



Municipal Planning Commission Meeting
Thursday, July 17, 2025 at **6:00 PM**

WORKSHOP 5:15-6:00

Discussion regarding the sale associated with the Estate of Dora K. Turner, 12233 Turkey Creek Road (Dave Hall, Midtown Legal, Applicant)

Farragut Town Hall
11408 Municipal Center Drive

AGENDA

- I) Election of Officers
- II) Approval of Agenda
 - A) Postpone agenda item IV) Action Items D)
- III) Approval of Minutes
 - A) June 19, 2025 Minutes
- IV) Action Items
 - A) Discussion and public hearing on approval of a variance from the requirement in the Subdivision Regulations for the construction of a pedestrian facility associated with a re-subdivision plat to combine Parcels 070, 071, and FA001, Tax Map 151, 2.36 Acres, 3 Lots, Zoned C-1 (Pinnacle Land Surveying, Inc., Applicant)
 - B) Discussion and public hearing on approval to extend fiber optic cable in a new two-inch conduit within the right of way beginning at the northeast intersection of Kingston Pike and N. Campbell Station Road and extending along the east side of N. Campbell Station Road and then boring under N. Campbell Station Road to the west side of N. Campbell Station Road to Jamestowne Boulevard and then along the south side of Jamestowne Boulevard to service the property at 11507 Kingston Pike (Comcast, Applicant)
 - C) Discussion and public hearing on approval to extend fiber optic cable from the west end of Boyd Station Road along the east side of McFee Road to the entrance to the

11408 MUNICIPAL CENTER DRIVE | FARRAGUT, TN 37934 | 865.966.7057 |
WWW.TOWNOFFARRAGUT.ORG

It is the policy of the Town of Farragut not to discriminate on the basis of race, color, natural origin, gender, gender identity, sexual orientation, age, religion, disability or veteran status pursuant to Title VI of the Civil Rights Act of 1964, Public Law 93-112 and 101-336 in its hiring, employment practices and programs. To request accommodations due to disabilities, please call 865-966-7057 in advance of the meeting

Grove at Boyd Station Subdivision (Charter, Applicant)

- D) Discussion and public hearing on approval to extend fiber optic cable under Parkside Drive from 11401 Parkside Drive to 11440 Parkside Drive (AT&T, Applicant)
- E) Discussion and public hearing on approval to extend four inch gas main along the north side of Allen Kirby Road and extend a two inch gas main across Allen Kirby Road to service 12960 Allen Kirby Road (KUB, Applicant)
- F) Discussion and public hearing on a request for approval of a resolution to amend the Major Road Plan to provide for context sensitive street cross sections for selected collector and arterial streets (Town of Farragut, Applicant)
- G) Discussion and public hearing on an amendment to the Farragut Municipal Code, Chapter 109 – Signs, to clarify when signs may be removed by property owners (Town of Farragut, Applicant)
- H) Discussion and public hearing on approval of the Knox County, City of Knoxville, and Town of Farragut Multi-Jurisdictional Local Hazard Mitigation Plan (Town of Farragut, Applicant)
- I) Appointment of Tree Board Member
- V) Discussion Items
 - A) Discussion on amendments to the Farragut Code of Ordinances, Appendix A – Zoning, Chapter 4., Section VI., Customary Home Occupations (Town of Farragut, Applicant)
- VI) Approval of Utilities
- VII) Citizens Forum

**The Farragut Municipal Planning Commission welcomes and invites
Farragut residents to participate in public meetings.**

Public Participation Guidelines for Farragut Municipal Planning Commission meetings

At the end of each business meeting, there will be time reserved for public comment under the Citizen Forum agenda item. If you are interested in speaking, please fill out a blue comment card and turn it in to a staff member. This time is set aside specifically for comments on items that are not on the Planning Commission's agenda for the meeting. Each speaker will be given three (3) minutes to speak on his/her topic.

The Commission also seeks public comment on regular agenda items during the portion of the meeting devoted to discussion and consideration of the specific agenda item.

The Chairman may recognize individuals for public comment during both the regular agenda and Citizen Forum portions of the meeting based on the following guidelines.

1. The Chairman shall maintain and control the meeting to provide a professional and objective environment conducive to presentation and discussion of the agenda items;
2. Any Farragut resident interested in speaking should fill out a blue comment card stating which agenda item they would like to comment on and turn it in to a staff member;
3. Speakers shall come to the podium and identify themselves by name and street address;
4. Public comment shall be limited to three (3) minutes per individual. Time for public comment may be amended at the discretion of the Chairman; provided that when additional time is allowed, speakers with differing points of view are allowed the same amount of time if requested. Time is not transferable to other speakers;
5. Speakers should strive to avoid redundancy; different considerations than expressed by previous speakers on a subject are encouraged;
6. Comments that threaten violence or imminent physical harm toward any individual will not be tolerated.
7. Comments may support or oppose issues or measures;
8. Personal attacks on the character of individuals who hold different points of view that have no relationship to the merits of the matter or issue raised for discussion will not be tolerated.
9. An applicant, and/or their representative(s), for an item on the regular agenda shall be afforded the time necessary to present their request and respond to questions. The three (3) minute limitation shall not apply. However, the Chairman may ask an applicant to stay on point in order to facilitate the efficiency of the meeting.

Each speaker will be asked if they can agree to abide by the Comment Protocol. If so, please be prepared to speak when your name is called.

Tennessee Code Annotated 39-17-306. Disrupting meetings or processions.

1. A person commits an offense if, with the intent to prevent or disrupt a lawful meeting, procession, or gathering, the person substantially obstructs or interferes with the meeting, procession, or gathering by physical action or verbal utterance.
2. A violation of this section is a Class A misdemeanor.



MINUTES

FARRAGUT MUNICIPAL PLANNING COMMISSION

June 19, 2025

MEMBERS PRESENT

Ron Pinchok, Chairman
Ron Williams, Mayor
Jeff Devlin
Jon Greene
Derek Wright
Anna Presley, Youth Representative

MEMBERS ABSENT

Noah Myers
Louise Povlin, Vice Chairman
Scott Meyer
Shannon Preston, Secretary

Staff Representatives: Mark Shipley, Community Development Director
Chris Sheffield, Operations Manager
Darryl Smith, Town Engineer

1. Approval of agenda

The staff recommended approving the agenda with Agenda Item 3., c. being removed at the request of the applicant.

A motion was made by Mayor Williams to follow the staff's recommendation. The motion was seconded by Commissioner Greene and was approved unanimously.

2. Approval of minutes for the May 15, 2025 meeting

The staff recommended approving the minutes as submitted.

A motion was made by Mayor Williams to follow the staff's recommendation. The motion was seconded by Commissioner Greene and was approved unanimously.

3. Action Items

a. Appointment of Youth Representative for next fiscal year

The staff reviewed this matter and complimented Anna Presley for her service over the past twelve months as the Youth Representative. The staff noted that the new Youth Representative was a Planning Commission decision. There were two applicants that picked the Planning Commission as their first choice. One of the applicants picked the Visual Resources Review Board as his second choice and there were no other candidates for the VRRB.

Given this consideration and that Albert Liu had a specific interest in policy, a motion was made by Mayor Williams to appoint Albert Liu as the new Youth Representative for the next fiscal year. The motion was seconded by Commissioner Greene and was approved unanimously.

b. Appointment of Tree Board member

The staff reviewed this item and discussed some of the duties of the Tree Board. The staff noted that this was a Planning Commission decision.

A short discussion ensued and due to a number of commissioners being absent, a motion was made by Mayor Williams to postpone action on this until the next meeting. The motion was seconded by Commissioner Greene and was approved unanimously.

c. Discussion and public hearing on approval of roughly 1,900 linear feet of .5 inch fiber cable in a new two-inch conduit within the right of way beginning at the northeast intersection of Kingston Pike and N. Campbell Station Road and extending along the east side of N. Campbell Station Road for 708 feet and then boring under N. Campbell Station Road to the west side of N. Campbell Station Road and then extending 177 feet to the south side of Jamestowne Boulevard and then along the south side of Jamestowne Boulevard for 915 feet to service the property at 11507 Kingston Pike (Comcast, Applicant)

Removed the agenda.

d. Discussion and public hearing on approval of a new traffic signal at the northern intersection of Concord Road (State Route 332) and Loop Road (Town of Farragut, Applicant)

The Town Engineer, Darryl Smith, presented this item and recommended approval.

A short discussion ensued. A motion was made by Mayor Williams to follow the staff's recommendation. The motion was seconded by Commissioner Greene and was approved unanimously.

e. Discussion and public hearing on approval of a preliminary plat for improvements to Outlet Drive to include a turn lane for the property at 11471 Outlet Drive and for improvements at the Snyder Road/N. Campbell Station Road intersection in association with the Venture at Laster Farms development in Knox County at 11471 Outlet Drive (Cannon & Cannon, Inc., Applicant)

The staff reviewed this item and recommended approval subject to the following conditions:

1. Please include a note on this plan set that no more than 100 Certificates of Occupancy can be issued in the Venture at Laster Farms development until all improvements involving Town of Farragut streets and intersections are completed to the satisfaction of the Town of Farragut.
2. There is a discrepancy between the length of the taper recommended in the traffic impact study vs. the length shown on the plan set. Please either clarify or modify to ensure that the two are consistent.
3. A letter of credit to ensure the satisfactory completion of the items recommended in the traffic impact study being submitted in a dollar amount provided by the Town Engineer.

Jason Hunt and the developer answered questions and noted that they agreed with the staff conditions and would address.

A motion was made by Mayor Williams to follow the staff's recommendation. The motion was seconded by Commissioner Greene and was approved unanimously.

4. Discussion Items

- a. Discussion on updates to the Driveways and Other Access Ways Ordinance concerning how accesses are approved and opportunities to streamline the approval process where possible (Town of Farragut, Applicant)**

For discussion purposes only.

5. Approval of utilities

Mayor Williams noted some concerns he had with the subcontractor being used for the LCUB fiber installation project. They were leaving areas disturbed, not corresponding well with citizens and have a disabled vehicle parked on a street in the Sugarwood Subdivision that is creating visibility obstructions.

6. Citizen forum

None.

The meeting was adjourned at 6:47 p.m.

Shannon Preston, Secretary

REPORT TO THE MUNICIPAL PLANNING COMMISSION

Prepared By: Mark Shipley, Community Development Director

Subject: Discussion and public hearing on approval of a variance from the requirement in the Subdivision Regulations for the construction of a pedestrian facility associated with a re-subdivision plat to combine Parcels 070, 071, and FA001, Tax Map 151, 2.36 Acres, 3 Lots, Zoned C-1 (Pinnacle Land Surveying, Inc., Applicant)

Introduction & Background:

This item involves a request for approval of a re-subdivision plat that combines three lots, currently in the address range of 13021-13045 Kingston Pike, into one lot for the purpose of accommodating future development. The plat includes a cross access easement for connections to the east and the west with an access easement approach to Kingston Pike across from the Advance Auto/Dollar General access. The three affected lots are zoned General Commercial.

Discussion & Recommendations:

As required in the Subdivision Regulations, a pedestrian facility is to be constructed along the Kingston Pike frontage. In addition to approval of the plat, the applicant is requesting a variance from this Subdivision Regulation requirement with the understanding that the pedestrian facility would be constructed as part of the site plan review and approval process. At this time, there are no specific plans for development and it would make more sense to install the pedestrian facility when the property is developed so that it could be planned with the remainder of the project. This type of variance from the Subdivision Regulations has been applied to other plats where the requirement for the pedestrian facility would be more logically completed with site development. Thus, the staff supports the variance requested at this time with the condition that the pedestrian facility will be required with site development and that this be included as a note on the plat. Regarding the plat itself, the staff recommends approval subject to the following conditions:

1. Obtaining all signatures.
2. Including a note on the plat which states that, "At their

meeting on July 17, 2025, the Farragut Municipal Planning Commission granted a variance from the requirement in the Subdivision Regulations for a pedestrian facility along Kingston Pike for what is shown as Lot 1. This variance is conditioned on the understanding that the required pedestrian facility along the Kingston Pike frontage of Lot 1 will be constructed to the requirements of the Town of Farragut when the property is developed as part of the site plan approval and development process."

Recommended By: Mark Shipley, Community Development Director

Proposed Motion: To approve the requested variance from the requirement to construct a pedestrian facility along the Kingston Pike frontage as part of the re-subdivision plat with the condition that the pedestrian facility be constructed as part of the site plan approval and development process.
To approve the re-subdivision plat subject to the following conditions:

1. Obtaining all signatures.
2. Including a note on the plat which states that, "At their meeting on July 17, 2025, the Farragut Municipal Planning Commission granted a variance from the requirement in the Subdivision Regulations for a pedestrian facility along Kingston Pike for what is shown as Lot 1. This variance is conditioned on the understanding that the required pedestrian facility along the Kingston Pike frontage of Lot 1 will be constructed to the requirements of the Town of Farragut when the property is developed as part of the site plan approval and development process."

CERTIFICATION OF OWNERSHIP AND DEDICATION

I (we) hereby certify that I (we) are the owners(s) of the property shown and described hereon as evidenced in Instrument No. 202401180034538, County Registers Office and that I (we) hereby adopt this plan of subdivision with my (our) free consent, establish the minimum building restriction lines, and dedicate all streets, alleys, walks, parks, and other open space to public or private use as noted.

Date _____ Owner Jeff Sims

Certification of Class and Accuracy of Survey

I hereby certify that the plan shown hereon is a true and correct survey to the accuracy required by the Farragut Municipal Planning Commission and that the monuments have been placed as shown hereon, to the specification of the Subdivision Regulations. This is a Category I Land Survey and the ratio of precision of the unadjusted survey is equal to or greater than 1:10,000.

Date _____

Registered Land Surveyor _____

Tennessee Certificate No. 2663

Certificate of Approval of Water System

I hereby certify that it has been certified to us that the water system(s) outlined or indicated on the final subdivision plat entitled RE-SUBDIVISION OF LOT 3R OF THE RE-SUBDIVISION OF PARCELS 086, 08602, 08604 and 087, TAX MAP 151 have been installed in accordance with current local and state government requirements.

Date _____

Name, Title and Agency of Authorized Agent _____

Certificate of Approval of Sewer System

I hereby certify that it has been certified to us that the water system(s) outlined or indicated on the final subdivision plat entitled RE-SUBDIVISION OF LOT 3R OF THE RE-SUBDIVISION OF PARCELS 086, 08602, 08604 and 087, TAX MAP 151 have been installed in accordance with current local and state government requirements.

Date _____

Name, Title and Agency of Authorized Agent _____

Certificate of Electric, Gas and Telephone Availability

This is to certify that every lot within this subdivision has available to it a source for service identified by signature(s) below which service source is adequate to accommodate the reasonable needs of such lot as to such service within such subdivision.

Date _____ Gas Name, Title and Agency of Authorized Agent _____

Date _____ Electric Name, Title and Agency of Authorized Agent _____

Date _____ Telephone Name, Title and Agency of Authorized Agent _____

Certificate for Street Approval

I certify that streets, sidewalks, and other required improvements have been installed in an acceptable manner and according to Town specifications, or that a security bond in the amount of \$ _____ has been posted with the Planning Commission to assure completion of all required improvements in case of default. Streets are public streets maintained at public expense Date _____

Town Engineer _____ License No. _____

Except as noted or shown on this plat, the following parties hereby consent to the release of all rights that may have accrued for their use and benefit (1) in the utility, drainage, and construction easements along the original lot lines or (2) in prior easements identified hereon which are being eliminated by this plat, on the condition that new utility, drainage, and construction easements are provided along the new property lines or as facilities are otherwise installed or shown hereon. The above provisions notwithstanding prior easements or prior utility placements are not released unless specifically noted hereon. Existing easements or placements shown hereon will not be adversely affected by the development as herein proposed.

Sewer Date _____ Signature _____

Water Date _____ Signature _____

Electricity Date _____ Signature _____

Gas Date _____ Signature _____

Telephone Date _____ Signature _____

Cable Date _____ Signature _____

Town of Farragut Date _____ Signature _____

Certificate of Approval for Recording

I hereby certify that the subdivision plat shown here has been found to comply with the Subdivision Regulations for Farragut, Tennessee, with the exception of such variances, if any, as are noted in the minutes of the Planning Commission and that it has been approved for recording in the Office of the County Register of Deeds.

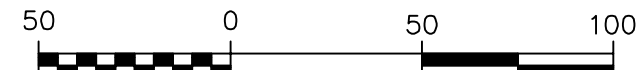
Secretary, Planning Commission _____

Date: _____

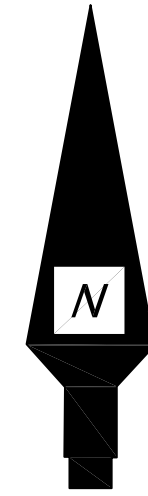
Certificate of Approval of Street Names

This is to certify that the subdivision shown hereon has been reviewed for compliance with the Knox County Uniform Street Naming & Addressing System Ordinance, and the road names are hereby approved for recording.

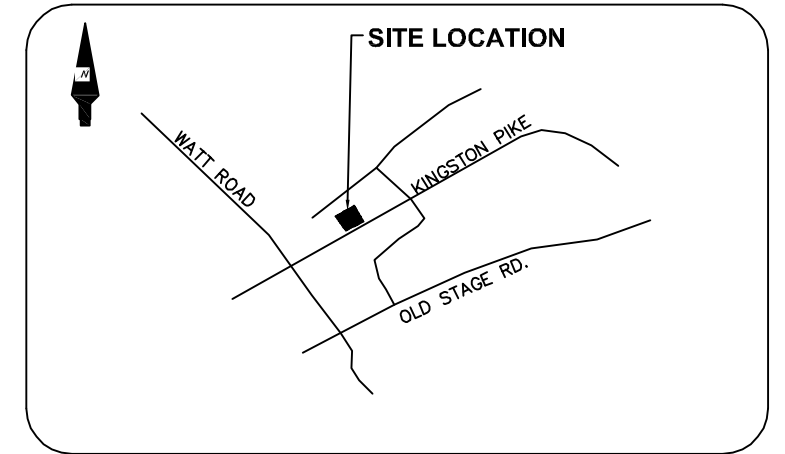
Date _____ Knox County Addressing Department _____



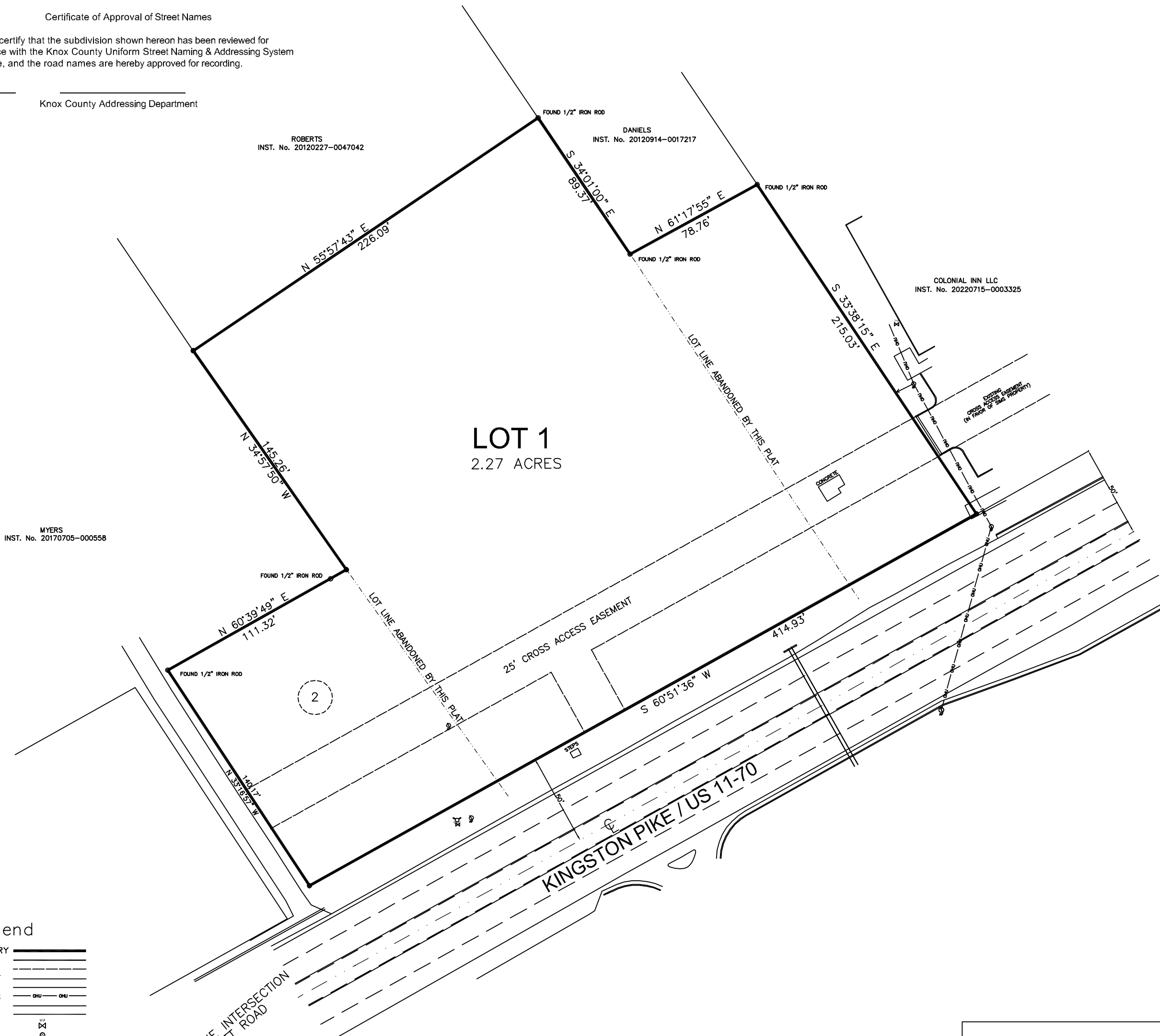
SCALE IN FEET
SCALE: 1" = 50'



BEARING BASIS:
GRID NORTH BASED ON G.P.S. OBSERVATIONS



VICINITY MAP



Notes:

- Parcel ID's 151FA001, 151 071 & 151 070
- No. Of Lots - 1
- Area Subdivided - 2.27 Acres
- All property corners were found or set and are identified on the map.
- 10' Utility & Drainage Easement Inside Road Frontage And S/D Perimeter Lot Lines. 5' Utility & Drainage Easement inside all Interior Lot Lines.
- Property Recording DATA - Instrument No 20170313-0055587
- Previous Subdivision Recording DATA - Plat Book 23, Page 30
- Property Zoning: C-1
- The purpose of this plat is to combine the three parcels into one parcel.
- This property is not located within a special flood hazard area as shown on Firm Map 47093C0351F and 47093C0351F, dated May 2, 2007.
- All maintenance and responsibility of the storm drainage (including storm easements) located on the property are the responsibility of the property owner.
- A Variance from the requirement to construct a pedestrian facility along the frontage of lots 1 was approved at the June 17, 2025 Planning Commission Meeting and such facilities will be constructed when those properties develop as part of the site plan approval process.

Legend

- PROPERTY BOUNDARY
- STREAM
- EASEMENT
- EDGE OF PAVEMENT
- EDGE OF CONCRETE
- OVERHEAD UTILITIES
- FENCE
- TRENCH
- WATER VALVE
- WATER METER
- FIRE HYDRANT
- BACK FLOW PREVENTOR
- POWER POLE
- TELECOMMUNICATIONS
- BOLLARD
- CATCH BASIN
- GAS VALVE
- COMMUNICATION RISER
- SPRINKLER VALVE
- LIGHT POLE
- MANHOLE
- VAULT (UTILITIES)
- IRON ROD (FOUND)
- IRON ROD (SET)
- NAIL (FOUND)
- NAIL (SET)

FINAL PLAT

SIMS KINGSTON PIKE SUBDIVISION

TOWN OF FARRAGUT - DISTRICT 6 - KNOX COUNTY, TN

<p>Pinnacle Land Surveying, Inc. 212 Battle Front Trail Knoxville, TN 37934 Phone: 865.548.2385 www.pinnaclelandsurveying.com</p>	Revisions	Project Number 25-063
	Issued 06/10/25	Drawing Number
	1	2
	2	
	3	
Drafted By: RMT 06/10/25		

OWNER:
Jeff and Lynn Sims
2432 Caravel Lane
Knoxville, TN 37922

REPORT TO THE MUNICIPAL PLANNING COMMISSION

Prepared By: Mark Shipley, Community Development Director

Subject: Discussion and public hearing on approval to extend fiber optic cable in a new two-inch conduit within the right of way beginning at the northeast intersection of Kingston Pike and N. Campbell Station Road and extending along the east side of N. Campbell Station Road and then boring under N. Campbell Station Road to the west side of N. Campbell Station Road to Jamestowne Boulevard and then along the south side of Jamestowne Boulevard to service the property at 11507 Kingston Pike (Comcast, Applicant)

Introduction & Background:

As shown on the plans included in the packet, Comcast is proposing to extend roughly 1,900 linear feet of .5 inch fiber cable along a section of N. Campbell Station Road and Jamestowne Boulevard to service a tenant space in the Village Green Shopping Center.

The installation will involve directional boring to a depth of at least three feet. There will be some boring under sidewalks, driveways, and N. Campbell Station Road. The installation contractor is Source Broadband and they have a letter of credit filed with the Town for any work they do within the Town limits. This letter of credit is to ensure that any affected areas are restored to their pre-installation condition. Traffic control needed for the project will be coordinated with the Town's engineering department as part of their right of way permit.

Discussion & Recommendations:

Included in the packet is the plan set provided for this project. The staff recommends approval of the project subject to the following item being addressed:

1. A right of way permit being obtained through the Town's engineering department. This would cover traffic control and site restoration.

Recommended By: Mark Shipley, Community Development Director

Proposed Motion: To approve the fiber cable extension subject to the right of way permit being obtained through the Town's engineering department.

UNDERGROUND LEGEND

- - - - - PROPOSED UG
- - - - - EXISTING CONDUIT
- / — NUL (TRANSITION)
- PEDESTAL
- ∇ VAULT
- MH MAN HOLE
- W — WATER
- P — POWER
- S — STORM DRAIN
- F — FRONTIER
- S — SEMC
- U — UNKNOWN FIBER
- S — SPECTRUM
- C — COMCAST
- ▨ SIDEWALK
- DWB - DRIVEWAY BORE
- RB - ROAD BORE
- SWB - SIDEWALK BORE
- TR - TRENCH
- PT - PULL THROUGH
- BR - BORE

NOTES:

- CONSTRUCTION TYPE: NEW BUILD
- COMCAST WILL FOLLOW ALL TRAFFIC CONTROL PER THE CURRENT EDITION OF THE MUTCD
- COMCAST WILL NOT DISTURB ANY PAVEMENT
- TRENCH AT MINIMUM DEPTH OF 36" AND WITHIN BACK 5' OF ROW
- ALL ROAD BORES WILL BE DIRECTIONAL BORE AT A MINIMUM DEPTH OF 48"
- NO LANES WILL BE BLOCKED BEFORE 9 AM OR AFTER 4 PM

MATCHLINE A

708'BR

SPEED
LIMIT
40
MPH

Start permit
at ROW

341'BR

SPEED
LIMIT
45
MPH

**N CAMPBELL
STATION RD**

**KINGSTON PIKE
/ SR 11 / SR1**

JOB# JB0002161715
 PERMIT# TNKPSR11SR111507-UG-CITY
 OPP NAME: TenHats
 OPP ADDRESS: 11507 KINGSTON PIKE FARRAGUT
 TN 37934

Submitted by:



COMCAST

ALL WORK TO BE DONE
IN BACK 5' OF ROW

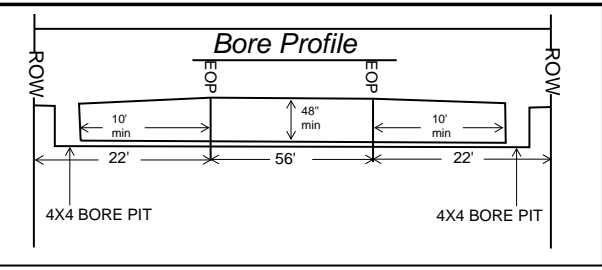
DESC: COMCAST is to bore and install a total of 1,898' new 24CT of .5 fiber cable in new 2" conduit in existing ROW, then continue construction on to private property to service 11507 KINGSTON PIKE.
JB0002161715

COMCAST CABLE

5720 Asheville Hwy,
Knoxville, TN 37924

FARRAGUT CITY

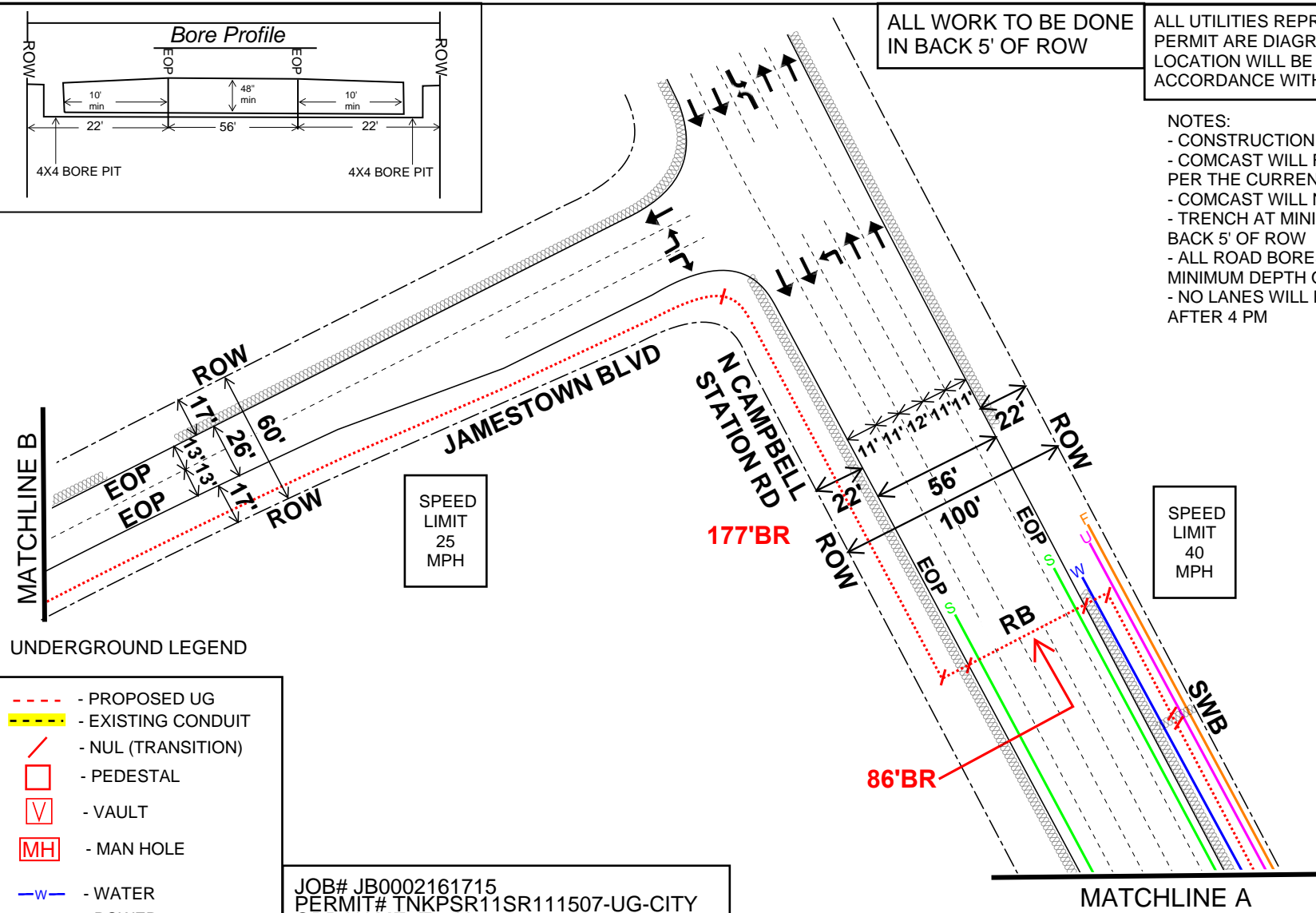
PERMIT APPLICATION



ALL WORK TO BE DONE IN BACK 5' OF ROW

ALL UTILITIES REPRESENTATIONS SHOWN ON THIS PERMIT ARE DIAGRAMMATIC IN NATURE. THE ACTUAL LOCATION WILL BE DETERMINED IN CONSTRUCTION IN ACCORDANCE WITH OGCA 25-9-1

- NOTES:
- CONSTRUCTION TYPE: NEW BUILD
 - COMCAST WILL FOLLOW ALL TRAFFIC CONTROL PER THE CURRENT EDITION OF THE MUTCD
 - COMCAST WILL NOT DISTURB ANY PAVEMENT
 - TRENCH AT MINIMUM DEPTH OF 36" AND WITHIN BACK 5' OF ROW
 - ALL ROAD BORES WILL BE DIRECTIONAL BORE AT A MINIMUM DEPTH OF 48"
 - NO LANES WILL BE BLOCKED BEFORE 9 AM OR AFTER 4 PM



UNDERGROUND LEGEND

- PROPOSED UG
- EXISTING CONDUIT
- NUL (TRANSITION)
- PEDESTAL
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- MAN HOLE
- WATER
- POWER
- STORM DRAIN
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- SPECTRUM
- COMCAST
- SIDEWALK
- DRIVEWAY BORE
- ROAD BORE
- SIDEWALK BORE
- TRENCH
- PULL THROUGH
- BORE

JOB# JB0002161715
 PERMIT# TNKPSR11SR111507-UG-CITY
 OPP NAME: TenHats
 OPP ADDRESS: 11507 KINGSTON PIKE
 FARRAGUT TN 37934

DESC: COMCAST is to bore and install a total of 1,898' new 24CT of .5 fiber cable in new 2" conduit in existing ROW, then continue construction on to private property to service 11507 KINGSTON PIKE. JB0002161715

Submitted by:

COMCAST

COMCAST CABLE

5720 Asheville Hwy
 Knoxville, TN 37924

FARRAGUT CITY

PERMIT APPLICATION



NOTES:

- CONSTRUCTION TYPE: NEW BUILD
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Submitted by:

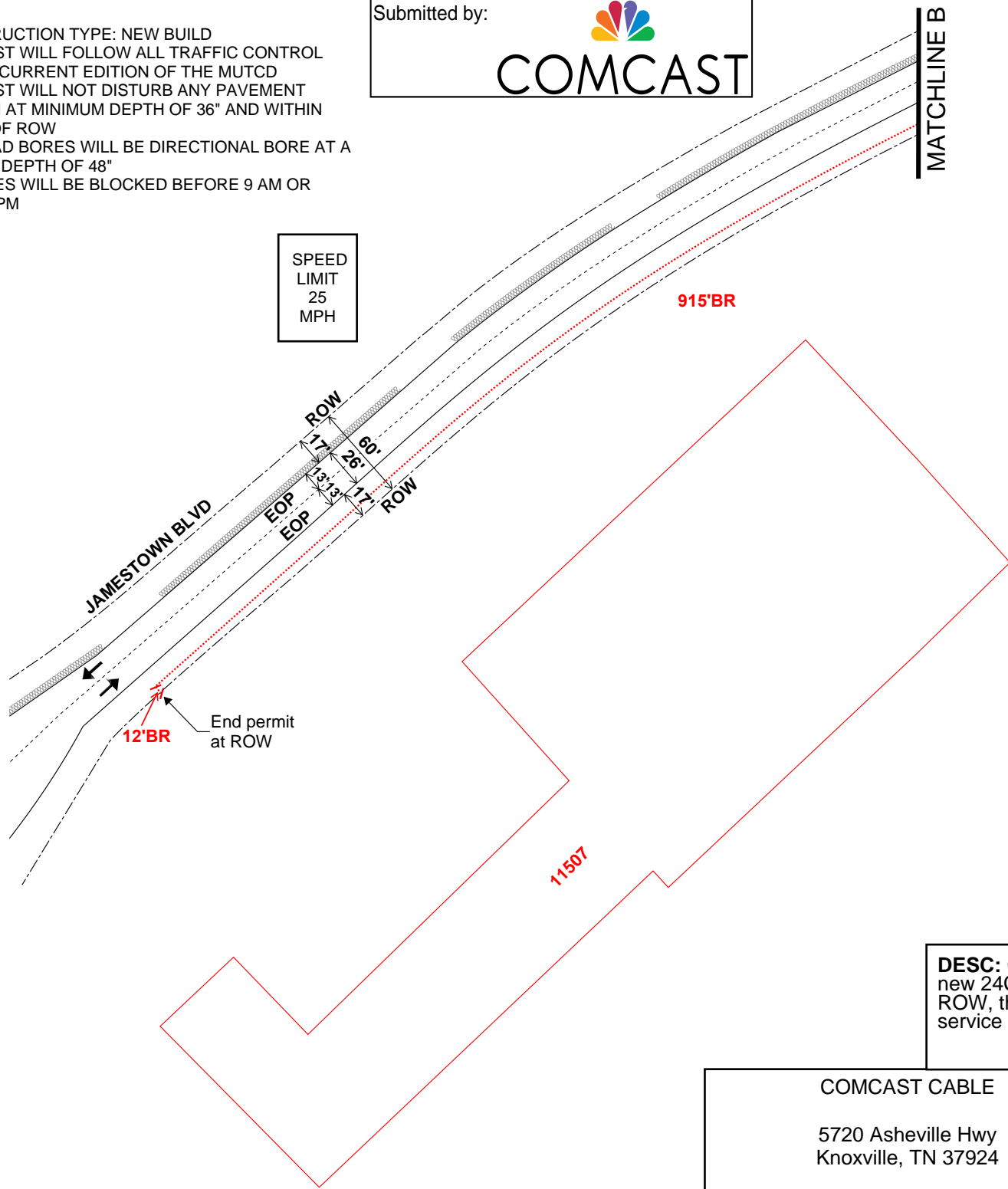


ALL WORK TO BE DONE IN BACK 5' OF ROW

UNDERGROUND LEGEND

- - - - - PROPOSED UG
- - - - - EXISTING CONDUIT
- / / / NUL (TRANSITION)
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- C- COMCAST
- ▨ SIDEWALK
- DWB DRIVEWAY BORE
- RB ROAD BORE
- SWB SIDEWALK BORE
- TR TRENCH
- PT PULL THROUGH
- BR BORE

SPEED LIMIT
25
MPH



ALL UTILITIES REPRESENTATIONS SHOWN ON THIS PERMIT ARE DIAGRAMMATIC IN NATURE. THE ACTUAL LOCATION WILL BE DETERMINED IN CONSTRUCTION IN ACCORDANCE WITH OGCA 25-9-1

JOB# JB0002161715
 PERMIT# TNKPSR11SR111507-UG-CITY
 OPP NAME: TenHats
 OPP ADDRESS: 11507 KINGSTON PIKE
 FARRAGUT TN 37934

DESC: COMCAST is to bore and install a total of 1,898' new 24CT of .5 fiber cable in new 2" conduit in existing ROW, then continue construction on to private property to service 11507 KINGSTON PIKE. JB0002161715

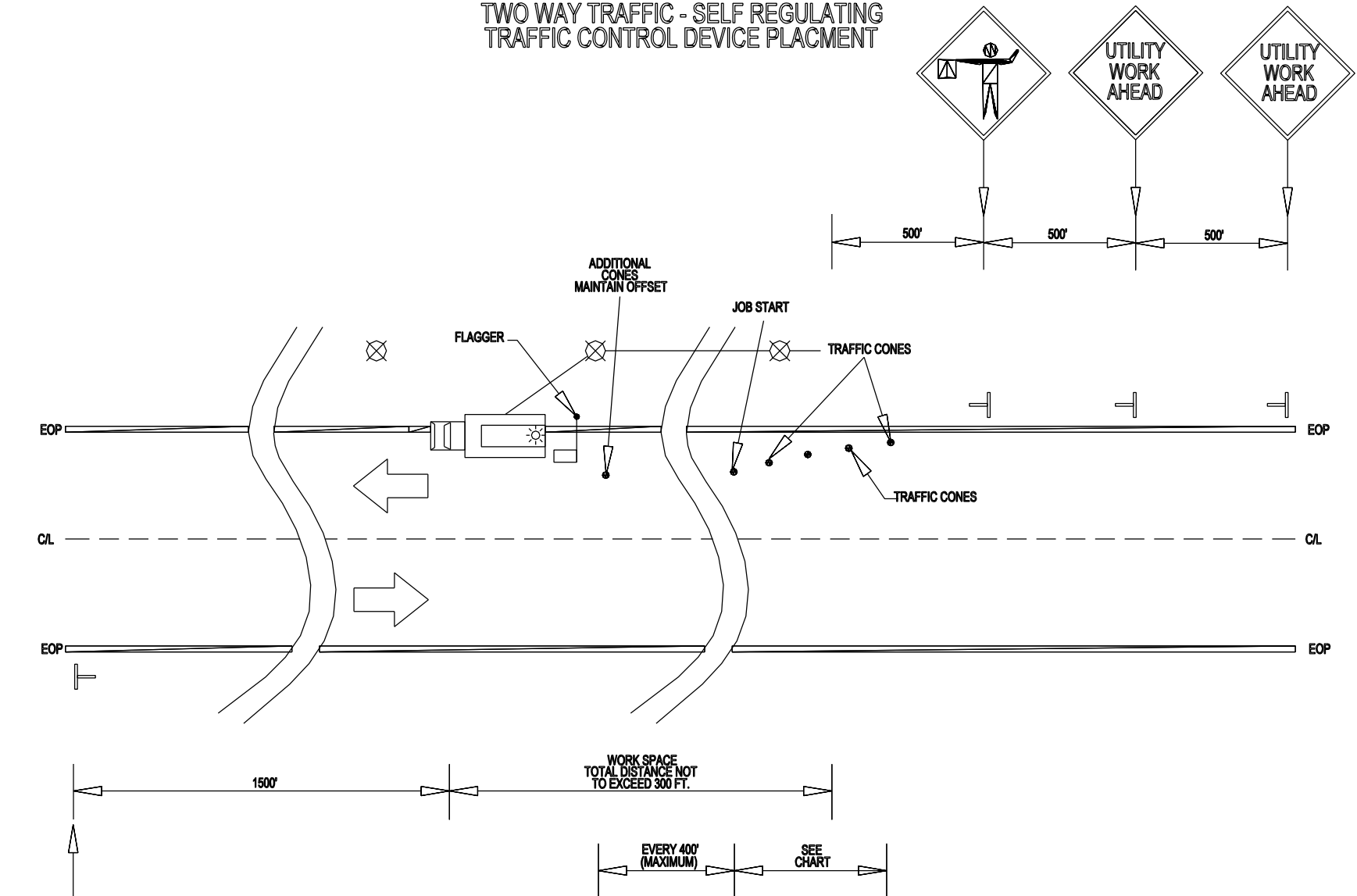
COMCAST CABLE
 5720 Asheville Hwy
 Knoxville, TN 37924

FARRAGUT CITY
 PERMIT APPLICATION





MOVING OPERATION TWO WAY TRAFFIC - SELF REGULATING TRAFFIC CONTROL DEVICE PLACEMENT



- NOTES: 1. NO PARKING OF VEHICLES/EQUIPMENT ON THE ROADWAY SHOULDER OPPOSITE OF THE WORK AREA.
 2. DIAGRAM SHOWN FOR SPEED LIMIT OF 55MPH; FOR OTHER SPEED LIMITS, SEE CHART
 3. OPEN PORTION OF AFFECTED TRAFFIC LANE MUST BE AT LEAST TEN (10) FEET IN WIDTH.
 4. WHEN AERIAL FACILITIES ARE BEING PLACED WITH EQUIPMENT PARTIALLY ON THE TRAVELED PORTION OF THE HIGHWAY PLACE WARNING DEVICES AS ILLUSTRATED
 *MAY USE "LANE NARROWS"

CONE AND WARNING SIGN SPACING AND TAPER LENGTHS					
SPEED LIMIT (MPH)	CONE SPACING (FT)	TAPER LENGTH (FT)	NUMBER OF CONES REQD	WARNING SIGN SPACING (FT)	MINIMUM SIGN SIZE
25	25	125	6	250	36"X36"
35	35	245	8	250	36"X36"
45	45	540	13	500	48"X48"
55	55	660	13	500	48"X48"
INTERSTATE, EXPRESSWAY AND LIMITED-ACCESS ROADWAYS				1000	48"X48"
				2640	48"X48"
				5280	48"X48"

REPORT TO THE MUNICIPAL PLANNING COMMISSION

Prepared By: Mark Shipley, Community Development Director

Subject: Discussion and public hearing on approval to extend fiber optic cable from the west end of Boyd Station Road along the east side of McFee Road to the entrance to the Grove at Boyd Station Subdivision (Charter, Applicant)

Introduction & Background: This project involves roughly 2,267 linear feet of fiber optic cable that will be installed using directional boring from the northwest end of Boyd Station Road and then north along the east side of McFee Road to the entrance to the Grove at Boyd Station Subdivision.

Discussion & Recommendations: As shown on the plans included in the packet, the fiber installation will involve directional boring to a depth of 48 inches. All work will be within existing right of way and will require a right of way permit through the Town's engineering department. The right of way permit will address traffic control, utility coordination, and the restoration of affected areas. The installer is Mastec and they have an existing letter of credit with the Town to ensure affected areas are properly restored.

Recommended By: Mark Shipley, Community Development Director

Proposed Motion: To approve the fiber optic cable installation subject to the plans referencing that the project is in the Town of Farragut and not Knoxville and obtaining a right of way permit through the Town's engineering department.



CHARTER/SPECTRUM
FIBER OPTIC OVERBUILD
PROJECT: OLT-MA55E
TDOT PRE-CONSTRUCTION DRAWINGS
KNOXVILLE / KNOX / TN

BYERS ENGINEERING	
PROJECT MANAGER: DAVID CANNON	
ENGINEERING FIRM: BYERS ENGINEERING	
PROJECT: 2862373 OLT: MA55E	
TOWNSHIP/COUNTY/STATE: KNOXVILLE / KNOX / TN	
DRAWING NAME: MA55E_TDOT_UG_20251804.dwg	
SHEET:	COVER
CONFIDENTIAL/PROPRIETARY	

GENERAL NOTES/ADDENDUM NOTES

1. THE CONTRACTOR IS REQUIRED TO CONTACT THE APPROPRIATE UTILITY COMPANIES INVOLVED AND MAKE SATISFACTORY ARRANGEMENTS TO ADJUST THE UTILITIES IN CONFLICT WITH THE PROPOSED WORK PRIOR TO BEGINNING CONSTRUCTION.
2. THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL ENVIRONMENTAL REGULATIONS AND SHALL OBTAIN ALL NECESSARY FEDERAL, STATE, AND LOCAL ENVIRONMENTAL PERMITS, INCLUDING BUT NOT LIMITED TO, THOSE RELATED TO SEDIMENT CONTROL, STORMWATER, WETLAND, STREAMS, ENDANGERED SPECIES, AND HISTORICAL SITES.
3. TRENCHING, BORE PITS, AND/OR OTHER EXCAVATIONS SHALL NOT BE LEFT OPEN OR UNSAFE OVERNIGHT. THE CONTRACTOR SHALL COMPLY WITH ALL OSHA REQUIREMENTS AND PROVIDE A COMPETENT PERSON ON SITE TO SUPERVISE EXCAVATION AT ALL TIMES.
4. ALL FILL AREAS/BACKFILL SHALL BE COMPACTED TO 95% DENSITY IN ACCORDANCE WITH AASHTO T99 AS MODIFIED BY THE TDOT. ALL MATERIAL TO A DEPTH OF 8 INCHES BELOW THE FINISHED SURFACE OF THE SUBGRADE SHALL BE COMPACTED TO DENSITY EQUAL TO AT LEAST 100% OF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH AASHTO T99.
5. VEGETATIVE COVER SHALL BE ESTABLISHED ON ALL DISTURBED AREAS IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE DIVISION ROADSIDE ENVIRONMENTAL ENGINEER.
6. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE N.C.D.O.T. STANDARDS AND SPECIFICATIONS MANUALS.
7. ANY DRAINAGE STRUCTURE DISTURBED OR DAMAGED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AS DIRECTED BY THE DISTRICT ENGINEER.
8. ALL DRIVEWAYS ALTERED DURING CONSTRUCTION SHALL BE RETURNED TO A STATE COMPARABLE WITH THE CONDITION OF THE DRIVEWAYS PRIOR TO CONSTRUCTION.
9. RIGHT OF WAY MONUMENTS DISTURBED DURING CONSTRUCTION SHALL BE REFERENCED BY A REGISTERED LAND SURVEYOR AND RESET AFTER CONSTRUCTION.
10. PROPER TRAFFIC CONTROL DEVICES, SIGNS, ETC., SHALL BE INSTALLED TO ENSURE PUBLIC SAFETY IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND ANY SUPPLEMENTS THERETO AND TDOT ROADWAY STANDARD DRAWINGS.
11. ALL LANES OF TRAFFIC ARE TO BE OPEN DURING THE HOURS OF 6:00AM TO 9:00AM AND FROM 4:00PM TO 7:00PM MONDAY THRU FRIDAY. TWO WAY TRAFFIC WILL BE MAINTAINED AT ALL TIMES.
12. INGRESS AND EGRESS SHALL BE MAINTAINED TO ALL BUSINESSES AND DWELLINGS AFFECTED BY THE PROJECT.
13. ANY WORK REQUIRING EQUIPMENT OR PERSONNEL WITHIN 5' OF THE EDGE OF ANY TRAVEL LANE OF AN UNDIVIDED FACILITY AND WITHIN 10' OF THE EDGE OF ANY TRAVEL LANE OF A DIVIDED FACILITY SHALL REQUIRE A LANE CLOSURE WITH APPROPRIATE TAPERS.
14. NO PARKING OR MATERIAL STORAGE SHALL BE ALLOWED ALONG THE SHOULDERS OF ANY ROADWAY.
15. DURING NON-WORKING HOURS, EQUIPMENT SHALL BE REMOVED FROM THE RIGHT OF WAY.
16. ALL ROADWAY SIGNS THAT ARE REMOVED DUE TO CONSTRUCTION SHALL BE REINSTALLED AS SOON AS POSSIBLE.
17. EXCAVATION MATERIAL SHALL NOT BE PLACED ON THE PAVEMENT. DRAINAGE STRUCTURES SHALL NOT BE BLOCKED WITH EXCAVATION MATERIALS.
18. ALL MANHOLES, SPLICE BOXES AND OTHER APPURTENANCES WITHIN THE TDOT RIGHT OF WAY SHALL BE LOCATED AT/OUTSIDE THE RIGHT OF WAY LINE. MANHOLES AND/OR VAULTS SHALL NOT BE PLACED IN THE DITCH LINE, SIDE SLOPES OF THE DITCHES OR IN THE PAVEMENT.
19. ALL MANHOLES, SPLICE BOXES, AND/OR VAULTS WITHIN TDOT RIGHT OF WAY SHALL BE OF A PRE-APPROVED DESIGN.
20. PROPOSED TRAFFIC-BEARING MANHOLES AND VALVE COVERS SHALL BE FLUSH MOUNTED AND SHALL BE OF A TDOT APPROVED DESIGN FOR HS-20 LOADING.
21. ALL WORK TO BE PERFORMED IN STRICT ACCORDANCE WITH THE APPLICABLE CODES OR REQUIREMENTS OF ANY REGULATING GOVERNMENTAL AGENCY, DUKE ENERGY, AND THE RIGHT-OF-WAY GRANTOR.
22. LOCATIONS OF SOME OF THE PHYSICAL FEATURES WERE OBTAINED FROM DATED EVALUATION MAPS OR OTHER DRAWINGS AND MAY NOT SHOWN OR DEPICTED ON THESE DRAWINGS.
23. UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE RECORDS AND FIELD OBSERVATIONS BUT ARE NOT NECESSARILY EXACT. THEREFORE, UTILITY LOCATIONS WILL BE VERIFIED AT LEAST 100 FEET IN ADVANCE OF TRENCHING OR PLOWING, SO THAT CHANGES IN CABLE PLACEMENT CAN BE MADE IN THE EVENT OF CONFLICT.
24. ALL KNOWN BURIED OBSTRUCTIONS ARE SHOWN ON THE CONSTRUCTION DRAWINGS, ANY AND ALL OTHERS ENCOUNTERED ARE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE, PROTECT, AND REPAIR IF DAMAGED.
25. ANY AND ALL IMPROVEMENTS, SUCH AS ASPHALT OR CONCRETE PAVEMENT, CURBS, GUTTERS, WALKS, DRAINAGE DITCHES, EMBANKMENTS, SHRUBS, TREES, GRASS SOD, ETC., IF DAMAGED, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND RESTORED TO ORIGINAL CONDITION.
26. EQUIPMENT TYPES SPECIFIED HEREIN (IE: "BACKHOE, "SWAMP PLOW" ETC.) ARE SUGGESTIONS ONLY AND ARE NOT INTENDED AS REQUIREMENTS. CONTRACTOR WILL BE NOTIFIED AS TO EXPECTATIONS.
27. SHORING OF BORE PITS AND TRENCHES IN ACCORDANCE WITH OSHA REGULATIONS SHALL BE MANDATORY.
28. BURIED CABLE MARKERS WILL BE PLACED AT ALL UNDERGROUND UTILITY LOCATIONS AND ALL OTHER LOCATIONS IN ACCORDANCE WITH THE CONSTRUCTION DRAWINGS AND THE OUTSIDE PLANT HANDBOOK.
29. ALL CONDUIT WILL BE SDR 11 OR AS SPECIFIED.
30. UNDERGROUND CONDUIT WILL BE PLACED AT 36" MINIMUM COVER UNLESS SPECIFIED ON THE CONSTRUCTION DRAWINGS.

ADDENDUM NOTES

BYERS ENGINEERING

PROJECT MANAGER: DAVID CANNON
ENGINEERING FIRM: BYERS ENGINEERING
PROJECT: 2862373 OLT: MA55E
TOWNSHIP/COUNTY/STATE: KNOXVILLE / KNOX / TN
DRAWING NAME: MA55E_TDOT_UG_20251804.dwg
SHEET: GENERAL NOTES
CONFIDENTIAL/PROPRIETARY

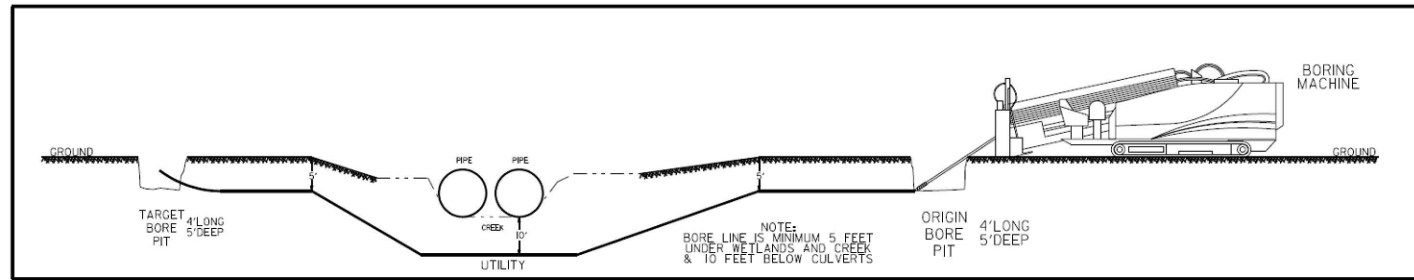
BILL OF MATERIALS

TOTAL PLOW FOOTAGE	0	FEET
TOTAL DIRECTIONAL BORE FOOTAGE	2267	FEET
TOTAL HDPE FOOTAGE	2267	FEET
TOTAL 24X36X24 VAULTS	5	QTY

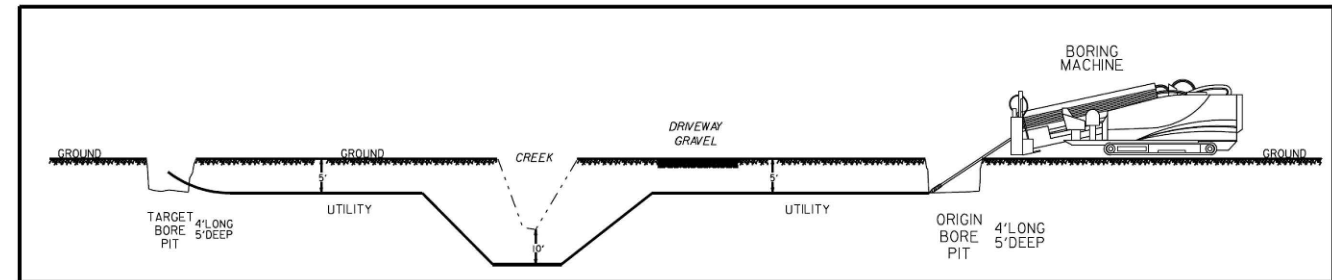
BYERS ENGINEERING	
PROJECT MANAGER: DAVID CANNON	
ENGINEERING FIRM: BYERS ENGINEERING	
PROJECT: 2862373 OLT: MA55E	
TOWNSHIP/COUNTY/STATE: KNOXVILLE / KNOX / TN	
DRAWING NAME: MA55E_TDOT_UG_20251804.dwg	
SHEET:	BILL OF MATERIALS
CONFIDENTIAL/PROPRIETARY	

CONSTRUCTION DETAILS

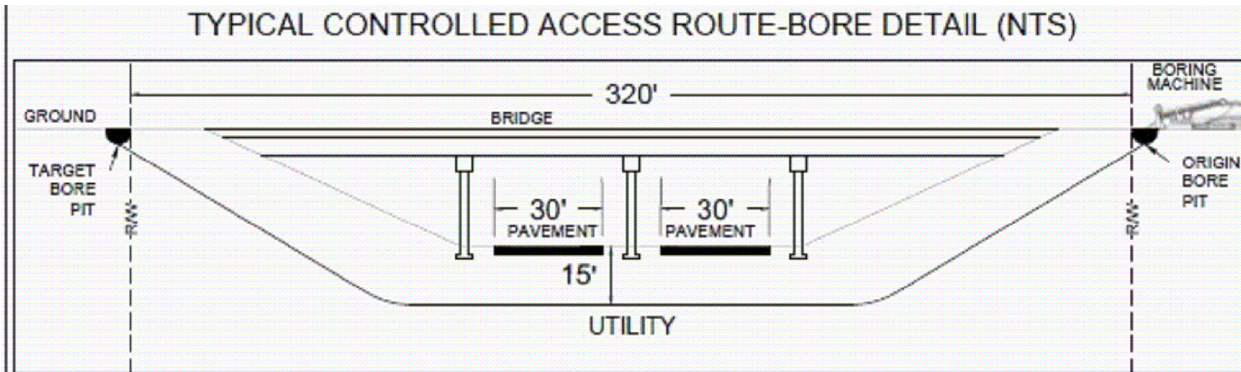
CREEK BORE DETAIL (NTS)



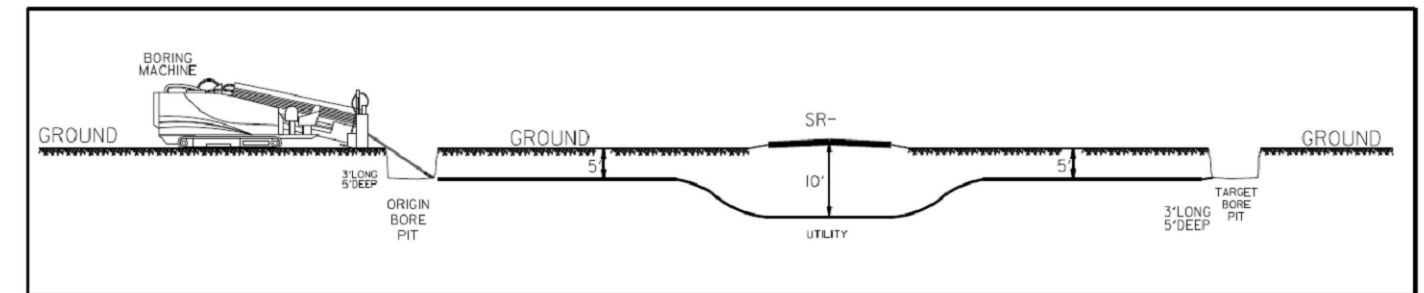
CREEK BORE- NO PIPES DETAIL (NTS)



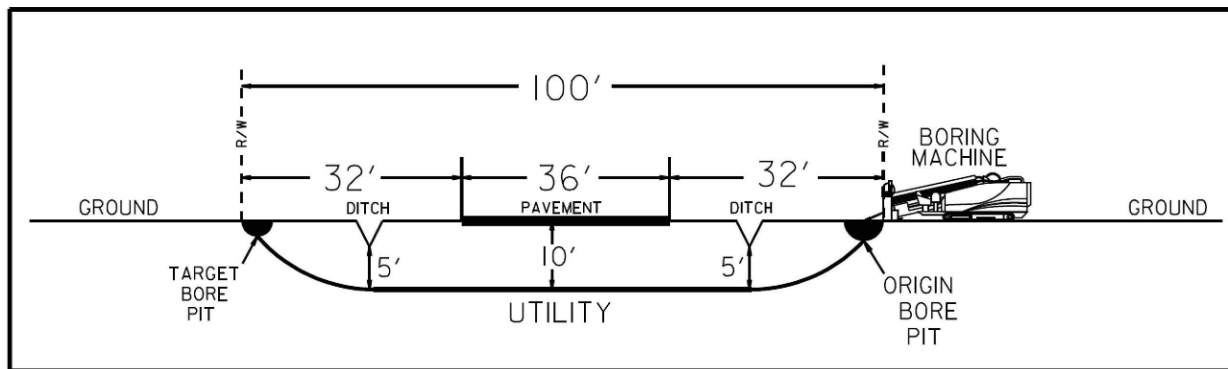
TYPICAL CONTROLLED ACCESS ROUTE-BORE DETAIL (NTS)



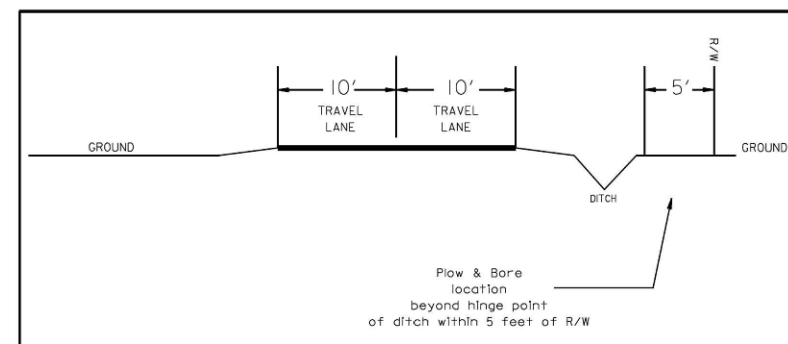
LONGER PARALLEL BORE & SR- BORE DETAIL (NTS)



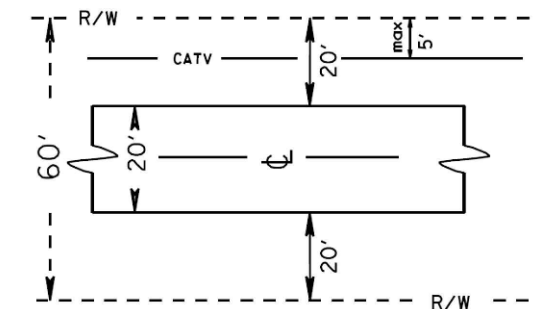
TYPICAL SR- BORE DETAIL (NTS)



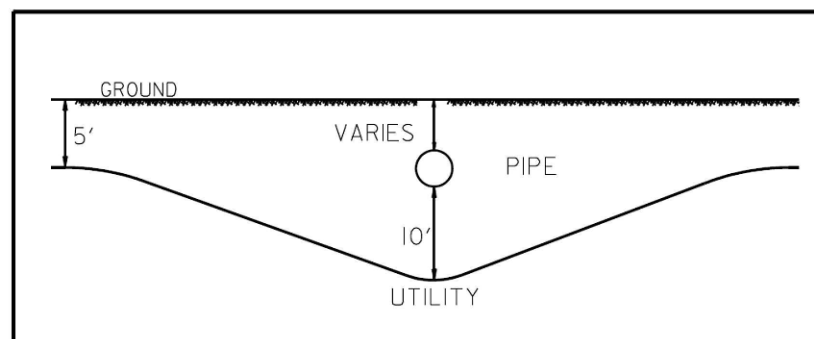
PLOW & BORE LOCATION CROSS SECTION DETAIL (NTS)



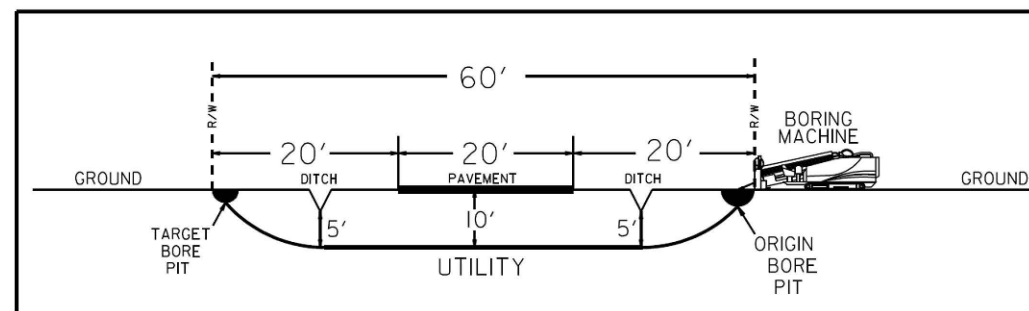
PLOW & BORE LOCATION SR- PLAN VIEW TYPICAL (NTS)



CULVERT CROSSINGS



TYPICAL SR- BORE DETAIL (NTS)

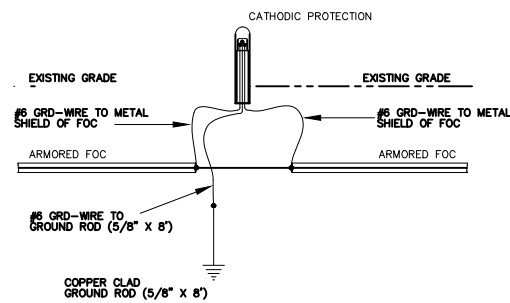


BYERS ENGINEERING	
PROJECT MANAGER:	DAVID CANNON
ENGINEERING FIRM:	BYERS ENGINEERING
PROJECT:	2862373 OLT: MA55E
TOWNSHIP/COUNTY/STATE:	KNOXVILLE / KNOX / TN
DRAWING NAME:	MA55E_TDOT_UG_20251804.dwg
SHEET:	CONSTRUCTION DETAILS
CONFIDENTIAL/PROPRIETARY	

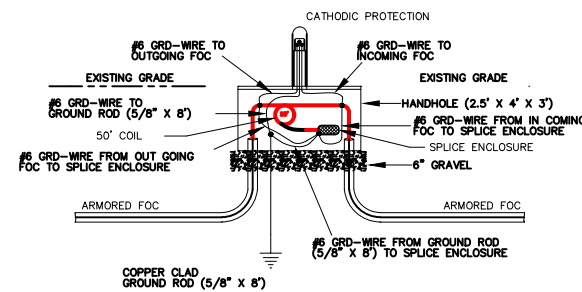
BONDING AND GROUNDING DETAILS

AERIAL NOTES:
<ol style="list-style-type: none"> 1. Establish and maintain continuity of all metallic components (strength member shield, moisture barrier, armor) across all aerial splices. 2. Bond metallic components to the support strand at all splice locations. 3. Bond support strand to pole NGNV at all riser poles, fiber loop (2,000') locations for future splice and fiber splice locations. 4. Place bonds between all metallic cable components and the support strand at least once every 1 1/4 miles (6,600 feet).
BURIED NOTES:
<ol style="list-style-type: none"> 1. Establish and maintain continuity of all metallic sheath components and strength members in the cable and across all buried splices. 2. Bond metallic sheath components and strength members to 5/8" x 8' cooper clad ground rod at all buried splices. 3. Place 5/8" x 8' cooper clad ground rods at all handholes for future splicing and grounding. 4. Place bonds between all metallic cable components and cooper clad ground rods at least once every 1 1/4 miles (6,600 feet). 5. Place Cathodic Protection Test Station at all buried fiber cable splices and when bonding fiber metallic cable components to cooper clad ground rods every 1 1/4 miles.

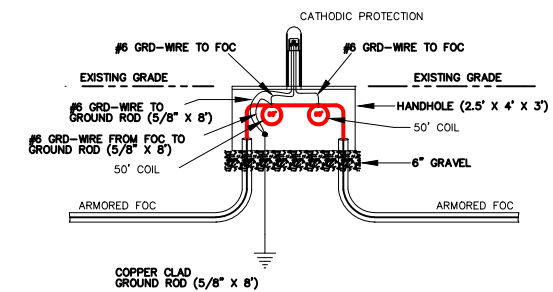
TEST STATION DETAIL SCHEMATIC



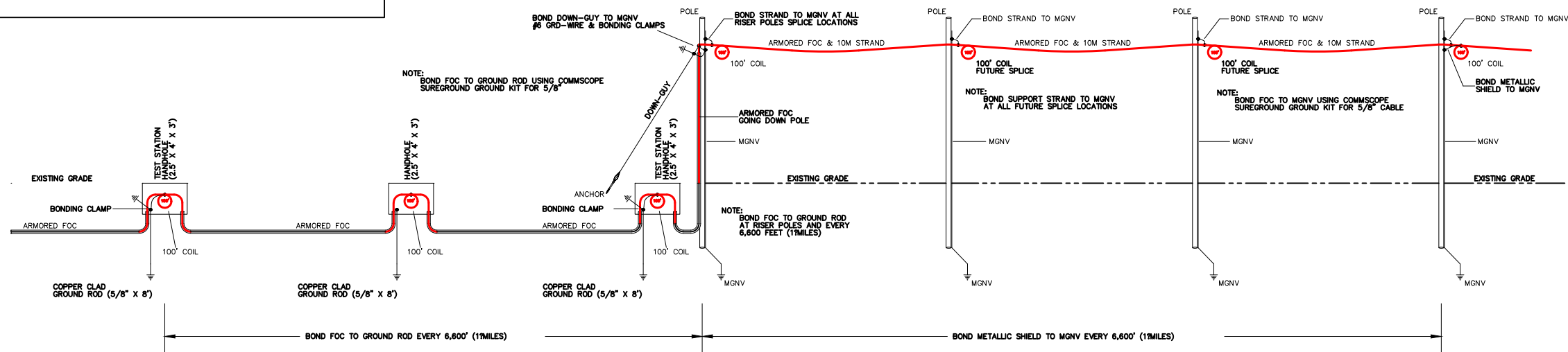
TEST STATION WITH FIELD SPICE



TEST STATION WITH COIL FOR FUTURE SPICE



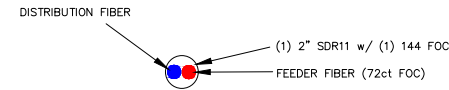
LAYOUT DETAIL



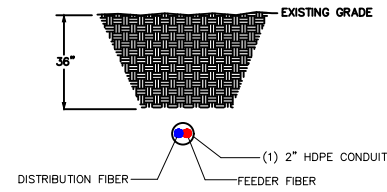
BYERS ENGINEERING	
PROJECT MANAGER:	DAVID CANNON
ENGINEERING FIRM:	BYERS ENGINEERING
PROJECT:	2862373 OLT: MA55E
TOWNSHIP/COUNTY/STATE:	KNOXVILLE / KNOX / TN
DRAWING NAME:	MA55E_TDOT_UG_20251804.dwg
SHEET:	BONDING AND GROUNDING DETAILS
CONFIDENTIAL/PROPRIETARY	

BURIED DISTRIBUTION DETAILS

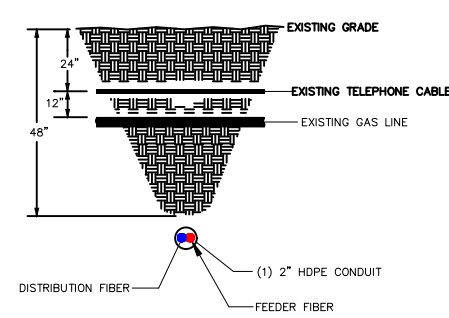
TYPICAL DETAIL "A"
CROSS SECTION OF PROPOSED HDPE



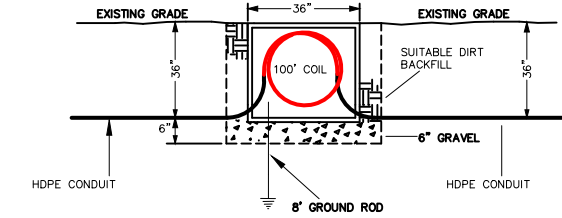
TYPICAL DETAIL "B"
DIRECTIONAL BORE CROSS SECTION FOR CONDUIT



TYPICAL DETAIL "C"
DIRECTIONAL BORE CROSS SECTION FOR CONDUIT PLACED BENEATH / PERPENDICULAR TO EXISTING UTILITIES

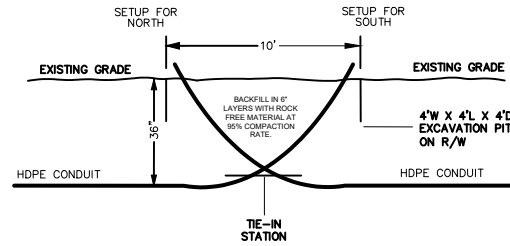


TYPICAL DETAIL "D"
HANDHOLE CONSTRUCTION DETAILS CONDUIT TO HANDHOLE PROFILE



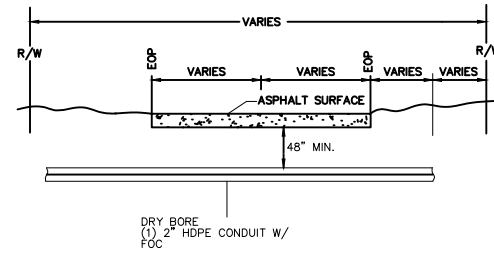
* ALL EXCAVATIONS OR TRENCHES 4 FEET OR GREATER IN DEPTH SHALL BE APPROPRIATELY BENCHED, SHORED, OR SLOPED ACCORDING TO THE PROCEDURES AND REQUIREMENTS SET FORTH IN OSHA'S EXCAVATION STANDARD, 29 CFR 1926.650, .651, and .652.

TYPICAL DETAIL "E"
DIRECTIONAL BORE TIE-IN DETAIL

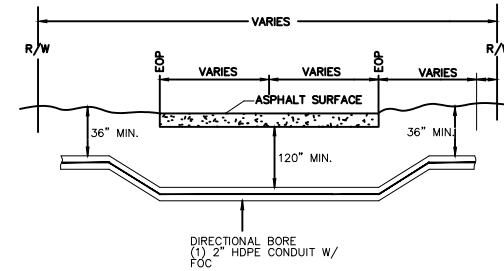


- * BORE FROM EACH DIRECTION IS RUN AT DESIGN DEPTH TO SOME POINT PAST THE INTENDED TIE-IN, THEN TURNED UP TO DAYLIGHT.
- * THE TIE-IN POINT IS EXCAVATED, PIPES CUT OFF WHERE THEY CROSS EACH OTHER AT DESIGN DEPTH, AND A COUPLER IS INSTALLED TO CONNECT THE TWO PIPES AT THE DESIGN DEPTH.
- * USE ALUMINUM HYDRAULIC PREP - ON BARBED RING COUPLER TO CONNECT PIPE
- * ALL EXCAVATIONS OR TRENCHES 4 FEET OR GREATER IN DEPTH SHALL BE APPROPRIATELY BENCHED, SHORED, OR SLOPED ACCORDING TO THE PROCEDURES AND REQUIREMENTS SET FORTH IN OSHA'S EXCAVATION STANDARD, 29 CFR 1926.650, .651, and .652.

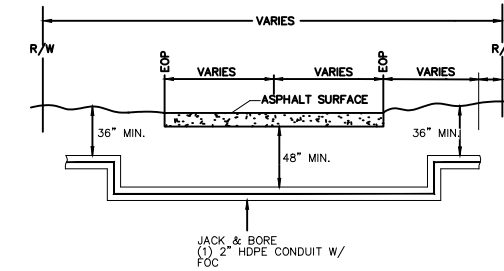
TYPICAL DETAIL "F"
CROSSING SECONDARY ROADWAY AND DRIVEWAY



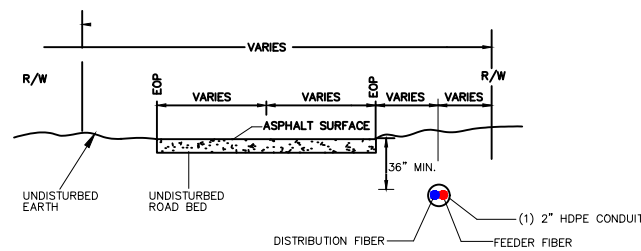
TYPICAL DETAIL "G"
CROSSING PRIMARY ROADWAY



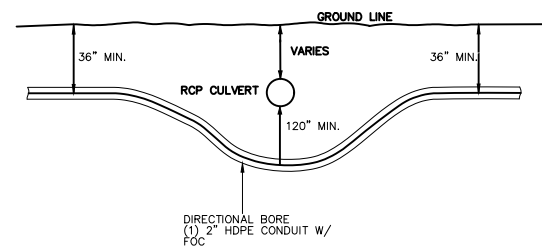
TYPICAL DETAIL "H"
CROSSING PRIMARY ROADWAY



TYPICAL DETAIL "I"
PARALLEL CONDUIT DETAIL FOR NCDOT RIGHT OF WAY



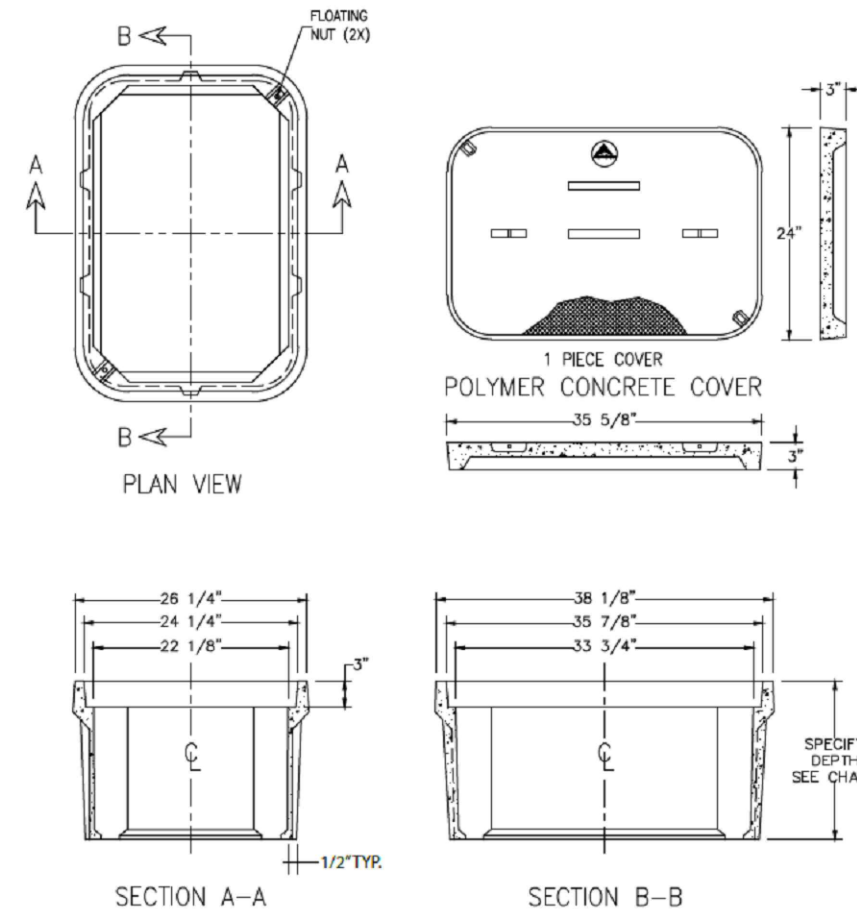
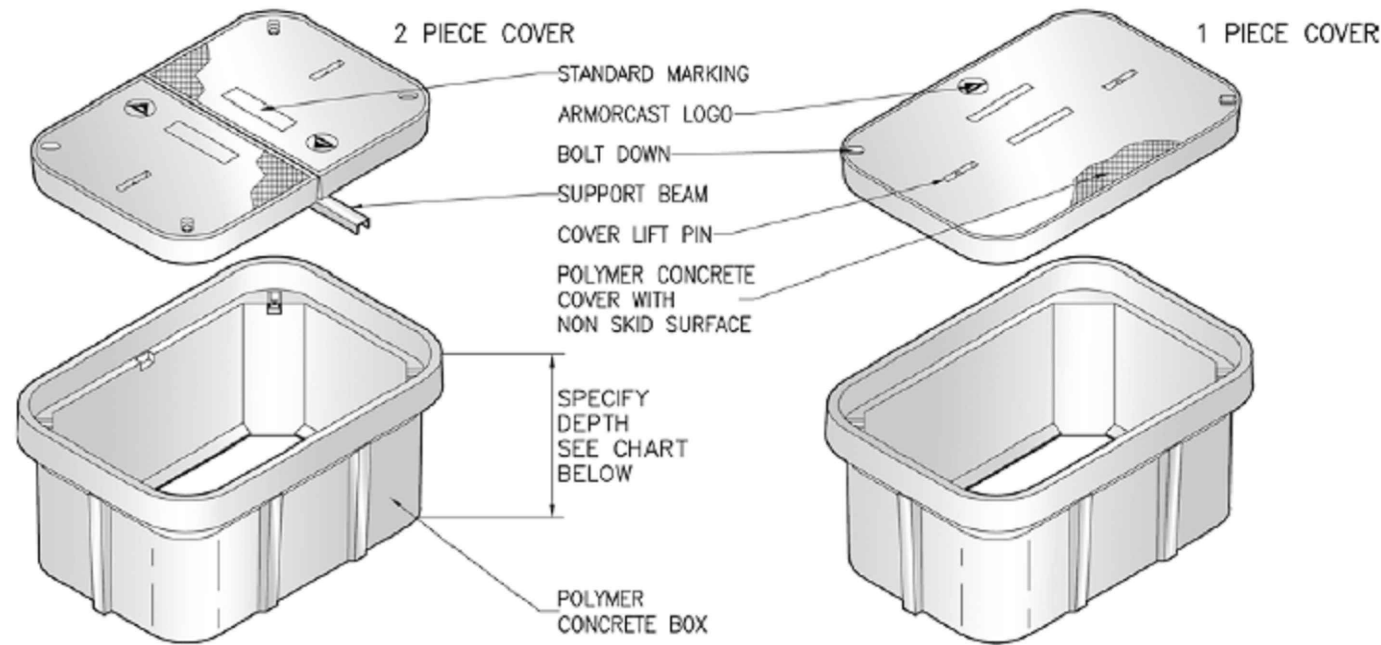
TYPICAL DETAIL "J"
CULVERT CROSSING DETAIL



BYERS ENGINEERING

PROJECT MANAGER:	DAVID CANNON
ENGINEERING FIRM:	BYERS ENGINEERING
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SHEET:	BURIED DISTRIBUTION DETAILS
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VAULT SPECIFICATIONS



24"W x 36"L BOX ASSEMBLIES Specify Depth Below

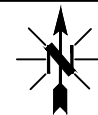
DESCRIPTION	NOMINAL SIZE W x L x D	LOAD RATING	ANSI TIER	PART NUMBER	APPROX. WEIGHT	PALLET QTY.
Box & Cover Assembly	24" x 36" x 12"	10K	8	A6001974APCX12	195 lbs.	8
	24" x 36" x 12"	20K	15 / 22	A6001974TAPCX12 / A6001974HDAPCX12	257 lbs.	8
Box & Cover Assembly	24" x 36" x 18"	10K	8	A6001974APCX18	231 lbs.	4
	24" x 36" x 18"	20K	15 / 22	A6001974TAPCX18 / A6001974HDAPCX18	293 lbs.	4
Box & Cover Assembly	24" x 36" x 24"	10K	8	A6001974APCX24	277 lbs.	2
	24" x 36" x 24"	20K	15 / 22	A6001974TAPCX24 / A6001974HDAPCX24	339 lbs.	2
Box & Cover Assembly	24" x 36" x 30"	10K	8	A6001974APCX30	302 lbs.	2
	24" x 36" x 30"	20K	15 / 22	A6001974TAPCX30 / A6001974HDAPCX30	364 lbs.	2
Box & Cover Assembly	24" x 36" x 36"	10K	8	A6001974APCX36	325 lbs.	2
	24" x 36" x 36"	20K	15 / 22	A6001974TAPCX36 / A6001974HDAPCX36	387 lbs.	2
Box & Cover Assembly	24" x 36" x 42"	10K	8	A6001974APCX42	369 lbs.	2
	24" x 36" x 42"	20K	15 / 22	A6001974TAPCX42 / A6001974HDAPCX42	431 lbs.	2

COMPONENTS

DESCRIPTION	NOMINAL SIZE W x L x D	LOAD RATING	ANSI TIER	PART NUMBER	APPROX. WEIGHT	PALLET QTY.
Replacement Covers	24" x 36" - 1 pc.	10K	8	A6001975	95 lbs.	20
	24" x 36" - 1 pc.	20K	15 / 22	A6001975T / A6001975HD	157 lbs.	20
Replacement Covers	24" x 36" - 2 pc.	10K	8	A6001978	54 lbs.	20
	24" x 36" - 2 pc.	20K	15 / 22	A6001978T / A6001978HD (2 pc. Req.)	54 lbs.	20
Replacement Boxes	24" x 36" x 12"	10K / 20K	22	A6001974PCX12	100 lbs.	8
	24" x 36" x 18"	10K / 20K	22	A6001974PCX18	136 lbs.	4
	24" x 36" x 24"	10K / 20K	22	A6001974PCX24	182 lbs.	2
	24" x 36" x 30"	10K / 20K	22	A6001974PCX30	207 lbs.	2
	24" x 36" x 36"	10K / 20K	22	A6001974PCX36	230 lbs.	2
	24" x 36" x 42"	10K / 20K	22	A6001974PCX42	274 lbs.	2

BYERS ENGINEERING	
PROJECT MANAGER: DAVID CANNON	
ENGINEERING FIRM: BYERS ENGINEERING	
PROJECT: 2862373 OLT: MA55E	
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KNOXVILLE / KNOX / TN	
DRAWING NAME: MA55E_TDOT_UG_20251804.dwg	
SHEET:	VAULT SPECIFICATIONS
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VICINITY MAP



BYERS ENGINEERING

PROJECT MANAGER: DAVID CANNON	
ENGINEERING FIRM: BYERS ENGINEERING	
PROJECT: 2862373 OLT: MA55E	
TOWNSHIP/COUNTY/STATE: KNOXVILLE / KNOX / TN	
DRAWING NAME: MA55E_TDOT_UG_20251804.dwg	
SHEET:	VICINITY MAP
CONFIDENTIAL/PROPRIETARY	

LEGEND

SYMBOLS

- | | | | |
|---|--------------------------|---|---|
| ⊙ | SEWER | ▨ | BORE PIT |
| Ⓜ | MANHOLE | □ | PROPOSED HH |
| Ⓜ | WATER VAULT | □ | EXISTING HH** |
| Ⓜ | TELCO PED | ↘ | DOWN GUY & ANCHOR
1-10M 12/27
3/4 |
| Ⓜ | ELECTRIC VAULT/BOX | ↘ | SIDEWALK GUY & ANCHOR
1-10M 12/25
3/4 |
| Ⓜ | FIRE HYDRANT | ● | POLE |
| □ | XING SIGNAL | ⊕ | AERIAL GROUND |
| ▬ | DRAIN | ▲ | PROPOSED SPLICE ARROW |
| Ⓜ | UNKNOWN MH | ↓ | MARKER POST |
| ⊙ | TREE | ⊙ | BURIED SLACK LOOP
100' |
| ▬ | CULVERT | ∞ | AERIAL SLACK LOOP
100' |
| ⊗ | LIGHT POLE | | |
| Ⓜ | EXISTING HH** | | |
| Ⓜ | SPAN MEASUREMENT
100' | | |
| Ⓜ | CABINET | | |
| Ⓜ | WATER METER/VALVE | | |
| Ⓜ | GAS METER/VALVE | | |

DRIVEWAY



BUILDING



LINESTYLES

- | | |
|-------------------|-----------------|
| — A — | AERIAL FOC |
| — B — | BURIED FOC |
| - · - · - | STRAND |
| - · - · - | OVERHEAD GUY |
| — | PLOW |
| - - - - - | FUTURE FEED FOC |
| — R/W — | RIGHT OF WAY |
| — □ — □ — □ — □ — | GUARD RAIL |
| — x — x — | FENCE |
| — ○ — ○ — ○ — ○ — | WALL |
| - - - - - | COUNTY BOUNDARY |
| | RR TRACKS |
| ○ ○ | OVERLASH |

- | |
|---------|
| — G — |
| — W — |
| — T — |
| — E — |
| — SEW — |
| — TV — |
| — STM — |
| — OIL — |

NOTES/LABELS

OWNER TAG (CLASS-SIZE)
 PWR 00'0"
 CATV 00'0"
 FOC 00'0"
 UNK COM 00'0"

XX' EOP
 TIER 22 VAULT
 (24X36X24)

BORE PIT
 (4X4X4)

ROAD NAME (PRIVATE)
 ROAD NAME (STATE #)
 ROAD NAME (CITY)

← TO C.O.

DIRECTIONAL BORE XXX'
 (1) 2" HDPE EQUIPPED
 W/ (1) DIST. FOC 15' BELOW
 GROUND 10' BELOW PIPES

PLOW XXX' (1) 2" HDPE
 EQUIPPED W/ (1) DIST.
 FOC 36" BELOW GROUND

XX.XXXX
 -XX.XXXX

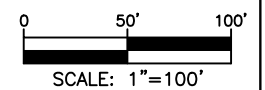
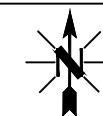
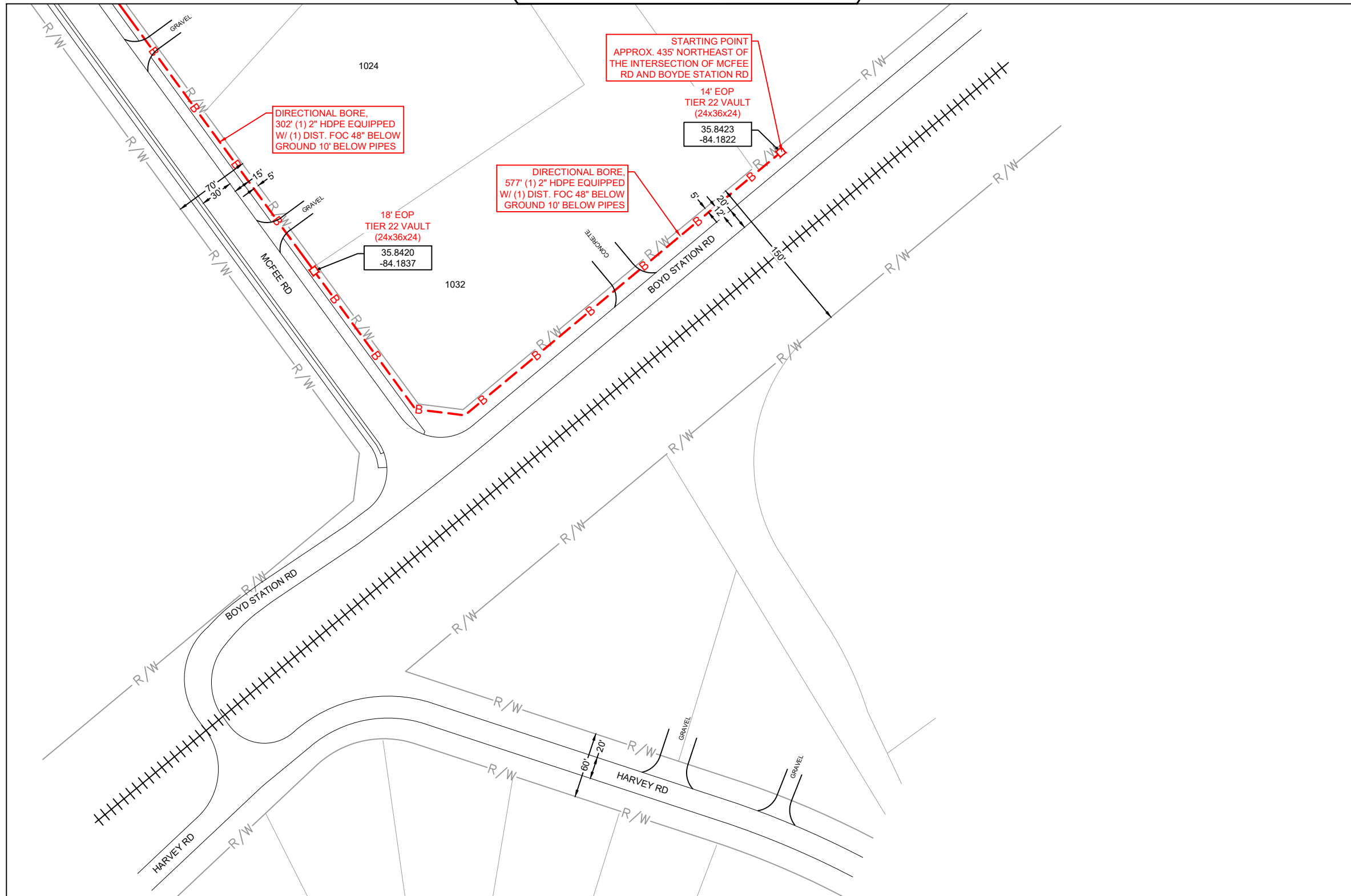


BYERS ENGINEERING

PROJECT MANAGER: DAVID CANNON
 ENGINEERING FIRM: BYERS ENGINEERING
 PROJECT: 2862373 OLT: MA55E
 TOWNSHIP/COUNTY/STATE:
 KNOXVILLE / KNOX / TN
 DRAWING NAME: MA55E_TDOT_UG_20251804.dwg
 SHEET: LEGEND
 CONFIDENTIAL/PROPRIETARY

CONSTRUCTION NOTES

SEE SHEET 2



BYERS ENGINEERING

PROJECT MANAGER: DAVID CANNON
 ENGINEERING FIRM: BYERS ENGINEERING
 PROJECT: 2862373 OLT: MA55E
 TOWNSHIP/COUNTY/STATE:
 KNOXVILLE / KNOX / TN
 DRAWING NAME: MA55E_TDOT_UG_20251804.dwg

SHEET: 1 OF 3

CONFIDENTIAL/PROPRIETARY

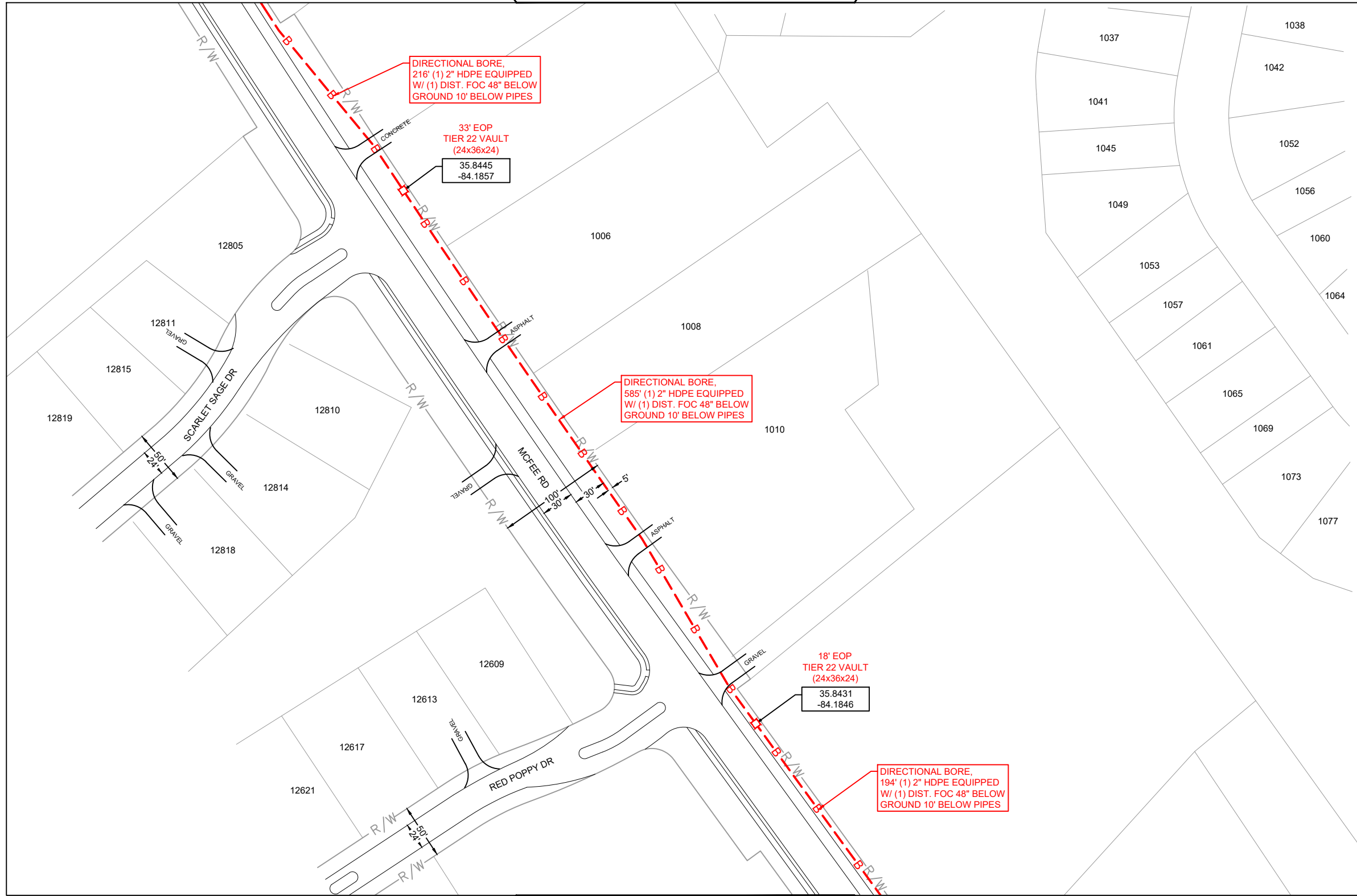


CALL NORTH CAROLINA
 ONE CALL
 (800) 632-4949
 CALL 3 WORKING DAYS
 BEFORE YOU DIG!

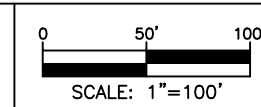


CONSTRUCTION NOTES

SEE SHEET 3



SEE SHEET 1



BYERS ENGINEERING

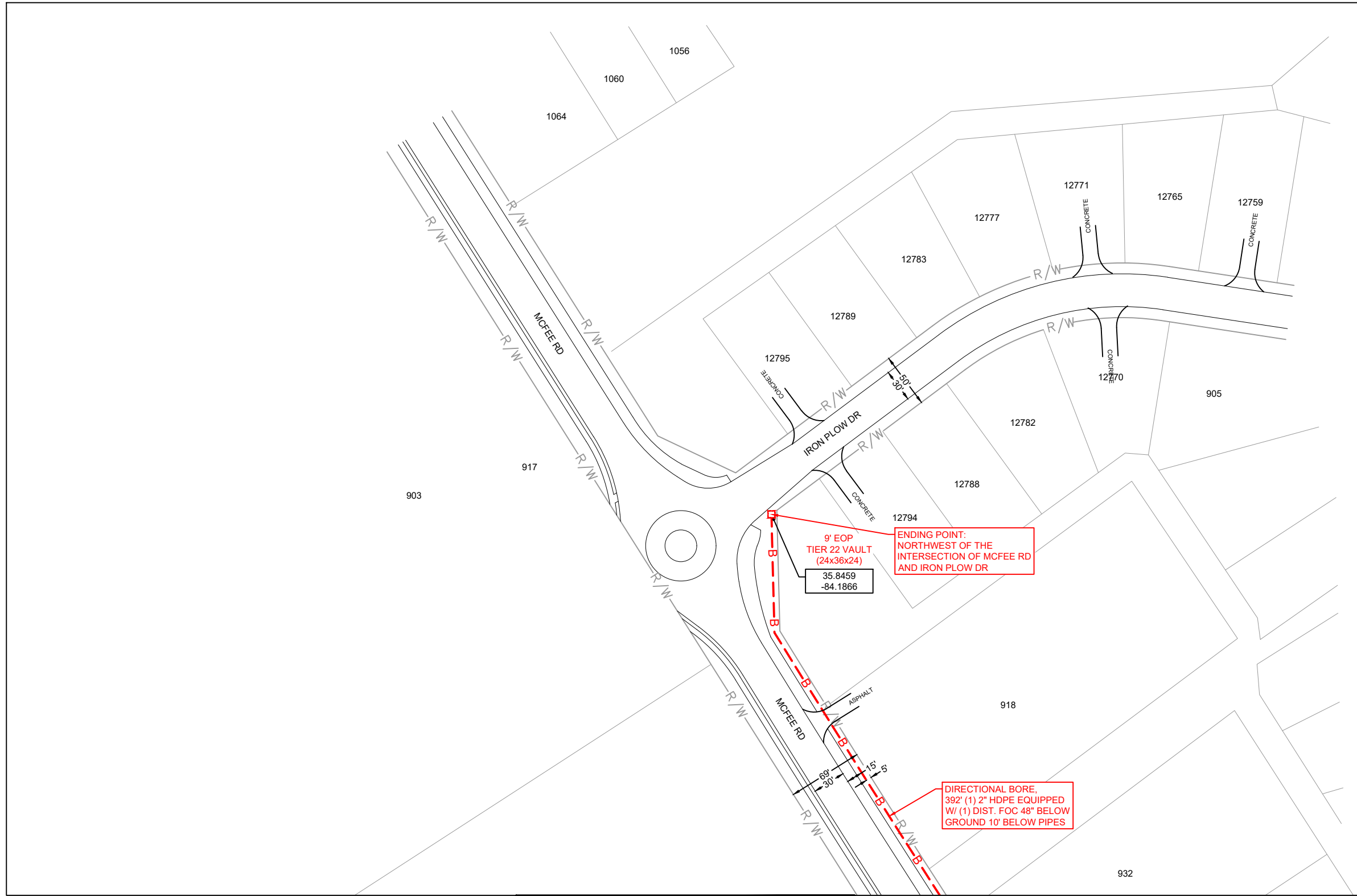
PROJECT MANAGER: DAVID CANNON
ENGINEERING FIRM: BYERS ENGINEERING
PROJECT: 2862373 OLT: MA55E
TOWNSHIP/COUNTY/STATE: KNOXVILLE / KNOX / TN
DRAWING NAME: MA55E_TDOT_UG_20251804.dwg
SHEET: 2 OF 3
CONFIDENTIAL/PROPRIETARY



CALL NORTH CAROLINA
ONE CALL
(800) 632-4949
CALL 3 WORKING DAYS
BEFORE YOU DIG!



CONSTRUCTION NOTES

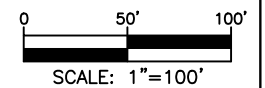
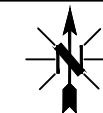


9' EOP
TIER 22 VAULT
(24x36x24)
35.8459
-84.1866

ENDING POINT:
NORTHWEST OF THE
INTERSECTION OF MCFEE RD
AND IRON PLOW DR

DIRECTIONAL BORE,
392' (1) 2" HDPE EQUIPPED
W/ (1) DIST. FOC 48" BELOW
GROUND 10' BELOW PIPES

SEE SHEET 2



BYERS ENGINEERING

PROJECT MANAGER: DAVID CANNON
 ENGINEERING FIRM: BYERS ENGINEERING
 PROJECT: 2862373 OLT: MA55E
 TOWNSHIP/COUNTY/STATE:
 KNOXVILLE / KNOX / TN
 DRAWING NAME: MA55E_TDOT_UG_20251804.dwg

SHEET: 3 OF 3

CONFIDENTIAL/PROPRIETARY



CALL NORTH CAROLINA
 ONE CALL
 (800) 632-4949
 CALL 3 WORKING DAYS
 BEFORE YOU DIG!



REPORT TO THE MUNICIPAL PLANNING COMMISSION

Prepared By: Mark Shipley, Community Development Director

Subject: Discussion and public hearing on approval to extend four inch gas main along the north side of Allen Kirby Road and extend a two inch gas main across Allen Kirby Road to service 12960 Allen Kirby Road (KUB, Applicant)

Introduction & Background: This project involves the installation of approximately 2,400 linear feet of four inch gas main from the northwest intersection of McFee Road and Allen Kirby Road along the north side of Allen Kirby Road and then a proposed 100 linear foot section of two-inch gas main under Allen Kirby Road to service the property at 12960 Allen Kirby Road.

Discussion & Recommendations: The project will be conducted by KUB and will require coordination with Colonial Pipeline since the installation would be near the outer portion of the easement along Allen Kirby Road. A right of way permit through the Town's engineering department is required to coordinate traffic control and ensure the restoration of any affected areas.

Recommended By: Mark Shipley, Community Development Director

Proposed Motion: To approve the gas extension project subject to obtaining a right of way permit through the Town's engineering department to coordinate utilities and traffic control and ensure the restoration of any affected areas.



Knoxville Utilities Board

PROJECT/JOB REQUEST FORM

GAS Division

Project Number: P0013063

Project Name: 12960 Allen Kirby Rd

Location: 12960 Allen Kirby Rd

Description: 2382 LF of 4" MDPE & 100 LF of 2" MDPE

Estimated By: Preston Teague Employee #: 6307 Department: 72

Start Date: End Date:

APPROVALS

Timothy Kelly (Jun 15 2025 07:51 EDT)

[Signature]

Date: 10/06/2025

Division Approval By: [Signature]

Date: 10/06/2025

WORK ORDER INFORMATION

Job Number: J0023760 Estimate #: Retirements(Y/N): N

Account Code:	2	107	116	91
	Division	Control Acct.	Budget Item	Dept.

Completed By: Dept.: Complete Date:

PLANT ADDITIONS

Asset/FERC Account	02376000								TOTAL COST
Property Unit/Sub Asset	376000006								
Quantity									
Labor (inspection)	\$ 20,311.20								\$ 20,311.20
Materials									\$ -
Equipment	\$ 30,466.80								\$ 30,466.80
Other									\$ -
TOTAL	\$ 50,778								\$ 50,778

Percent	100.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	100%
---------	--------	------	------	------	------	------	------	------

City/County Name: Knox Engineering Expenses: Estimated Manhours:

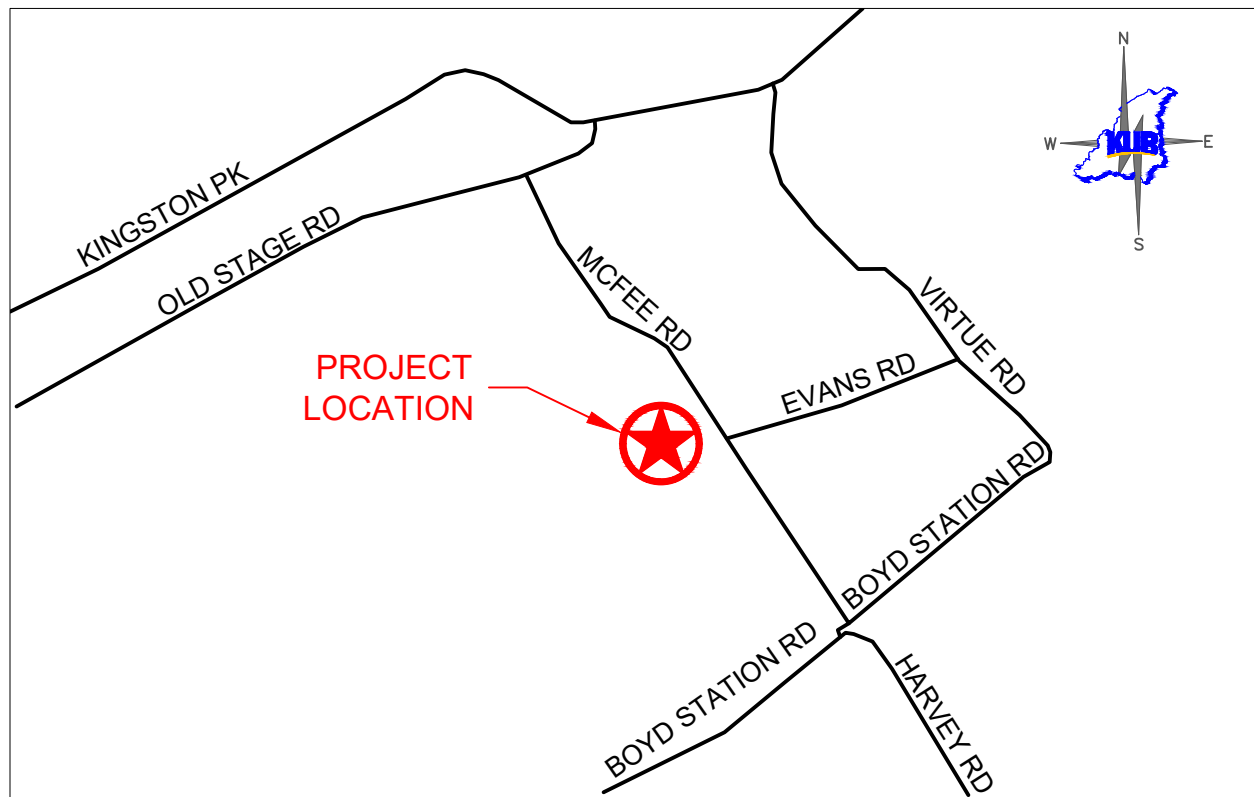
Specific Location ID: CIAC(Y/N): CIAC:

B-

KNOXVILLE UTILITIES BOARD

ALLEN KIRBY RD 12960

GAS MAIN PROJECT



LOCATION/VICINITY MAP (NTS)

DRAWING INDEX

SHEET NO.	TITLE
1	COVER SHEET
2	GENERAL NOTES AND LEGEND
3	KEY SHEET
4	PLAN VIEW 1
5	PLAN VIEW 2
6	PLAN VIEW 3
7	EROSION AND SEDIMENT CONTROL DETAILS
8	PAVEMENT REPAIR DETAILS



Know what's below.
Call before you dig.

REV.	DESCRIPTION	DRAWN BY:	CHK.:	APPV.:	EST#:	JOB#:	MAXIMO#:	W.F.P.I#:	DATE:
5									
4									
3									
2									
1									
0	FIRST ISSUE OF DRAWING	6307(PST)	7039(TJK)	7039(TJK)		J0023760		2385327392	6/5/2025

Knoxville Utilities Board
ENGINEERING
12960 Allen Kirby Rd
Gas Main Extension
2,382 LF of 4" MDPE and 100 LF of 2" MDPE
COVER SHEET

SCALE: N.T.S. GRID/CLT:



SHEET 1 of 8

B-

GENERAL NOTES

- SUPPLEMENTAL BASEMAPPING INFORMATION WAS TAKEN FROM THE KNOXVILLE GEOGRAPHIC INFORMATION SYSTEM (KGIS) AS PROVIDED BY KUB.
- UTILITIES SHOWN WERE LOCATED FROM ACTUAL FIELD EVIDENCE, EXISTING UTILITY AGENCY RECORDS AND ANY OTHER AVAILABLE EVIDENCE. OTHER UTILITIES MAY EXIST AND NOT BE SHOWN OR VARY FROM WHERE SHOWN. NO GUARANTEE IS EXPRESSED OR IMPLIED AS TO THE ACTUAL LOCATION OF ANY UTILITIES SHOWN, WHICH ARE NOT VISIBLE FROM THE SURFACE.
- LOCATION OF EXISTING UTILITIES, PIPING AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND ARE NOT NECESSARILY REPRESENTATIVE OF ALL EXISTING FACILITIES. IT IS THE INSTALLER'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION OF EXISTING UTILITIES, PIPING, AND UNDERGROUND STRUCTURES THAT MAY INTERFERE WITH THE PROPOSED WORK BY POTHOLING AND CONTACTING THE UTILITY COMPANIES INVOLVED.
- PROVIDE ALL NECESSARY PROTECTIVE MEASURES TO SAFEGUARD THE EXISTING UTILITIES FROM DAMAGE DURING THE CONSTRUCTION OF THIS PROJECT. FURNISH ANY SPECIAL EQUIPMENT REQUIRED TO WORK OVER AND AROUND THE UTILITIES.
- INSTALLER TO COORDINATE DISRUPTION/REMOVAL OF ANY LANDSCAPING, SPRINKLER SYSTEMS, FENCES, SHEDS, GARDENS, RETAINING WALLS, ORNAMENTALS, ETC. WITH THE PROJECT KUB CUSTOMER SUPPORT REPRESENTATIVE
- EXISTING AND PROPOSED EASEMENTS ON THESE DRAWINGS ARE SHOWN FOR GENERAL INFORMATION ONLY AND ARE APPROXIMATE. INSTALLER TO REFER TO ACTUAL EXECUTED EASEMENT DOCUMENTS FOR PROPERTY ACCESS AND USE FOR CONSTRUCTION PURPOSES.
- INSTALLER SHALL MAINTAIN ACCESS TO ALL PROPERTIES DURING CONSTRUCTION.
- 24-HOUR EMERGENCY CONTACT: KUB SYSTEM OPERATIONS 524-2911
- ALL ROAD CROSSINGS TO BE INSTALLED BY HDD UNLESS OTHERWISE NOTED ON PROJECT DRAWINGS.
- ANTICIPATED OPERATING PRESSURE 35-45 PSIG

PROJECT MANAGER:

CONTACT: Joe Brockbank
 OFFICE PHONE NO.: (865) 558-2342
 MOBILE PHONE NO.: (865) 356-1130
 KNOXVILLE UTILITIES BOARD
 4505 MIDDLEBROOK PIKE
 KNOXVILLE, TENNESSEE 37921
 EMAIL ADDRESS: Joe.Brockbank@kub.org

UTILITY OWNERS:

WATER

FIRST UTILITY DISTRICT
 122 DURWOOD ROAD
 KNOXVILLE, TN 37922
 (865) 966-9741

SEWER

FIRST UTILITY DISTRICT
 122 DURWOOD ROAD
 KNOXVILLE, TN 37922
 (865) 966-9741

ELECTRIC

LENOIR CITY UTILITIES BOARD
 7698 CREEKWOOD PARK BLVD
 LENOIR CITY, TN 37772
 (865) 986-6591

ABBREVIATIONS:

- | | |
|------|-----------------------------|
| DI | DUCTILE IRON |
| CI | CAST IRON |
| AC | ASBESTOS CEMENT |
| HDPE | HIGH DENSITY POLYETHYLENE |
| MDPE | MEDIUM DENSITY POLYETHYLENE |
| PL | PLASTIC |
| ST | STEEL |
| EOP | EDGE OF PAVEMENT |
| PE | POLYETHYLENE |


LEGEND:

- | | |
|--|---|
| | EXISTING BUILDING |
| | KUB "HEAT ONLY" GAS CUSTOMER |
| | RELOCATE/REPLACE RISER |
| | EXISTING ASPHALT PAVEMENT |
| | EXISTING FENCE |
| | EXISTING STORM PIPE |
| | EXISTING CREEK/DITCH |
| | EXISTING R.O.W./PROPERTY LINE (APPROXIMATE FROM KGIS) |
| | PROPOSED EASEMENT |
| | EXISTING GAS MAIN (TO BE RETIRED) |
| | EXISTING GAS MAIN (TO REMAIN) |
| | EXISTING HIGH PRESSURE GAS MAIN (MAOP ABOVE 60 PSIG) |
| | PROPOSED GAS MAIN |
| | GAS REGULATOR STATION |
| | EXISTING GAS VALVE |
| | PROPOSED GAS VALVE |
| | EXISTING TEST STATION |
| | PROPOSED TEST STATION |
| | FUD EXISTING WATER LINE |
| | FUD EXISTING SANITARY SEWER LINE |
| | LCUB EXISTING OVERHEAD UTILITY LINE |

REV.	DESCRIPTION	DRAWN BY:	CHK.:	APPV.:	EST#:	JOB#:	MAXIMO#:	W.F.P.I#:	DATE:
5									
4									
3									
2									
1									
0	FIRST ISSUE OF DRAWING	6307(PST)	7039(TJK)	7039(TJK)		J0023760		2385327392	6/5/2025

Knoxville Utilities Board
 ENGINEERING
 12960 Allen Kirby Rd
 Gas Main Extension
 2,382 LF of 4" MDPE and 100 LF of 2" MDPE
 GENERAL NOTES AND LEGEND

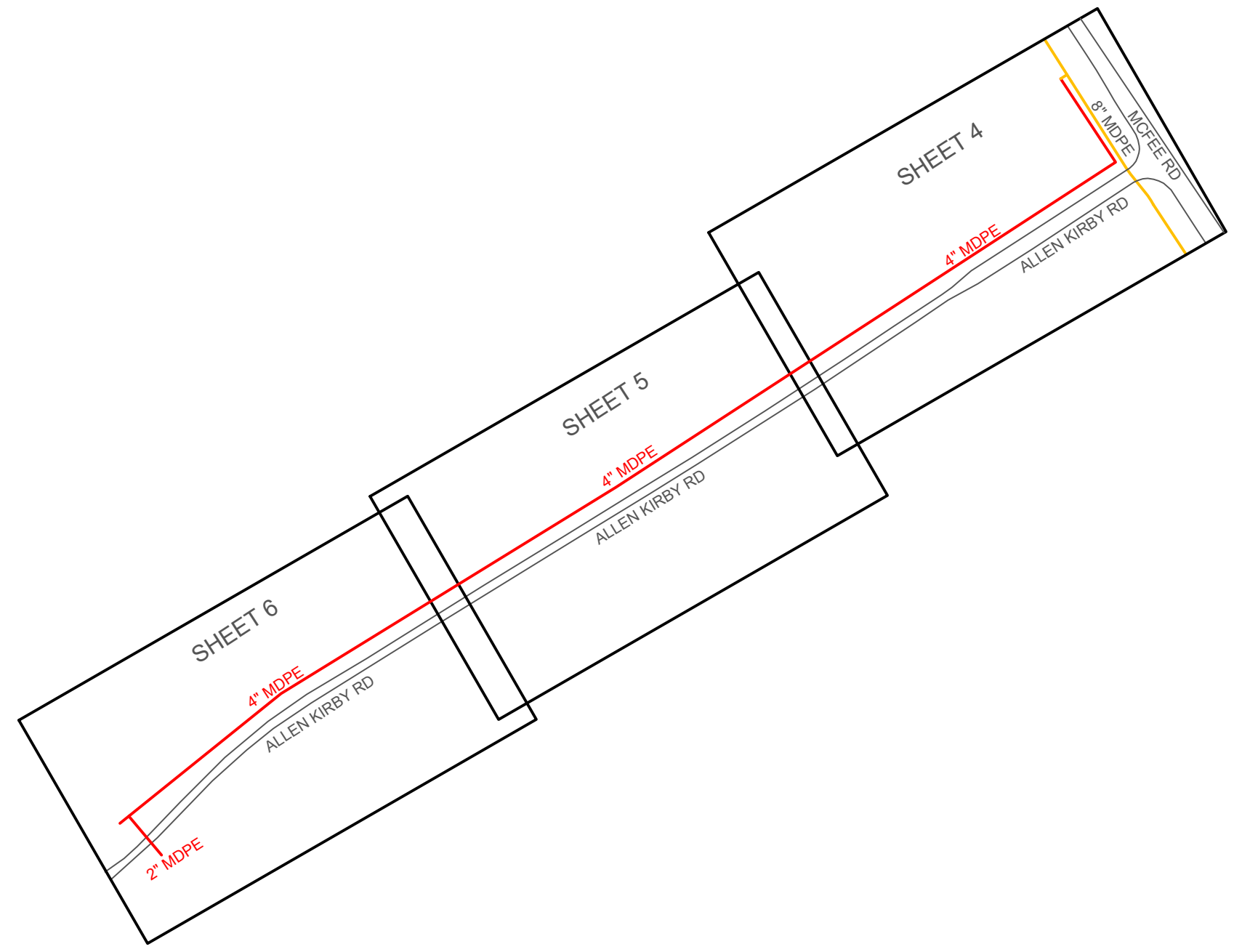
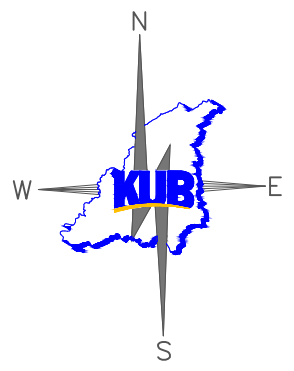
SCALE: N.T.S. GRID/CLT:



SHEET 2 of 8

B


B-



REV.	DESCRIPTION	DRAWN BY:	CHK.:	APPV.:	EST#:	JOB#:	MAXIMO#:	W.F.P.I#:	DATE:
5									
4									
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1									
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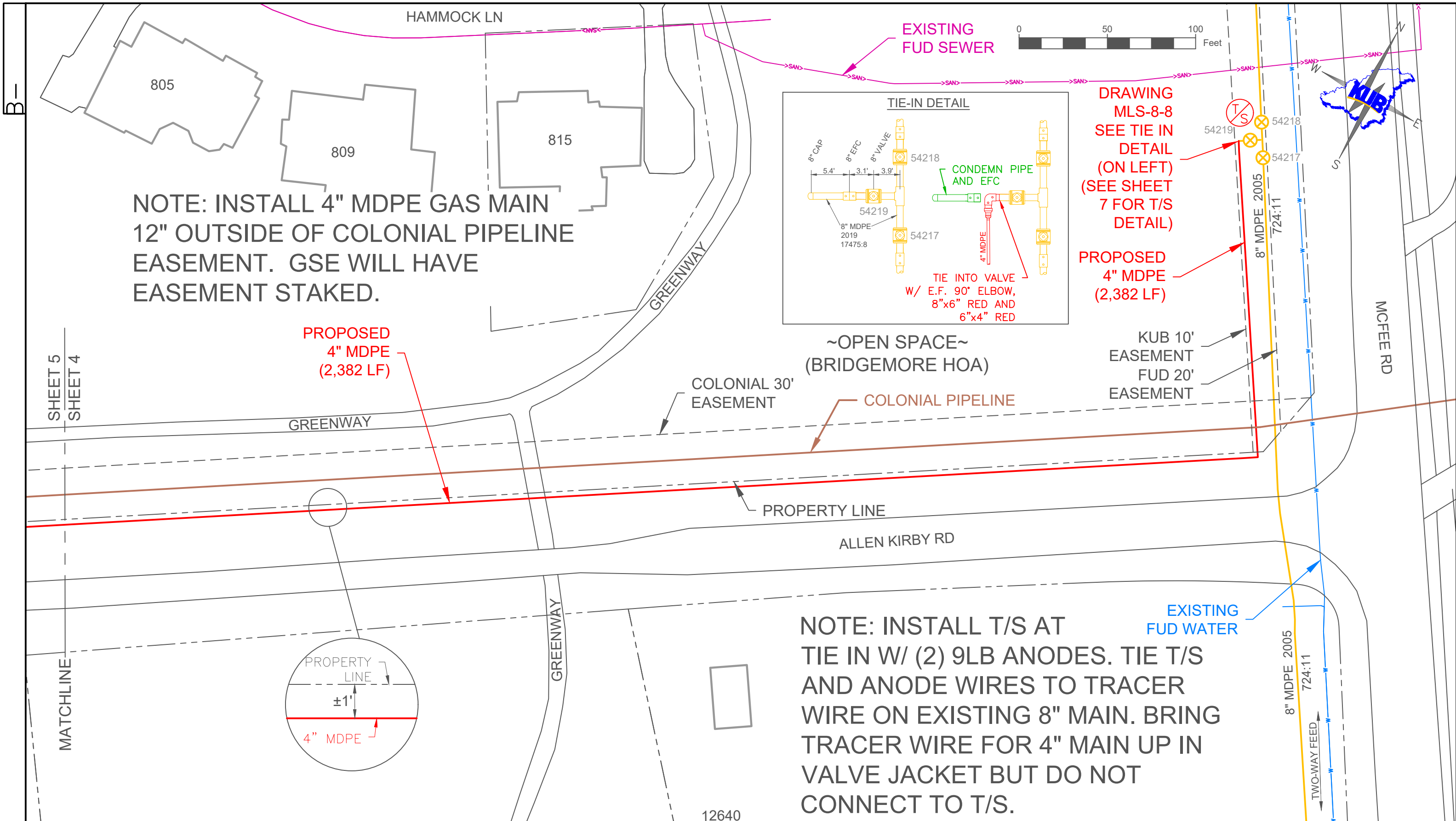
Knoxville Utilities Board
ENGINEERING
12960 Allen Kirby Rd
Gas Main Extension
2,382 LF of 4" MDPE and 100 LF of 2" MDPE
KEY SHEET

SCALE: N.T.S. GRID/CLT:

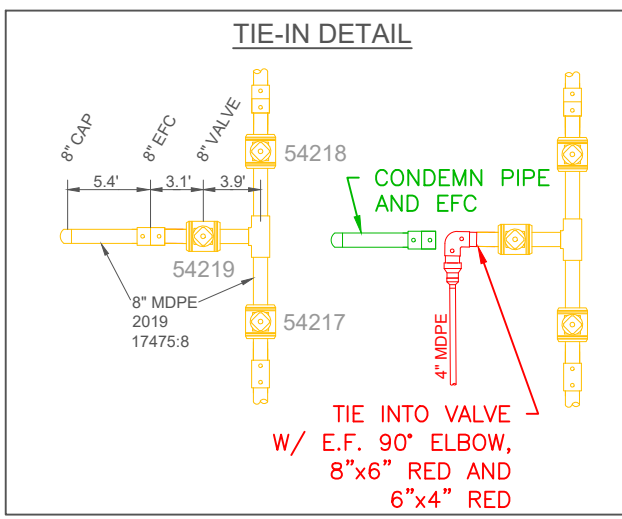


SHEET 3 of 8

B-



NOTE: INSTALL 4" MDPE GAS MAIN 12" OUTSIDE OF COLONIAL PIPELINE EASEMENT. GSE WILL HAVE EASEMENT STAKED.



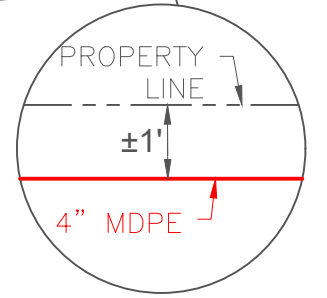
DRAWING MLS-8-8 SEE TIE IN DETAIL (ON LEFT) (SEE SHEET 7 FOR T/S DETAIL)

PROPOSED 4" MDPE (2,382 LF)

~OPEN SPACE~ (BRIDGEMORE HOA)

KUB 10' EASEMENT
FUD 20' EASEMENT

NOTE: INSTALL T/S AT TIE IN W/ (2) 9LB ANODES. TIE T/S AND ANODE WIRES TO TRACER WIRE ON EXISTING 8" MAIN. BRING TRACER WIRE FOR 4" MAIN UP IN VALVE JACKET BUT DO NOT CONNECT TO T/S.



SHEET 5
SHEET 4

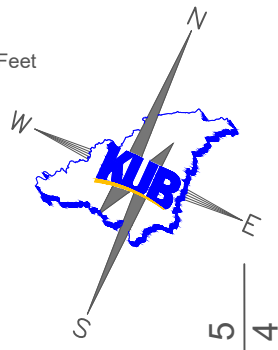
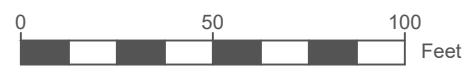
MATCHLINE

REV.	DESCRIPTION	DRAWN BY:	CHK.:	APPV.:	EST#:	JOB#:	MAXIMO#:	W.F.P.I#:	DATE:
5									
4									
3									
2									
1									
0	FIRST ISSUE OF DRAWING	6307(PST)	7039(TJK)	7039(TJK)		J0023760		2385327392	6/5/2025

Knoxville Utilities Board
ENGINEERING
12960 Allen Kirby Rd
Gas Main Extension
2,382 LF of 4" MDPE and 100 LF of 2" MDPE
PLAN VIEW 1
SCALE: 1" = 50'
GRID/CLT:

SHEET 4 of 8
B-

B-



NOTE: INSTALL 4" MDPE GAS MAIN
12" OUTSIDE OF COLONIAL PIPELINE
EASEMENT. GSE WILL HAVE
EASEMENT STAKED.

~OPEN SPACE~
(BRIDGEMORE HOA)

~OPEN SPACE~
(BRIDGEMORE HOA)

PROPOSED
4" MDPE
(2,382 LF)

COLONIAL PIPELINE

COLONIAL 30'
EASEMENT

GREENWAY

PROPERTY LINE

ALLEN KIRBY RD

ALLEN KIRBY RD

EXISTING
FUD WATER

SHEET 6
SHEET 5

SHEET 5
SHEET 4

MATCHLINE

MATCHLINE

12749

12745

12826

12820

REV.	DESCRIPTION	DRAWN BY:	CHK.:	APPV.:	EST#:	JOB#:	MAXIMO#:	W.F.P.I#:	DATE:
5									
4									
3									
2									
1									
0	FIRST ISSUE OF DRAWING	6307(PST)	7039(TJK)	7039(TJK)		J0023760		2385327392	6/5/2025

Knoxville Utilities Board
ENGINEERING

12960 Allen Kirby Rd
Gas Main Extension
2,382 LF of 4" MDPE and 100 LF of 2" MDPE
PLAN VIEW 2

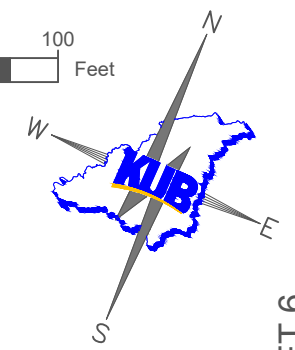
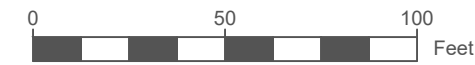
SCALE: 1" = 50'

GRID/CLT:



SHEET 5 of 8

B-



NOTE: INSTALL 4" MDPE GAS MAIN
12" OUTSIDE OF COLONIAL PIPELINE
EASEMENT. GSE WILL HAVE
EASEMENT STAKED.

~OPEN SPACE~
(BRIDGEMORE HOA)

PROPOSED
4" MDPE
(2,382 LF)

COLONIAL PIPELINE

COLONIAL 30'
EASEMENT

GREENWAY

PROPERTY LINE

DRAWING
MLT-1V-2-4

624
PORCHFIELD LN

GREENWAY

EXISTING
FUD SEWER

ALLEN KIRBY RD

EXISTING
FUD WATER

PROPOSED
2" MDPE
(100 LF)

~58'~

13000

12750

12749

12746

PROVIDENCE
GLEN LN

12960

12930

SHEET 6
SHEET 5

MATCHLINE

REV.	DESCRIPTION	DRAWN BY:	CHK.:	APPV.:	EST#:	JOB#:	MAXIMO#:	W.F.P.I#:	DATE:
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Knoxville Utilities Board

ENGINEERING

12960 Allen Kirby Rd

Gas Main Extension

2,382 LF of 4" MDPE and 100 LF of 2" MDPE

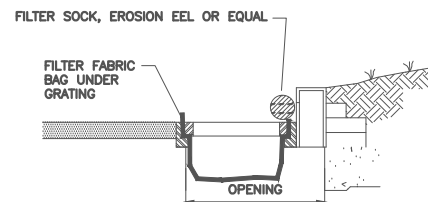
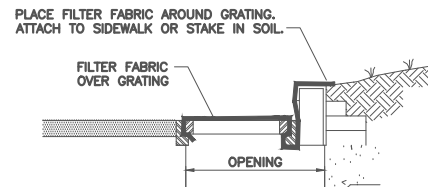
PLAN VIEW 3



SHEET 6 of 8

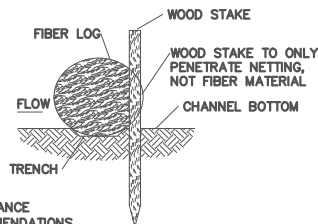
SCALE: 1" = 50'

GRID/CLT:



CURB INLET PROTECTION

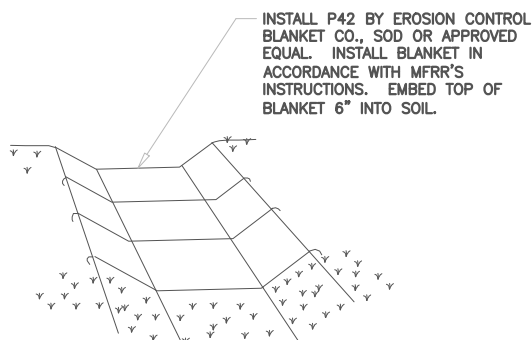
N.T.S.



INSTALL FIBER LOG IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS

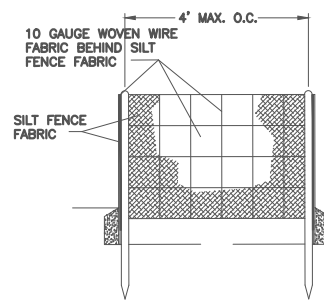
FIBER LOG BARRIER

N.T.S.



CHANNEL EROSION PROTECTION

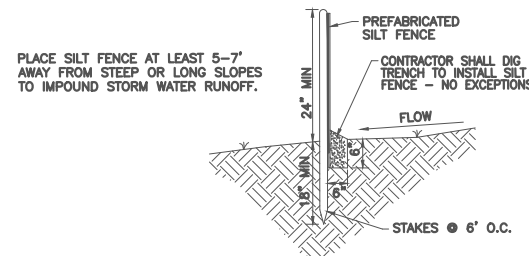
N.T.S.



WIRE FENCE REINFORCEMENT IS REQUIRED BELOW SLOPES THAT ARE OVER 8' HIGH, OR WHERE SILT FENCE IS INSTALLED IMMEDIATELY ADJACENT TO GRADING LIMITS. INSTALL REINFORCEMENT AT LOCATIONS WHERE WASHOUT OR HEAVY FLOW MAY OCCUR.

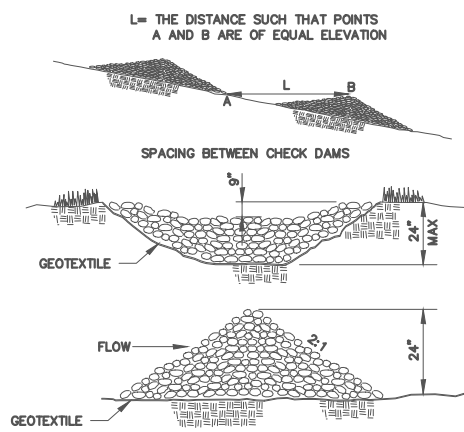
SILT FENCE REINFORCEMENT

N.T.S.



SILT FENCE

N.T.S.



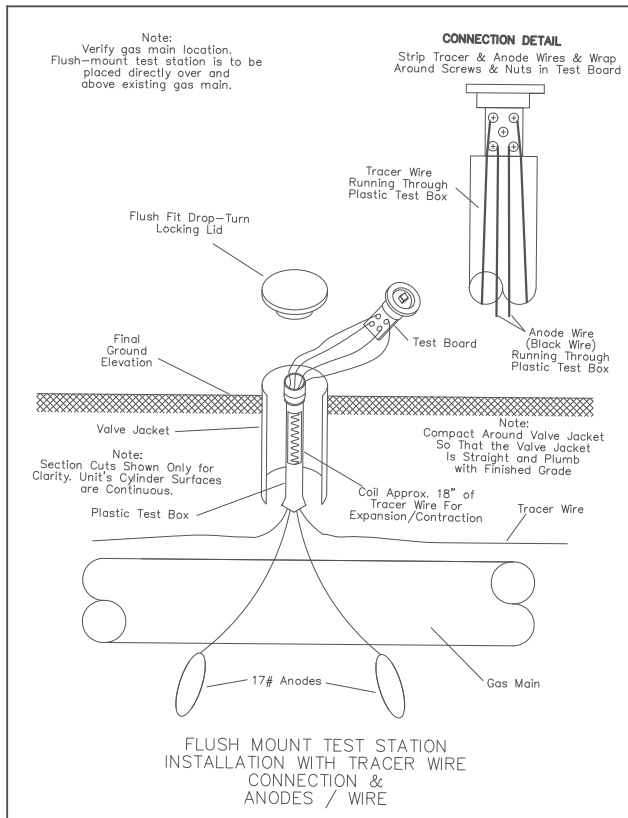
STONE CHECK DAM

N.T.S.

SEDIMENT & EROSION CONTROL NOTES

- OWNER: KUB - PO BOX 59017, KNOXVILLE, TN 37950-9017
- THIS PROJECT INCLUDES THE INSTALLATION OF APPROXIMATELY 2,382 L.F. OF 4" MDPE GAS LINE AND 100 L.F. OF 2" MDPE GAS LINE.
- TOTAL DISTURBED AREA IS APPROXIMATELY 0.2 ACRES.
- ALL CONSTRUCTION LIES ABOVE THE 100 YEAR FLOOD HAZARD.
- EROSION AND SEDIMENT CONTROL SHALL BE THE CONTRACTOR'S RESPONSIBILITY FOR COMPLIANCE. INSTALLATION, MAINTENANCE AND REMOVAL CONTROLS SHALL BE CONSISTENT WITH THE TDEC EROSION AND SEDIMENT CONTROL HANDBOOK.
- THE EROSION CONTROLS MUST BE INSTALLED ALONG THE WATER LINE ALIGNMENT WHERE THEY ARE NEEDED AND REMOVED WHEN THE AREA HAS BEEN STABILIZED. CHANGES MAY BE MADE TO IMPROVE EROSION AND SEDIMENT CONTROLS.
- EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- SILT FENCE SHALL BE INSTALLED AS REQUIRED TO PREVENT SEDIMENT FROM THIS PROJECT BEING DEPOSITED ON ADJACENT PROPERTY.
- DISTURBED AREAS SHALL BE RESTORED TO NEAR ORIGINAL CONDITION (CONCRETE, ASPHALT, GRASS, ETC.).
- CONTRACTOR SHALL NOT INSTALL SEDIMENT TRAPS SHOULD POTENTIAL EXIST FOR PAVEMENT FLOODING AND/OR WATER DAMAGE TO ADJACENT PROPERTY.
- EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSPECTED BY THE CONTRACTOR AT THE END OF EACH DAY'S WORK AND AT THE END OF EACH AND EVERY RAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND OR REMOVAL OF ACCUMULATED SILTS AND SEDIMENTS FROM THE EROSION AND SEDIMENT CONTROL DEVICES. (CONT.)
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE OF SAID STRUCTURES. ALL SILTS AND/OR SEDIMENTS REMOVED FROM THE EROSION/SEDIMENT CONTROL DEVICES SHALL BE DEPOSITED ON SITE IN SUCH A MANNER AS TO PREVENT SAID SILTS AND/OR SEDIMENTS FROM REENTERING THE CONTROL DEVICES AND OR EXITING THE SITE THROUGH THE STORM DRAINAGE SYSTEMS AND/OR SURFACE DRAINAGE.
- FAILURE TO INSTALL, OPERATE AND/OR MAINTAIN ALL EROSION CONTROL MEASURES SHALL BE JUSTIFICATION TO STOP CONSTRUCTION ON THE JOB SITE UNTIL SUCH MEASURES ARE CORRECTED IN ACCORDANCE WITH APPROVED PLANS OR AS DIRECTED BY THE OWNER.
- THE CONTRACTOR SHALL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ON SITE ONTO PUBLIC ROADWAYS OR INTO STORM DRAINS SHALL BE REMOVED IMMEDIATELY.
- UPON PIPE INSTALLATION, DISTURBED SOIL SHALL BE STABILIZED WITH TEMPORARY COVER OR PERMANENT VEGETATION AS REQUIRED EVERY TWO WEEKS AND PRIOR TO ANY RAIN EVENT.
- MATERIAL STAGING AREA SHALL BE ENCOMPASSED WITH SILT FENCE IF THE AREA IS DISTURBED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADDITIONAL EROSION CONTROLS CREATED BY DRAINAGE PATTERNS AT VARIOUS STAGES DURING CONSTRUCTION. DIFFICULTY IN CONTROLLING EROSION DURING ANY PHASE OF CONSTRUCTION SHALL BE REPORTED TO THE RPR IMMEDIATELY.
- THE CONTRACTOR SHALL REMOVE ACCUMULATED SILT BEFORE THE SILT IS WITHIN 12-INCHES OF THE TOP OF THE SILT FENCE UTILIZED FOR EROSION CONTROL.
- STRAW MULCHING SHALL BE USED WITH PERMANENT VEGETATION APPLICATIONS AND SHALL BE FREE OF WEED SEEDS AND SPREAD AT A RATE OF 90 POUNDS PER 1000 SQUARE FEET.
- EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL ALL DISTURBED SOIL WITHIN THE CONSTRUCTION AREA HAS BEEN COMPLETELY STABILIZED WITH PERMANENT VEGETATION AND ALL ROADS/DRIVEWAYS HAVE BEEN PAVED.
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO OR CONCURRENT WITH LAND DISTURBING ACTIVITIES.
- IN STREETS AND OTHER PAVED AREAS, REMOVE EXCAVATED MATERIALS FROM THE SITE AS CONSTRUCTION PROGRESSES TO PREVENT ANY EROSION OF THE EXCAVATED MATERIAL. IN OTHER AREAS, PLACE THE EXCAVATED MATERIAL SO AS NOT TO BLOCK ANY DRAINAGE AREAS. REPLACE EXCAVATED MATERIAL IN THE TRENCH IMMEDIATELY AFTER WORK HAS BEEN COMPLETED AND APPROVED BY THE OWNER.
- RETAIN NATURAL VEGETATION WHENEVER FEASIBLE.
- RESTORE AND COVER EXPOSED AREAS SUBJECT TO EROSION AS QUICKLY AS POSSIBLE BY MEANS OF SEEDING AND MULCHING. FIBER MATTING MAY BE NECESSARY AS REQUIRED BY OWNER.

TEST STATION DETAIL



Know what's below.
Call before you dig.

REV.	DESCRIPTION	DRAWN BY:	CHK.:	APPV.:	EST#:	JOB#:	MAXIMO#:	W.F.P.I#:	DATE:
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4									
3									
2									
1									
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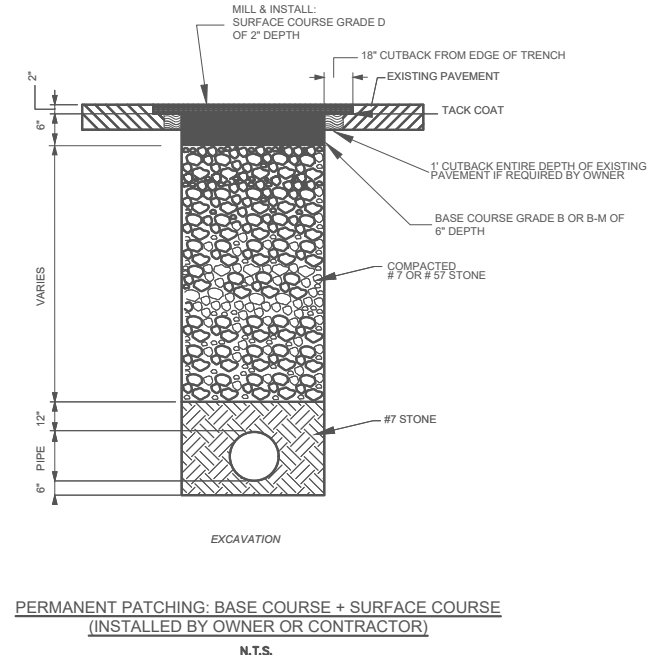
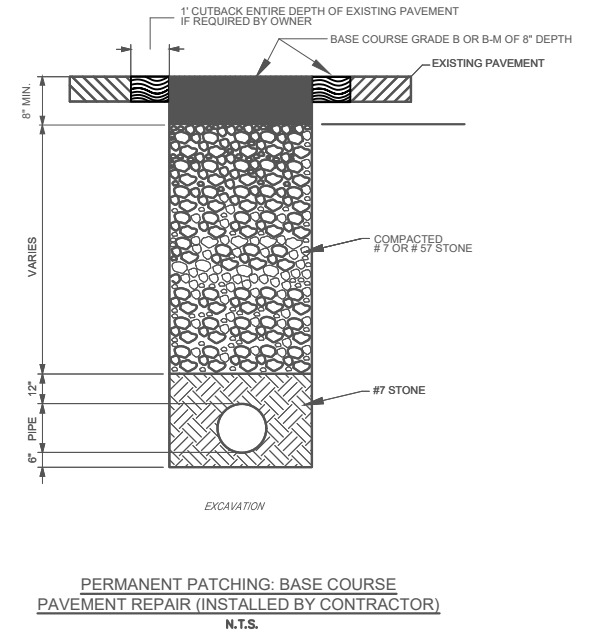
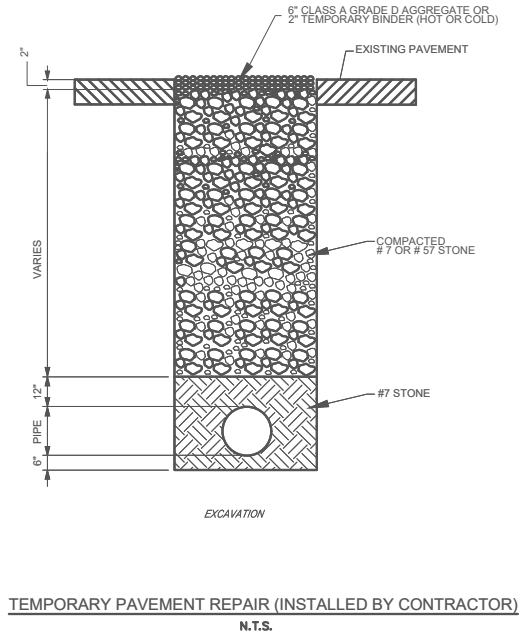
Knoxville Utilities Board
ENGINEERING
12960 Allen Kirby Rd
Gas Main Extension
2,382 LF of 4" MDPE and 100 LF of 2" MDPE
EROSION AND SEDIMENT CONTROL DETAILS

SCALE: N.T.S. GRID/CLT:

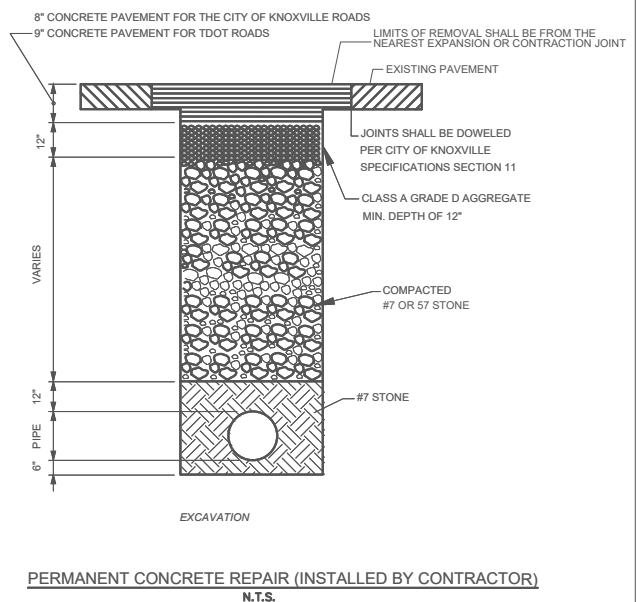
SHEET 7 of 8

B- Page 38 of 86

B-



- TEMPORARY PAVEMENT REPAIR (INSTALLED BY CONTRACTOR)**
- NO. 7 STONE SHALL BE USED FOR PIPE BEDDING. PIPE BEDDING SHALL BE PLACED FROM 6" BELOW THE PIPE TO 12" ABOVE THE PIPE CROWN.
 - NO. 7 OR 57 STONE SHALL BE COMPACTED IN MAXIMUM 12" LIFTS (WITH A MINIMUM OF 2 LIFTS) USING VIBRATORY COMPACTION EQUIPMENT REQUIRED TO ACHIEVE JOB SPECIFICATIONS.
 - NO. 7 OR 57 STONE SHALL BE CONSOLIDATED TO A MINIMUM OF 95% MAXIMUM DRY DENSITY.
 - 6" OF CLASS A GRADE D AGGREGATE OR 2" OF TEMPORARY BINDER (HOT OR COLD) SHALL BE COMPACTED UP TO THE PAVEMENT SURFACE.
 - THE PAVEMENT REPAIR (INSTALLED BY CONTRACTOR) SHALL BE PLACED WITHIN 14 CALENDAR DAYS OF BACKFILL (OR 28 DAYS IF APPROVED BY THE OWNER). PRIMARY COLLECTOR OR ARTERIAL STREETS MUST HAVE 2" OF TEMPORARY BINDER WITHIN 2 CALENDAR DAYS OF BACKFILL.
- PAVEMENT REPAIR (INSTALLED BY CONTRACTOR)**
- AT THE TIME OF THE PAVEMENT REPAIR (INSTALLED BY CONTRACTOR) THE TEMPORARY PAVEMENT REPAIR SHALL BE REMOVED DOWN TO THE REQUIRED DEPTH LEAVING A MINIMUM OF 12" OF NO. 7 OR 57 STONE.
 - 8" OF BASE COURSE B OR B-M SHALL BE INSTALLED TO MATCH THE EXISTING PAVEMENT SURFACE COMPACTED IN A MINIMUM OF TWO 4" LIFTS.
 - BASE COURSE LIFTS SHALL BE COMPACTED TO A MINIMUM OF 92% MAXIMUM THEORETICAL DENSITY.
 - EXISTING CONCRETE STREETS THAT HAVE BEEN OVERLAID WITH ASPHALT PAVEMENT SHALL BE REPAIRED WITH NEW ASPHALT PAVEMENT. THE DEPTH OF THE NEW ASPHALT REPLACING THE CONCRETE SHALL BE A MINIMUM OF 8" COMPACTED IN A MINIMUM OF TWO 4" LIFTS PLUS THE THICKNESS OF THE OVERLAYING ASPHALT.
 - CONCRETE STREETS WITHOUT ASPHALT OVERLAY SHALL BE REPAIRED FOLLOWING THE KUB PAVEMENT REPAIR STANDARD.
- PAVEMENT SURFACING (INSTALLED BY OWNER OR CONTRACTOR)**
- AT THE TIME OF PAVEMENT REPAIR (INSTALLED BY OWNER OR CONTRACTOR) THE BINDER SHALL BE MILLED TO THE REQUIRED DEPTH WITH 18 INCH CUTBACKS BEYOND THE EXCAVATED TRENCH WIDTH.
 - 2" OF SURFACE COURSE GRADE D SHALL BE INSTALLED TO MATCH THE EXISTING PAVEMENT SURFACE AND COMPACTED.
 - PAVEMENT SURFACING MAY BE BURNED IN USING THE PATCHMASTER METHOD IN LIEU OF MILL AND TOPPING.
 - TO BE INSTALLED BY OWNER WITHIN 12 MONTHS AFTER INSTALLATION OF THE PAVEMENT REPAIRS DESCRIBED ABOVE.



Equipment Type	Equipment Weight (tons)	Minimum Downward Force (lbs)	Minimum Frequency		Minimum Amplitude (inches)	Maximum lift thickness (inches)	Minimum number of passes required
			Hertz	VPM			
Steel wheeled vibratory roller - walk behind	< 1 ton	N/A	41	2460	0.02	Equipment weight <1 ton - 4-6" 1 - 2 tons - 8" >2 tons - 12"	5
Steel wheeled vibratory roller - walk behind	< 2 tons	N/A	30	1800	0.02		5
Steel wheeled vibratory roller - ride on	< 1 ton	N/A	30	1800	0.02		5
Steel wheeled vibratory roller - ride on	1 - 2 tons	N/A	30	1800	0.02		5
Steel wheeled vibratory roller - ride on	> 2 tons	N/A	30	1800	0.02		5
Walk behind vibratory plate compactor - single direction	< 1 ton	N/A	38	2280	0.03		4
Walk behind vibratory plate compactor - reversible	< 1 ton	N/A	38	2280	0.03	4	
Backhoe vibratory plate attachment	N/A	7500	33	2000	0.02	Not to exceed 12"	3
Backhoe vibratory wheel attachment	N/A	7500	43	2500	0.085	Not to exceed 12"	3

NOTE: JUMPING JACKS MAY BE USED, WITH PERMISSION OF OWNER, IN AREAS OF COMPACTION TOO SMALL FOR OTHER COMPACTION EQUIPMENT. LIFTS SHALL NOT EXCEED 4" IN DEPTH.



Know what's below.
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REV.	DESCRIPTION	DRAWN BY:	CHK.:	APPV.:	EST#:	JOB#:	MAXIMO#:	W.F.P.I#:	DATE:
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4									
3									
2									
1									
0	FIRST ISSUE OF DRAWING	6307(PST)	7039(TJK)	7039(TJK)		J0023760		2385327392	6/5/2025

Knoxville Utilities Board
ENGINEERING
12960 Allen Kirby Rd
Gas Main Extension
2,382 LF of 4" MDPE and 100 LF of 2" MDPE
PAVEMENT REPAIR DETAILS

SCALE: N.T.S. GRID/CLT:

KUB

SHEET 8 of 8

B-

New Service Gas Installation Costing

2,382 LF of 4" MDPE & 100 LF of 2" MDPE

Customer Name:	
Address:	12960 Allen Kirby Rd

<u>Pay Code</u>	<u>Quantity</u>	<u>Unit</u>	<u>Subtotal</u>	<u>Notes</u>
Customer Worth				
Calculated Customer Worth	-		\$0.00	
Standard Service Charge			\$300.00	
Total Customer Worth:			\$300.00	<i>If residential, use \$1334. If commercial, please have a financial analysis performed.</i>

Service Extension				
Meter and Associated Installation Costs	-	x	\$112.00 each	\$0.00
2" Service				
2-3-6-4	1 1/4" - 2" Service Installation - Dirt	-	x \$7.18 per ft	\$0.00
2-3-6-15	Open Ditch Installation (2")	-	x \$3.70 per ft	\$0.00
2-3-6-10	2" Valve Installation	-	x \$341.21 each	\$0.00
2-3-6-3	Riser Installation (2")	-	x \$560.00 each	\$0.00
2-3-6-7	1 1/4" - 2" Main Tie-In	-	x \$390.00 each	\$0.00
Additional Service Costs				
1-3-6-9	Service Tie-In	-	x \$337.35 each	\$0.00
1-3-6-12	Tie-Up in Asphalt	-	x \$736.06 each	\$0.00
1-3-6-13	Tie-Up in Concrete	-	x \$860.00 each	\$0.00
4-0-0-1	2" Bore Price - Dirt	-	x \$30.00 per ft	\$0.00
2-3-6-17	Main Crew	-	x \$216.00 per hour	\$0.00
Cost of Service:			\$0.00	<i>2" Valve required for 2" commercial service.</i> <i>Minimum charge of 50 ft.</i>

Main Extensions				
Mobilization / Additional Labor				
2-3-6-1	Mobilization per Job (less than 100')	-	x \$546.50 each	\$0.00
2-3-6-2	Mobilization per Job (between 100' and 400')	1	x \$400.50 each	\$400.50
2-3-6-17	Main Crew (2" & 4")	-	x \$216.00 per hour	\$0.00
Standard Installation				
2-3-6-4	1 1/4" - 2" Installation - Dirt	50	x \$15.00 per ft	\$750.00
2-3-6-5	4" Installation - Dirt	2,382	x \$18.20 per ft	\$43,352.40
2-3-6-6	6" - 8" Installation - Dirt	-	x \$34.41 per ft	\$0.00
Open Ditch Install				
2-3-6-15	Open Ditch Installation (2")	-	x \$3.70 per ft	\$0.00
2-3-6-16	Open Ditch Installation (4")	-	x \$9.00 per ft	\$0.00
Boring				
4-0-0-1	2" Bore Price - Dirt	50	x \$30.00 per ft	\$1,500.00
4-0-0-2	4" Bore Price - Dirt	-	x \$20.15 per ft	\$0.00
4-0-0-3	6" & 8" Bore Price - Dirt	-	x \$47.13 per ft	\$0.00
Rock Removal				
3-0-0-1	Service - under 18" Depth	-	x \$18.62 per ft	\$0.00
3-0-0-2	Main - between 24" & 36" (8" Pipe or smaller)	-	x \$30.50 per ft	\$0.00
Tie-In				
2-3-6-7	1 1/4" - 2" Main Tie-In	-	x \$390.00 each	\$0.00
2-3-6-8	4" Main Tie-In	1	x \$796.20 each	\$796.20
2-3-6-9	8" Main Tie-In	-	x \$1,263.28 each	\$0.00
2-3-6-13	Tie-Up in Asphalt	-	x \$736.00 each	\$0.00
2-3-6-14	Tie-Up in Concrete	-	x \$860.00 each	\$0.00
Valve Installation				
2-3-6-10	2" Valve	1	x \$341.21 each	\$341.21
2-3-6-11	4" Valve	-	x \$557.44 each	\$0.00
2-3-6-12	8" Valve	-	x \$1,343.64 each	\$0.00
Cost of Main Work:			\$47,140.31	<i>Minimum charge of 50 ft.</i> <i>Minimum charge of 50 ft.</i> <i>Minimum charge of 50 ft.</i>

Additional Costs				
5-0-0-1	Asphalt Restoration	-	x \$23.00 per sqft	\$0.00
5-0-0-2	Concrete Restoration	-	x \$25.00 per sqft	\$0.00
5-0-0-4	Stone Backfill	-	x \$22.28 per ton	\$0.00
5-0-0-6	Traffic Control	40	x \$90.94 per hour	\$3,637.60
Additional Costs:			\$3,637.60	<i>If less than 65sqft, use 2-3-6-13</i> <i>If less than 65sqft, use 2-3-6-14</i> <i>1 ton per 5'.</i> <i>Minimum charge of 4 hr</i>

SUMMARY

Total Construction Cost: \$50,777.91

Customer Worth after Service and Main Extension Charges: -\$50,477.91

CIAC: \$50,477.91

Contribution in aid of Construction

Service Charge: \$300.00

Total Cash Required: \$50,777.91












Job Package_Allen Kirby 12960

Final Audit Report

2025-06-10

Created:	2025-06-05
By:	Preston Teague (Preston.Teague@kub.org)
Status:	Signed
Transaction ID:	CBJCHBCAABAAG65jMRUkAFRz1ua7I2IzYjR9cJlneV1f

"Job Package_Allen Kirby 12960" History

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-  Document emailed to Timothy Kelly (timothy.kelly@kub.org) for signature
2025-06-05 - 4:18:45 PM GMT
-  Email viewed by Timothy Kelly (timothy.kelly@kub.org)
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REPORT TO THE MUNICIPAL PLANNING COMMISSION

Prepared By: Mark Shipley, Community Development Director

Subject: Discussion and public hearing on a request for approval of a resolution to amend the Major Road Plan to provide for context sensitive street cross sections for selected collector and arterial streets (Town of Farragut, Applicant)

Introduction & Background:

This item was presented for discussion purposes only at the April 17, 2025 Planning Commission meeting. The staff noted that the streets that were selected were determined to be streets that are currently either substandard or incomplete in terms of having a complete street cross section that includes provisions for motorists, pedestrians, and bicyclists. These streets, other than Boyd Station Road, are also not currently part of ongoing projects in the Town’s Capital Investment Plan (CIP).

As explained, the intent of including desired cross sections that will ultimately be linked into the Major Road Plan, as provided for in Resolution PC-25-05, is to guide a developer or the Town on what improvements would be appropriate if one of the selected streets were part of a development or future CIP project. These street cross sections, referred to as **Exhibit A** for each selected street, would replace the requirements in the Subdivision Regulations for the street based its classification on the Major Road Plan.

Discussion & Recommendations:

Some goals of the street cross sections that help promote the Town's Strategic Plan Priorities are the following:

1. Complete Streets. Provide cross sections that account for all users of the transportation system (motorists, pedestrians, and bicyclists).
2. Functional. A shared use path is specified for most cross sections where only one side of the street will have facilities

for pedestrians and cyclists. These are wider and more accommodating for different users.

3. Context Appropriate. Retain the rural character of the affected areas with, in most cases, not greater than 11-foot lanes, open ditch drainage, and space for street trees between the street and sidewalk or shared use path. Some of these streets extend into areas that are beyond the Town limits where future improvements are unlikely.
4. Lower Cost. Consideration of the context helps lower costs (both for initial construction and maintenance) by providing only what is needed and not something that would be out of character with the context.

For comparison purposes, street cross sections are included in the packet and referred to as **Exhibit B** for what would be required in the Subdivision Regulations for the street classifications associated with the streets that are related to this agenda item. The street classifications and associated streets that fall under each classification are as follows:

Minor Collector

1. Herron Road
2. Red Mill Lane

Major Collector

1. Allen Kirby Road
2. Boring Road
3. Boyd Station Road
4. Evans Road

Minor Arterial

1. N. Campbell Station Road (north of the Overlook Apartments)

During the workshop session, some property owners that abut Allen Kirby Road, Boring Road, Evans Road, and Red Mill Lane spoke regarding the cross sections. It should be noted that a major objective of Resolution PC-25-05 is to take into consideration the context of the street to lessen impacts to abutting property owners. A comparison of what would typically be required in the Subdivision Regulations (**Exhibit B** pages in packet) to the proposed context sensitive cross sections (**Exhibit A** pages in packet) clearly demonstrates this objective. The reality is that Farragut is a growing community and someday these streets are

likely to be improved. Applying the approach outlined in Resolution PC-25-05 is far more beneficial to the abutting property owners than what would be required otherwise.

The staff recommends approval of Resolution PC-25-05 as submitted.

Recommended By: Mark Shipley, Community Development Director

Proposed Motion: To approve Resolution PC-25-05.

RESOLUTION PC-25-05

FARRAGUT MUNICIPAL PLANNING COMMISSION

A RESOLUTION TO AMEND THE TOWN OF FARRAGUT MAJOR ROAD PLAN TO REPLACE THE STREET CROSS SECTIONS REQUIRED IN THE SUBDIVISION REGULATIONS WITH THE CONTEXT APPROPRIATE STREET CROSS SECTIONS AS SHOWN ON THE STREET SECTIONS LABELED AS EXHIBIT A.

WHEREAS, the Town of Farragut has adopted the Farragut Major Road Plan as an element of the Farragut Comprehensive Land Use Plan for present and future development within the Town of Farragut, and

WHEREAS, certain collector and arterial streets that currently do not meet the street cross section requirements in the Subdivision Regulations were evaluated for what would be desired should they be improved, and

WHEREAS, the existing plan of development and character of the area where these streets are situated was taken into consideration in terms of developing a more context appropriate street cross section than would be required in the Subdivision Regulations, and

WHEREAS, the context appropriate street cross sections recommended in Resolution PC-25-05 provide for all users of the transportation system but, in comparison to the requirements in the Subdivision Regulations, lessen development costs and impacts to property owners that front along such streets, and

WHEREAS, the Farragut Municipal Planning Commission of the Town of Farragut has evaluated these context appropriate street cross sections, labeled as Exhibit A for each affected street, and is recommending using them in lieu of the requirements in the Subdivision Regulations, and

WHEREAS, a public hearing was held on this request on July 17, 2025;

NOW, THEREFORE, BE IT RESOLVED by the Farragut Municipal Planning Commission of the Town of Farragut that the changes reflected on the street cross sections labeled as Exhibit A be reflected on the Major Road Plan.

ADOPTED this 17th day of July 2025.

Ron Pinchok, Chairman

Shannon Preston, Secretary

TOWN OF FARRAGUT: STREET SECTIONS

Resolution PC-25-05

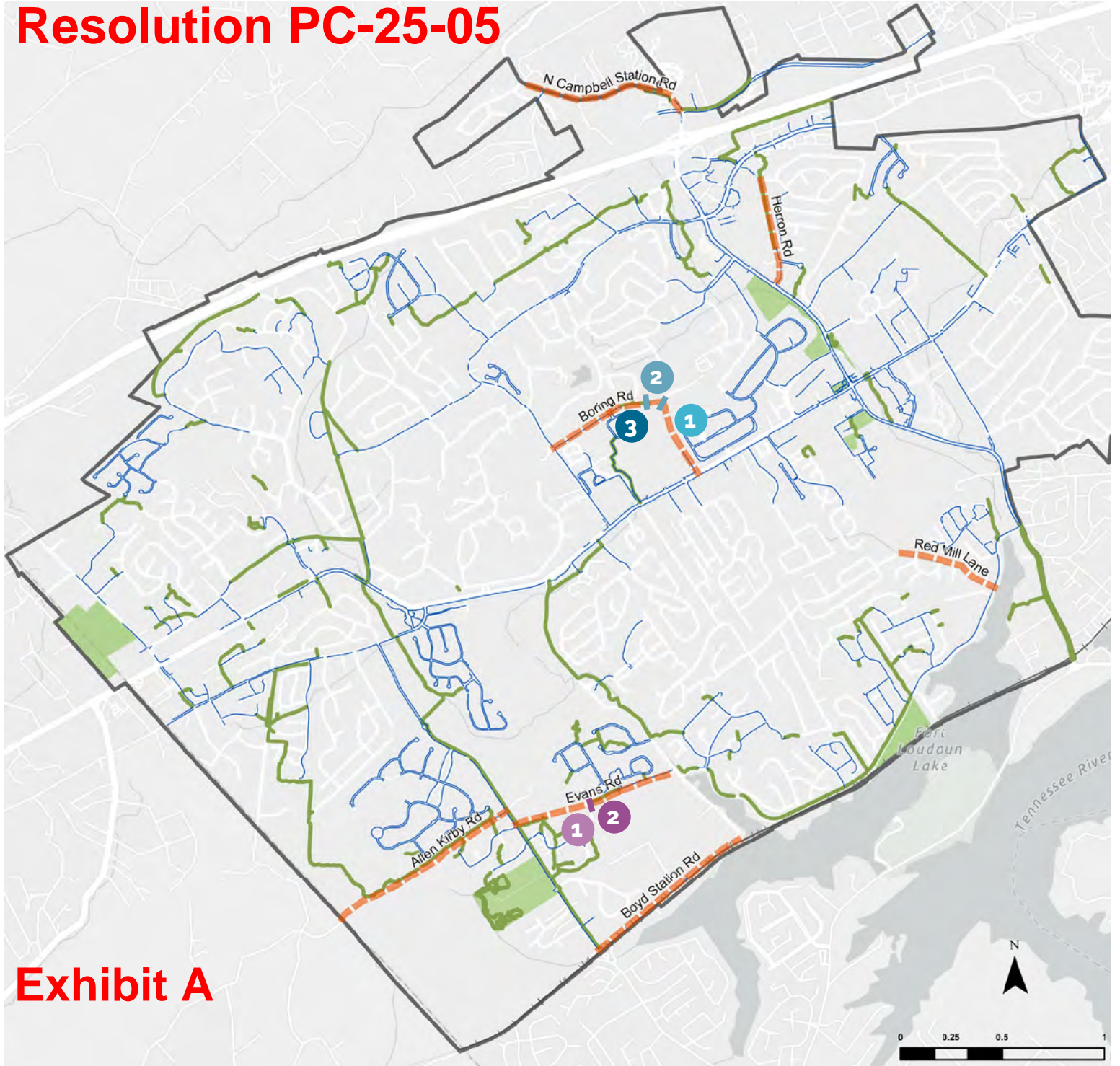









Exhibit A

-  TownLimit
-  Railroads
-  Streets
-  Parks
-  Greenways
-  Sidewalks
-  Street Sections

Standard Street Sections

Allen Kirby Road

Boring Road Segment **1**

Boring Road Segment **2**

Boring Road Segment **3**

Boyd Station Road

Evans Road Segment **1**

Evans Road Segment **2**

Herron Road

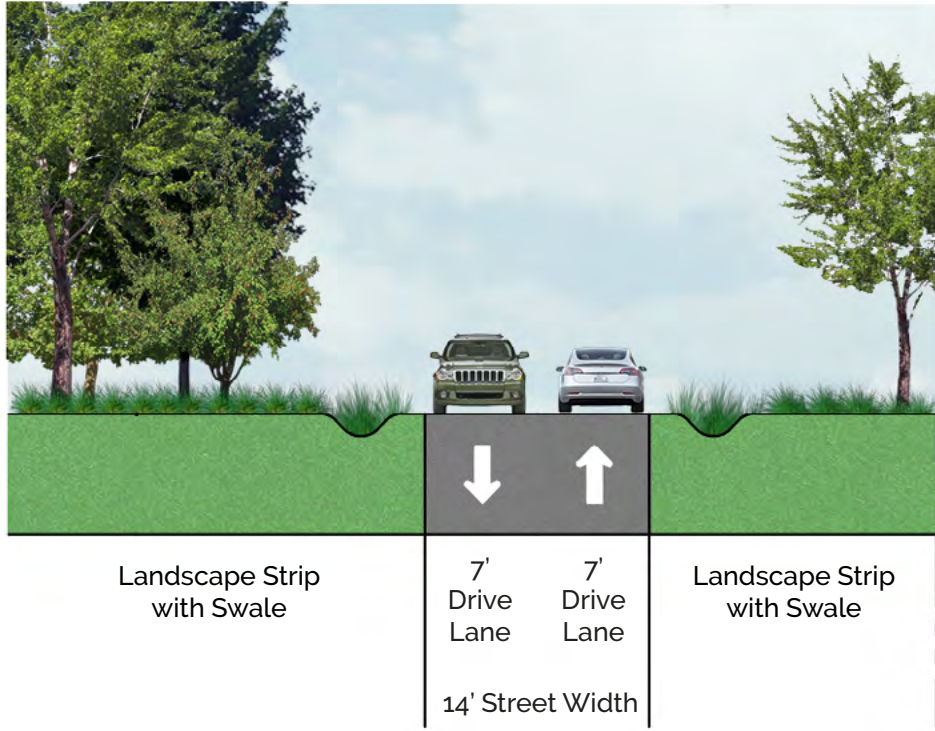
N Campbell Station Road

(north of I-40 & the Overlook Apartments)

Red Mill Lane

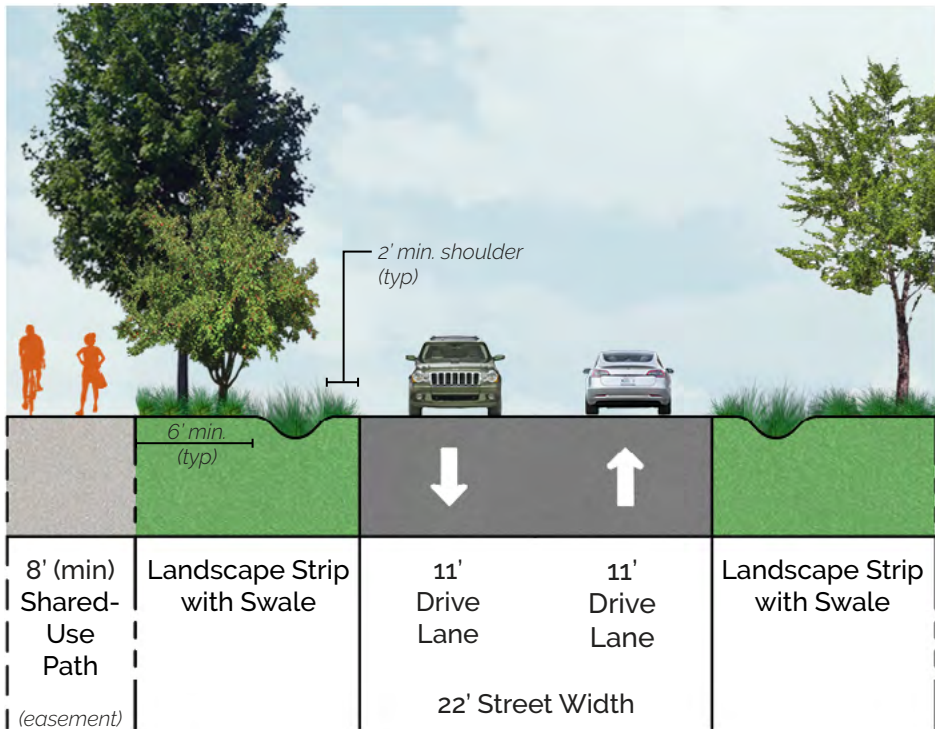
ALLEN KIRBY ROAD

(Viewing East)



Existing

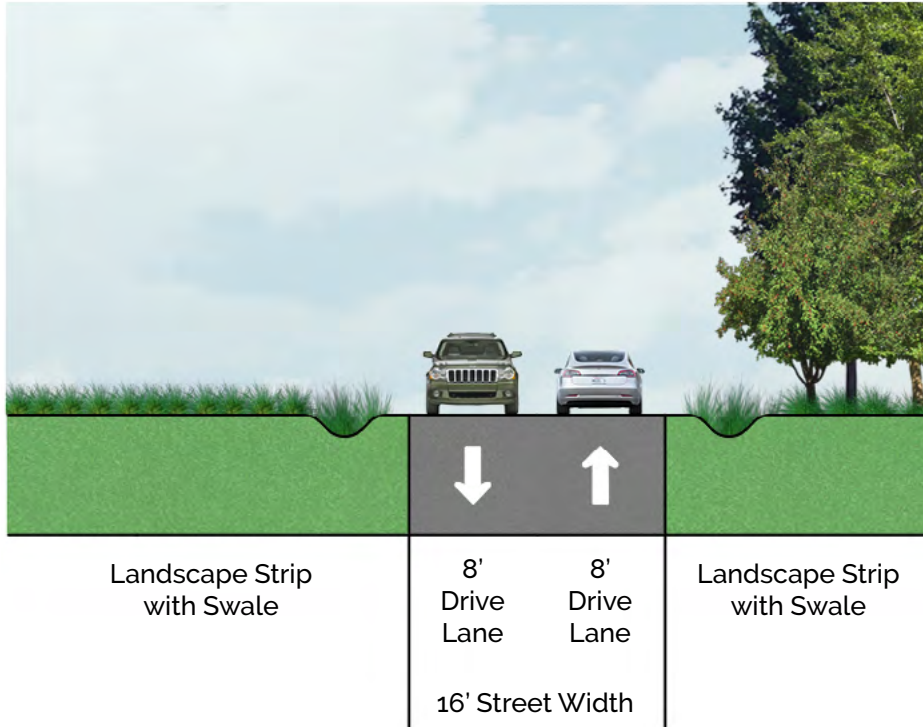
Exhibit A



Proposed

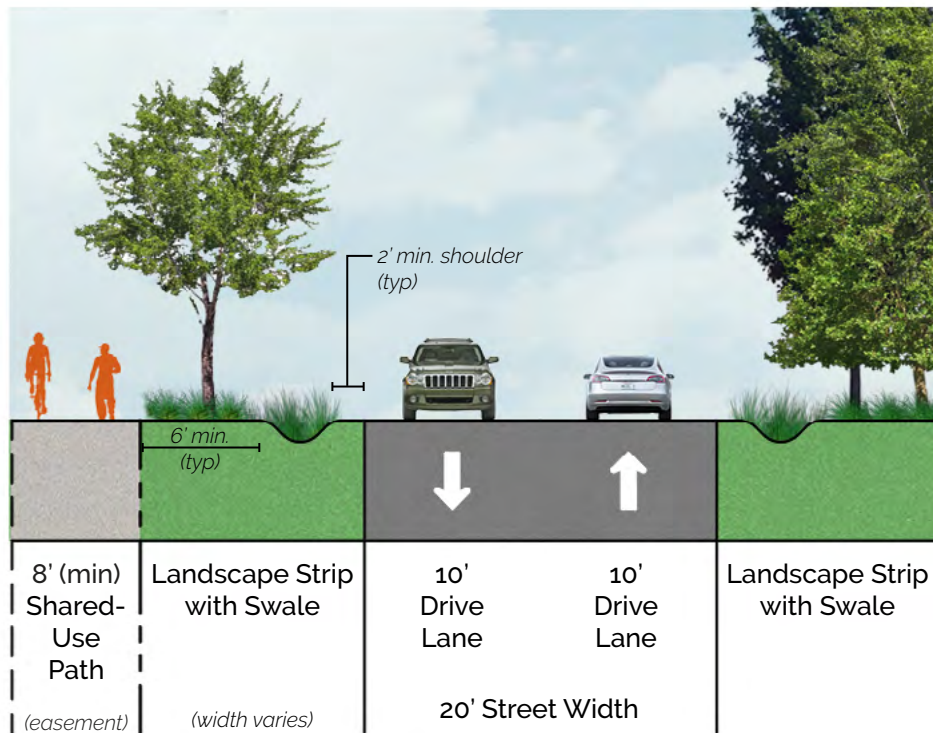
BORING ROAD - SEGMENT 1

(Viewing North)



Existing

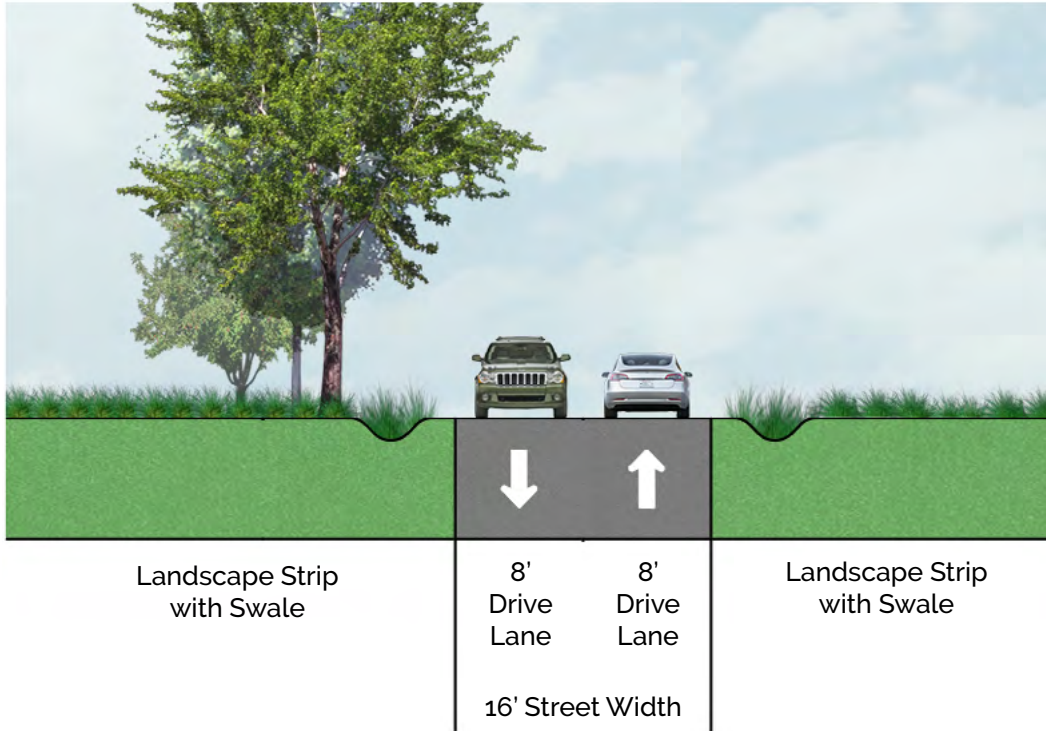
Exhibit A



Proposed

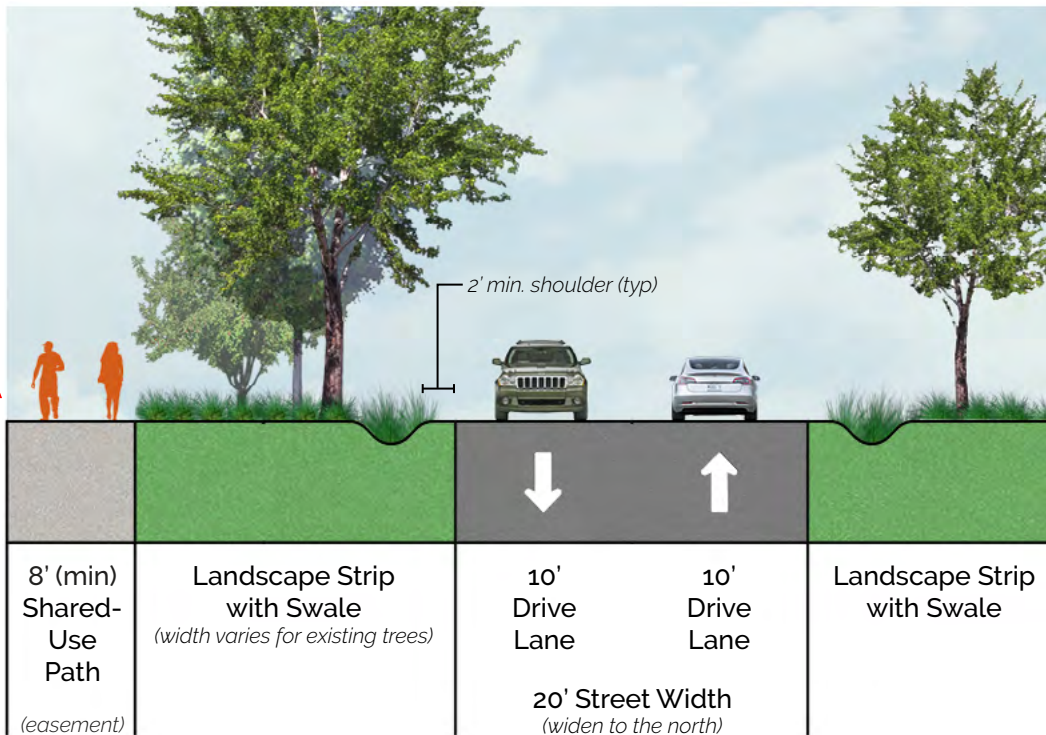
BORING ROAD - SEGMENT 2

(Viewing West)



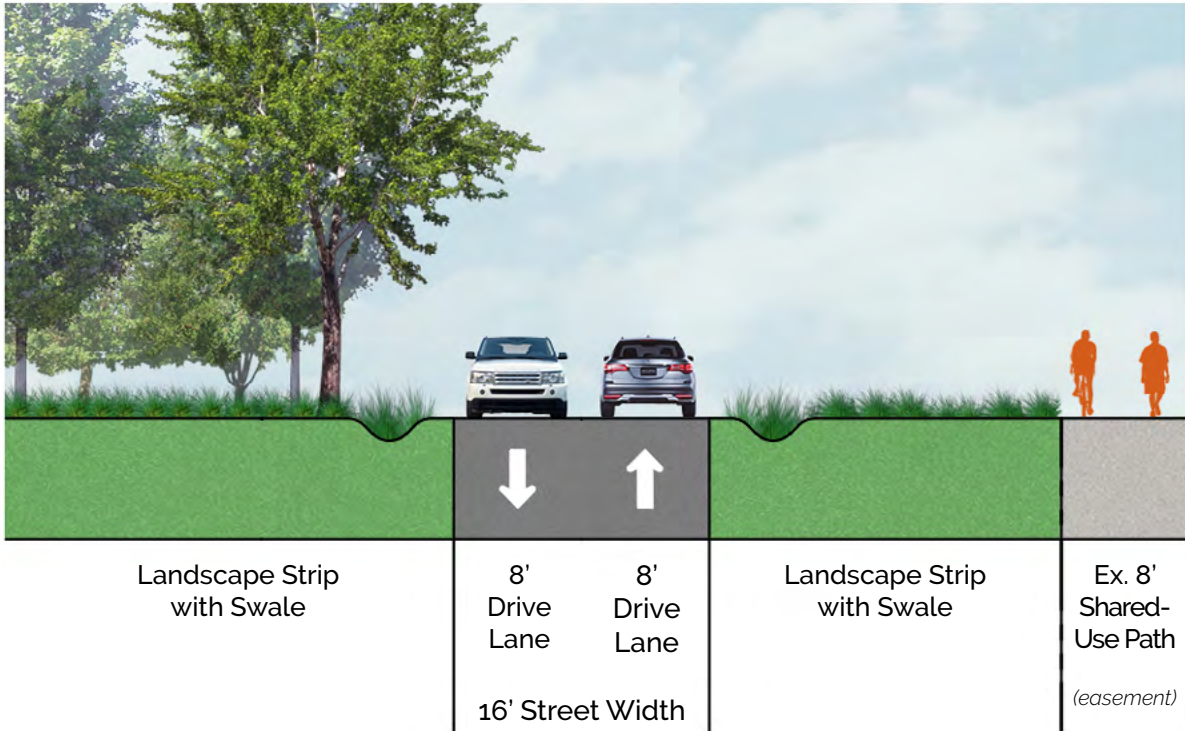
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Exhibit A

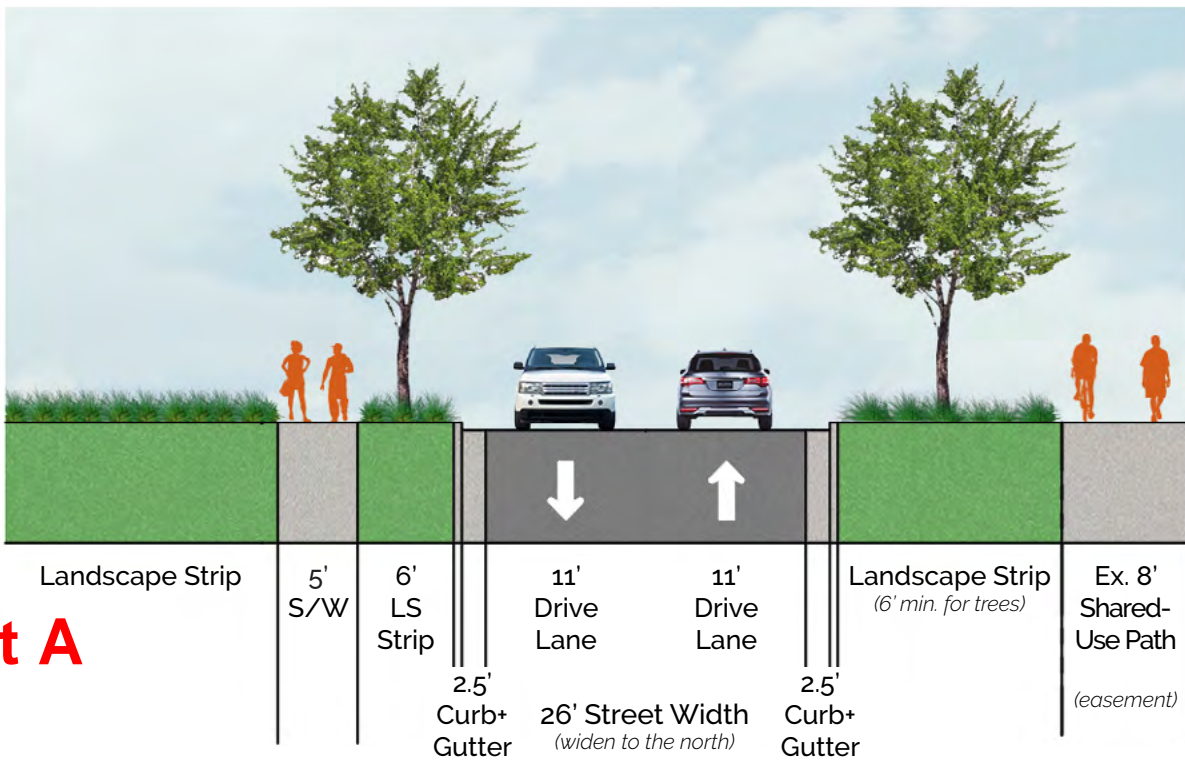


Proposed

BORING ROAD - SEGMENT 3 (Viewing West)



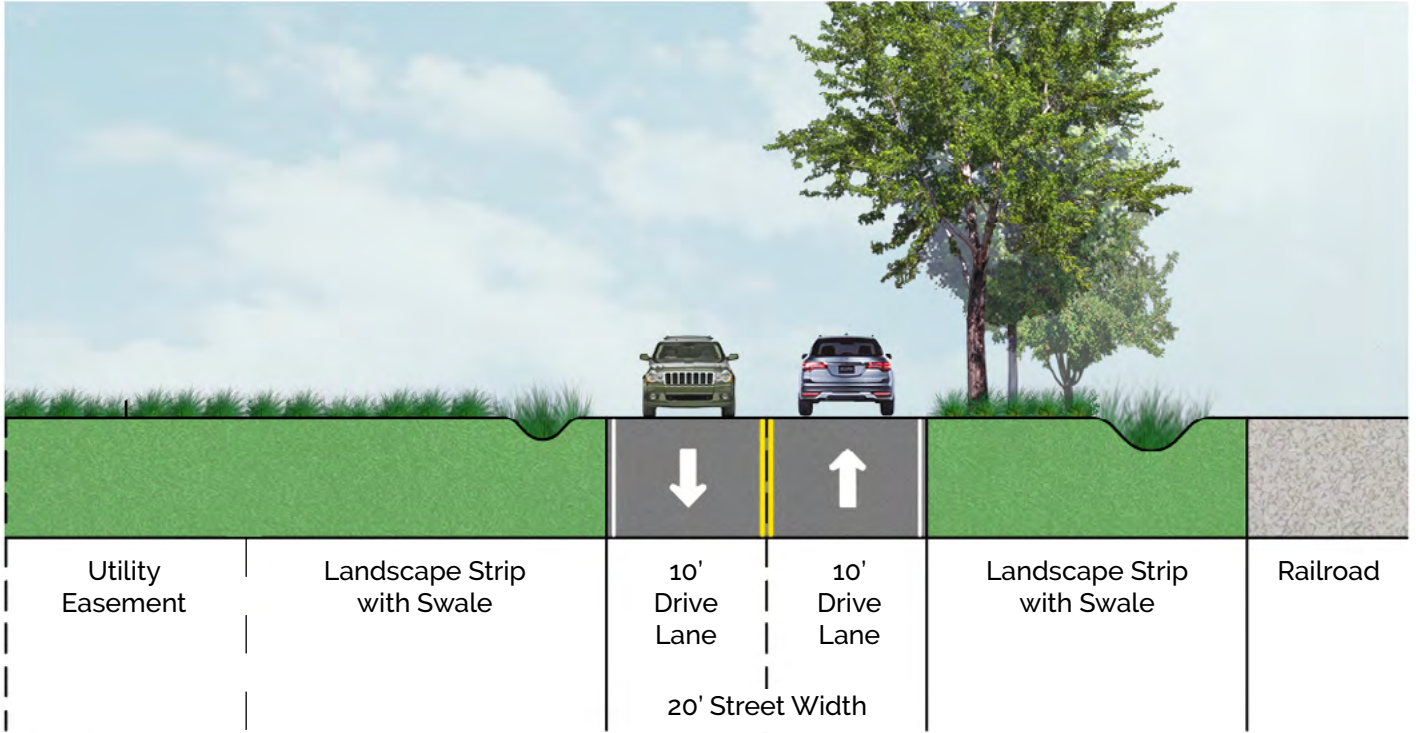
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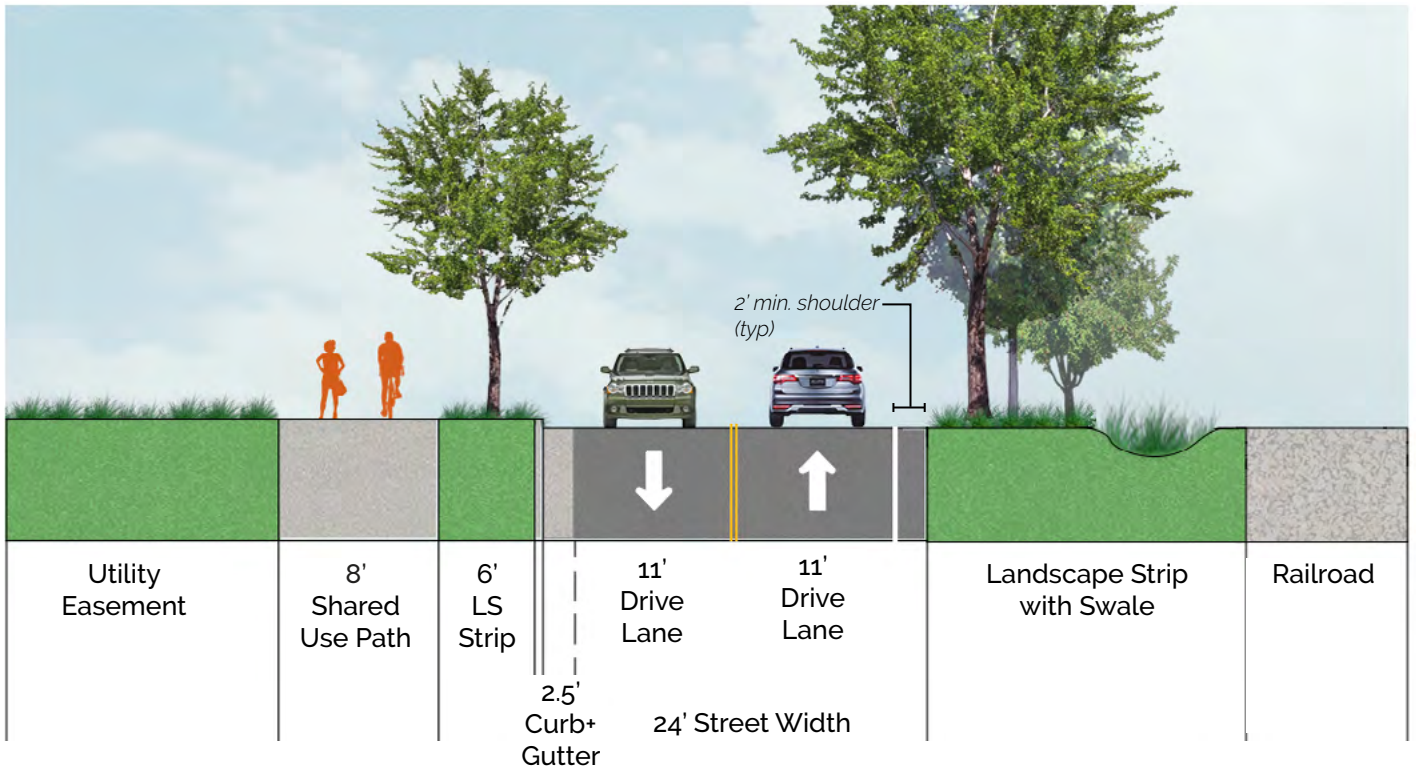
Proposed

Exhibit A

BOYD STATION ROAD (Viewing East)



Existing

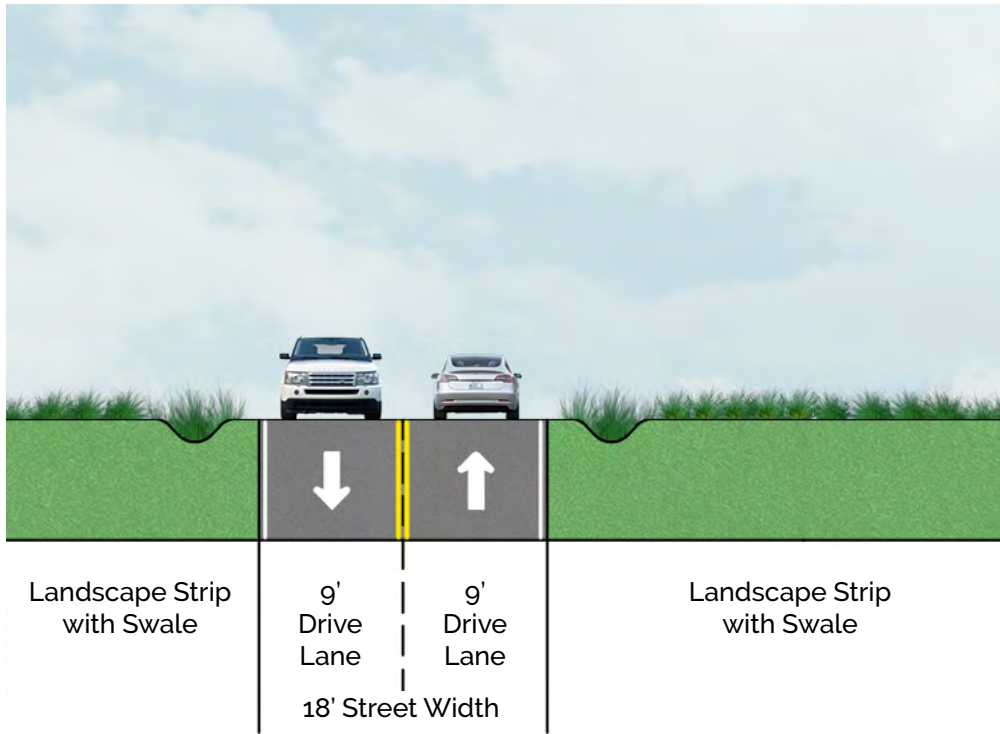


Proposed

Exhibit A

EVANS ROAD - SEGMENT 1

(Viewing East)



Existing

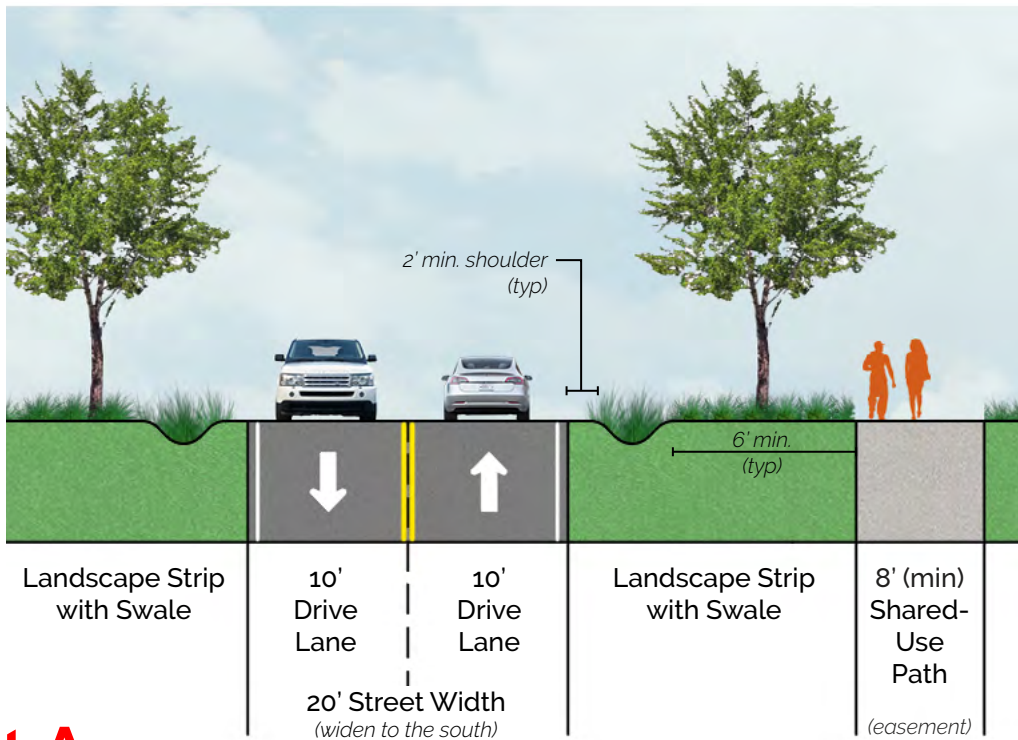
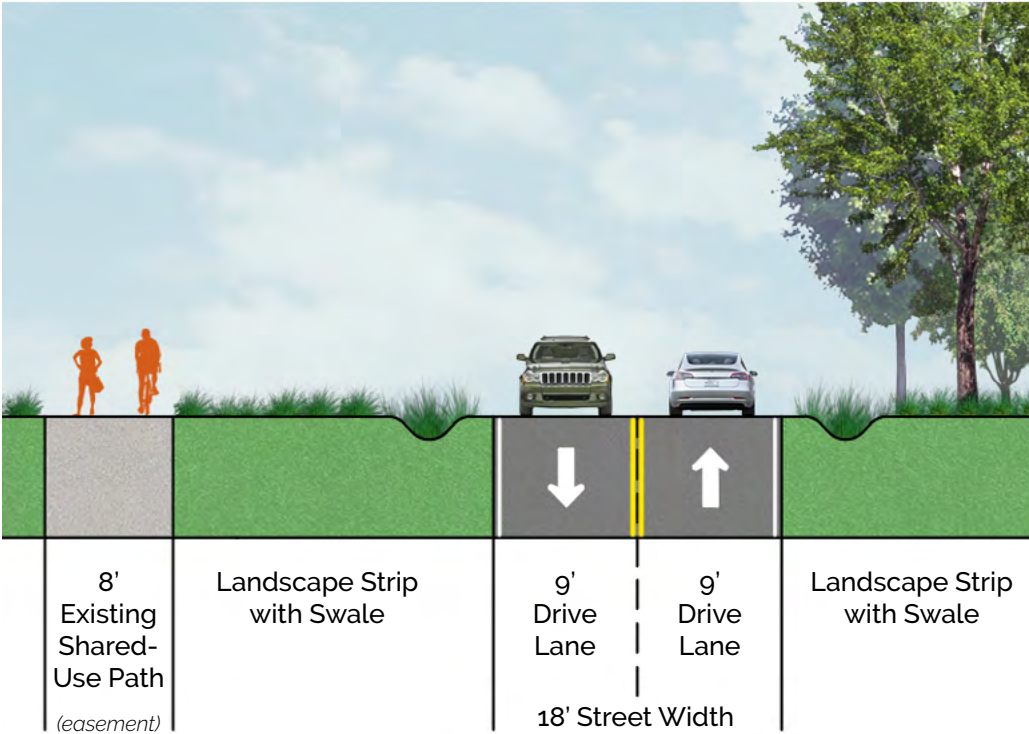


Exhibit A

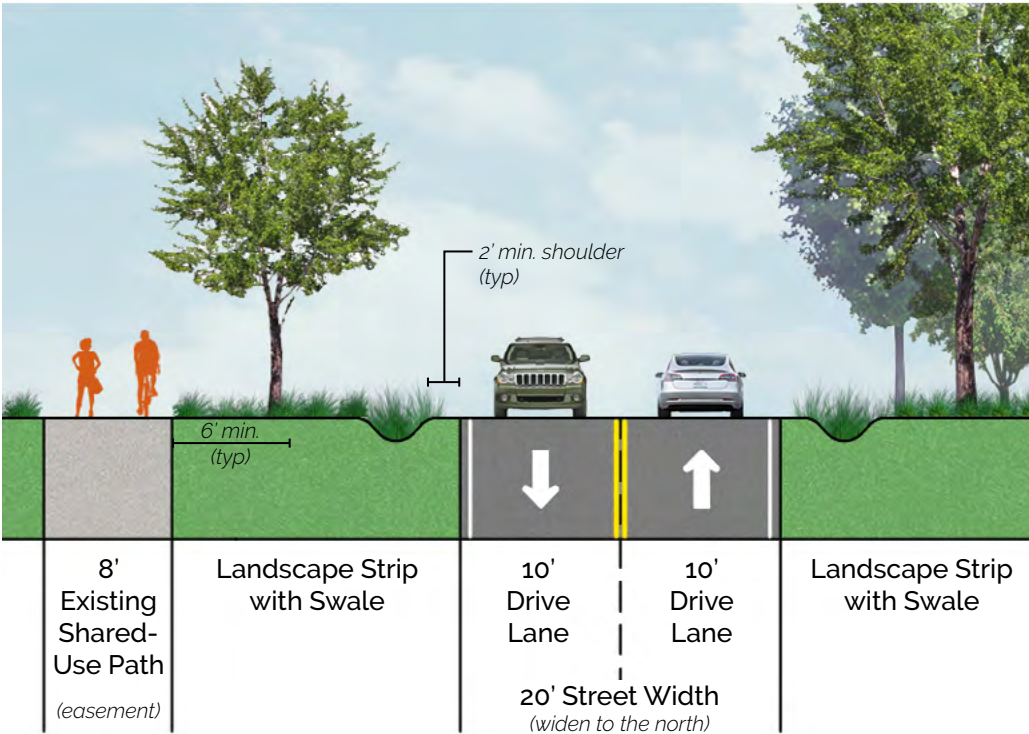
Proposed

EVANS ROAD - SEGMENT 2

(Viewing East)



Existing

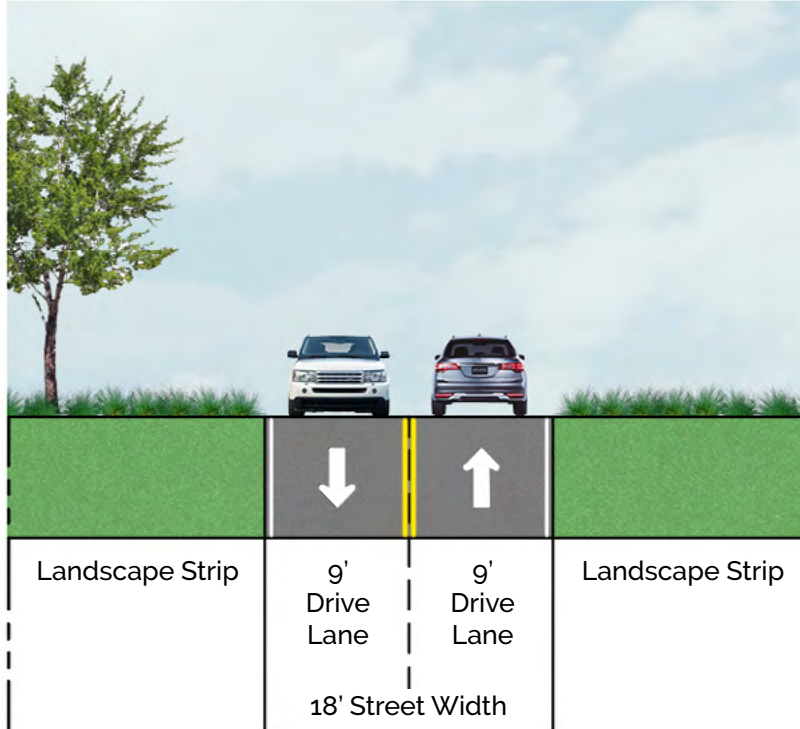


Proposed

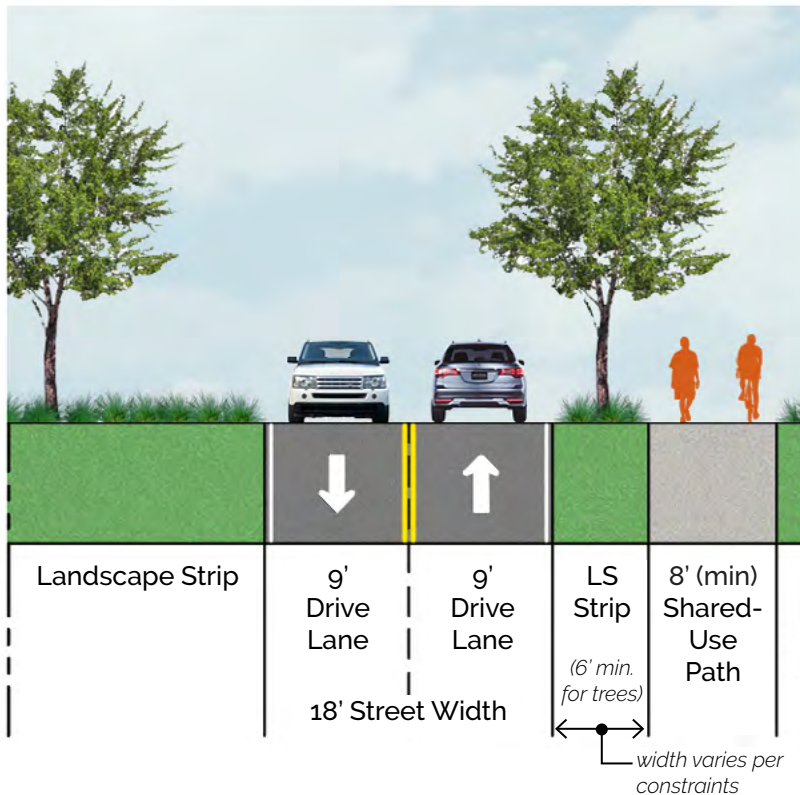
Exhibit A

HERRON ROAD

(Viewing North)



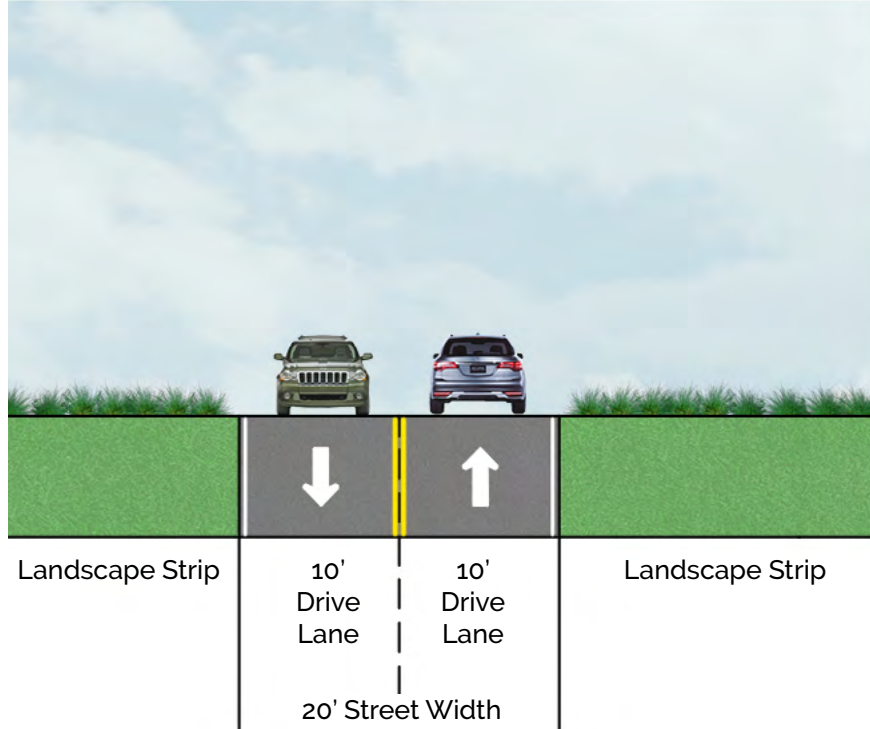
Existing



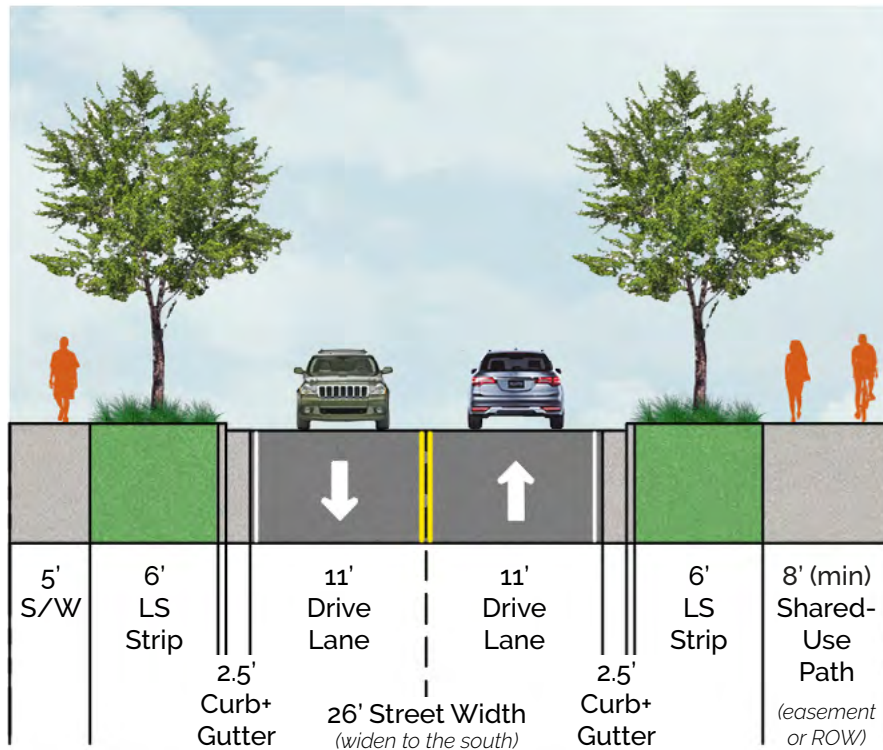
Proposed

Exhibit A

N CAMPBELL STATION ROAD (NORTH OF I-40 & THE OVERLOOK APARTMENTS) (Viewing East)



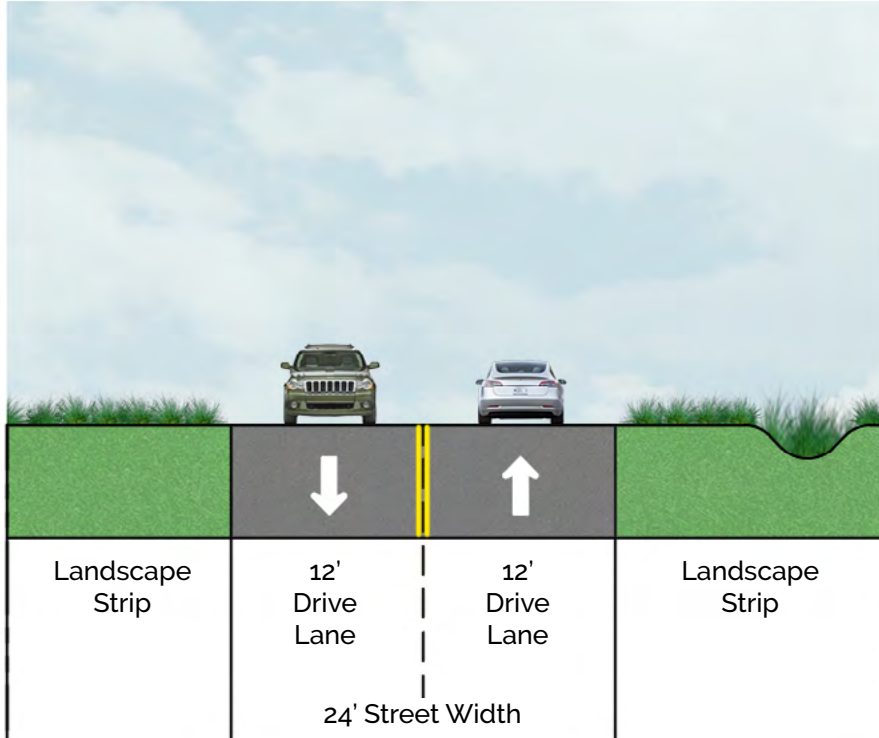
Existing



Proposed

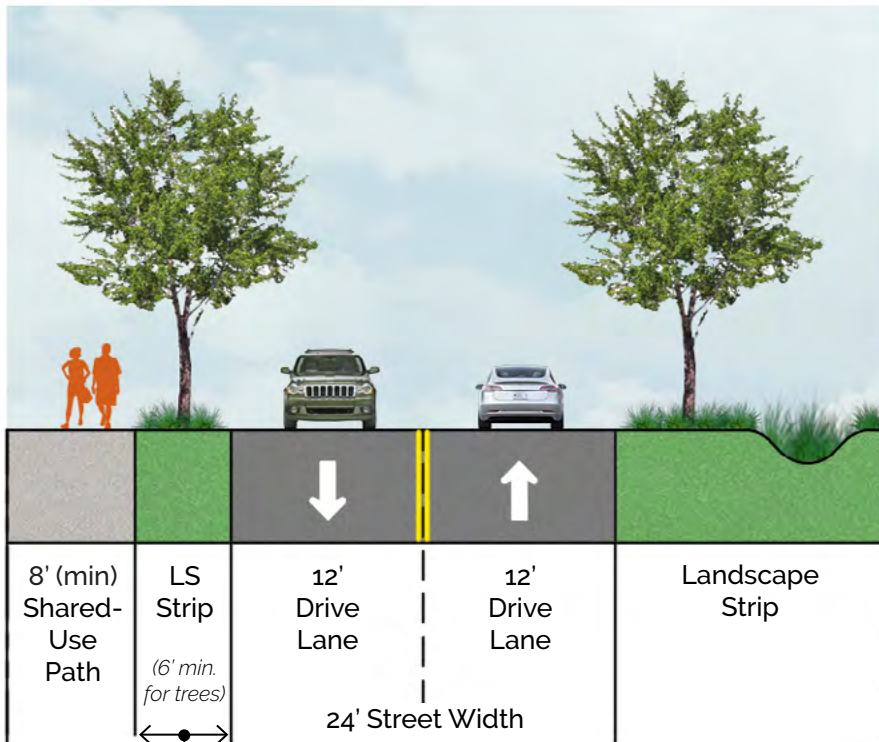
Exhibit A

RED MILL LANE (Viewing East)



Existing

Exhibit A



width varies per constraints

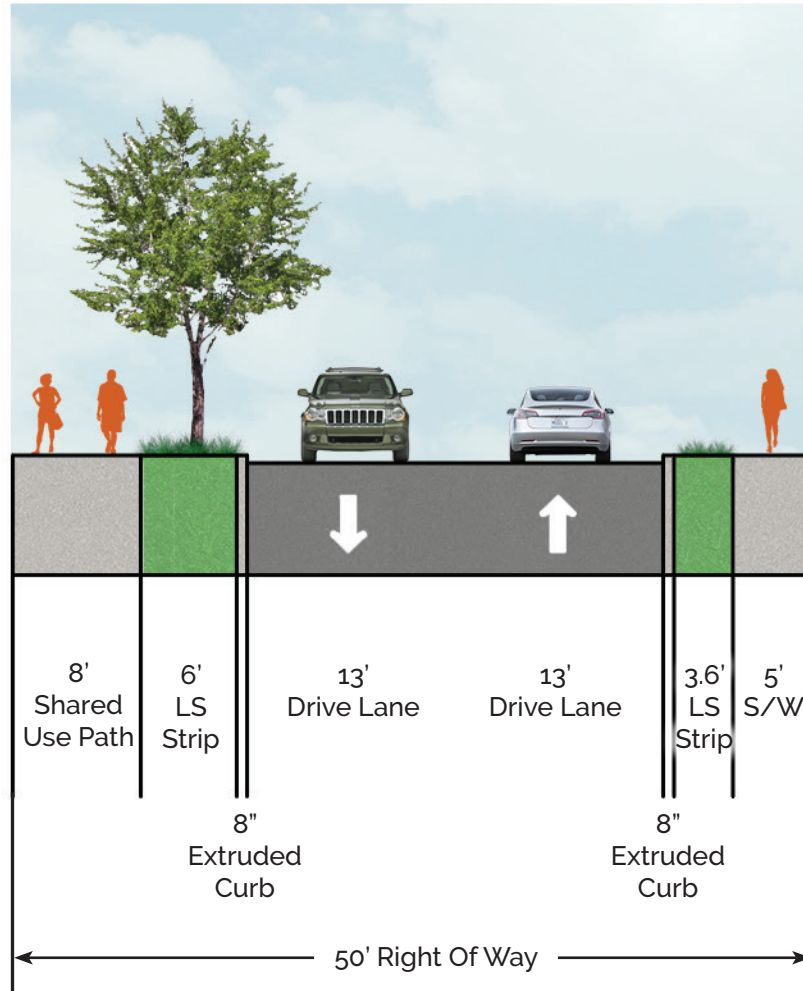
Proposed

Minor Collector Cross Section

50' Right-of-Way

(As Required per Subdivision Regulations)

Exhibit B

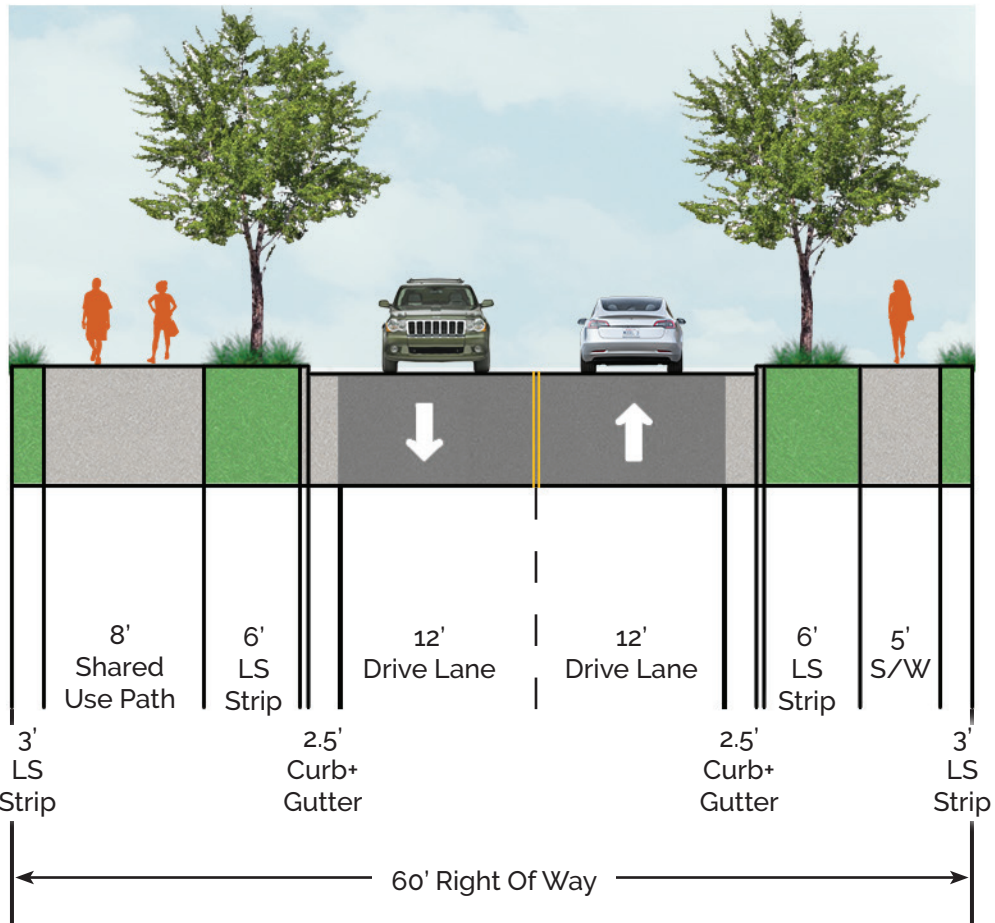


Major Collector Cross Section

60' Right-of-Way

(As Required per Subdivision Regulations)

Exhibit B

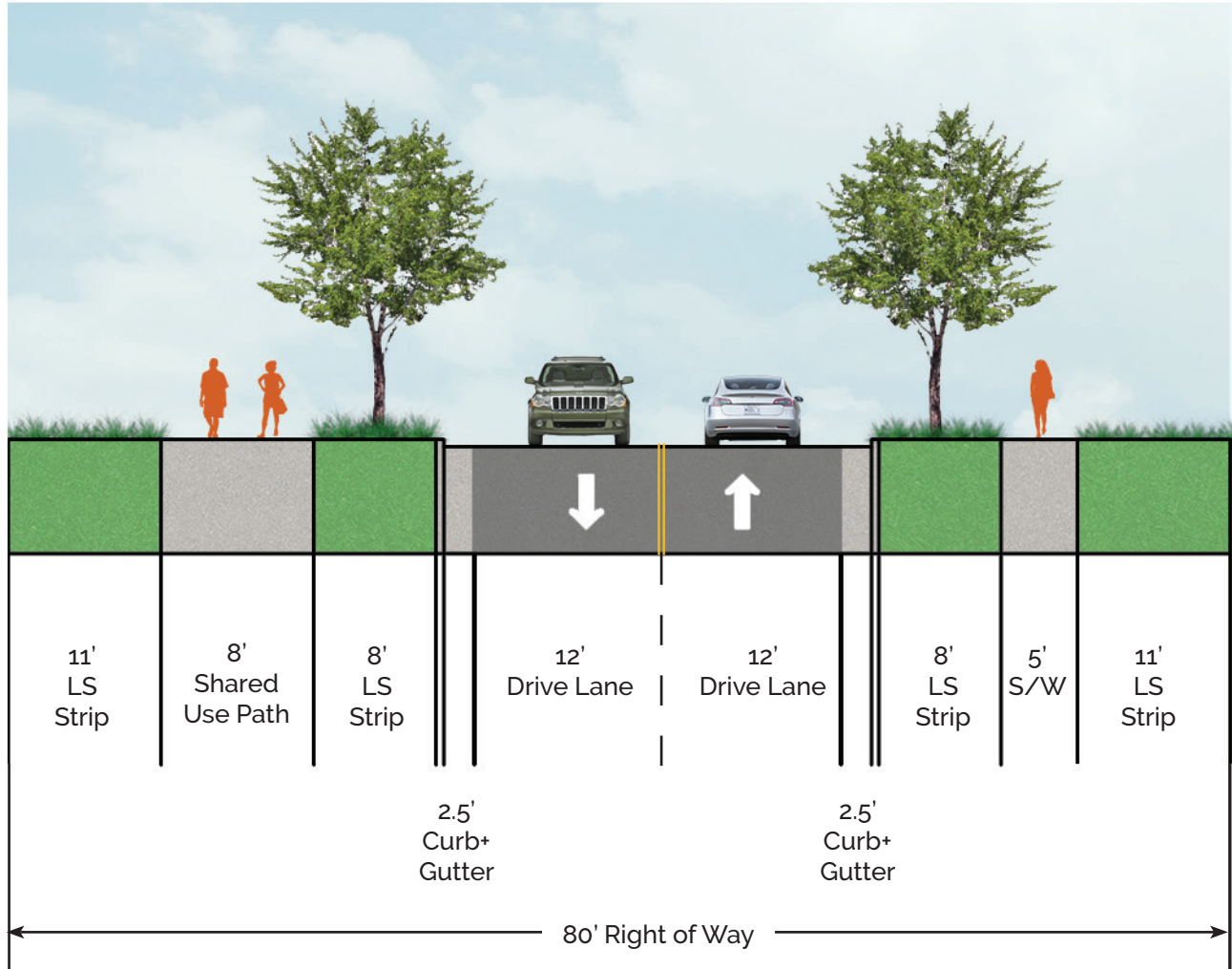


Minor Arterial Cross Section

80' Right-of-Way

(As Required per Subdivision Regulations)

Exhibit B



REPORT TO THE MUNICIPAL PLANNING COMMISSION

- Prepared By:** Mark Shipley, Community Development Director
- Subject:** Discussion and public hearing on an amendment to the Farragut Municipal Code, Chapter 109 – Signs, to clarify when signs may be removed by property owners (Town of Farragut, Applicant)
-
- Introduction & Background:** This agenda item was requested by Alderman White to help clarify when signs may be removed by a property owner.
- Discussion & Recommendations:** An initial draft of the language included in Ordinance 25-09 was prepared by the Town Attorney. Some modifications were made that were approved by the Town Attorney. Most notably, Ordinance 25-09 establishes what would be considered the public right-of-way for purposes of sign location and removal. This would add consistency and clarity to this aspect of sign enforcement. Included in the packet is a clean copy of Ordinance 25-09 and a copy that shows where the changes have been made. The staff recommends approval of Resolution PC-25-03, which recommends approval of Ordinance 25-09.
- Recommended By:** Mark Shipley, Community Development Director
- Proposed Motion:** To approve Resolution PC-25-03, which recommends approval of Ordinance 25-09 to the Board of Mayor and Aldermen.

RESOLUTION PC-25-03

FARRAGUT MUNICIPAL PLANNING COMMISSION

A RESOLUTION TO APPROVE AN AMENDMENT TO THE TOWN OF FARRAGUT SIGN ORDINANCE PURSUANT TO AUTHORITY GRANTED BY SECTION 6-2-201, TENNESSEE CODE ANNOTATED

WHEREAS, the Tennessee Code Annotated, Section 13-4-201et seq, provides that the Municipal Planning Commission shall make and adopt a general plan for the physical development of the municipality; and

WHEREAS, the Farragut Municipal Planning Commission and/or the Farragut Board of Mayor and Aldermen has adopted various regulatory measures to more fully implement said general plan; and

WHEREAS, the Town of Farragut long considered the regulation of signs an important part of its planning and supporting regulatory program; and

WHEREAS, a public hearing was held on this request on July 17, 2025;

NOW, THEREFORE, BE IT RESOLVED that the Farragut Municipal Planning Commission hereby recommends approval to the Farragut Board of Mayor and Aldermen of Ordinance 25-09, an ordinance to amend the Farragut Municipal Code, Chapter 109 -Signs, to clarify when signs may be removed by property owners.

ADOPTED this 17th day of July 2025.

Ron Pinchok, Chairman

Shannon Preston, Secretary

ORDINANCE: 25-09
PREPARED BY: Shipley
REQUESTED BY: Town of Farragut
1ST READING: _____
2ND READING: _____
PUBLISHED IN: _____
DATE: _____

AN ORDINANCE TO AMEND THE FARRAGUT MUNICIPAL CODE, CHAPTER 109-SIGNS, TO CLARIFY WHEN SIGNS MAY BE REMOVED BY PROPERTY OWNERS.

WHEREAS, the Board of Mayor and Aldermen of the Town of Farragut, Tennessee, wishes to amend the Farragut Municipal Code, Chapter 109-Signs, to clarify when signs may be removed by property owners.

NOW, THEREFORE, BE IT ORDAINED by the Board of Mayor and Aldermen of the Town of Farragut, Tennessee, that the Farragut Municipal Code is hereby amended as follows:

SECTION 1.

The Farragut Municipal Code, Chapter 109-Signs, Section 109-8., Enforcement., Subsection (a), is hereby amended as follows:

Sec. 109-8. Enforcement.

- (a) *Sign enforcement process.* Noncompliance with this chapter shall be deemed a violation. When the sign administrator finds violations of the provisions of this chapter; including but not limited to the installation of a sign without a permit, or a sign that does not conform with an approved permit and plan, or when a sign has been placed on property without the consent of the owner; the administrator shall document such findings and take the appropriate action to correct said violations. A citation to municipal court may be issued to the owner or the occupant, their agent, or employee for violations of this chapter. Notwithstanding any provisions of this sign ordinance, nothing herein shall prohibit the owner of land, public or private, where a sign has been placed, from removing such sign from the owner’s property, including the Town of Farragut when a sign is placed in its right-of-way. For purposes of this ordinance, the right of way shall be deemed to extend from 12 feet from the back of street curb or the outer edge of the street pavement where curbing does not exist. Appropriate action by the Town Administrator includes the removal of signs in road rights-of-ways and on other Town property when placed there without property owner consent or authorization.

SECTION 2.

The Farragut Municipal Code, Chapter 109-Signs, Section 109-11., General restrictions., Subsection (a) (2) b., is hereby amended as follows:

Sec. 109-11. General restrictions.

- (a) All signs erected, replaced, reconstructed, expanded, or relocated on any property within the town shall conform with the provisions of this section.
- (2) *Prohibited signs.* The following types of signs are prohibited within the town:
 - a. Abandoned or dilapidated signs, which shall be removed by the property owner or responsible entity;
 - b. Any sign placed on public property or right-of-way without the written consent of the public authority having jurisdiction over the property or any sign placed on private property without the consent of the owner of the property;

SECTION 3.

This ordinance shall take effect from and after its final passage and publication, the public welfare requiring it.

Ron Williams, Mayor

Allison Myers, Town Recorder

Certified to the Farragut Board of Mayor and Aldermen this ____ day of _____, 2025, with approval recommended.

Ron Pinchok, Chairman

Shannon Preston, Secretary

FARRAGUT MUNICIPAL PLANNING COMMISSION

ORDINANCE: 25-09
PREPARED BY: Shipley
REQUESTED BY: Town of Farragut
1ST READING: _____
2ND READING: _____
PUBLISHED IN: _____
DATE: _____

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SECTION 3.

This ordinance shall take effect from and after its final passage and publication, the public welfare requiring it.

Ron Williams, Mayor

Allison Myers, Town Recorder

Certified to the Farragut Board of Mayor and Aldermen this ____ day of _____, 2025, with approval recommended.

Ron Pinchok, Chairman

Shannon Preston, Secretary

FARRAGUT MUNICIPAL PLANNING COMMISSION

REPORT TO THE MUNICIPAL PLANNING COMMISSION

Prepared By: Bart Hose, Assistant Director

Subject: Discussion and public hearing on approval of the Knox County, City of Knoxville, and Town of Farragut Multi-Jurisdictional Local Hazard Mitigation Plan (Town of Farragut, Applicant)

Introduction & Background:

The May 2025 “Knox County, City of Knoxville, and Town of Farragut Multi-Jurisdictional Local Hazard Mitigation Plan” has recently been approved by the Federal Emergency Management Agency (FEMA) for local adoption. The plan was developed as a required update to the 2018 hazard mitigation plan, in accordance with the Disaster Mitigation Act of 2000. “The purpose of natural hazards mitigation is to reduce or eliminate long-term risk to people and property from natural hazards”, and the plan was developed to “reduce future losses to the county and its communities resulting from natural hazards”. The update was initiated in September 2023 and was completed with the assistance of the consulting firm WSP, Inc. The planning process utilized a Hazard Mitigation Planning Committee made up of stakeholders and representatives from each of the participating jurisdictions. Several planning meetings were held, along with a public webinar and an online survey conducted by the consulting firm (Executive Summary attached). A copy of the full plan can be viewed online via the following link: townoffarragut.org/hazard .

The plan includes a review of the planning process utilized; a general profile of the area and a discussion of each jurisdiction’s existing capabilities with respect to mitigation activities; a natural hazard risk assessment that includes descriptions and profiles of all identified hazards and a vulnerability assessment of those hazards; identified mitigation strategies to pursue, and a defined process for ongoing plan maintenance and updating. These plan elements are all required for FEMA approval. The plan provides valuable information regarding natural hazards that may affect the area and the community’s potential vulnerability to those hazards. It includes various mitigation strategies, projects, or programs that the planning committee identified to address mitigation goals in

the area. These mitigation strategies are intended to provide guidance to local decision makers interested in pursuing mitigation goals and programs within their community. FEMA does not require implementation of the strategies; however, future mitigation grant applications must be related to them. The plan and strategies can also be amended at any time within the standard update cycle to better adjust to local needs and priorities. It, like all plans, is intended to be a living document in support of good public policy and decision-making within the community.

Each local government or covered jurisdiction must individually adopt the plan to be eligible for Federal Hazard Mitigation Grants, when available. These grants include the Hazard Mitigation Grant Program (HMGP); the Building Resilient Infrastructure and Communities (BRIC) program; and the Flood Mitigation Assistance (FMA) program.

Discussion & Recommendations:

The staff recommends that the Planning Commission approve the plan via Resolution PC-25-04 and recommend it to the Board of Mayor of Alderman for adoption via Board of Mayor and Aldermen Resolution R-2025-13.

Recommended By:

Bart Hose, Assistant Director

Proposed Motion:

To approve Resolution PC-25-04.

REPORT TO THE MUNICIPAL PLANNING COMMISSION

Prepared By: Bart Hose, Assistant Director

Subject: Discussion and public hearing on approval of the Knox County, City of Knoxville, and Town of Farragut Multi-Jurisdictional Local Hazard Mitigation Plan (Town of Farragut, Applicant)

Introduction & Background:

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**Discussion &
Recommendations:**

The staff recommends that the Planning Commission approve the plan via Resolution PC-25-04 and recommend it to the Board of Mayor of Alderman for adoption via Board of Mayor and Aldermen Resolution R-2025-13.

Recommended By:

Bart Hose, Assistant Director

Proposed Motion:

To approve Resolution PC-25-04.

EXECUTIVE SUMMARY

The purpose of this Hazard Mitigation Plan (HMP) is to reduce or eliminate risk to people and property from natural and technological or human-caused hazards. Every community faces different hazards and has different resources to draw upon in combating problems along with unique interests that influence the solutions to those problems. Because there are many ways to manage and mitigate the effects of hazards and many agencies that can help, every community must decide on the best approach for their unique situation. Planning is one of the best ways to develop a customized program for hazard mitigation.

A well-prepared HMP provides a framework for all interested parties to work together and reach consensus on identifying priority risks and selecting the preferred activities to mitigate those risks. The HMP planning process supports a comprehensive review of mitigation alternatives so that problems are addressed by the most appropriate and efficient solutions. It also enables communities to coordinate mitigation projects with other local goals and activities, preventing conflicts and reducing the costs of implementing each individual project.

Knox County and its incorporated communities, the City of Knoxville and Town of Farragut, followed the planning process prescribed by the Federal Emergency Management Agency (FEMA) and the 2017 Community Rating System (CRS) Coordinator’s Manual. This plan was developed under the guidance of a Hazard Mitigation Planning Committee (HMPC) comprised of representatives of County, City, and Town departments, residents, and outside stakeholders. The HMPC conducted a risk assessment that identified and profiled hazards that pose a risk to the county and assessed each community’s vulnerability to those hazards. The hazards addressed in this plan were chosen by the HMPC based on the previous plan, the 2018 Tennessee Hazard Mitigation Plan, and consideration of hazard frequency and potential severity of damage. The following hazards are identified and profiled in this plan:

- Dam/Levee Failure
- Drought
- Earthquake
- Expansive Soils
- Extreme Temperature
- Flooding
- Landslide
- Severe Storm
- Sinkhole
- Tornado
- Wildfire
- Winter Storm

The conclusions drawn from each individual hazard profile and vulnerability assessment were used to prioritize all potential hazards to Knox County using the Priority Risk Index (PRI). This method provides a standardized numeric value to each hazard for comparability. A higher PRI value indicates a hazard poses a higher risk to the community. The PRI is a weighted sum of values assigned across five categories: probability, impact, spatial extent, warning time, and duration. Each hazard is assigned a value between 1 and 4 for each category based on a defined set of criteria. Higher PRI scores reflect a higher priority rating. The table below summarizes the PRI results for the hazards addressed in this plan.

Summary of PRI Results

Hazard	Probability	Impact	Spatial Extent	Warning Time	Duration	PRI Score
<i>Natural Hazards</i>						
Dam/Levee Failure	Unlikely	Limited	Small	More than 24 hrs	Less than 1 week	1.7
Drought	Possible	Minor	Small	More than 24 hrs	More than 1 week	2.1
Earthquake	Possible	Minor	Moderate	Less than 6 hrs	Less than 6 hrs	2.0

Hazard	Probability	Impact	Spatial Extent	Warning Time	Duration	PRI Score
Expansive Soils	Unlikely	Minor	Small	More than 24 hrs	More than 1 week	1.5
Extreme Temperature	Highly Likely	Limited	Large	More than 24 hrs	Less than 1 week	3
Flood	Highly Likely	Limited	Large	6 to 12 hrs	Less than 1 week	3.2
Landslide	Likely	Limited	Moderate	Less than 6 hrs	Less than 6 hrs	2.7
Severe Storm	Highly Likely	Limited	Large	6 to 12 hrs	Less than 6 hrs	3
Sinkhole	Highly Likely	Limited	Small	Less than 6 hrs	Less than 6 hrs	2.4
Tornado	Likely	Limited	Negligible	Less than 6 hrs	Less than 6 hrs	2.2
Wildfire	Highly Likely	Minor	Negligible	Less than 6 hrs	Less than 6 hrs	2.2
Winter Storm	Highly Likely	Minor	Moderate	More than 24 hrs	Less than 1 week	2.5

This plan also examines each community's capabilities in place to mitigate the identified hazards. Opportunities to expand and improve capabilities were considered when developing the mitigation strategy. The HMPC set shared goals and objectives and reviewed a wide range of mitigation alternatives to develop a mitigation action plan with appropriate, feasible actions for each community to implement. The plan goals are as follows:

Goal 1: Minimize, prevent or reduce the vulnerability of the people, property, environment, and economy of Knox County, City of Knoxville, and Town of Farragut to the impacts of natural hazards.

Goal 2: Increase citizen awareness and preparedness by providing information describing all types of hazards, methods for preventing damage, and how to respond.

Goal 3: Strengthen protection of critical facilities and infrastructure from natural hazards to create a safer, more sustainable community.

To achieve these goals, this plan identifies 30 mitigation actions. As part of the identification and prioritization of mitigation projects, emphasis was placed on the use of program and policy alternatives to help make Knox County less vulnerable to hazards while improving the economic, social, and environmental health of the community. The concept of multi-objective planning was emphasized in the development of the mitigation strategy, particularly in identifying ways to link hazard mitigation policies and programs with complimentary community goals related to disaster recovery, housing, economic development, recreational opportunities, transportation improvements, environmental quality, land development, and public health and safety.

U.S. Department of Homeland Security
Region 4
3005 Chamblee Tucker Road
Atlanta, GA 30341



FEMA

May 7, 2025

Mr. Shannon Ball
State Hazard Mitigation Officer
Tennessee Emergency Management Agency
3041 Sidco Drive
Nashville, TN 37204

Reference: Knox County Hazard Mitigation Plan

Dear Mr. Ball:

The Federal review of the draft Knox County Hazard Mitigation Plan for compliance with the planning requirements contained in 44 CFR §201.6 is complete. The plan is compliant with Federal requirements, subject to formal community adoption. FEMA approval pending adoption does not include the review or approval of content that exceeds the applicable FEMA mitigation planning requirements.

For our office to issue formal approval of the plan, the jurisdiction(s) must submit adoption documentation. Upon receipt of the adoption resolution(s) to our office, we will issue formal approval of the Knox County Hazard Mitigation Plan. Once approved, please submit a final copy of the Plan, without draft notations and track changes.

If you or any plan participant need assistance, please do not hesitate to contact Kymberly Kudla, of my staff, at (202) 655-6712.

Sincerely,

A handwritten signature in blue ink that reads "Kristen M. Martinenza".

Kristen M. Martinenza, P.E.
Risk Analysis Branch Chief

RESOLUTION PC-25-04

FARRAGUT MUNICIPAL PLANNING COMMISSION

A RESOLUTION TO APPROVE THE “KNOX COUNTY, CITY OF KNOXVILLE, AND TOWN OF FARRAGUT MULIT-JURISDICTIONAL LOCAL HAZARD MITIGATION PLAN, (MAY 2025)” AND TO RECOMMEND THE ADOPTION OF SAID PLAN TO THE FARRAGUT BOARD OF MAYOR AND ALDERMEN

WHEREAS, the Tennessee Code Annotated, Section 13-4-201et seq, provides that the Municipal Planning Commission shall make and adopt a general plan for the physical development of the municipality; and

WHEREAS, the Tennessee Code Annotated, Section 13-4-203et seq, provides that the Municipal Planning Commission shall, in the preparation of the plan, make careful and comprehensive surveys and studies of the existing conditions and future growth of the municipality and its environs; and

WHEREAS, the Farragut Municipal Planning Commission recognizes the threat that natural hazards pose to people and property within our community; and

WHEREAS, the Farragut Municipal Planning Commission recognizes that the presence of natural hazards and the need to address and mitigate those hazards, where possible, may impact the future growth of the municipality and its environs; and

WHEREAS, the Farragut Municipal Planning Commission recognizes that adoption of a mitigation plan by the local legislative body is required as a condition of future funding for mitigation projects under multiple mitigation grant programs administered by the Federal Emergency Management Agency; and

WHEREAS, the Tennessee Emergency Management Agency and Federal Emergency Management Agency Region IV officials have reviewed the “Knox County, City of Knoxville, and Town of Farragut Multi-Jurisdictional Local Hazard Mitigation Plan, (May 2025)” and approved it contingent upon its official adoption by participating local governing bodies; and

WHEREAS, a public hearing was held on this resolution on July 17, 2025;

NOW, THEREFORE, BE IT RESOLVED that the Farragut Municipal Planning Commission approves the “Knox County, City of Knoxville, and Town of Farragut Multi-Jurisdictional Local Hazard Mitigation Plan, (May 2025)” for application in support of its and the Town’s planning program; and

BE IT FURTHER RESOLVED that the Farragut Municipal Planning Commission hereby recommends approval and adoption of said plan to the Farragut Board of Mayor and Aldermen by the adoption of Town of Farragut Resolution R-2025-13.

ADOPTED this 17th day of July, 2025.

Chairman, FMPC

Secretary, FMPC



TOWN OF FARRAGUT

RESOLUTION R-2025-13

ADOPTION OF THE “KNOX COUNTY, CITY OF KNOXVILLE, AND TOWN OF FARRAGUT MULTI-JURISDICTIONAL LOCAL HAZARD MITIGATION PLAN”

WHEREAS, the Town of Farragut, Tennessee recognizes the threat that natural hazards pose to people and property within our community; and

WHEREAS, undertaking hazard mitigation actions will reduce the potential for harm to people and property from future hazard occurrences; and

WHEREAS, the U.S Congress passed the Disaster Mitigation Act of 2000 (“Disaster Mitigation Act”) emphasizing the need for pre-disaster mitigation of potential hazards; and

WHEREAS, the Disaster Mitigation Act made available hazard mitigation grants to state and local governments; and

WHEREAS, an adopted Local Hazard Mitigation Plan is required as a condition of future funding for mitigation projects under multiple FEMA disaster mitigation grant programs; and

WHEREAS, the Town of Farragut, Tennessee fully participated in the FEMA-prescribed mitigation planning process to prepare the “Knox County, City of Knoxville, and Town of Farragut Multi-Jurisdictional Local Hazard Mitigation Plan (May 2025)”;

WHEREAS, the Tennessee Emergency Management Agency and the Federal Emergency Management Agency Region IV officials have reviewed the “Knox County, City of Knoxville, and Town of Farragut Multi-Jurisdictional Local Hazard Mitigation Plan,” and approved it contingent upon this official adoption of the participating governing body; and

WHEREAS, the Town of Farragut, Tennessee desires to comply with the requirements of the Disaster Mitigation Act and to augment its emergency planning efforts by formally adopting the Multi-Jurisdictional Local Hazard Mitigation Plan; and

WHEREAS, adoption by the governing body for the Town of Farragut demonstrates the jurisdictions’ commitment to fulfilling the mitigation goals and objectives outlined in this Multi-Jurisdictional Local Hazard Mitigation Plan; and

WHEREAS, adoption of this legitimizes the plan and authorizes responsible agencies to carry out their responsibilities under the plan;

NOW, THEREFORE BE IT RESOLVED, that the Town of Farragut, Tennessee adopts the “Knox County, City of Knoxville, and Town of Farragut Multi-Jurisdictional Local Hazard Mitigation Plan (May 2025)” as an official plan; and

BE IT FURTHER RESOLVED, the Town of Farragut, Tennessee will submit this Adoption Resolution to the Tennessee Emergency Management Agency and Federal Emergency Management Agency Region IV officials to enable the plan’s final approval.

This Resolution is duly adopted by the Board of Mayor and Aldermen of the Town of Farragut on this ____ day of _____ 2025.

Ron Williams, Mayor

Allison Myers, Town Recorder

REPORT TO THE MUNICIPAL PLANNING COMMISSION

Prepared By: Mark Shipley, Community Development Director

Subject: Appointment of Tree Board Member

Introduction & Background: As part of the Town’s Tree City recognition, a Tree Board is required along with a Public Tree Care Ordinance which provides for the Tree Board and establishes their duties.

Discussion & Recommendations: The Town’s adopted Public Tree Care Ordinance includes the Tree Board membership and the requirement for one of the members to be either a representative from the Board of Mayor and Aldermen or the Planning Commission. The Planning Commission’s current Tree Board representative is Scott Russ. However, with Scott Russ leaving the Planning Commission a new representative is needed. The Tree Board includes mostly Town staff and meets once per quarter.

Recommended By: Mark Shipley, Community Development Director

Proposed Motion: To appoint a representative on the Farragut Tree Board.

REPORT TO THE MUNICIPAL PLANNING COMMISSION

Prepared By: Bart Hose, Assistant Director

Subject: Discussion on amendments to the Farragut Code of Ordinances, Appendix A – Zoning, Chapter 4., Section VI., Customary Home Occupations (Town of Farragut, Applicant)

Introduction & Background:

The Town staff initiated a discussion on home occupations at the October 17, 2024, Planning Commission Meeting. This was in response to growing permitting issues and citizen complaints regarding the operation and conduct of home occupations in residential neighborhoods. While the Town’s Zoning Ordinance does currently address “customary home occupations” (attached), the permitting issues and citizen complaints raised questions regarding the application of the current regulations to the range of possible home occupations, and the Town’s intent and preferences for regulating such uses. The Planning Commission discussed the issue at the October 17 meeting and asked staff to develop potential zoning amendments to better address the issue. This included the use of a citizen working group to provide input on the issue and potential amendments. The Planning Commission was provided an update on the project at its April 2025 meeting, where it was presented with draft regulations for review and comment.

The staff and five-member citizen group have continued to work on the issue and revise the proposed regulations. This includes reorganizing the original draft into a simpler two-tier classification system, with the first tier (“Type 1” occupations) being allowed by right with no permit required. A revised working draft of the proposed regulations has been completed for discussion and additional input (attached).

Discussion & Recommendations:

The principal zoning issue with home occupations involves mitigating and balancing potential impacts on the residential character of a neighborhood. The question to ask is, at what point do the activities and likely impacts associated with a home occupation go beyond what should be reasonably expected and accepted in a residential neighborhood. The draft regulations

would allow for a wide range of business activities as home occupations, provided various standards and conditions are met. These standards and conditions are intended to limit the scale and potential impacts of a proposed home occupation on neighboring properties.

The staff would like to obtain additional Planning Commission input regarding its and the Town's preferences and intent for regulating home occupations. Possible points of discussion include the following:

1. The general approach taken with the draft regulations. Discussion points include:
 - Combining all the proposed uses allowed into either the Type 1 or Type 2 categories.
 - The range of uses and business allowed as home occupations. Are there any uses that should be added or deleted?

2. The types and sizes of vehicles and trailers allowed. The presence of business-related commercial vehicles associated with home occupations can create conflicts with neighbors and can impact the residential character they expect in their neighborhoods. Discussion points include:
 - The type, size, and number of business-related vehicles allowed to be kept on site.
 - The proposed regulations have been updated to require that larger business vehicles and trailers need to be parked and stored behind the front plane of the residence (building). The Town has no setback restrictions for driveways or this type of vehicle storage. How might neighboring property owners be impacted and is some sort of setback needed or practical?

Recommended By: Bart Hose, Assistant Director

Proposed Motion: Discussion only.

Home Occupation Regulations, Draft Language July 2025

Definitions

Home-based worker – is an employee, generally a professional, who does his or her job from home instead of commuting to their employer’s business site or office on a full or part-time basis. Also known as remote workers or teleworkers, they perform their work and stay in contact with their employers, co-workers, and clients/customers exclusively via phone, the internet, or off-site meetings.

Home Occupation / Home-Based Business – a gainful business, profession, occupation, or trade conducted by a resident as an accessory to and within their residential dwelling unit, provided all applicable regulations and requirements of the Town of Farragut are met. For the purposes of these regulations the terms home occupation and home-based business may be used interchangeably.

Zoning Section and Requirements

Section VI. Customary home occupations/home-based businesses

It is the intent of this section to establish the permitting process, regulatory framework, and development criteria for small scale home occupations/home-based businesses in order to limit and manage their potential impacts on surrounding residential properties.

Applicability. This section and its requirements are applicable to all Home Occupations / Home-Based Businesses operating within the Town of Farragut. Type One (1) home occupations, as listed below, are considered an allowable use by right within applicable zoning districts and do not require a permit provided all applicable provisions of this section are met on a continuing basis. All other home occupations and home-based businesses require permitting under this section. This section is not intended to apply to Home-Based Workers, as defined in this zoning ordinance.

A. General Requirements

The following requirements and development criteria shall apply to all home occupations/home-based businesses. Additional requirements for specific home occupation types and/or activities may apply and are listed in subsequent subsections/parts below.

1. Home occupations shall be undertaken by the residents/occupants of the dwelling unit. Only one employee other than a resident of the dwelling may be working on site at any time.
2. The physical location/address of the home occupation shall not be used as a meeting or staging location for offsite employees or work crews.
3. Home occupations must be conducted entirely within the dwelling unit (including attached garage). With the exception of the parking a permitted business vehicle or trailer, accessory buildings shall not be used in connection with a home occupation, including for the storage of equipment, materials, supplies, goods, customer goods, or articles associated with the business.

4. The use of a dwelling unit for a home occupation shall be clearly incidental and subordinate to its use for residential purposes and not more than 25% of the gross floor area of the dwelling unit shall be used to conduct the occupation.
5. If the residents of the dwelling wish to engage in more than one home occupation, each home occupation must be permitted separately, and the total floor area of all occupations must not exceed 25% of the dwelling's gross-floor area.
6. There shall be no change or alteration to the exterior appearance of any building that would indicate the presence of the home occupation. The residential character of the lot and dwelling must be maintained.
7. With the exception of business-related vehicles or trailers, as permitted by these home occupation regulations, there shall be no outdoor storage of equipment, materials, supplies, goods, customer goods, or articles associated with the home occupation. In addition, only such equipment, materials, supplies, goods, customer goods, or articles used or produced in connection with the home occupation may be stored on-site and within the dwelling unit (including attached garage).
8. Except as provided for in the requirements/standards below, no additional traffic or parking congestion shall be generated in connection with the home occupation other than what would be expected of a typical residence.
9. No equipment or process shall be used in connection with a home occupation that creates noise, vibration, glare, fumes, odors, or electrical interference, including voltage fluctuations detectable to the normal senses off of the lot.
10. Solid waste containers shall be limited to the sizes and types typically found in residential areas. The use of dumpsters and other larger types of solid waste containers for a home occupation shall be prohibited.
11. The home occupation shall not adversely affect public safety through the storage or generation of explosive, flammable, or hazardous materials in quantities which could constitute a neighborhood danger based on the determination of the Town Fire Marshal. In addition, all such materials must be disposed of properly and offsite.
12. Signs shall be limited to one non-illuminated wall mounted sign not to exceed two square feet in area.

B. Additional Specific Requirements by Home Occupation Type

1. Type 1 – Limited Home Office/Studio Based Activities

Type 1 home occupations are limited to home office/studio-based activities where client contact and services are principally conducted via phone, internet, or off-site. For the purposes of these regulations, Type 1 home occupations are intended to be “use by right” activities with no permit required, provided all applicable provisions of these regulations are met on an ongoing basis.

Uses. For the purposes of this ordinance, Type 1 home occupations may include:

- office based businesses/professions providing remote management, administrative, or professional services including, but not limited to, accountants, architects, attorneys,

engineers, planners, Information technology consultants, data entry services/clerks, management or financial consultants, real estate or insurance agents, contractor or trades persons (office only), or like professions as determined by the zoning administrator;

- sales agents and sales representatives; and
- artistic and creative professions including, but not limited to, artists, authors, graphic designers, photographers, interior designers, event planners, caterers, or like professions, as determined by the zoning administrator.

In addition to the general requirements listed above, all Type 1 home occupations must also meet the following standards.

- Visits. On-site client meetings/visits shall be limited to no more than one client at a time between the hours of 8:00 a.m. and 6:00 p.m. and no more than a total of 2 meetings per day. All other client and business contacts shall be via phone, internet, or off-site. Off-street parking shall be provided for any on-site client contact/meetings.
- Vehicles. Business vehicles associated with the home occupation shall be limited to passenger type vehicles typically found in a residential area including standard size cars, minivans, SUVs, and pickup trucks (light duty). No more than one dedicated (non-personal use) business vehicle is permitted per home occupation. All such vehicles shall be parked on-site overnight. No additional/other business vehicles shall be parked on premises or on-street overnight.
- Deliveries. Parcel services (deliveries/pickups) associated with the home-based business shall be limited to a maximum of two per week, above and beyond normal household parcel services. Such parcel services shall be limited to public or private parcel service carriers (e.g. USPS, FedEx, UPS), no other truck deliveries are permitted.
- Sales. There shall be no on-site sales of merchandise directly to customers; however, telephone and internet sales are permitted.

2. Type 2 – Home Occupations and Home-Based Businesses

Type 2 home occupations and home-based businesses may involve activities and impacts beyond the limited office and studio-based activities permitted as a Type 1 home occupation. Permits are required for all such home occupations.

Uses. For the purposes of this ordinance, Type 2 home occupations may include:

- any listed Type 1 occupation or use;
- bakers, sewists, and tailors or like professions as determined by the zoning administrator;
- counseling services;
- tutoring and instruction services including, but not limited to, academics, arts, crafts, fitness, swim lessons and similar subjects;

- personal beauty and well-being services, including spa services and beauty and barber care;
- recording artists;
- small scale childcare and pet sitting;
- artisan and craftsperson production, and related minor assembly, fabrication, and repairs including woodworking, pottery, jewelry making and repair, watch and clock repair, gunsmithing, gift basket assembly, and similar activities conducted at a scale typical of home arts and craft activities as determined by the zoning administrator;
- other minor small scale assembly and repair activities including small engine repair, small appliance repair, simple auto repair, and similar activities as determined by the zoning administrator; and
- offices for mobile service providers, such as dog grooming, auto detailing, maintenance service, courier service, or mobile food vendor.

In addition to the general requirements listed above, all Type 2 home occupations must also meet the following standards.

- a. Visits. Except as otherwise provided for in this part below, all on-site client/customer visits shall be limited to no more than two clients/customers or a single family at a time (per hour) between the hours of 8:00 a.m. and 8:00 p.m.

Small-scale childcare services shall provide care for no more than four children at a time that are not related to the residents operating the home occupation.

Pet sitting services shall provide care for no more than two pets at a time, in addition to the pets of the residents operating the home occupation. All Such pets shall be kept mostly indoors.

Off-street parking shall be provided for all on-site client/customer visits. All other client/customer services and business contacts shall be via phone, internet, or off-site.
- b. Sales. On-site retail sales shall be incidental to the home occupation use and limited to merchandise produced on-site, or in the case of personal beauty and well-being services, may include hair care, beauty, and similar personal care products used on site and provided to clients. All other sales activities shall be conducted off-site or by telephone or internet.
- c. Vehicles. Permitted business vehicles or trailers associated with the home occupation shall be limited to the following types and by the following conditions.
 - (1) Passenger type vehicles typically found in a residential area including standard size cars, minivans, SUVs, and pickup trucks (light duty), provided no more than one dedicated (non-personal use) business vehicle is permitted per home occupation. All such vehicles shall be parked on-site overnight.
 - (2) Limited types of larger vehicles, including specifically utility/cargo van, step van/walk-in van/multi-stop truck/delivery van, medium duty pickup, and

minibus, or a trailer (enclosed or open) may be permitted provided the following conditions are met.

- a) No more than one dedicated (non-personal use) larger business vehicle is permitted per home occupation. One dedicated (non-personal use) business trailer may be permitted, provided the tow-vehicle for said trailer shall be limited to a light or medium duty pickup truck or a utility/cargo van, which shall not exceed an overall length (bumper to bumper) of 22 feet.
- b) Such permitted larger vehicles are limited to no more than two (2) axles and an overall length (bumper to bumper) of 27 feet. Trailers are limited to 16-foot enclosed box or open deck lengths.
- c) Such vehicles or trailers shall be parked/stored behind the front plane of the principle building in the side or rear yard. No such vehicle or trailer shall be parked/stored in any front yard except for loading or unloading purposes on an approved surface for a period not to exceed one hour.
- d) Such vehicles or trailers must be parked/stored only on approved surfaces, including but not limited to, concrete, asphalt, or paver stones. The approved surface must exceed the length and width of the vehicle or trailer parked/stored on it.
- e) No such vehicle or trailer shall be parked on a public street overnight.
- f) When permitted, open trailers cannot contain or be used to store or park equipment, materials, supplies, goods, customer goods, or articles onsite overnight.

(3) In all cases, no additional/other business vehicles shall be parked on premises or on-street overnight.

- d. Deliveries. Parcel services (deliveries/pickups) associated with the home-based business shall be limited to a maximum of 10 per week, above and beyond normal household parcel services. Such parcel services shall be limited to public or private parcel service carriers (e.g. USPS, FedEx, UPS). No other truck deliveries are permitted.

C. Prohibited Home Occupations

Any home occupation not specifically provided for, or not meeting the requirements and standards of this section shall be prohibited.

D. Application/permit process

- 1. Applicants shall submit a completed Home Occupation Application and the required fee to the Town Hall.
- 2. Town staff shall review the application for completeness and conformance with all applicable requirements. Where applicable, the applicant shall also be required to have, or be in the process of acquiring, a Town of Farragut Business Privilege License and shall provide documentation of such with any home occupation permit request. A complete home occupation permit application will be reviewed and approved or denied within 15

working days of its submittal. If denied, the applicant may appeal the staff's decision to the Farragut Board of Zoning Appeals for an administrative review of such a decision.

3. An approved application shall represent the permit and shall constitute an agreement to operate the home occupation in accordance with all applicable requirements. Said approved application/permit shall be good for a period of two years and shall be revocable at any time and become void in the event the home occupation no longer complies with the Town's applicable requirements.
4. Existing permitted home occupations, operating in good standing, may renew their permits every two years free of charge.