 9" x 128"
 - Brushed silver Sign-A-Bond
 - Letters routed out



Production will not begin until you approve your proof* *Please verify wording, spelling, art and sizes are correct before approving

Please note, once approved that you will be responsible for remake costs should any errors be found after production begins* Colors portrayed on this proof will differ from final product due to most monitors not being color calibrated* There is no charge for the first revision to the proof, however any customer changes beyond the first one will be subject to set up fees



SIGNS-N-SUCH

10932 Murdock Rd.
Knoxville, TN 37932
(865) 671-8788
FAX (865) 671-8787
www.signsnsuch.net

This design/drawing is the property of SIGNS-N-SUCH and cannot be used or distributed without the approval of said company.

DATE:	12-7-2018
LOCATION:	Knoxville
SALES REP:	J. Hutchison
DRAWN BY:	M. McWest
PAGE:	[2] of [2]

**AVERAGE CONSTRUCTION TIMES
AFTER PERMIT IS APPROVED IS
15-20 BUSINESS DAYS. SIGN
CONSTRUCTION CAN NOT BEGIN
UNTIL PERMIT IS APPROVED.**

Approved By: _____

Date: _____



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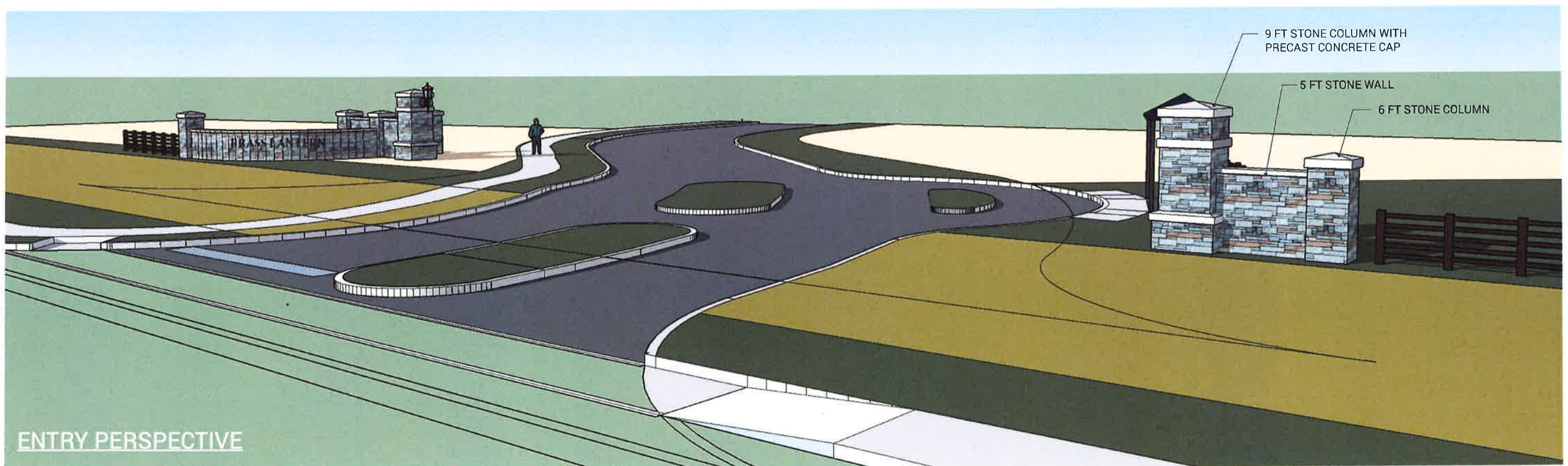
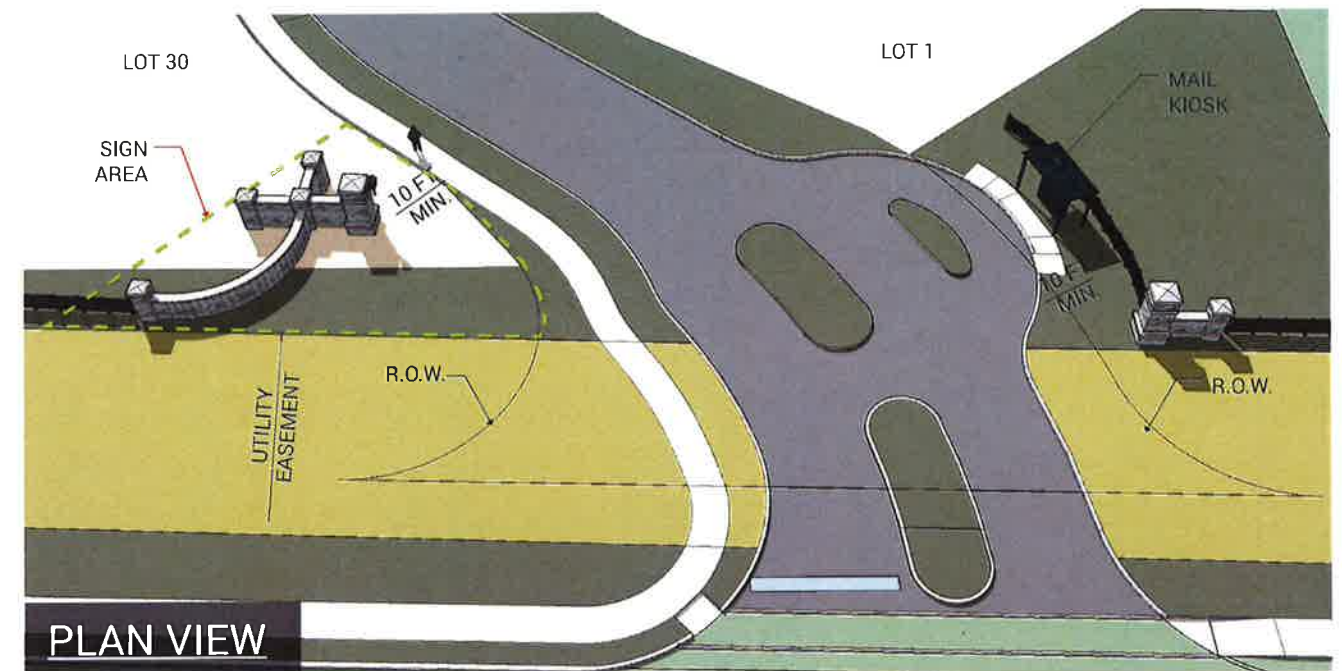
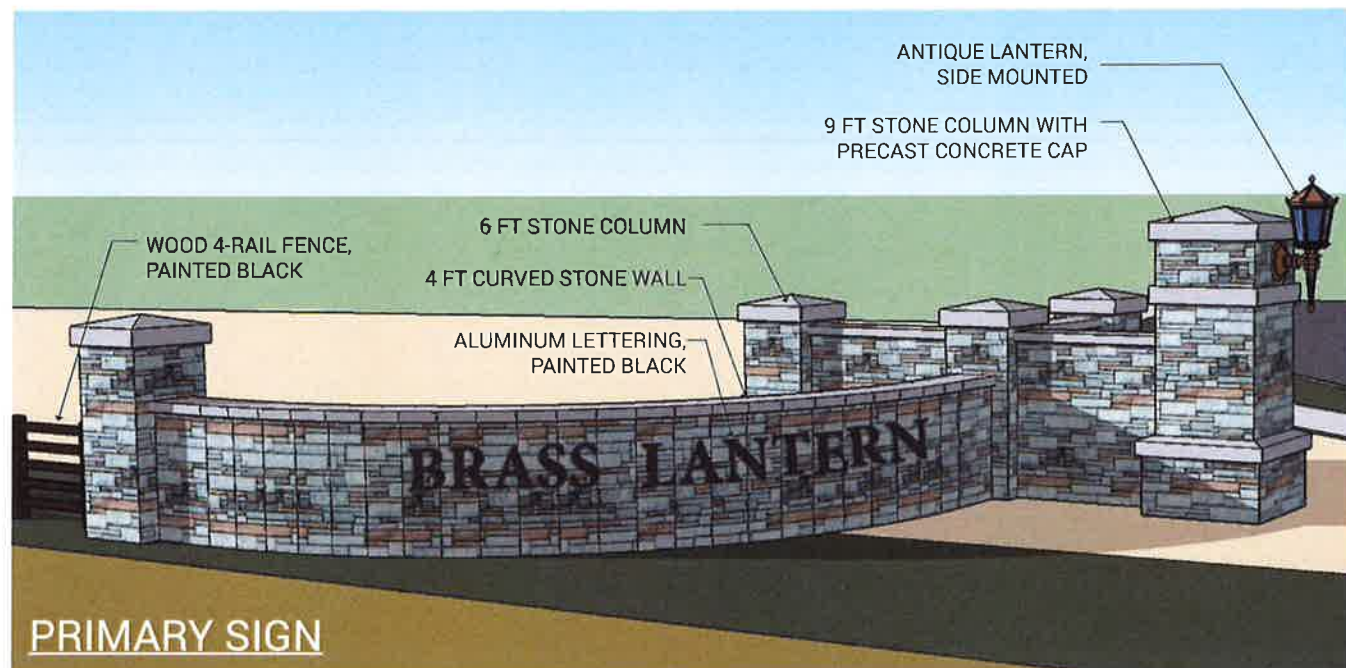
This design/drawing is the property of SIGNS N SUCH and cannot be used or distributed without the approval of said company.

DATE: 1-8-2018
 LOCATION: Knoxville
 SALES REP: D. Hutchison
 DRAWN BY: D. Hutchison
 PAGE: (1) of (1)

**AVERAGE CONSTRUCTION TIMES
 AFTER PERMIT IS APPROVED IS
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 CONSTRUCTION CAN NOT BEGIN
 UNTIL PERMIT IS APPROVED.**

Approved By: _____

Date: _____





TENNESSEE

HOMESTEAD LAND HOLDINGS, LLC

FARRAGUT

BRASS LANTERN
ENTRY SIGNAGE CONSTRUCTION SET

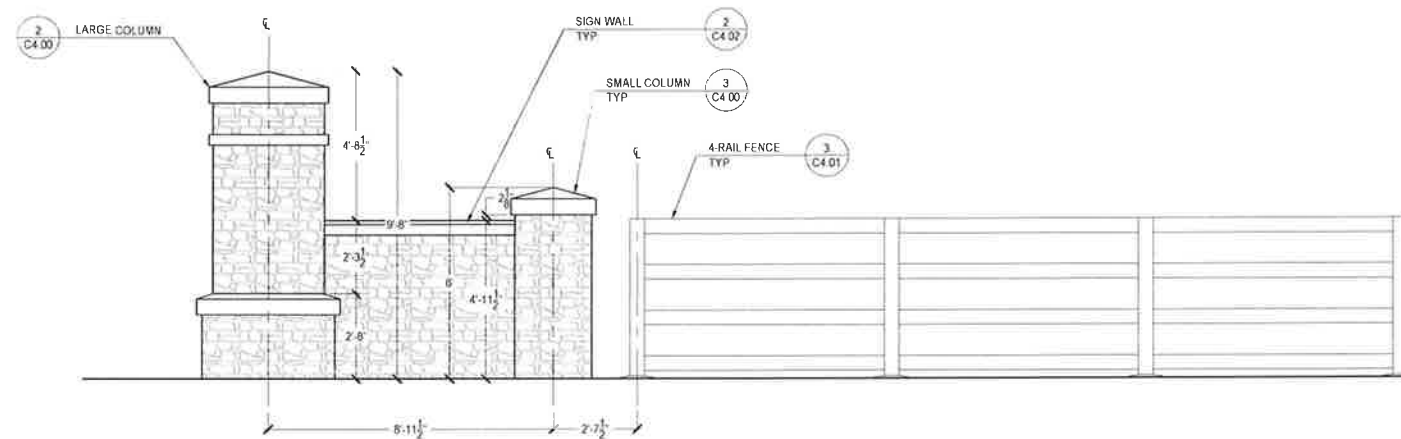
SUBMITTALS / REVISIONS		
NO.	DATE	DESCRIPTION

SHEET TITLE

SIGNAGE DETAILS

PROJECT NO. 18184	DATE 01/04/2019
DRAWN BY AMA	SCALE AS SHOWN
CHECKED BY DB	SHEET NO.

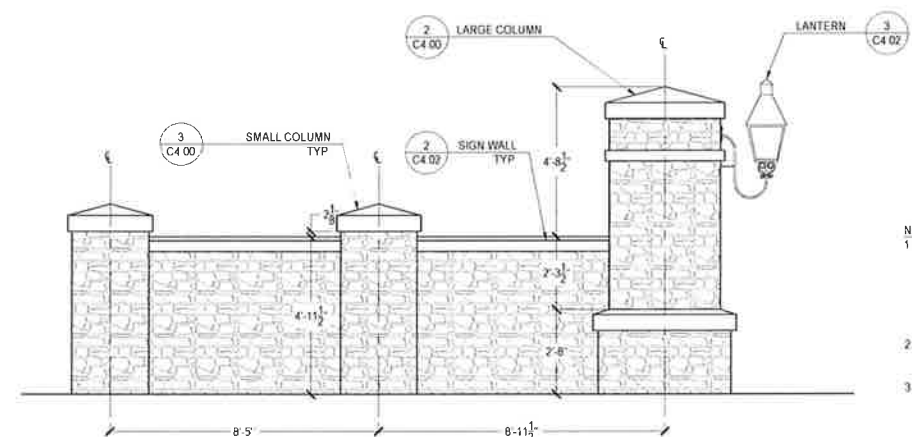
C4.01



- NOTES
1. DETAILS SHOWN FOR SIGN ARE BASIS OF DESIGN AND FOR BID PURPOSES ONLY. CONTRACTOR TO SUBMIT FULL SHOP DRAWINGS (SEALED BY A LICENSED STRUCTURAL ENGINEER IN THE STATE OF TENNESSEE) TO OWNER'S REPRESENTATIVE FOR REVIEW PRIOR TO ORDERING FINAL MATERIALS.
 2. PROVIDE POSITIVE DRAINAGE ON CAP AND ALL LEDGES, TYP. SLOPE TO DRAIN AWAY FROM MONUMENT.
 3. ALL MATERIAL COLORS TO BE SELECTED BY OWNER.

1 **ENTRANCE ELEVATION - C**

SCALE: NTS



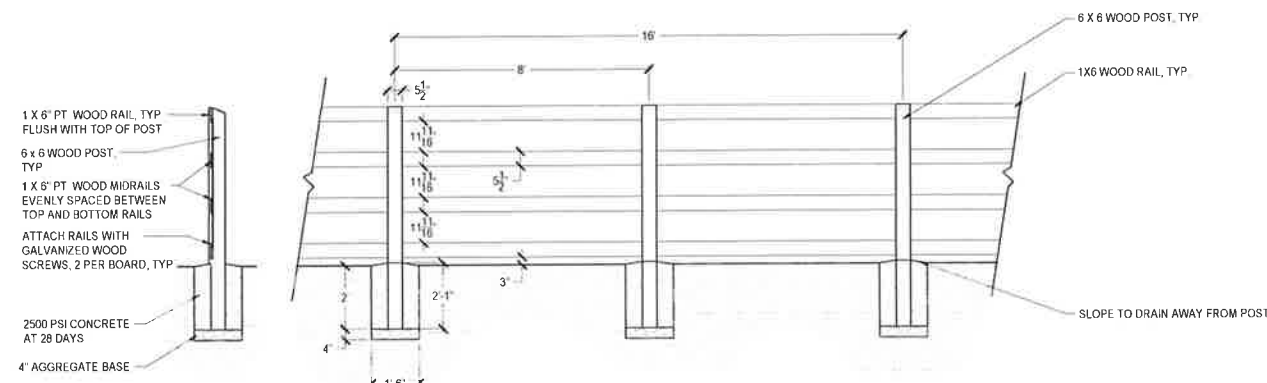
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 2. PROVIDE POSITIVE DRAINAGE ON CAP AND ALL LEDGES, TYP. SLOPE TO DRAIN AWAY FROM MONUMENT.
 3. ALL MATERIAL COLORS TO BE SELECTED BY OWNER.

2 **ENTRANCE ELEVATION - B**

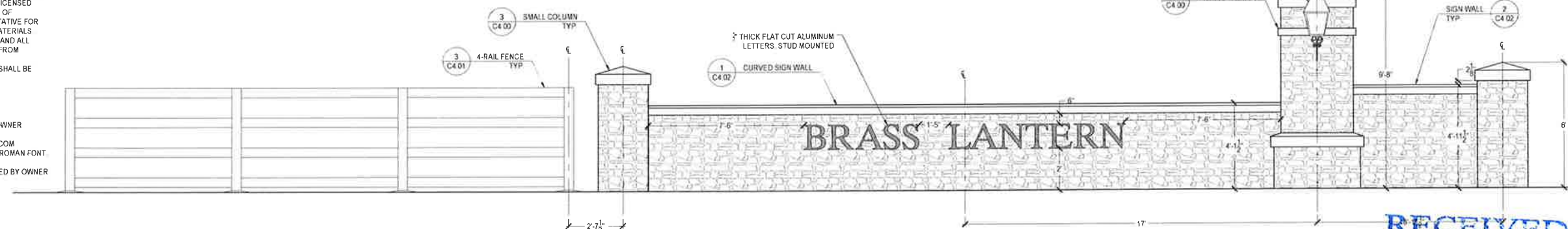
SCALE: NTS

3 **4-RAIL FENCE**

SCALE: NTS



- NOTES
1. DETAILS SHOWN FOR SIGN ARE BASIS OF DESIGN AND FOR BID PURPOSES ONLY. CONTRACTOR TO SUBMIT FULL SHOP DRAWINGS (SEALED BY A LICENSED STRUCTURAL ENGINEER IN THE STATE OF TENNESSEE) TO OWNER'S REPRESENTATIVE FOR REVIEW PRIOR TO ORDERING FINAL MATERIALS.
 2. PROVIDE POSITIVE DRAINAGE ON CAP AND ALL LEDGES, TYP. SLOPE TO DRAIN AWAY FROM MONUMENT.
 3. ANCHORS AND OTHER ACCESSORIES SHALL BE STAINLESS STEEL.
 4. ALUMINUM LETTER BASIS OF DESIGN: GEMINI SIGN PRODUCTS. FINISH: PAINTED. COLOR: TO BE SELECTED BY OWNER. CONTACT: (800) 583-8377, WWW.GEMINISIGNPRODUCTS.COM.
 5. ALL TEXT SHALL BE DUTCH801 RM BT, ROMAN FONT. SEE DETAILS FOR LOCATIONS.
 6. ALL MATERIAL COLORS TO BE SELECTED BY OWNER.



4 **ENTRANCE ELEVATION - A**

SCALE: NTS

RECEIVED

JAN - 7 2019

TOWN OF FARRAGUT



HOMESTEAD LAND HOLDINGS, LLC

FARRAGUT

TENNESSEE

[illegible]

SHEET THREE

TOWN OF FARRAGUT

SIGNAGE LAYOUT PLAN (CALLOUTS)

JAN - 7 2019

RECEIVED

TOWN OF FARRAGUT



SCALE: 1" = 10'

C1.00

LAYOUT NOTES:

3. SEE ATTACHED CURTAIN SHEETS FOR BUILDING
4. INSTALL JOISTS WHERE SHOWN TO ADJUT TO WALLS, BUILDINGS, ROAD, ETC. EVEN IF SPACE BETWEEN ELEMENTS AS SHOWN PROVIDE EXPANSION JOINTS BETWEEN CONCRETE ELEMENTS AND PROVIDE ELEMENTS (WALL, CURBS, ETC.) JOINTS TO BE STRAPPED AND TIED TO CONCRETE ELEMENTS.
5. ALL CURBS ARE DIMENSIONED TO THE AGE OF CURB
6. CONTRACTOR TO TAKE ALL PRECAUTIONS TO I/O AND AVOID SITE UTILITIES. ALL UTILITIES ARE NOT SHOWN ON DRAWING. VERIFY LOCATIONS AND CONSIDER SUCH WHEN ESTIMATING
7. ALL PIPES ARE TO BE INSTALLED AND TRAFFIC CONTROL DEVICES SHALL BE INSTALLED PER THE ALABAMA STATE TRAFFIC CONTROL DEVICES (MUTCD) LATEST EDITION
8. ALL PAVEMENT MARKINGS TO BE THERMOPLASTIC. UNLESS OTHERWISE NOTED
9. ALL CONSTRUCTION AND MATERIALS SHALL COMPLY WITH TYPICAL STANDARDS FOR ROADWAY AND BRIDGE CONSTRUCTION, LATEST EDITION
10. ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED
11. ALL ROUND UNDERDRAIN LUMINAIRES TO BE TYPICAL LIGHTING DESIGNS (TYPICAL LUMINAIRES SIZE - 1/2" W/ 4" ATTACHMENT) (UPPER VISION FOR GLARE RESISTANCE AND BLACK POWDER COAT FINISH



TENNESSEE

BRASS LANTERN
ENTRY SIGNAGE CONSTRUCTION SET

HOMESTEAD LAND HOLDINGS, LLC

FARRAGUT

SUBMITTALS / REVISIONS	
NO.	DATE DESCRIPTION

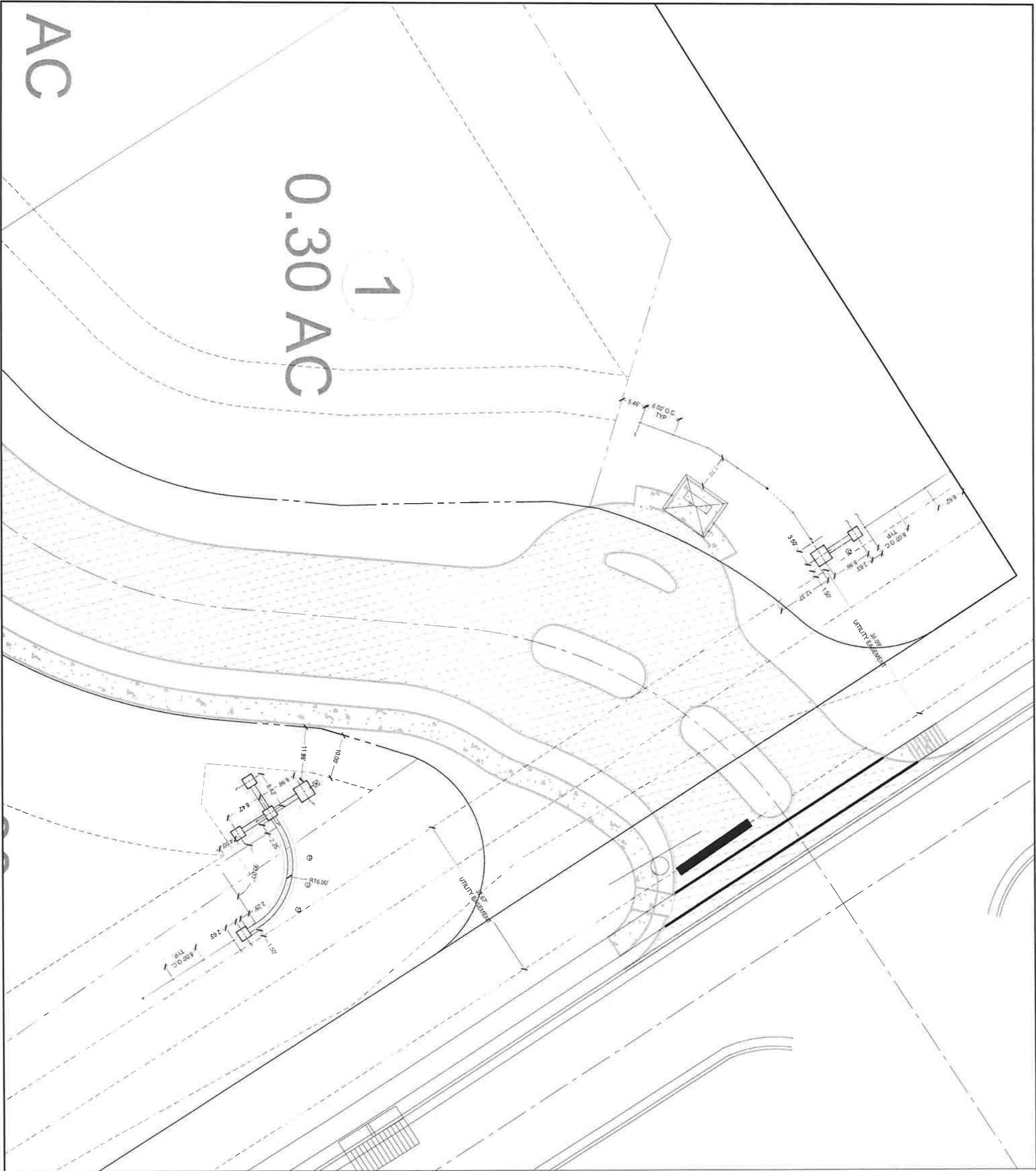
SHEET TITLE

SIGNAGE LAYOUT PLAN
(DIMENSIONS)

PROJECT NO.	DATE
18194	07/06/2019
DRAWN BY	SCALE
	1"=10'
CHECKED BY	
DATE	

SHEET NO.
C1.01

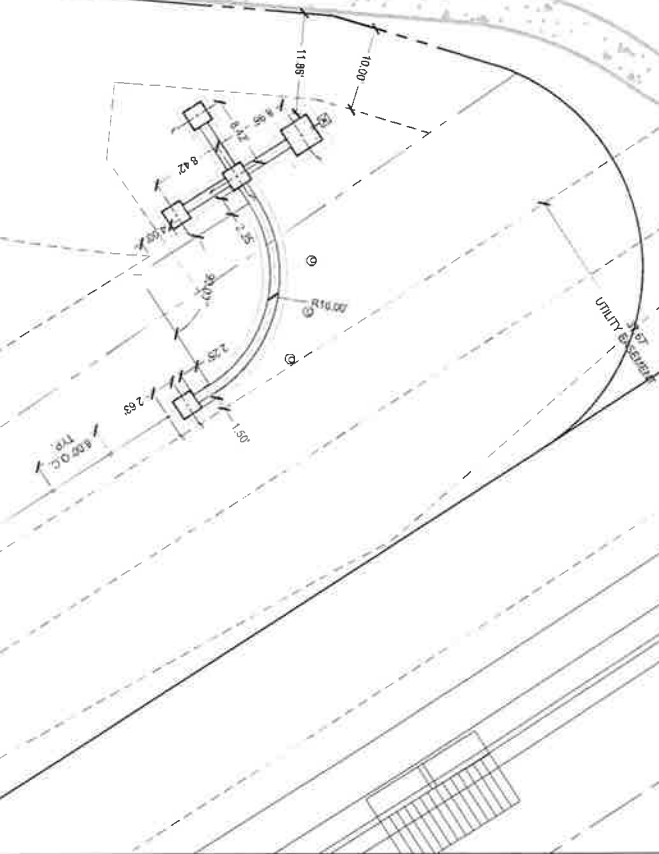
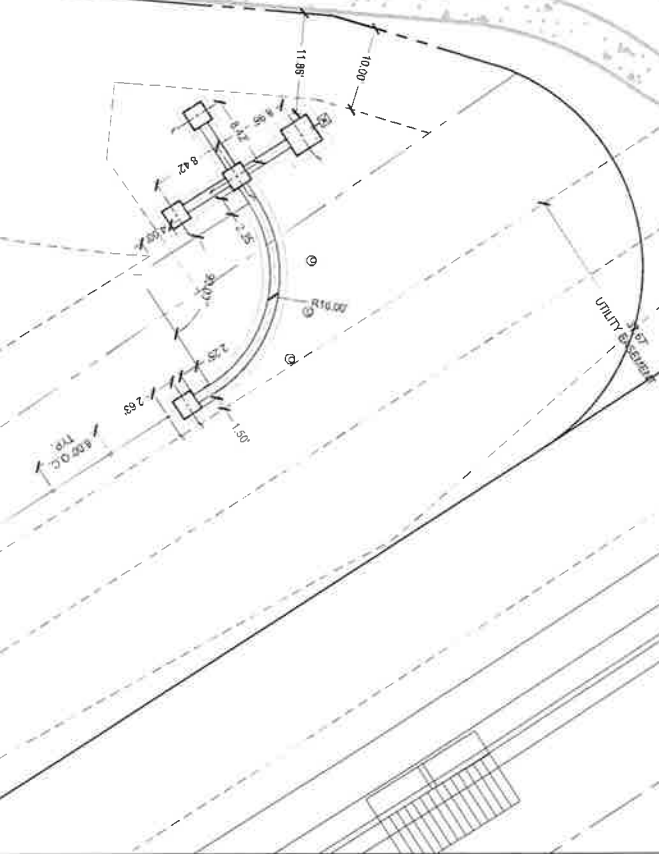
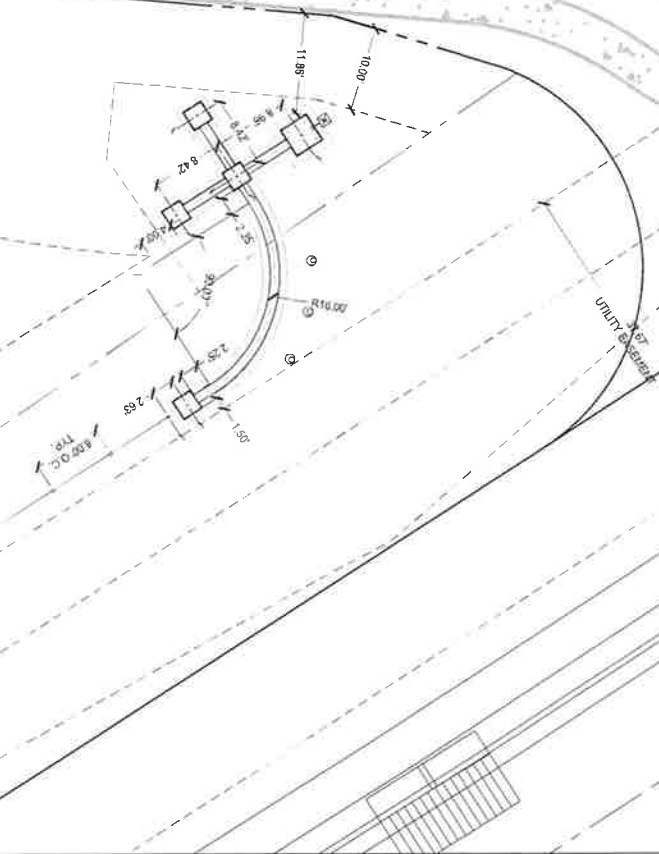
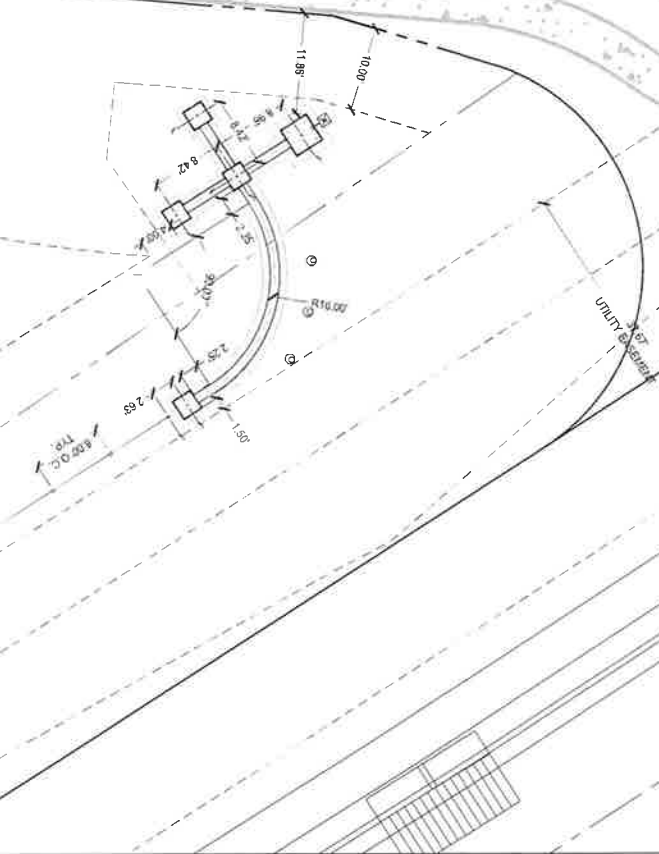
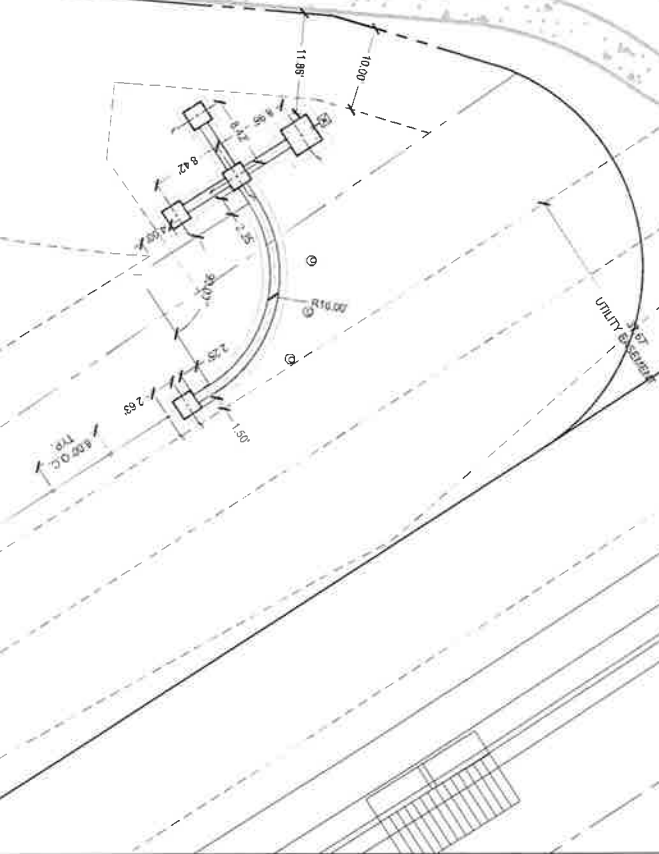
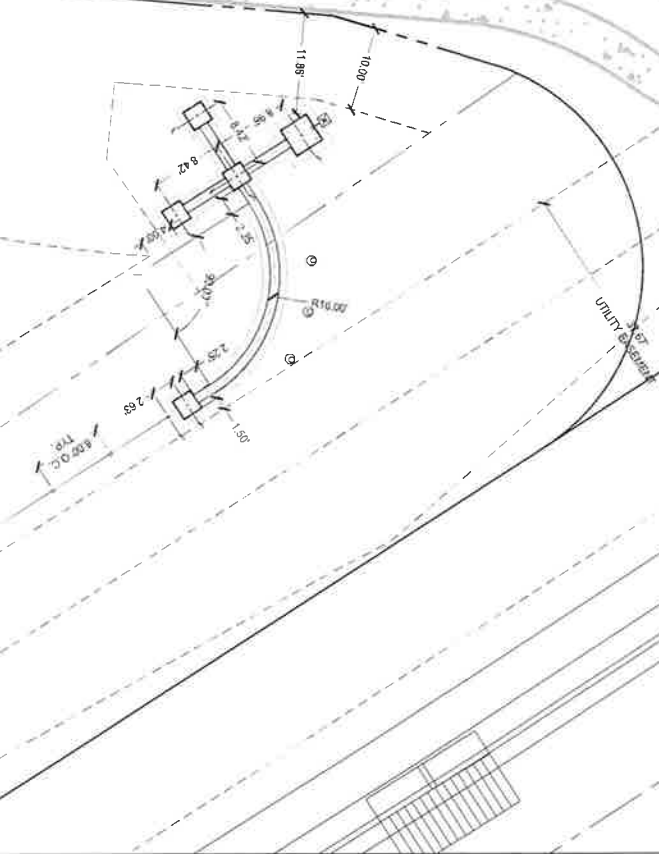
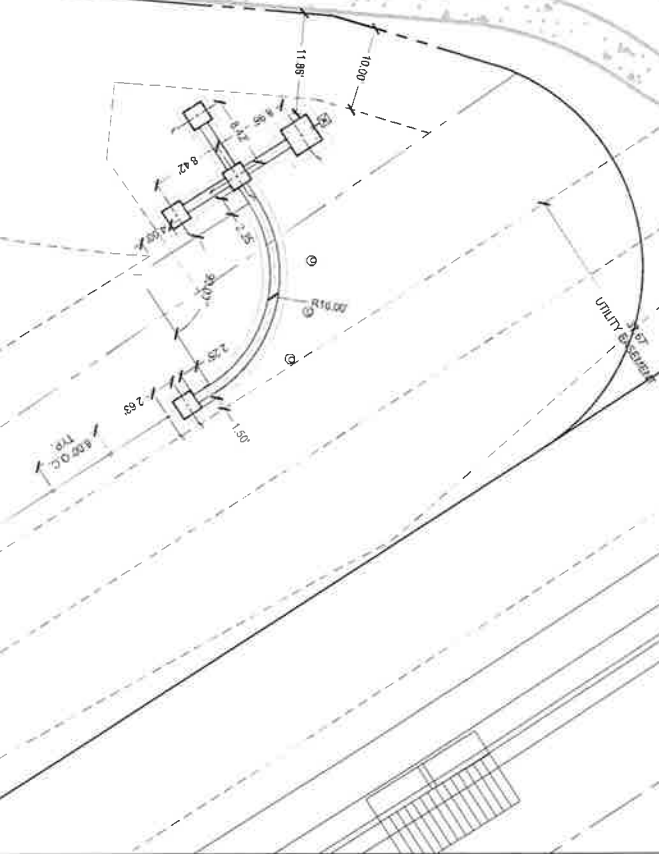
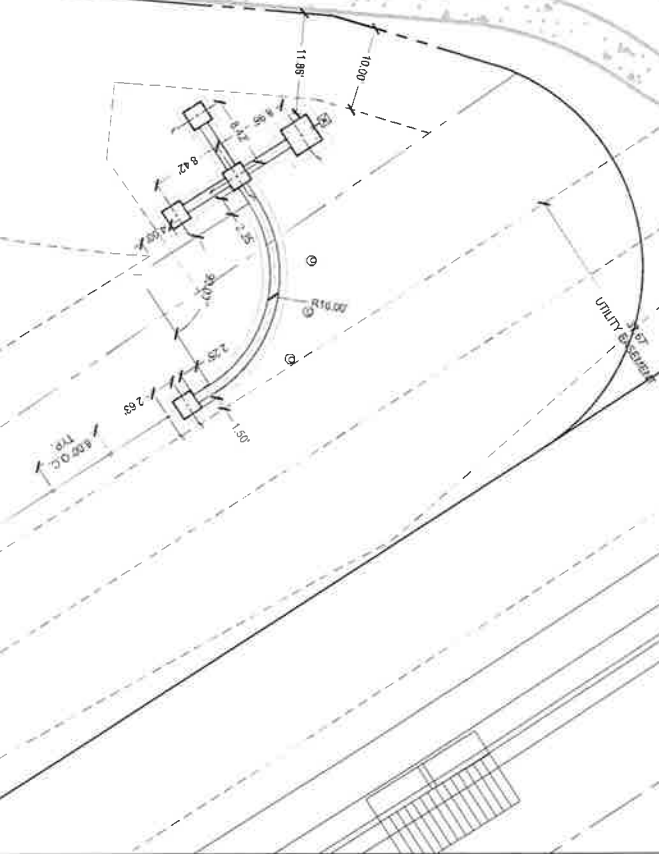
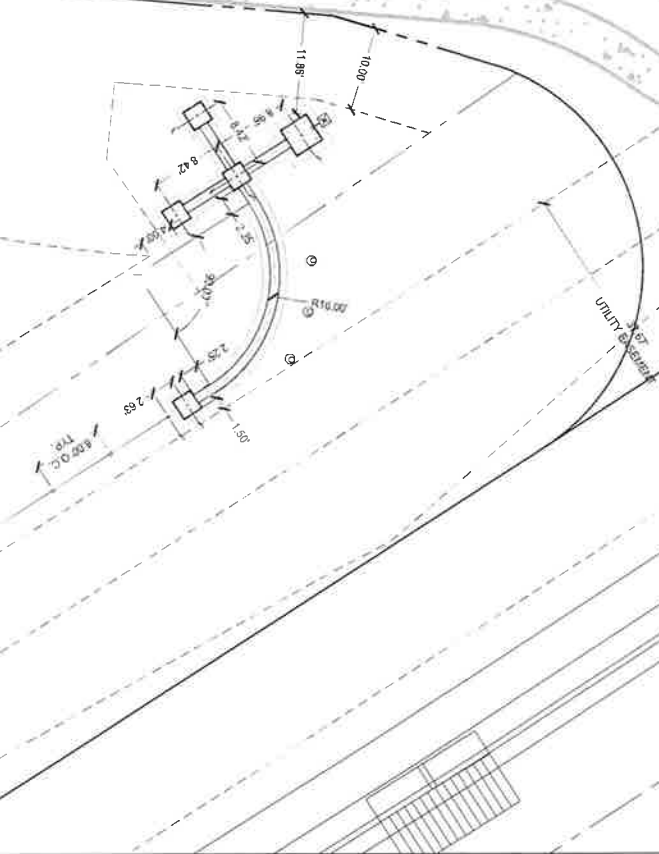
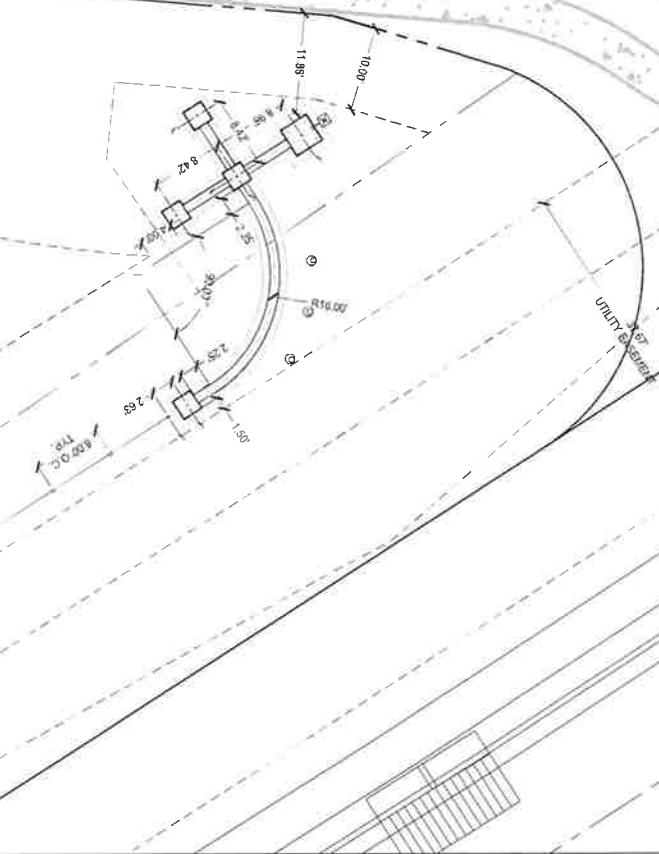
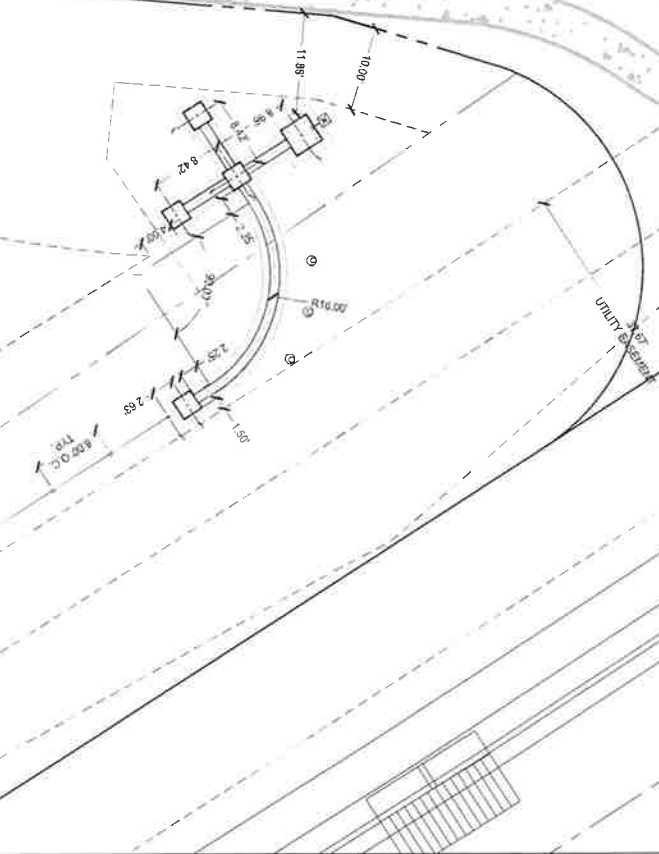
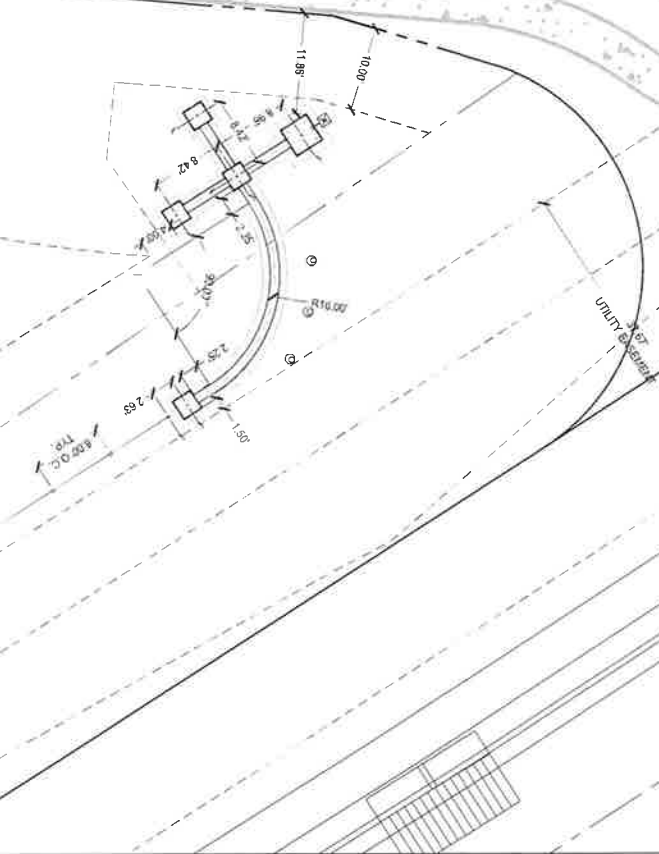
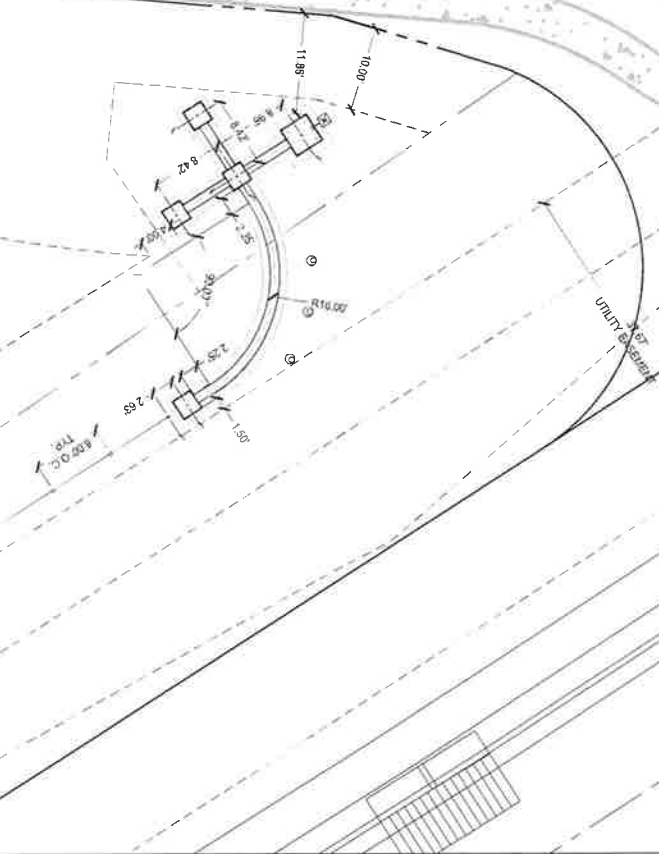
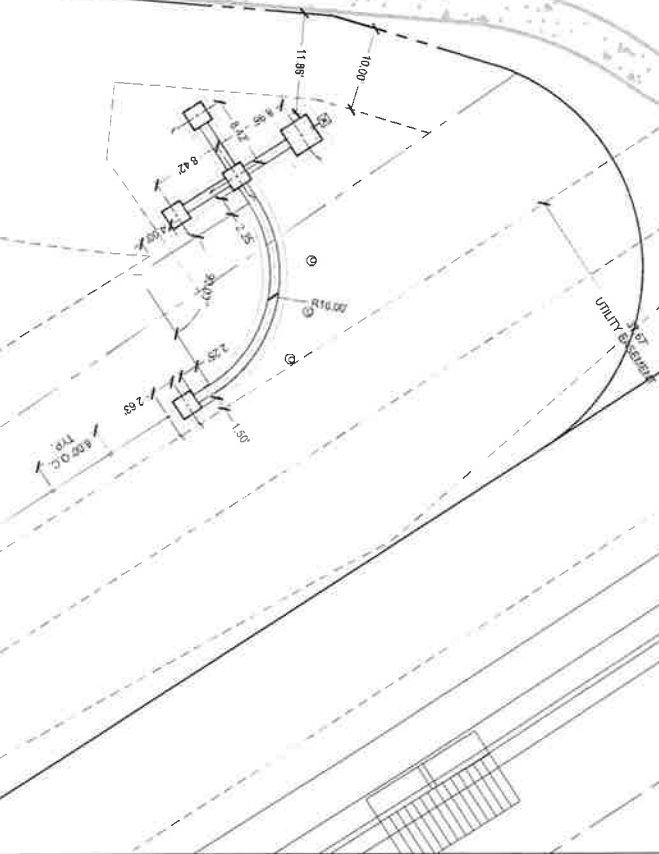
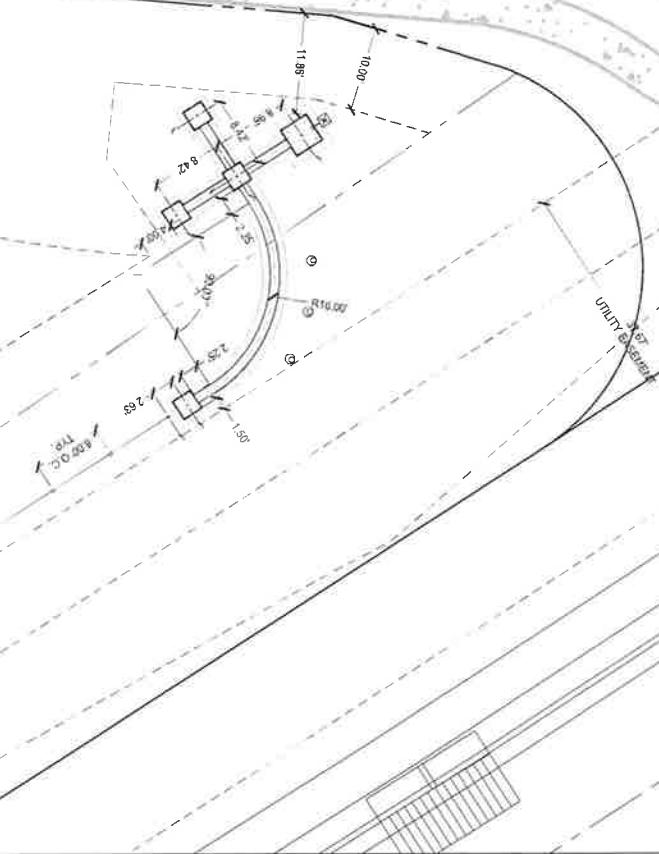
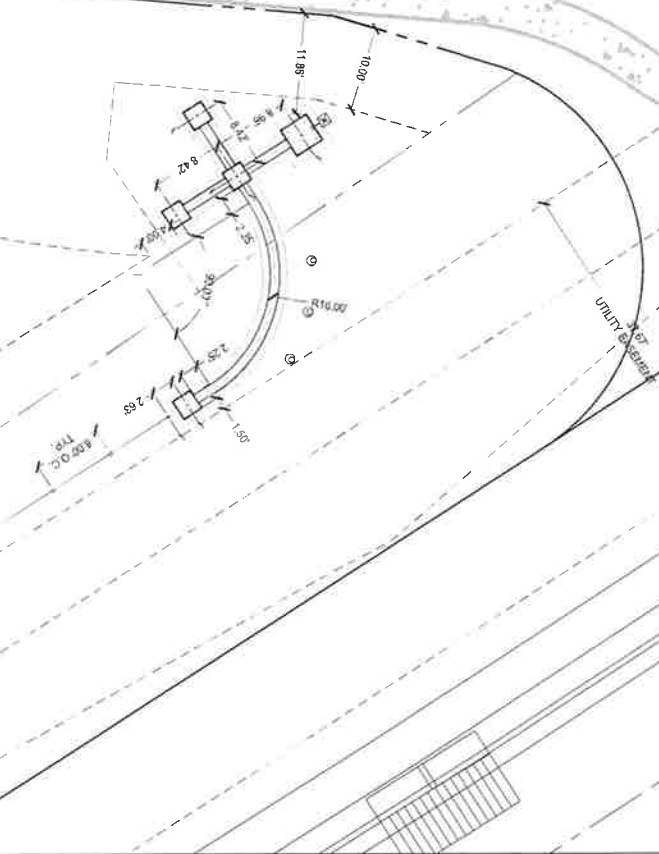
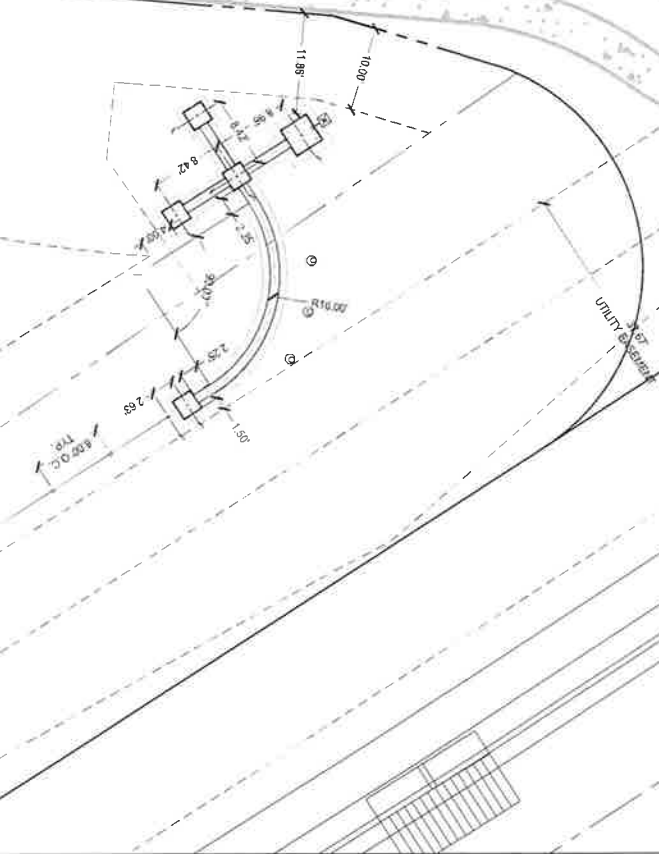
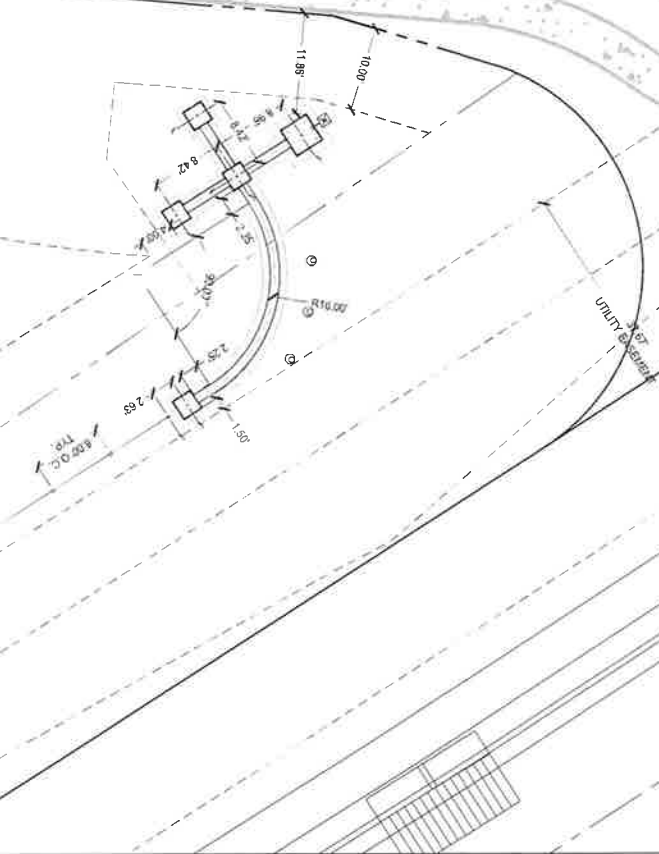
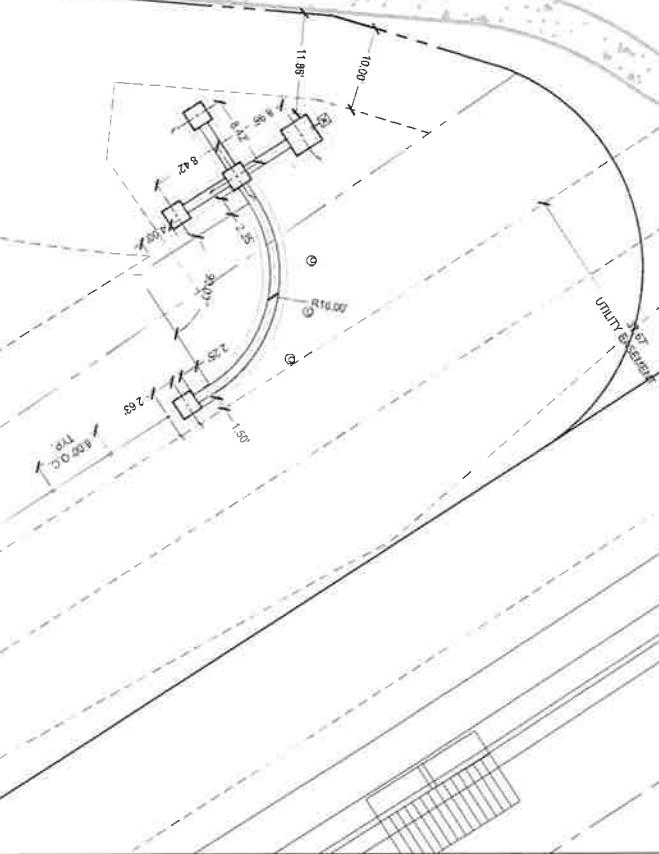
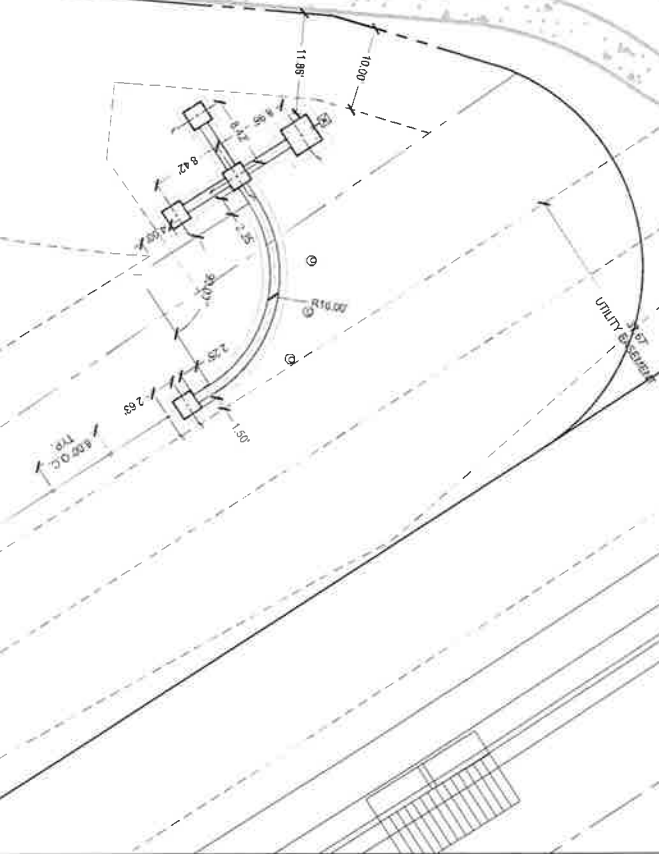
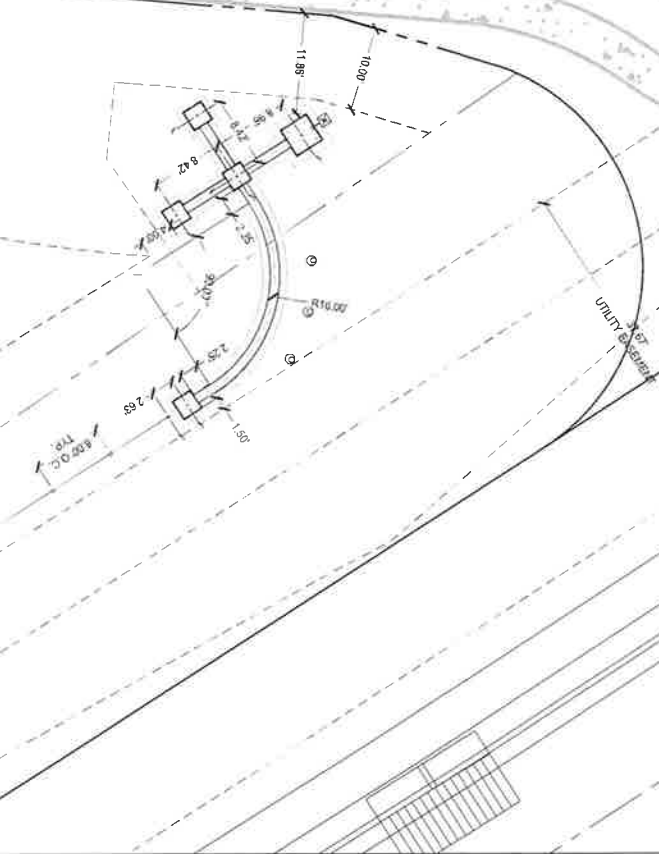
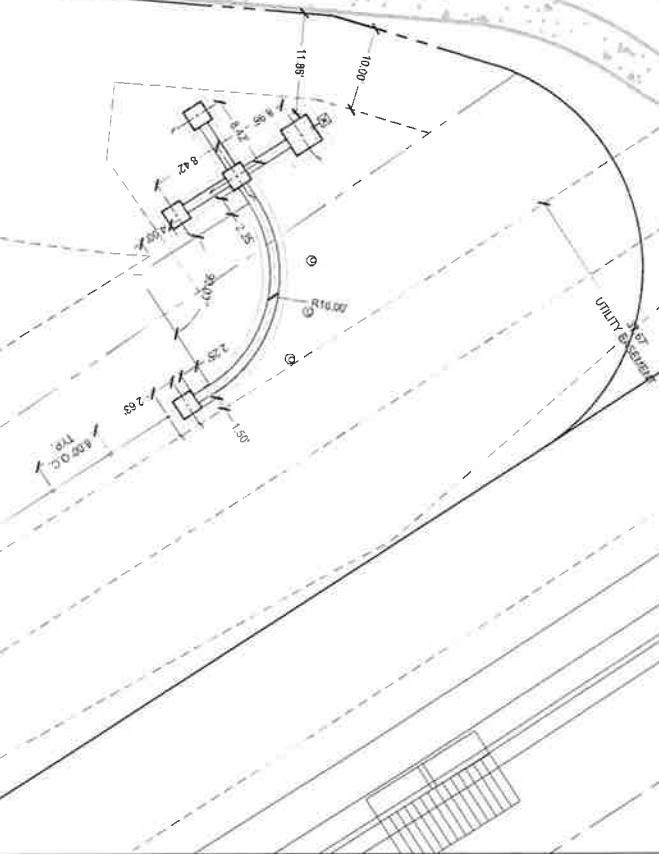
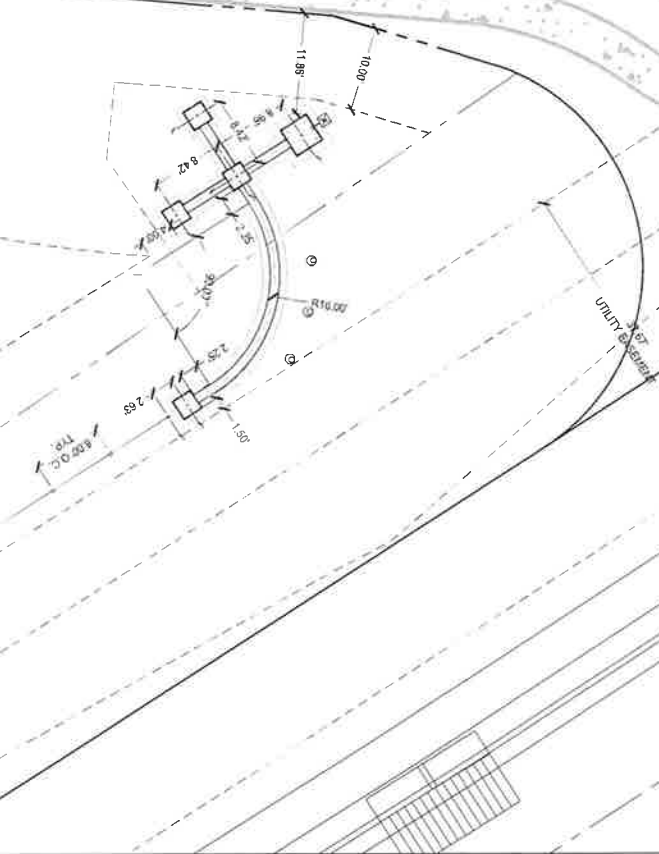
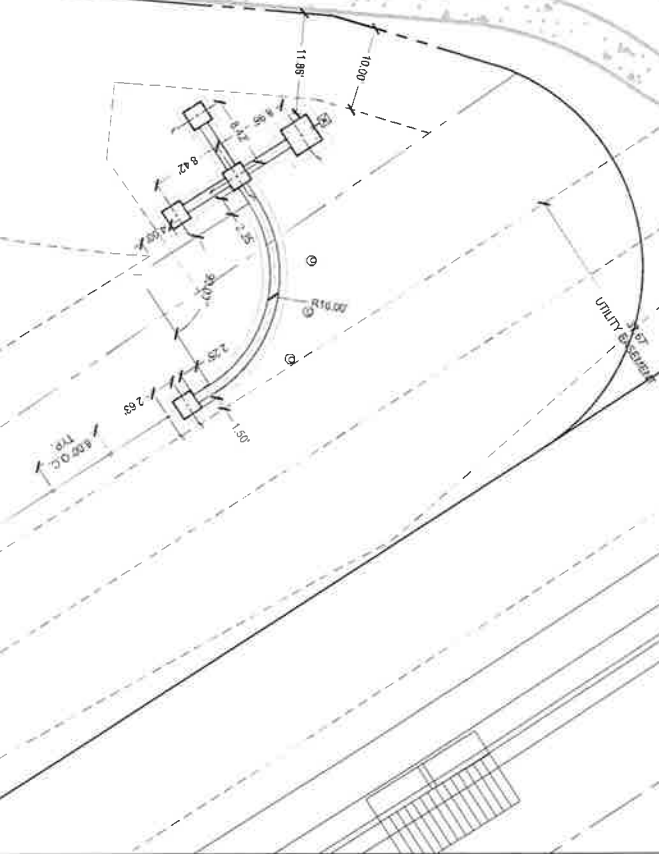
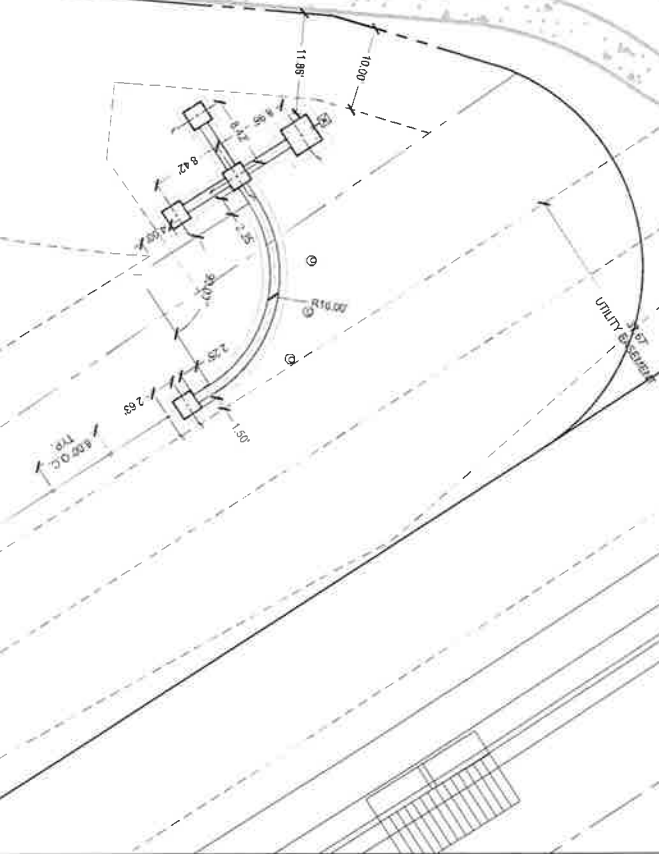
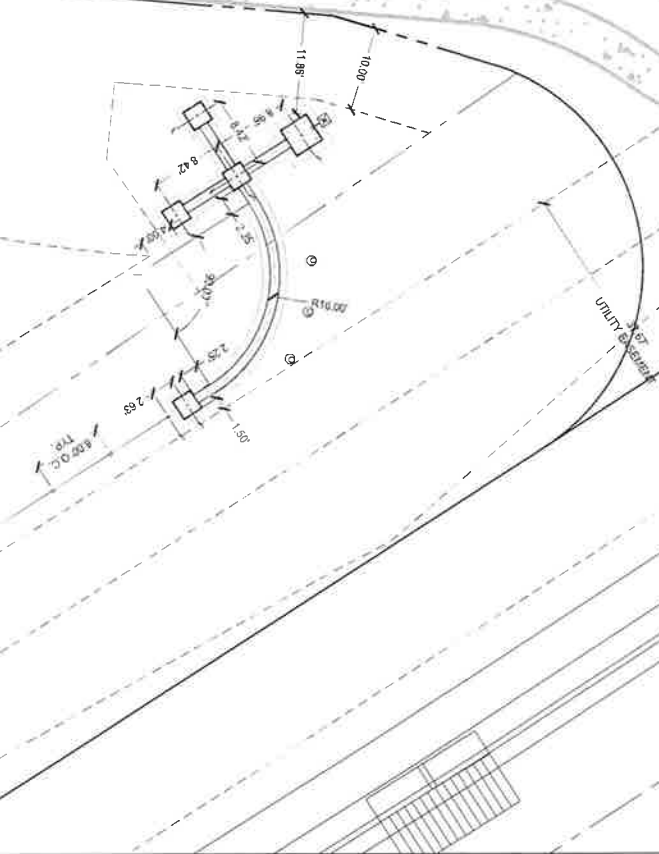
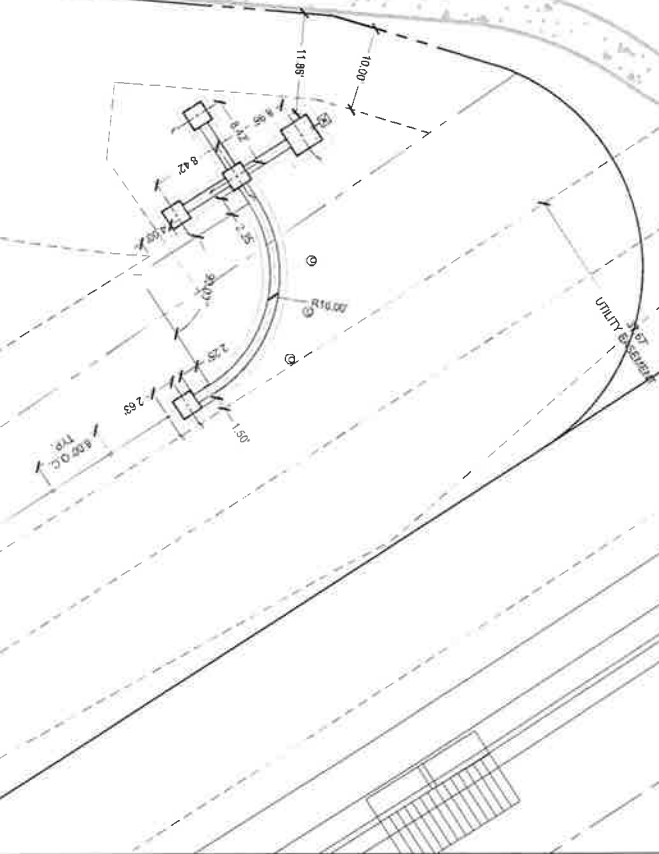
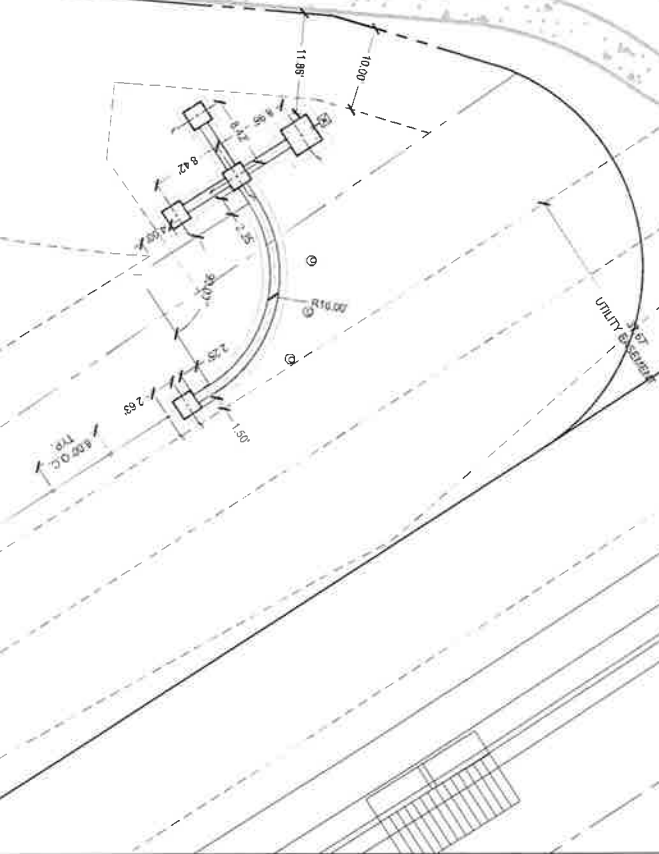
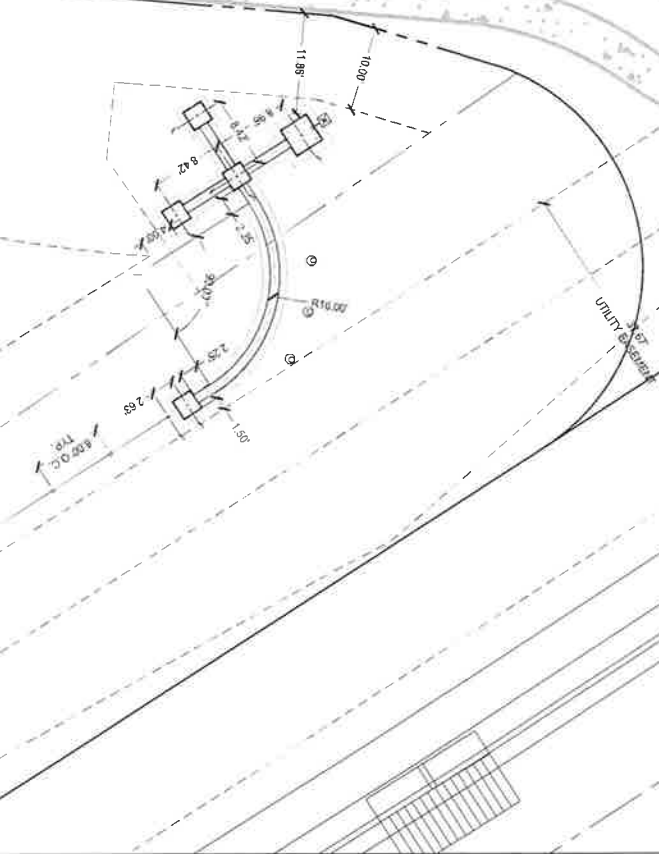
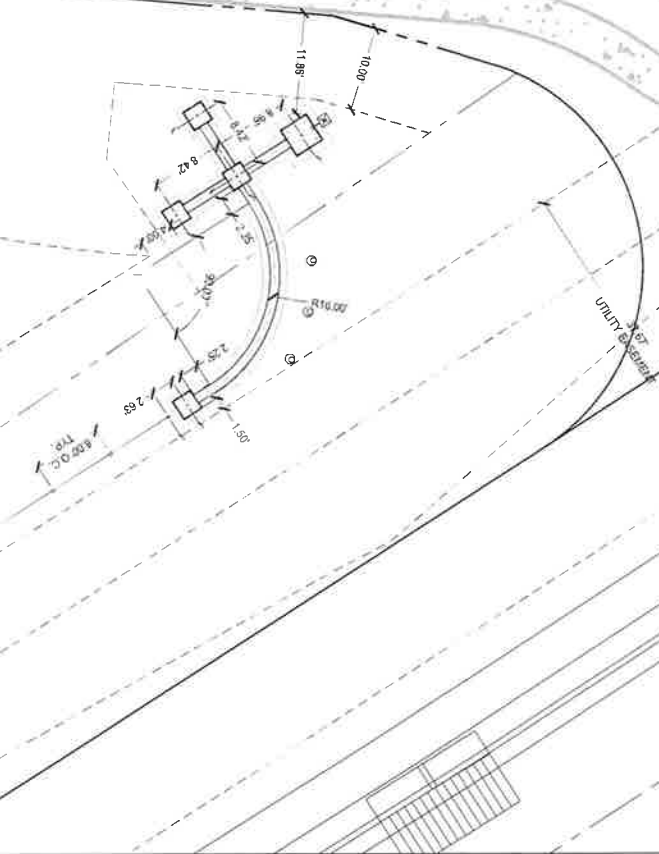
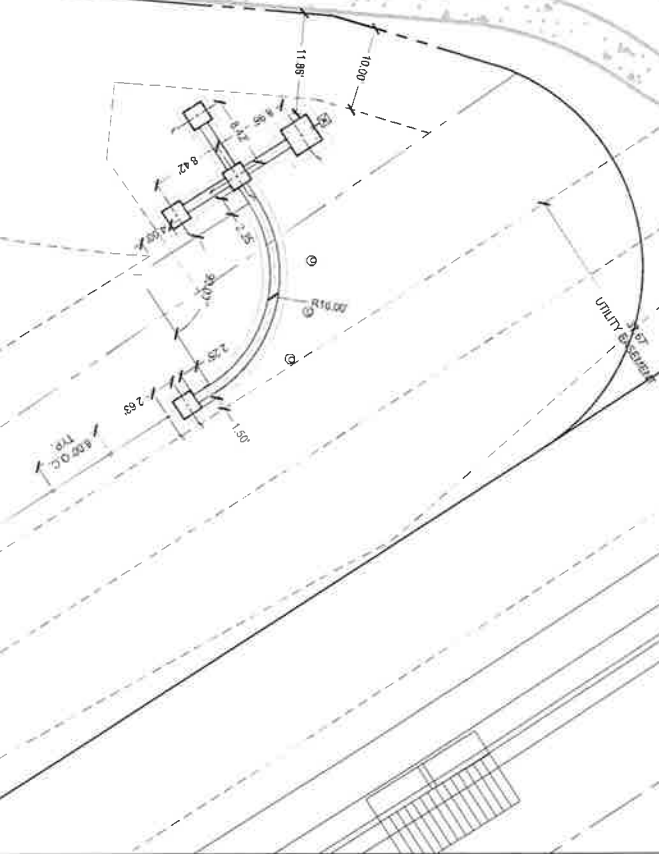
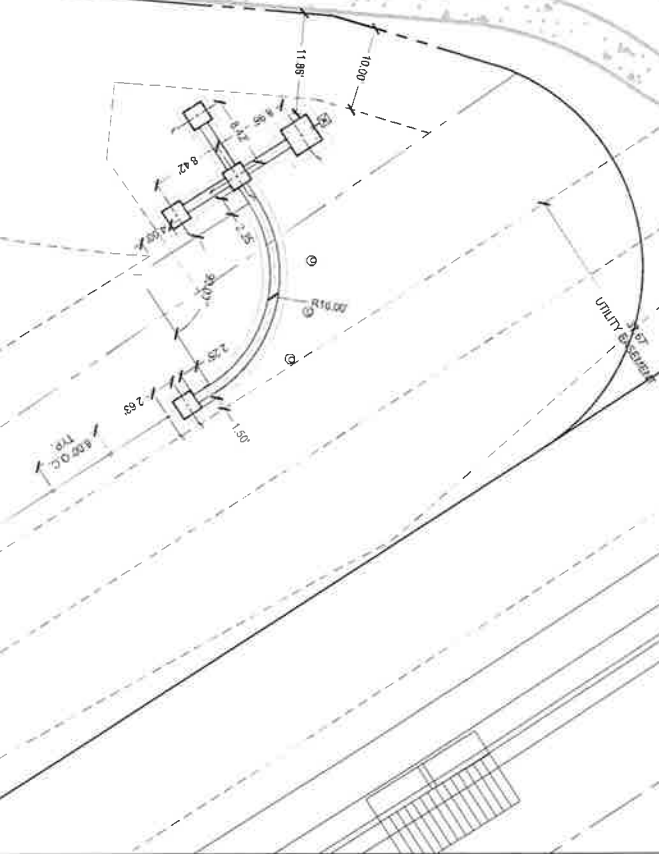
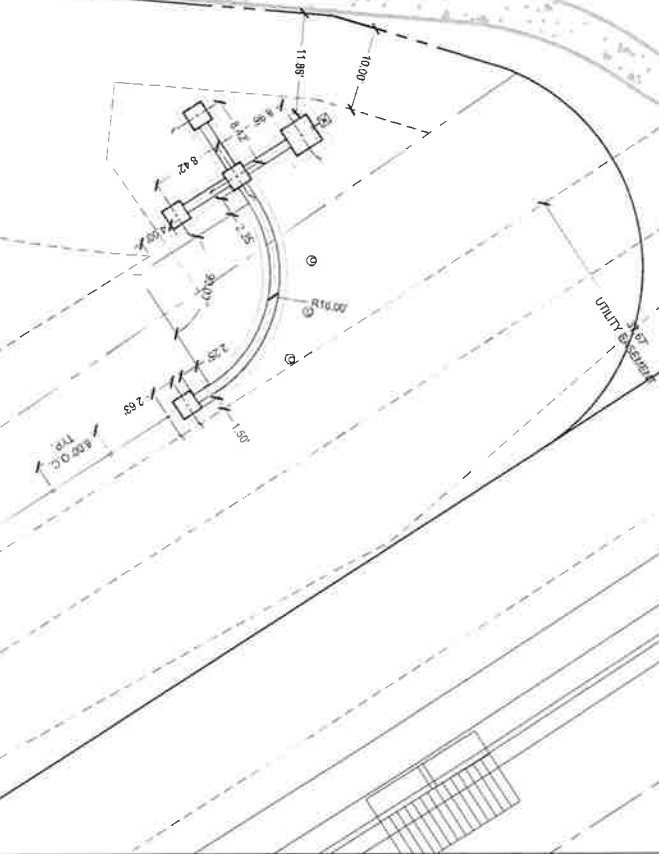
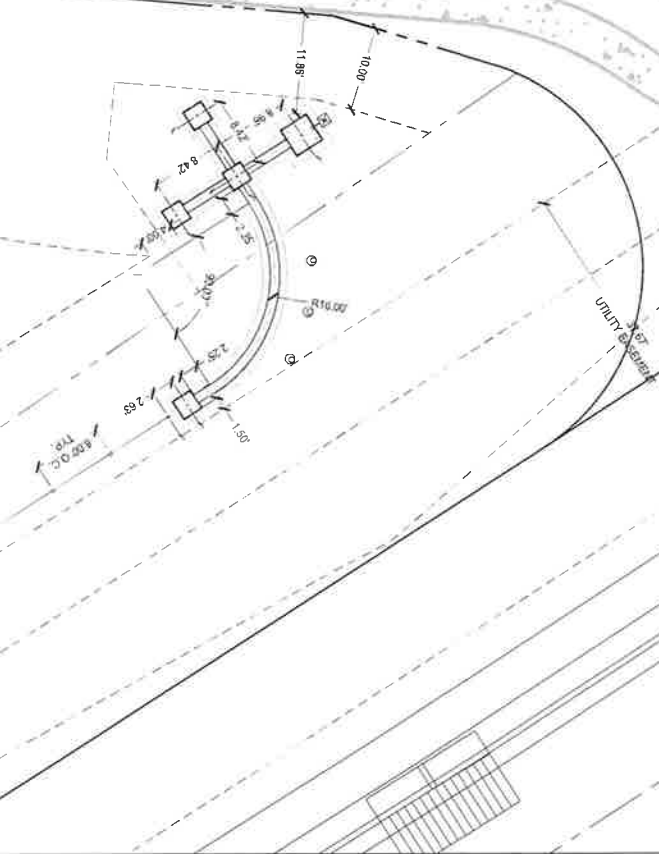
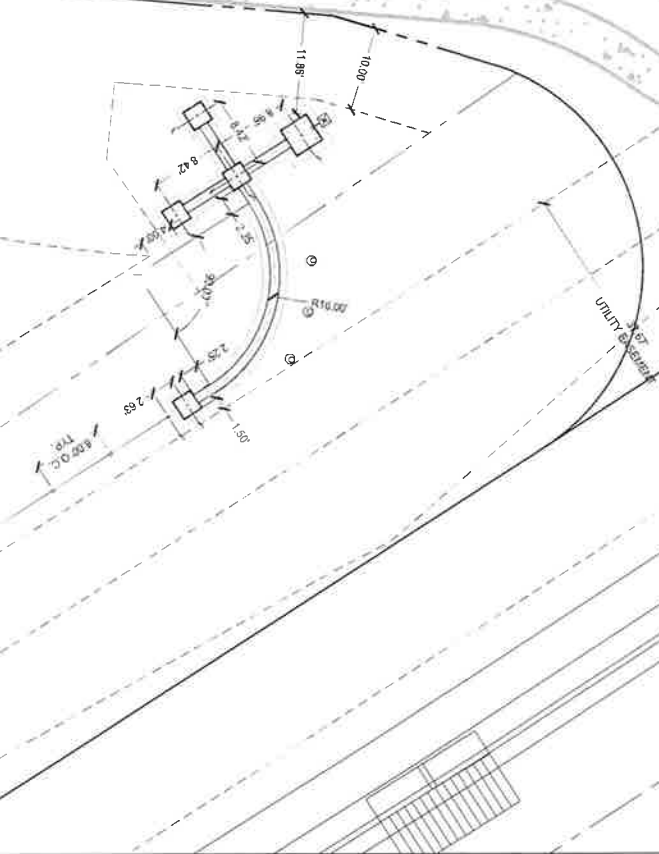
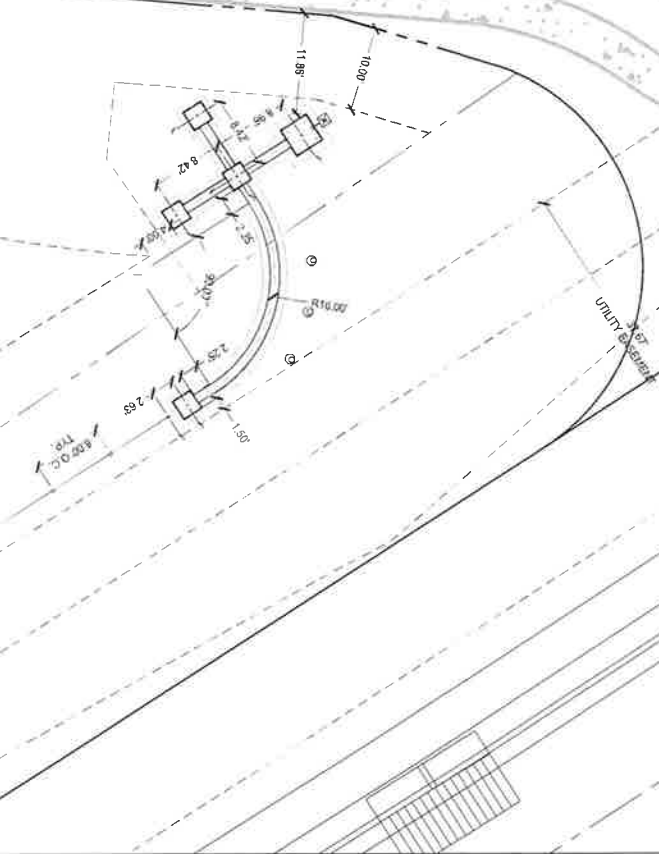
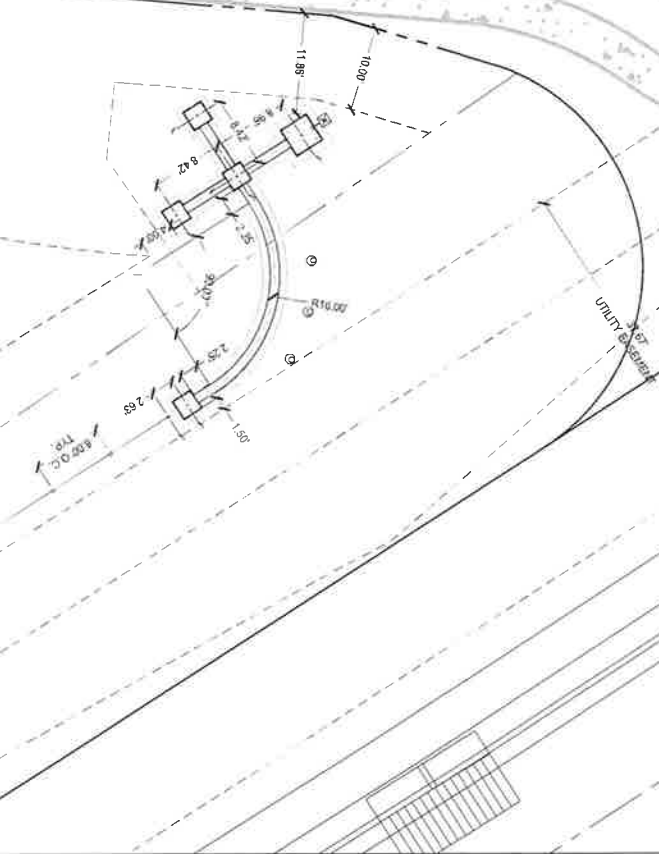
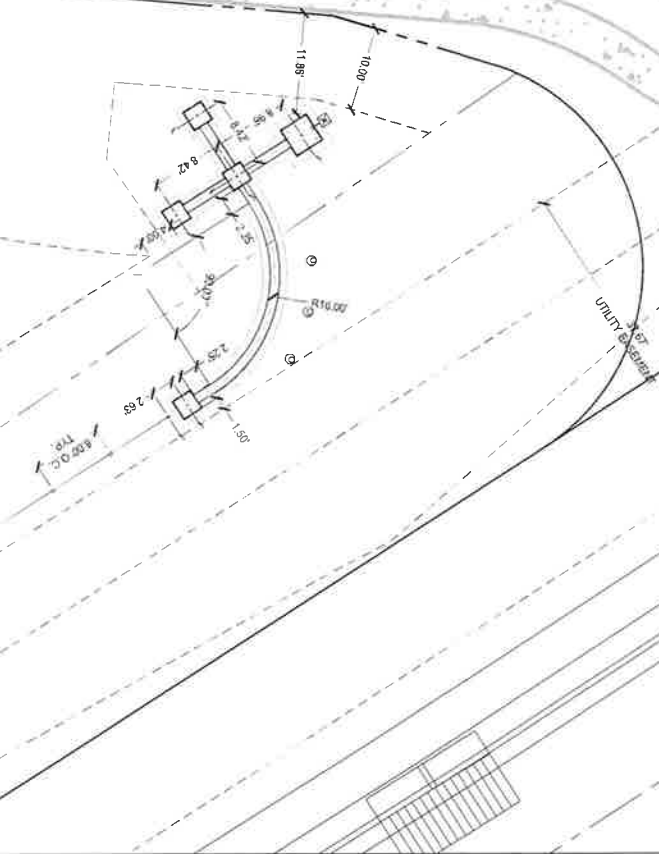
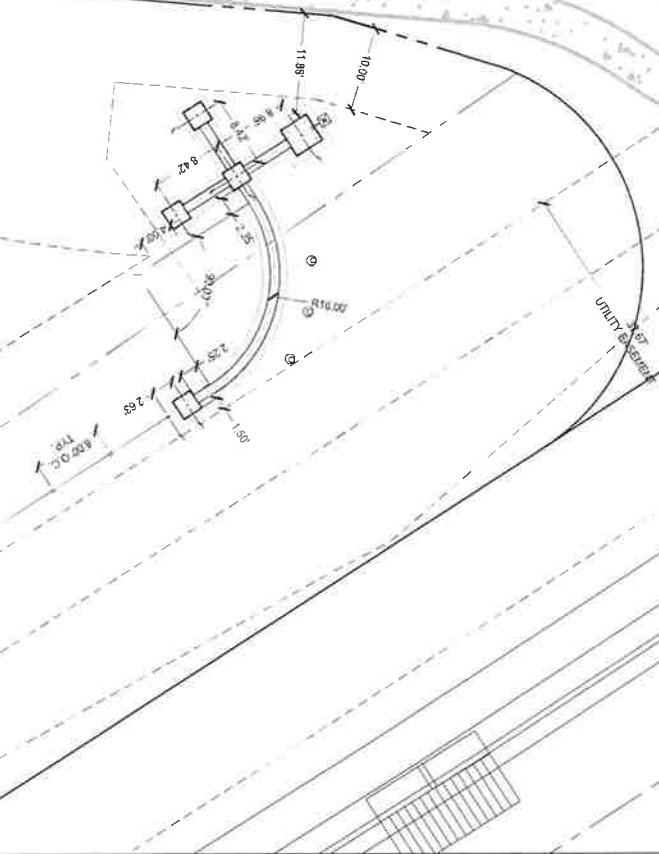
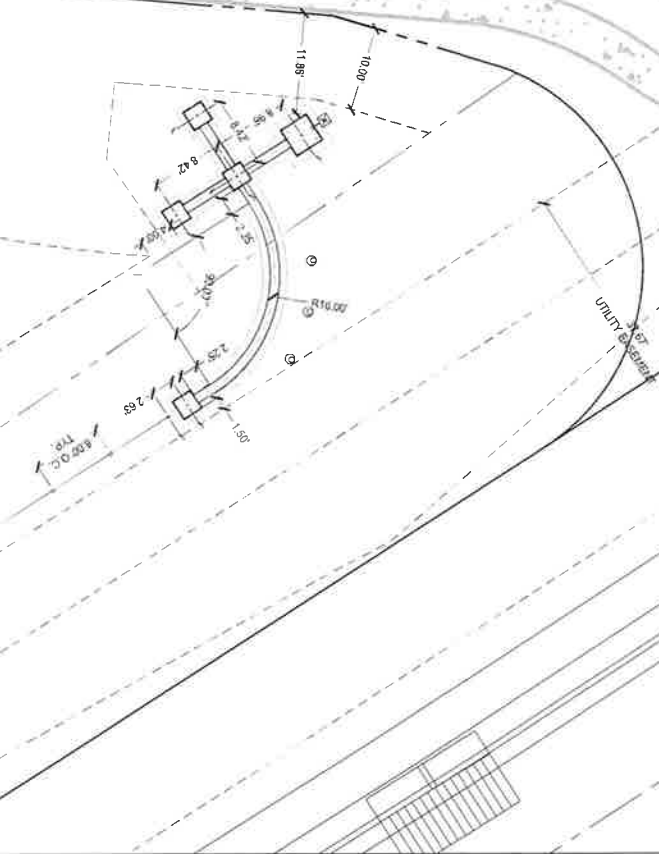
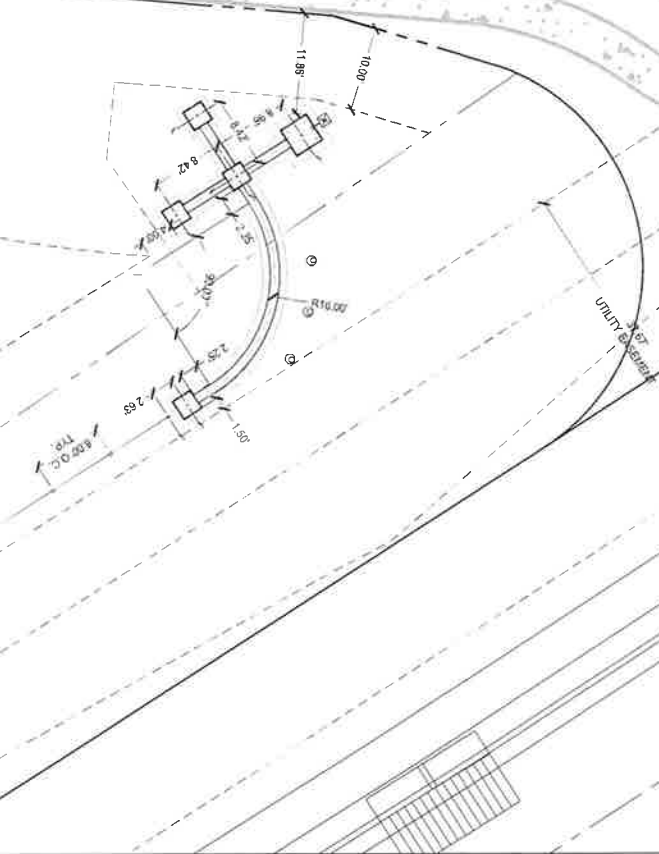
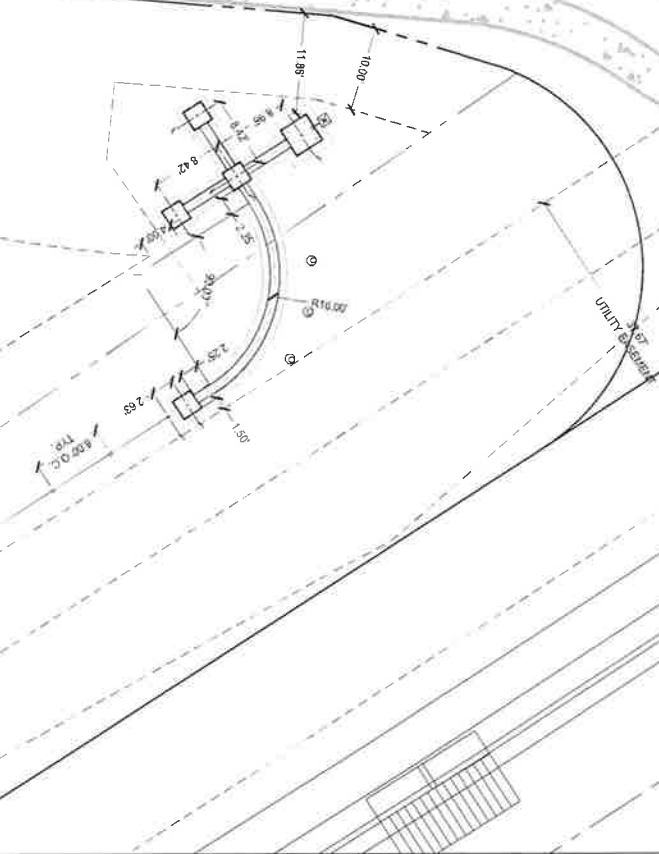
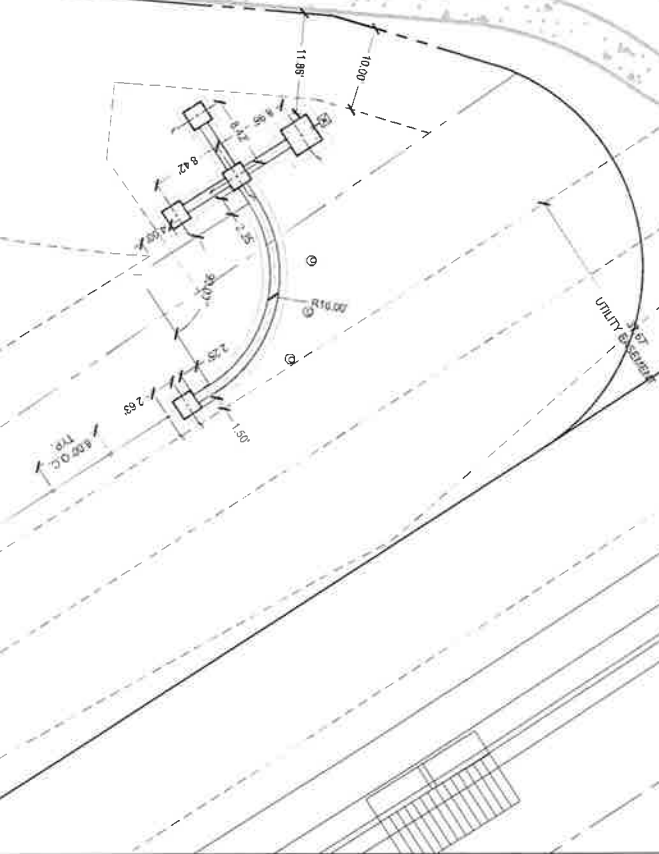
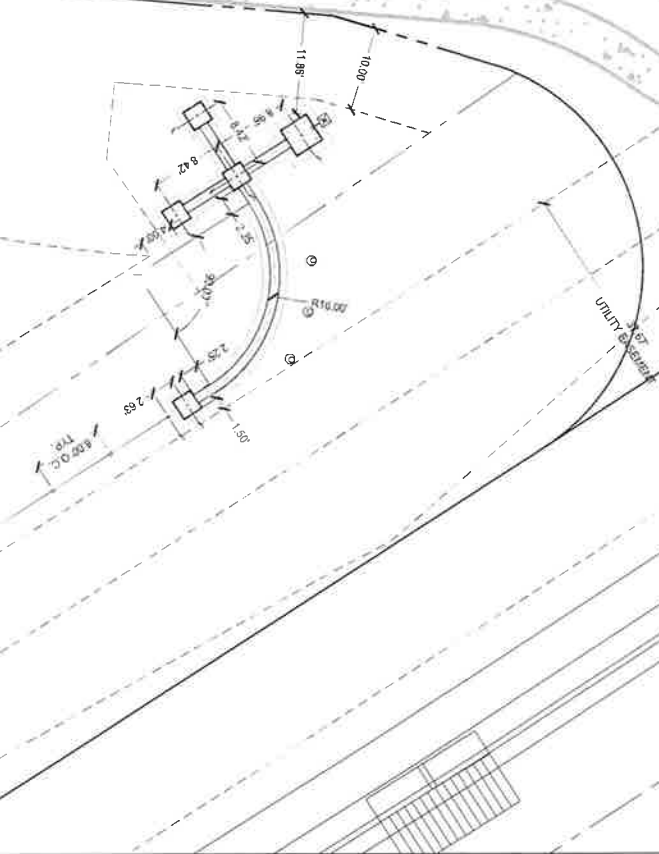
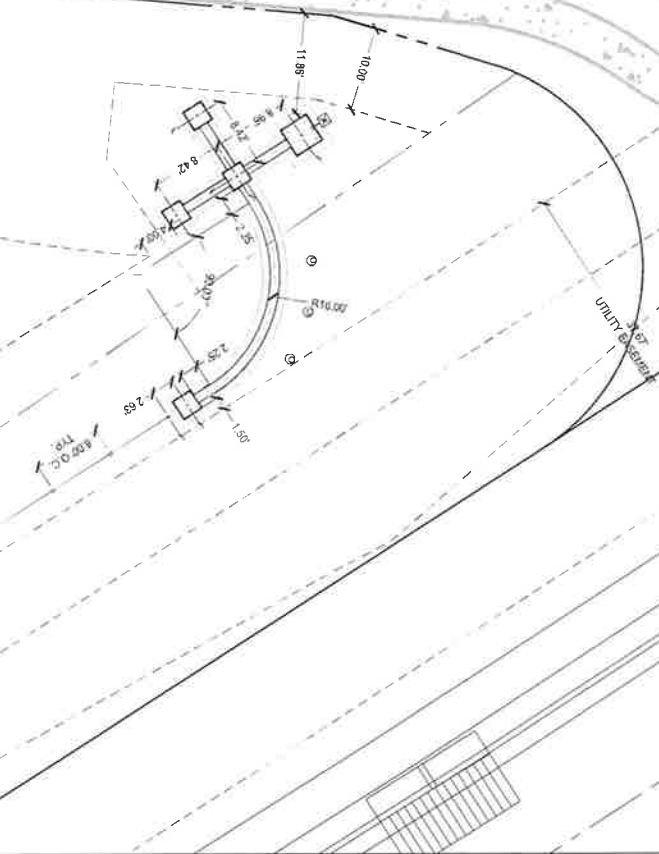
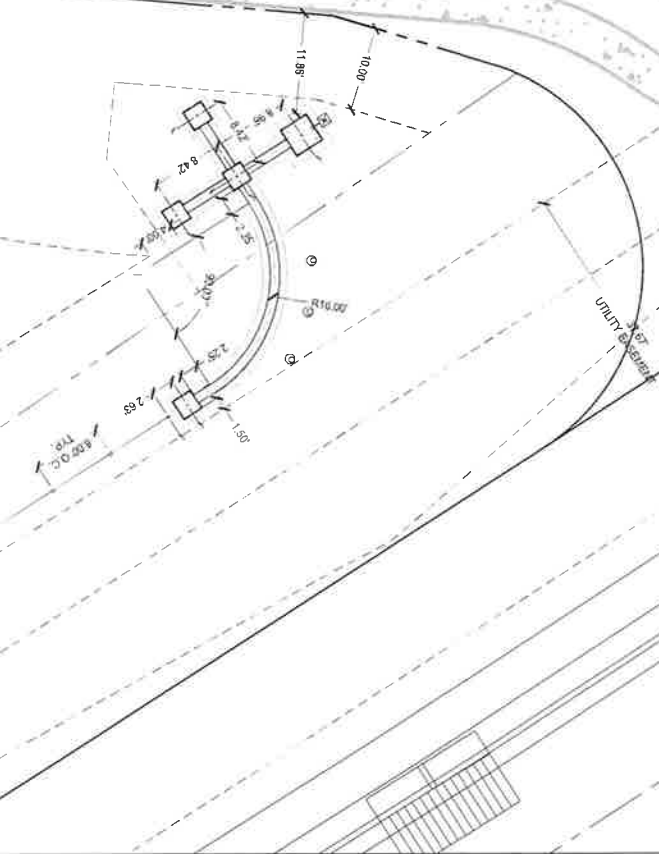
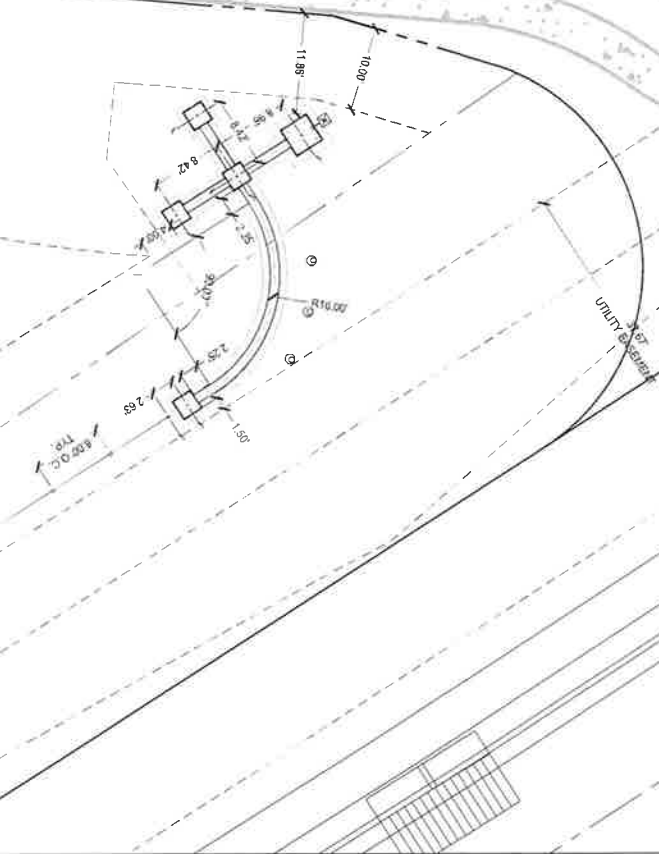
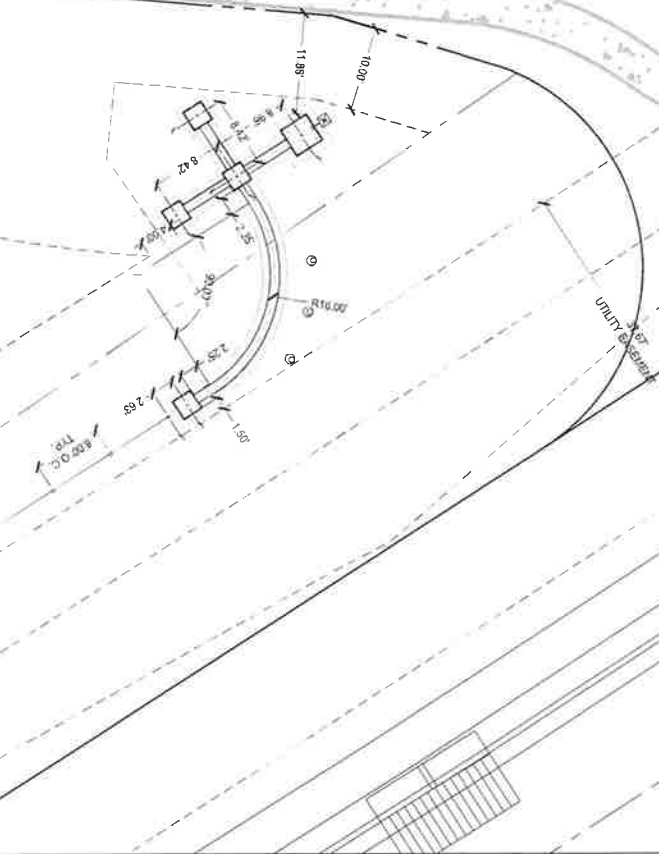
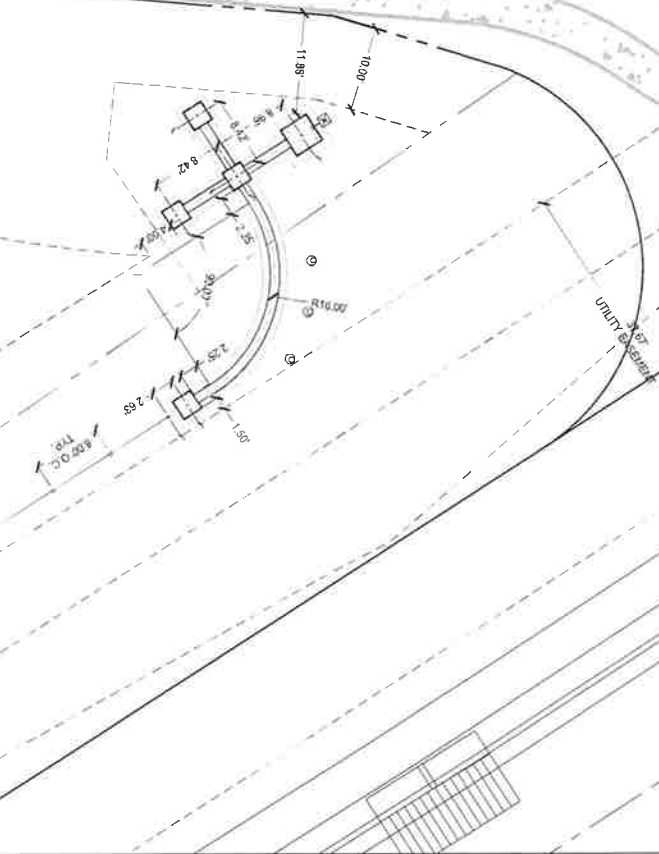
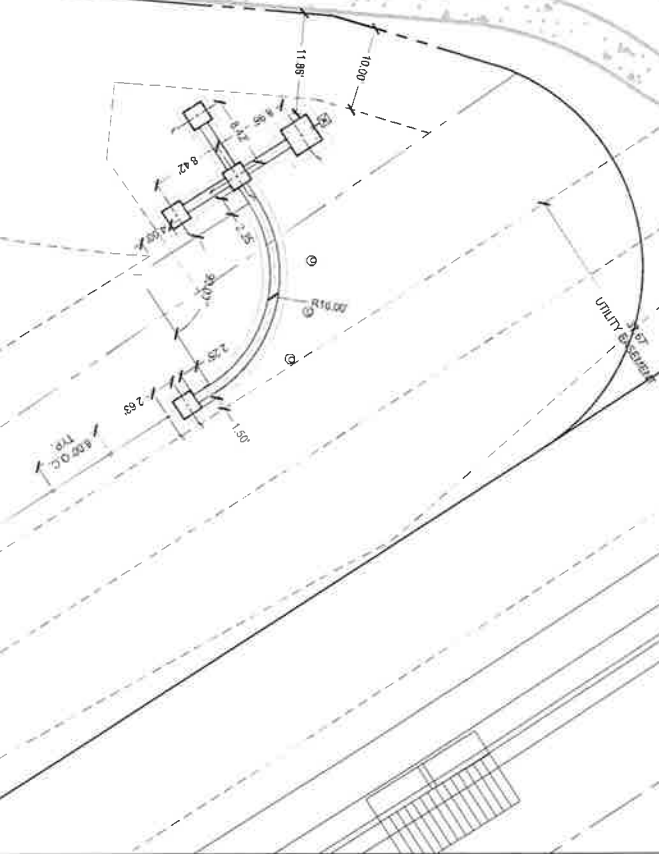
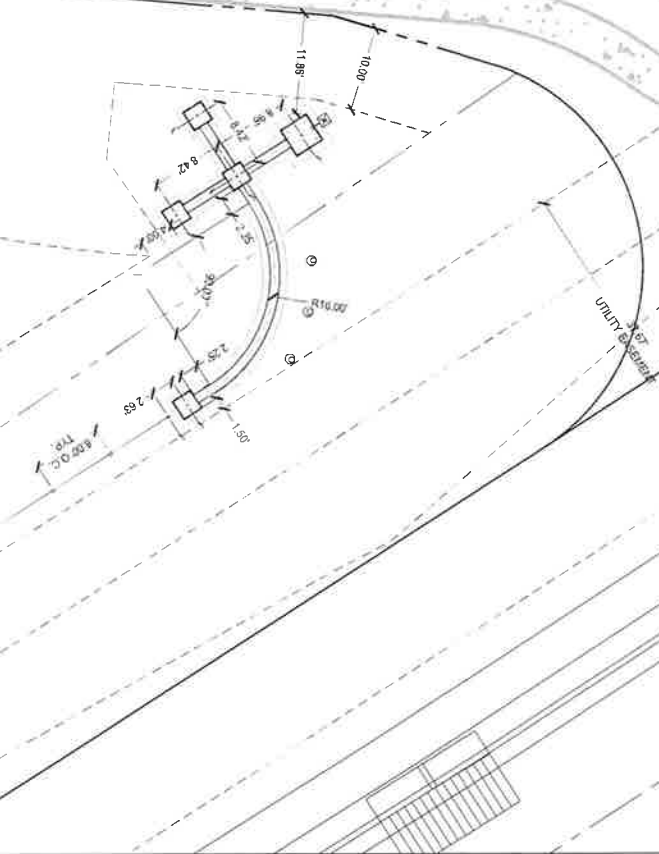
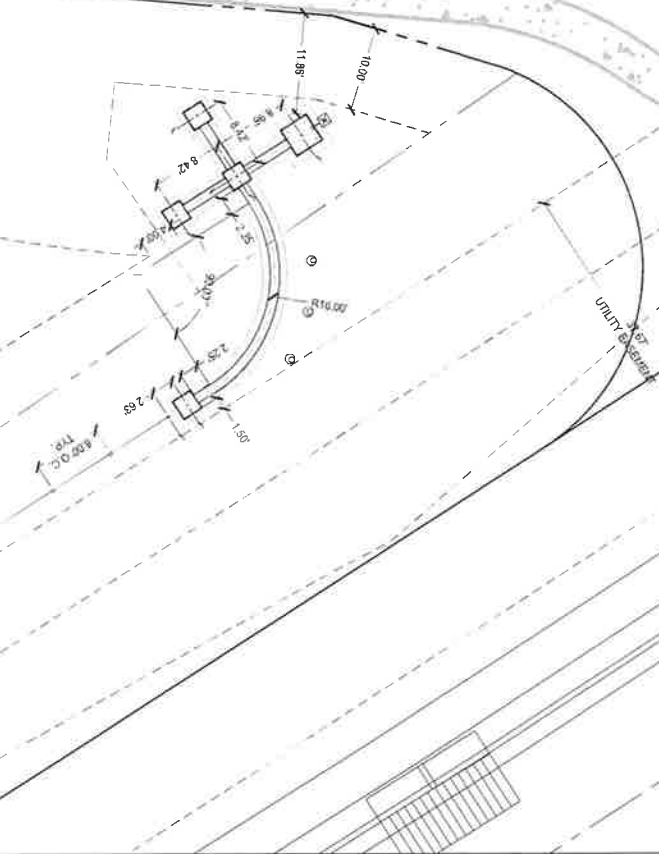
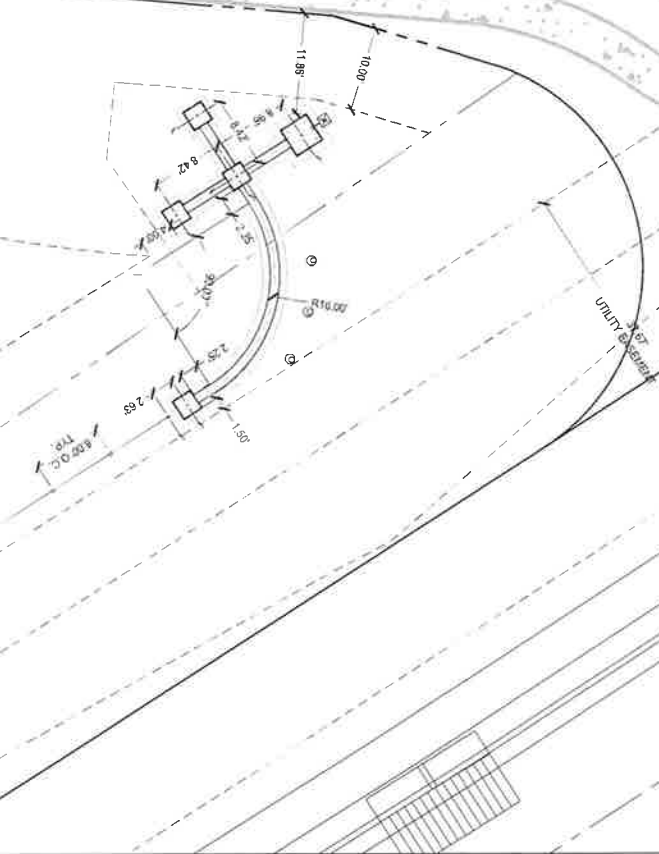
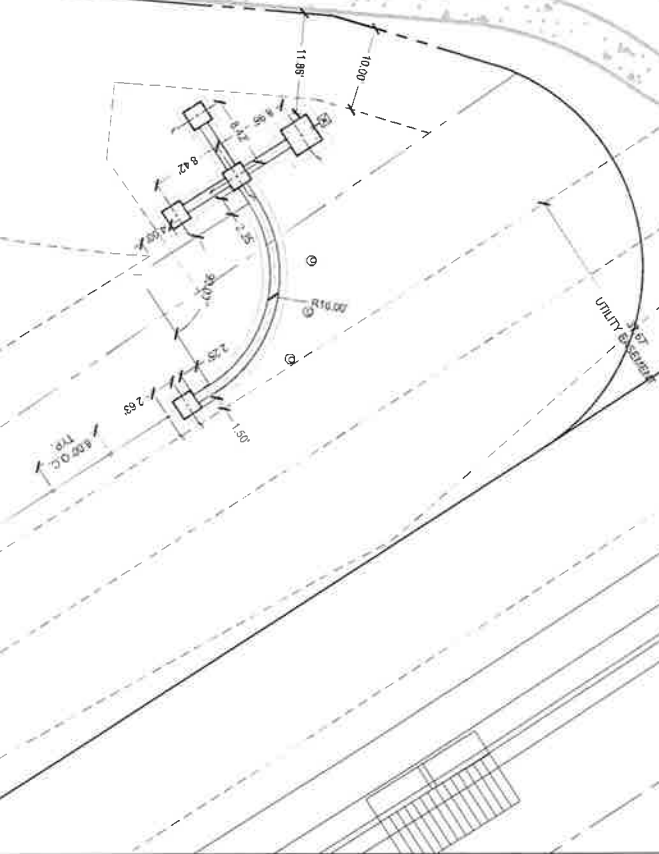
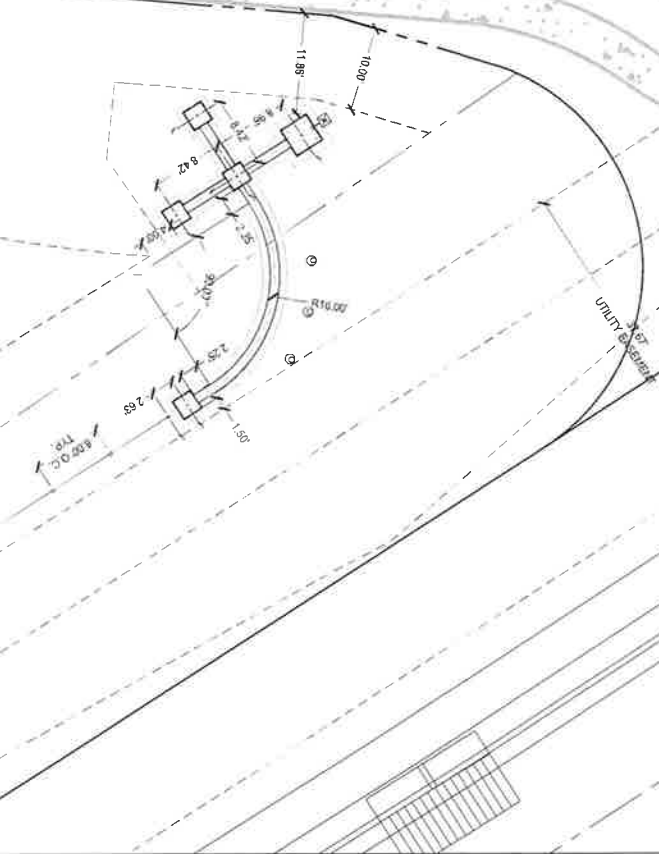
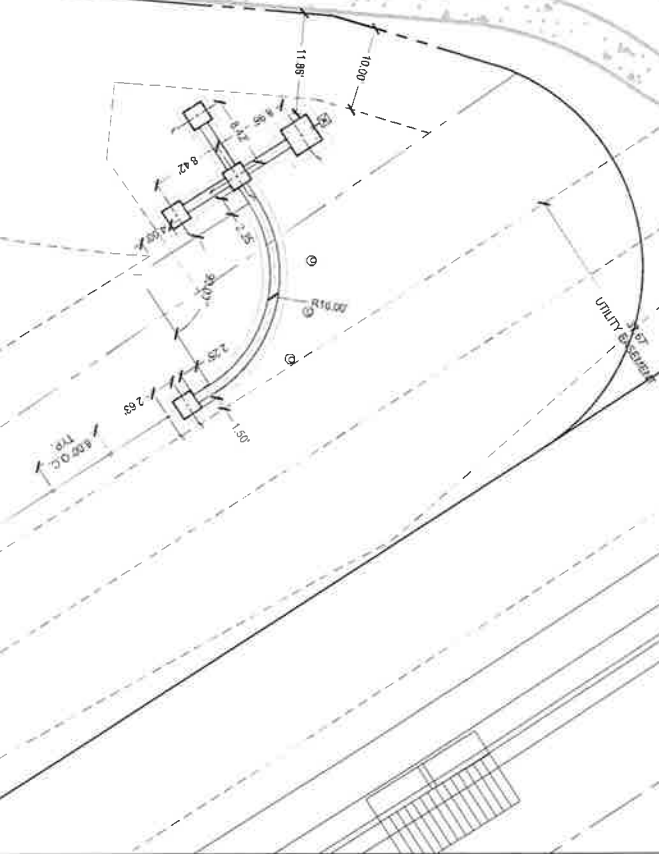
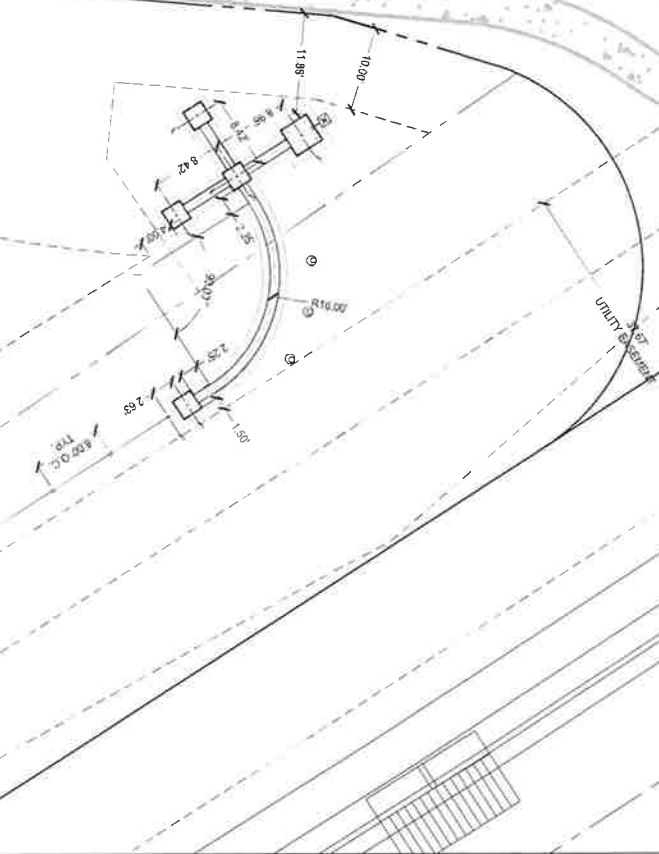
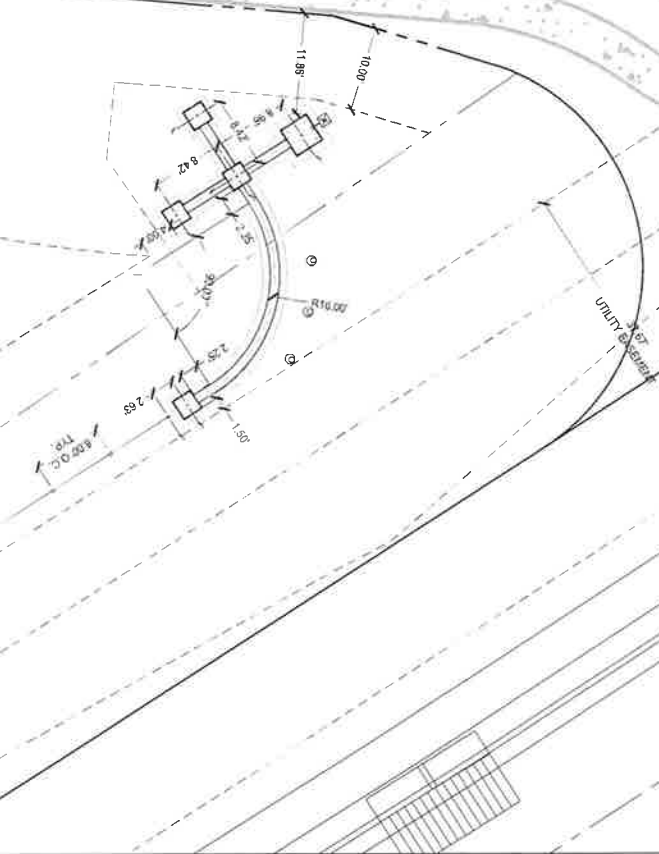
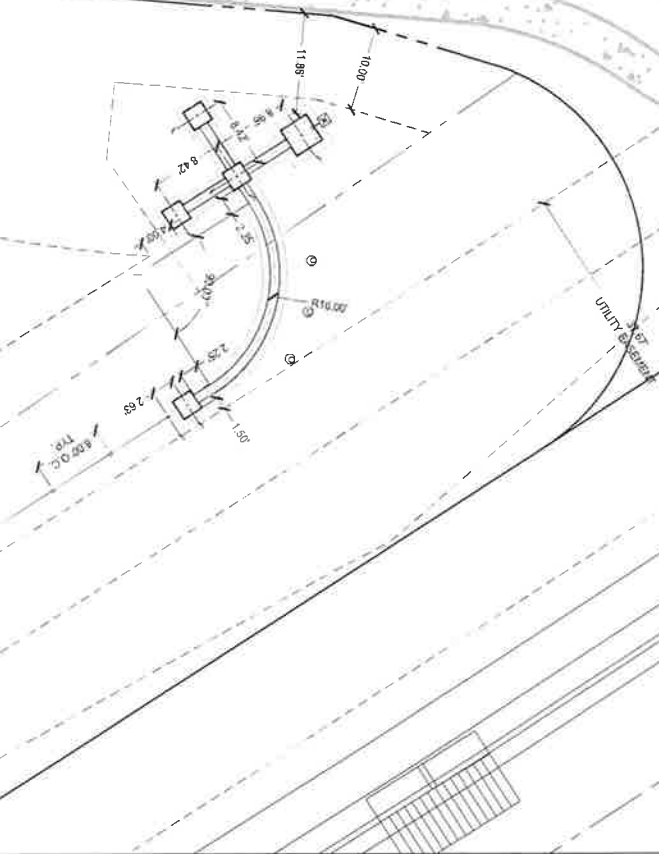
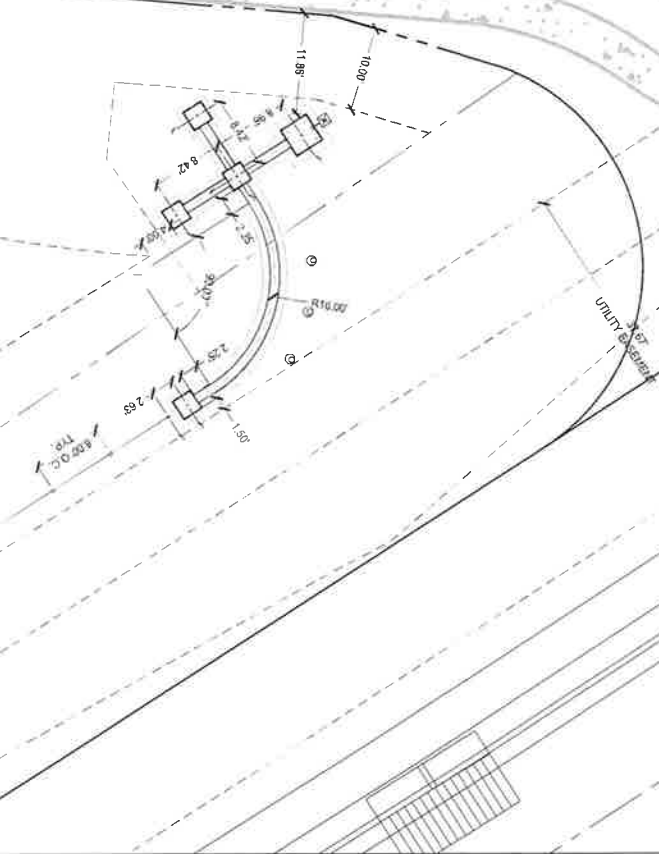
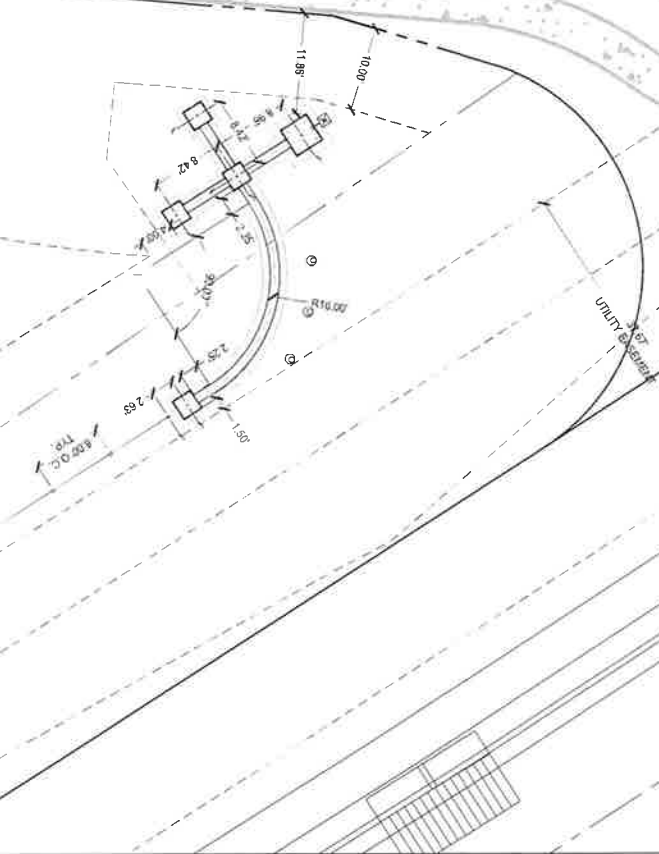
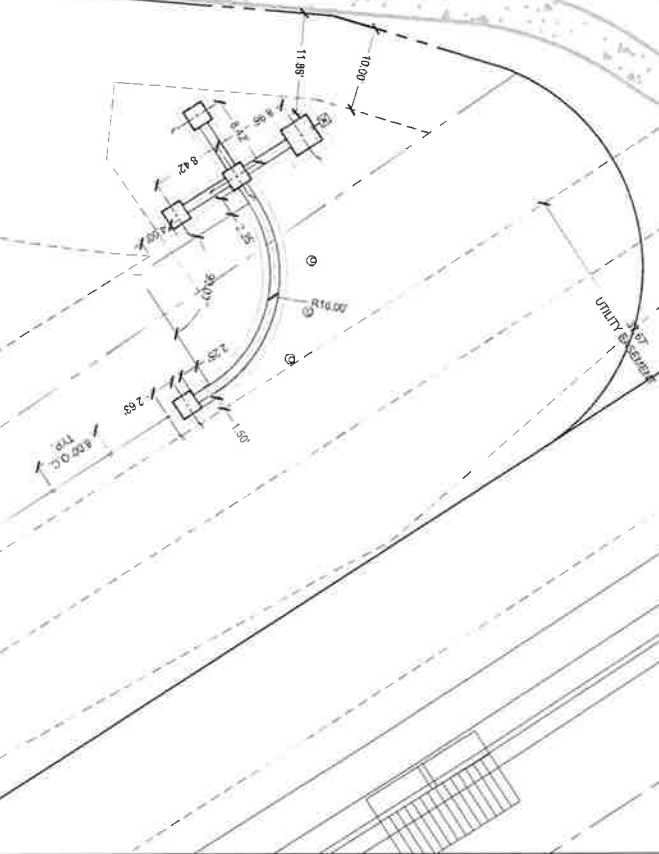
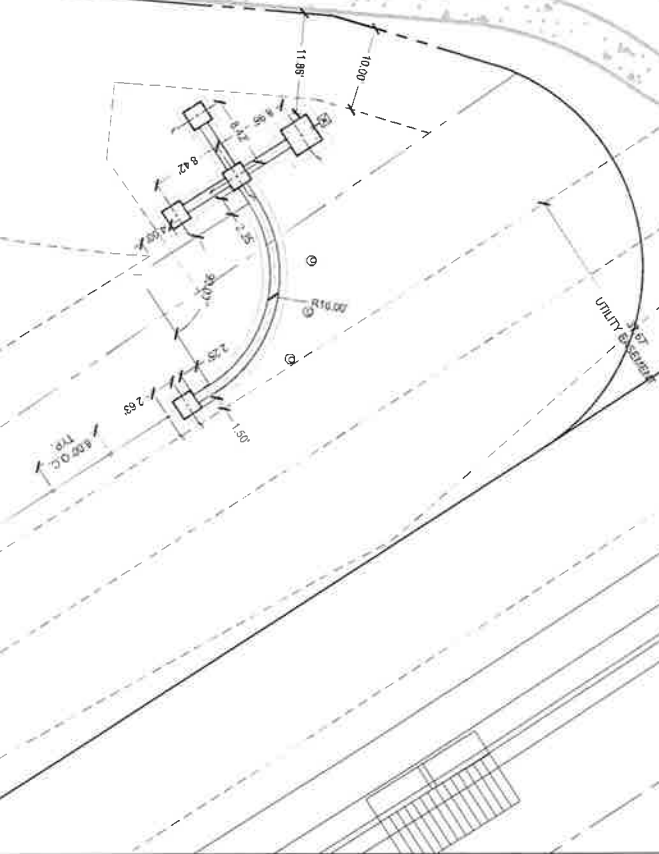
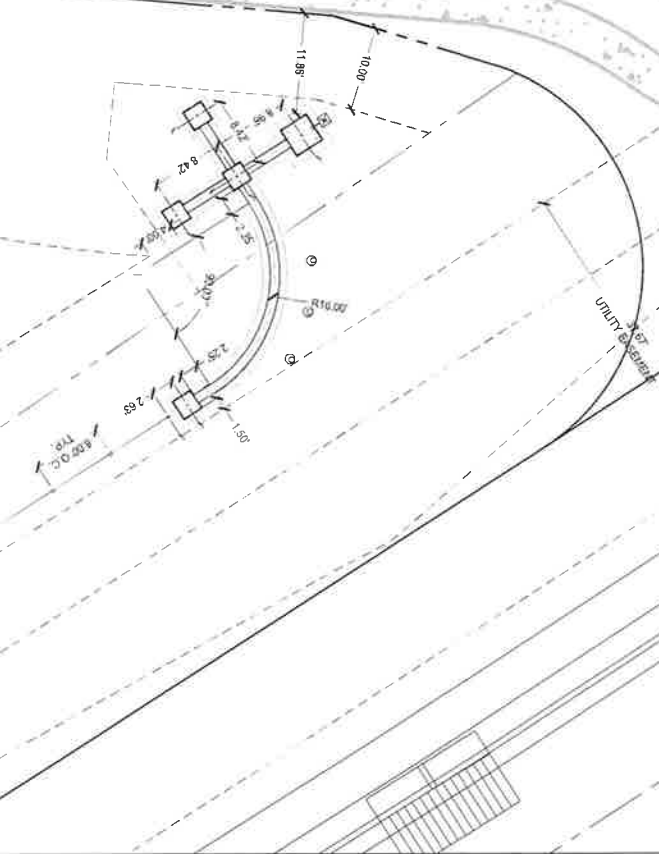
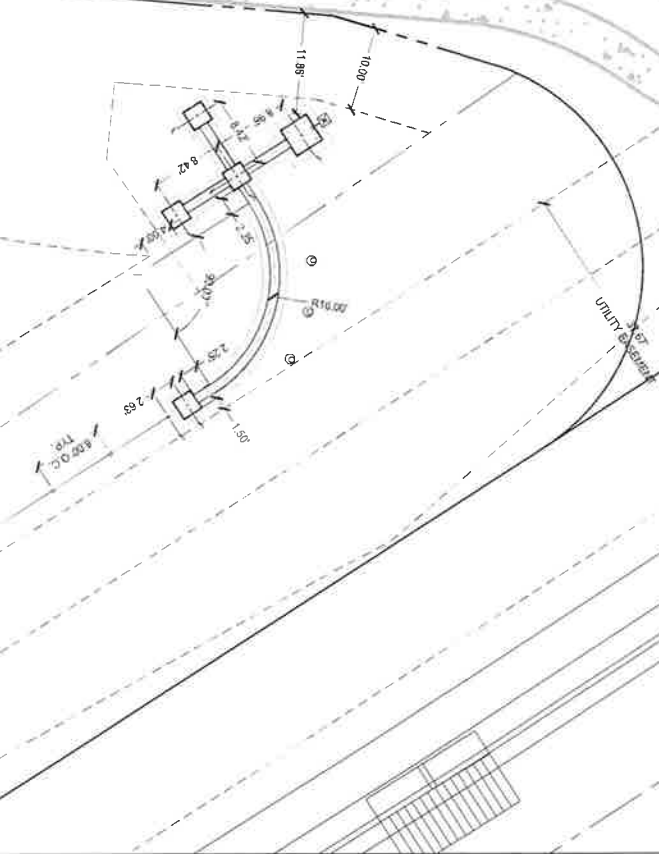
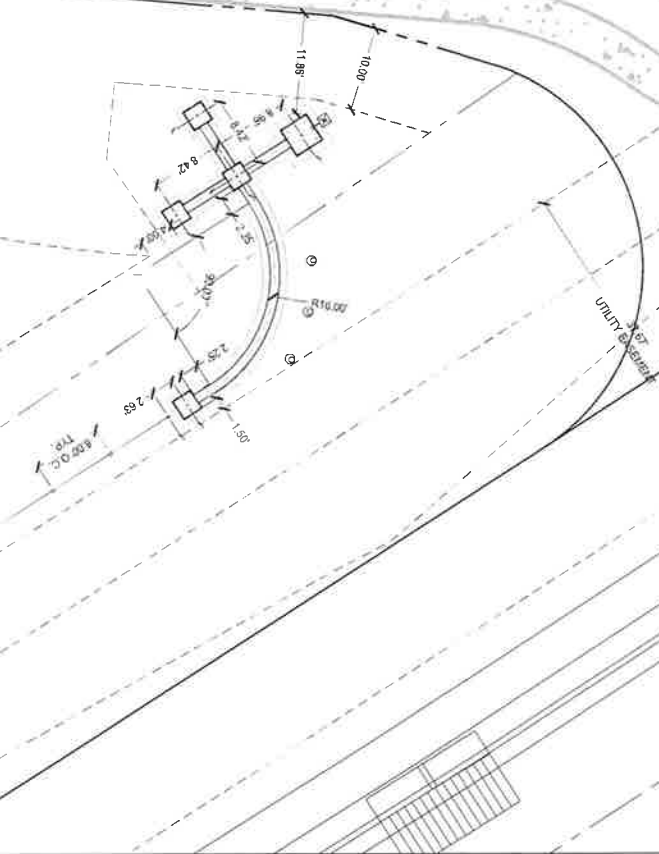
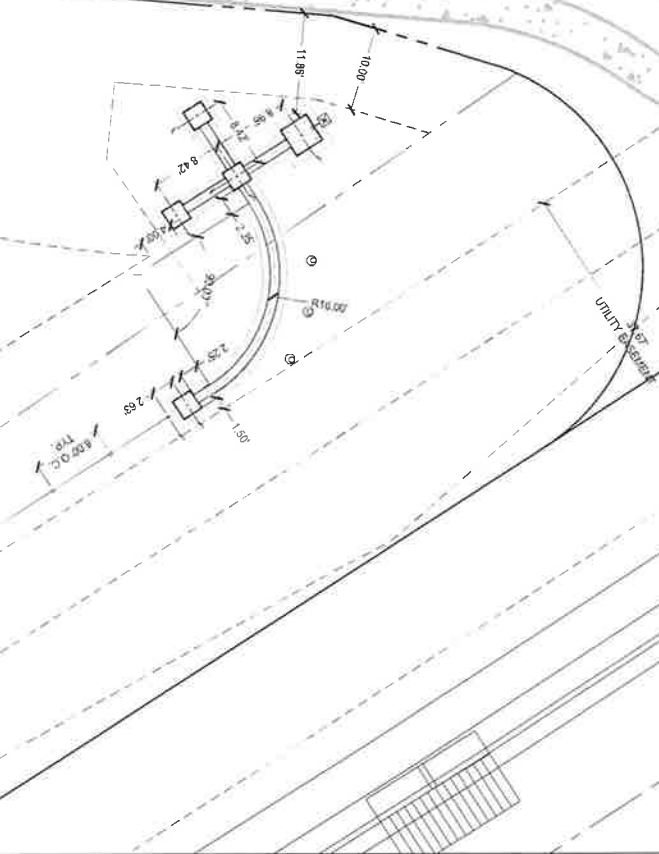
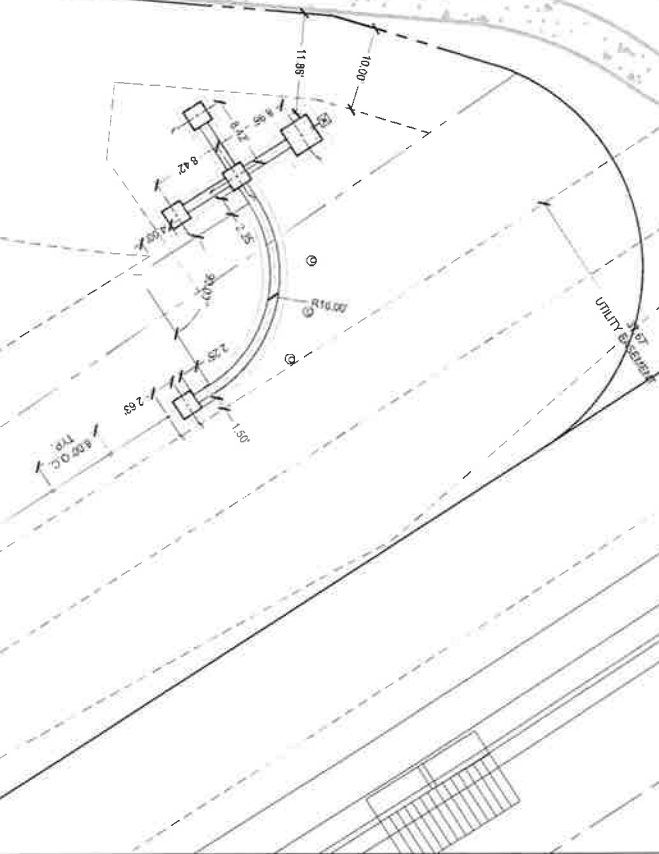
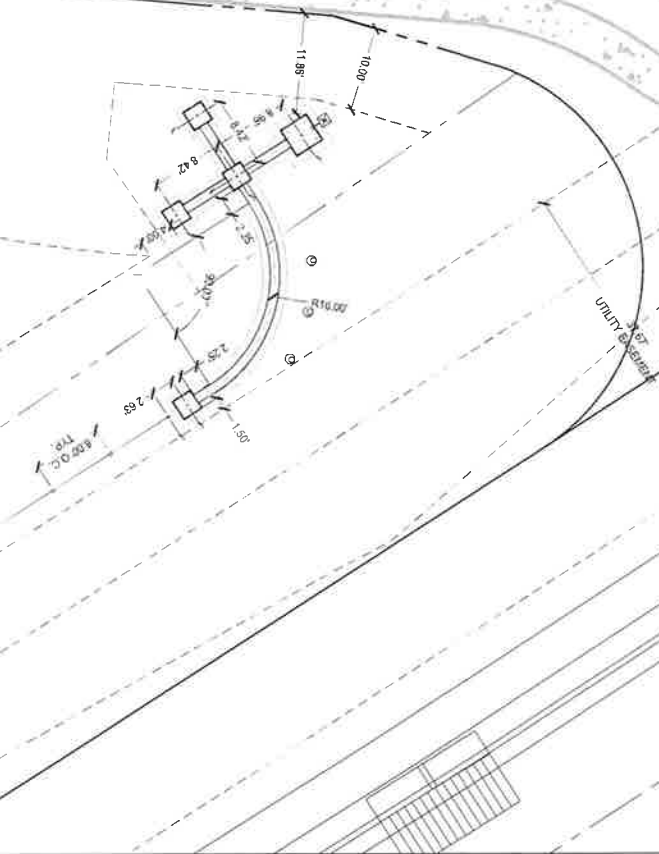
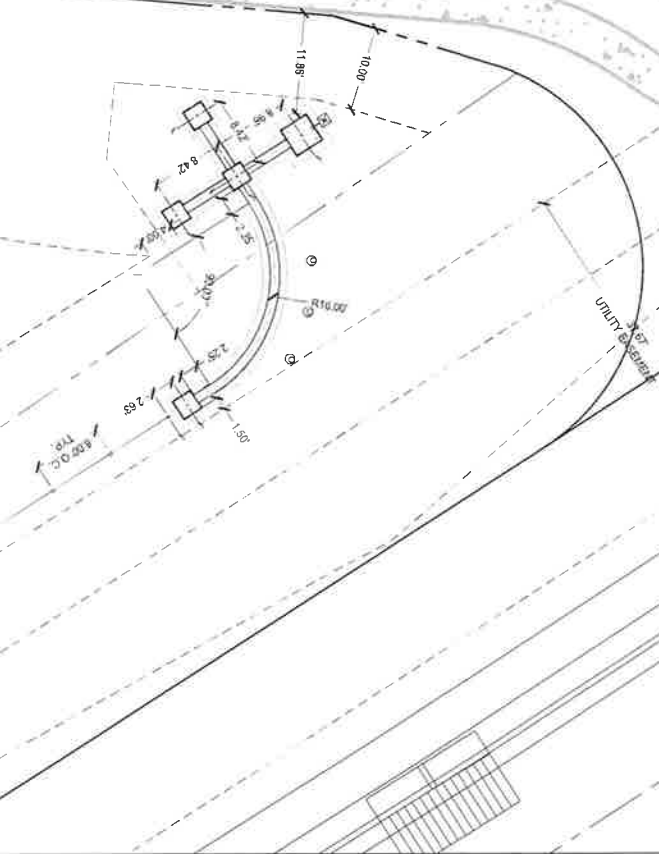
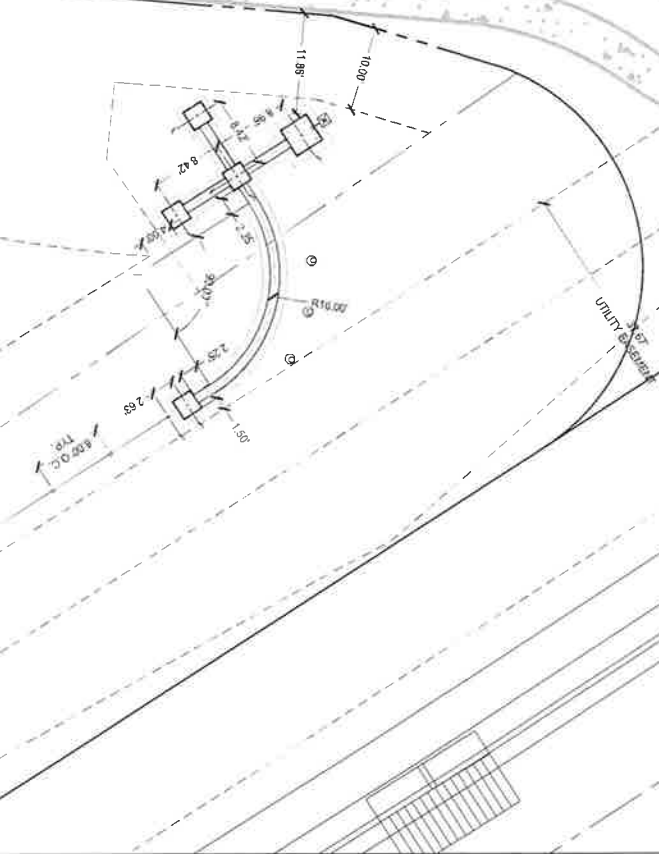
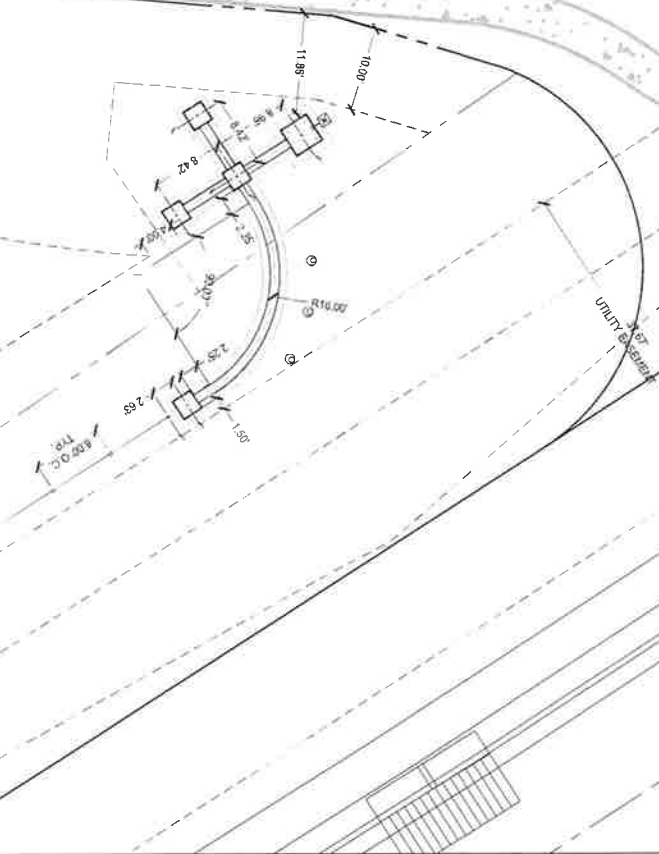
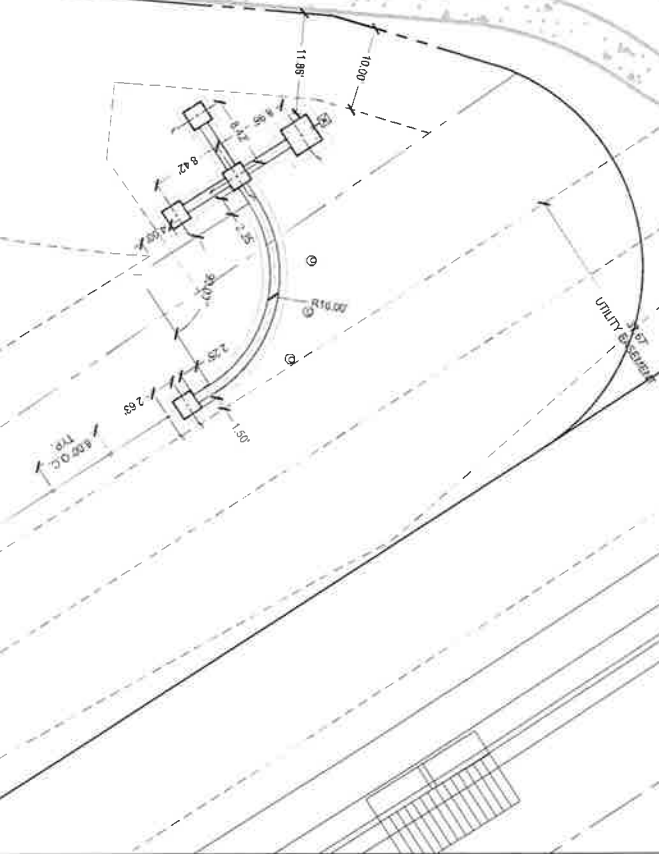
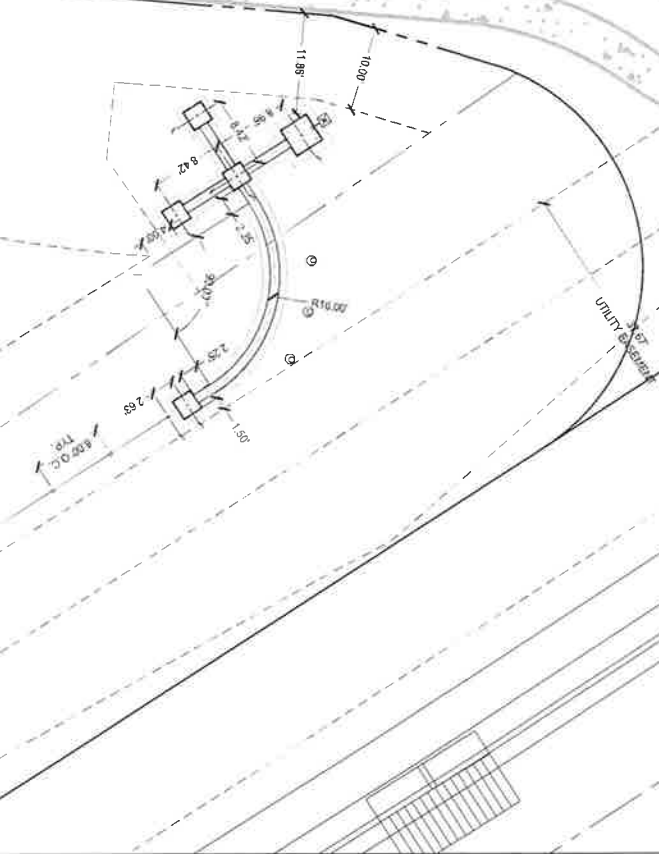
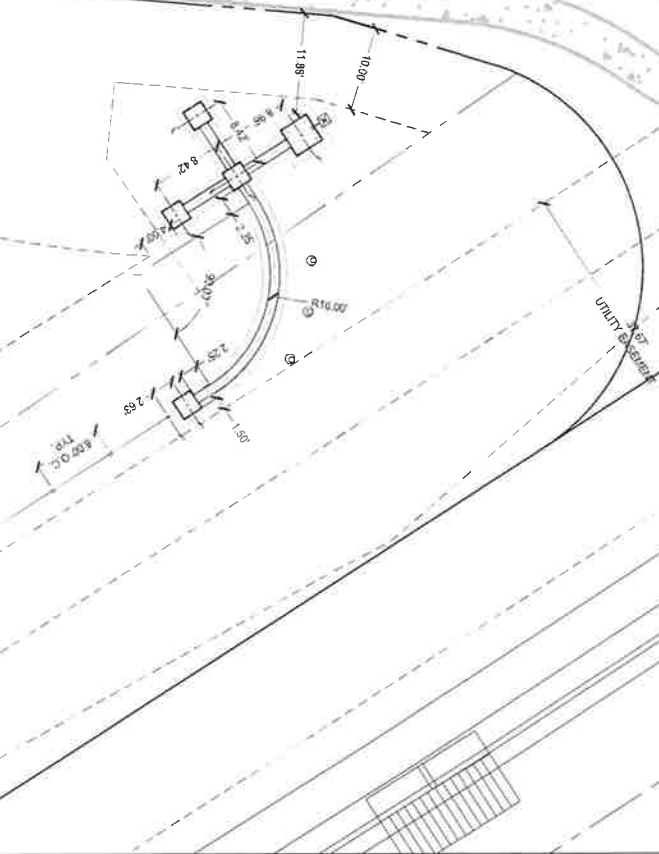
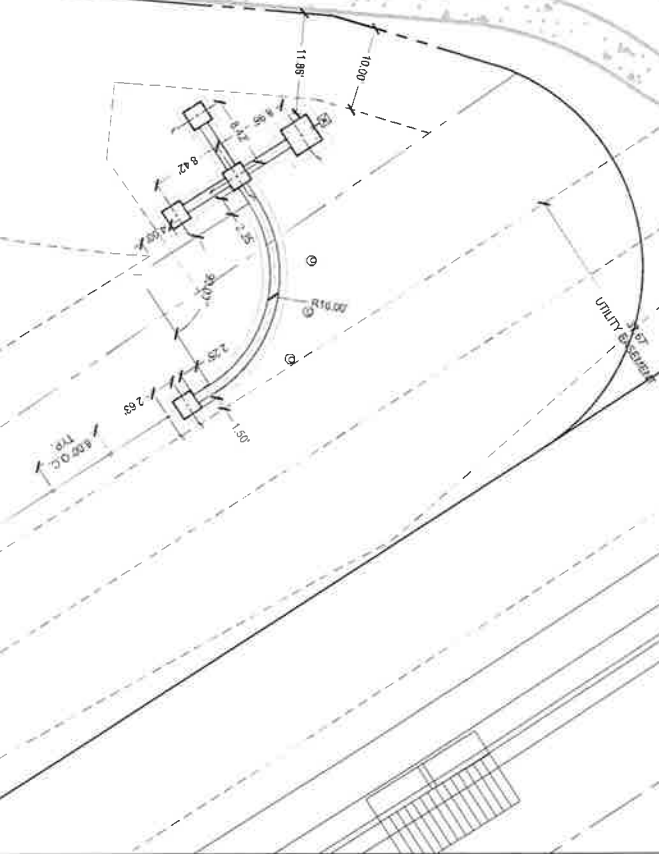
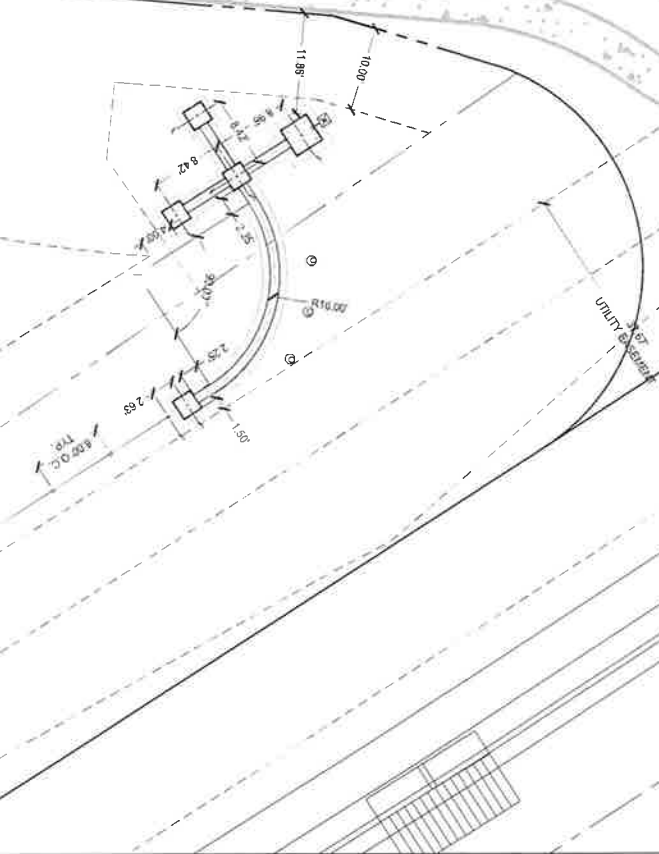
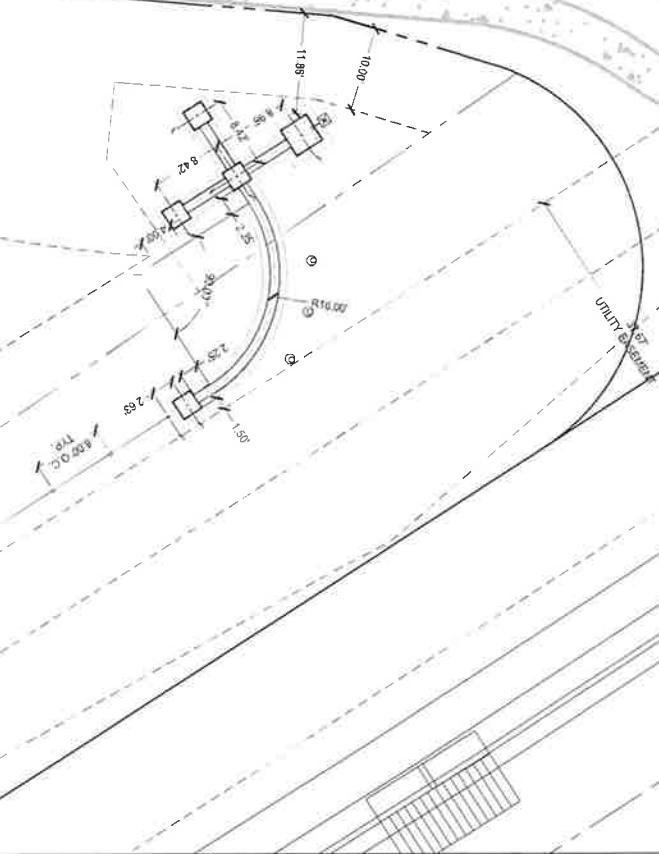
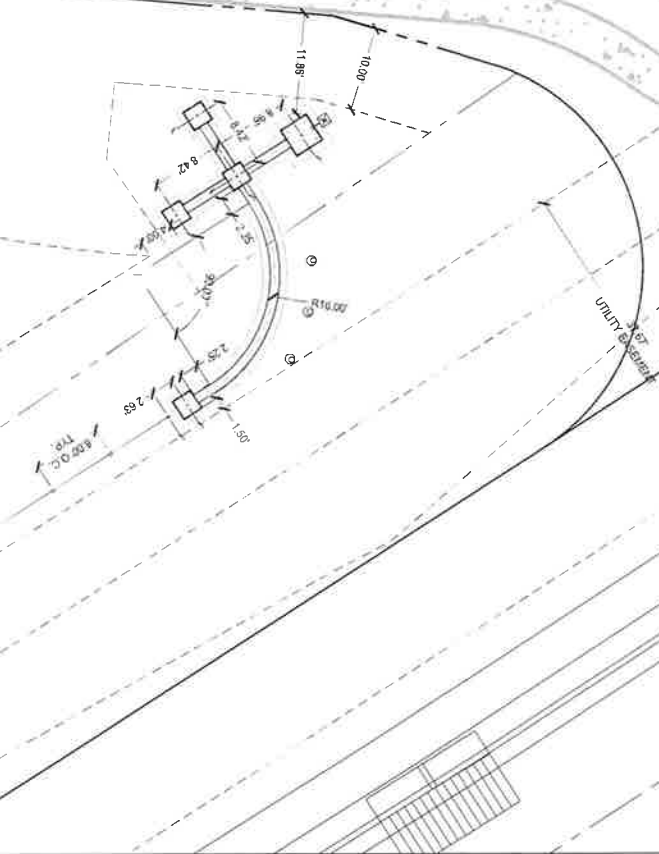
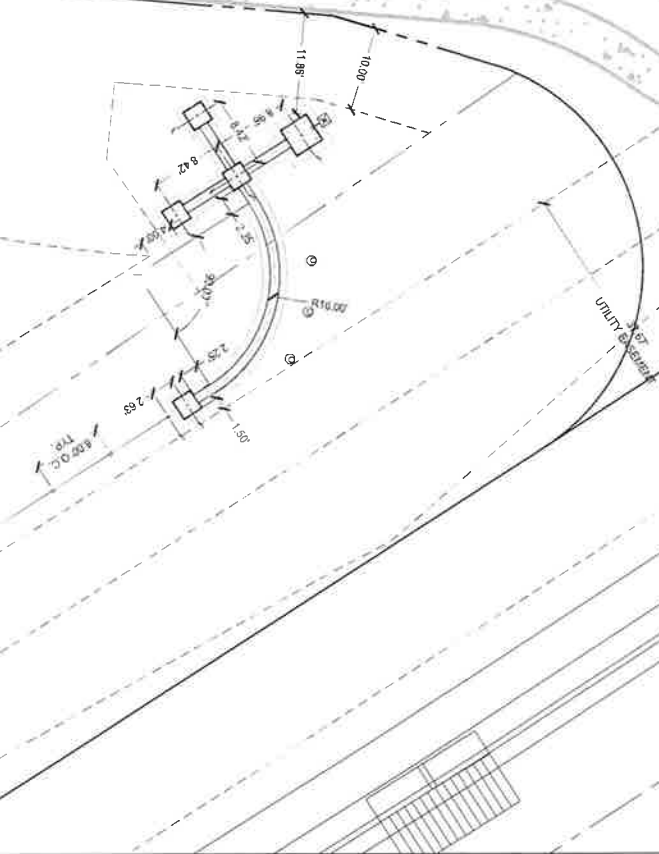
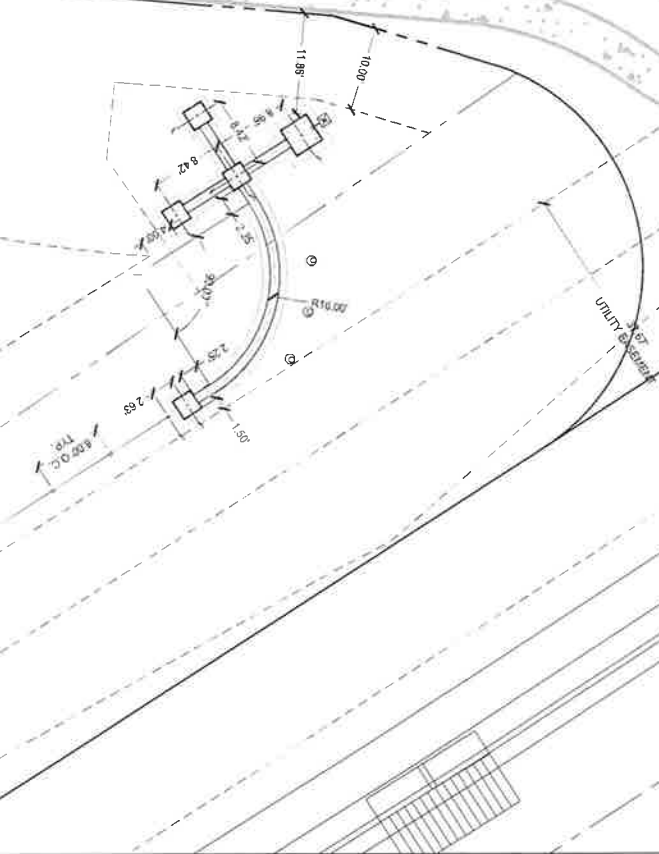
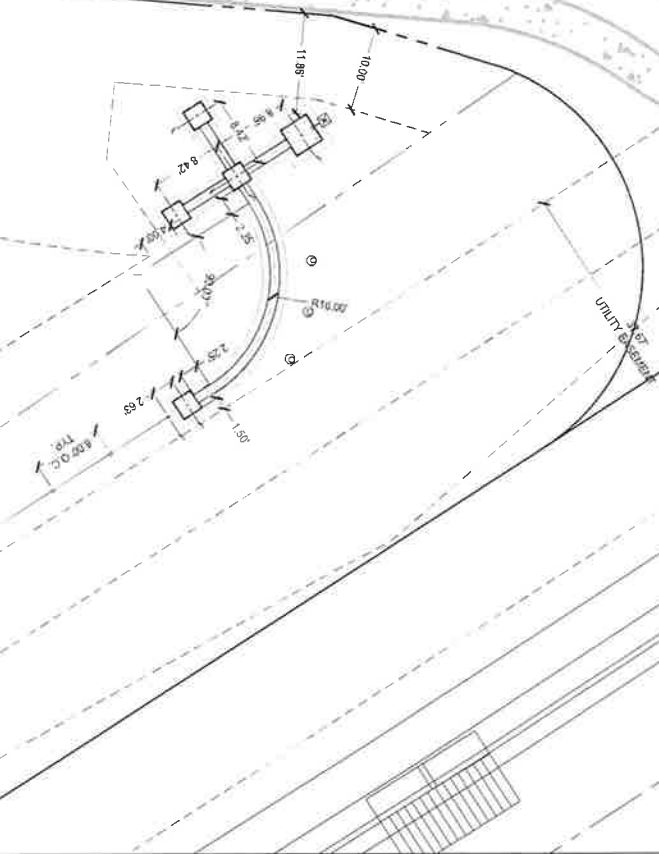
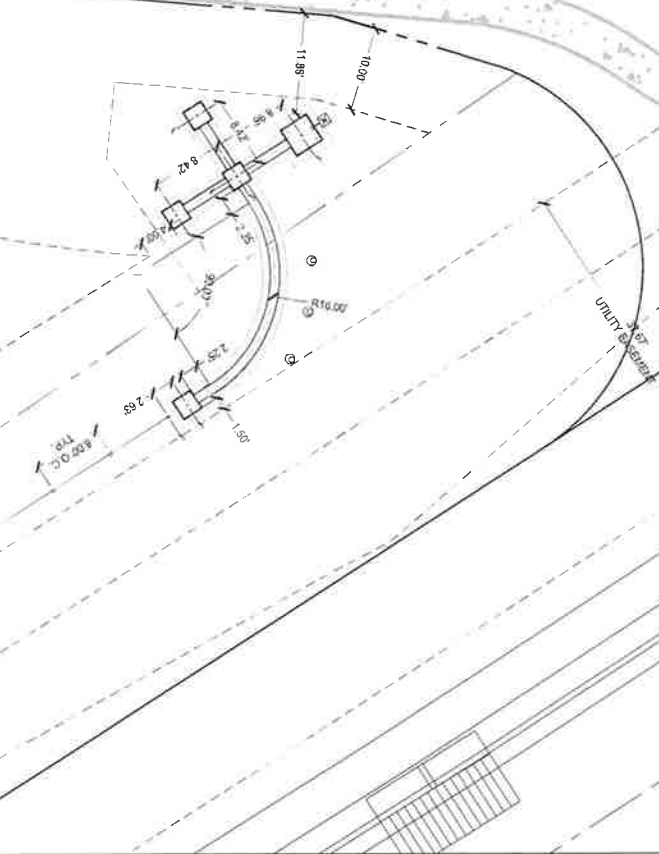
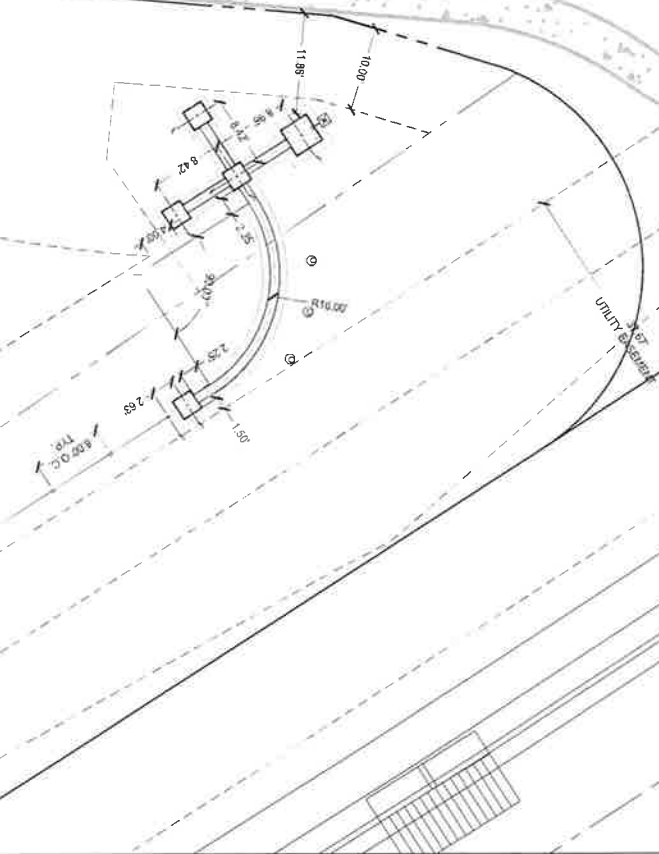
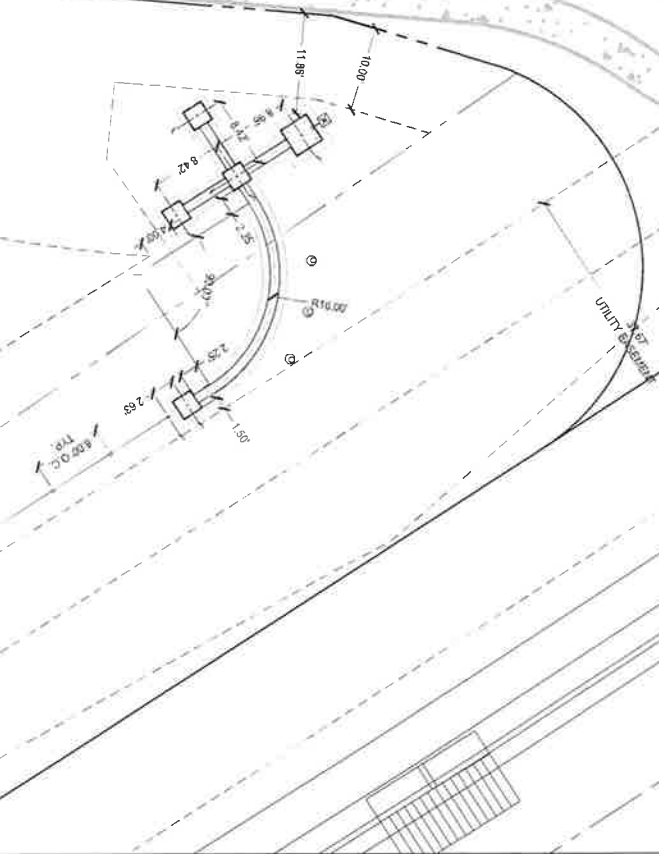
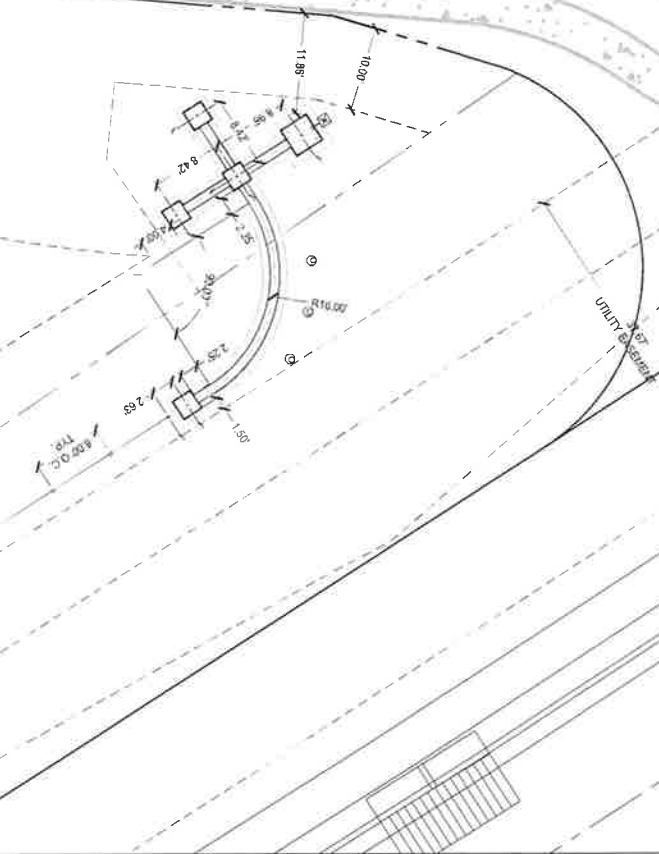
- LAYOUT NOTES:
- SEE SHEET C01 FOR GENERAL NOTES
 - SEE ARCHITECTURAL SHEETS FOR BUILDING
 - INSTALL SIGNAGE AND BRASS LANTERN AT THE BUILDING RADI, PROVIDE 12" MIN. SPACE BETWEEN ELEMENTS AS SHOWN. PROVIDE EXPANSION JOINTS BETWEEN CONCRETE PAVEMENT AND VERTICAL ELEMENTS (WALL, CURBS, ETC.). ALL JOINTS TO BE STRAIGHT AND TRUE
 - LAYOUT ALL CURVES SMOOTHLY WITH NO ABRUPT CHANGES AT TANGENT POINTS
 - ALL CURBS ARE DIMENSIONED TO THE FACE OF CURB
 - ALL DIMENSIONS ARE IN FEET AND INCHES. FURNISH AND AVOID SITE UTILITIES. ALL UTILITIES ARE NOT SHOWN ON DRAWING. VERIFY LOCATIONS AND CONSIDER SUCH WHEN ESTIMATING
 - ALL PAVEMENT MARKING AND TRAFFIC CONTROL DEVICES SHALL BE INSTALLED PER THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) LATEST EDITION
 - ALL PAVEMENT MARKINGS TO BE THERMOPLASTIC, UNLESS OTHERWISE NOTED
 - ALL CONSTRUCTION AND MATERIALS SHALL COMPLY WITH TDOTS STANDARDS FOR ROADWAY AND BRIDGE CONSTRUCTION, LATEST EDITION
 - ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED

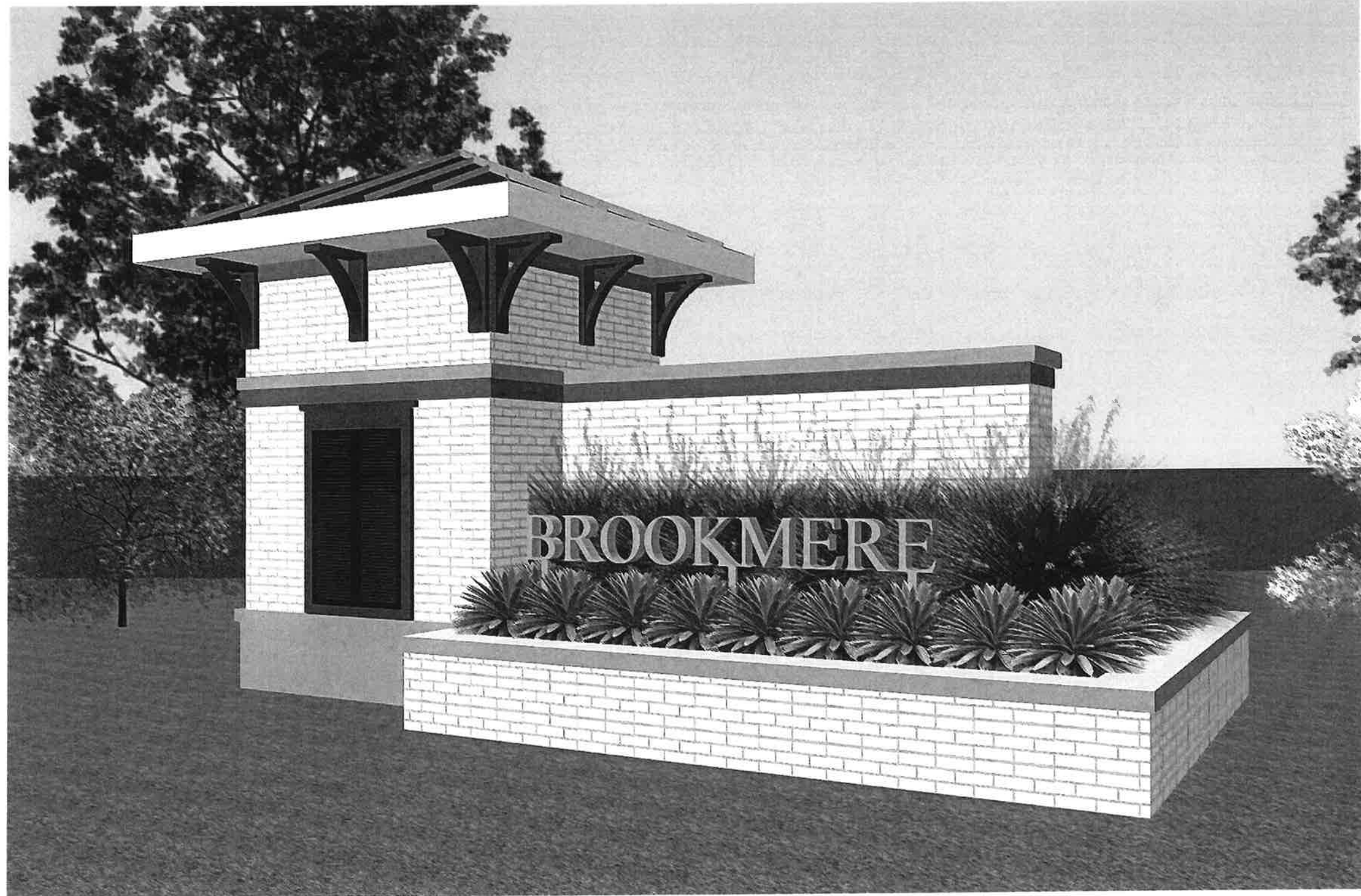


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BROOKMERE POOL AMENITY CENTER

POOL HOUSE
FARRAGUT, TN

LOSE
DESIGN
SPACES FOR LIFE.

RECEIVED

JAN 7 2019

TOWN OF FARRAGUT

NOT FOR
CONSTRUCTION

08/28/18

17282-2

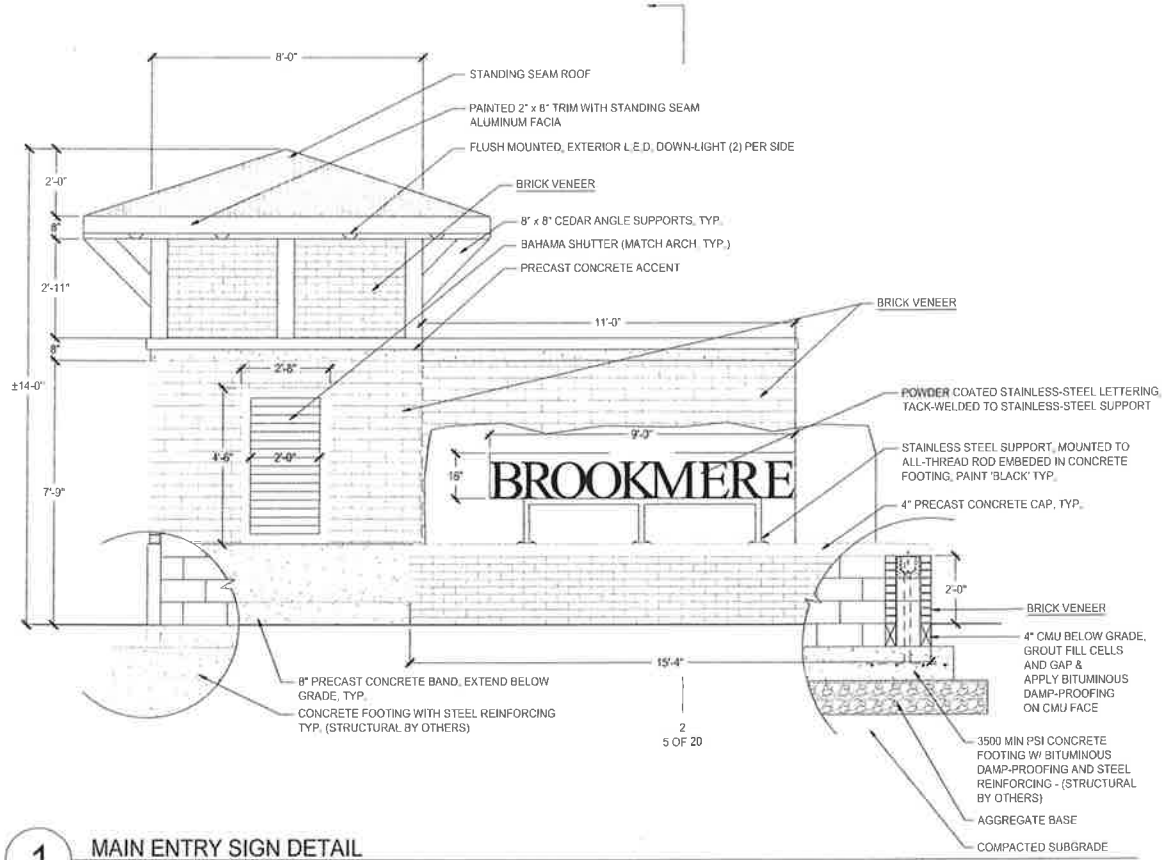
© 2018 LOSE DESIGN



BROOKMERE POOL AMENITY CENTER

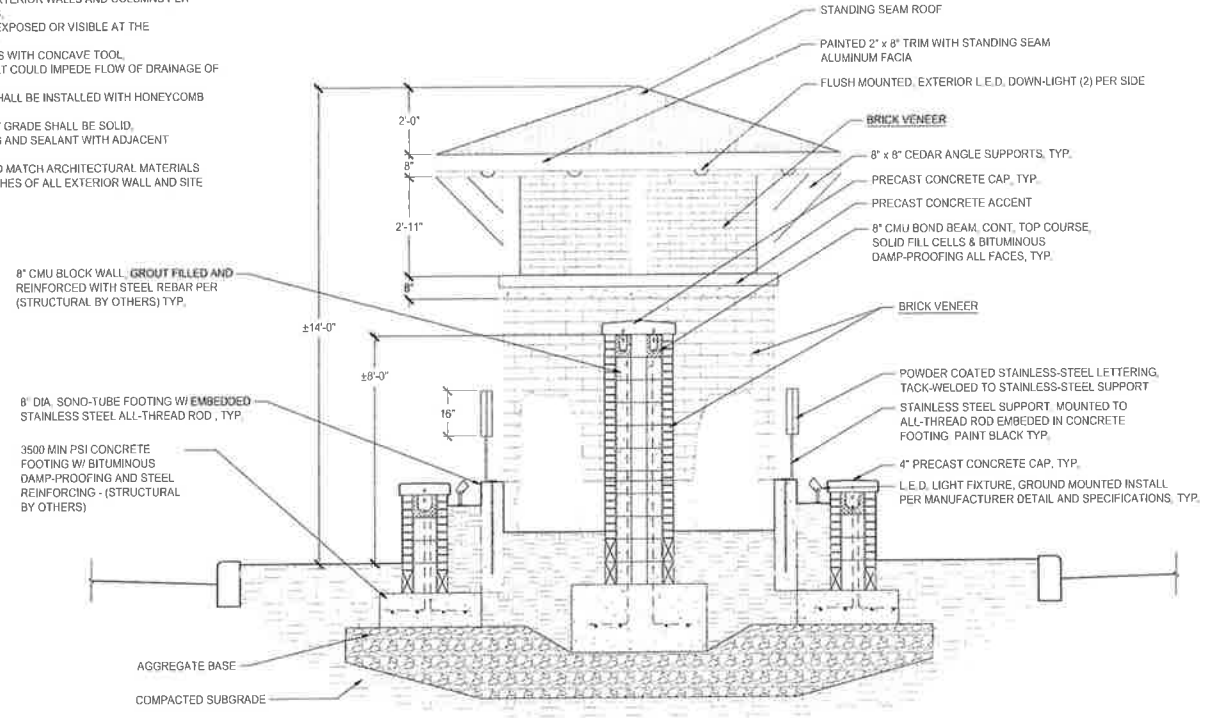
POOL HOUSE
FARRAGUT, TN

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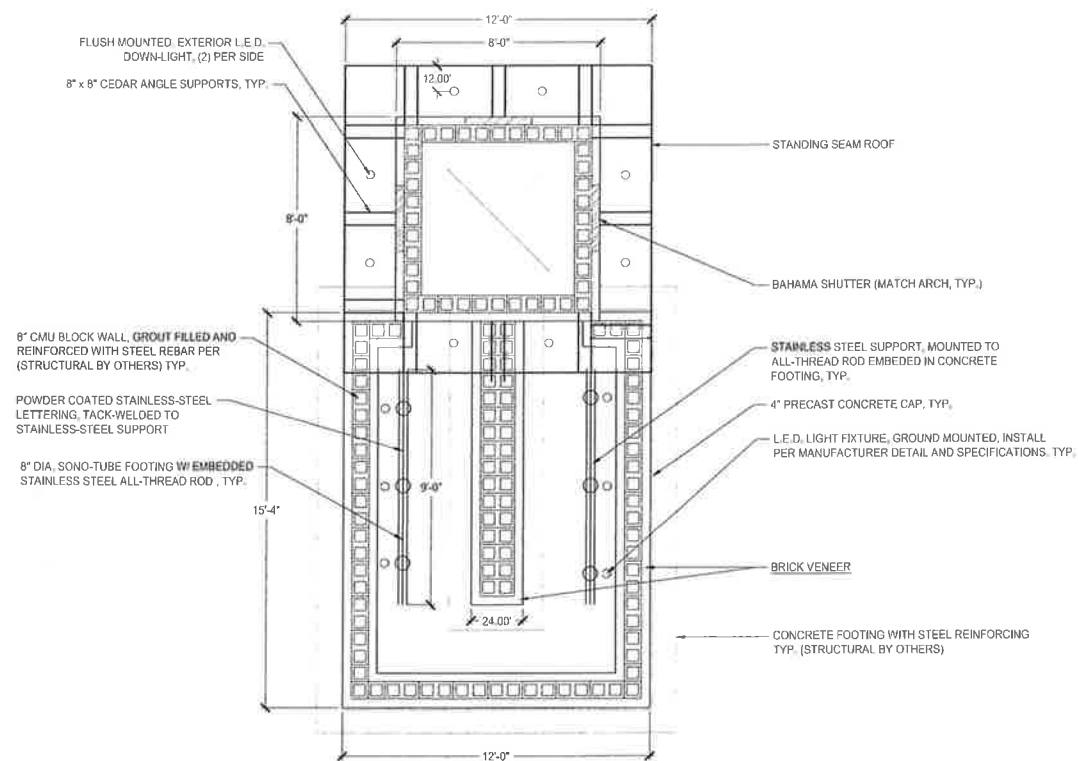


1 MAIN ENTRY SIGN DETAIL
SCALE: NTS

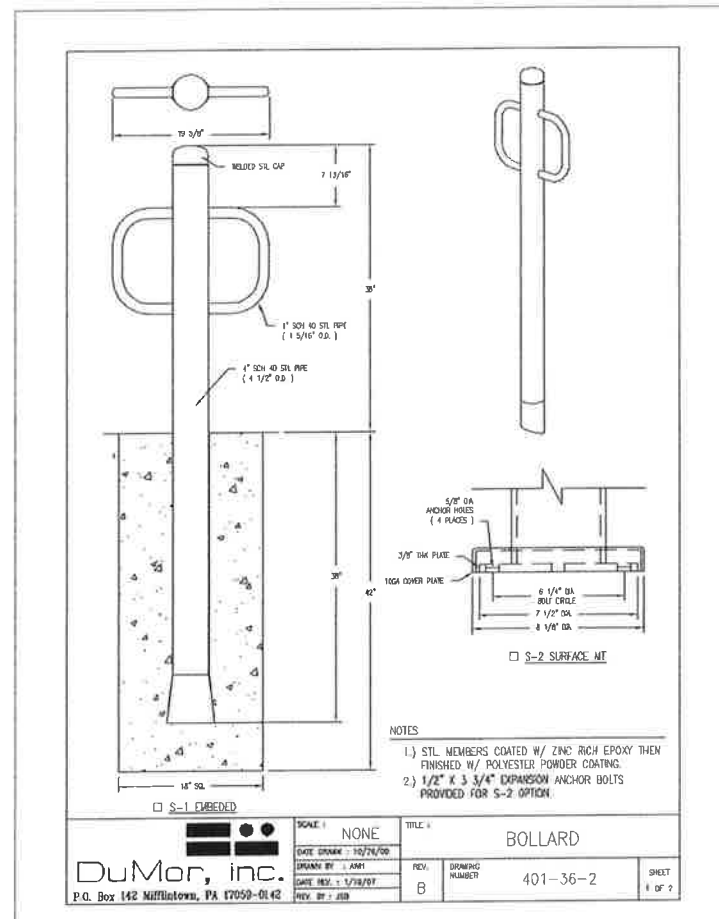
- NOTES**
1. INSTALL ALL VENEER SYSTEMS, FLASHING & ACCESSORIES PER VENEER MANUFACTURER'S RECOMMENDATIONS.
 2. PROVIDE CORNER UNITS ON ALL EXTERIOR WALLS AND COLUMNS PER MANUFACTURER'S SPECIFICATIONS.
 3. NO SETTING MORTAR SHOULD BE EXPOSED OR VISIBLE AT THE COMPLETION OF CONSTRUCTION.
 4. SHAPE ALL VISIBLE MORTAR JOINTS WITH CONCAVE TOOL.
 5. REMOVE ALL EXCESS MORTAR THAT COULD IMPEDE FLOW OF DRAINAGE OF WEEPS.
 6. ALL EXTERIOR MASONRY WALLS SHALL BE INSTALLED WITH HONEYCOMB BRICK DRAINAGE WEEPS.
 7. ALL BRICK COURSES AT OR BELOW GRADE SHALL BE SOLID.
 8. COLOR MATCH ALL WALL FLASHING AND SEALANT WITH ADJACENT MATERIAL FINISH.
 9. CONTRACTOR SHALL CONFIRM AND MATCH ARCHITECTURAL MATERIALS WITH COLOR, TEXTURES AND FINISHES OF ALL EXTERIOR WALL AND SITE COLUMNS.



2 MAIN ENTRY SIGN SECTION
SCALE: NTS



3 MAIN ENTRY SIGN (ENLARGED PLAN)
SCALE: NTS



4 BIKE BOLLARD
SCALE: NTS

LOSE DESIGN
SPACES FOR LIFE.

DANIEL BOUTE
REGISTERED ARCHITECT
TENNESSEE NO. 0000000000
LANDSCAPE ARCHITECT

TENNESSEE

BROOKMERE CLUBHOUSE

HOMESTEAD LAND HOLDINGS, LLC

TOWN OF FARRAGUT

SUBMITTALS / REVISIONS		
NO.	DATE	DESCRIPTION

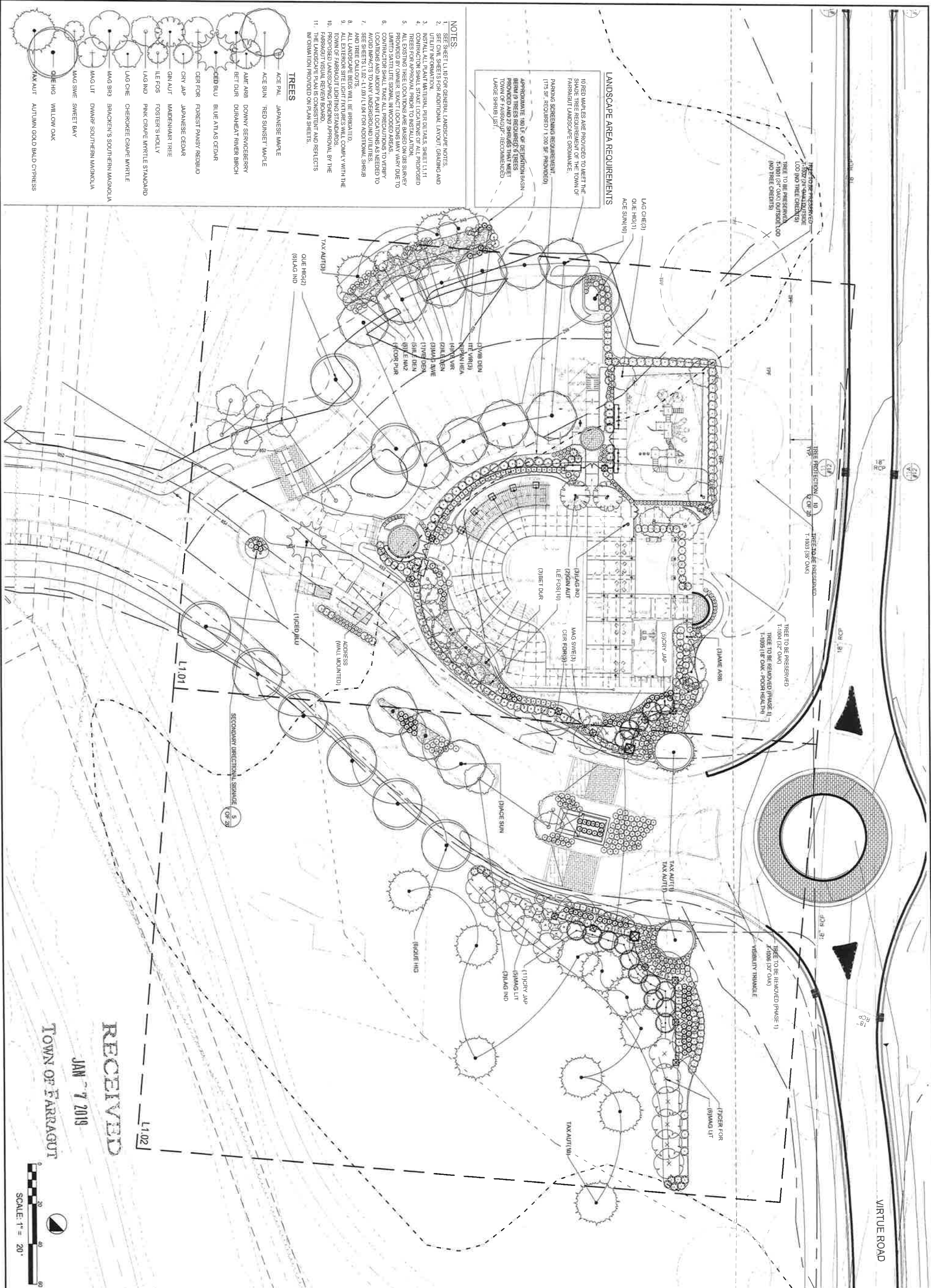
RECEIVED

JAN 7 2019

TOWN OF FARRAGUT

C4.01 - SITE DETAILS

PROJECT NO.	DATE
17282	01/07/2019
DRAWN BY	SCALE
CB	NTS
CHECKED BY	
DB	
SHEET NO.	
5 OF 20	



LÖSE
DESIGN
SPACES FOR LIFE.



TENNESSEE

BROOKMERE
CLUBHOUSE

HOMESTEAD LAND HOLDINGS, LLC

TOWN OF FARRAGUT

SUBMITTALS / REVISIONS	
NO.	DATE DESCRIPTION

[illegible]

SHEET III

L1.00 - LANDSCAPE PLAN

JAN 7 2019

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TOWN OF FARRAGUT



8 OF 20



TENNESSEE

BROOKMERE
CLUBHOUSE

HOMESTEAD LAND HOLDINGS, LLC

TOWN OF FARRAGUT

SUBMITTAL/REVISIONS	
NO.	DATE DESCRIPTION

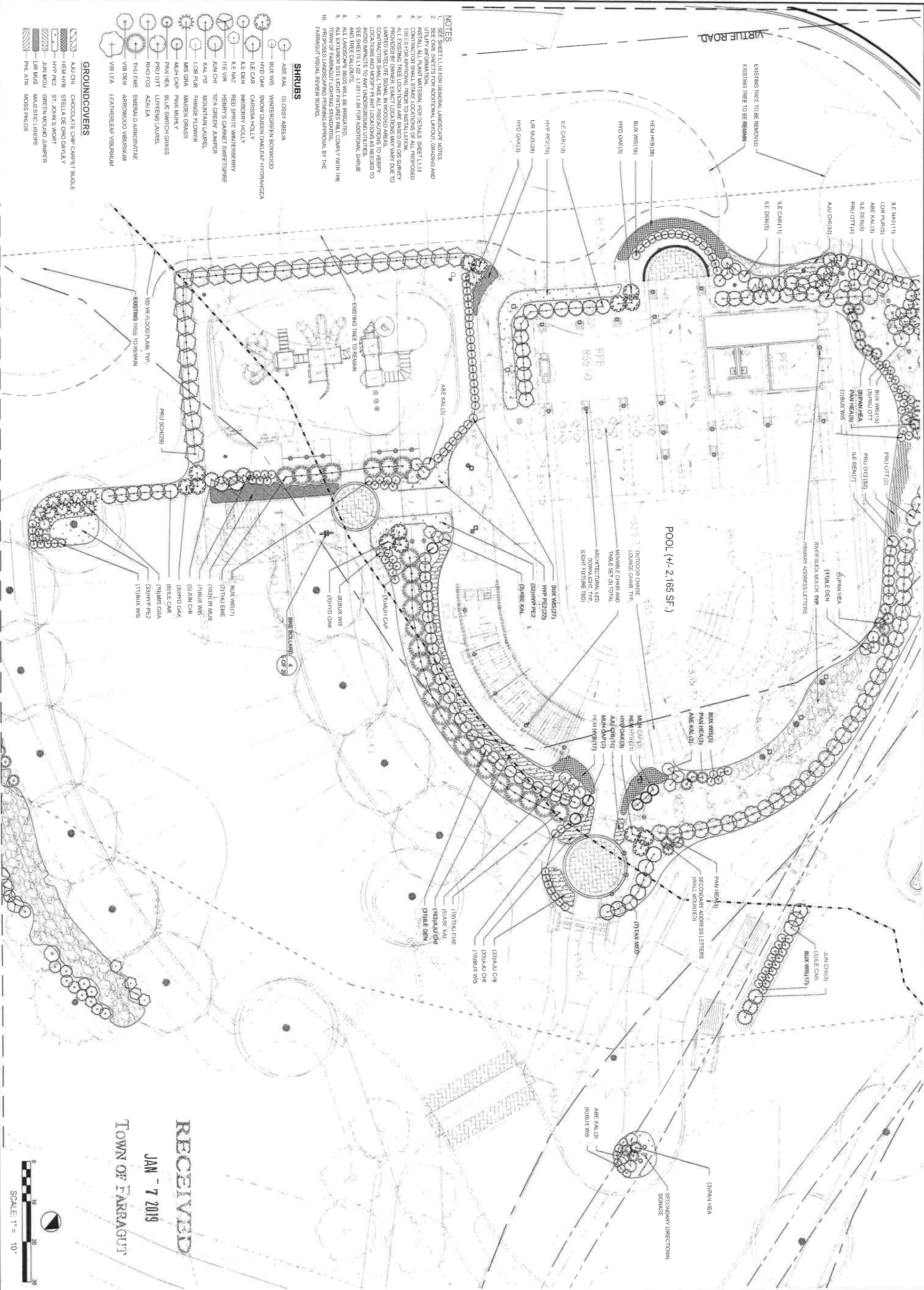
SHEET TITLE

L1.01 - ENLARGED
LANDSCAPE PLAN

PROJECT NO.	DATE
17262	01/07/2019
DRAWN BY	SCALE
DB	1" = 10'
CHECKED BY	
DB	
SHEET NO.	



RECEIVED
JAN - 7 2019
TOWN OF FARRAGUT



- NOTES:
- SEE SHEET L1.10 FOR GENERAL LANDSCAPE NOTES.
 - SEE CIVIL SHEETS FOR ADDITIONAL LAYOUT, GRADING AND UTILITY INFORMATION.
 - INSTALL ALL PLANT MATERIAL PER PER DETAILS SHEET L1.11
 - CONTRACTOR SHALL STAKE LOCATIONS OF ALL PROPOSED PLANT MATERIAL AND PROVIDE TO THE TOWN OF FARRAGUT FOR RECORD.
 - ALL EXISTING TREE LOCATIONS ARE BASED ON GIS SURVEY PROVIDED BY OWNER. EXACT LOCATIONS MAY VARY DUE TO LIMITED SATELLITE SIGNAL IN WOODED AREAS.
 - CONTRACTOR SHALL TAKE ALL PRECAUTIONS TO VERIFY LOCATIONS AND MODIFY PLANT LOCATIONS AS NEEDED TO AVOID UTILITIES TO ANY UNDERGROUND UTILITIES.
 - SEE SHEET L1.101 FOR ADDITIONAL SPECIFICATIONS.
 - AND TREE CALLOUTS.
 - ALL LANDSCAPE BEDS WILL BE RINGED.
 - ALL EXTERIOR SITE LIGHT FIXTURES WILL COMPLY WITH THE TOWN OF FARRAGUT LIGHTING STANDARDS.
 - PROPOSED LANDSCAPING PENDING APPROVAL BY THE FARRAGUT VISUAL REVIEW BOARD.

SHRUBS

- ABE KAL GLOSSY ABELIA
- BUX WIS WINTERGREEN BOXWOOD
- HYD OAK SNOW QUEEN OAKLEAF HYDRANGEA
- ILE CAR CARISSA HOLLY
- ILE DEN INKBERRY HOLLY
- ILE MA2 RED SPRITE WINTERBERRY
- ITE VIR HENRY'S GARNET SWEETSPICE
- JUN CHI SEA GREEN JUNIPER
- KAL PIZ MOUNTAIN LAUREL
- LOR PUR FRINGE FLOWER
- MIS GRA MAIDEN GRASS
- MUH CAP PINK MUHLY
- PAN HEA BLUE SWITCH GRASS
- PRU OTT LYONS LAUREL
- RHO F02 AZALEA
- THU EME EMERALD ARBOREUTAE
- VIB DEN ARROWOOD VIBURNUM
- VIB LEA LEATHERLEAF VIBURNUM

GROUNDCOVERS

- AJU CHI CHOCOLATE CHIP CARPET BUGLE
- HEM HYB STELLA DE ORO DAY LILY
- HYP PEZ ST. JOHN'S WORT
- JUN MOU GREEN MOUND JUNIPER
- LIR MUS MALESTIC LIRIOPE
- PHL ATR MOSS PHLOX

GENERAL NOTES:

- UNDERGROUND UTILITIES:
 - UNDERGROUND UTILITIES HAVE NOT BEEN VERIFIED BY THE OWNER, LANDSCAPE ARCHITECT, OR THEIR REPRESENTATIVES. BEFORE YOU DIG, CALL TENNESSEE ONE CALL SYSTEM.
- THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT RESULT FROM THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY UNDERGROUND UTILITIES TO REMAIN.
- THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS TO ENSURE THAT THE NEW WORK SHALL FIT INTO THE EXISTING SITE IN THE MANNER INTENDED AND AS SHOWN ON THE DRAWINGS. SHOULD ANY CONDITIONS EXIST THAT ARE CONTRARY TO THOSE ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE PRIOR TO PERFORMING ANY WORK IN THE AREA INVOLVING DIFFERENCES. NOTIFICATION SHALL BE IN THE FORM OF A DRAWING OR SKETCH INDICATING FIELD MEASUREMENTS AND NOTES RELATING TO THE AREA.

LANDSCAPE NOTES:

- PLANTING BEDS AND PLANT LOCATIONS SHALL BE STAKED BY THE LANDSCAPE CONTRACTOR. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER OR THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION OF THE PLANTS.
- PLANTING BEDS SHALL BE CLEARED OF ALL GRASS AND WEEDS PRIOR TO INSTALLATION OF PLANTS, INCLUDING SPRAYING "ROUND-UP" OR APPROVED SUBSTITUTE TO KILL ACTIVELY GROWING PLANTS. PLANT BEDS SHALL BE PREPARED AS CALLED FOR IN THE SPECIFICATIONS AND DETAILS.
- ALL OTHER DISTURBED AREAS ARE TO BE SEEDED OR SOODED AS PER THE PLANS. ADDITIONAL SEEDING OR SOODING, IF REQUIRED, WILL BE AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE. SEE EROSION CONTROL SHEET FOR SEEDING.
- PLANTING BEDS SHALL HAVE A THREE (3) INCH SHREDDED HARDWOOD BARK MULCH OVER THE ENTIRE BED, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- PRIOR TO PLANTING, ALL PLANTED AREAS SHALL BE TREATED WITH A WATER-SOLUBLE HERBICIDE FOR THE NON-SELECTIVE CONTROL OF ANNUAL AND PERENNIAL WEEDS PRIOR TO PLANTING.
- ALL TREE AND SHRUB PLANTING PITS SHALL BE BACKFILLED WITH A PLANTING SOIL MIXTURE OF ONE (1) PART ORIGINAL SOIL AND ONE (1) PART TOPSOIL, THOROUGHLY MIXED. SAMPLE OF MIXTURE TO BE APPROVED IN WRITING BY OWNER OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- PLANT GROUND COVER AND ANNUAL BEDS IN SAME MIXTURE AS SHRUBS. AFTER PLANTING & MULCHING, WATER AREAS TO POINT OF SATURATION.
- ALL PLANTED AREAS ARE TO BE FERTILIZED WITH GRANULAR FERTILIZER. LANDSCAPE CONTRACTOR IS TO PROVIDE SOIL TEST RESULTS AND PROPOSED FERTILIZER APPLICATION RATES TO THE OWNER OR OWNER'S REPRESENTATIVE FOR APPROVAL.
- ALL PLANT MATERIAL IS TO BE NURSERY GROWN AND TO COMPLY WITH AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60, 1-2004) OR LATEST EDITION. PLANTS NOT IN COMPLIANCE WILL BE REJECTED AND REPLACED WITH PLANTS THAT MEET THE STANDARDS.
- SPRAY TREES AND SHRUBS WITH AN ANTI-DESICCANT IF FOLIAGE IS PRESENT.
- EVERGREEN TREES AND SHRUBS SHALL BE PLANTED IN THE SAME MANNER AS DECIDUOUS MATERIAL IS PLANTED.
- DO NOT PRUNE ANY PLANT MATERIAL UNTIL IT HAS BEEN INSPECTED AND ACCEPTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
- ALL LANDSCAPE MATERIAL SHALL BE APPROVED BY THE OWNER OR OWNER'S REPRESENTATIVE BEFORE INSTALLATION. MATERIALS MAY BE VIEWED AT LANDSCAPE CONTRACTOR'S HOLDING SITE OR AT THIS SITE. IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO NOTIFY THE OWNER OR OWNER'S REPRESENTATIVE OF THE AVAILABILITY OF THE MATERIALS TO BE INSPECTED.
- ALL MATERIALS INSPECTED ON THE SITE AND FOUND TO BE UNACCEPTABLE SHALL BE REMOVED FROM THE SITE ON THE DAY OF INSPECTION.
- FIELD CHANGES MUST BE APPROVED IN WRITING BY THE OWNER OR OWNER'S REPRESENTATIVE.
- EXISTING PLANT MATERIAL IS TO BE EVALUATED BY THE LANDSCAPE ARCHITECT FOR POSSIBLE RELOCATION ON SITE. THE LANDSCAPE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT FORTY- EIGHT (48) HOURS BEFORE BEGINNING WORK.
- ALL PLANT MATERIAL SHALL BE SUPPLIED BY APPROPRIATE SOURCES TO PREVENT UNDOE STRESS OR PROLONGED ACCLIMATIZATION WHICH WOULD INHIBIT PLANT GROWTH.
- LANDSCAPE CONTRACTOR IS TO VERIFY PLANT QUANTITIES SHOWN ON PLAN AND IN PLANT LIST. IF DISCREPANCIES OCCUR, LANDSCAPE CONTRACTOR IS TO CONTACT LANDSCAPE ARCHITECT IMMEDIATELY. QUANTITIES SHOWN ON PLAN TAKE PRECEDENCE.
- EVERGREEN TREES TO BE A MINIMUM OF 6' IN HEIGHT AT TIME OF PLANTING. DECIDUOUS TREES TO BE 2" DBH MIN AT TIME OF PLANTING. SEE PLANT LIST FOR LARGER MATERIAL REQUIRED.
- MULTI-TRUNK PLANT MATERIAL SHALL BE ONE PLANT GROWN FROM SINGLE SEEDLING. NO CLUMP MULTI-PLANT STOCK WILL BE ACCEPTED.
- IF IN THE OPINION OF THE LANDSCAPE ARCHITECT, THE CENTRAL LEADER OF ANY TREE HAS BEEN CUT IN THE HISTORY OF THE PLANT'S GROWTH, THE MATERIAL SHALL BE REPLACED AT NO ADDITIONAL COST TO THE OWNER. THE DECISION OF THE LANDSCAPE ARCHITECT WILL BE FINAL.

PLANT STOCK NOTES:

- ALL CANOPY TREES SHALL BE LIMBED UP AT LEAST 7' WITH A MINIMUM HEIGHT OF 12'.
- ALL PEDESTRIAN ACCESS WAYS MUST HAVE AT LEAST 7' OF CLEARANCE.
- ALL UNDERSTORY TREES SHALL BE LIMBED UP AT LEAST 4' WITH A MINIMUM HEIGHT OF 8'.
- ALL CANOPY AND UNDERSTORY TREES SHALL HAVE ONE STRONG CENTRAL LEADER TRUNK, NO MULTI-TRUNK UNLESS SPECIFIED.
- THE SOUTH SIDE OF ALL TREES SHALL BE MARKED BEFORE TRANSPLANT FOR DIRECTIONAL PLACEMENT AT THE TIME OF PLANTING. CONTRACTOR SHALL BE RESPONSIBLE FOR DIRECTIONAL PLACEMENT.
- ALL TREES SHALL BE MATCHED SPECIMENS WITH A FULL CANOPY AND A UNIFORM BRANCHING HABIT.
- EVERGREEN TREES SHALL BE FULL TO GROUND WITH A HEAVY CANOPY AND STRONG CENTRAL LEADER.
- ALL SHRUBS SHALL HAVE A FULL, HEAVY BODY FOR THE COMPLETE HEIGHT OF THE SHRUB AND SHOULD NOT SHOW STRESS AT TIME OF PLANTING.
- ALL SHRUBS SHALL HAVE A MINIMUM #3 CONTAINER AT TIME OF PLANTING. PLANT SELECTION MUST BE CHOSEN BY PLANT SIZE, NOT CONTAINER SIZE.
- ALL SHRUBS, EXCEPT AS NOTED, SHALL BE PLANTED AND MAINTAINED IN THEIR NATURAL FORM TO CREATE A PLANT MASSING EFFECT. NO "GUMDROP" PRUNING IS ALLOWED.
- MULCH "VOLCANOES" ARE UNACCEPTABLE. MULCH MUST BE INSTALLED PER DETAILS.
- INSTALL ALL PLANTS IN ACCORDANCE WITH ALL APPLICABLE DETAILS AND SPECIFICATIONS INCLUDED WITHIN THE CONSTRUCTION PACKAGE.
- ALL PLANTS MUST BE SELECTED, INSTALLED, AND MAINTAINED ACCORDING TO THE SPECIFICATIONS.
- ALL TREES MUST BE PLANTED A MINIMUM OF 5 FEET FROM MAJOR UTILITY LINES. CONTACT LANDSCAPE ARCHITECT WHERE DISCREPANCIES OCCUR FOR FIELD ADJUSTMENT.

TOTAL REPLACEMENT CREDITS	
	-21.2
TOTAL TREES PLANTED IN PHASE 1	
	251
TOTAL TREES PLANTED IN PHASE 2	
	115
TOTAL TREE CREDITS	
	344.8

NOTE: "OTHER" TREES ONLY COUNTED IN AQUATIC BUFFERS AND WITHIN 25' OF GRADING ACTIVITIES PER SEC 113-60 (5) IN THE TREE PRESERVATION ORDINANCE.

NOTE: 19 TREES ARE REQUIRED FOR TOWN OF FARRAGUT LANDSCAPE ORDINANCE AND ARE NOT INCLUDED IN THE TREE REPLACEMENT TABLE (DETAIL 2, L110)

NOTES:

- SUMMARY OF TREE CREDITS ARE BASED ON TREE TABLES PROVIDED TO THE TOWN OF FARRAGUT AS PART OF THIS SUBMITTAL.
- TREES USED FOR CREDITS AND REMOVAL HAVE BEEN FIELD DELINEATED FOR CLARITY OF TOWN OF FARRAGUT REVIEW.
- TREE CREDITS WILL BE USED FOR THE BALANCE OF FUTURE PHASES.

2

TREE CREDIT SUMMARY

SCALE: XX+XX

TREE PRESERVATION NOTES:

- TREE PRESERVATION FENCING (TPF) SHALL BE ERECTED IN THE LOCATIONS SHOWN, APPROXIMATELY 3' BEYOND THE EXISTING TREE CANOPY DRIP LINE.
- TREE PRESERVATION FENCING SHALL ENCLOSE THE ENTIRE AREA BENEATH THE TREE CANOPY AND SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION IS COMPLETE.
- NO PARKING, MATERIAL STORAGE OR CONSTRUCTION ACTIVITIES ARE PERMITTED WITHIN TREE PRESERVATION FENCING LIMITS.
- THE CONTRACTOR SHALL ONLY REMOVE EXISTING TREES (OUTSIDE BUFFER AND ENVIRONMENTALLY SENSITIVE AREAS) THAT ARE NOTED TO BE REMOVED AND (MARKED ON THE TREE PRESERVATION PLANS WITH AN 'X').
- REMOVE ALL TREES TO BE REMOVED IN A SAFE AND ORGANIZED MANNER, AS TO NOT DISTURB ANY ADJACENT PRESERVED TREES TO REMAIN.
- ALL STUMPS OF TREES TO BE REMOVED SHALL BE FULLY EXCAVATED AND FILL ALL HOLES FLUSH WITH SURROUNDING GRADE WITH SUITABLE ENGINEERING FILL.
- REMOVE AND DISPOSE OF ALL TREE WASTE INCLUDING BRANCHES, LIMBS, TRUNKS, STUMPS, ROOTS, ETC., IN A LEGAL MANNER.
- ALL PROTECTED TREES THAT ARE LOCATED NEAR OR WITHIN THE LIMITS OF DISTURBANCE SHALL BE PROTECTED WITH THE TREE PRESERVATION FENCING TO THE GREATEST EXTENT POSSIBLE DURING CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE TREE PRESERVATION FENCING THROUGHOUT THE ENTIRE CONSTRUCTION PROCESS.
- IF ANY TREES NOTED TO BE PRESERVED ARE IMPACTED DURING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE LANDSCAPE ARCHITECT WITH ANY NECESSARY CHANGES TO THE TREE REPLACEMENT / LANDSCAPE PLAN.
- IF THE CONTRACTOR LOCATES ANY ADDITIONAL TREES THAT MEET THE MINIMUM TREE SIZE STANDARD (4" CAL, REDBUD / DOGWOOD, 10" CAL, HARDWOOD, 15" CAL, EVERGREEN), THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT FOR REVIEW OF THE TREE HEALTH AND LOCATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR IN-FIELD COORDINATION OF ALL SUB-CONSULTANTS AND UTILITY INSTALLERS, TO ENSURE THAT THE TREE PROTECTION MEASURES REMAIN IN-PLACE THROUGHOUT CONSTRUCTION.
- WHERE CONSTRUCTION AND GRADING OCCUR WITHIN THE DRIP LINE OF AN EXISTING TREE TO BE PRESERVED, AND THE TREE PROTECTION FENCE CAN NOT BE LOCATED 3' OUTSIDE THE DRIP LINE, THE CONTRACTOR SHALL TEMPORARILY RELOCATE THE FENCE TO THE EDGE OF DISTURBANCE AFTER COMPLETION OF CONSTRUCTION ACTIVITIES WITHIN THE CANOPY, REPLACE THE TREE PROTECTION FENCING TO THE ORIGINAL LOCATION, 3' OUTSIDE THE EXISTING DRIP LINE. IF A TREE NOTED TO BE PRESERVED DIES DURING THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AND OWNER SO THE TREE REPLACEMENT TABLE CAN BE UPDATED AS REQUIRED BY THE TOWN OF FARRAGUT.
- THE CONTRACTOR SHALL PRUNE ALL EXISTING TREE ROOTS ADJACENT TO UNDERGROUND UTILITY LINES PRIOR TO UTILITY REMOVAL TO MINIMIZE ROOT DAMAGE AND IMPACTS TO OVERALL TREE HEALTH.
- PRIOR TO GRADING AND REMOVAL OF TREES WITHIN PHASE 1 LIMITS OF DISTURBANCE (LOD), THE FINAL LOCATION OF THE TREE PRESERVATION FENCING SHOULD BE WALKED AND FIELD ADJUSTED WITH THE OWNER'S REPRESENTATIVE AND TOWN OF FARRAGUT STAFF.

GENERAL:

- UNLESS OTHERWISE NOTED, SEEDING SHALL BE INSTALLED ON ALL CUT AND FILL SLOPES, SHOULDERS, AND DISTURBED AREAS GENERATED BY CONSTRUCTION.
- SEEDING SHALL BE INSTALLED AS SOON AS CONSTRUCTION IN AN AREA IS COMPLETED.

SEEDING PROCEDURES (REFER TO TABLES AT RIGHT FOR APPLICATION RATES):

- SHAPE AND SMOOTH GRADE WHERE NEEDED TO PROVIDE FOR SAFE EQUIPMENT OPERATION AT SEEDING TIME AND FOR MAINTENANCE PURPOSES.
- SPREAD LIME AND FERTILIZER IN DRY FORM UNIFORMLY OVER THE AREA IMMEDIATELY BEFORE SEEDBED PREPARATION.
- SCARIFY SEEDBED TO A DEPTH OF 1" TO 4" AS DETERMINED ON-SITE. THE SEEDBED MUST BE WELL PULVERIZED, SMOOTHED, AND FIRMED PRIOR TO SEED INSTALLATION.
- DISTRIBUTE SEED UNIFORMLY OVER FRESHLY PREPARED SEEDBED WITH CULTIPACKER-SEEDER, DRILL, ROTARY SEEDER, OR OTHER MECHANICAL OR HAND SEEDER.
- WITHIN 24 HOURS AFTER SEEDING, STRAW OR HAY MULCH SHALL BE SPREAD UNIFORMLY OVER THE AREA, LEAVING ABOUT 25% OF THE GROUND SURFACE EXPOSED. MULCH SHALL BE SPREAD WITH BLOWER-TYPE MULCH EQUIPMENT OR BY HAND AND ANCHORED IMMEDIATELY AS IT IS SPREAD. A DISK HARROW WITH THE DISK SET OR A SPECIAL PACKER DISK MAY BE USED TO PRESS THE MULCH INTO THE SOIL.
- WITHIN 24 HOURS AFTER SEEDING AN PLACEMENT OF MULCH, WATER AREA TO A SATURATION DEPTH OF $\frac{1}{2}$ ".

MAINTENANCE:

- WHEN PLANTS ARE 2" TO 4" TALL, TOPDRESS AREA WITH SEED AND APPLY FERTILIZER (5-10-15) AT A RATE OF 300 LBS. / ACRE.
- AT THE BEGINNING OF THE SECOND GROWING SEASON, APPLY FERTILIZER (5-10-15) AT A RATE OF 800 LBS. / ACRE.

1

DISTURBED AREA SEEDING

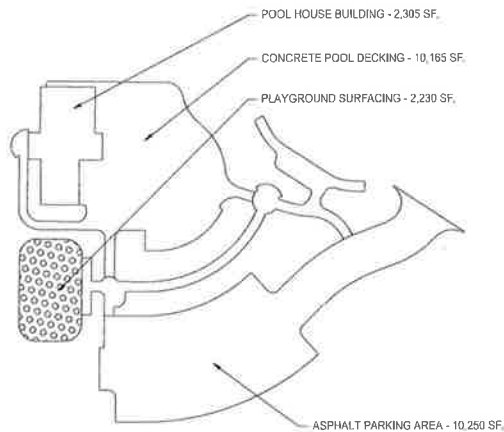
SCALE: XX+XX

FIRST-YEAR SOIL AMENDMENTS

ITEM	APPLICATION RATE
AGRICULTURAL LIMESTONE	4000 LBS. / ACRE
FERTILIZER (5-10-15)	1500 LBS. / ACRE
STRAW	4000 LBS. / ACRE
HAY	5000 LBS. / ACRE

FIRST-YEAR SEEDING

DATE	SPECIES	APPLICATION RATE
FEB. 1 - APR. 15	KENTUCKY 31 FESCUE	50 LBS. / ACRE
APR. 15 - AUG. 1	HULL COMMON BERMUDAGRASS	10 LBS. / ACRE
AUG. 1 - DEC. 1	KENTUCKY 31 FESCUE RYE GRASS	25 LBS. / ACRE 25 LBS. / ACRE



LANDSCAPE AREA SUMMARY:

- SHADE TREES: TOTAL IMPERVIOUS SURFACES = 24,950 SF. SHADE TREE REQUIRED: 1 / 2,500 SF. = 9.98 (10) SHADE TREES PROVIDED: 10+
- DETENTION POND: ±180 LF. TOP OF BASIN STORM WATER BASIN REQUIRED: 1 / 20 LF. = 9 STORM WATER BASIN TREES PROVIDED: 7 (PLUS 27 LARGE SHRUBS THAT MEET TOWN OF FARRAGUT RECOMMENDED PLANT LIST)
- PARKING SCREENING REQUIREMENT: (175 SF. REQUIRED / 1,200 SF. PROVIDED)

4

LANDSCAPE AREA SUMMARY

SCALE: XX+XX

JAN 7 2019

LOSE
DESIGN
SPACES FOR LIFE.THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWN OF FARRAGUT AND THE TENNESSEE DEPARTMENT OF REVENUE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWN OF FARRAGUT AND THE TENNESSEE DEPARTMENT OF REVENUE.

TENNESSEE

BROOKMERE
CLUBHOUSE

HOMESTEAD LAND HOLDINGS, LLC

TOWN OF FARRAGUT

SUBMITTALS / REVISIONS

NO.	DATE	DESCRIPTION

SHEET TITLE

L1.10 - LANDSCAPE
NOTES AND DETAILS

PROJECT NO.

17262

DATE

01/07/2019

DRAWN BY

JLB

SCALE

NTS

CHECKED BY

SHEET NO.

11 OF 20