



FARRAGUT VISUAL RESOURCES REVIEW BOARD

AGENDA

Farragut Town Hall

Board Room

Tuesday, January 28, 2020

7:00 p.m.

1. Approval of minutes for the November 26, 2019 meeting.
2. Review of a ground sign for the Overlook Apartments located at 11613 Vista Terrace Way, off North Campbell Station Road.
3. Review of a tenant panel sign for Flour Power located at 117 Lovell Road.
4. Review of a ground sign (replacement) for the First Horizon Bank located at 11685 Parkside Drive.
5. Review of a enter/exit directional ground signs for the First Horizon Bank located at 11685 Parkside Drive.
6. Review of a subdivision entrance ground sign for the Campbell Crossing Subdivision located off Fritz Road.
7. Review of a subdivision entrance ground sign for the Ivey Farm Subdivision located off Union Road.
8. Review of a subdivision entrance ground sign for the Villages at Ivey Farms Subdivision located off Ivey Farms Road and Union Road.
9. Review of a landscape plan for the Ivey Farms Subdivision Clubhouse located on Road B within the development.
10. Review of a landscape plan for the Farragut Christian Church located at 138 Admiral Road.
11. Other Business.

MEMORANDUM

TO: Farragut Visual Resources Review Board
FROM: Bart Hose, Assist. Community Development Director.
SUBJECT: Regularly Scheduled Meeting - Tuesday, January 28, 2020 at 7:00 p.m.

AGENDA

1. **Approval of Minutes for the November 26, 2019 meeting**
2. **Ground Mounted Sign Applications**

a) Overlook Apartments – 11613 Vista Terrace Way

Ground sign for the Overlook Apartments development located at 11613 Vista Terrace Way, off North Campbell Station Road.

The Overlook Apartments development is requesting approval for a monument ground sign located at 11613 Vista Terrace Way, off N. Campbell Station Road. The proposed sign face is approximately 30 square-feet in area and is mounted 6 feet high on a larger decorative brick structure.

The staff recommends approval subject to the following:

1. Field verification that the proposed accent lights and their placement comply with Town standards; and
2. Ensuring that the sign is located outside of any easements that may be platted in connection with the development.

An as-built survey will also be required as part of the permit.

b) Flour Power – 117 Lovell Road

Tenant panel sign for Flour Power located at 117 Lovell Road.

Flour Power is requesting approval for a tenant panel on an existing monument ground sign located at 117 Lovell Road.

The tenant panel sign face appears legible and the staff recommends approval.

c) First Horizon Bank – 11685 Parkside Drive

Ground sign replacement for the First Horizon Bank located at 11685 Parkside Drive.

The First Horizon Bank is requesting approval to replace the sign face on an existing monument ground sign located at 11685 Parkside Drive. No other changes to the existing sign support structure are proposed.

The staff recommends approval.

d) First Horizon Bank – 11685 Parkside Drive

Enter/Exit directional signs for the First Horizon Bank located at 11685 Parkside Drive.

The First Horizon Bank is requesting approval to replace three enter/exit directional ground signs located at 11685 Parkside Drive.

The staff recommends approval of the three directional signs.

e) Campbell Crossing Subdivision – Located off Fritz Road

Subdivision entrance sign for the Campbell Crossing Subdivision located off Fritz Rd.

The Campbell Crossing Subdivision is requesting approval for a subdivision entrance sign located off Fritz Road. The proposed sign face is approximately 6 square-feet in area and is mounted 6 feet high on larger brick structure.

The staff recommends approval subject to providing a cut-sheet detail for the proposed external lighting fixture. An as-built survey will also be required as part of the permit.

f) Ivey Farm Subdivision – Located off Union Road

Subdivision entrance sign for the Ivey Farm Subdivision located off Union Rd.

The Ivey Farm Subdivision is requesting approval for a subdivision entrance sign located off Union Road. The proposed sign face is approximately 12 square-feet in area and is mounted 6 feet high on larger brick wall and decorative fence feature.

The staff recommends approval of the sign with the understanding that the final subdivision plat for the development will have to be approved and recorded to establish all related property and easement lines. An as-built survey will also be required as part of the permit.

g) Villages at Ivey Farms Subdivision – Located off Ivey Farms Road

Subdivision entrance sign for the Villages at Ivey Farm Subdivision located off Ivey Farm Road.

The Villages at Ivey Farm Subdivision is requesting approval for a subdivision entrance sign located off Ivey Farms Road. The proposed sign face is approximately 8 square-feet in area and is mounted 6 feet high on larger brick column and decorative fence feature.

The staff recommends approval of the sign with the understanding that the final subdivision plat for the development will have to be approved and recorded to establish all related property and easement lines. An as-built survey will also be required as part of the permit.

3. Landscape Plan Applications

a) Ivey Farms Clubhouse – Located on Road B (within the development)

Landscape Plan for the Ivey Farms Subdivision Clubhouse located on Road B within the development.

This item involves a landscape plan for the Ivey Farms Subdivision Clubhouse. The proposed clubhouse is located on Road B within the development, and the site plan for the facility has been approved by the planning commission. The landscaping is extensive and includes additional screening measures in response to a request made by the planning commission.

The staff recommends approval of the plan.

b) Farragut Christian Church – 138 Admiral Road

Landscape Plan for the Farragut Christian Church located at 138 Admiral Road.

This item involves a landscape plan for the Farragut Christian Church located at 138 Admiral Road. The plan is related to a building addition and related improvements on the site. It includes landscaping for a required buffer strip and a detention basin. The Planning Commission has already approved a site plan for the project.

The staff recommends approval subject to the following:

1. Revising the plant summary table to more fully and clearly document compliance with Town requirements;
2. Inclusion of a table documenting the required landscaping between the building and the parking area;
3. Ensuring that the minimum number and type of plant units are being provided for the buffer strip, detention basin, and areas;
4. Clearly identifying the top contour of the detention basin and its length around the basin;
5. Substituting a non-invasive shrub species for the *Liriope spicata* shown on the plan; and;
6. Modifying Landscape Note # 3 to include the approval of Town staff for plant substitutions.

4. Other Business



FARRAGUT VISUAL RESOURCES REVIEW BOARD – Minutes

The Farragut Visual Resources Review Board met on Tuesday, November 26, 2019 in the Board Room at the Farragut Town Hall. Marty Layman presided. Members in attendance were Marty Layman, Randy Armstrong, Brittany Moore, Cindy Hollyfield, Kaivon Kiumarsi, David Freeman, Jeanie Stow, and Alderman Ron Pinchok. Youth Representative Lilian Scott was absent.

Chairman Layman called the meeting to order at 7:00 pm.

1. Minutes:

A motion was made by Hollyfield to approve the October 22, 2019 minutes as submitted. The motion was seconded by Kiumarsi and the motion passed unanimously.

2. Ground Mounted Sign Applications:

a) Farragut Oral Surgery & Implant Center – 11213 West Point Drive)

Ground sign replacement for the Farragut Oral Surgery & Implement Center building located at 11213 West Point Drive.

The Farragut Oral Surgery & Implant Center requested approval to replace the sign face on an existing monument ground sign located at 11213 West Point Drive.

The staff explained that the request involved refacing an existing sign, which will include space for a second tenant. No other changes to the existing support structure were proposed. Staff also noted that the applicants had upgraded the landscaping around the sign. The staff then noted that the new sign face appeared legible and recommended approval.

Mr. Kiumarsi made a motion for approval. The motion was seconded by Stow and it passed unanimously.

3. Landscape Plan Applications:

a) Parking Lot Expansion – 11242 Kingston Pike

The staff reviewed the item noting that it involved a landscape plan for a small parking lot expansion at 11242 Kingston Pike, in the area located behind the Azul Tequila restaurant. The plan included four shade trees and a landscaping bed located between the proposed parking area and Brooklawn Street. The plan also called for the removal of four existing trees on the site and the preservation of seven others. The staff recommend approval noting that the plan had been revised to include the required visibility triangles.



The Board discussed the plan. Ms. Hollyfield made a motion for approval. The motion was seconded by Moore and it passed unanimously.

b) Admiral Landing – 11321 Kingston Pike

The staff reviewed the item noting that it involved a landscape plan for the Admiral Landing development located at 11321 Kingston Pike. The plan included a minimum of fourteen required shade trees and landscaping around the building and related site improvements. The staff noted that the applicant had already submitted a revised plan that addressed most of their initial comments. Staff then recommend approval subject to one questionable existing tree, as noted on the plan, being replaced if it did not survive construction.

The Board discussed the plan. Some concern was voiced regarding the use of a Dogwood in one location on the site, potential vision conflicts at the right-in/right-out access from Kingston Pike, and the location of any proposed ground signs on the property. A motion was made by Alderman Pinchok to approve the plan subject to addressing the Board's concerns and ensuring that the landscaping around the entrance off Kingston Pike and any proposed ground sign was coordinated to ensure visibility. The motion was seconded by Armstrong and it passed unanimously.

4. Other Business

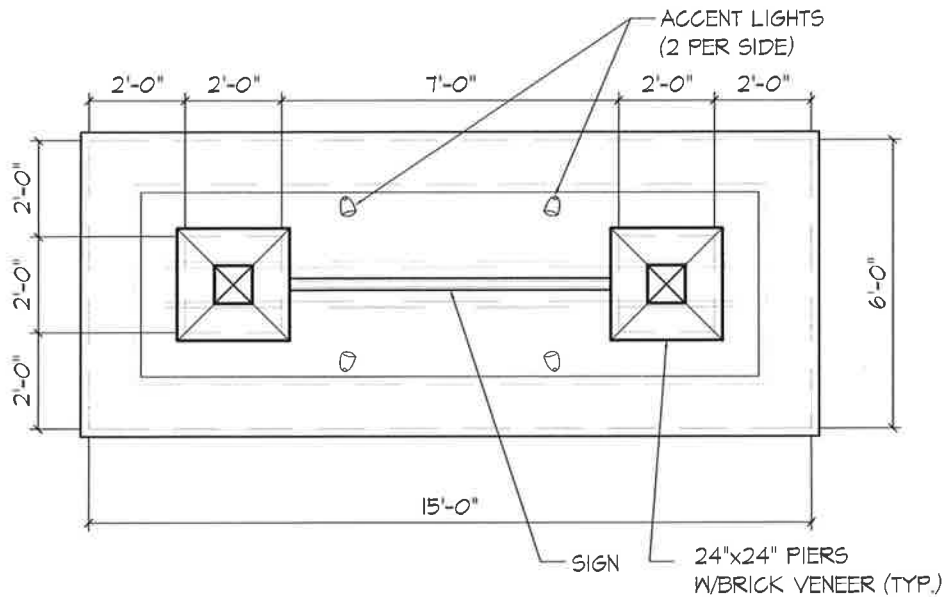
a) Sign Ordinance Update Committee Report

The staff gave a brief report on the most recent activities of the committee now working to update the Town's sign regulations.

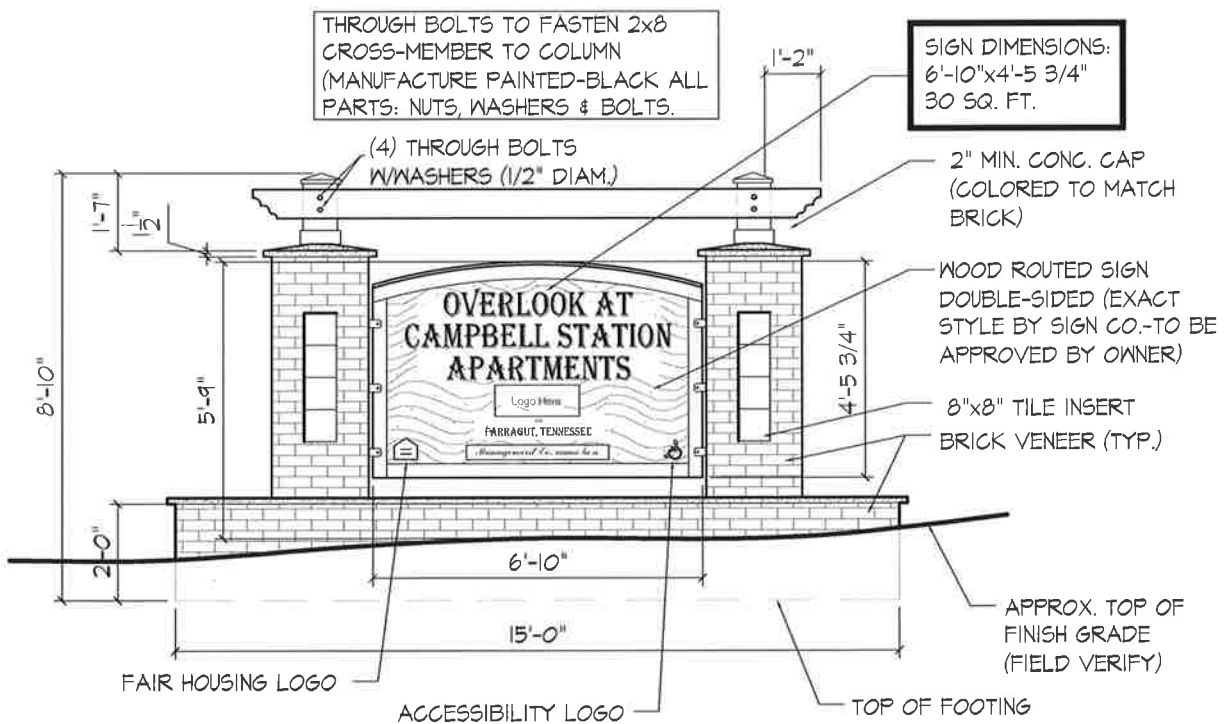
b) December Meeting

The Board discussed the December regular meeting date and the fact that it fell on Christmas Eve. The Board opted not to meet in December due to the Holidays.

Meeting adjourned at 7:35 p.m.



1 PROJECT ENTRY SIGN-PLAN
SCALE: 1/4" = 1'-0" (SIGN TO BE DOUBLE SIDED)

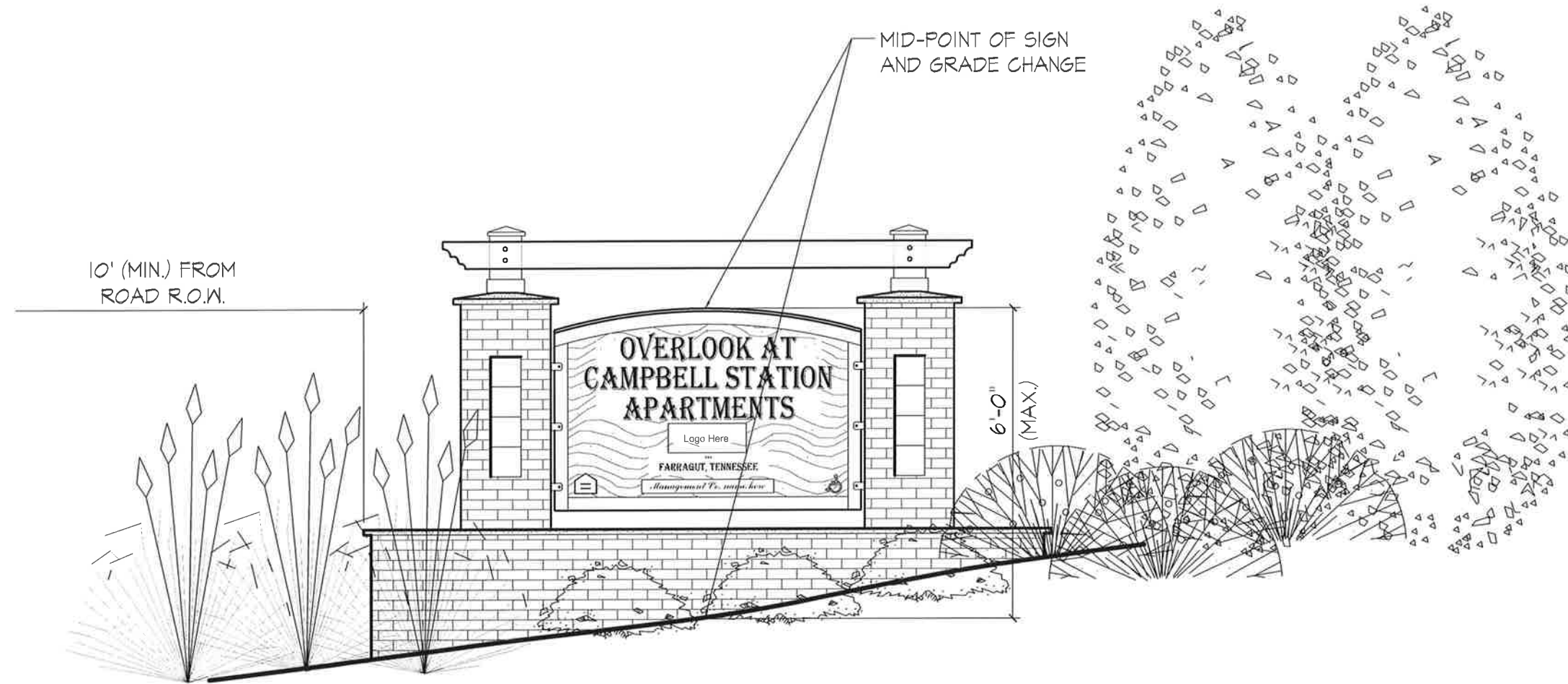


2 PROJECT ENTRY SIGN-ELEVATION
SCALE: 1/4" = 1'-0" (SIGN TO BE DOUBLE SIDED)

Drawing Name: **PROJECT ENTRY SIGN - DETAILS**
Project Name: **OVERLOOK AT CAMPBELL STATION**
Date: **JANUARY 23, 2020**

PDI ARCHITECTURE, LLC
1020 Breazeale Rd.
Pendleton, SC 29670
(864) 224-5800





2

PROJECT ENTRY SIGN- ELEVATION

SCALE: 1/4"= 1'-0"

(SIGN TO BE DOUBLE SIDED)

Drawing Name: PROJECT ENTRY SIGN - ELEVATION

Project Name: OVERLOOK AT CAMPBELL STATION

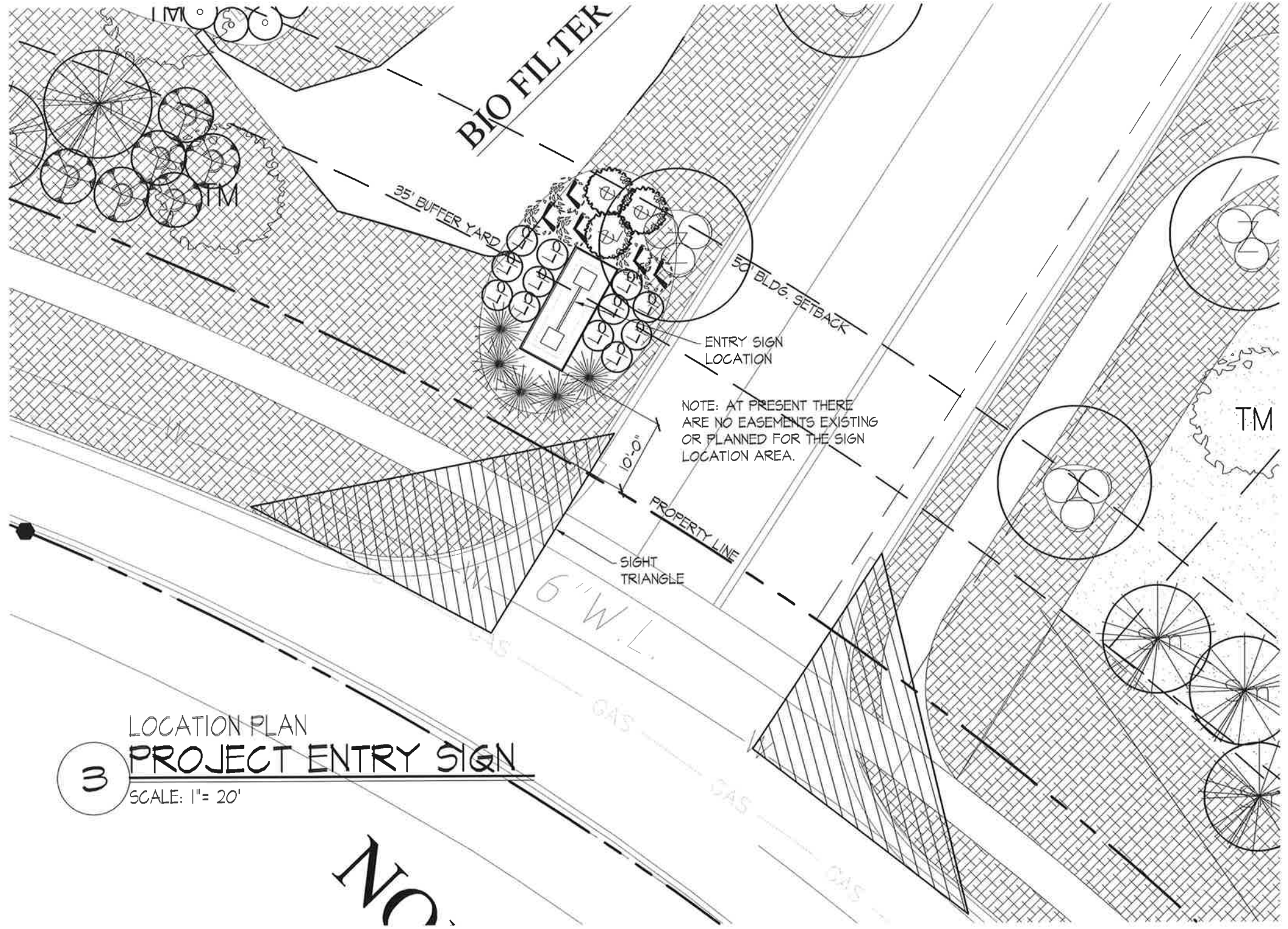
Date: JANUARY 23, 2020

PDI ARCHITECTURE, LLC

1020 Breazeale Rd.
Pendleton, SC 29670

(864) 224-5800





3 LOCATION PLAN
PROJECT ENTRY SIGN
SCALE: 1" = 20'

PDI ARCHITECTURE, LLC

1020 Breazeale Rd.
Pendleton, SC 29670

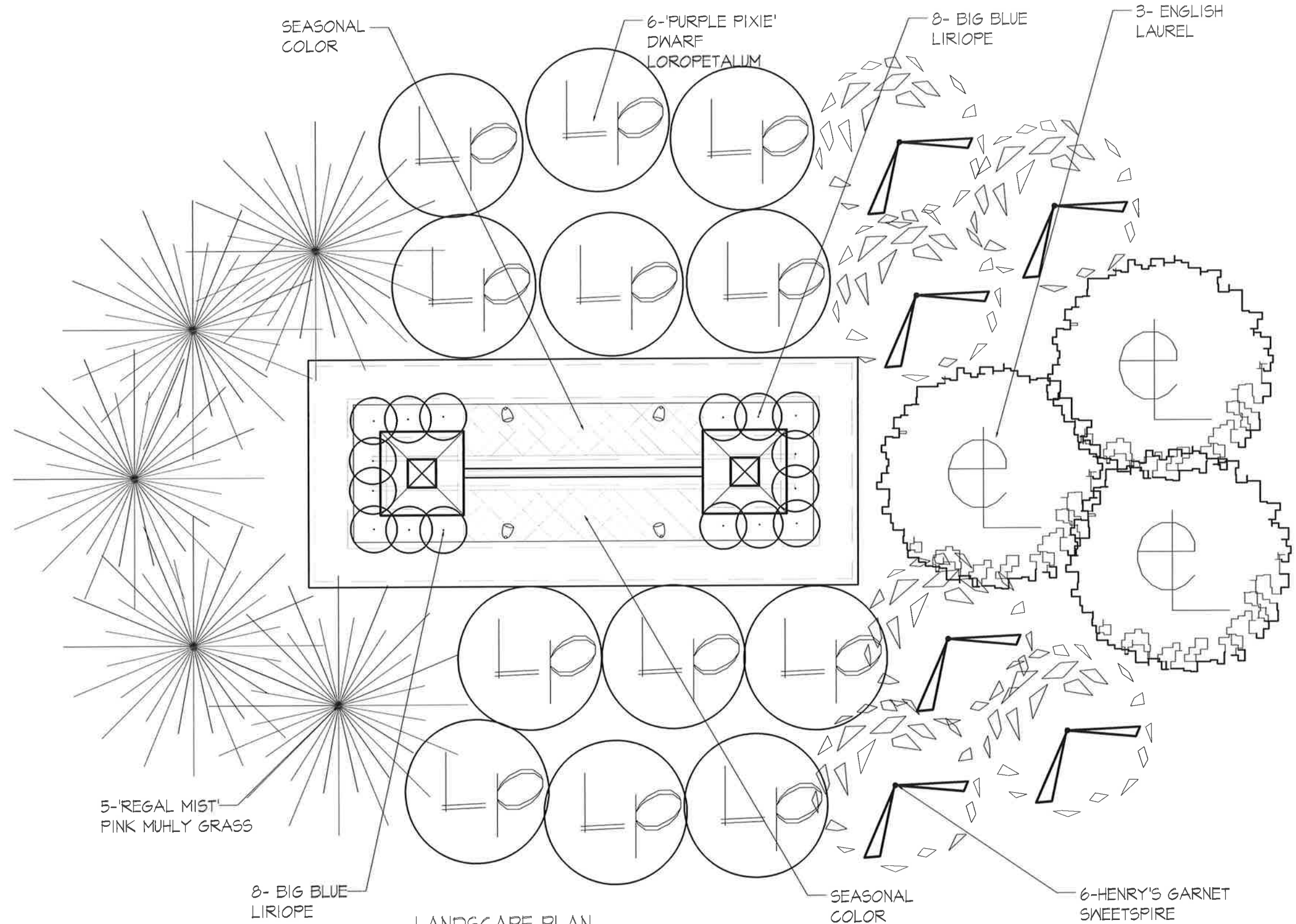
(864) 224-5800

Drawing Name: PROJECT ENTRY SIGN - SITE LOCATION

Project Name: OVERLOOK AT CAMPBELL STATION

Date: JANUARY 23, 2020





1

LANDSCAPE PLAN
PROJECT ENTRY SIGN- PLAN

SCALE: 1/4"= 1'-0"



PDI ARCHITECTURE, LLC

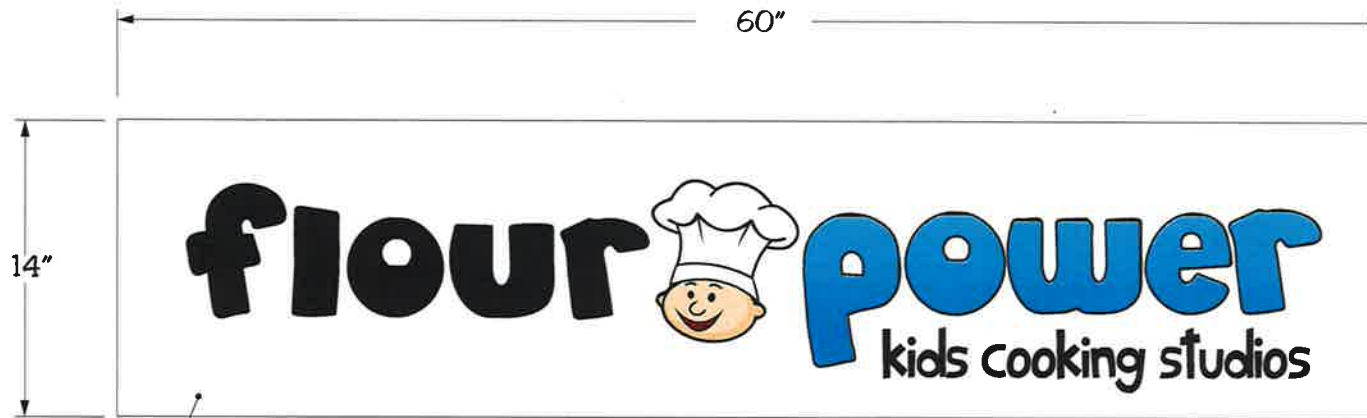
1020 Breazeale Rd.
Pendleton, SC 29670

(864) 224-5800

Drawing Name: **PROJECT ENTRY SIGN - LANDSCAPE PLAN**

Project Name: **OVERLOOK AT CAMPBELL STATION**

Date: **NOVEMBER 20, 2019**



FRONT ELEVATION

3/16" FLAT PLEX TENANT PANELS WITH DIGITALLY
PRINTED VINYL GRAPHICS APPLIED 1st SURFACE

"COLORS"



"EXACT COLORS TO BE DETERMINED"



"PHOTO IMAGE MAY NOT BE TO EXACT SCALE"

☐ OK TO PROCEED AS IS ☐ MAKE CHANGES & PROCEED ☐ MAKE CHANGES & RESUBMIT



FARRAGUT, TN.

APPROVED BY _____ DATE _____

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865-933-4877 or 865-933-4878

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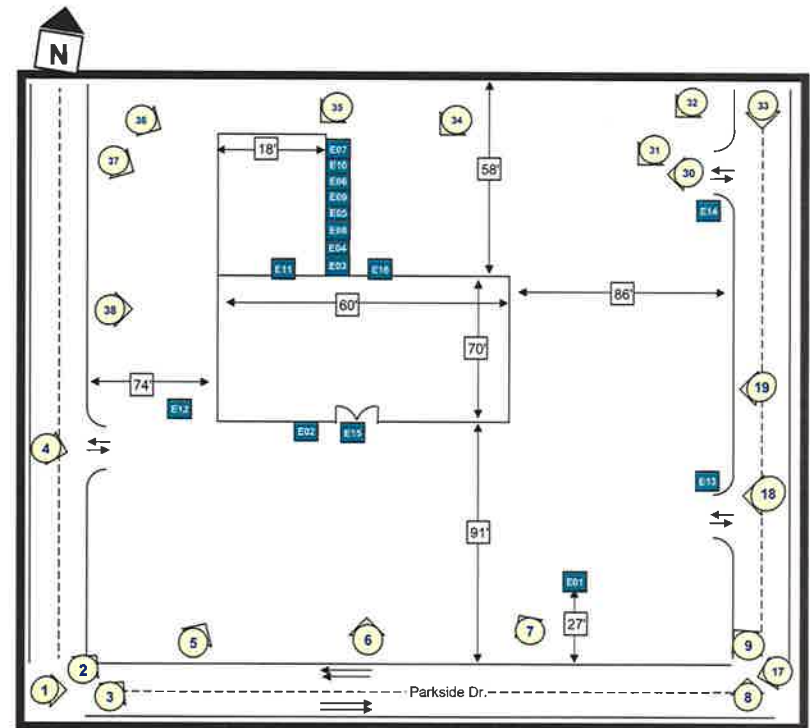
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Proposed
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Client Review Status		Declaration		Date / Description				Project Information	
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				01/17/20	Various Updates for Permits	T.F.D.	-		11685 Parkside Drive
				01/17/20	New Size Directional	T.F.D.	-		Farrago, TN 37922
				01/20/20	Various PM Rev's	T.F.D.	-		File FHB-720 Farrago, TN 303
				-	-	-	-	Sales	House Design ZWB PM DB
Name _____ Title _____		Date _____							





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Title _____ Date _____

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Date / Description

Date	Description	Initial
10/29/19	Issue Date	
01/17/20	Various Updates for Permits	T.F.D.
01/17/20	New Site Directional	T.F.D.
01/20/20	Various PM Rev's	T.F.D.

Project Information

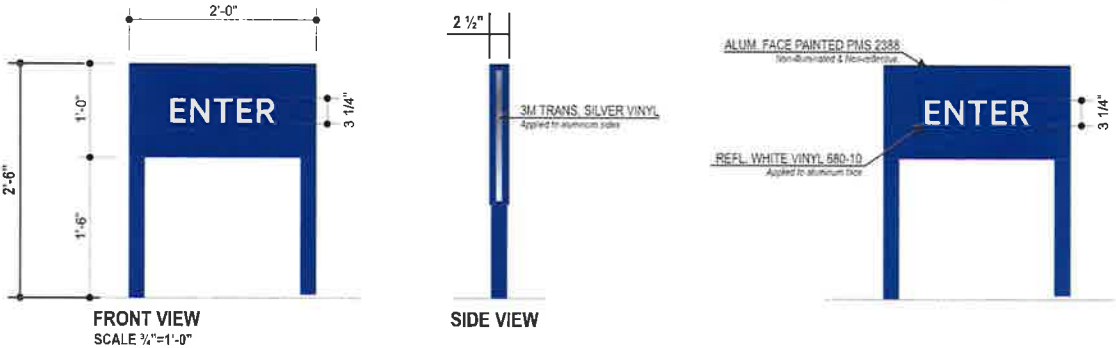
Client	First Horizon Bank
Address	11685 Parkside Drive
City	Farragut, TN 37922
File	FHB-720 Farragut, TN 303
Sites	House Design ZWB PM DB

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E13/E14 - FHB-DIR12-VYNL-ENTER / Directional Vinyl

Proposed

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SQUARE FOOTAGE = 2'

DIR - 18 (QTY-2)

ALL PAINT FINISHES TO BE SATIN FINISH.



EXISTING SIGNAGE



EXISTING SIGNAGE

Client Review Status

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01/17/20	New Size Directional	T.F.D.
01/20/20	Various PM Rev's	T.F.D.
01/23/20	Changed E08-E10 sizes	ZWB

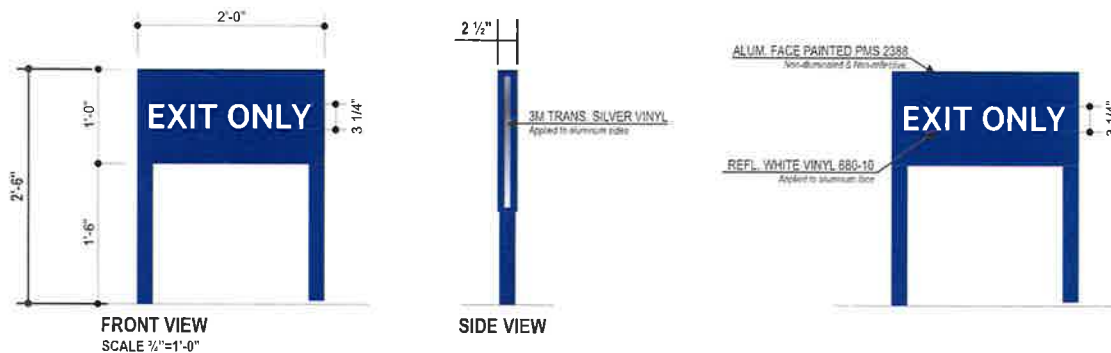
Project Information

Client	First Horizon Bank
Address	11685 Parkside Drive
City	Farragut, TN 37922
File	FHB-720 Farragut, TN 304
Sales	House Design ZWB PM DB

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E12 - FHB-DIR12-VYNL-EXIT / Directional Vinyl

Proposed
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SQUARE FOOTAGE = 2'

DIR - 18 (QTY-1)



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	11685 Parkside Drive
	Farragut, TN 37922
File	FHB-720 Farragut, TN 304
Sales	House Design ZWB PM DB

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Site Plan w/ Directional Sign Setbacks

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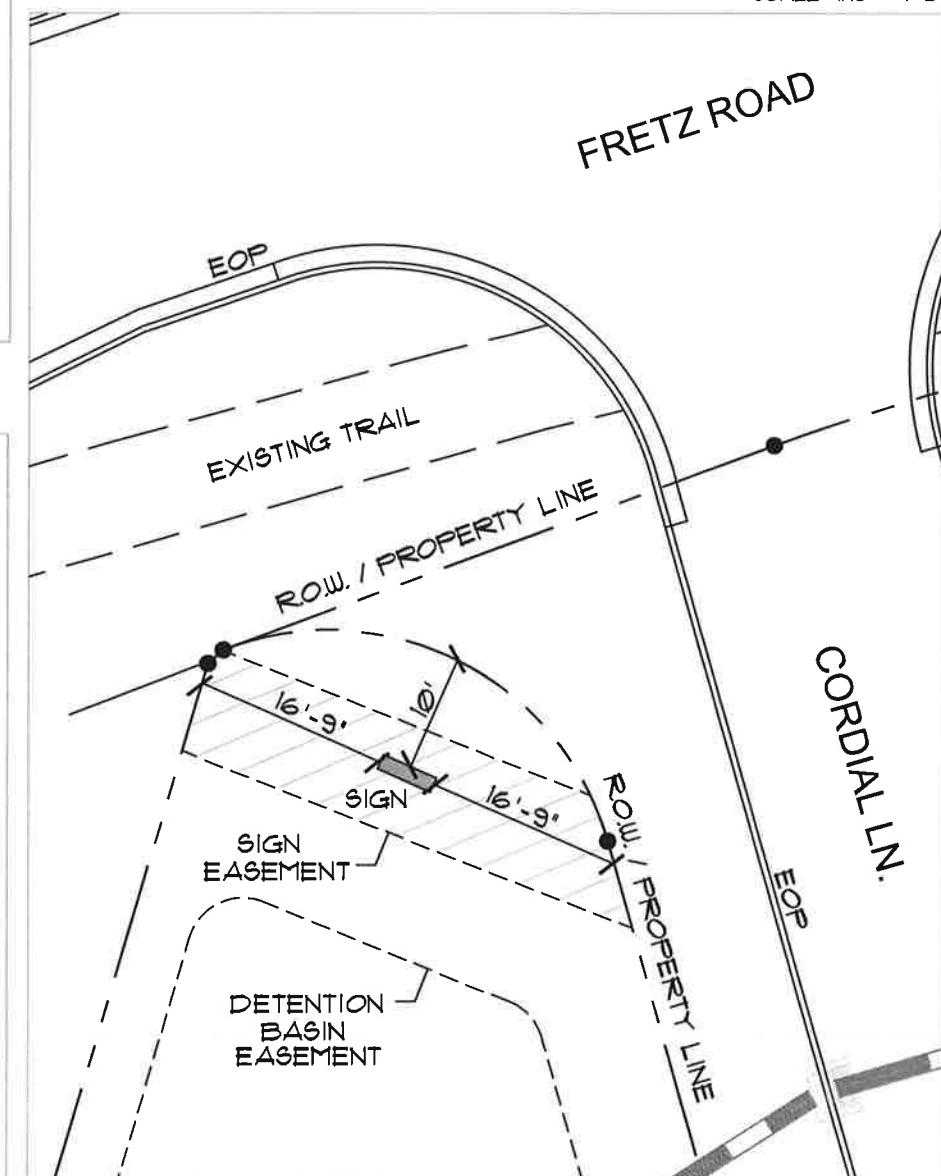
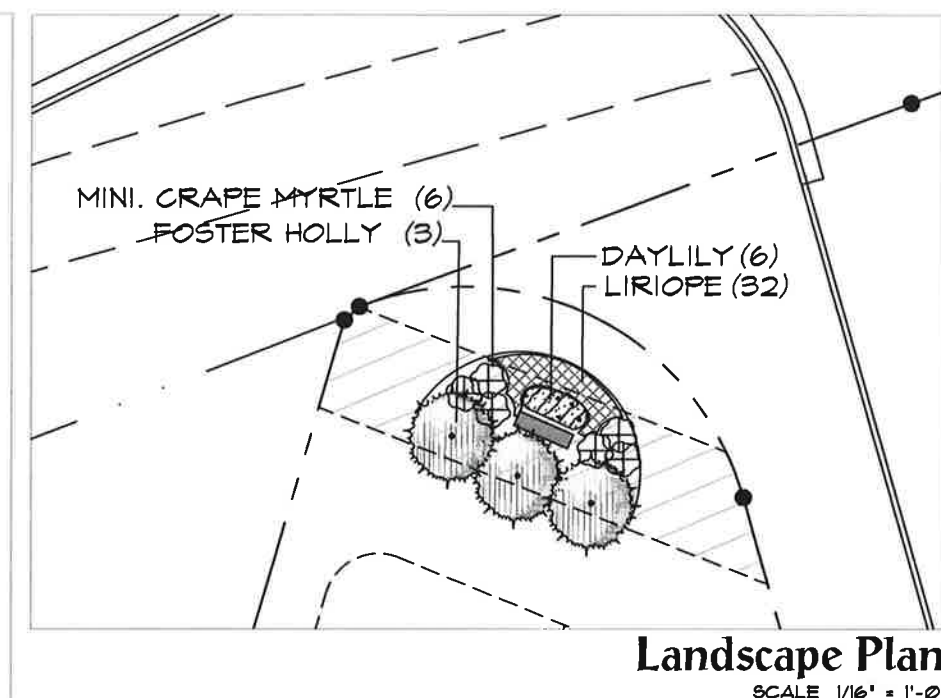
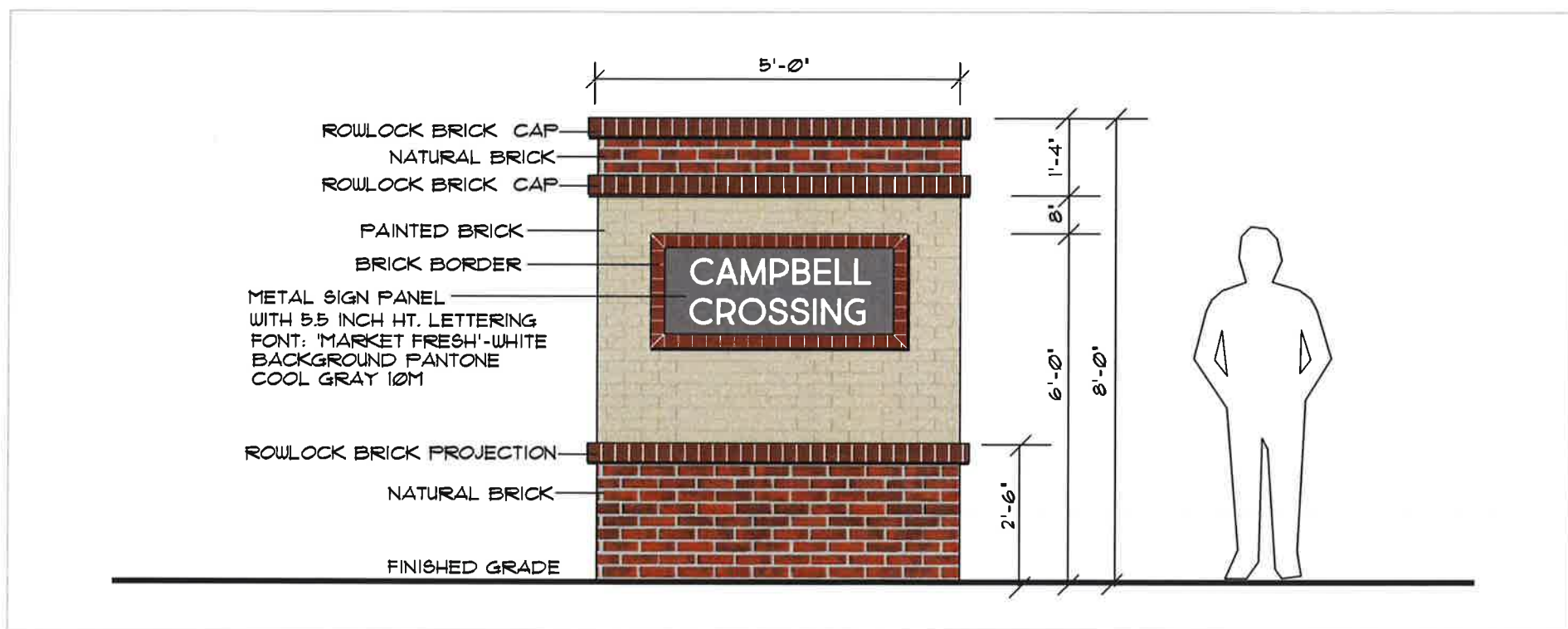
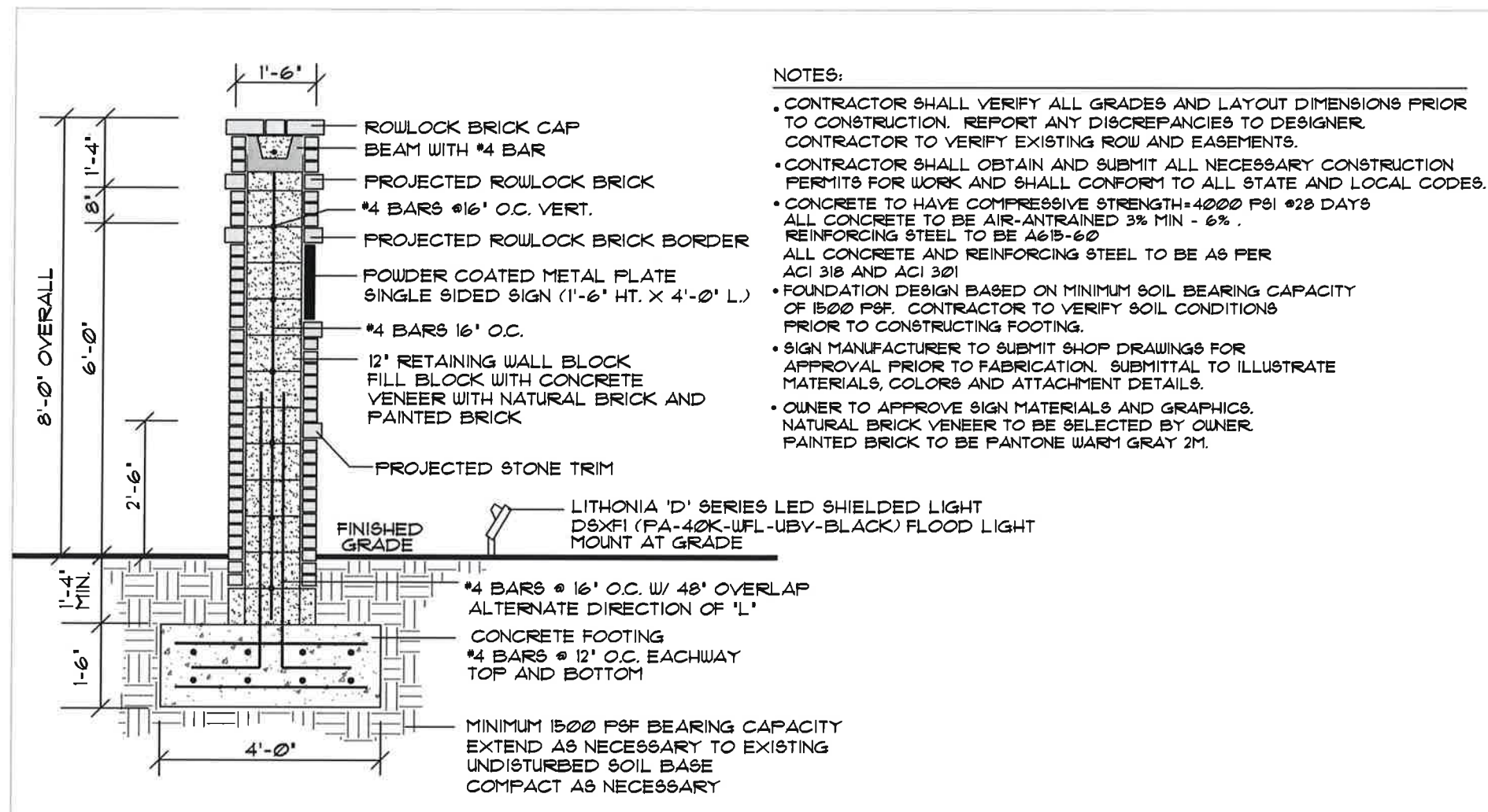
Date / Description

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01/20/20	Various PM Rev's	T.F.D.	-
-	-	-	-

Project Information

Client **First Horizon Bank**
11685 Parkside Drive
Farragut, TN 37922
File **FHB-720 Farragut, TN 303**
Sales **House** Design **ZWB** PM **DB**

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LANDSCAPE ARCHITECTURE ••• LAND PLANNING
1999 N. WEISSAUBER RD. SUITE 201, KNOXVILLE, TN 37919
PH: 865/588-1331

Entry Sign Construction

Campbell Crossing



SCALE AS SHOWN

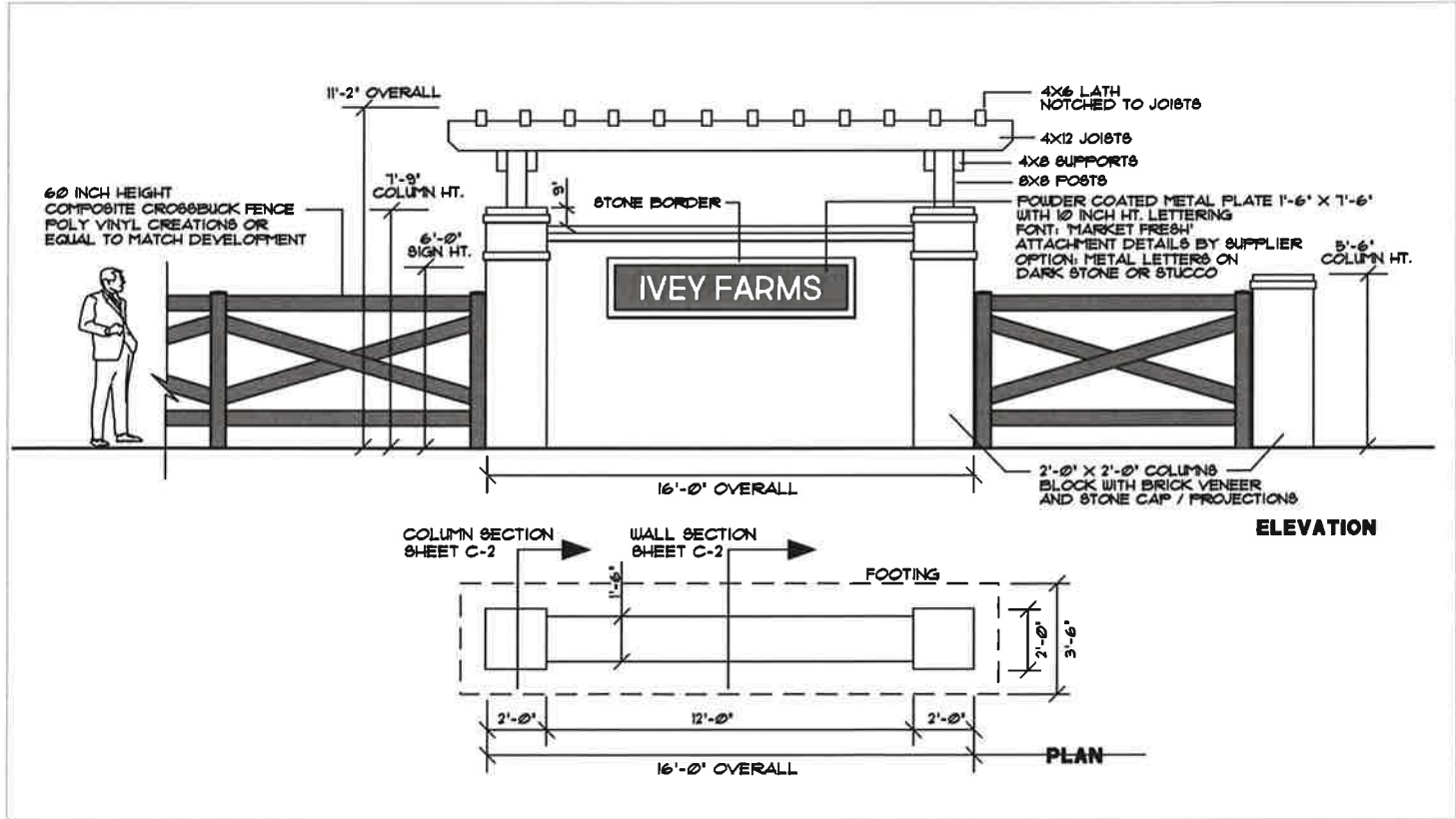
JOB NO. 219059

DRAWN: MAY/RJM

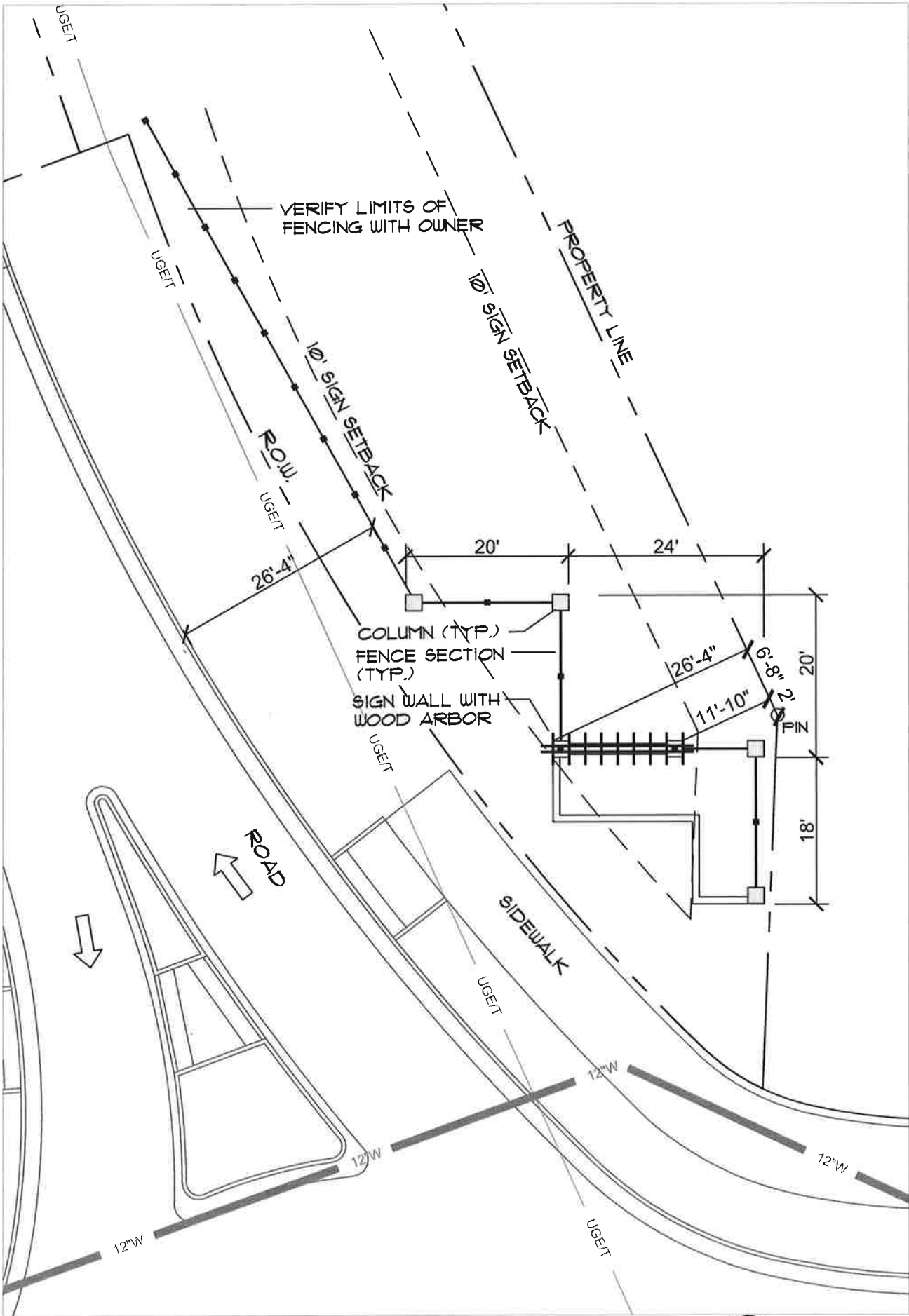
DATE: JAN. 10, 2020



Perspective



Sign Wall Elevation
SCALE 1/4" = 1'-0"



Site Plan
SCALE 1/16" = 1'-0"



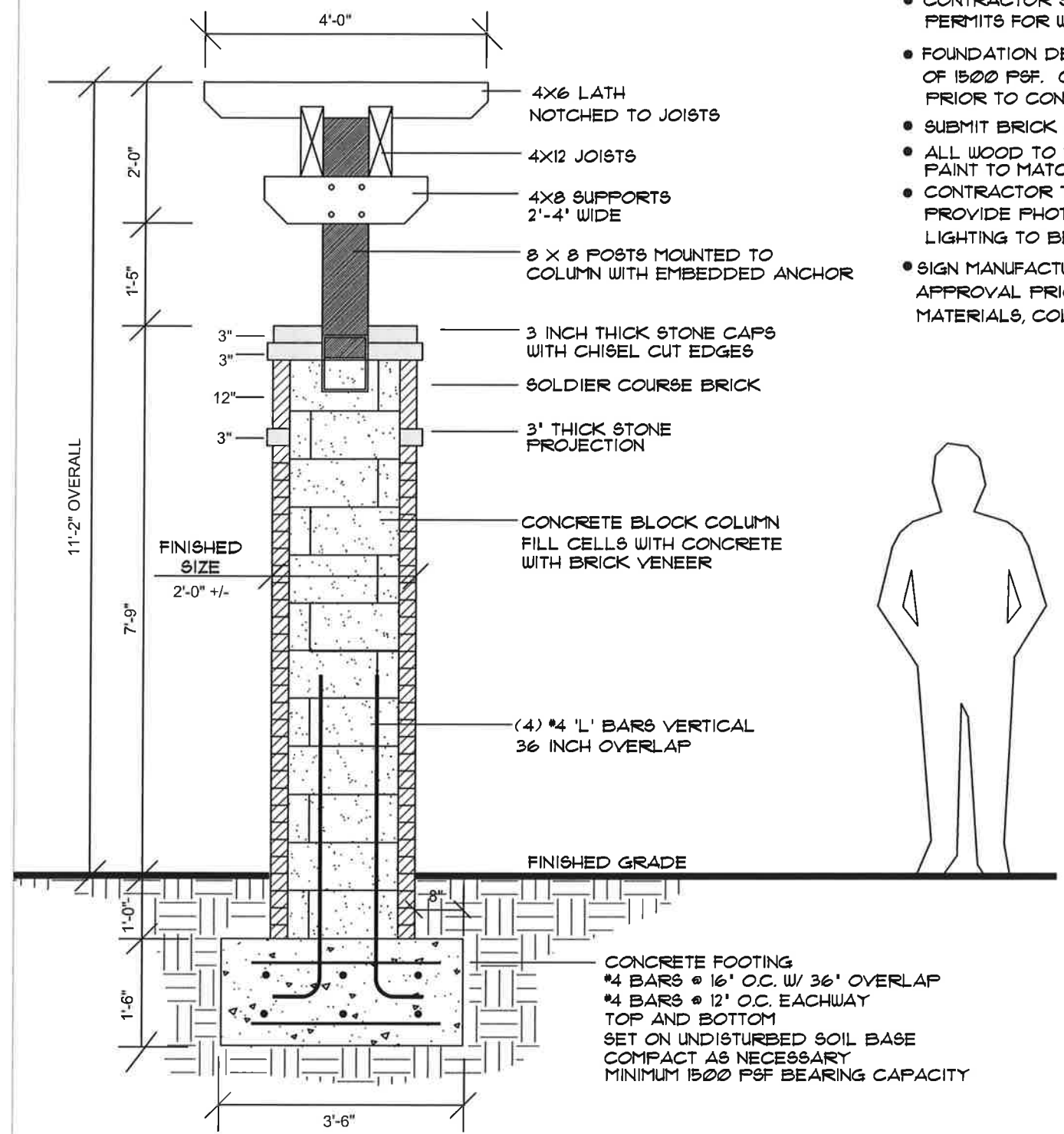
MICHAEL VERSEN & ASSOCIATES
LANDSCAPE ARCHITECTURE AND PLANNING
299 N. WEIGARBUR RD., SUITE 201, KNOXVILLE, TN 37919
PH: 865/588-1931

Main Entrance Sign
IVEY FARMS
Ivey Farms Road Farragut, Tennessee

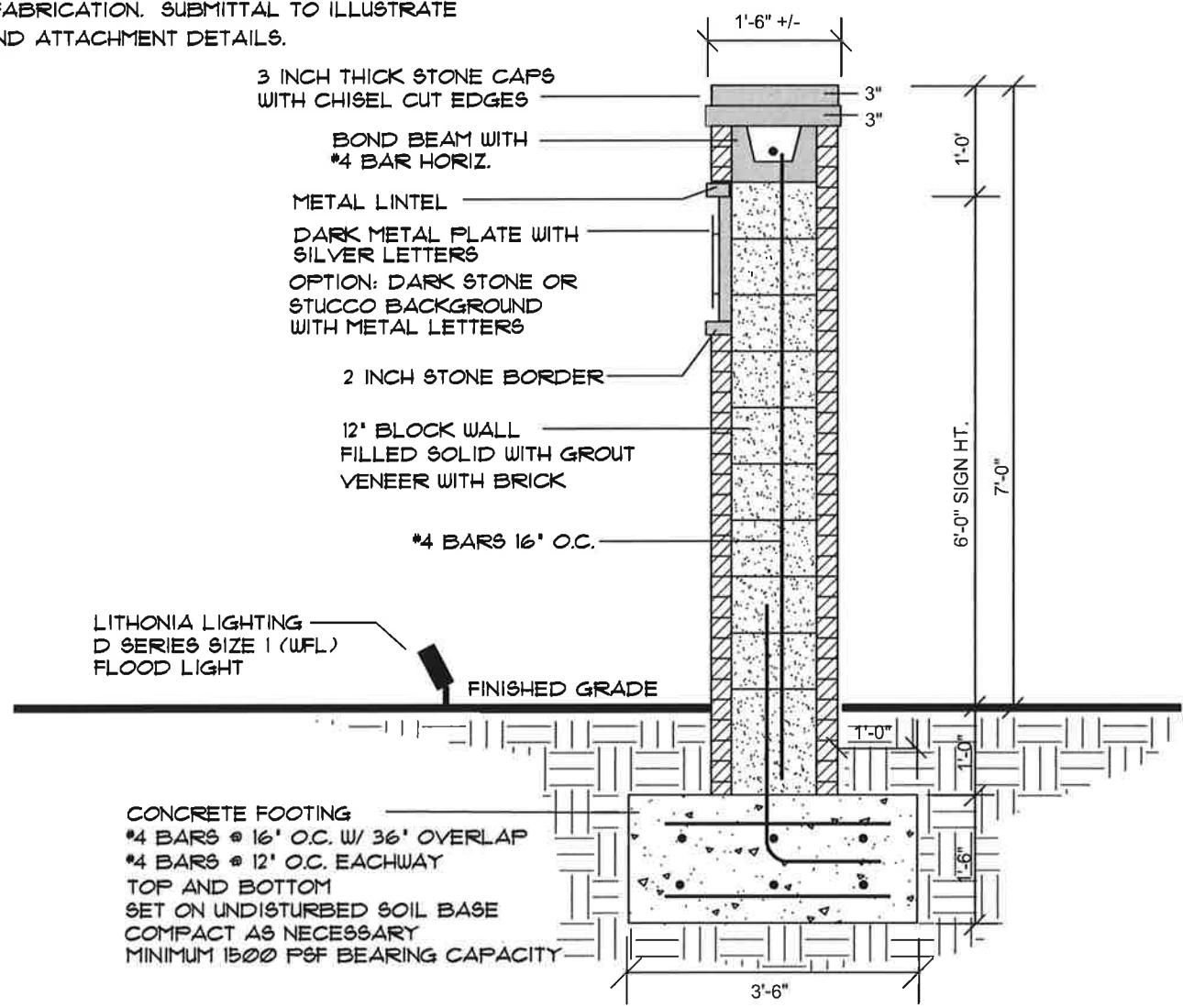
SHEET NO.
C-1
JOB NO. 219237
DRAWN: MAV/RJM
DATE: 1-17-2020

NOTES:

- CONTRACTOR SHALL VERIFY ALL GRADES AND LAYOUT DIMENSIONS PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO DESIGNER.
- CONTRACTOR TO VERIFY EXISTING ROW AND EASEMENTS.
- CONTRACTOR SHALL OBTAIN AND SUBMIT ALL NECESSARY CONSTRUCTION PERMITS FOR WORK AND SHALL CONFORM TO ALL STATE AND LOCAL CODES.
- FOUNDATION DESIGN BASED ON MINIMUM SOIL BEARING CAPACITY OF 1500 PSF. CONTRACTOR TO VERIFY SOIL CONDITIONS PRIOR TO CONSTRUCTING FOOTING.
- SUBMIT BRICK AND STONE SAMPLES TO OWNER FOR APPROVAL.
- ALL WOOD TO BE #1 WESTERN RED CEDAR OR TREATED PINE. PAINT TO MATCH DEVELOPMENT FENCING.
- CONTRACTOR TO PROVIDE POWER SUBOUTS FOR 120V FIXTURES. PROVIDE PHOTOCELL SENSOR, TIMER AND MANUAL CONTROL. LIGHTING TO BE SHIELDED LITHONIA DI SERIES (DSXFILED-PI-WFL) - SEE CUT SHEET
- SIGN MANUFACTURER TO SUBMIT SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION. SUBMITTAL TO ILLUSTRATE MATERIALS, COLORS AND ATTACHMENT DETAILS.



COLUMN SECTION



SIGN WALL SECTION



MICHAEL VERSEN & ASSOCIATES
LANDSCAPE ARCHITECTURE, LAND PLANNING
299 N. LEISGARBER RD., SUITE 201, KNOXVILLE, TN 37919
PH: 865/588-1331

Main Entrance Sign

IVEY FARMS
Ivey Farms Road Farragut, Tennessee

SHEET NO.

C-2

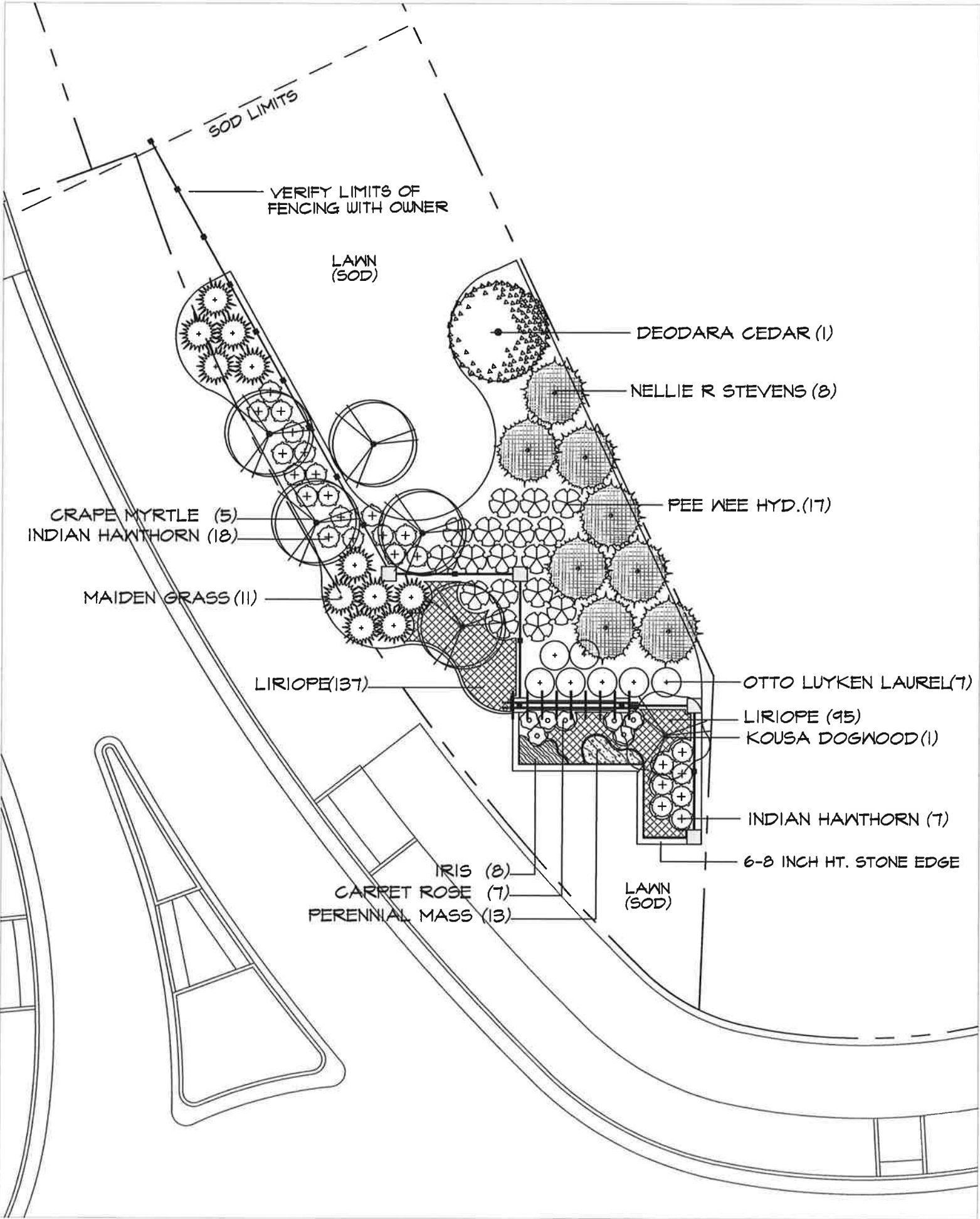
JOB NO. 213037
DRAWN: MAY/RJM
DATE: 1-17-2020

PLANT SCHEDULE

<u>EVERGREEN TREES</u>		<u>COMMON / BOTANICAL NAME</u>	<u>SIZE</u>	<u>CAL</u>
1		DEODARA CEDAR / <i>Cedrus deodara</i>	10-12'H	
8		NELLIE R STEVENS / <i>Ilex</i> var. 'Nellie R Stevens'	8'H	
<u>FLOWERING TREES</u>		<u>COMMON / BOTANICAL NAME</u>	<u>SIZE</u>	<u>CAL</u>
5		GRAPE MYRTLE / <i>Lagerstroemia indica</i> 'Muskogee'	10-12'H (2" cal. per trunk min. 3)	2" Cal. Min.
1		KOUSA DOGWOOD / <i>Cornus kousa</i> White	8-10'H	2" cal. / trunk
<u>DECIDUOUS SHRUBS</u>		<u>COMMON / BOTANICAL NAME</u>	<u>SIZE</u>	<u>CONT</u>
7		CARPET ROSE / <i>Rosa</i> x 'Flower Carpet Pink'	10-12'H	3 gal
17		PEE WEE HYD. / <i>Hydrangea quercifolia</i> 'Pee Wee'	15-18" H	3 gal
<u>EVERGREEN SHRUBS</u>		<u>COMMON / BOTANICAL NAME</u>	<u>SIZE</u>	<u>CONT</u>
25		INDIAN HAWTHORN / <i>Raphiolepis indica</i> 'Indian Princess'	12-15'H	3 gal
7		OTTO LUYKEN LAUREL / <i>Prunus laurocerasus</i> 'Otto Luyken'	18-24"H	B&B
<u>GRASSES</u>		<u>COMMON / BOTANICAL NAME</u>	<u>SIZE</u>	<u>CONT</u>
11		MAIDEN GRASS / <i>Miscanthus sinensis</i> 'Morning Light'	24"H	3 gal
<u>GROUND COVERS</u>		<u>COMMON / BOTANICAL NAME</u>	<u>CONT</u>	<u>SPACING</u>
8		IRIS / <i>Iris</i> bearded	1 gal	18" O.C.
232		LIRIOPE / <i>Liriope muscari</i> 'Big Blue'	4"pot	12" O.C.
13		PERENNIAL MASS / FLORAL Autumn Joy Sedum & Moonbeam Coreopsis (equal mix) (NON INVASIVE AS PER TN-IPC)	1 gal	16 O.C.
<u>ADDITIONAL ITEMS</u>		<u>MATERIAL</u>	<u>DESCRIPTION</u>	
38		PINE STRAW MULCH trees and shrubs	bales (allowance)	
40		TOP SOIL - PLANTING BEDS (12" all planting bed areas)	cu. yd. (allowance)	
550		SOD tall fescue blend	sq. yd.	
QUANTITIES ARE FOR THE CONTRACTORS CONVENIENCE ONLY. CONTRACTORS SHALL BE RESPONSIBLE FOR ALL PLANTINGS ILLUSTRATED ON PLAN.				

IRRIGATION NOTES

ALL LANDSCAPE AREAS TO BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM WITH FULL (100%) HEAD TO HEAD COVERAGE. ALL LAWN AND SHRUB AREAS TO HAVE SEPARATE ZONES. CONTRACTOR TO VERIFY POINT OF CONNECTION WITH OWNER/UTILITY COMPANY WITH SEPARATE WATER METER AND APPROVED BACKFLOW DEVICE. CONTRACTOR TO PROVIDE HEAD LAYOUT, PIPING DIAGRAM AND PRODUCT INFORMATION TO OWNER FOR APPROVAL.



MICHAEL VERSEN & ASSOCIATES
LANDSCAPE ARCHITECTURE, LAND PLANNING
299 N. WEISSGARDER RD., SUITE 201, KNOXVILLE, TN 37918
PH: 865/589-1331

Main Entrance Sign - Landscape Plan

IVEY FARMS
Ivey Farms Road Farragut, Tennessee



SCALE 1/16" = 1'-0"

JOB NO. 219037

DRAWN: MAV/RJM

DATE: 1-17-2020

- CONTRACTOR SHALL VERIFY ALL GRADES AND LAYOUT DIMENSIONS PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO DESIGNER.
- CONTRACTOR TO VERIFY EXISTING ROW AND EASEMENTS.
- CONTRACTOR SHALL OBTAIN AND SUBMIT ALL NECESSARY CONSTRUCTION PERMITS FOR WORK AND SHALL CONFORM TO ALL STATE AND LOCAL CODES.
- FOUNDATION DESIGN BASED ON MINIMUM SOIL BEARING CAPACITY OF 1500 PSF. CONTRACTOR TO VERIFY SOIL CONDITIONS PRIOR TO CONSTRUCTING FOOTING.
- SUBMIT STONE AND BRICK SAMPLES TO OWNER FOR APPROVAL.
- CONTRACTOR TO PROVIDE POWER STUBOUTS FOR 120V FIXTURES. PROVIDE PHOTOCELL SENSOR, TIMER AND MANUAL CONTROL. LIGHTING TO BE SHIELDED LITHONIA DI SERIES (DSXFILED-PI-MSP) - SEE CUT SHEET
- SIGN MANUFACTURER TO SUBMIT SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION. SUBMITTAL TO ILLUSTRATE MATERIALS, COLORS AND ATTACHMENT DETAILS.



MICHAEL VERSEN & ASSOCIATES
LANDSCAPE ARCHITECTURE LAND PLANNING
293 N. WEIGANDER RD. SUITE 201, KNOXVILLE, TN 37919
PH: 865/506-1331

Entrance Sign

The Village at Ivey Farms
Ivey Farms Road Farragut, Tennessee

SHEET NO.

C-1

JOB NO. 219037

DRAWN: MAY/RJM

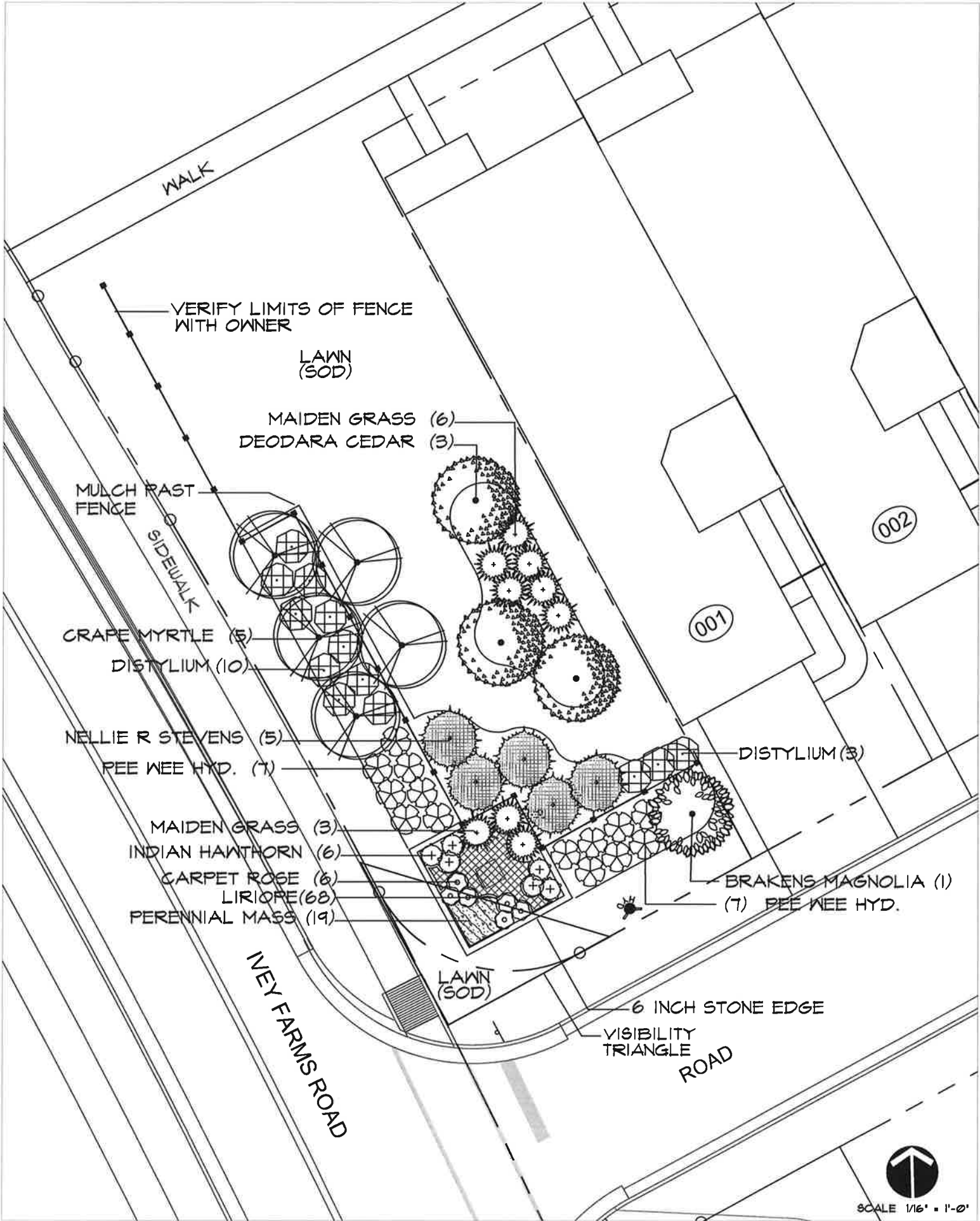
DATE: 1-17-2020

PLANT SCHEDULE

<u>EVERGREEN TREES</u>		<u>COMMON / BOTANICAL NAME</u>	<u>SIZE</u>	<u>CAL</u>
1		BRACKENS MAGNOLIA / Magnolia grandiflora 'Brackens'	8-10'H	3"Cal
3		DEODARA CEDAR / Cedrus deodara	10-12'H	
5		NELLIE R STEVENS / Ilex var. 'Nellie R Stevens'	8'H	
<u>FLOWERING TREES</u>		<u>COMMON / BOTANICAL NAME</u>	<u>SIZE</u>	<u>CAL</u>
5		CRAPE MYRTLE / Lagerstroemia Indica 'Muskogee'	10-12'H (2" cal. per trunk min. 3)	2" cal. / t
<u>DECIDUOUS SHRUBS</u>		<u>COMMON / BOTANICAL NAME</u>	<u>SIZE</u>	<u>CONT</u>
6		CARPET ROSE / Rosa x 'Flower Carpet Pink'	10-12"H	3 gal
14		PEE WEE HYD. / Hydrangea quercifolia 'Pee Wee'	15-18" H	3 gal
<u>EVERGREEN SHRUBS</u>		<u>COMMON / BOTANICAL NAME</u>	<u>SIZE</u>	<u>CONT</u>
13		DISTYLIUM / Distylium var. 'Vintage Jade'	15-18" H	3 gal
6		INDIAN HAWTHORN / Rhapsiolepis Indica 'Indian Princess'	12-15"H	3 gal
<u>GRASSES</u>		<u>COMMON / BOTANICAL NAME</u>	<u>SIZE</u>	<u>CONT</u>
9		MAIDEN GRASS / Miscanthus sinensis 'Morning Light'	24"H	3 gal
<u>GROUND COVERS</u>		<u>COMMON / BOTANICAL NAME</u>	<u>CONT</u>	<u>SPACING</u>
68		LIRIOPE / Liriope muscari 'Big Blue'	4"pot	12" O.C
19		PERENNIAL MASS / FLORAL Autum Joy Sedum & Moonbeam Coreopsis (equal mix) (NON INVASIVE AS PER TN-IPC)	1 gal	16 O.C.
<u>ADDITIONAL ITEMS</u>		<u>MATERIAL</u>	<u>DESCRIPTION</u>	
38		PINE STRAW MULCH trees and shrubs	bales (allowance)	
40		TOP SOIL - PLANTING BEDS (12" all planting bed areas)	cu. yd. (allowance)	
550		SOD tall fescue blend	sq. yd.	
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IRRIGATION NOTES

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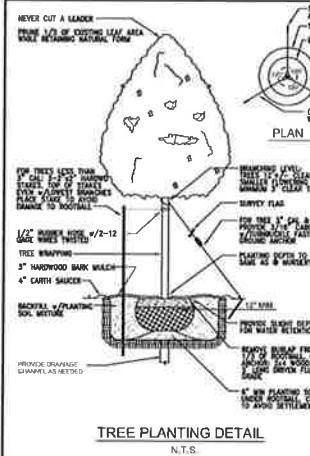
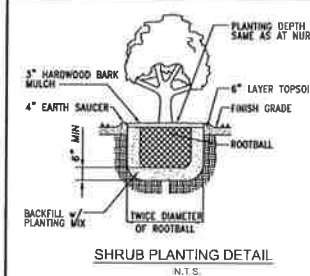
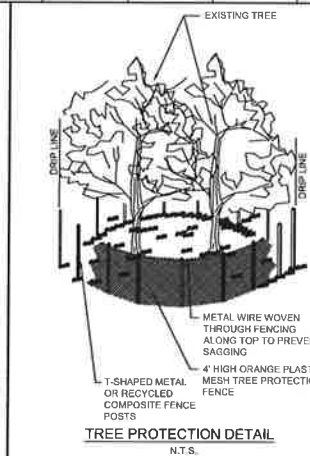
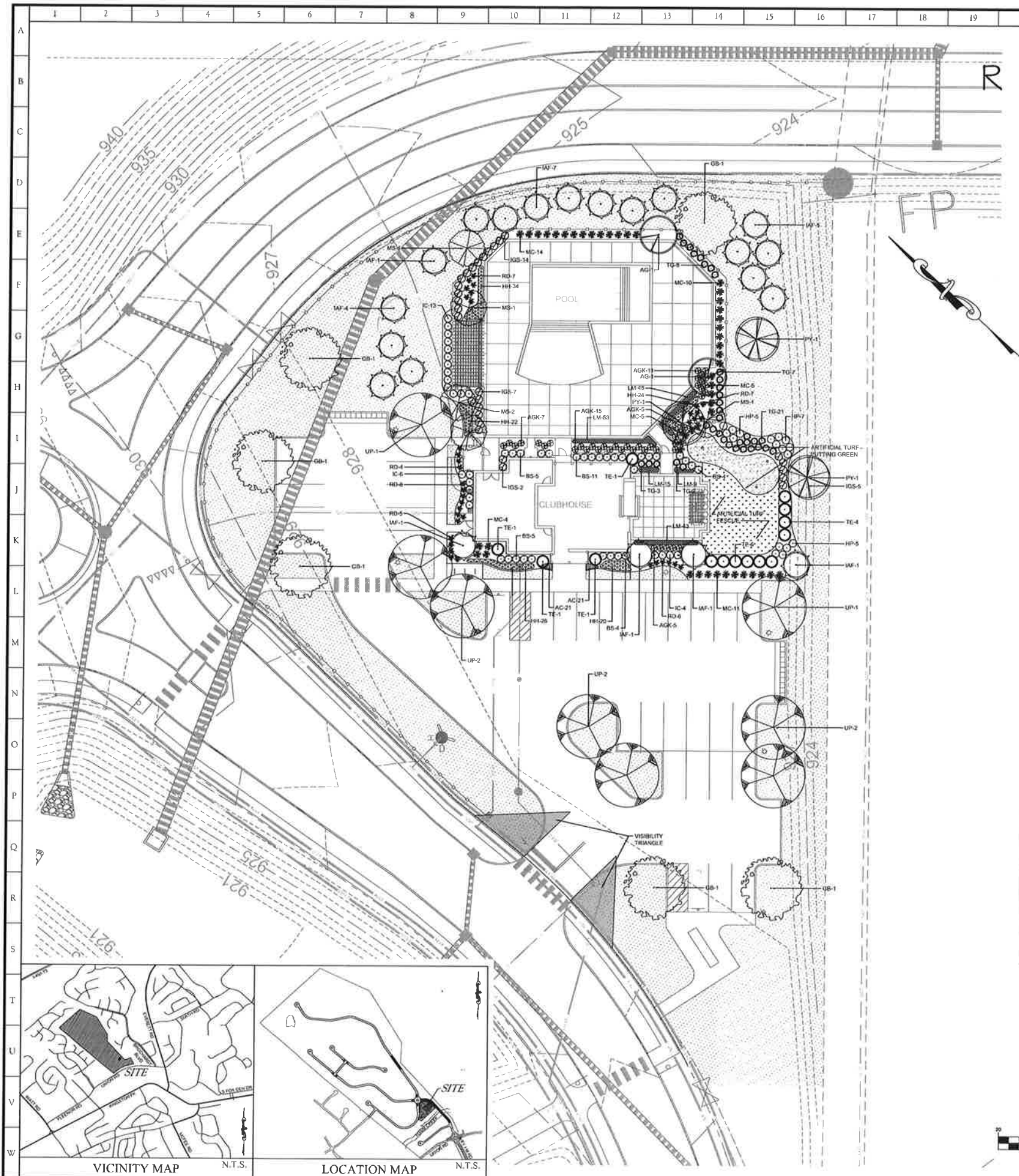


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299 N. WEISGARBER RD., SUITE 201, KNOXVILLE, TN 37919
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Entrance Sign - Landscape Plan
The Village at Ivey Farms
Ivey Farms Road Farragut, Tennessee

SHEET NO.
L-1
JOB NO. 219237
DRAWN: MAV/RJM
DATE: 1-17-2020





PERMANENT GRASSING SCHEDULE:

GRASS SEED SHALL BE AS FOLLOWS:

FEB-NOV..... TALL FESCUE BLEND

ANNUAL RYE

SOD..... TALL FESCUE BLEND

LIME..... 150 LB/1000 SF

FERTILIZER..... 20 LB/1000 SF

PHOSPHORUS..... 20% SUPERPHOSPHATE

MULCH..... STRAW (CRIMPED) EROSION CONTROL NET OR MULCH BINDER ON SLOPES

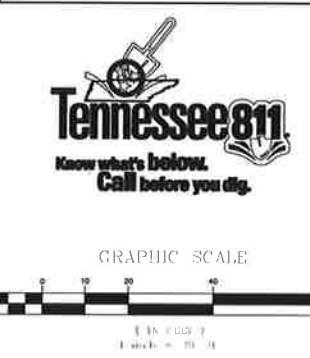
MIN. SEED PURITY 95% MIN. SEED GERMINATION 85% MIN. SEED WEED 0.1%

TALL FESCUE..... 95% 85% 0.1%

ANNUAL RYE..... 95% 90% 0.1%

PLANTING SHALL BE COMPLETE ON ALL AREAS NOT RECEIVING PAVING OR BE BUILT UPON WITHIN 14 WORKING DAYS OF COMPLETION OF GRADING. AREAS STEEPER THAN 3:1 V SHALL BE PLANTED NOT LATER THAN 7 DAYS AFTER COMPLETION OF GRADING.

ALL LIME & FERTILIZER AMOUNTS SHOWN IN THE PHOSPHORUS SECTION ABOVE ARE MINIMUM AND SHALL BE VERIFIED AFTER SOIL ANALYSIS IS ACCOMPLISHED.



- LANDSCAPE NOTES:
- ALL DISTURBED AREAS NOT TO BE PAVED OR BUILT UPON ARE TO RECEIVE A MINIMUM OF 4" OF TOPSOIL.
 - ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, AND FREE OF PESTS AND DISEASE.
 - ALL PLANT MATERIAL SHALL BE CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE PLANT LIST.
 - ALL TREES SHALL HAVE A STRAIGHT TRUNK AND FULL HEAD AND MEET ALL REQUIREMENTS SPECIFIED.
 - ALL MATERIALS ARE SUBJECT TO THE APPROVAL OF THE OWNER BEFORE, DURING, AND AFTER INSTALLATION.
 - ALL TREES MUST BE GUAYED OR STAKED AS SHOWN IN THE DETAILS.
 - ALL PLANTING AREAS SHALL BE COMPLETELY MULCHED AS SPECIFIED.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR (1) TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA (2) TO PROTECT OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD (3) TO REPAIR ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE CONSTRUCTION.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY SCHEDULE AND PROTECTION BETWEEN DELIVERY AND PLANTING PER SPECIFICATIONS TO MAINTAIN HEALTHY PLANT CONDITIONS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR FULLY MAINTAINING (INCLUDING BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZING, ETC.) ALL OF THE PLANT MATERIALS AND LAWN UNTIL FINAL ACCEPTANCE OF WORK.
 - ANY PLANT MATERIAL WHICH IS DISEASED, DISTRESSED, DEAD, OR REJECTED (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE MEETING ALL PLANT LIST SPECIFICATIONS.
 - THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF 12 MONTHS AFTER SUBSTANTIAL COMPLETION AND ACCEPTANCE OF WORK. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS DURING THE NORMAL PLANTING SEASON.
 - AFTER BEING DIAO AT THE NURSERY SOURCE, ALL TREES IN LEAF SHALL BE ACCUMATED FOR TWO (2) WEEKS UNDER A MIST SYSTEM PRIOR TO INSTALLATION.
 - STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
 - WHERE SHOWN ON THE PLANS AND DETAILS, PLANTING BEDS ARE TO BE COMPLETELY COVERED WITH A HARDWOOD BARK MULCH FROM A LOCAL SOURCE HARVESTED IN A SUSTAINABLE MANNER TO A MINIMUM DEPTH OF THREE INCHES.
 - REFER TO PROJECT SPECIFICATIONS FOR INFORMATION NEEDED FOR IMPLEMENTATION OF PLANTING PLANS.
 - WEED MAT IS REQUIRED IN MULCHED LANDSCAPED BEDS AS SPECIFIED.
 - ALL PLANT MATERIAL QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN.
 - THIS PLAN IS TO BE IMPLEMENTED COOPERATIVELY WITH SWPPP PLAN, AS NEEDED, TO MAXIMIZE THE EFFECTIVENESS OF THE SWPPP PLAN FOR THIS SITE.
 - THE CONTRACTOR IS ENCOURAGED TO COMPLETE TEMPORARY OR PERMANENT SEEDING OR SODDING IN STAGES FOR SOIL STABILIZATION AS AREAS ARE COMPLETED AFTER GRADING.
 - THIS PLAN DOES NOT PRESENT ANY TEMPORARY STABILIZATION REQUIRED AS PART OF SWPPP PLAN.
 - THE CONTRACTOR SHALL MEET ALL OF THE REQUIREMENTS OF THE TOWN OF FARRAGUT LANDSCAPING ORDINANCE REGARDING THIS PROJECT.
 - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAKE ANY AND ALL REQUIRED SUBMITTALS TO THE TOWN OF FARRAGUT.
 - THIS LANDSCAPE PLAN REFLECTS AND IS CONSISTENT WITH THE REMAINING PLAN SHEETS ASSOCIATED WITH THIS PROJECT.
 - HVAC UNITS WILL BE LOCATED ON TOP OF BUILDING AND WILL BE SCREENED PER TOWN OF FARRAGUT REQUIREMENTS.
 - BASED ON AVAILABLE INFORMATION, PROPOSED PLANT MATERIALS WILL NOT INTERFERE WITH ANY EXISTING OR PROPOSED UTILITIES.
 - THE SUBJECT PROPERTY IS ZONED R-1 / OSR.
 - THERE ARE NO SLOPES STEEPER THAN 3:1 ON THIS SITE.

SITE AND LANDSCAPE DATA

TOTAL SITE AREA	110.98 ACRES
TOTAL OPEN SPACE AREA	52.33 ACRES
PERCENTAGE OPEN SPACE	47.15%
LANDSCAPING REQUIREMENTS	REQUIRED PROVIDED
SHADE TREE PLANTING	
1 TREE PER 2,500 SF OF PROPOSED IMPROVEMENTS	
AREA OF PROPOSED IMPROVEMENTS = 29,273 SF	12 14
STREET FRONTAGE SHADE TREE REQUIREMENT	
25% OF THE TOTAL REQUIRED NUMBER OF SHADE TREES BETWEEN BLDG. AND ADJACENT ROW	
12 SHADE TREES = 25%	3 6
LANDSCAPING BETWEEN BUILDINGS AND PARKING LOTS	
2.5' X THE BUILDINGS LENGTH FACING A PARKING LOT OR VEHICULAR ACCESS WAY	
2.5' X 100'	250 SF 875 SF
25% OF THE REQUIRED AREA TO CONTAIN LIVE PLANT MATERIAL OTHER THAN GRASS	63 SF 618 SF

PLANT MATERIAL SCHEDULE

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	*SIZE, SPACING, & USE NOTES	SPACING
SHADE TREES					
GB	6	Ginkgo biloba "The President"	Presidential Gold Ginkgo	2" caliper, 12' height, 6' spread	As shown
UP	8	Ulmus parvifolia "Emer If Alice"	Allee Chinese Elm	2" caliper, 12' height, 6' spread	As shown
UNDERSTORY TREES					
AG	2	Acer laterale subsp. ginnale	Amur Maple	2" caliper, 10' height, 6' spread	As shown
IAF	21	Ilex x attenuata "Foster"	Foster Holly	6" height, 4' spread	As shown
MS	5	Magnolia stellata	Star Magnolia	6" height, 4' spread	As shown
PY	3	Prunus x yedoensis	Yoshino Cherry	2" caliper, 10' height, 6' spread	As shown
SHRUBS					
ACK	43	Abelia x grandiflora "Kaleidoscope"	Kaleidoscope Abelia	3 gal, 18" height	7'4" O.C.
BS	29	Buxus sempervirens	American Boxwood	30" height, 30" spread	3'-0" O.C.
HP	17	Hydrangea paniculata "Limelight"	Limelight Hydrangea	24" height, 24" spread	3'-0" O.C.
IC	23	Ilex cornuta "Dwarf Burford"	Dwarf Burford Holly	30" height, 30" spread	3'-0" O.C.
IGS	26	Ilex glabra "Shamrock"	Shamrock Holly	30" height, 30" spread	3'-0" O.C.
MC	49	Muhlenbergia capillaris "Lance"	Regal Mini Pink Muly Grass	3 gal.	3'-6" O.C.
RD	37	Rosa "Majesty"	Peach Drift Rose	1 gal.	2'-6" O.C.
TE	13	Thuja occidentalis "Emerald"	Emerald Green Arborvitae	6" height B&B	As shown
TG	36	Thuja occidentalis "Golden Globe"	Golden Globe Arborvitae	24" height, 24" spread	3'-0" O.C.
GROUNDCOVERS/PERENNIALS					
AC	40	Annual Color	Various	4" pot	8" O.C.
HH	126	Hemerocallis x "Happy Returns"	Happy Returns Dwarf Daylily	1 gal.	18" O.C.
LM	168	Liriope muscari "Big Blue"	Big Blue Liriope	1 gal.	12" O.C.

* TREE CALIPER SHALL BE MEASURED AT A POINT 6" ABOVE THE GROUND

10215 Technology Drive, Suite 304
Knoxville, TN 37932
(865) 777-4160
www.site-incorporated.com

Landscape Plan

Ivey Farms Clubhouse
Road B
Farragut, Tennessee 37934
Clayton Properties Group, Inc.

REVISIONS

NO.	DATE	REVISIONS
1	01/17/2020	Revised Per Town Comments

ORIGINAL ISSUE: 01/17/2020

SITE PROJECT #: 1951

FILE: _____

SHEET: 1 OF 2

L1.0



Johnson
Architecture

2240 Sutherland Ave., Suite 105
Knoxville, Tennessee 37919
865.671.9060
jainc.com



A New Multi-Purpose Addition & Renovation For:
FARRAGUT CHRISTIAN CHURCH
138 ADMIRAL RD. KNOXVILLE, TN 37934

LANDSCAPE
PLAN

REVISIONS		
Revision	Description	Date
Revision #1	TDF Review	12-9-19
Revision #3	VRB Review	1-9-20

DATE: 11/4/19

PROJECT NO: 173505

L1.1

TREE#	COMMON NAME	LATIN NAME	CHSTER	APPROX. HEIGHT	NOTES	SPR
1	Super Maple	Acer glaberrimum	3	14' - 16'	Full crown	Shade/Screen
2	Hemlock	Podocarpus neriifolia	1.5 - 2'	10' - 12'	Multi-trunk	Shade/Screen
3	Black Oak	Quercus velutina	2.5	7' - 8'	Full crown	Understory
4	Flowering Dogwood	Chionodoxa virginica	2.5	2' - 3'	Full crown	Understory
5	Swamp White Birch	Betula papyrifera	2.5	12'	Single trunk	Screen/Buffer
6	Red Maple	Acer rubrum	3'	12' - 14'	Full crown	Shade/Screen
7	White Oak	Quercus alba	3'	12' - 14'	Full crown	Shade/Screen
SHRUBS						
8	Boxwood	Buxus sempervirens	3' Ga.	10' - 20'		Medium
9	Japanese Yew	Podocarpus neriifolia	2' Ga.	30' - 40'		Medium
10	Japanese Yew	Podocarpus neriifolia	2' Ga.	30' - 40'		Medium
11	Japanese Yew	Podocarpus neriifolia	2' Ga.	30' - 40'		Medium
12	Japanese Yew	Podocarpus neriifolia	2' Ga.	30' - 40'		Medium
13	Japanese Yew	Podocarpus neriifolia	2' Ga.	30' - 40'		Medium
14	Japanese Yew	Podocarpus neriifolia	2' Ga.	30' - 40'		Medium
15	Japanese Yew	Podocarpus neriifolia	2' Ga.	30' - 40'		Medium
16	Japanese Yew	Podocarpus neriifolia	2' Ga.	30' - 40'		Medium

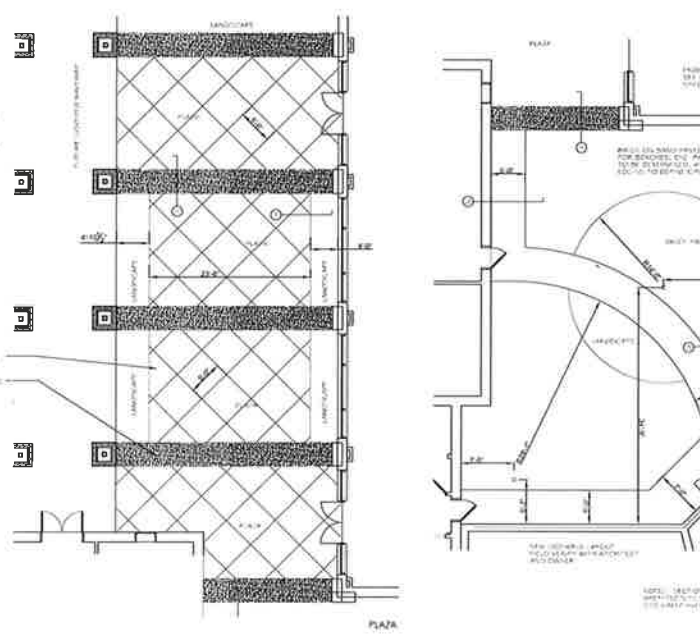
PLANT SCHEDULE
NOTE: SEE PLANTING AND PAVING NOTES FOR ADDITIONAL NOTES. PLANTING NOTES ARE USED FOR ALL PLANTS. PLANTING NOTES ARE USED FOR ALL PLANTS.

GENERAL NOTES:
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LANDSCAPE NOTES:
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SOILING NOTES:
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PLANT SCHEDULE	PLANT	QUANTITY	REMARKS
1	Super Maple	3	
2	Hemlock	1.5 - 2'	
3	Black Oak	2.5	
4	Flowering Dogwood	2.5	
5	Swamp White Birch	2.5	
6	Red Maple	3'	
7	White Oak	3'	
8	Boxwood	3' Ga.	
9	Japanese Yew	2' Ga.	
10	Japanese Yew	2' Ga.	
11	Japanese Yew	2' Ga.	
12	Japanese Yew	2' Ga.	
13	Japanese Yew	2' Ga.	
14	Japanese Yew	2' Ga.	
15	Japanese Yew	2' Ga.	
16	Japanese Yew	2' Ga.	

