



Municipal Planning Commission Meeting
Thursday, November 20, 2025 at **6:00 PM**

Farragut Town Hall
11408 Municipal Center Drive

AGENDA

- I) Call to Order
- II) Approval of Agenda
Agenda Item IV) G. is recommended for postponement due to an incomplete site plan submittal. Agenda Item IV) I. is recommended for postponement due to incomplete field-related items
- III) Approval of Minutes
 - A) Approval of minutes for the October 16, 2025 meeting
- IV) Action Items
 - A) Request for approval of a Traffic Calming Application for Union Road east side of Everett Road portion (Town of Farragut, Applicant)
 - B) Request for approval of a Traffic Calming Application for Midhurst Drive from the eastern intersection of Foxford Drive to Barbara Lane (Town of Farragut, Applicant)
 - C) Request for approval of a plan to extend a sidewalk along the west side of Everett Road from the trail connection coming out of Split Rail Farm Subdivision to the Fox Run Greenway (Town of Farragut, Applicant)
 - D) Request for approval to extend fiber cable for Comcast along the east side of Concord Road south of Kingston Pike to provide service to 130 Concord Road (Comcast, Applicant)
 - E) Request for approval to extend fiber cable for Comcast along the east side of Brooklawn Street from Kingston Pike to Neptune Drive and along a portion of the north side of Neptune Drive (Comcast, Applicant)

11408 MUNICIPAL CENTER DRIVE | FARRAGUT, TN 37934 | 865.966.7057 |
WWW.TOWNOFFARRAGUT.ORG

It is the policy of the Town of Farragut not to discriminate on the basis of race, color, natural origin, gender, gender identity, sexual orientation, age, religion, disability or veteran status pursuant to Title VI of the Civil Rights Act of 1964, Public Law 93-112 and 101-336 in its hiring, employment practices and programs. To request accommodations due to disabilities, please call 865-966-7057 in advance of the meeting

- F) *{(This is a discussion item only related to Agenda Item IV) G)}* Discussion on a request to amend the Farragut Code of Ordinances, Appendix A - Zoning, Chapter 3, Section XII. - General Commercial District (C-1), Subsection F. Mixed Use Town Center, 3., Building Facade Requirements, to provide for 75% masonry on the net facade area of new buildings that are part of an existing development on the same parcel rather than 75% face brick on each building elevation (The Architecture Collaborative, Applicant)
 - G) Discussion and public hearing on a site plan for West End Center, Phase 3, 11235 West Point Drive, Zoned C-1/MUTC (The Architecture Collaborative, Applicant)
 - H) Discussion and public hearing on a site plan for Lakesedge Retail Center, 11328-11334 Campbell Lakes Drive, 1.04 Acres, Zoned C-2 (Seth Schweitzer, Applicant)
 - I) Discussion and public hearing on a final plat for the Biddle Farms Townhomes, 305 Hudson Bay Lane, Parcel 003.24, Tax Map 143, 49 Lots, Zoned PCD (Homestead Land Holdings, LLC, Applicant)
- V) Discussion Items
- A) Discussion on a request to rezone Parcel 05501, Tax Map 152 and Parcel 055, Tax Map 152 (12232 Turkey Creek Road) from Agricultural (A) to General Single-Family Residential (R-2)(Midtown Legal, Applicant)
 - B) Discussion on a request to amend the Farragut Code of Ordinances, Appendix A - Zoning, Chapter 3, Section XVII. Office district (O-1), as it may apply to "Interactive Sports Analysis Services" being a permitted use and to include a definition for "Interactive Sports Analysis Services" in Chapter 2 of the Zoning Ordinance (Christian Miller, Applicant)
- VI) Approval of Utilities
- VII) Citizens Forum

**The Farragut Municipal Planning Commission welcomes and invites
Farragut residents to participate in public meetings.**

Public Participation Guidelines for Farragut Municipal Planning Commission meetings

At the end of each business meeting, there will be time reserved for public comment under the Citizen Forum agenda item. If you are interested in speaking, please fill out a blue comment card and turn it in to a staff member. This time is set aside specifically for comments on items that are not on the Planning Commission's agenda for the meeting. Each speaker will be given three (3) minutes to speak on his/her topic.

The Commission also seeks public comment on regular agenda items during the portion of the meeting devoted to discussion and consideration of the specific agenda item.

The Chairman may recognize individuals for public comment during both the regular agenda and Citizen

Forum portions of the meeting based on the following guidelines.

1. The Chairman shall maintain and control the meeting to provide a professional and objective environment conducive to presentation and discussion of the agenda items;
2. Any Farragut resident interested in speaking should fill out a blue comment card stating which agenda item they would like to comment on and turn it in to a staff member;
3. Speakers shall come to the podium and identify themselves by name and street address;
4. Public comment shall be limited to three (3) minutes per individual. Time for public comment may be amended at the discretion of the Chairman; provided that when additional time is allowed, speakers with differing points of view are allowed the same amount of time if requested. Time is not transferable to other speakers;
5. Speakers should strive to avoid redundancy; different considerations than expressed by previous speakers on a subject are encouraged;
6. Comments that threaten violence or imminent physical harm toward any individual will not be tolerated.
7. Comments may support or oppose issues or measures;
8. Personal attacks on the character of individuals who hold different points of view that have no relationship to the merits of the matter or issue raised for discussion will not be tolerated.
9. An applicant, and/or their representative(s), for an item on the regular agenda shall be afforded the time necessary to present their request and respond to questions. The three (3) minute limitation shall not apply. However, the Chairman may ask an applicant to stay on point in order to facilitate the efficiency of the meeting.

Each speaker will be asked if they can agree to abide by the Comment Protocol. If so, please be prepared to speak when your name is called.

Tennessee Code Annotated 39-17-306. Disrupting meetings or processions.

1. A person commits an offense if, with the intent to prevent or disrupt a lawful meeting, procession, or gathering, the person substantially obstructs or interferes with the meeting, procession, or gathering by physical action or verbal utterance.
2. A violation of this section is a Class A misdemeanor.



Town of Farragut, Tennessee
Municipal Planning Commission Meeting

Farragut Town Hall
11408 Municipal Center Drive

Thursday, October 16, 2025 at 6:00 PM

MINUTES

I) Call to Order

Chairman Pinchok called the meeting to order at 6:00 PM. Roll Call for attendance: Mayor Williams, Vice-Mayor Meyer, Commissioner Greene, Commissioner Myers, Commissioner Povlin, Commissioner Preston, Commissioner Devlin; in addition to staff and members of the press. Commissioner Wright was absent.

II) Approval of Agenda

Motion was made to approve the agenda with items V) A, B, and C withdrawn at the request of the applicant. Moved by Commissioner Povlin, seconded by Commissioner Myers; voting yes, Mayor Williams, Vice-Mayor Meyer, Commissioner Greene, Commissioner Myers, Commissioner Povlin, Commissioner Preston, Chairman Pinchok, Commissioner Devlin; voting nay, None; Commissioner Wright was absent; motion Passed.

III) Approval of Minutes

A) Minutes from September 18, 2025 meeting

Motion was made to approve the minutes from the September 18, 2025 meeting. Moved by Vice-Mayor Meyer, seconded by Commissioner Myers; voting yes, Mayor Williams, Vice-Mayor Meyer, Commissioner Greene, Commissioner Myers, Commissioner Povlin, Chairman Pinchok, Commissioner Devlin; voting nay, None; abstaining from the vote, Commissioner Preston; Commissioner Wright was absent; motion Passed.

IV) Action Items

A) Request for approval to extend fiber cable for AT&T from the north side of Parkside Drive near 11471 Parkside Drive to the south side of Parkside Drive to serve the property located at 11440 Parkside Drive (AT&T, Applicant)

Motion was made to approve to extend fiber cable for AT&T from the north side of Parkside Drive near 11471 Parkside Drive to the south side of Parkside Drive to serve the property located at 11440 Parkside Drive. Moved by Mayor Williams, seconded by Commissioner Povlin; voting yes, Mayor Williams, Vice-Mayor Meyer, Commissioner Greene, Commissioner Myers, Commissioner Povlin, Commissioner Preston, Chairman Pinchok, Commissioner Devlin; voting nay, None; Commissioner

Wright was absent; motion Passed.

- B) Discussion and public hearing on a resolution, Resolution PC-25-05, to amend the Farragut Municipal Code, Appendix B - Subdivisions, Article III., Subsection A. Streets, 1., to provide for context sensitive street cross section requirements, as illustrated in a new appendix to the Subdivision Regulations, referenced as APPENDIX F, in lieu of existing requirements in the Subdivision Regulations (Town of Farragut, Applicant)**

Motion was made to approve Resolution PC-25-05, to amend the Farragut Municipal Code, Appendix B - Subdivisions, Article III., Subsection A. Streets, 1., to provide for context sensitive street cross section requirements, as illustrated in a new appendix to the Subdivision Regulations, referenced as APPENDIX F, in lieu of existing requirements in the Subdivision Regulations. Moved by Mayor Williams, seconded by Vice-Mayor Meyer; voting yes, Mayor Williams, Vice- Mayor Meyer, Commissioner Greene, Commissioner Myers, Commissioner Povlin, Commissioner Preston, Chairman Pinchok, Commissioner Devlin; voting nay, None; Commissioner Wright was absent; motion Passed.

Citizen comments from:

Jim Roberts - 616 Herron Rd
Mike Pyle - 612 Herron Rd
Daniel Head - 12612 Evans Rd
Greg Wiberly - 12603 Evans Rd
Jon Miller - 503 Herron Rd
Chester Carbaugh - 12401 Butternut Rd

V) Discussion Items

- A) Discussion and public hearing on a plan of services and the initiation of a study of the plan of services associated with the requested annexation of a portion of Parcel 007, Knox County Tax Map 151, Located at 424 N. Watt Road (Benjamin Mullins, Applicant)**

Withdrawn at the request of the applicant.

- B) Discussion and public hearing on a request to amend the Future Land Use Map for Parcel 007, Knox County Tax Map 151, 424 N. Watt Road, from Open Space Cluster Residential to Low Density Residential (3-6 Dwelling Units per Acre), 48.38 Acres with 29.58 Acres in the Town of Farragut and 18.8 Acres to be annexed into the Town (Benjamin Mullins, Applicant)**

Withdrawn at the request of the applicant.

- C) Discussion on a request to amend the Farragut Zoning Map for Parcel 007, Knox County Tax Map 151, 424 N. Watt Road, from Agricultural (A) to Attached Single- Family Residential (R-4), 48.38 Acres with 29.58 Acres in the Town of Farragut and 18.8 Acres to be annexed into the Town (Benjamin Mullins, Applicant)**

Withdrawn at the request of the applicant.

**D) Discussion on a concept plan for West End Phase III, 129 West End Avenue
(Sprinkle Engineering, Applicant)**

Discussion only.

VI) Approval of Utilities

None

VII) Citizens Forum

None

Meeting adjourned at 7:14 p.m.

Municipal Planning Commission Secretary

REPORT TO THE MUNICIPAL PLANNING COMMISSION

Prepared By: Eric Schindler, Assistant Town Engineer

Subject: Request for approval of a Traffic Calming Application for Union Road east side of Everett Road portion (Town of Farragut, Applicant)

Introduction & Background: This agenda item involves the proposed installation of two (2) sets of speed cushions on Union Road. On August 29, 2024, the Town of Farragut received a completed Traffic Calming Application from the residents of the Speed Zone on Union Road (the portion of Union Road between Smith Road and Everett Road) requesting consideration of traffic calming in the form of speed cushions.

Discussion & Recommendations: A speed study was conducted and determined that excessive speeding is present in the speed zone. Excessive speeding is defined by an 85th percentile speed greater than 10 mph over the posted speed limit.

Table 1. Results of Union Road Speed Study (25 mph posted speed limit)

Approximate Location	<u>85th Percentile Speed</u>
12415 Union Road	40 mph/39 mph (depending on direction)
12504 Union Road	43 mph/38 mph (depending on direction)

Public Meeting

A public meeting was held August 6, 2025 to gauge support and obtain resident feedback. The support from the residents in attendance was overwhelmingly positive.

Vote Tabulation/Determination

The Traffic Calming Policy requires that greater than 50% of the returned ballots from the Speed Zone be in favor of traffic calming devices. 16 ballots were mailed out and a total of 7 votes were

received, with 6 (86%) of those votes being in favor of traffic calming devices.

Two (2) locations on Union Road were selected for the installation of speed cushions. The proposed speed cushions are comprised of injection molded composite material, are approximately 78-inches wide by 80-inches long and approximately 3-inches tall at the highest point. The speed cushions are designed for a vehicle speed of 15-20 mph. This type of cushion allows emergency vehicles to bypass the traffic calming device by providing a wheel gap between the bumps. However, the cushions are wide enough that no standard passenger vehicle or truck can easily bypass them.

The speed cushions to be installed are bolt-down speed cushions, similar to what has previously been installed on Admiral Road, Sonja Drive, and Clover Fork Drive.

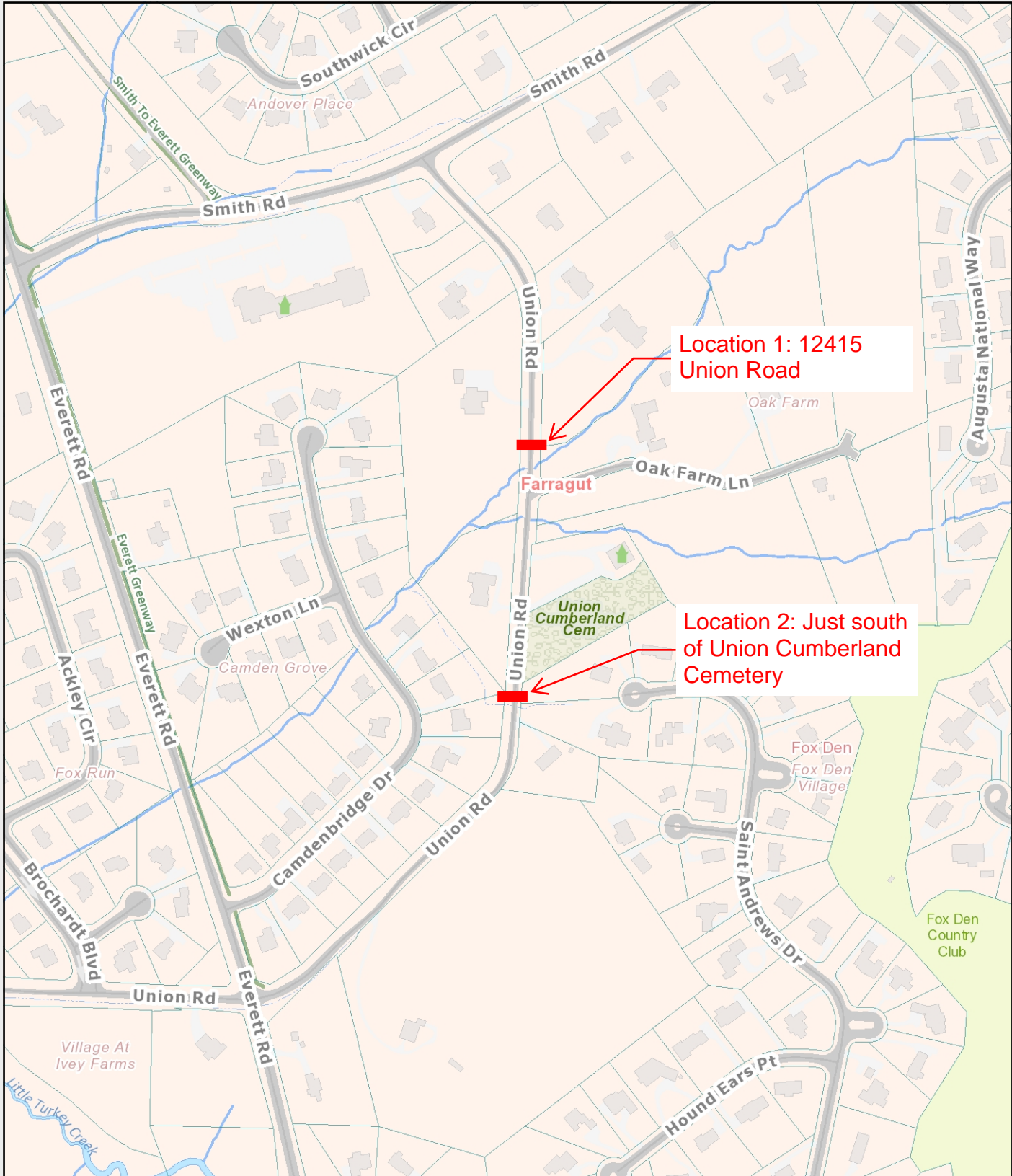
Plan: Two (2) locations for speed cushions

Schedule: Installation of bolt-down speed cushions to be completed by Town of Farragut Public Works staff as their schedule allows.

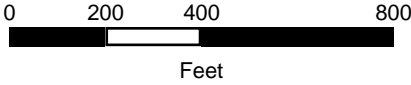
Cost: Estimated \$7,000

Recommended By: Eric Schindler, Assistant Town Engineer

Proposed Motion: Staff recommends installation of bolt-down speed cushions at two (2) locations at the approximate addresses of 12415 Union Road and near the southern property line of Union Cumberland Cemetery.



Union Road Speed Cushion Locations



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SPEED
HUMP

15
MPH

REPORT TO THE MUNICIPAL PLANNING COMMISSION

Prepared By: Eric Schindler, Assistant Town Engineer

Subject: Request for approval of a Traffic Calming Application for Midhurst Drive from the eastern intersection of Foxford Drive to Barbara Lane (Town of Farragut, Applicant)

Introduction & Background:

This agenda item involves the proposed installation of three (3) sets of speed cushions on Midhurst Drive between the eastern intersection of Foxford Drive and the intersection of Barbara Lane. On December 30, 2024, the Town of Farragut received a Traffic Calming Application from the residents of the Speed Zone on Midhurst Drive requesting consideration of traffic-calming in the form of speed cushions.

Discussion & Recommendations:

A speed study was conducted and determined that excessive speeding is present in the speed zone. Excessive speeding is defined by an 85th percentile speed greater than 10 mph over the posted speed limit.

Table 1. Results of Midhurst Drive Speed Study (25 mph posted speed limit)

Approximate Location	<u>85th Percentile Speed</u>
11538 Midhurst Drive	39 mph/34 mph (depending on direction)

Public Meeting

A public meeting was held August 7, 2025 to gauge support and obtain resident feedback. The support from the residents in attendance was overwhelmingly positive.

Vote Tabulation/Determination

The Traffic Calming Policy requires that greater than 50% of the returned ballots from the Speed Zone be in favor of traffic-calming devices. 26 ballots were mailed out and a total of 14 votes were received, with 13 (93%) of those votes being in favor of traffic-

calming devices.

Three (3) locations on Midhurst Drive were selected for the installation of speed cushions. The proposed speed cushions are comprised of injection molded composite material, are approximately 78-inches wide by 80-inches long and approximately 3-inches tall at the highest point. The speed cushions are designed for a vehicle speed of 15-20 mph. This type of cushion allows emergency vehicles to more easily bypass the traffic-calming device by providing a wheel gap between the bumps. However, the cushions are wide enough that no standard passenger vehicle or truck can easily bypass them. The speed cushions to be installed are bolt-down speed cushions, similar to what has previously been installed on Admiral Road, Sonja Drive, and Clover Fork Drive.

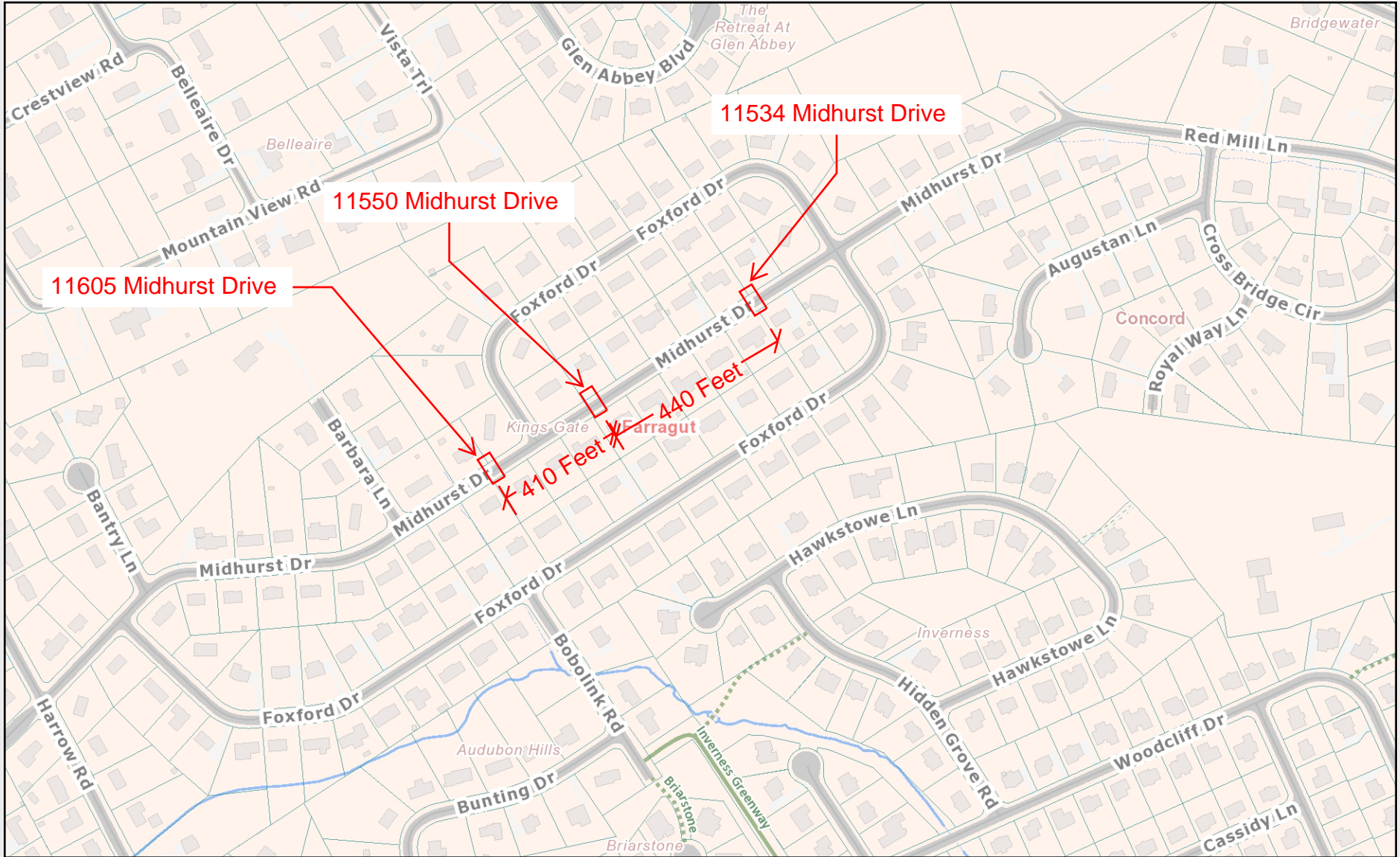
Plan: Three (3) locations for speed cushions

Schedule: Installation of bolt-down speed cushions to be completed by Town of Farragut Public Works staff as their schedule allows.

Cost: Estimated \$10,000

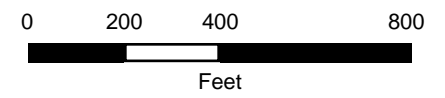
Recommended By: Eric Schindler, Assistant Town Engineer

Proposed Motion: Staff recommends installation of bolt-down speed cushions at three (3) locations at the approximate addresses of 11605 Midhurst Drive, 11550 Midhurst Drive, and 11534 Midhurst Drive.



Proposed Speed Cushion Locations

Notes



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SPEED
HUMP

15
MPH

REPORT TO THE MUNICIPAL PLANNING COMMISSION

Prepared By: Darryl Smith, Town Engineer

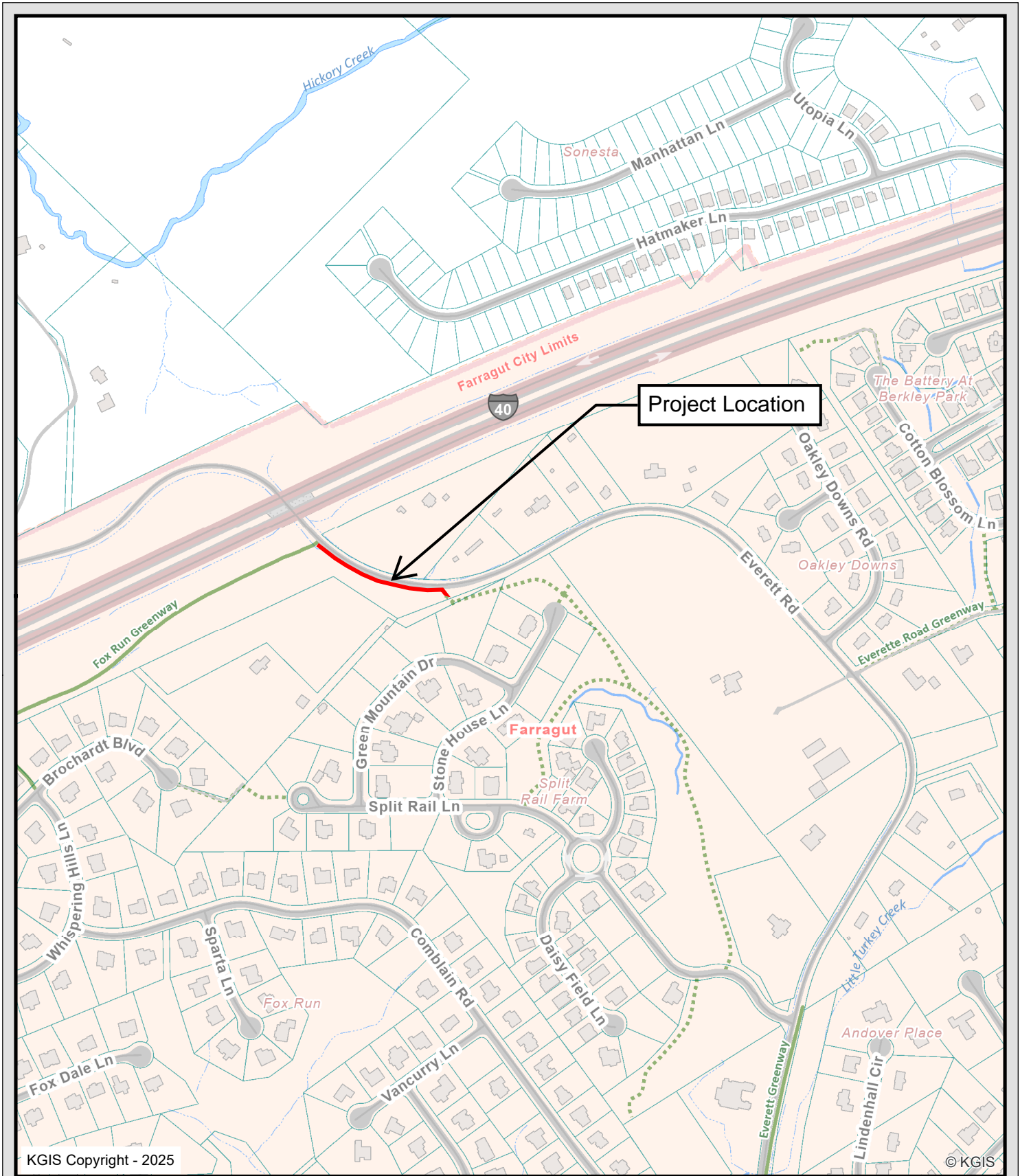
Subject: Request for approval of a plan to extend a sidewalk along the west side of Everett Road from the trail connection coming out of Split Rail Farm Subdivision to the Fox Run Greenway (Town of Farragut, Applicant)

Introduction & Background: The purpose of this item is discussion and approval of plans to extend a sidewalk along the west side of Everett Road from Split Rail Farm Subdivision to north of Fox Run Subdivision.

Discussion & Recommendations: The Fox Run Greenway on the north side of Fox Run Subdivision terminates at Everett Road, approximately 560 feet north of a greenway terminus at the rear of Split Rail Farm (see map). This project includes construction of a 6' to 7-1/2' wide concrete sidewalk at the back of 2-1/2' wide curb and gutter along the west side of Everett Road to connect the two greenways. Jason Elliott from LDA Engineering will present plans for this connection.

Recommended By: Darryl Smith, Town Engineer

Proposed Motion: Approval of plans for construction of sidewalk along Everett Road, from Split Rail Farm Subdivision to the Fox Run greenway at the north side of Fox Run Subdivision.



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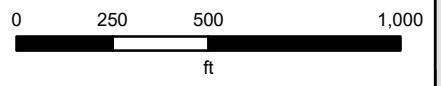
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Everett Road Greenway Connector

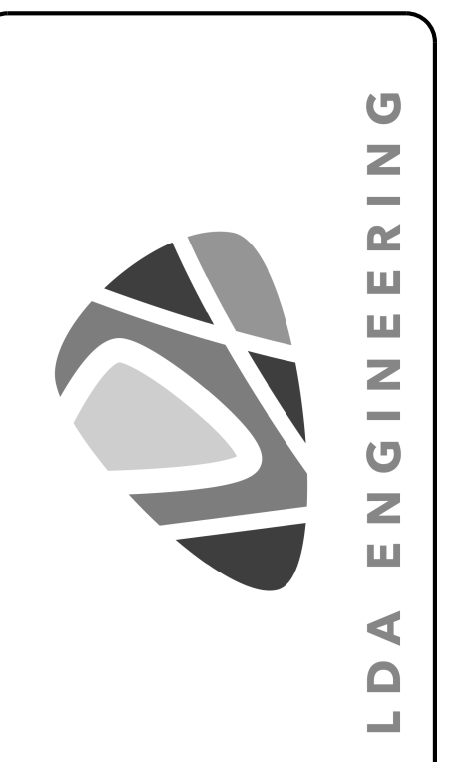
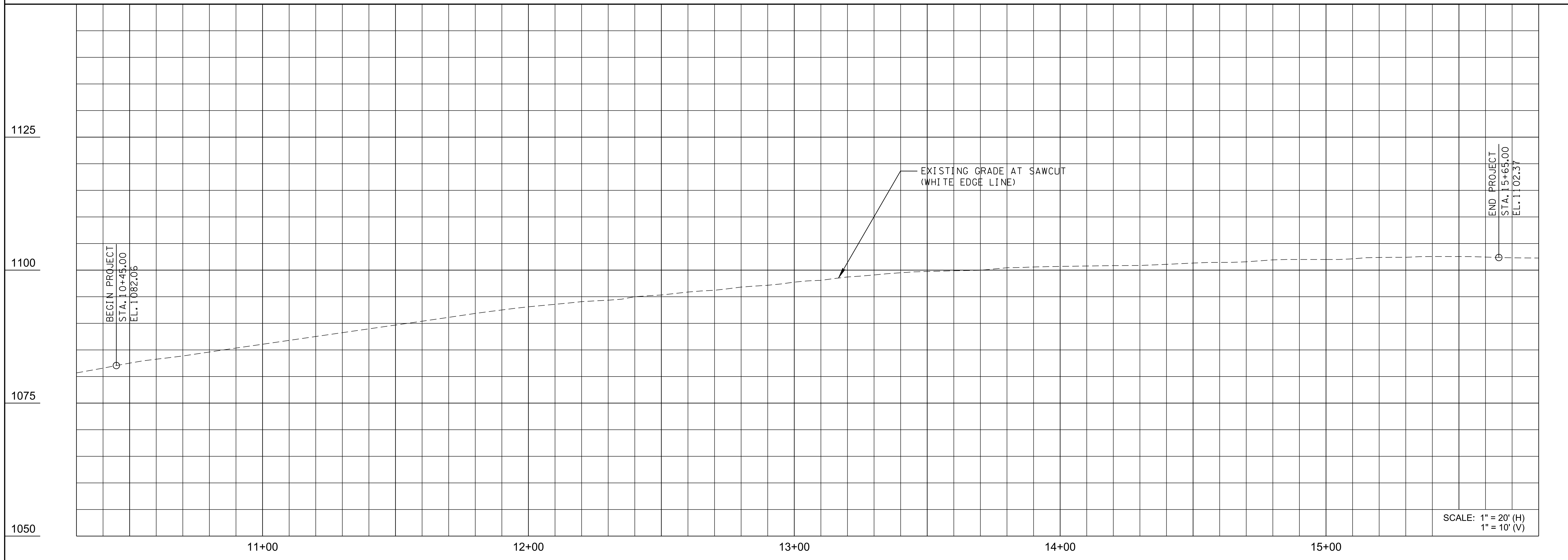
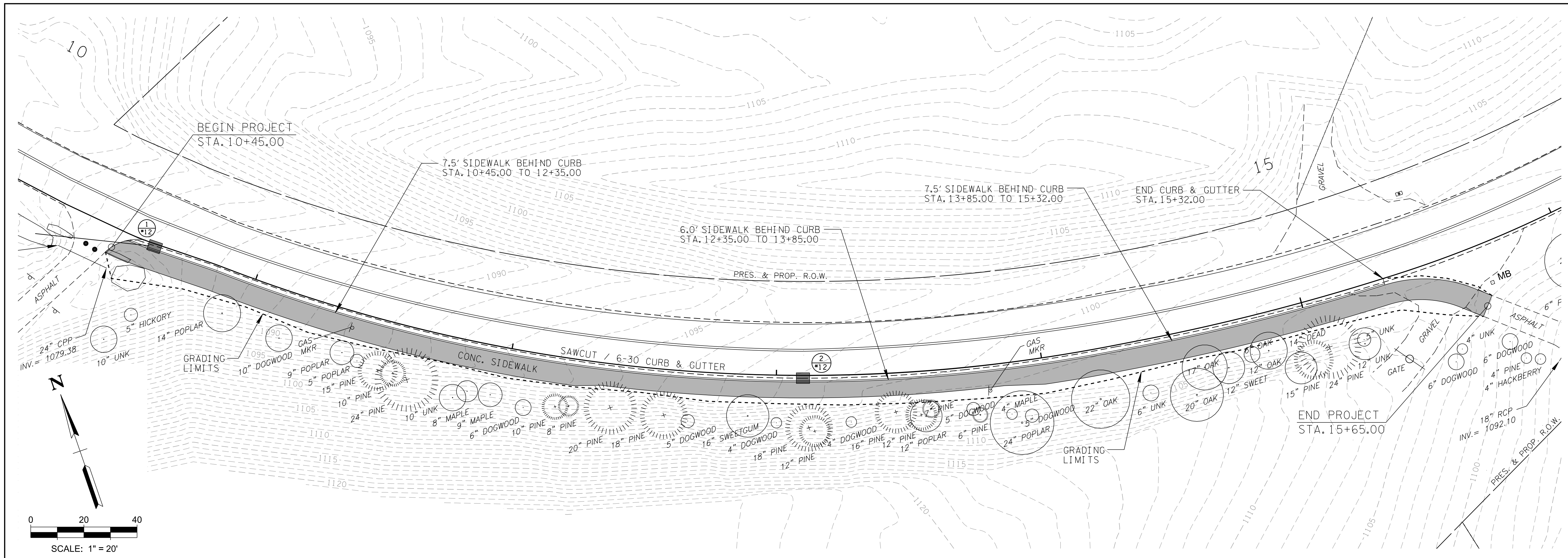
Knoxville - Knox County - KUB Geographic Information System



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REV	DATE	REVISION DESCRIPTION

**EVERETT ROAD
GREENWAY CONNECTION
FARRAGUT, TENNESSEE**

**PRELIMINARY
PLANS**

PROJECT NUMBER: KCE501	
DATE: OCT 2025	SCALE:
DRAWN BY: JCE	DESIGNED BY: JCE

SHEET TITLE:
**PLAN AND PROFILE
STA. 10+45 TO
STA. 15+65**

REPORT TO THE MUNICIPAL PLANNING COMMISSION

Prepared By: Mark Shipley, Community Development Director

Subject: Request for approval to extend fiber cable for Comcast along the east side of Concord Road south of Kingston Pike to provide service to 130 Concord Road (Comcast, Applicant)

Introduction & Background: This project involves a short extension of half inch fiber cable for Comcast in a new two inch conduit along the east side of Concord Road to service 130 Concord Road.

Discussion & Recommendations: The proposed installation will be using directional boring. Source Broadband Services will be doing the installation and they have an existing surety with the Town to ensure that any affected areas are restored. The staff recommends approval of the fiber installation project subject to obtaining a right of way permit from the Town's engineering department.

Recommended By: Mark Shipley, Community Development Director

Proposed Motion: To approve the fiber installation project subject to obtaining a right of way permit from the Town's engineering department.

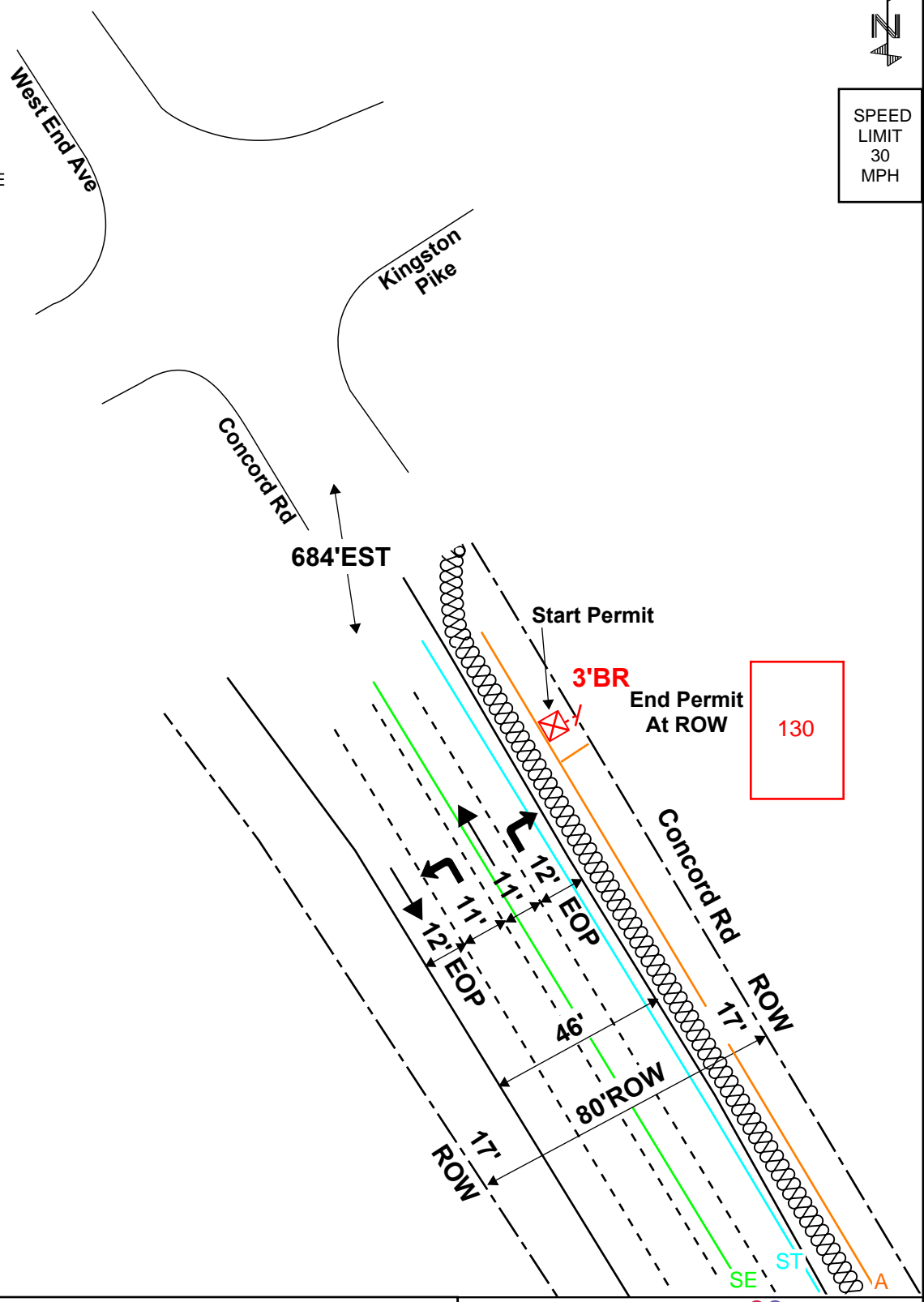
- NOTES:
- CONSTRUCTION TYPE: NEW BUILD
 - COMCAST WILL FOLLOW ALL TRAFFIC CONTROL PER THE CURRENT EDITION OF THE MUTCD
 - COMCAST WILL NOT DISTURB ANY PAVEMENT
 - TRENCH AT MINIMUM DEPTH OF 36" AND WITHIN BACK 5' OF ROW
 - ALL ROAD BORES WILL BE DIRECTIONAL BORE AT A MINIMUM DEPTH OF 48"
 - NO LANES WILL BE BLOCKED BEFORE 9 AM OR AFTER 4 PM

SPEED LIMIT
30
MPH

ALL WORK TO BE DONE
IN BACK 5' OF ROW

- AERIAL LEGEND
- - PROPOSED OVERLASH
 - - PROPOSED NEW AERIAL
 - Ⓧ - DROP POLE
 - - TELEPHONE POLE
 - ⊗ - JOINT USE POLE
 - ⊗ - JOINT USE POLE W/ TRANSFORMER
 - ✕ - POWER POLE
 - Ⓢ - STEEL POLE
 - Ⓒ - CONCRETE POLE

- UNDERGROUND LEGEND
- - - - - PROPOSED UG
 - - - - - EXISTING CONDUIT
 - / - NUL (TRANSITION)
 - - PEDESTAL
 - ∇ - VAULT
 - MH - MAN HOLE
 - W— - WATER
 - P— - POWER
 - SE— - SEWER
 - A— - ATT
 - S— - SEMC
 - M— - MCI
 - ST— - STORMWATER
 - C— - COMCAST
 - ▨ - SIDEWALK
 - DWB - DRIVEWAY BORE
 - RB - ROAD BORE
 - SWB - SIDEWALK BORE
 - TR - TRENCH
 - PT - PULL THROUGH
 - BR - BORE



JOB#JB0002367371
 PERMIT# TNCR130-UG-COUNTY
 OPP NAME:First Century Bank
 OPP ADDRESS:130 CONCORD RD FARRAGUT TN 37934

Submitted by: **COMCAST**

DESC: COMCAST is to bore and install a total of 3' 24CT of .5 fiber cable in new 2" conduit, including 3' bore in existing ROW, then continue construction on to private property to service 130 CONCORD RD.

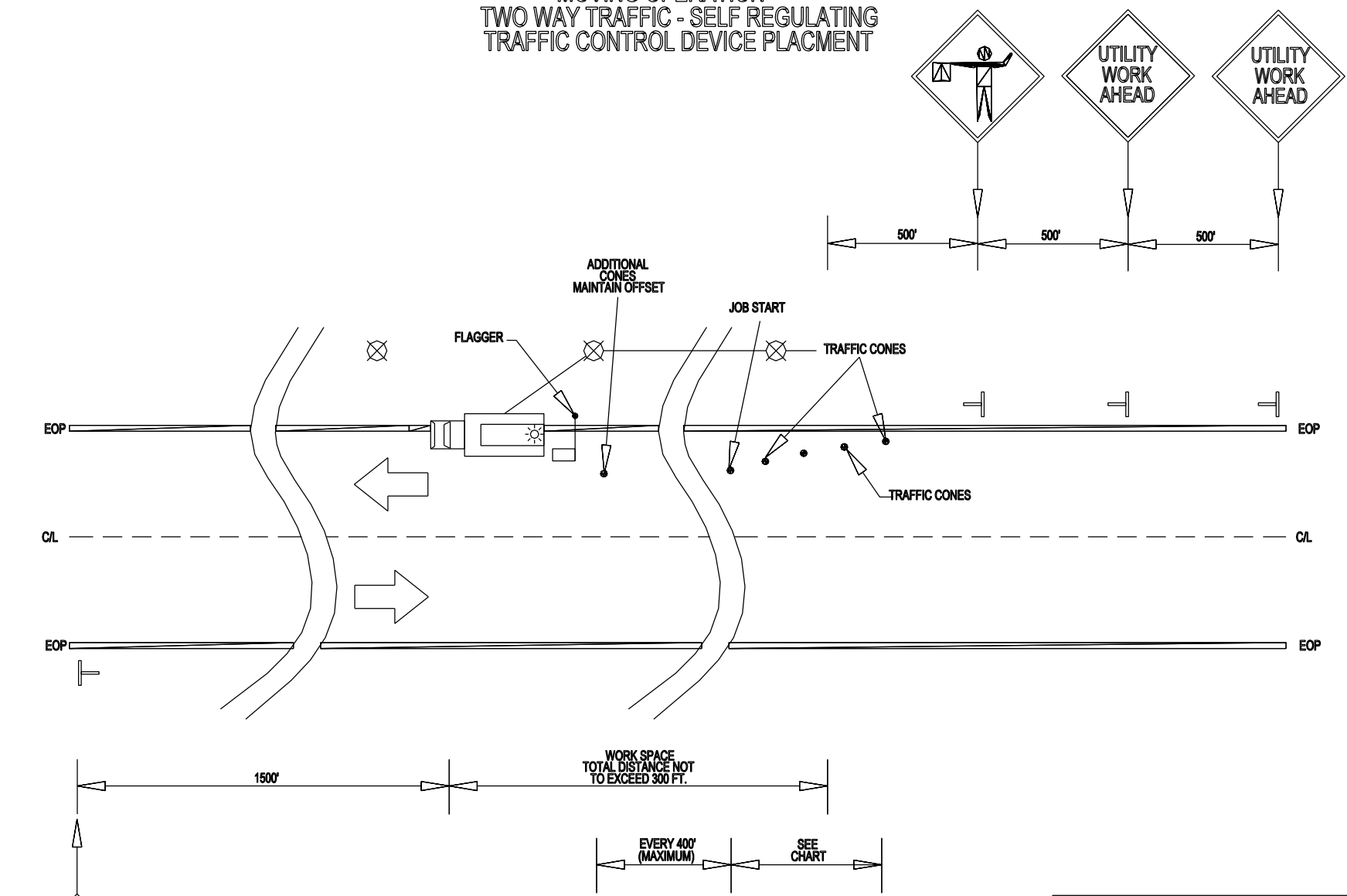
JB0002367371

COMCAST CABLE
 5720 Asheville Hwy,
 Knoxville, TN 37924

FARRAGUT CITY
 PERMIT APPLICATION



MOVING OPERATION TWO WAY TRAFFIC - SELF REGULATING TRAFFIC CONTROL DEVICE PLACEMENT



- NOTES:**
1. NO PARKING OF VEHICLES/EQUIPMENT ON THE ROADWAY SHOULDER OPPOSITE OF THE WORK AREA.
 2. DIAGRAM SHOWN FOR SPEED LIMIT OF 55MPH; FOR OTHER SPEED LIMITS, SEE CHART
 3. OPEN PORTION OF AFFECTED TRAFFIC LANE MUST BE AT LEAST TEN (10) FEET IN WIDTH.
 4. WHEN AERIAL FACILITIES ARE BEING PLACED WITH EQUIPMENT PARTIALLY ON THE TRAVELED PORTION OF THE HIGHWAY PLACE WARNING DEVICES AS ILLUSTRATED
*MAY USE "LANE NARROWS"

CONE AND WARNING SIGN SPACING AND TAPER LENGTHS					
SPEED LIMIT (MPH)	CONE SPACING (FT)	TAPER LENGTH (FT)	NUMBER OF CONES REQD	WARNING SIGN SPACING (FT)	MINIMUM SIGN SIZE
25	25	125	6	250	36"X36"
35	35	245	8	250	36"X36"
45	45	540	13	500	48"X48"
55	55	660	13	500	48"X48"
INTERSTATE, EXPRESSWAY AND LIMITED-ACCESS ROADWAYS				1000	48"X48"
				2640	48"X48"
				5280	48"X48"

REPORT TO THE MUNICIPAL PLANNING COMMISSION

Prepared By: Mark Shipley, Community Development Director

Subject: Request for approval to extend fiber cable for Comcast along the east side of Brooklawn Street from Kingston Pike to Neptune Drive and along a portion of the north side of Neptune Drive (Comcast, Applicant)

Introduction & Background: This project involves the installation of over 2,700 feet of half inch fiber cable for Comcast in a new two inch conduit along the east side of Brooklawn Street from Kingston Pike to Neptune Drive and along a portion of the north side of Neptune Drive. A short bore under Brooklawn is also included in the project to service 241 Brooklawn Street.

Discussion & Recommendations: All proposed installation will be using directional boring. The work is being conducted by Source Broadband Services and they have an existing surety with the Town to ensure that any affected areas are properly restored. The staff recommends approval of this fiber installation project subject to a revised plan being submitted that removes any reference to open trench installation, clearly shows the bore under Brooklawn Street to service 241 Brooklawn, and obtaining a right of way permit through the Town's engineering department.

Recommended By: Mark Shipley, Community Development Director

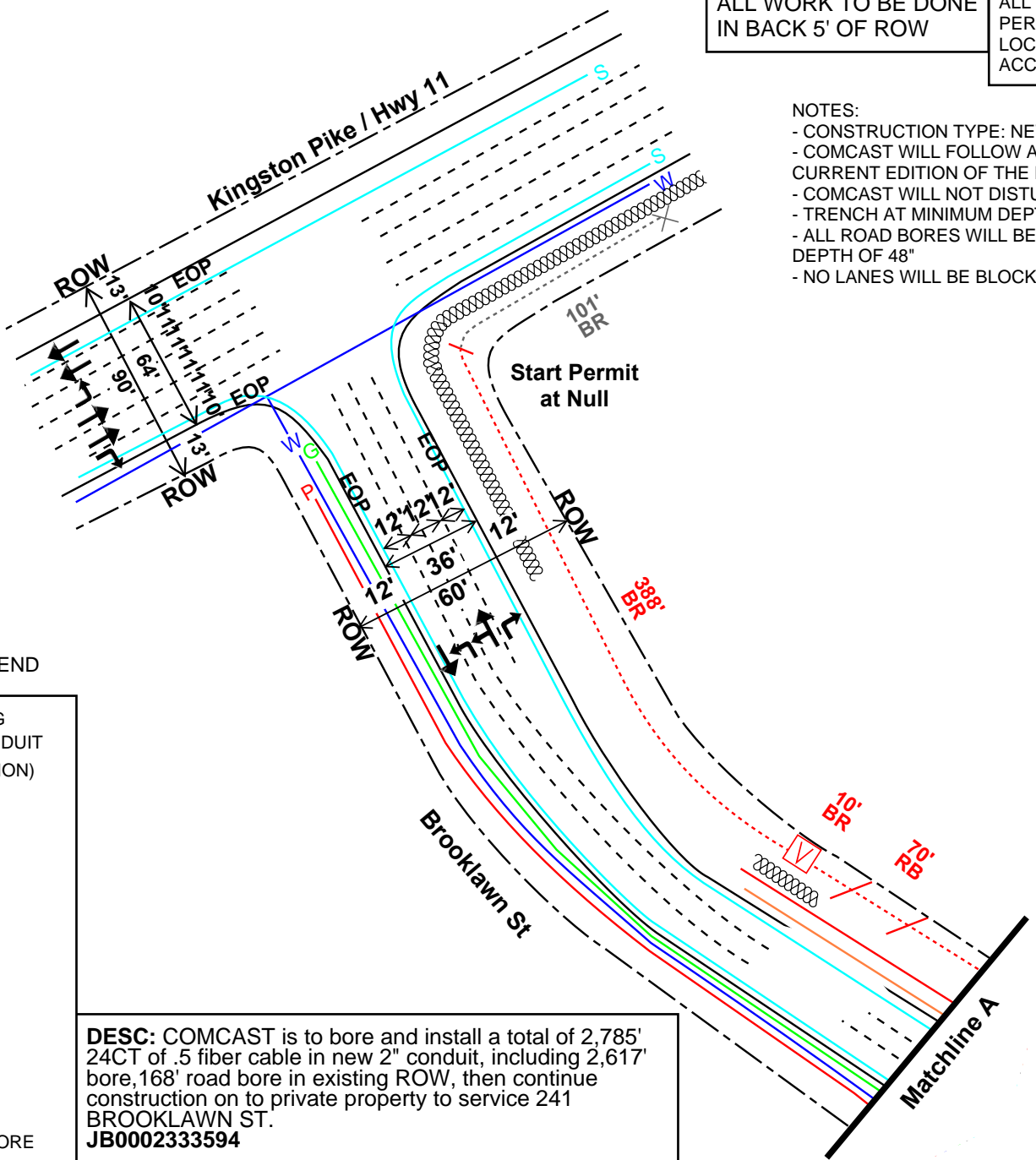
Proposed Motion: To approve the proposed fiber installation subject to a revised plan being submitted that removes any reference to open trench installation, clearly shows the bore under Brooklawn Street to service 241 Brooklawn, and obtaining a right of way permit through the Town's engineering department.

ALL WORK TO BE DONE IN BACK 5' OF ROW

ALL UTILITIES REPRESENTATIONS SHOWN ON THIS PERMIT ARE DIAGRAMMATIC IN NATURE. THE ACTUAL LOCATION WILL BE DETERMINED IN CONSTRUCTION IN ACCORDANCE WITH OGCA 25-9-1

- NOTES:
- CONSTRUCTION TYPE: NEW BUILD
 - COMCAST WILL FOLLOW ALL TRAFFIC CONTROL PER THE CURRENT EDITION OF THE MUTCD
 - COMCAST WILL NOT DISTURB ANY PAVEMENT
 - TRENCH AT MINIMUM DEPTH OF 36" AND WITHIN BACK 5' OF ROW
 - ALL ROAD BORES WILL BE DIRECTIONAL BORE AT A MINIMUM DEPTH OF 48"
 - NO LANES WILL BE BLOCKED BEFORE 9 AM OR AFTER 3 PM

SPEED LIMIT 45 MPH



UNDERGROUND LEGEND

- - - - - PROPOSED UG
- - - - - EXISTING CONDUIT
- / NUL (TRANSITION)
- PEDESTAL
- ∇ VAULT
- MH MAN HOLE
- W- WATER
- P- POWER
- G- GAS
- A- ATT
- S- SEMC
- M- MCI
- S- SPECTRUM
- C- COMCAST
- ▩ SIDEWALK
- DWB DRIVEWAY BORE
- RB ROAD BORE
- SWB SIDEWALK BORE
- TR TRENCH
- PT PULL THROUGH
- BR BORE

DESC: COMCAST is to bore and install a total of 2,785' 24CT of .5 fiber cable in new 2" conduit, including 2,617' bore, 168' road bore in existing ROW, then continue construction on to private property to service 241 BROOKLAWN ST.
JB0002333594

JOB#JB0002333594
 PERMIT#TNBS241-UG-CITY
 OPP NAME:Farragut TC
 Townhomes
 OPP ADDRESS: 241 BROOKLAWN ST KNOXVILLE TN 37934

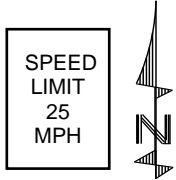
Submitted by:

COMCAST

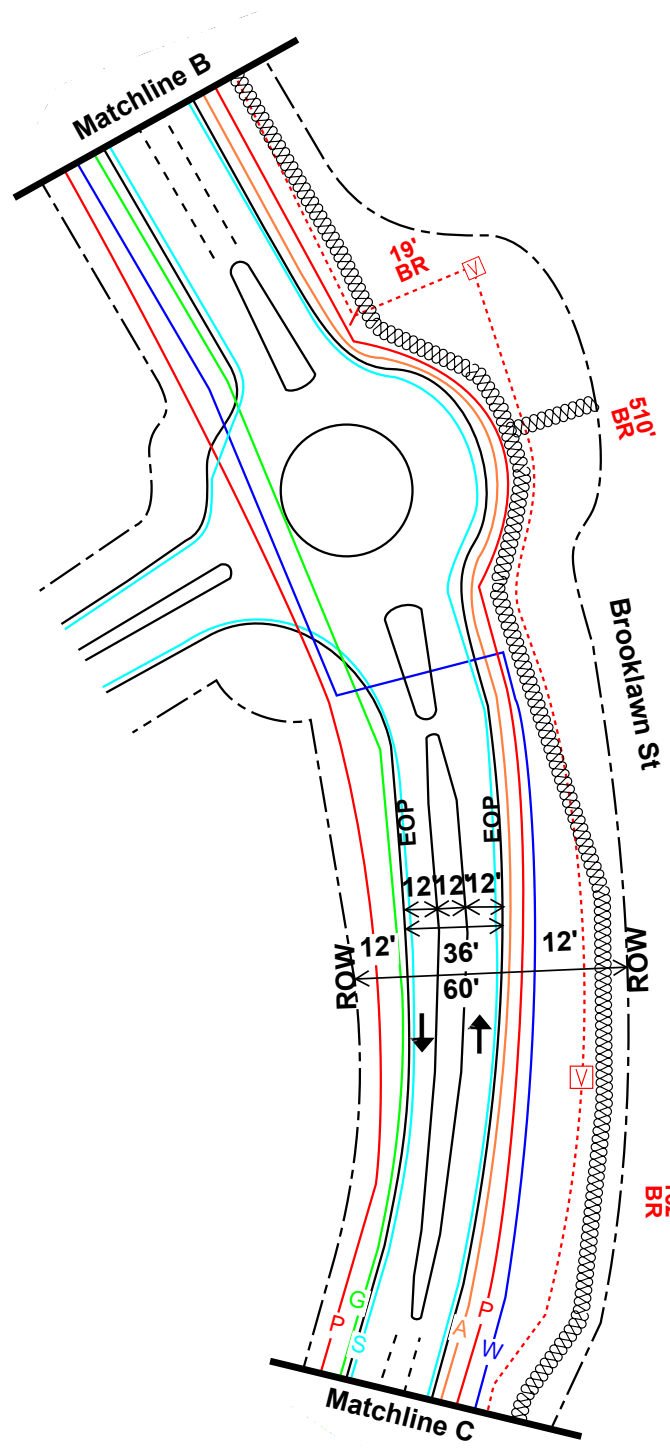
COMCAST CABLE
 5720 Asheville Hwy
 Knoxville, TN 37924

FARRAGUT CITY
 PERMIT APPLICATION

- NOTES:
- CONSTRUCTION TYPE: NEW BUILD
 - COMCAST WILL FOLLOW ALL TRAFFIC CONTROL PER THE CURRENT EDITION OF THE MUTCD
 - COMCAST WILL NOT DISTURB ANY PAVEMENT
 - TRENCH AT MINIMUM DEPTH OF 36" AND WITHIN BACK 5' OF ROW
 - ALL ROAD BORES WILL BE DIRECTIONAL BORE AT A MINIMUM DEPTH OF 48"
 - NO LANES WILL BE BLOCKED BEFORE 9 AM OR AFTER 4 PM



ALL WORK TO BE DONE IN BACK 5' OF ROW



UNDERGROUND LEGEND

- - - - - PROPOSED UG
- - - - - EXISTING CONDUIT
- / - NUL (TRANSITION)
- - PEDESTAL
- ∇ - VAULT
- MH - MAN HOLE
- W - WATER
- P - POWER
- G - GAS
- A - ATT
- S - SEMC
- M - MCI
- S - SPECTRUM
- C - COMCAST
- ▨ - SIDEWALK
- DWB - DRIVEWAY BORE
- RB - ROAD BORE
- SWB - SIDEWALK BORE
- TR - TRENCH
- PT - PULL THROUGH
- BR - BORE

JOB#JB0002333594
 PERMIT#TNBS241-UG-CITY
 OPP NAME:Farragut TC Townhomes
 OPP ADDRESS: 241 BROOKLAWN ST KNOXVILLE TN 37934

Submitted by:



DESC: COMCAST is to bore and install a total of 2,785' 24CT of .5 fiber cable in new 2" conduit, including 2,617' bore, 168' road bore in existing ROW, then continue construction on to private property to service 241 BROOKLAWN ST.
JB0002333594

COMCAST CABLE
 5720 Asheville Hwy,
 Knoxville, TN 37924

FARRAGUT CITY
 PERMIT APPLICATION

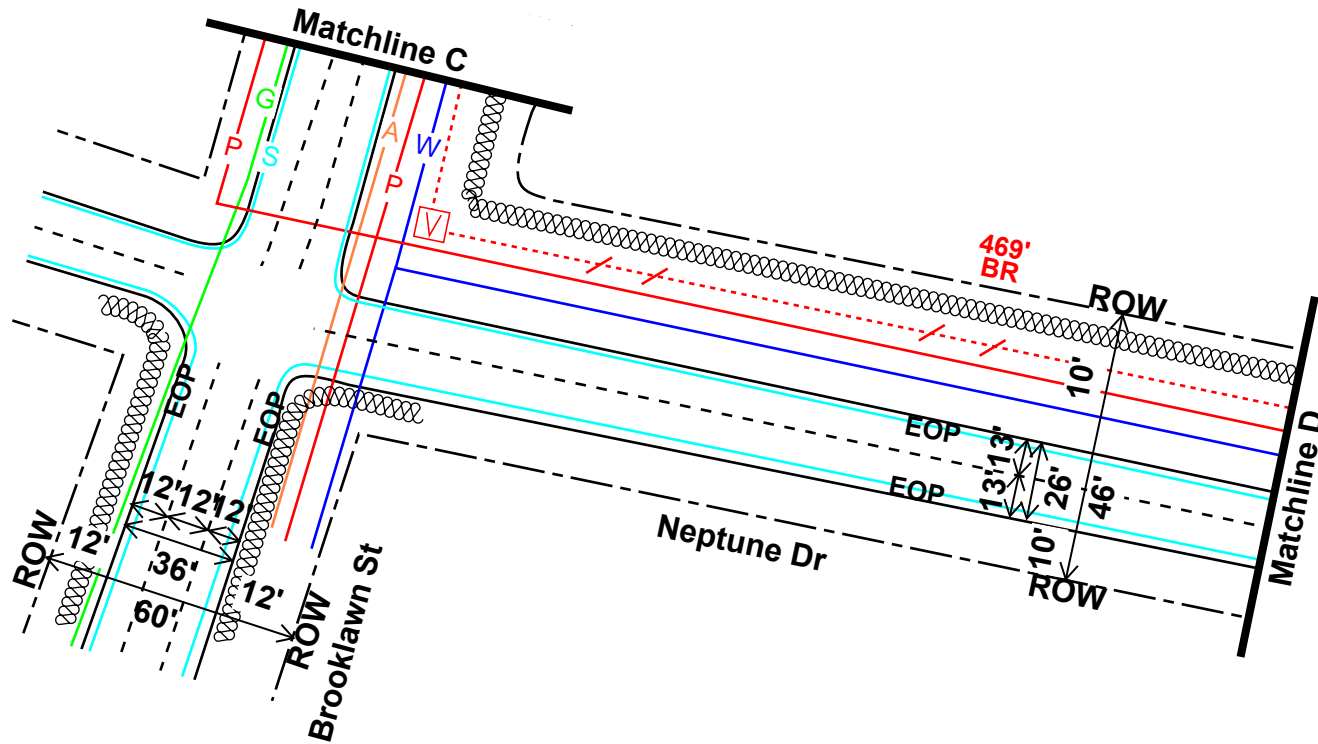
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ALL WORK TO BE DONE IN BACK 5' OF ROW

ALL UTILITIES REPRESENTATIONS SHOWN ON THIS PERMIT ARE DIAGRAMMATIC IN NATURE. THE ACTUAL LOCATION WILL BE DETERMINED IN CONSTRUCTION IN ACCORDANCE WITH OGCA 25-9-1

SPEED LIMIT 45 MPH



UNDERGROUND LEGEND

- - - - - PROPOSED UG
- - - - - EXISTING CONDUIT
- / / / NUL (TRANSITION)
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Submitted by:



COMCAST CABLE

5720 Asheville Hwy
 Knoxville, TN 37924

FARRAGUT CITY

PERMIT APPLICATION

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SPEED LIMIT
45
MPH



ALL WORK TO BE DONE
IN BACK 5' OF ROW

UNDERGROUND LEGEND

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- - - - - EXISTING CONDUIT
- / - NUL (TRANSITION)
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Submitted by:

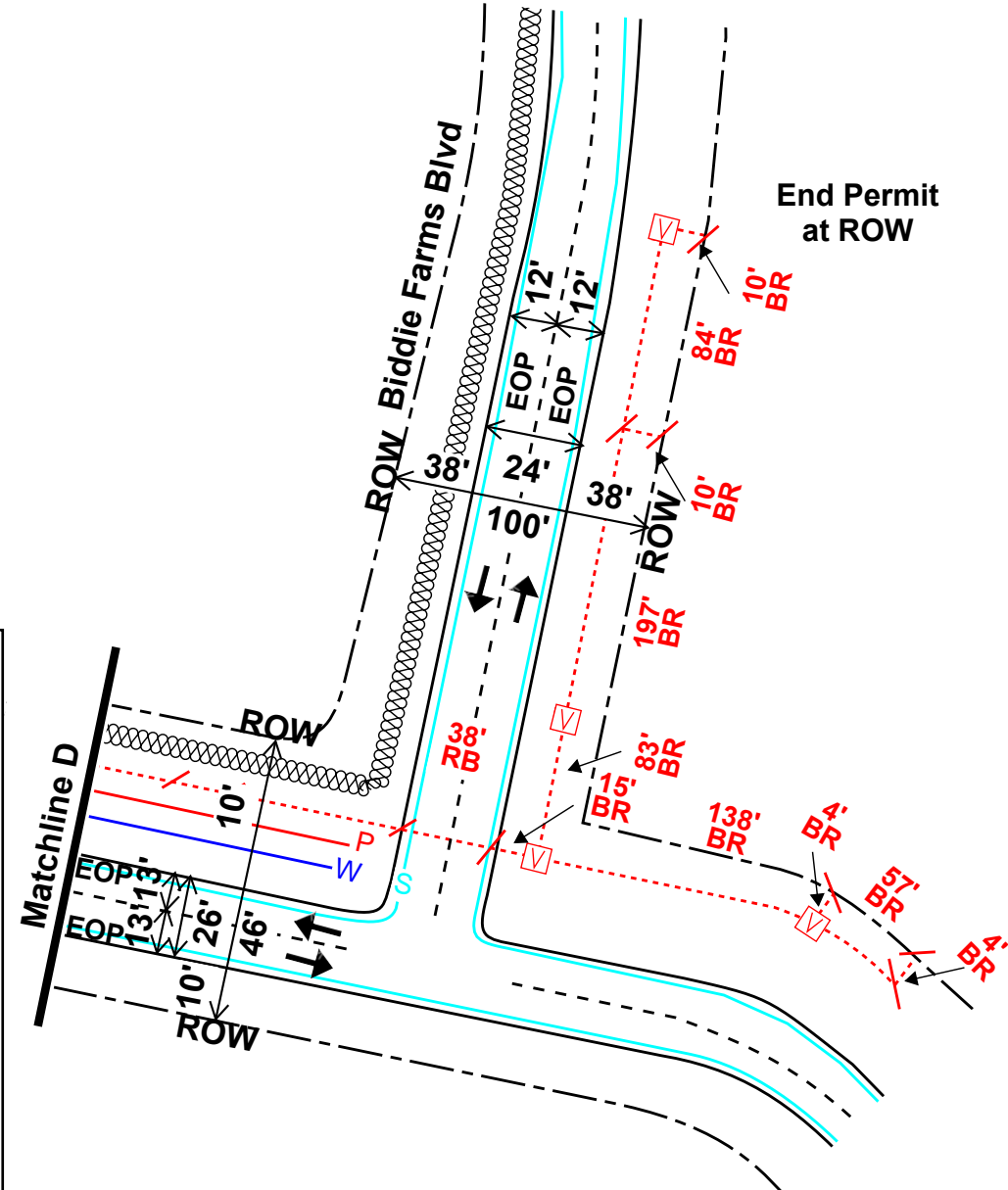
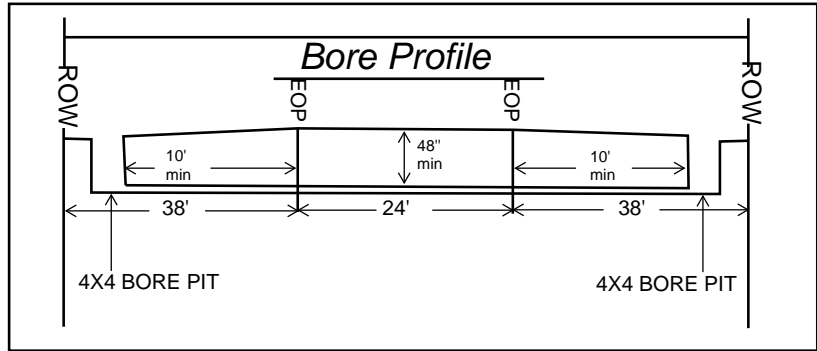


COMCAST

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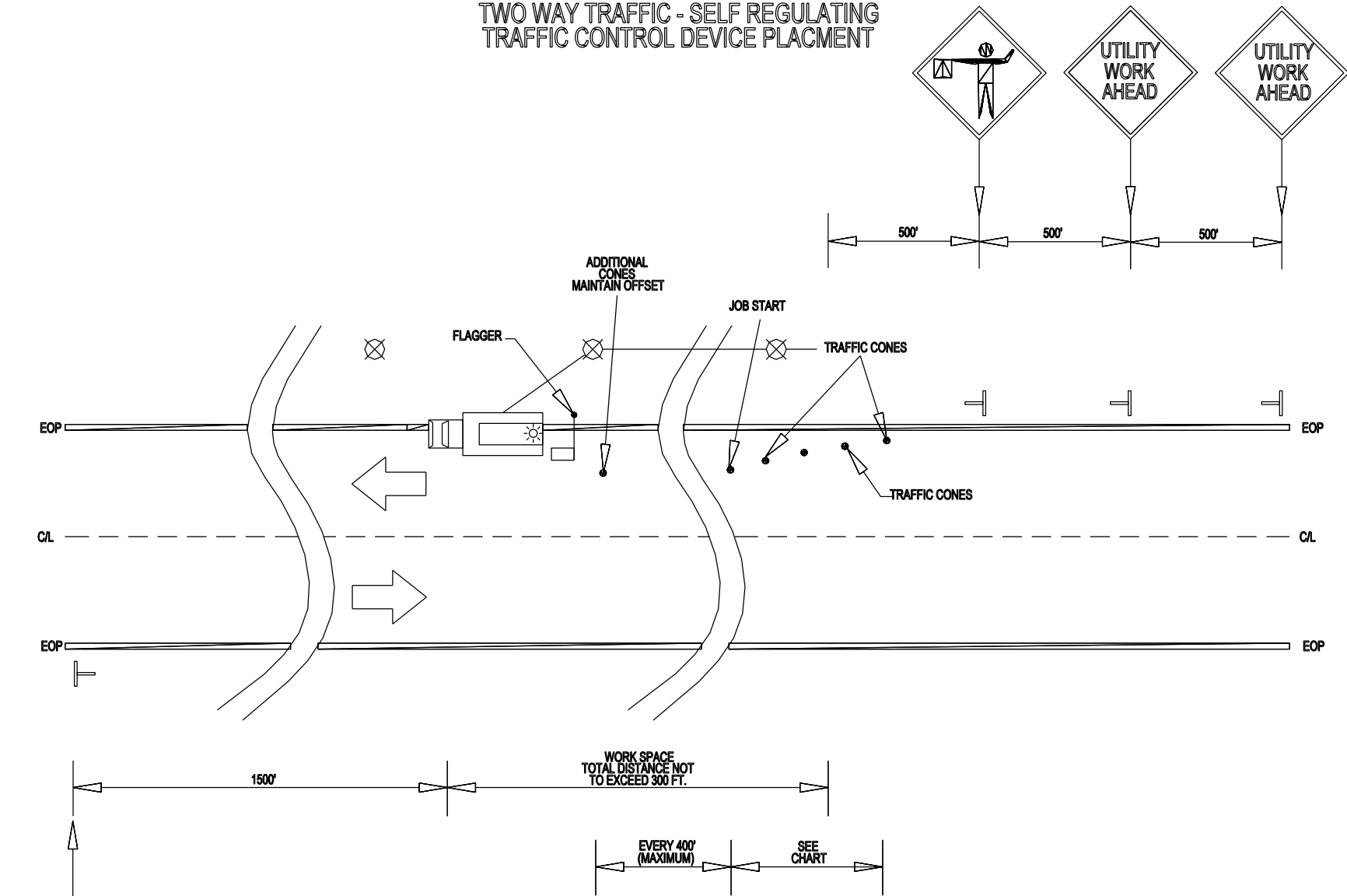
COMCAST CABLE
 5720 Asheville Hwy,
 Knoxville, TN 37924

FARRAGUT CITY
 PERMIT APPLICATION





MOVING OPERATION TWO WAY TRAFFIC - SELF REGULATING TRAFFIC CONTROL DEVICE PLACEMENT



- NOTES:**
1. NO PARKING OF VEHICLES/EQUIPMENT ON THE ROADWAY SHOULDER OPPOSITE OF THE WORK AREA.
 2. DIAGRAM SHOWN FOR SPEED LIMIT OF 55MPH; FOR OTHER SPEED LIMITS, SEE CHART
 3. OPEN PORTION OF AFFECTED TRAFFIC LANE MUST BE AT LEAST TEN (10) FEET IN WIDTH.
 4. WHEN AERIAL FACILITIES ARE BEING PLACED WITH EQUIPMENT PARTIALLY ON THE TRAVELED PORTION OF THE HIGHWAY PLACE WARNING DEVICES AS ILLUSTRATED
*MAY USE "LANE NARROWS"

CONE AND WARNING SIGN SPACING AND TAPER LENGTHS					
SPEED LIMIT (MPH)	CONE SPACING (FT)	TAPER LENGTH (FT)	NUMBER OF CONES REQD	WARNING SIGN SPACING (FT)	MINIMUM SIGN SIZE
25	25	125	6	250	36"X36"
35	35	245	8	250	36"X36"
45	45	540	13	500	48"X48"
55	55	660	13	500	48"X48"
INTERSTATE, EXPRESSWAY AND LIMITED-ACCESS ROADWAYS				1000	48"X48"
				2640	48"X48"
				5280	48"X48"

REPORT TO THE MUNICIPAL PLANNING COMMISSION

Prepared By: Mark Shipley, Community Development Director

Subject: *{(This is a discussion item only related to Agenda Item IV) G)}*
Discussion on a request to amend the Farragut Code of Ordinances, Appendix A - Zoning, Chapter 3, Section XII. - General Commercial District (C-1), Subsection F. Mixed Use Town Center, 3., Building Facade Requirements, to provide for 75% masonry on the net facade area of new buildings that are part of an existing development on the same parcel rather than 75% face brick on each building elevation (The Architecture Collaborative, Applicant)

Introduction & Background:

This item is for discussion purposes only and is related to a new building that is proposed at the West End Center and is shown in the packet and is to be situated at the south intersection of West End Avenue and West Point Drive. The site plan that was originally to be Agenda Item IV. G., is not complete enough for the Planning Commission's consideration but should be ready for the December meeting.

Discussion & Recommendations:

The West End Center is an older shopping center with buildings that pre-date the formation of the Mixed Use Town Center (MUTC) land use area and associated regulations. One of the regulations in the Zoning Ordinance for new buildings within the MUTC is adherence to the Town Center Design Requirement for each exterior wall of a new building to maintain 75% minimum coverage with face brick. Since the West End Center pre-dates this requirement, the existing buildings are well below the face brick percentage.

In the Town's adopted Architectural Design Standards (ADS), the Building Design Standards for the Town Center Subarea provide for the use of face brick on at least 75% of the net facade area. In this manner, the four building elevations can be averaged rather than each elevation being at least 75% face brick. This is the same application used outside the MUTC with the exception that

masonry (and not just face brick), as defined in the ADS, can be used on at least 75% of the net facade area.

The applicant would like to average the four elevations with face brick, as provided for in the ADS. This would allow them to better blend architecturally the new building to the existing older shopping center building while still having an average of at least 75% face brick. Since this is in conflict with the existing provisions in the Zoning Ordinance, the applicant's request is to amend the Zoning Ordinance to provide for the ability to average the four elevations with at least 75% face brick where a new building is proposed within an existing development that is on the same parcel.

Recommended By:

Proposed Motion: For discussion purposes only.

A NEW DEVELOPMENT FOR: WEST END PHASE 3

183 West End Phase Ave Farragut, TN 37934
Parcel 1.25 FFCA/IPI 1984 Property Company D.B.
2124 PG. 229
Tax Map Number - 143
Lot 1R1 Map Book 106L, Page 53 (Buddy's BBQ)
4.815 Acres

LIST OF DRAWINGS:

GENERAL
CVR COVER SHEET

CIVIL AND SITE ENGINEERING
C001 GENERAL NOTES AND LEGEND
C100 EXISTING CONDITIONS AND DEMOLITION PLAN
C200 SITE LAYOUT PLAN
C300 SITE GRADING AND DRAINAGE PLAN
C500 SITE UTILITIES PLAN
C800 SITE DETAILS
C801 SITE DETAILS
C802 RAISED CROSSWALK DETAILS
C900 EPSC PLAN
C901 EPSC DETAILS

ARCHITECTURAL
A1.1 FLOOR PLAN & PERSPECTIVE VIEWS
A1.3 RENDERING
A1.4 SITE CONTEXT
A1.5 SITE CONTEXT
A1.6 SITE CONTEXT
A1.7 SITE CONTEXT
A1.8 SITE CONTEXT
A4.1 EXTERIOR ELEVATIONS
Grand total: 19

PROJECT INFORMATION:

PROJECT DESCRIPTION
A NEW MIXED USE TOWN CENTER - 9,600 S.F. FOR THE TOWN OF FARRAGUT.

JURISDICTION
TOWN OF FARRAGUT
COMMUNITY DEVELOPMENT DEPARTMENT
11408 MUNICIPAL CENTER DRIVE
FARRAGUT, TN 37934
PHONE NUMBER: (865) 675-2384

DESIGN CODES
2018 INTERNATIONAL BUILDING CODE
2018 NATIONAL ELECTRICAL CODE
2018 INTERNATIONAL FIRE CODE
2018 INTERNATIONAL MECHANICAL CODE
2018 INTERNATIONAL FUEL CODE
2018 INTERNATIONAL PLUMBING CODE
2021 INTERNATIONAL ENERGY CONSERVATION CODE
2017 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES CODE (ICC A117.1:2009)

TYPE OF CONSTRUCTION: - TYPE IIB, UNSPRINKLERED
OCCUPANCY: - MERCANTILE

NUMBER OF STORIES: - 1 STORY - 25 TO 27' IN HEIGHT (EXTERIOR FACADE HEIGHT)
BUILDING AREA: - 9,600 S.F.

SPRINKLER SYSTEM TYPE: - N/A
STANDPIPE SYSTEM: - N/A
FIRE/SMOKE ALARM SYSTEM: - YES

ZONING: C-1 LOCATED IN THE MUTC (MIXED USE TOWN CENTER) ON THE FUTURE LAND USE MAP.

PRINCIPAL BLDG SETBACKS: 10' FROM ALL PROPERTY LINES
ACCESSORY STRUCTURE SETBACKS: 20' FROM ALL PROPERTY LINES

THE ACREAGE OF THE PROPERTY: 4.815
ACREAGE OF THE AREA OF DISTURBANCE: -

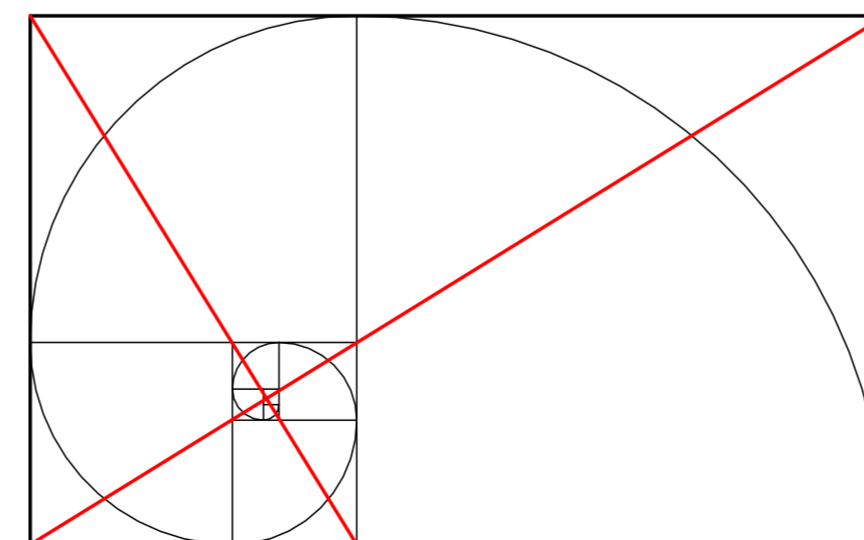
PROJECT DIRECTORY:

OWNER:
M & M DEVELOPMENT CO INC.
SAM MISHU & TOMMY VANN
11235 W. POINT DR.
SMISHU@MMDEVELOPMENT.COM
TOMMY@VANNLAND.COM
(865) 675-0022 (865) 675-0038

ARCHITECT:
THE ARCHITECTURE COLLABORATIVE
DAN BRITAIN, AIA
6700 BAUM DR., SUITE 23
KNOXVILLE, TN 37919
(865) 342-7505

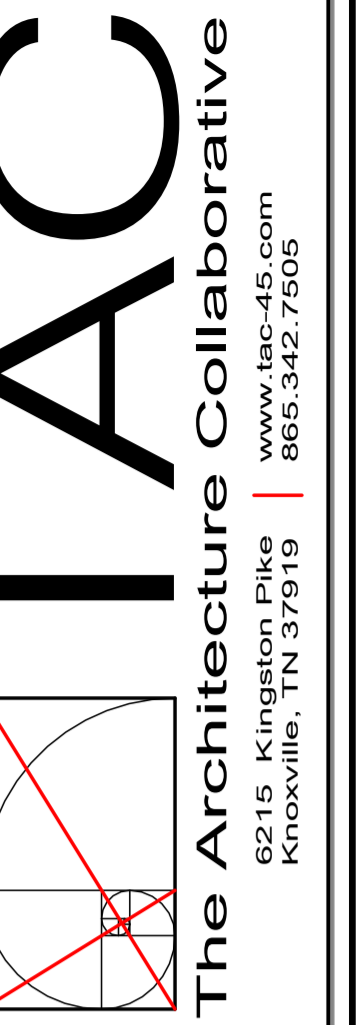
CIVIL ENGINEER:
SPRINKLE ENGINEERING
MATT SPRINKLE
PO BOX 4013 MARYVILLE, TN 37802
MATT@SPRINKLEENGINEERING.COM
(865) 599-9192

MEP ENGINEER:
BEDINGER CONSULTING ENGINEERS
DAVID BLAKNEY
5641 MERCHANTS CENTER BLVD. STE A104
KNOXVILLE, TN 37912
DBLAKNEY@BCE1946.COM
(865) 299-5973

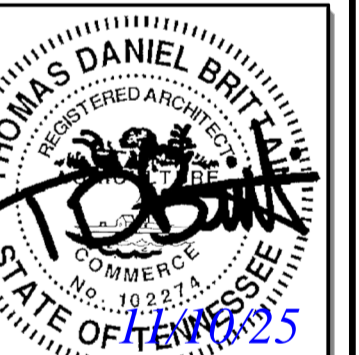


TAC

The Architecture Collaborative



A NEW DEVELOPMENT FOR:
WEST END PHASE 3
183 West End Phase Ave Farragut, TN 37934
Parcel 1.25 FFCA/IPI 1984 Property Company D.B. 2124 PG.
229
Tax Map Number - 143
Lot 1R1 Map Book 106L, Page 53 (Buddy's BBQ)
4.815 Acres



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Revisions:

No.	Date

Drawing Title:
COVER SHEET

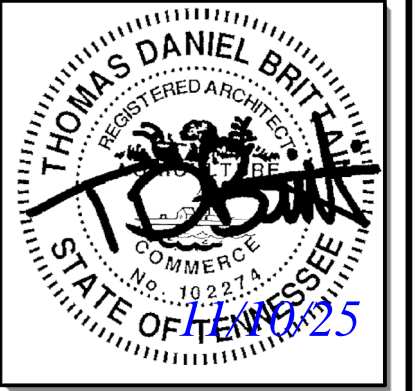
Date: 10/17/25

Project No.
25012

Sheet No.
.CVR



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Revisions:

No.	Date

Drawing Title:
RENDERING

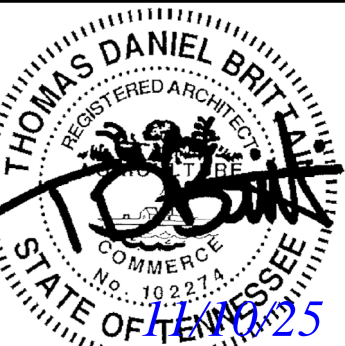
Date: 10/17/25

Project No.
25012

Sheet No.
A1.3



A NEW DEVELOPMENT FOR:
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 Lot 1R1 Map Book 106L Page 53 (Buddy's BBO)
 4.815 Acres



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Revisions:

No.	Date

Drawing Title:
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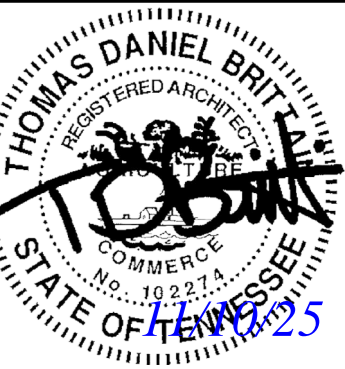
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Project No.
 25012

Sheet No.
 A1.4



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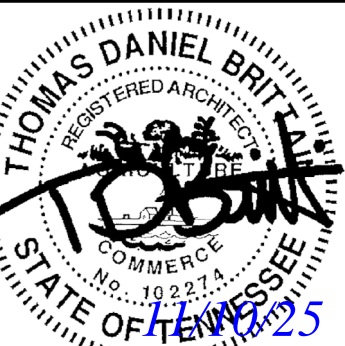
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Sheet No.
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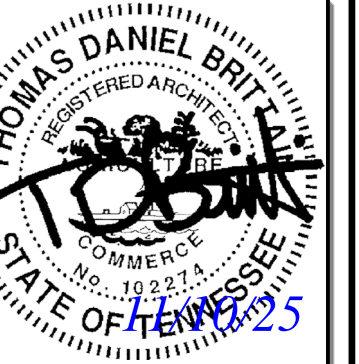
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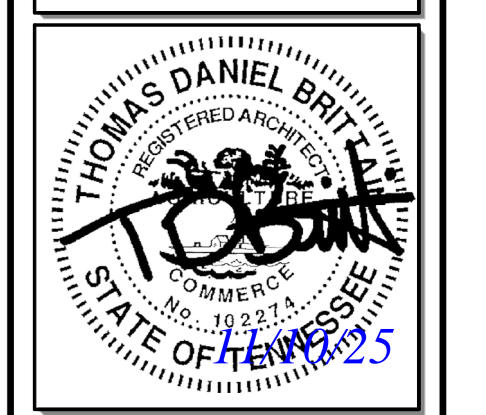
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Sheet No.
 A1.7



A NEW DEVELOPMENT FOR:
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Drawing Title:
 SITE CONTEXT

Date: 10/17/25

Project No.
 25012

Sheet No.
 A1.8

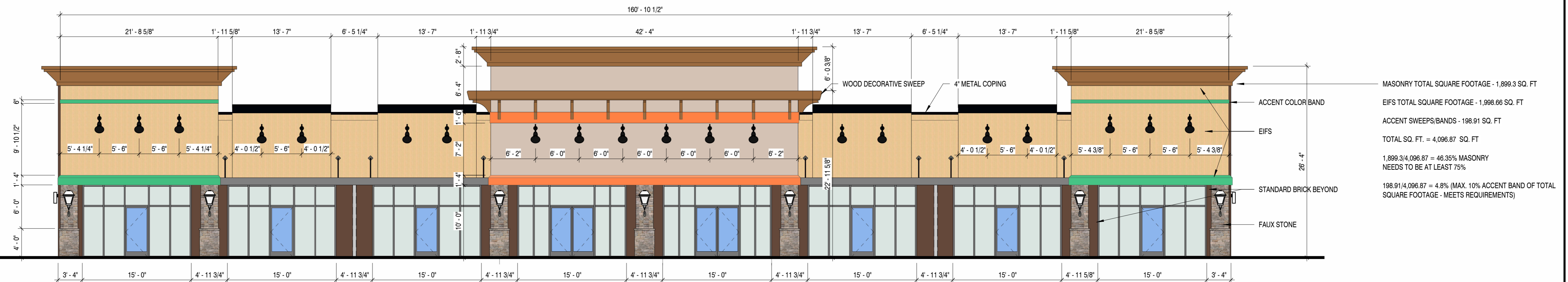
**TOTAL FACADE (ALL FOUR SIDES)
CUMULATIVE MATERIAL SQUARE
FOOTAGE:**

10,617.82 SQUARE FEET

**TOTAL MASONRY (ALL FOUR SIDES)
CUMULATIVE SQUARE FOOTAGE:**

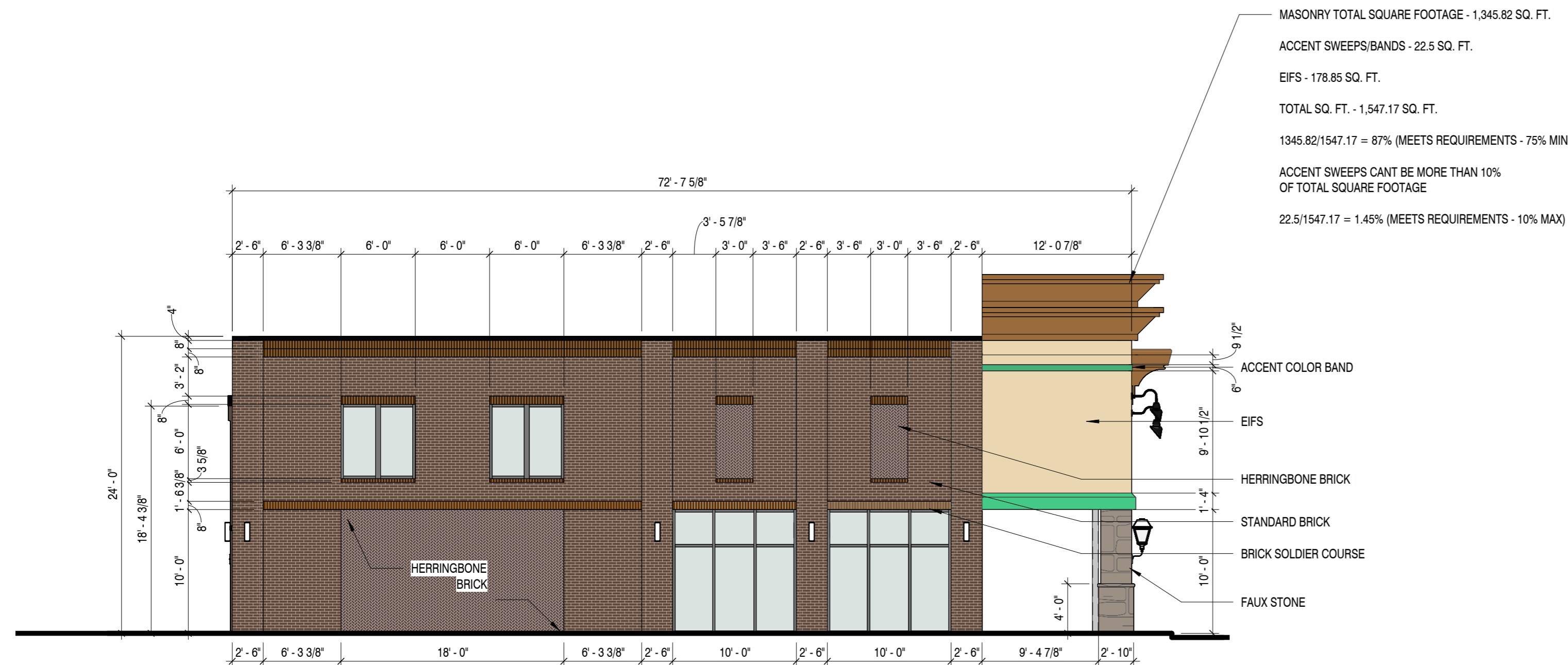
8,017.55 SQUARE FEET

8,017.55/10,617.82 = 75.5% MASONRY

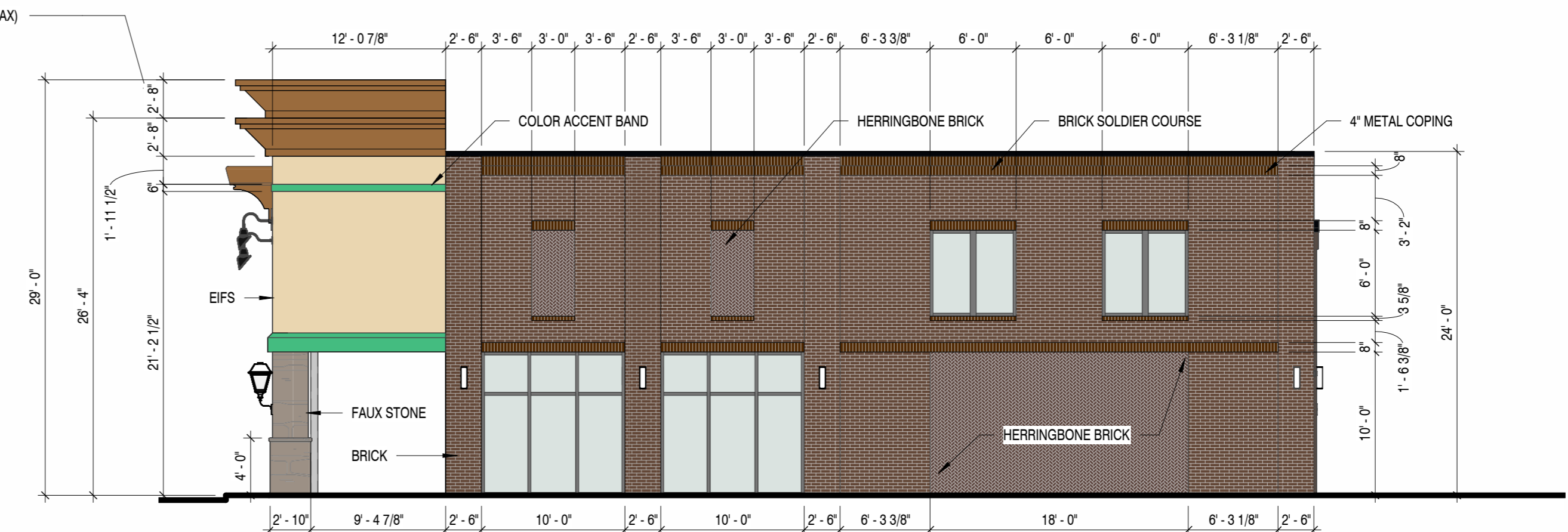


1 FRONT ELEVATION (SOUTH)
1/8" = 1'-0"

MASONRY TOTAL SQUARE FOOTAGE - 1,899.3 SQ. FT
EIFS TOTAL SQUARE FOOTAGE - 1,998.66 SQ. FT
ACCENT SWEEPS/BANDS - 198.91 SQ. FT
TOTAL SQ. FT. = 4,096.87 SQ. FT
1,899.3/4,096.87 = 46.35% MASONRY
NEEDS TO BE AT LEAST 75%
198.91/4,096.87 = 4.8% (MAX. 10% ACCENT BAND OF TOTAL
SQUARE FOOTAGE - MEETS REQUIREMENTS)

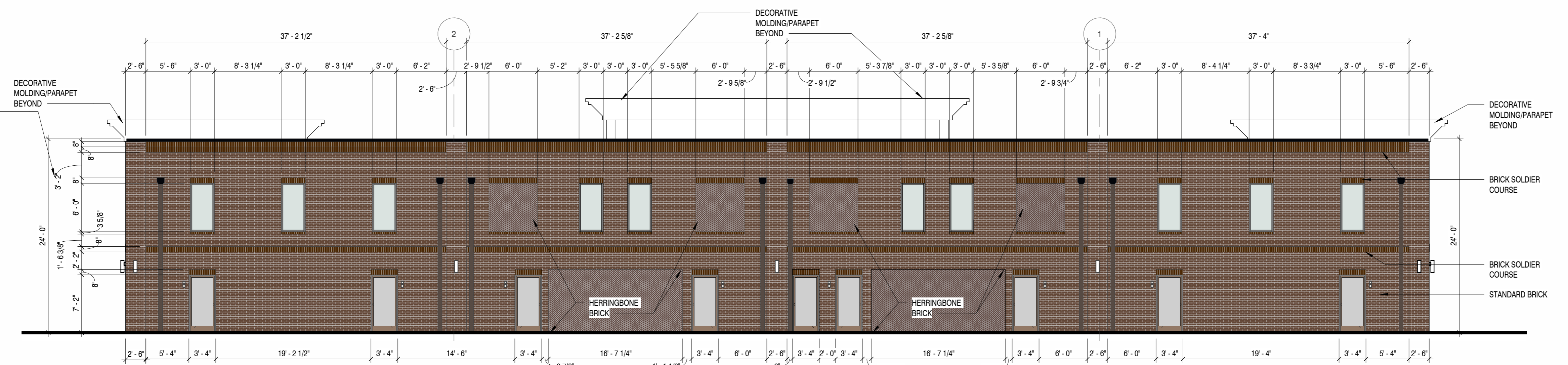


2 LEFT ELEVATION (WEST)
1/8" = 1'-0"



3 RIGHT ELEVATION (EAST)
1/8" = 1'-0"

MASONRY TOTAL SQUARE FOOTAGE - 3,426.61 SQ. FT.
ACCENT SWEEPS/BANDS - 0 SQ. FT.
TOTAL SQ. FT. - 3,426.61 SQ. FT.
3,426.61/3,426.61 = 100% (MEETS REQUIREMENTS - 75% MIN.)
ACCENT SWEEPS CANT BE MORE THAN 10% OF TOTAL SQUARE FOOTAGE
0/3,426.61 = 0.00% (MEETS REQUIREMENTS - 10% MAX)

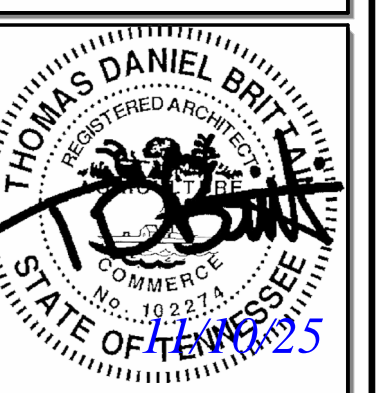


4 REAR ELEVATION (NORTH)
1/8" = 1'-0"

**COLOR &
MATERIALS BOARD
TO BE PROVIDED AT
PLANNING
COMMISSION
MEETING.**

LIST OF MATERIALS:

- STANDARD BRICK
- HERRINGBONE PATTERNED BRICK
- BRICK SOLDIER COURSE
- FAUX STONE
- EIFS
- ACCENT COLOR BANDS - METAL



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INCONSISTENCIES, AMBIGUITIES OR
CONFLICTS WHICH ARE ALLEGED.

Revisions:

No.	Date

Drawing Title:
EXTERIOR ELEVATIONS

Date: 10/17/25

Project No.
25012

Sheet No.
A4.1

REPORT TO THE MUNICIPAL PLANNING COMMISSION

Prepared By: Mark Shipley, Community Development Director

Subject: Discussion and public hearing on a site plan for Lakesedge Retail Center, 11328-11334 Campbell Lakes Drive, 1.04 Acres, Zoned C-2 (Seth Schweitzer, Applicant)

Introduction & Background: This agenda item involves a request for approval of a site plan for a new retail/restaurant building to the east of the Hampton Inn at the south intersection of Campbell Lakes Drive and Lakesedge Drive.

Discussion & Recommendations: As shown on the site plan set included in the packet, the building is 6,981 square feet with roughly 3,839 square feet envisioned for a restaurant. The property has two transmission line easements that bisect different portions of the property. Though stormwater detention ultimately is accommodated off site in a regional detention basin that was designed for this purpose, the applicant is proposing that roughly half of the parking lot will be permeable pavers to satisfy the Town's low impact development requirement in the Stormwater Ordinance.

The applicant is proposing sidewalk connections to both streets and to the Hampton Inn. The building is 80% masonry with a mixture of brick and stone. The applicant will provide a color and materials board for the meeting. The staff recommends approval of the site plan subject to the following comments being satisfactorily addressed:

1. The final site plan set must be for construction and all sheets properly signed, dated, and sealed. Please coordinate with the Commercial Plans Reviewer and Fire Marshal on any code related items they may need on the site plan set.
2. The cover sheet needs to account for all sheets in the site plan set, including the architectural.

3. Please ensure that the required square footage of landscaped area between the building and parking lot is met. This will need to be coordinated with the landscape plan application.
4. Since a restaurant is envisioned in part of the building, please plan for and show a designated outdoor seating area.
5. The minimum width of sidewalks is 5 feet. Please update the plans and detail. Also, the sidewalk connection to Hampton Inn will need to be shifted to the side of the landscaped island so that there is at least 5 feet of landscaped width to the side of the sidewalk.
6. Please show the compact car parking signs on the site layout sheet in terms of where they are to be located.
7. On Sheet C3.0 please address the engineering-related questions on how the permeable pavers will work with the area drain and larger stormwater system.
8. On Sheet C4.0 please address the two note related comments from the stormwater coordinator. Please also show the location of the concrete washout area on Sheet C4.1.
9. For Sheet C5.0, FUD will need to approve the water and sewer plan. Please clarify if there will be any gas proposed for the building and show location. Please include information on how electricity is being provided to the building and any utility structures (transformers). For the restaurant, please show the location for a grease trap.
10. The roof top units appear to be screened by the building which meets the requirement. Please also add a note that acknowledges this.
11. The back of the building facing Lakesedge Drive (with a sidewalk) needs to be more inviting with some recommended window space or similar treatment.

Recommended By: Mark Shipley, Community Development Director

Proposed Motion: To approve the site plan subject to the following comments being satisfactorily addressed:

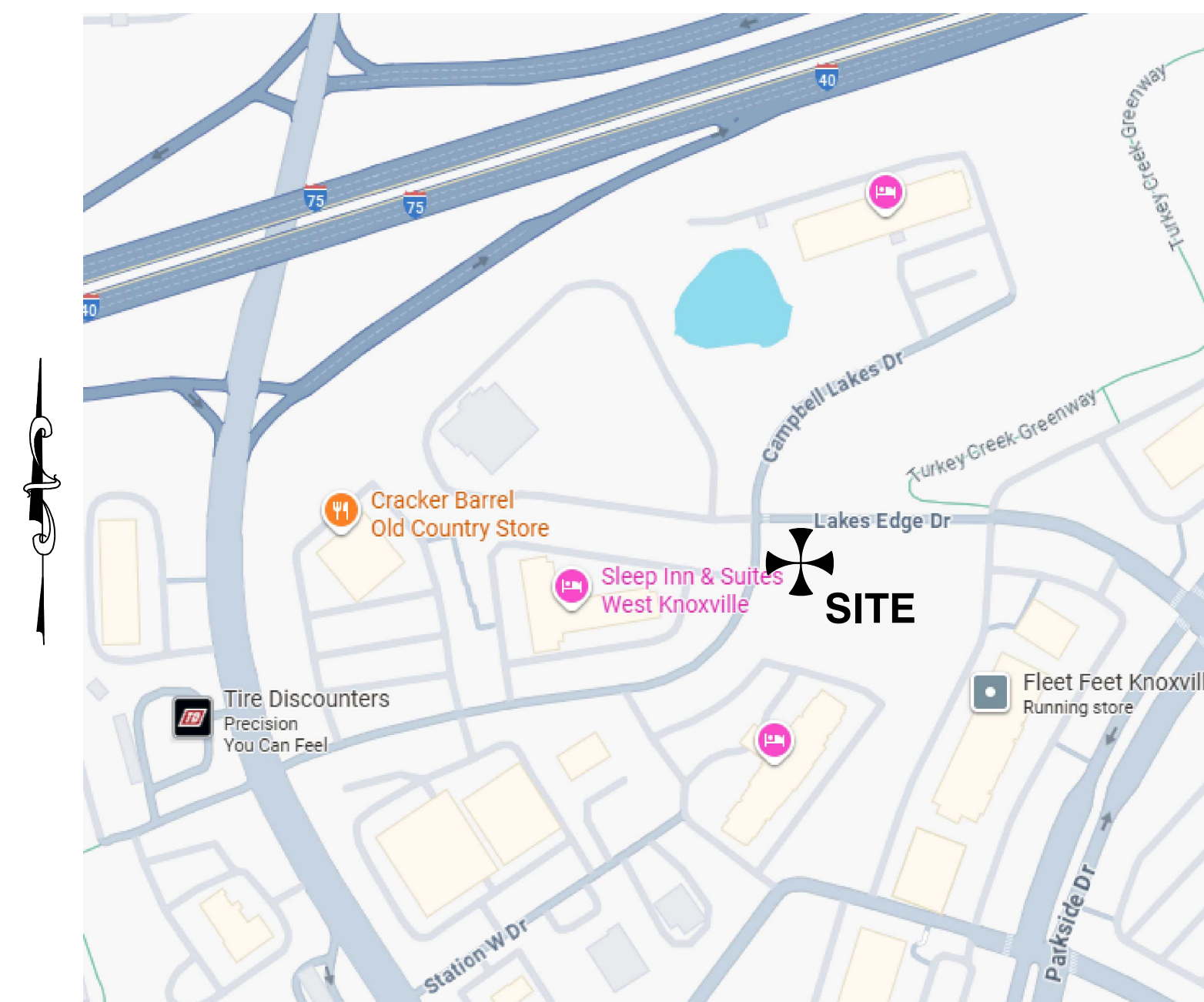
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 11. The back of the building facing Lakesedge Drive (with a sidewalk) needs to be more inviting with some recommended window space or similar treatment.

SITE DEVELOPMENT PLANS FOR: LAKESEDGE RETAIL CENTER

LAKESEDGE DRIVE @ CAMPBELL LAKES DRIVE TOWN OF FARRAGUT, TENNESSEE

UTILITY COMPANIES	
WATER	
NAME	FIRST UTILITY DISTRICT
ADDRESS	122 DURWOOD ROAD KNOXVILLE, TN 37922
CONTACT	-
PHONE	(865) 966-9741
SANITARY SEWER	
NAME	FIRST UTILITY DISTRICT
ADDRESS	122 DURWOOD ROAD KNOXVILLE, TN 37922
CONTACT	-
PHONE	(865) 966-9741
ELECTRICITY	
NAME	LENOIR CITY UTILITIES BOARD
ADDRESS	7698 CREEKWOOD PARK BOULEVARD LENOIR CITY, TN 37771
CONTACT	-
PHONE	(844) 687-5282
TELEPHONE	
NAME	TDS TELECOM
ADDRESS	1021 UPPER RIDGE WAY KNOXVILLE, TN 37932
CONTACT	-
PHONE	(865) 671-4753
NATURAL GAS	
NAME	KNOXVILLE UTILITIES BOARD
ADDRESS	4505 MIDDLEBROOK PIKE KNOXVILLE, TN 37921
CONTACT	-
PHONE	(865) 558-2625



VICINITY MAP
N.T.S.

SHEET INDEX:

- C1.0 EXISTING CONDITIONS PLAN
- C2.0 PROPOSED SITE PLAN
- C3.0 GRADING & DRAINAGE PLAN
- C4.0 EROSION CONTROL PLAN - PHASE 1
- C4.1 EROSION CONTROL PLAN - PHASE 2
- C4.2 EROSION CONTROL PLAN - PHASE 3
- C5.0 UTILITY PLAN
- D1.0 SITE CONSTRUCTION DETAILS
- D1.1 SITE CONSTRUCTION DETAILS

NOVEMBER 10, 2025

PROJECT OWNER/DEVELOPER:
LINFENG & LINHUI WU
12515 COTTON BLOSSOM LANE
KNOXVILLE, TN 37934
PHONE: (646) 258-7380

ENGINEERING SERVICES:
LANDMARK ENGINEERS & SURVEYORS, LLC
12400 CYPRESS GROVE LANE
KNOXVILLE, TN 37922
PHONE: (865) 776-9074
E-MAIL: mdriver@landmarkesllc.com
WEB: www.landmarkesllc.com
CONTACT: MARK H. DRIVER, PE, PLS

SURVEYING SERVICES:
LANDMARK ENGINEERS & SURVEYORS, LLC
12400 CYPRESS GROVE LANE
KNOXVILLE, TN 37922
PHONE: (865) 776-9074
E-MAIL: mdriver@landmarkesllc.com
WEB: www.landmarkesllc.com
CONTACT: MARK H. DRIVER, PE, PLS

ARCHITECTURAL SERVICES
SIERRA TANGO ALPHA ROMEO, PLLC
1723 COLLANADE ROAD
KNOXVILLE, TN 37922
PHONE: (865) 776-9074
E-MAIL: Sk3seth@gmail.com
CONTACT: SETH SCHWEITZER, ARCHITECT

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LAND SURVEYING
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Phone: (865) 776-9074 E-mail: mdriver@landmarkesllc.com
www.landmarkesllc.com

sierra tango
alpha romeo,
pllc

PRELIMINARY - NOT FOR CONSTRUCTION

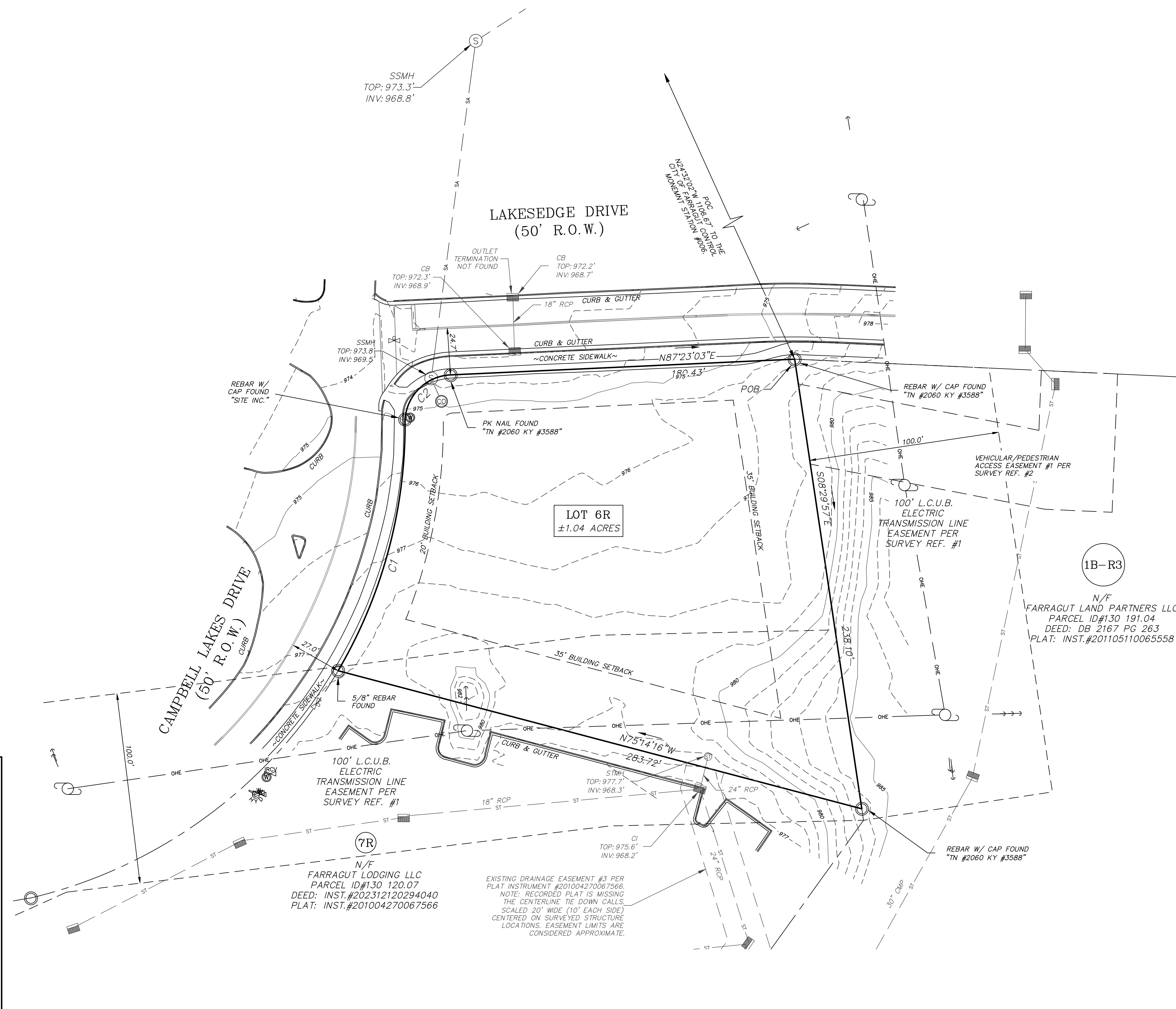
LAKESEDGE RETAIL CENTER
LOT 6R - PARKSIDE DRIVE
11328 to 11334 CAMPBELL LAKES DRIVE, FARRAGUT, TENNESSEE 37934

MARK	DATE	ISSUE FOR:
	10/14/25	TOP Review
	11/10/25	TOP Review

DRAWN: M. DRIVER

SHEET 1 OF 10
COVER
PROJECT: 0006
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CURVE TABLE				
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	255.00'	137.82'	136.15'	N14°55'29"E
C2	25.00'	36.61'	33.42'	N45°32'30"E



LEGEND			
POB	POINT OF BEGINNING	POC	POINT OF COMMENCEMENT
○	MONUMENT SET	⊗	FIRE HYDRANT
⊙	MONUMENT FOUND (AS NOTED)	⊕	GAS VALVE
⊖	WATER METER	⊗	SANITARY SEWER MANHOLE
⊕	WATER VALVE	⊖	STORM SEWER MANHOLE
⊖	UTILITY POLE	⊖	CLEANOUT
N/F	NOW OR FORMERLY	⊖	AREA DRAIN
—	OVERHEAD ELECTRIC LINE	⊖	NON-MONUMENTED POINT
—	CHAIN LINK FENCE LINE	⊖	CATCH BASIN
—	WATER LINE	⊖	GUY WIRE
—	ADJOINER PROPERTY LINE	⊖	SIGN
—	PROPERTY/RIGHT-OF-WAY LINE	⊖	LIGHT POLE
—	STORM SEWER LINE	⊖	GAS METER
—	SANITARY SEWER LINE	⊖	FIRE DEPARTMENT CONNECTION
—	GAS LINE	⊖	ELECTRIC TRANSFORMER
—	UNDERGROUND TELEPHONE LINE	⊖	IRRIGATION CONTROL VALVE
—	SANITARY SEWER FORCE MAIN		
—	EASEMENT LINE		

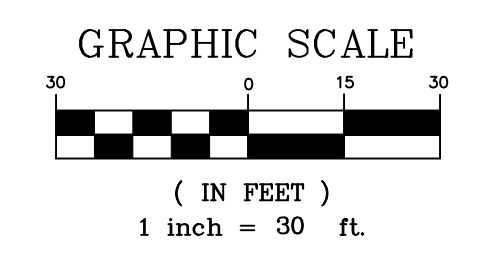
CERTIFICATION OF CATEGORY AND ACCURACY OF SURVEY. SURVEY ACCURACY SHALL MEET THE REQUIREMENTS OF THE CURRENT EDITION OF THE RULES OF TENNESSEE STATE BOARD OF EXAMINERS FOR LAND SURVEYORS - STANDARDS OF PRACTICE.

I HEREBY CERTIFY THAT THIS IS A CATEGORY 1 SURVEY AND THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS NOT LESS THAN 1:10,000, AS SHOWN HEREON AND THAT SAID SURVEY WAS PREPARED IN COMPLIANCE WITH THE CURRENT EDITION OF THE RULES OF TENNESSEE STATE BOARD OF EXAMINERS FOR LAND SURVEYORS - STANDARDS OF PRACTICE.

REGISTERED LAND SURVEYOR
 TENNESSEE LICENSE NO. 2422
 DATE: 08/11/25



LANDMARK SURVEYORS & ENGINEERS, LLC
 CIVIL ENGINEERING
 LAND SURVEYING
 12400 Cypress Grove Lane ~ Knoxville, TN 37922
 Phone: (865) 776-9074 E-mail: mdriver@landmarkesllc.com
 www.landmarkesllc.com



BOUNDARY & TOPOGRAPHICAL SURVEY OF:
LOT 6R-LAKESEDGE
 BEING LOCATED ON:
0 LAKESEDGE DRIVE
 KNOXVILLE, TN 37934

CURRENT OWNER:
 LINFENG AND LINHUI WU
 12515 COTTON BLOSSOM LANE
 KNOXVILLE, TN 37934

District — County KNOX
 Parcel(s) 130184.03 City FARRAGUT
 Ward —
 Drawn By mhd Block —
 Project # 25-0016 Date 08/11/2025

CALL THREE WORKING DAYS BEFORE YOU DIG 811
 ONE CALL SYSTEMS INC.
 CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION

sierra tango
 alpha romeo,
 pllcc

- NOTES:**
- MONUMENTS FOUND/SET AT ALL CORNERS.
 - PROPERTIES SHOWN ON PARCEL MAP 130 184.03.
 - CURRENT ZONING PER THE DATE OF THIS MAP:
C-2 (REGIONAL COMMERCIAL DISTRICT)
 - UTILITY AND DRAINAGE EASEMENTS OF 5' ALONG BOTH SIDES OF ALL INTERIOR LOT LINES AND ON THE INSIDE OF ALL OTHER EXTERIOR LOT LINES AND 10' INSIDE ALL EXTERIOR LINES ADJOINING STREETS AND PRIVATE RIGHTS-OF-WAY.
 - BASIS OF BEARINGS:
CONTROL AND BEARING BASIS FOR THIS SURVEY WERE ESTABLISHED USING CARLSON BRV6+ GPS RECEIVERS (BASE AND ROVER) AND A LEICA TOPCON 1205 ROBOTIC TOTAL STATION. TYPE OF SURVEY: REAL TIME KINEMATIC (RTK). HRMS: 0.02 FEET. VMS: 0.03 FEET. PUBLISHED CONTROL USED: THE CITY OF FARRAGUT SURVEY CONTROL STATION #006. N: 575,360.5294 E: 2,509,521.5299 EL: 964.4'. POINT SCALE FACTOR: 006: 0.9999089
 - LOT 6R DOES NOT LIE IN A SPECIAL FLOOD HAZARD ZONE PER SURVEY REFERENCE #5.
 - UTILITIES SHOWN PER VISIBLE STRUCTURE LOCATION.
 - EXISTING CONTOURS SHOWN ARE AT 1 FOOT INTERVALS AND WERE FIELD DERIVED BASED ON GEOID 2018.
 - ALL TRANSMISSION, DETENTION, AND DRAINAGE EASEMENT INFORMATION SHOWN PER SURVEY REFERENCES #1 AND #2.
- SURVEYOR REFERENCES:**
- PLAT TITLED "FINAL PLAT OF LOTS 1B-R1, 6R AND 7R" BY SITE INC. DATED NOVEMBER 11, 2009 AND BEING RECORDED IN INST.#201004270067566 KNOX COUNTY REGISTER OF DEEDS.
 - PLAT TITLED "FINAL PLAT OF LOT 1B-R3" BY SITE INC. DATED MARCH 1, 2011 AND BEING RECORDED IN INST.#20105110065558 KNOX COUNTY REGISTER OF DEEDS.
 - INST.#202205200088146 (DEED-LOT 6R).
 - INST.#200908100011396 (DEED-FIRST UTILITY DISTRICT EASEMENT).
 - FEMA FIRM MAP 47093C0243G EFFECTIVE AUGUST 5, 2013.

PRELIMINARY - NOT FOR CONSTRUCTION

LAKESEDGE RETAIL CENTER
LOT 6R - PARKSIDE DRIVE
 11328 to 11334 CAMPBELL LAKES DRIVE, FARRAGUT, TENNESSEE 37934

MARK	DATE	ISSUE FOR:
	10/14/25	TOP Review
	11/10/25	TOP Review

DRAWN: M. DRIVER

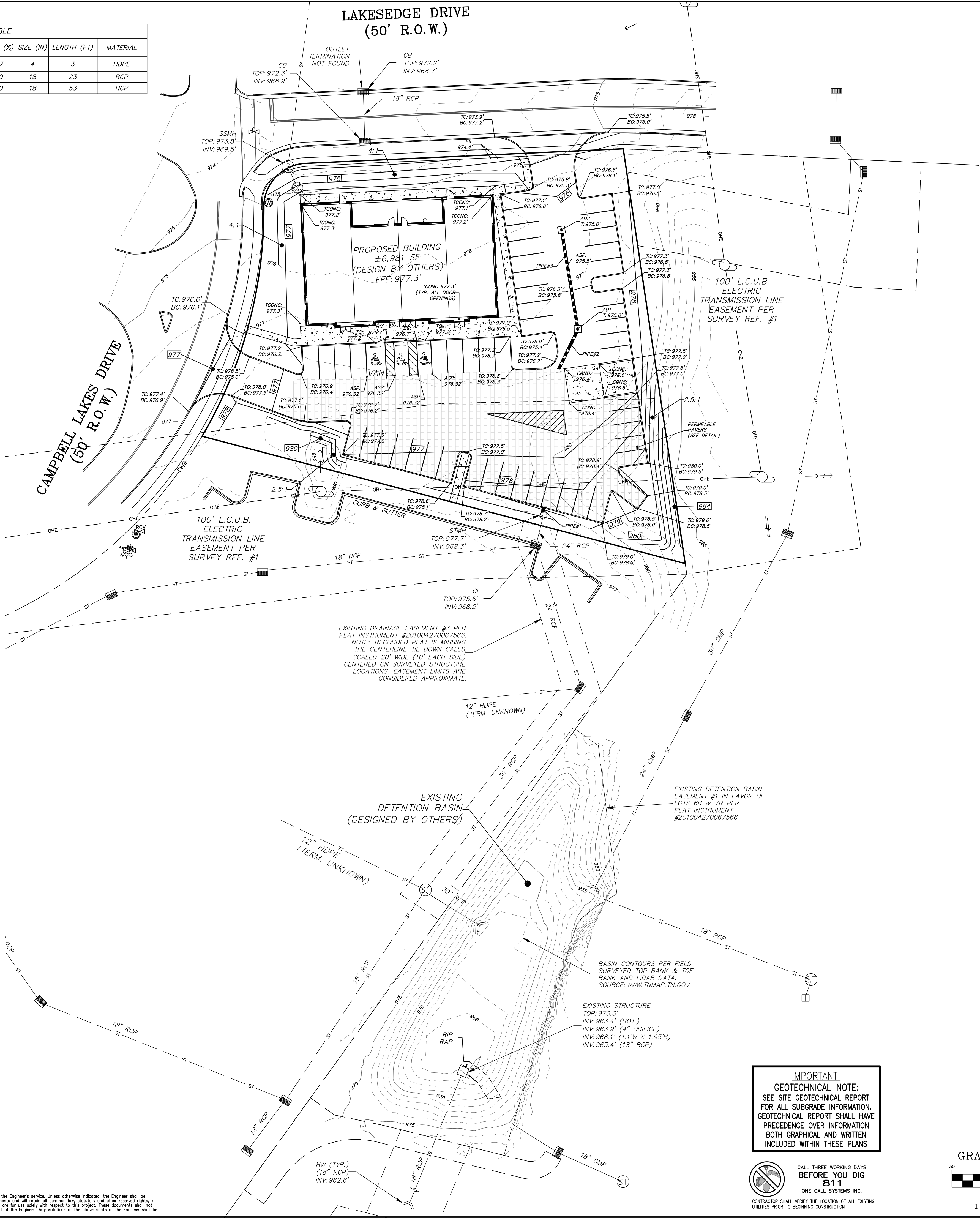
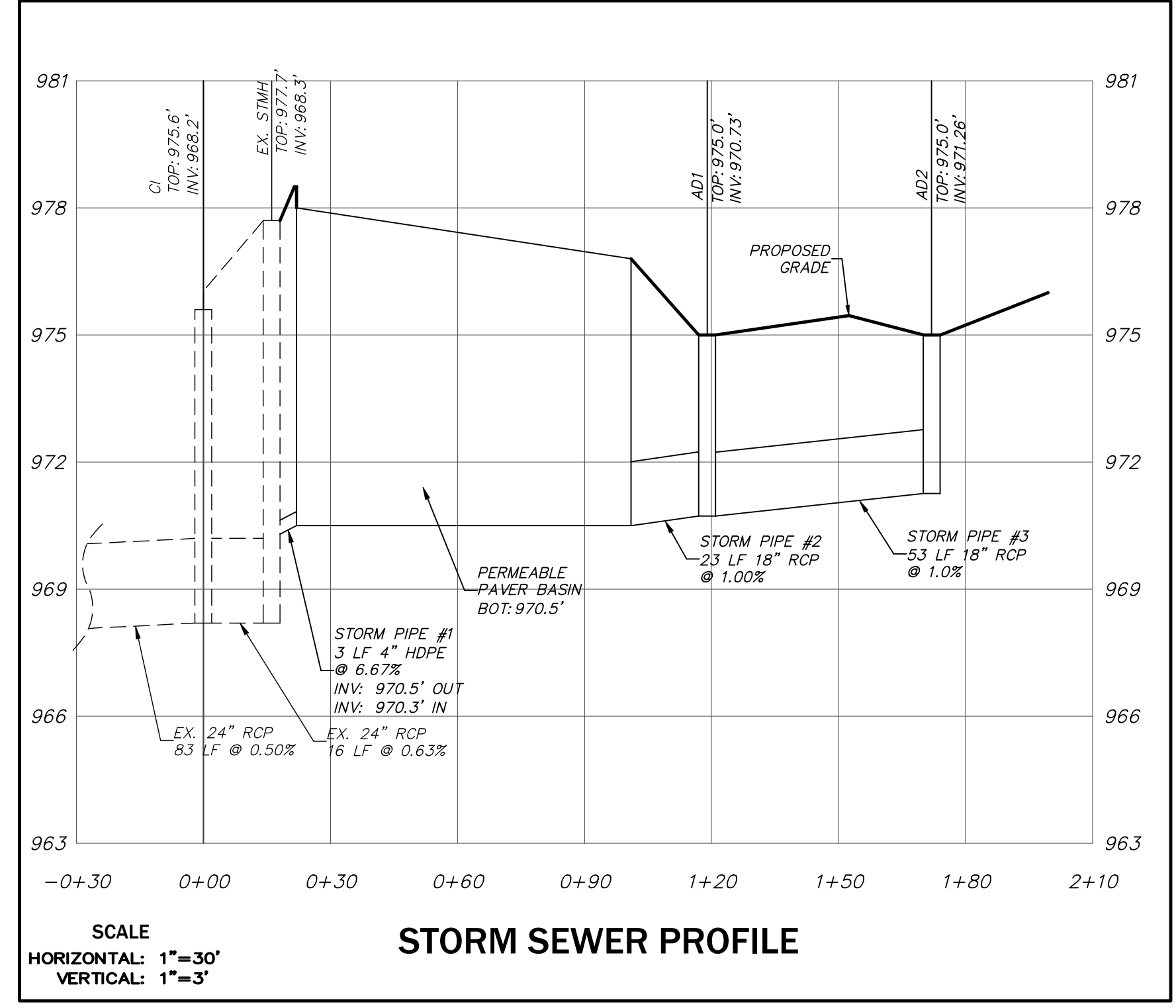
EXISTING CONDITIONS PLAN

SHEET 2 OF 10
C1.0
 PROJECT: 0066
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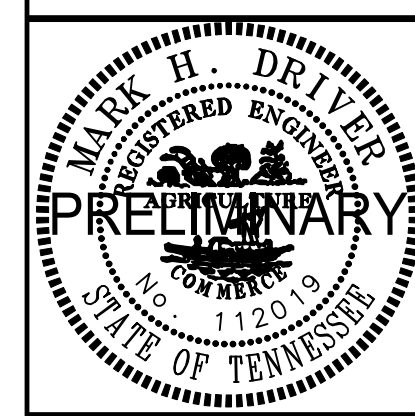
NOTES:

- COMPLY WITH LOCAL AND STATE ORDINANCES REGARDING DISPOSAL OF DEBRIS. DO NOT BURN DEBRIS ON SITE WITHOUT SPECIFIC WRITTEN APPROVAL OF THE LOCAL AUTHORITY. CLEAR AND GRUB FOR NEW CONSTRUCTION AS REQUIRED. IF OFFSITE BORROW OR SOIL WASTE AREAS ARE NEEDED, THEY WILL REQUIRE LOCAL APPROVAL AND DEPENDING ON THE SIZE OF THE AREA, A NO/NO/D FROM DECC.
- VERIFY LOCATION OF EXISTING ON-SITE UTILITIES, PROTECT AND MAINTAIN EXISTING UTILITIES AS REQUIRED. ESTABLISH AND VERIFY EXISTING LINES, GRADE AND DIMENSIONS SHOWN ON THE DRAWING.
- EXISTING CONTOURS SHOWN WERE FIELD DERIVED AND ARE INTENDED TO FORM A GENERAL DESCRIPTION OF SURFACE GROUND ELEVATIONS. TOPOGRAPHIC INFORMATION SHOWN HEREIN SHALL BE CONSIDERED TO HAVE NOT MORE THAN THE FOLLOWING PLUS OR MINUS LIMITS OF ACCURACY: 0.10 FEET AT BENCHMARKS, 0.25 FEET AT SPOT GRADES, 1.0 FEET AT CONTOUR LINES. CONTRACTOR IS CAUTIONED THAT STRAIGHT LINE INTERPOLATION BETWEEN CONTOURS MAY NOT EXACTLY REFLECT EXISTING CONDITIONS. AREAS OF RELATIVELY QUICK CHANGES IN CONTOURS SHOULD NOT BE ALLOWED TO UNDULY INFLUENCE INTERPRETATION OF CONTOURS.
- TOPSOIL SHALL BE STRIPPED AND TEMPORARILY STOCK PILED FOR LATER REUSE. IF NO STOCK PILE AREA IS NOTED ON GRADING PLAN, STOCK PILE SHALL BE IN SUCH PLACE TO PROVIDE FOR READY ACCESS TO NECESSARY AREAS OF SITE BY OTHER TRADES THROUGHOUT PROGRESS OF WORK. PARTICULAR ATTENTION SHALL BE PAID TO FINELY TEXTURED TOPSOIL THAT WILL BE REUSED. TOPSOIL REUSE SHALL BE TO A MINIMUM DEPTH OF 6" AT ANY POINT.
- ALL AREAS TO RECEIVE NEW STRUCTURAL FILL OR OTHER NEW CONSTRUCTION SHALL BE PROOF ROLLED WITH A 20 TON TANDEM JUMP TRUCK IN A SLOW CROSSING PATTERN OVER THE SITE. THIS MUST BE DONE IN PRESENCE OF SOILS TESTING AGENT BEFORE COMMENCING ANY FILLING OF THE SITE. ANY AREAS DEEMED UNSATISFACTORY BY THE SOILS TESTING AGENT SHALL BE UNDERCUT AND REPAIRED AS DIRECTED BY THE SOILS TESTING AGENT.
- UNDERCUT SHALL MEAN EXCAVATION OR OTHER REMOVAL OF UNSUITABLE MATERIAL BELOW ELEVATION OF PROPOSED FINAL SUBGRADE. IN NO CASE SHALL THE TERM UNDERCUT BE USED TO DESCRIBE MATERIAL OCCURRING ABOVE FINAL SUBGRADE ELEVATION. EXTENT OF UNDERCUT OF UNSUITABLE MATERIALS, IF ANY MUST BE RECOMMENDED BY THE GEOTECHNICAL ENGINEER FOR THE OWNER'S APPROVAL. GEOTECHNICAL ENGINEER SHALL NOT HAVE UNLATERAL AUTHORITY TO DIRECT UNDERCUT ACTIVITIES WITHOUT APPROVAL OF THE OWNER'S REPRESENTATIVE. GEOTECHNICAL ENGINEER'S WRITTEN FIELD NOTES WILL BE REQUIRED TO SUBSTANTIATE KNOWLEDGE OF UNDERCUT. BACKFILL SHALL BE OF APPROVED MATERIAL ONLY AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
- STRUCTURAL FILL SHALL BE COMPACTED IN LIFTS NOT TO EXCEED 8" AND PLACED WITHIN +/-2% OF OPTIMUM MOISTURE CONTENT AND COMPACTED TO 98% STANDARD PROCTOR OR AS REQUIRED BY THE SOILS TESTING AGENT.
- CONTRACTOR SHALL INVOLVE AN INDEPENDENT QUALIFIED GEOTECHNICAL TESTING AGENT SUITABLE TO THE TOWN OF FARRAGUT AND/OR OWNER PER THE TOWN OF FARRAGUT'S AND/OR OWNER'S REQUIREMENTS TO PERFORM SOILS TESTING.
- THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY TO KEEP THE WORK FREE OF WATER EITHER FROM SURFACE SOURCES OR FROM UNDERGROUND SOURCES OR BOTH. SELECTION OF EQUIPMENT AND METHODS SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE AND IS RESPONSIBLE FOR ALL DAMAGE INCURRED IN HANDLING WATER CONDITIONS.
- EXPOSE THE MINIMUM AMOUNT OF SUBGRADE POSSIBLE AT ONE TIME TO ALLOW FOR EFFICIENT PROCEEDING OF THE WORK. GRASSING AND OTHER EROSION CONTROL MEANS SHALL BE EMPLOYED, MAINTAINED AND RECONSTRUCTED AS REQUIRED IF DESTROYED BY EROSION. SEDIMENT DEPOSITED ON EXISTING PAVING BY CONSTRUCTION ACTIVITIES SHALL BE CLEANED-UP IMMEDIATELY. TEMPORARY SEDIMENT FENCES SHALL BE CONSTRUCTED AND/OR INSTALLED PRIOR TO STRIPPING OF TOPSOIL. PROVIDE AND MAINTAIN INLET PROTECTION AROUND DRAINAGE STRUCTURES TO PREVENT SILTATION THROUGHOUT CONSTRUCTION. RE-TOPSOIL OR REWORK TOPSOIL AND RESEED IN AREAS THAT EXPERIENCE EROSION THROUGHOUT DO NOT REMOVE EROSION CONTROL MEASURES UNTIL ENTIRE SITE IS STABILIZED.
- ALL PRECAST CONCRETE STRUCTURES TO BE MANUFACTURED BY A CERTIFIED PRECAST PLANT.
- EXISTING AND PROPOSED CONTOURS ARE AT 1 FOOT INTERVALS.
- ELEVATION DATA SHOWN PER BOUNDARY & TOPOGRAPHICAL SURVEY BY LANDMARK ENGINEERS & SURVEYORS, LLC. REFER TO SHEET C1.0 FOR MORE INFORMATION.

STORM SEWER STRUCTURE & PIPE TABLE										
PIPE#	FROM STRUCTURE	TOP ELEVATION	INVERT ELEVATION	TO STRUCTURE	TOP ELEVATION	INVERT ELEVATION	GRADE (%)	SIZE (IN)	LENGTH (FT)	MATERIAL
1	PAVER BASIN	-	970.5'	EX. STMH	977.7'	970.3'	6.67%	4	3	HDPE
2	AD1	975.0'	970.73'	PAVER BASIN	VARIABLE	970.5'	1.00%	18	23	RCP
3	AD2	975.0'	971.26'	AD1	975.0'	970.73'	1.00%	18	53	RCP



sierra tango
alpha romeo,
pllc



PRELIMINARY - NOT FOR CONSTRUCTION

LAKESEDGE RETAIL CENTER
LOT 6R - PARKSIDE DRIVE

11328 to 11334 CAMPBELL LAKES DRIVE, FARRAGUT, TENNESSEE 37934

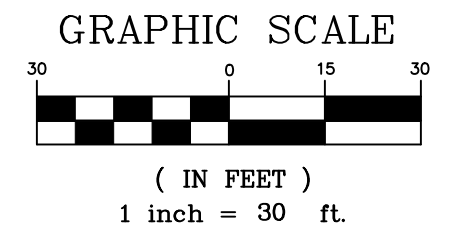
LANDMARK ENGINEERS & SURVEYORS, LLC
CIVIL ENGINEERING
LAND SURVEYING
12400 Cypress Grove Lane ~ Knoxville, TN 37922
Phone: (865) 776-9074 E-mail: mdriver@landmarkesllc.com
www.landmarkesllc.com

NOTICE TO CONTRACTORS REGARDING EXISTING UTILITIES
Contractors are specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is approximate only. The information is not to be relied on as being exact or complete.
The Contractor must call the appropriate utility provider or one-call system a minimum of 72 hours before beginning any construction activities in order to verify the locations of all existing utilities. It is the responsibility of the contractor to verify the utility locations and determine if any existing utilities conflict with the proposed construction.

This document prepared by the Engineer are instruments of the Engineer's service. Unless otherwise indicated, the Engineer shall be deemed the author of drawings, specifications and other documents and will retain all common law, statutory and other reserved rights. In addition to the copyright, documents prepared by the Engineer are for use solely with respect to this project. These documents shall not be used, copied or exhibited without the specific, written consent of the Engineer. Any violation of the above rights of the Engineer shall be prosecuted to the maximum possible extent within the law.

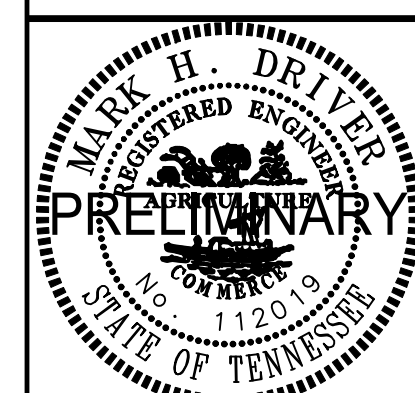
IMPORTANT!
GEOTECHNICAL NOTE:
SEE SITE GEOTECHNICAL REPORT FOR ALL SUBGRADE INFORMATION. GEOTECHNICAL REPORT SHALL HAVE PRECEDENCE OVER INFORMATION BOTH GRAPHICAL AND WRITTEN INCLUDED WITHIN THESE PLANS

CALL THREE WORKING DAYS BEFORE YOU DIG 811
ONE CALL SYSTEMS INC.
CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION



MARK	DATE	ISSUE FOR:
	10/14/25	TOP Review
	11/10/25	TOP Review

DRAWN: M. DRIVER
PROPOSED GRADING & DRAINAGE PLAN
SHEET 4 OF 10
C3.0
PROJECT: 0006
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PRELIMINARY - NOT FOR CONSTRUCTION

LAKESEDGE RETAIL CENTER
LOT 6R - PARKSIDE DRIVE

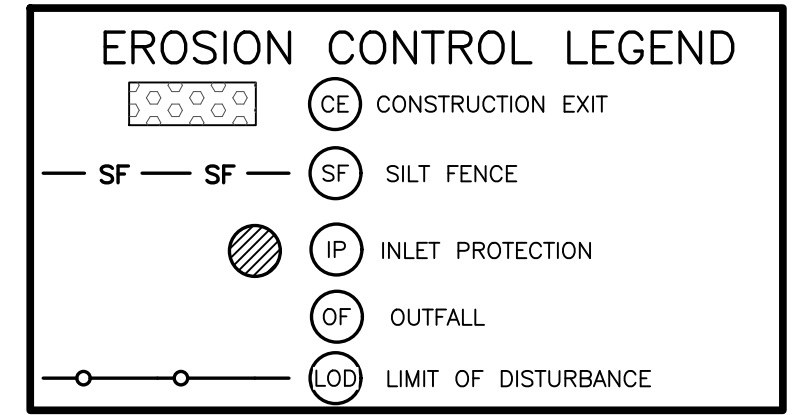
SLOPED AREAS SEEDING NOTE
THE CONTRACTOR SHALL TOPSOIL AND SEED THE SIDE SLOPES WITHIN 48 HOURS OF COMPLETING THE GRADING OF THE SLOPES. A SOIL STABILIZATION BLANKET SHALL BE INSTALLED OVER THE SEEDING ON THE SLOPES.
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PRIOR TO ANY DEMOLITION, CLEARING, AND GRADING EROSION CONTROL DEVICES SHALL BE INSTALLED AS INDICATED ON EROSION CONTROL PLAN. FOLLOW THE PHASING SEQUENCE OF ACTIVITIES.
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STABILIZE ALL SLOPES OF 3:1 OR GREATER (AND ANY OTHER POTENTIALLY ERODIBLE AREAS) WITH NORTH AMERICAN GREEN S2520 OR EQUIVALENT. INSTALL ACCORDING TO MANUFACTURER'S SPECIFICATIONS. STABILIZE SLOPES WITHIN 48 HOURS OF GRADING.
ADEQUATE DRAINAGE, EROSION AND SEDIMENT CONTROL MEASURES, BEST MANAGEMENT PRACTICES, AND/OR OTHER STORMWATER MANAGEMENT FACILITIES SHALL BE PROVIDED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION. DAMAGES TO ADJACENT PROPERTY AND/OR THE CONSTRUCTION SITE CAUSED BY THE CONTRACTOR'S OR PROPERTY OWNER'S FAILURE TO PROVIDE AND MAINTAIN ADEQUATE DRAINAGE AND EROSION/SEDIMENT CONTROL FOR THE CONSTRUCTION AREA SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND/OR CONTRACTOR.

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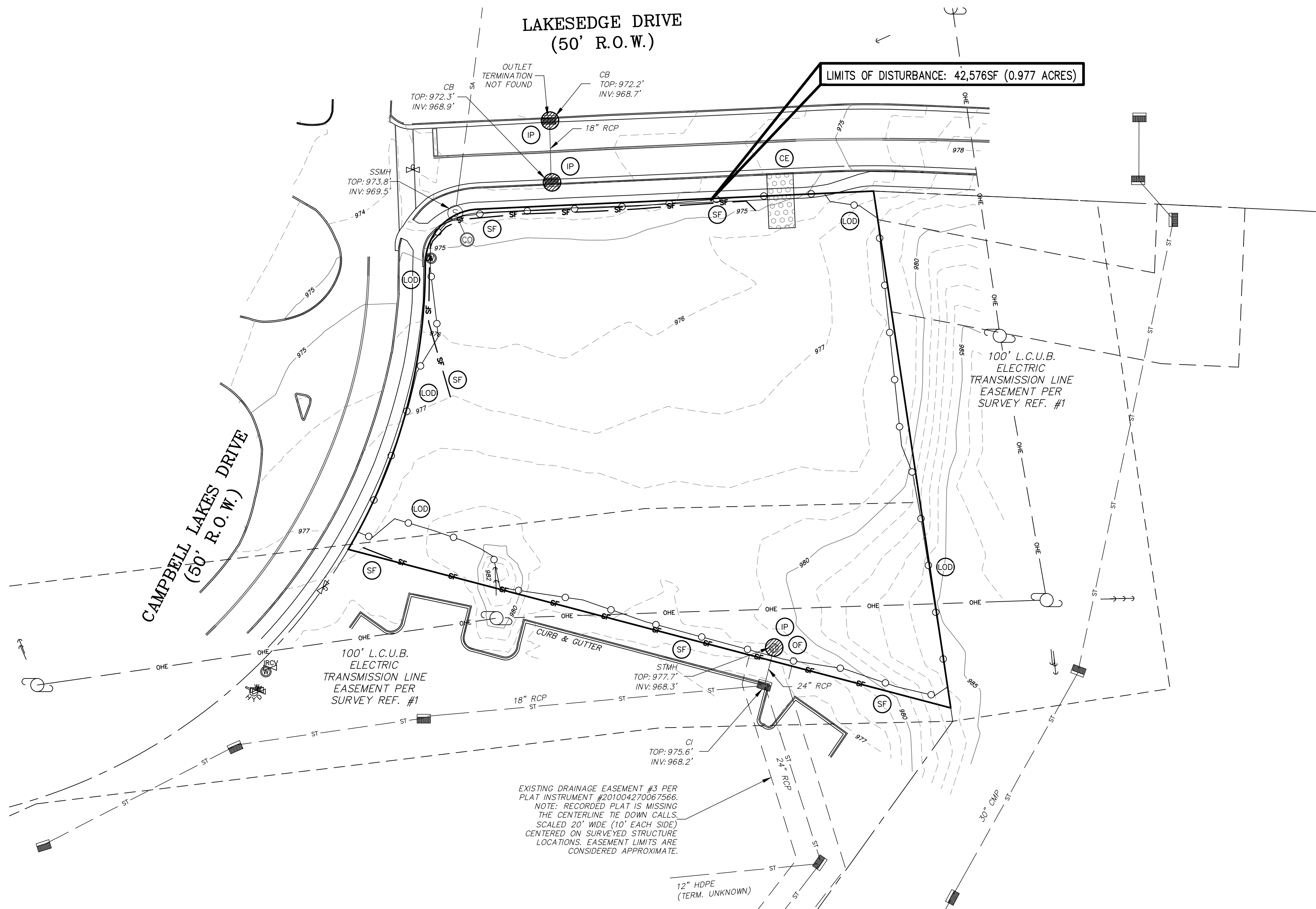
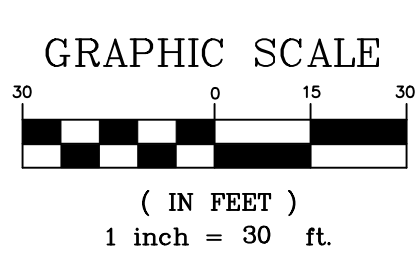
PERMANENT SEEDING MIXTURES		
SEEDING DATES	GRASS SEED	PERCENTAGES
FEBRUARY 1 TO JULY 1	KENTUCKY 31 FESCUE	80%
	KOREAN LESPEDEZA	15%
	ENGLISH RYE	5%
JUNE 1 TO AUGUST 15	KENTUCKY 31 FESCUE	55%
	ENGLISH RYE	20%
	KOREAN LESPEDEZA	15%
APRIL 15 TO AUGUST 15	BERMUDAGRASS (HALLED)	70%
	ANNUAL LESPEDEZA	30%
	AUGUST 1 TO DECEMBER 1	KENTUCKY 31 FESCUE
ENGLISH RYE		20%
WHITE CLOVER		10%
FEBRUARY 1 TO DECEMBER 1	KENTUCKY 31 FESCUE	70%
	CROWN VETCH	25%
	ENGLISH RYE	5%

TEMPORARY SEEDING MIXTURES		
SEEDING DATES	GRASS SEED	PERCENTAGES
JANUARY 1 TO MAY 1	ITALIAN RYE	33%
	KOREAN LESPEDEZA	33%
MAY 1 TO JULY 15	SUNAN-SORGHUM	34%
	STARBU MILET	100%
MAY 1 TO JULY 15	BALBOA RYE	67%
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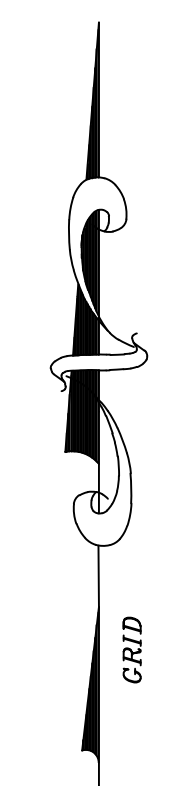
- SEQUENCE OF ACTIVITIES ~ PHASE 1**
1. CONSTRUCT THE CONSTRUCTION EXIT FOR THE SITE ONTO THE EXISTING ADJACENT ROADWAY.
 2. INSTALL STANDARD SILT FENCING AS SHOWN PER THIS SHEET. INSTALL THE SILT FENCING ALONG AN EVEN CONTOUR AND TURN THE ENDS OF THE SILT FENCING UP APPROXIMATELY 1' IN ELEVATION.
 3. STRIP TOPSOIL AND STOCKPILE.

TEMPORARY AND PERMANENT SEEDING NOTE
TEMPORARY SEEDING IS REQUIRED WHEN GRADING OPERATIONS ARE TEMPORARILY HALTED FOR OVER 14 DAYS AND ON SOIL STOCKPILES.
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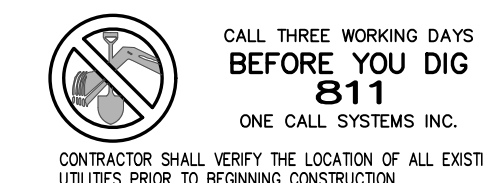


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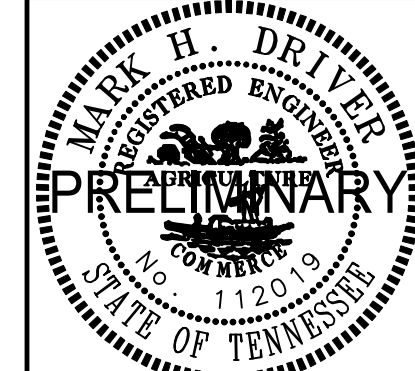


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EROSION CONTROL PLAN - PHASE 1
SHEET 5 OF 10
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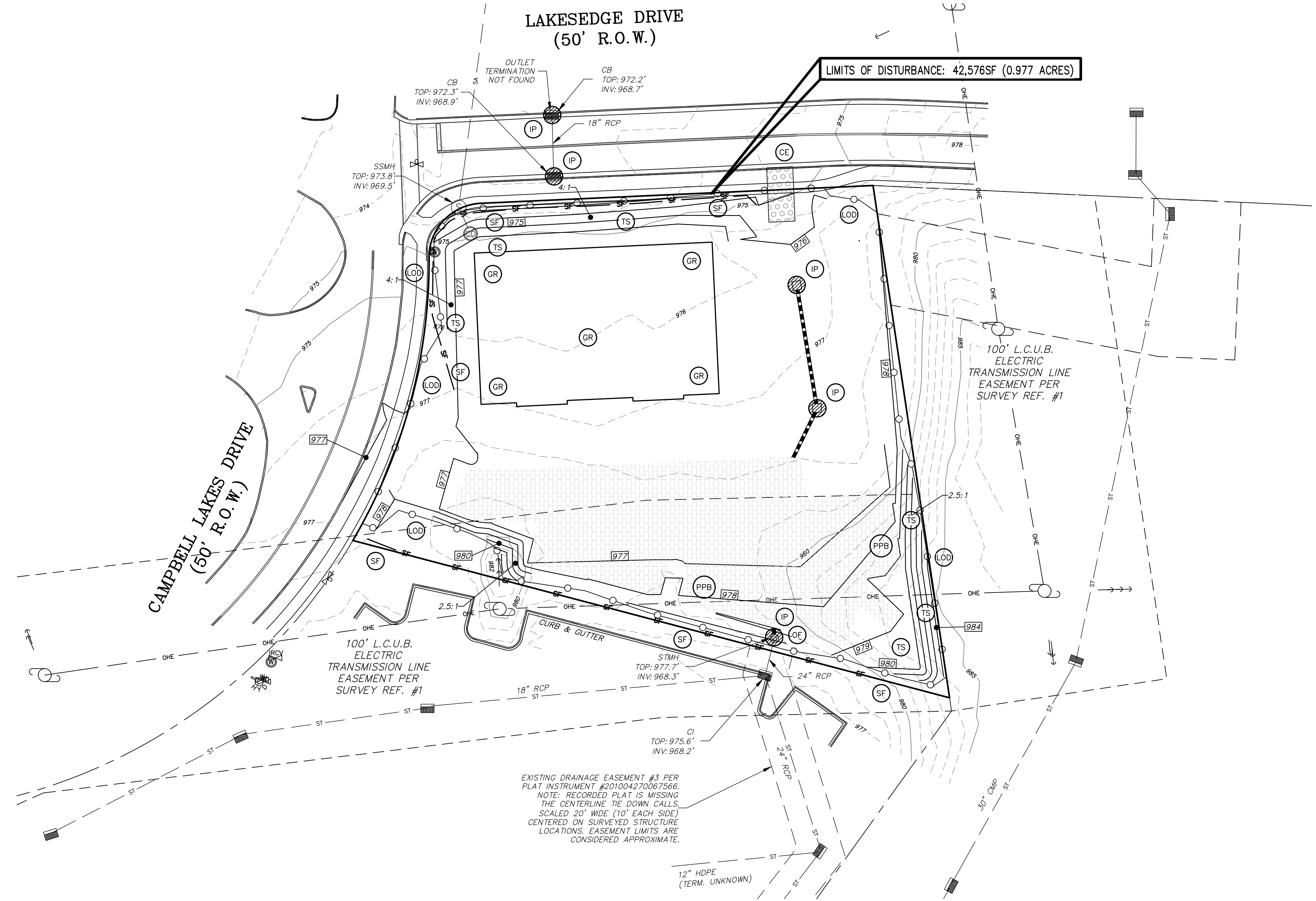
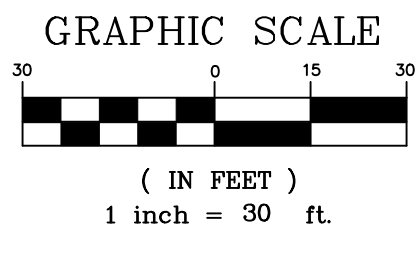
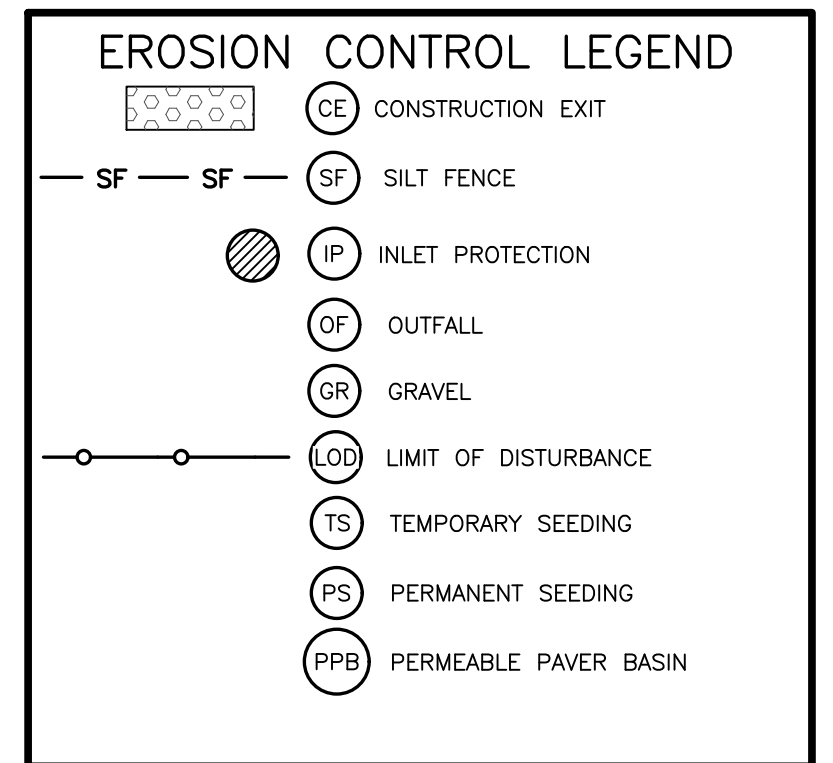
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MAY 1 TO JULY 15	SUGAR-SORGHUM	100%
MAY 1 TO JULY 15	STARBUSS MILLET	100%
JULY 15 TO JANUARY 1	BALBOA RYE	67%
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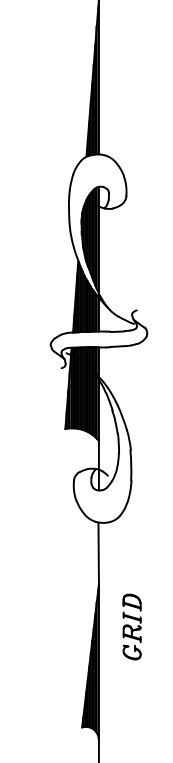


- SEQUENCE OF ACTIVITIES ~ PHASE 2**
- PERFORM OVERALL GRADING AND STABILIZE AS SHOWN PER SHEET C3.0.
 - INSTALL AND PROTECT STORM DRAINAGE AS SHOWN PER THIS SHEET DURING GRADING OPERATIONS. REFER TO SHEET C3.0 FOR ELEVATIONS OF STORM STRUCTURES & PIPING.
 - INSTALL PERMEABLE PAVER SYSTEM FROM BASIN BOTTOM TO 9" BELOW FINAL BRICK PAVER ELEVATIONS.
 - INSTALL GRAVEL IN FUTURE BUILDING AREAS.
 - ADD ADDITIONAL AND/OR RELOCATE SILT FENCING AS NEEDED DURING GRADING OPERATIONS.
 - FOLLOW TEMPORARY AND PERMANENT SEEDING PROCEDURES PER NOTE AND TDEC GUIDELINES.

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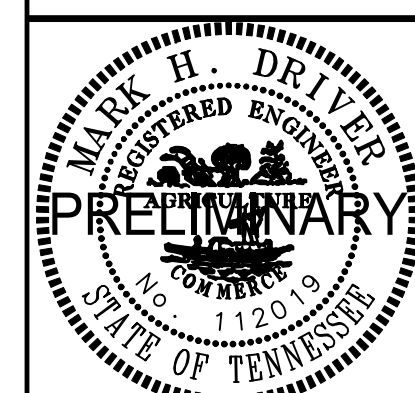


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CALL THREE WORKING DAYS BEFORE YOU DIG 811
ONE CALL SYSTEMS INC.
CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.

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EROSION CONTROL PLAN - PHASE 2
SHEET 6 OF 10
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EROSION CONTROL PLAN - PHASE 3

SHEET 7 OF 10
C4.2
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SLOPED AREAS SEEDING NOTE

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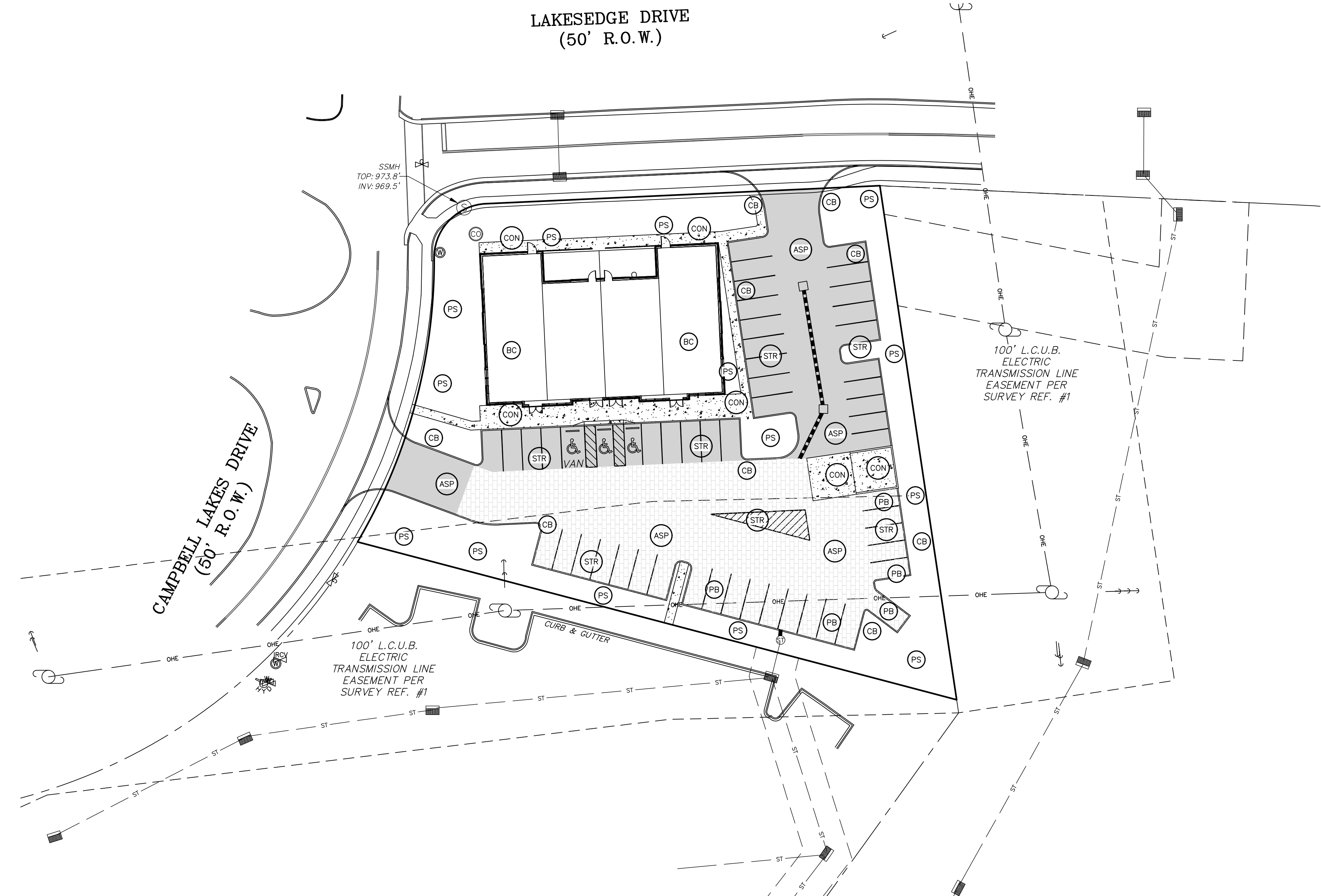
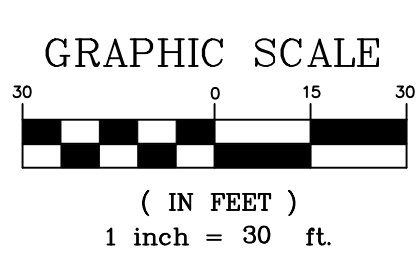
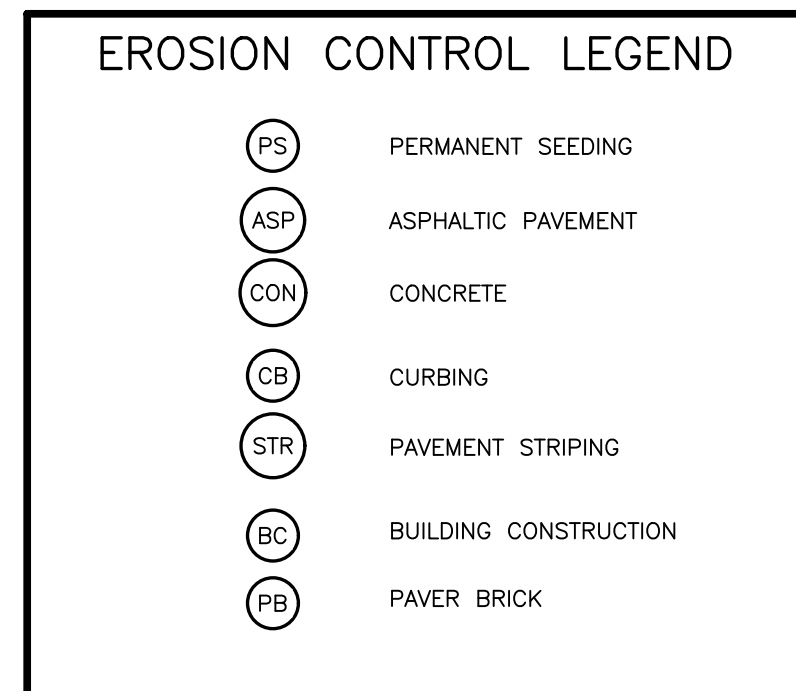
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- SEQUENCE OF ACTIVITIES ~ PHASE 3**
- INSTALL INDIVIDUAL UTILITY MAINS, SERVICE LINES PER EACH RESPECTIVE UTILITY PROVIDER.
 - CONSTRUCT AND FINALIZE BUILDING, CURBING, SIDEWALKS, ASPHALT/CONCRETE PAVING, DUMPSTER ENCLOSURE AND PARKING STRIPING.
 - APPLY PERMANENT SEEDING IN ALL AREAS NEEDING VEGETATION.
 - REMOVE SILT FENCING AND ALL INLET CONTROL MEASURES USED DURING CONSTRUCTION ONCE ADEQUATE VEGETATION IS ESTABLISHED, THE SITE IS STABILIZED AND CONSTRUCTION IS COMPLETE.

TEMPORARY AND PERMANENT SEEDING NOTE

TEMPORARY SEEDING IS REQUIRED WHEN GRADING OPERATIONS ARE TEMPORARILY HALTED FOR OVER 14 DAYS AND ON SOIL STOCKPILES.

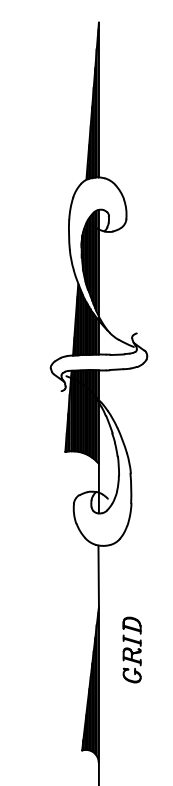
PERMANENT SEEDING IS REQUIRED WHEN GRADING OPERATIONS ARE COMPLETED AND WHEN CONSTRUCTION OPERATIONS WILL NOT IMPACT THE DISTURBED AREA. SEED AREAS THAT SHOW SIGNS OF EXCESSIVE EROSION.

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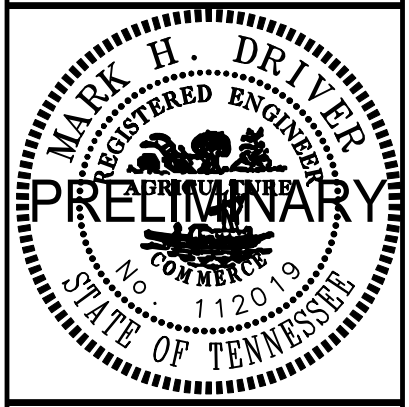


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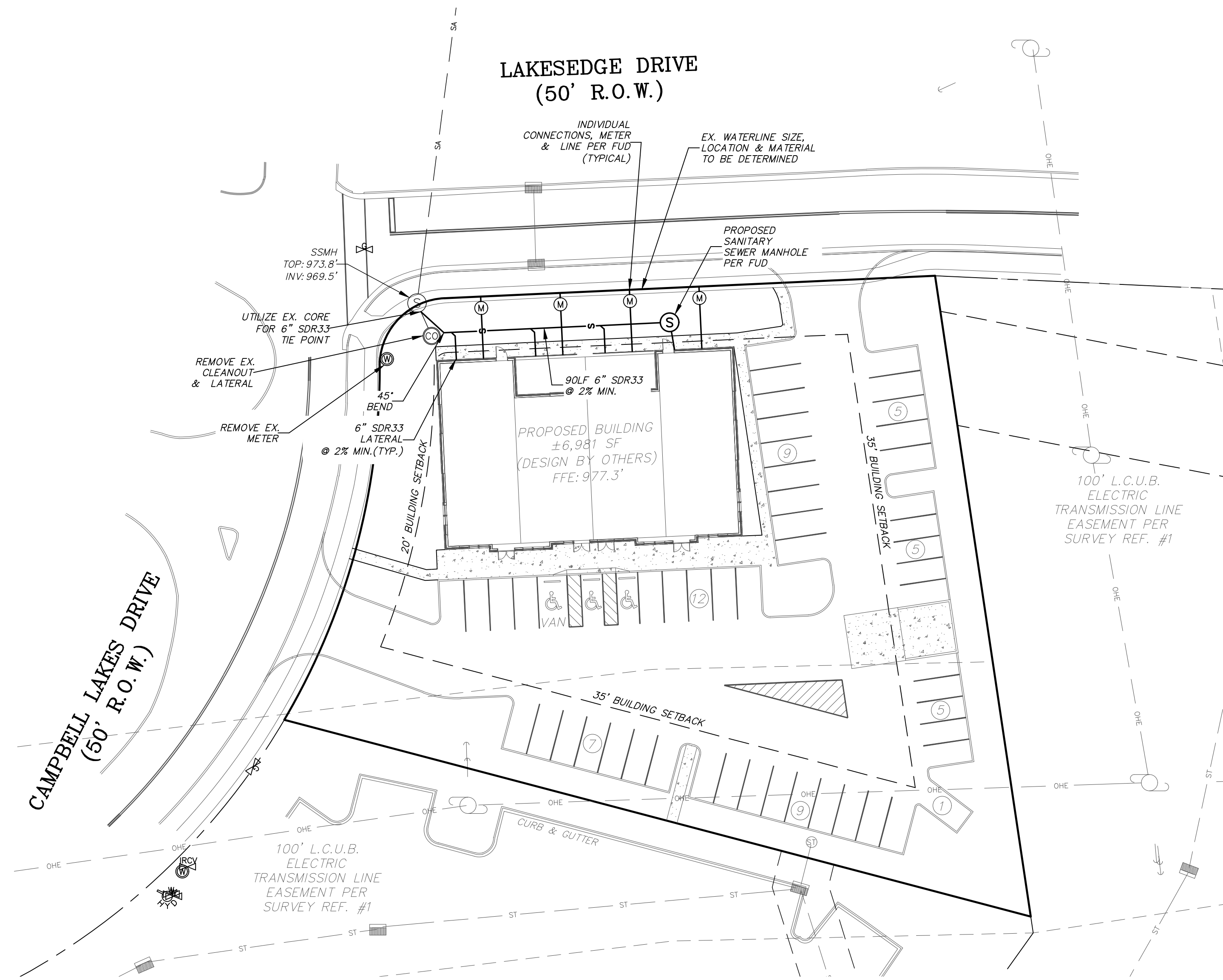


sierra tango
alpha romeo,
plc



PRELIMINARY - NOT FOR CONSTRUCTION
LAKESEDGE RETAIL CENTER
LOT 6R - PARKSIDE DRIVE
11328 to 11334 CAMPBELL LAKES DRIVE, FARRAGUT, TENNESSEE 37934

- NOTES:
1. ALL SANITARY SEWER & WATER MATERIALS, APPURTENANCES & INSTALLATION PER FIRST UTILITY DISTRICT (FUD) REGULATIONS.
 2. THE UTILITIES SHOWN ARE CURRENTLY BEING DESIGNED AND TO BE SUBMITTED TO FUD.
 3. NO UTILITY EASEMENTS DETERMINED AT THIS TIME AND WILL BE PER FUD, IF REQUIRED.



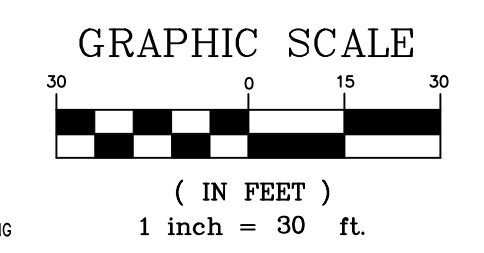
PRELIMINARY - NOT FOR CONSTRUCTION

LAKESEDGE RETAIL CENTER
LOT 6R - PARKSIDE DRIVE

11328 to 11334 CAMPBELL LAKES DRIVE, FARRAGUT, TENNESSEE 37934

MARK	DATE	ISSUE FOR
	11/10/25	TDP Review
DRAWN: M. DRIVER		
PROPOSED UTILITY PLAN		
SHEET 8 OF 10		
C5.0		
PROJECT: 0006		

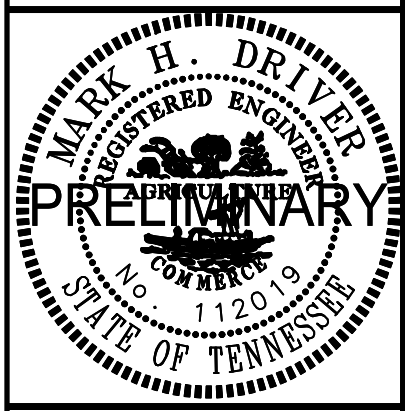
IMPORTANT!
GEOTECHNICAL NOTE:
SEE SITE GEOTECHNICAL REPORT FOR ALL SUBGRADE INFORMATION. GEOTECHNICAL REPORT SHALL HAVE PRECEDENCE OVER INFORMATION BOTH GRAPHICAL AND WRITTEN INCLUDED WITHIN THESE PLANS



CALL THREE WORKING DAYS BEFORE YOU DIG
811
ONE CALL SYSTEMS INC.
CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION

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LAKESEDGE RETAIL CENTER
LOT 6R - PARKSIDE DRIVE

11328 to 11334 CAMPBELL LAKES DRIVE, FARRAGUT, TENNESSEE 37934

ISSUE FOR:	TOP Review
DATE:	11/11/25
MARK:	11/11/25

DRAWN: M. DRIVER

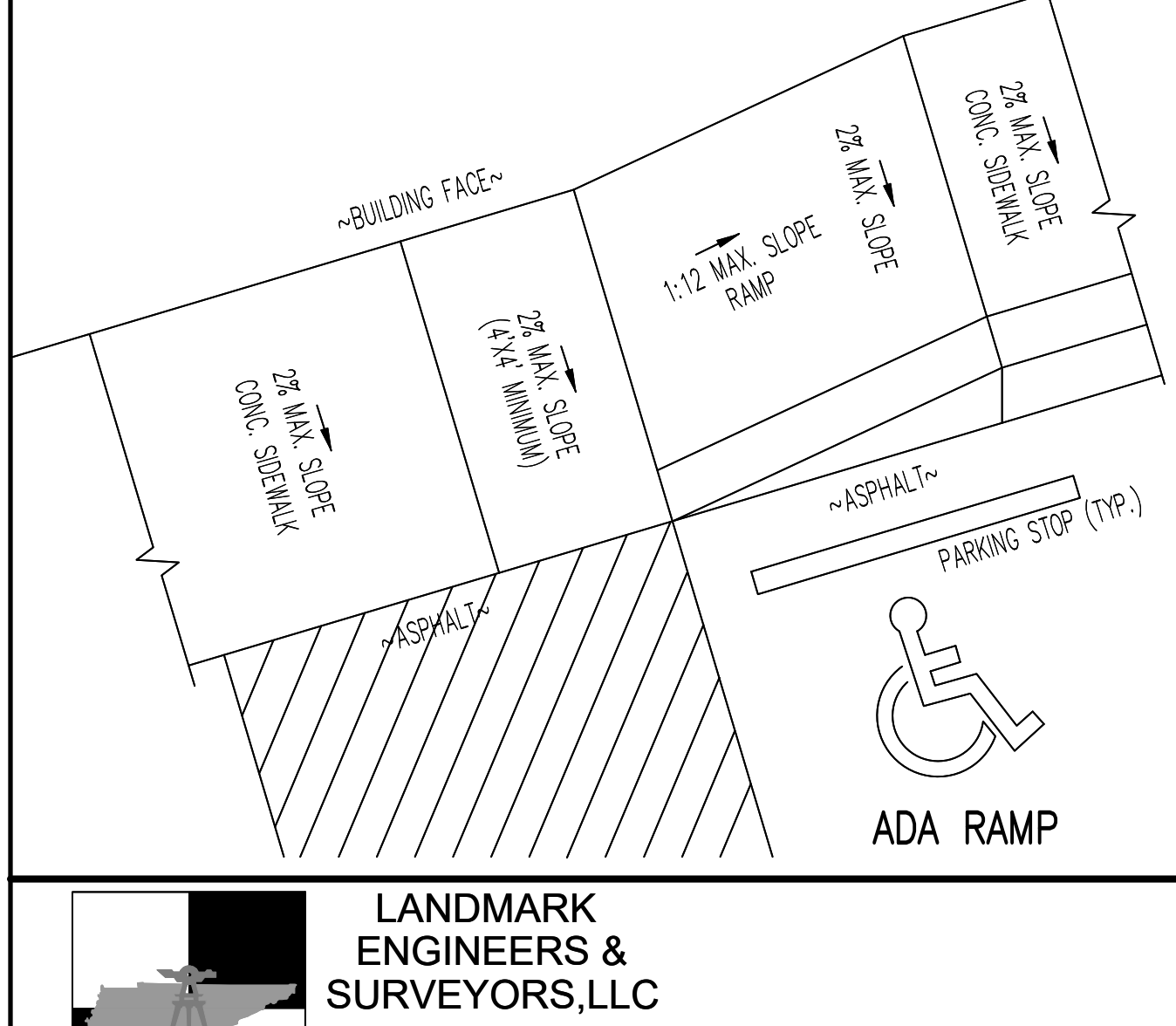
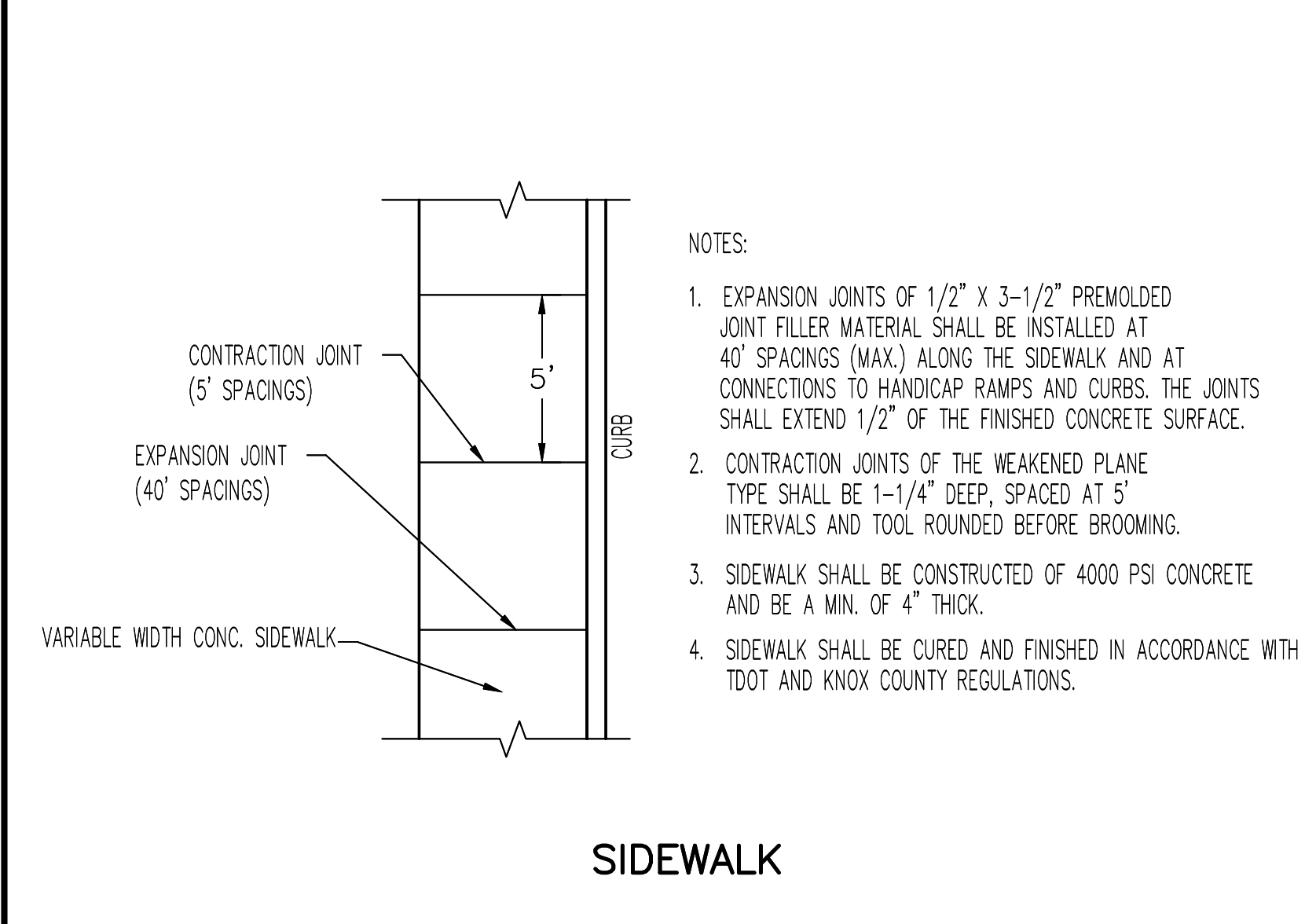
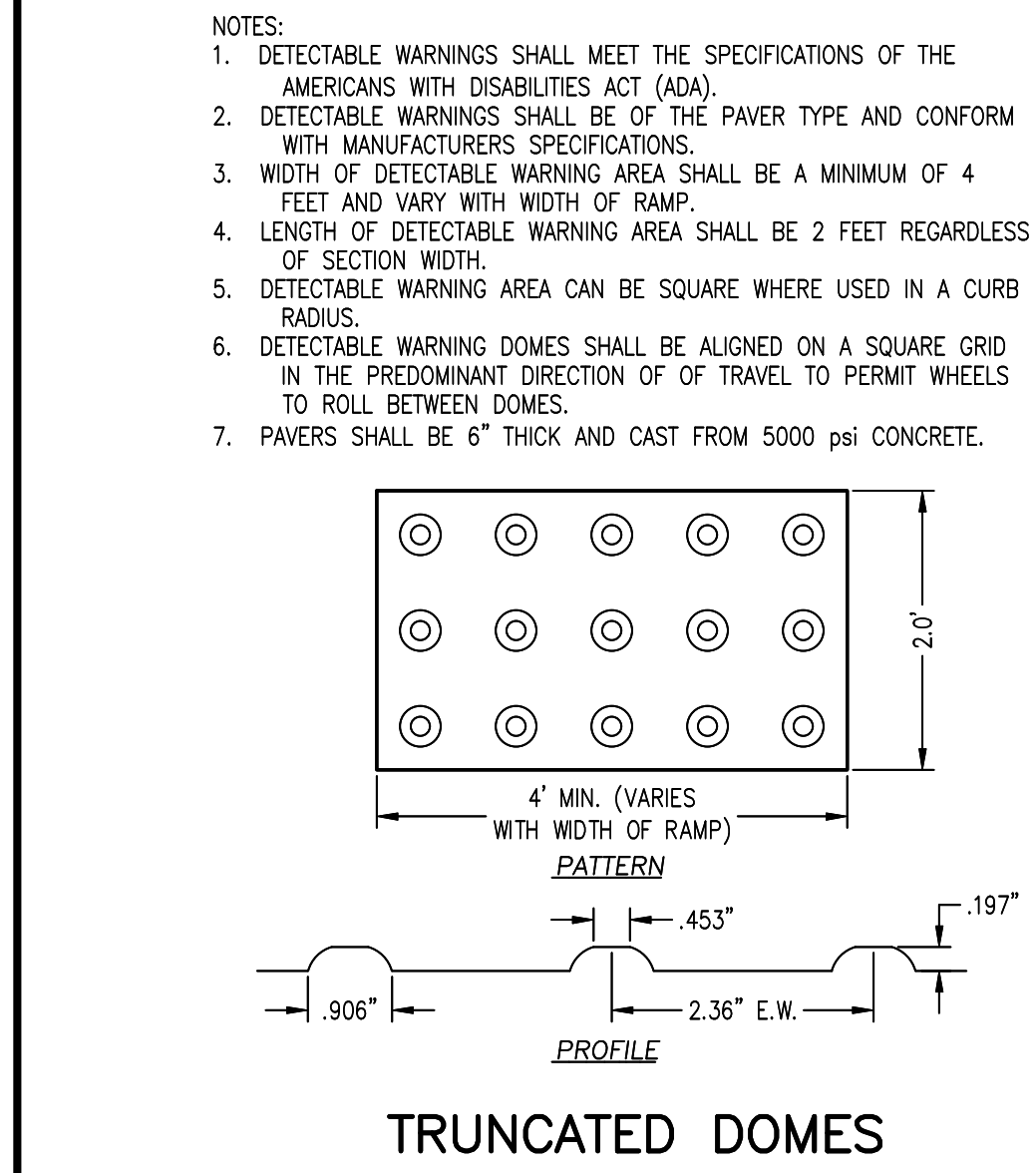
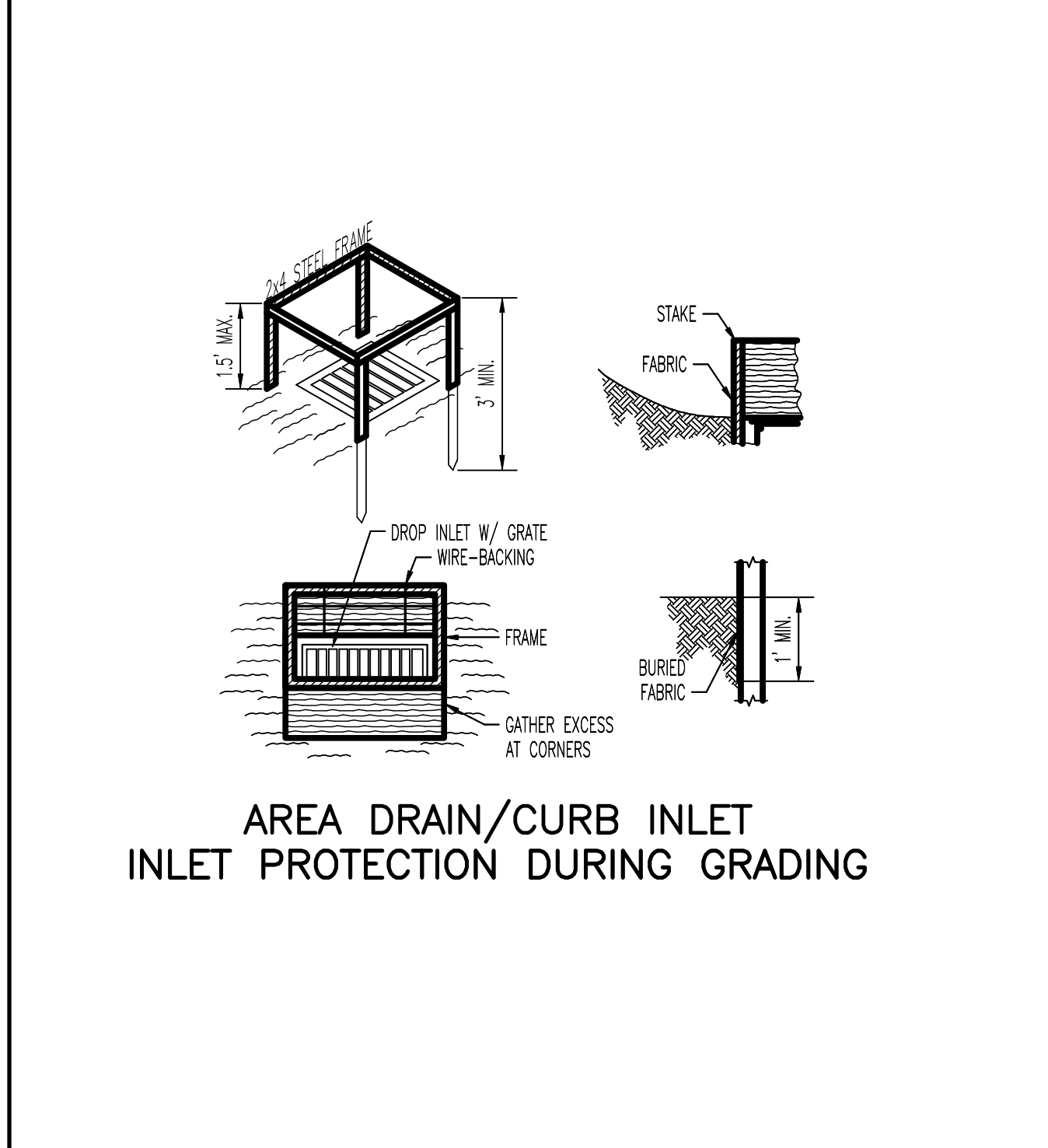
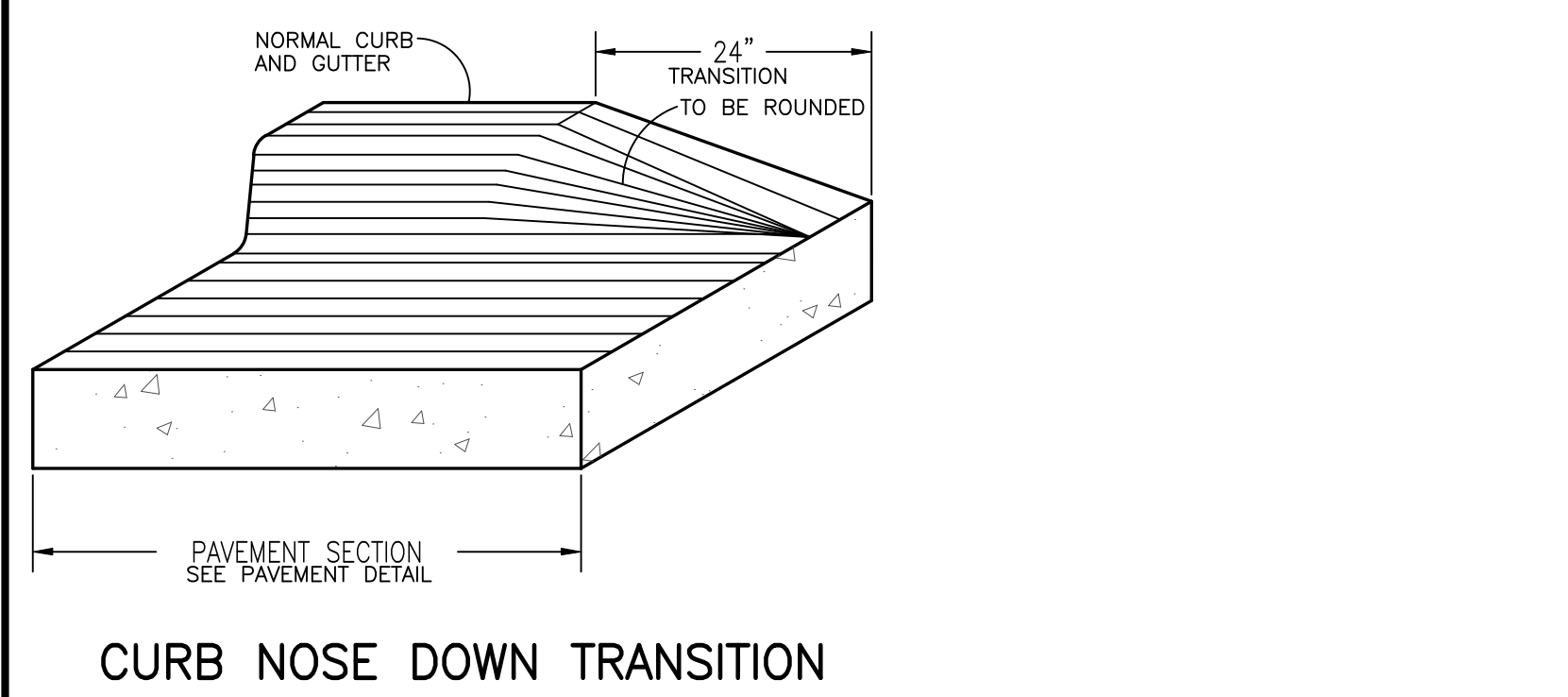
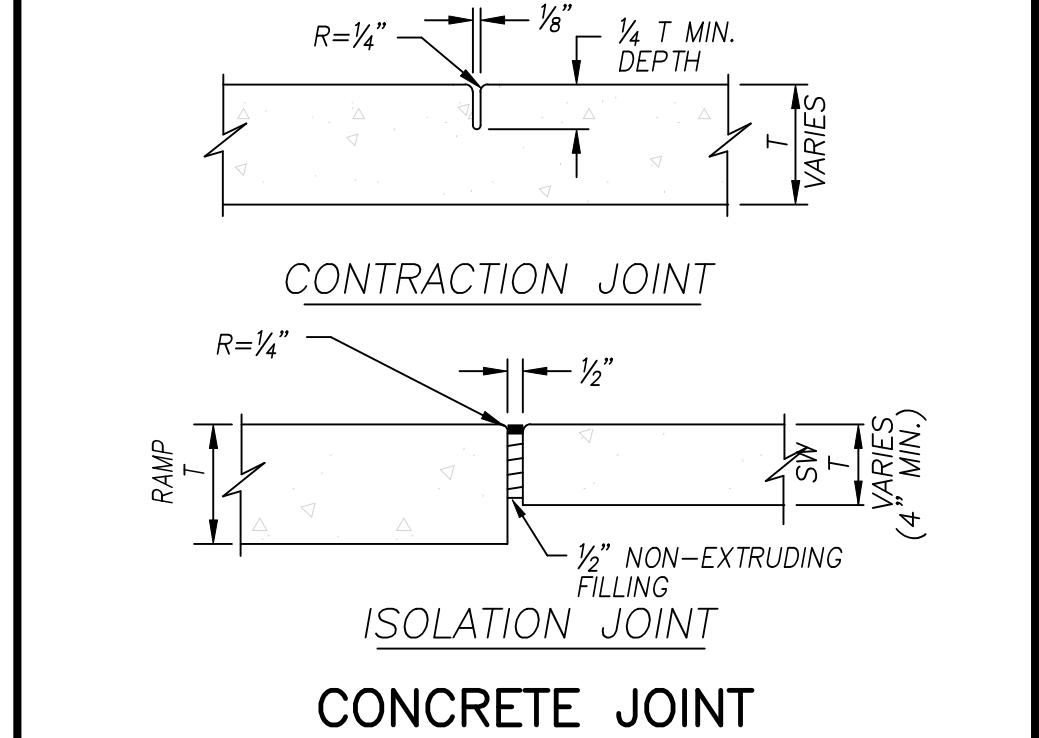
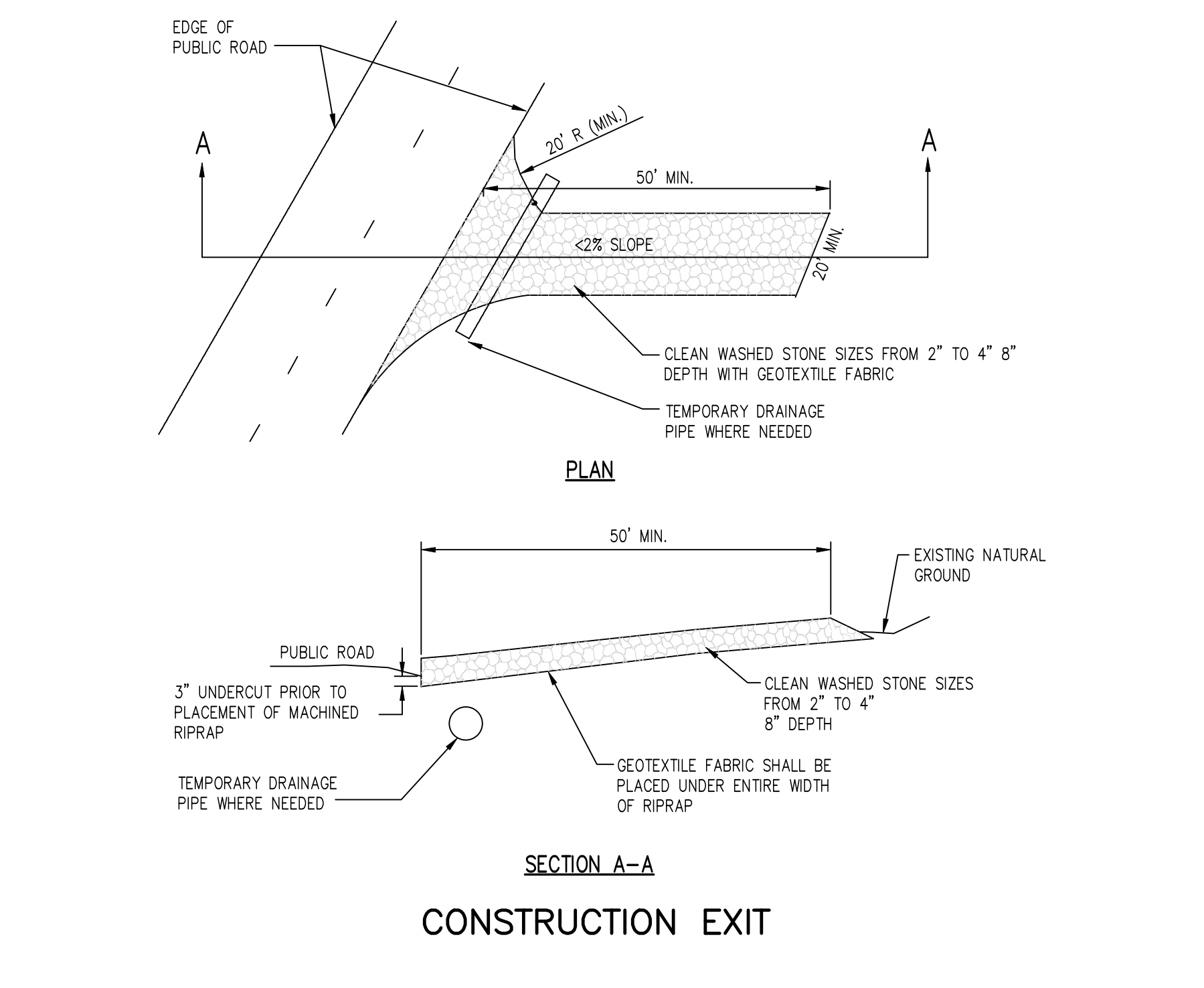
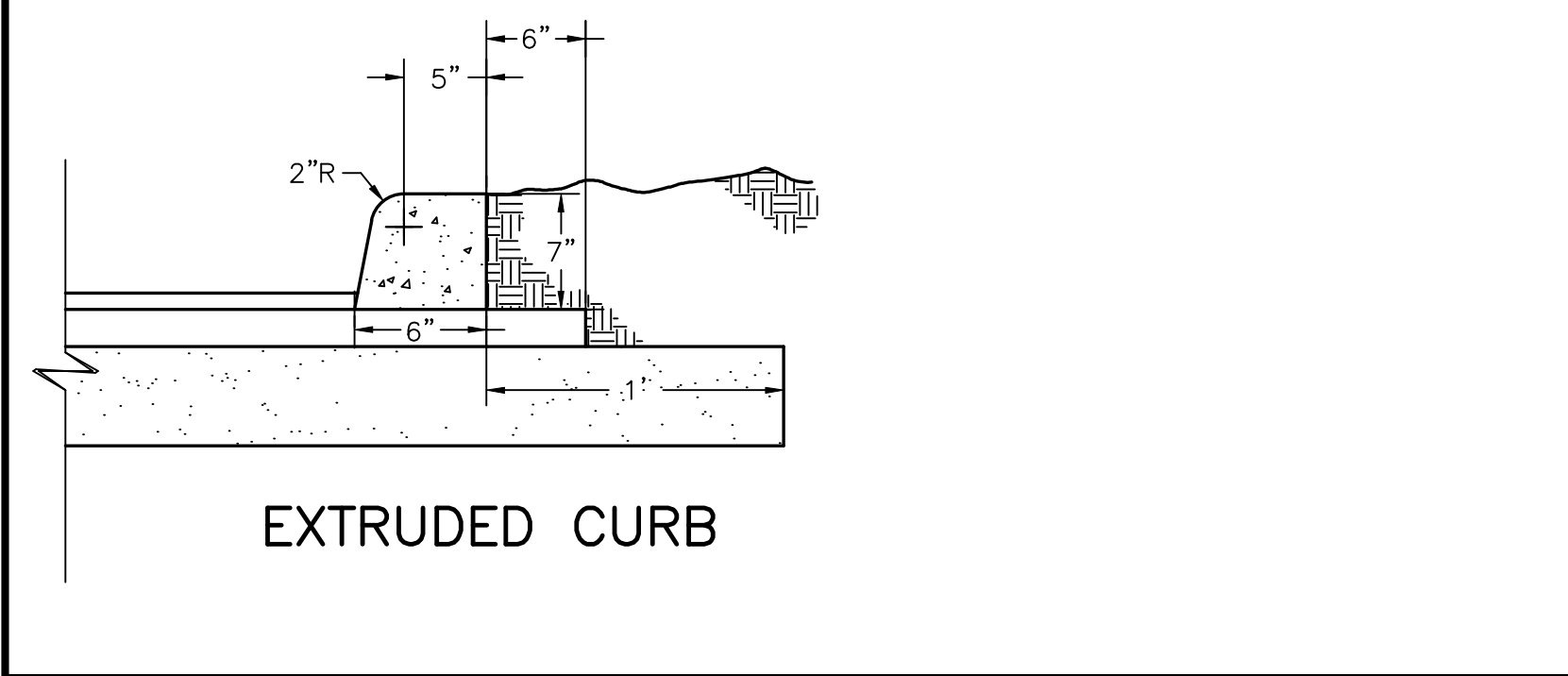
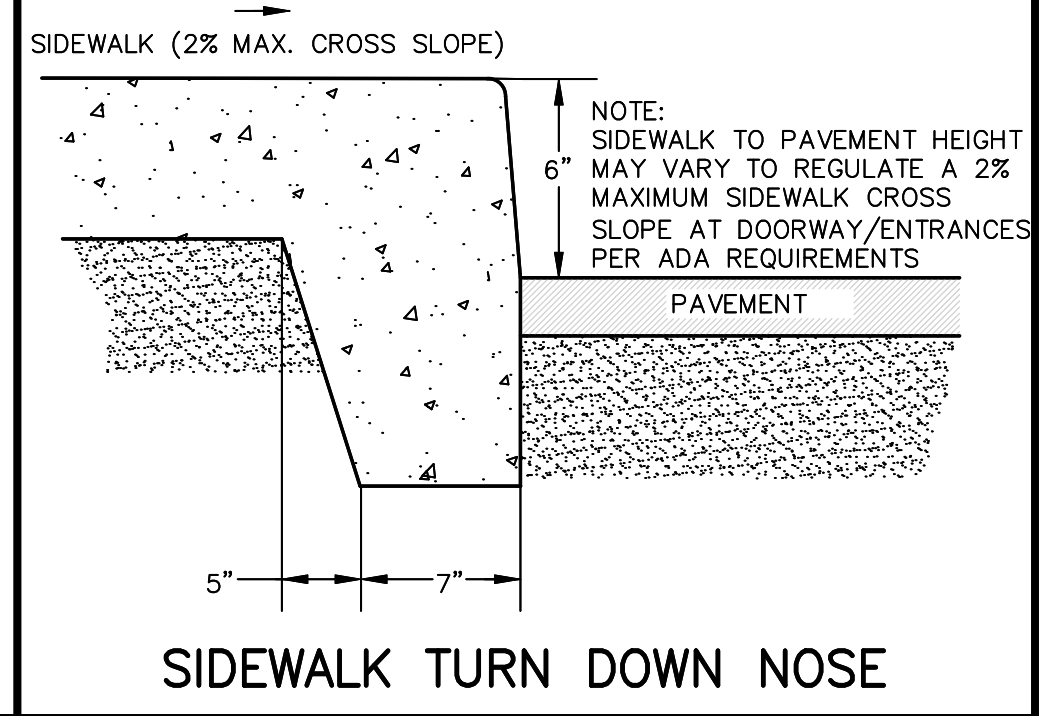
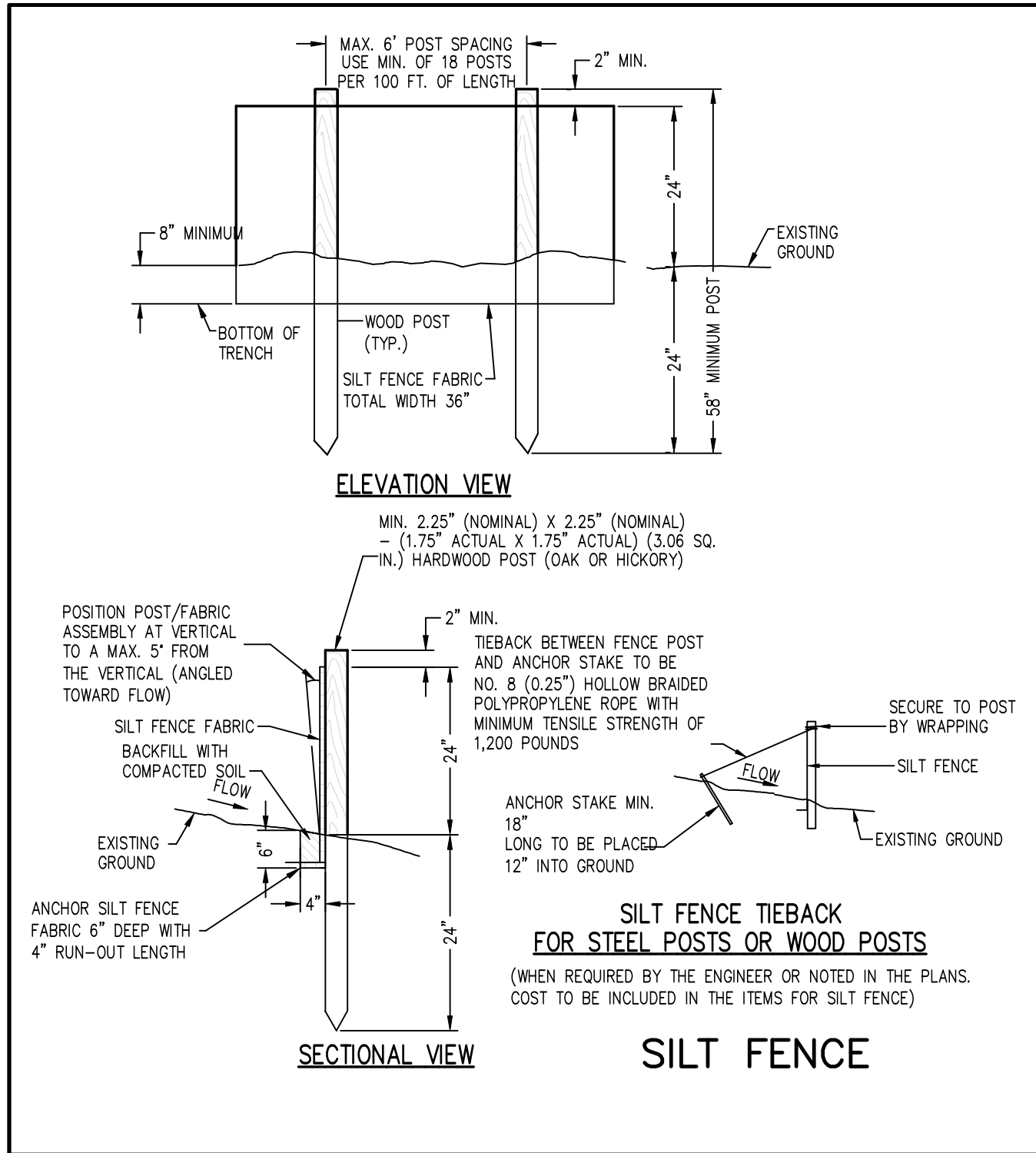
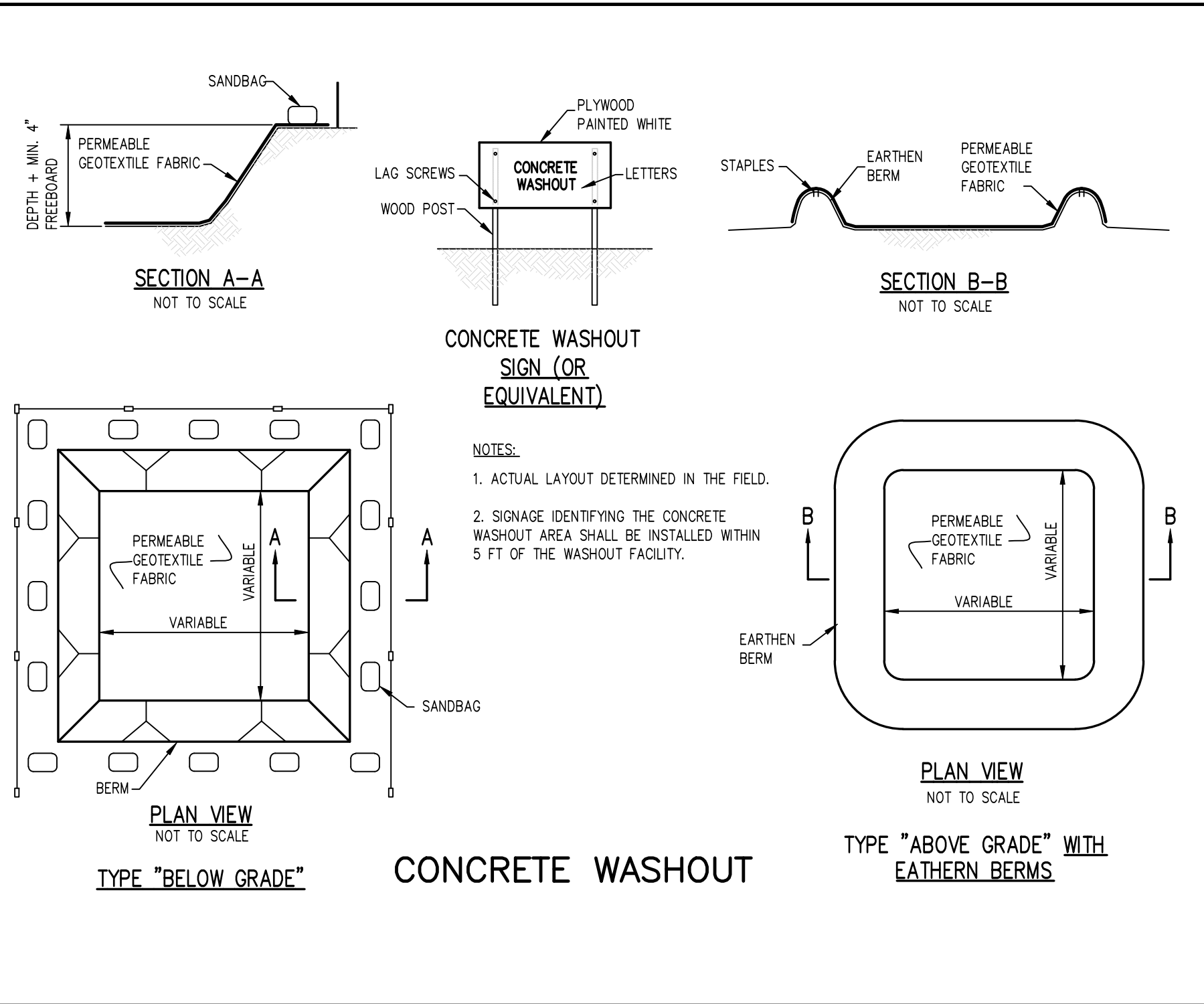
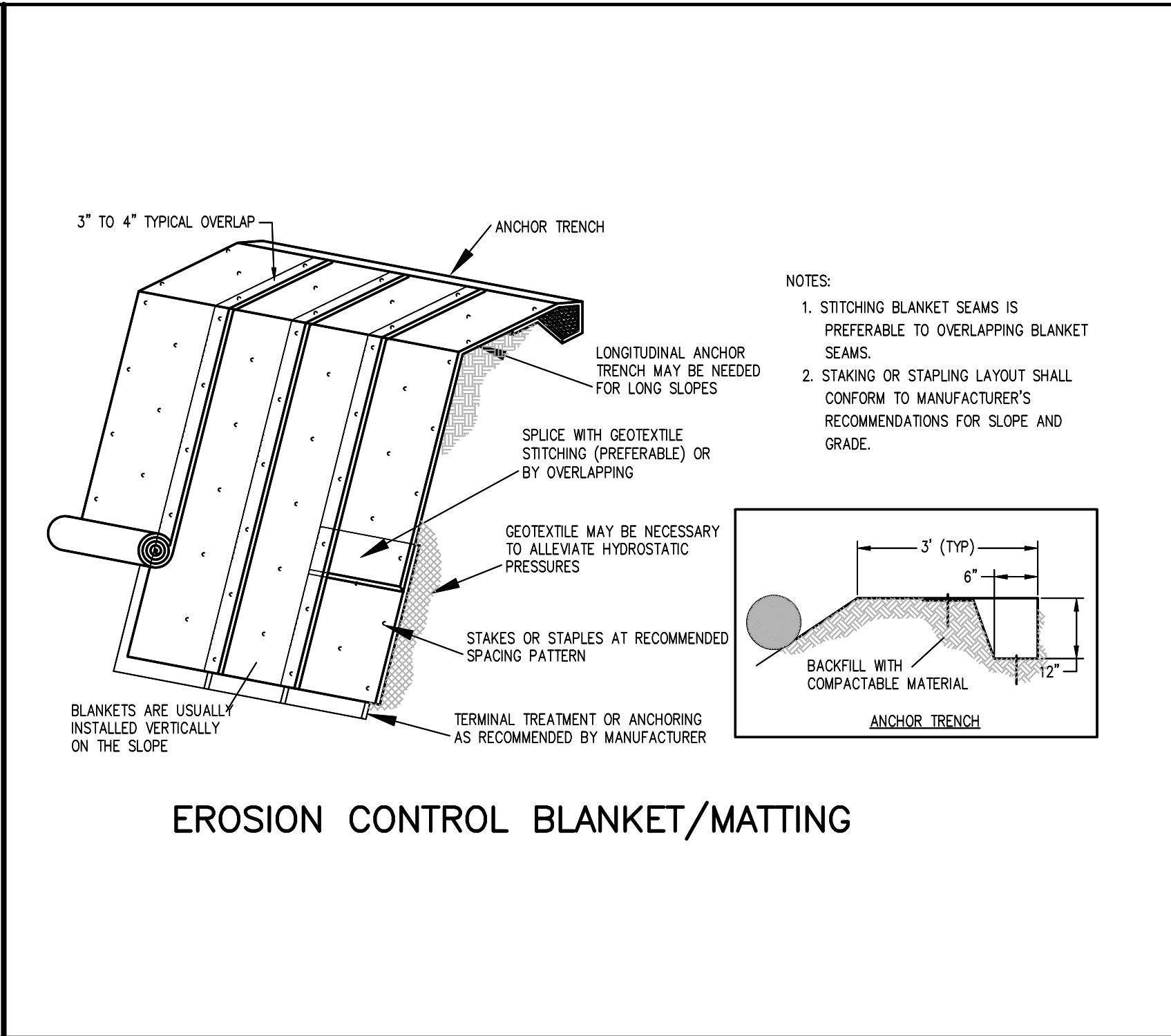
SITE DETAILS

SHEET 9 OF 10

D1.0

PROJECT: 0006

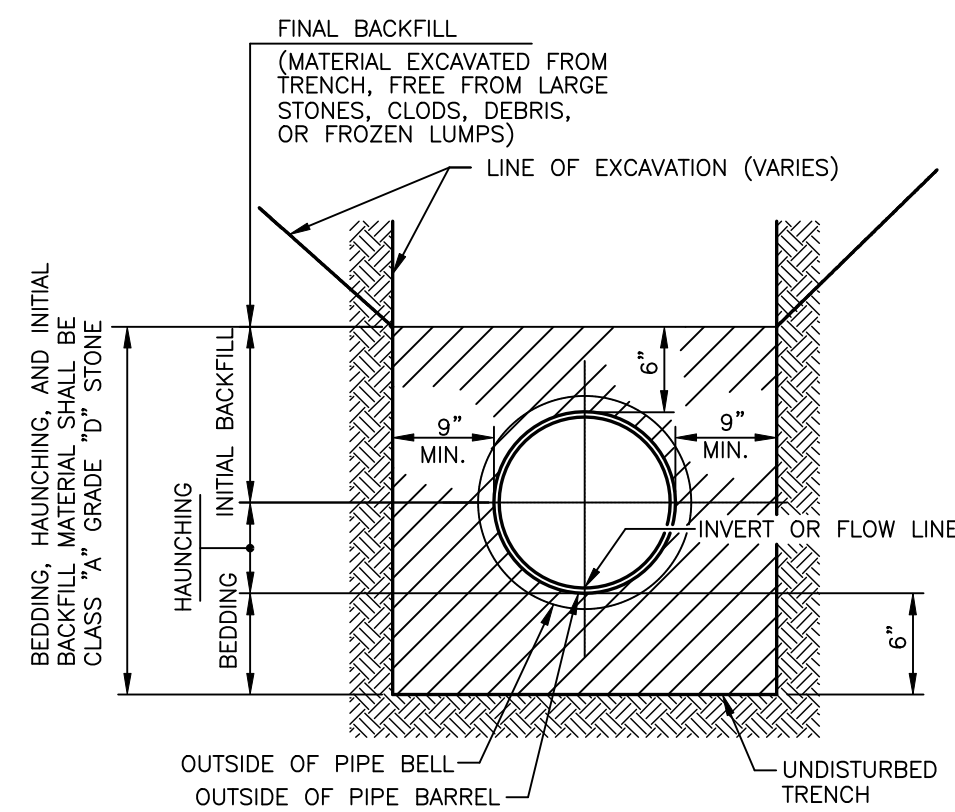
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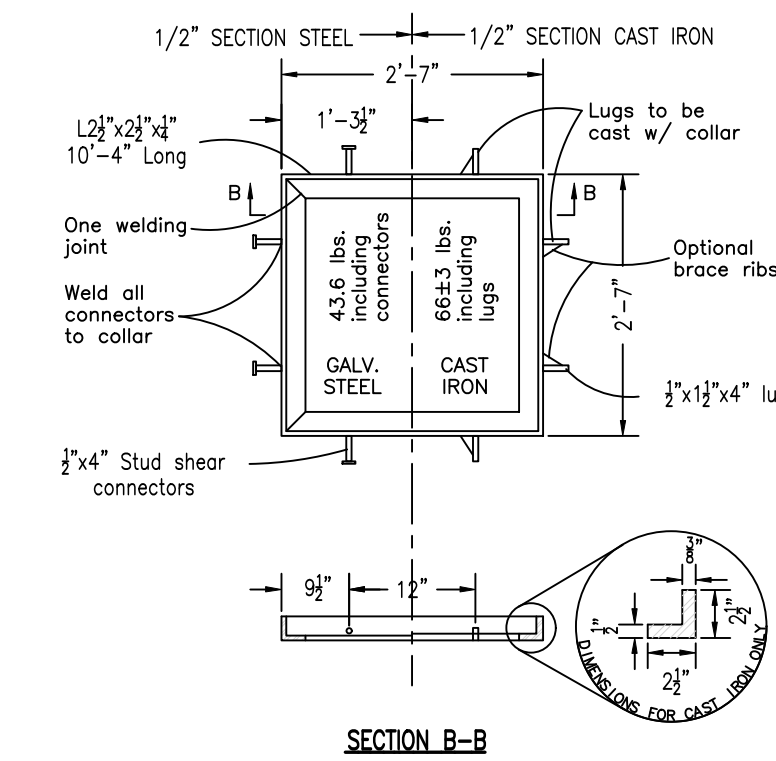
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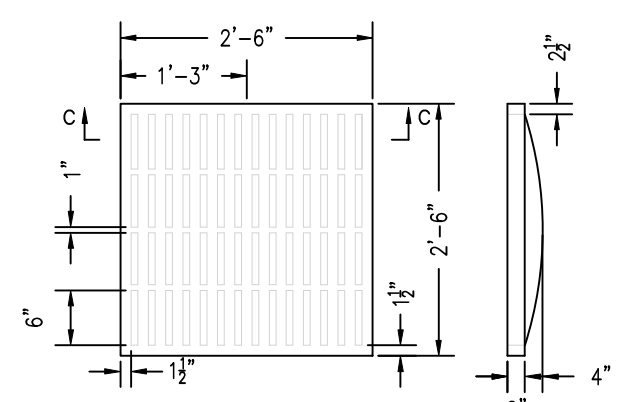
- NOTE:
- PIPE TRENCH TO BE EXCAVATED AND BACKFILLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS
 - PIPE TRENCH TO BE BACKFILLED WITH COMPACTED STONE TO PAVEMENT SUBGRADE IF PIPE IS LOCATED UNDER SIDEWALK OR PAVEMENT

PIPE BEDDING



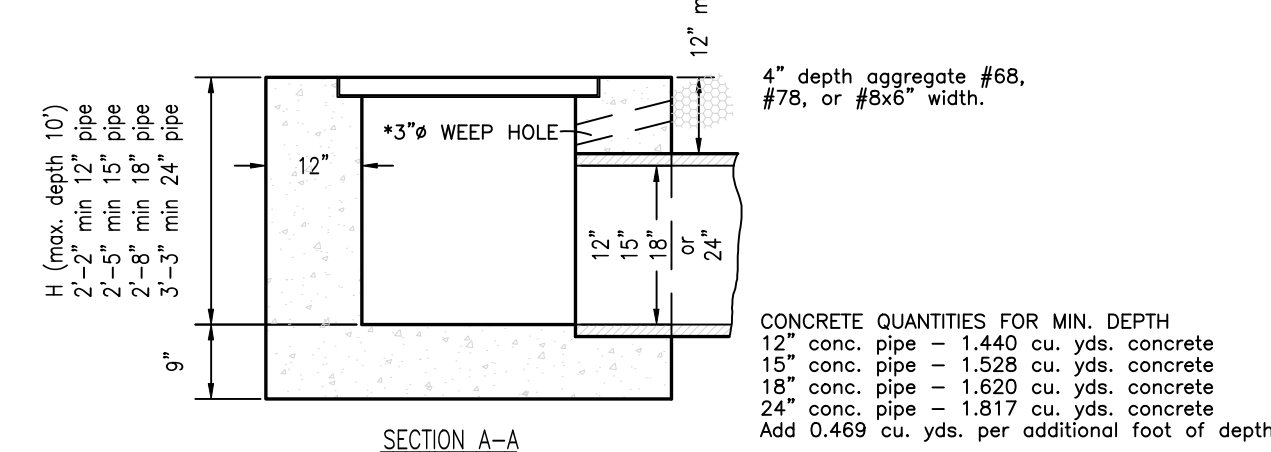
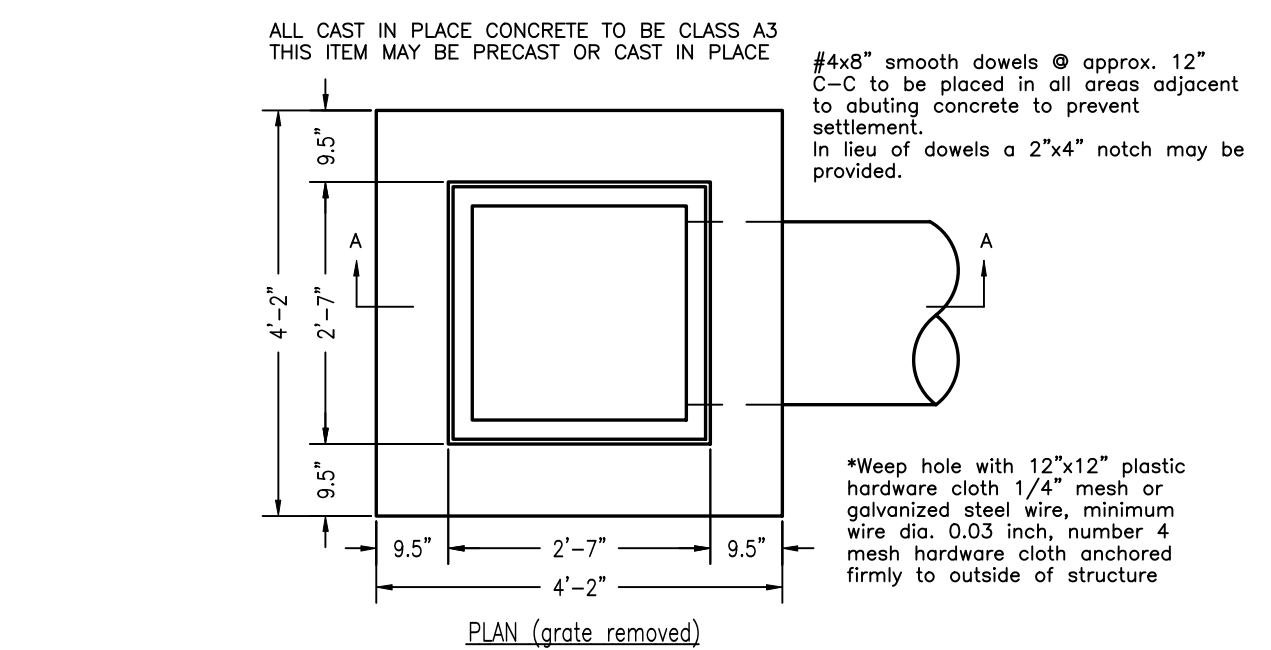
NOTE: FRAME AND GRATE SHALL BE EJ USA INC MODEL NO. 5622 OR EQUAL. GRATE IN PEDESTRIAN TRAFFIC AREAS SHALL BE EJ USA INC MODEL NO. V-5630-80 ADA STYLE OR EQUAL. THE GRATE SHALL BE STAMPED WITH "DUMP NO WASTE...DRAINS TO WATERWAYS" WITH FISH IMAGE, OR EQUAL.

AREA DRAIN GRATE

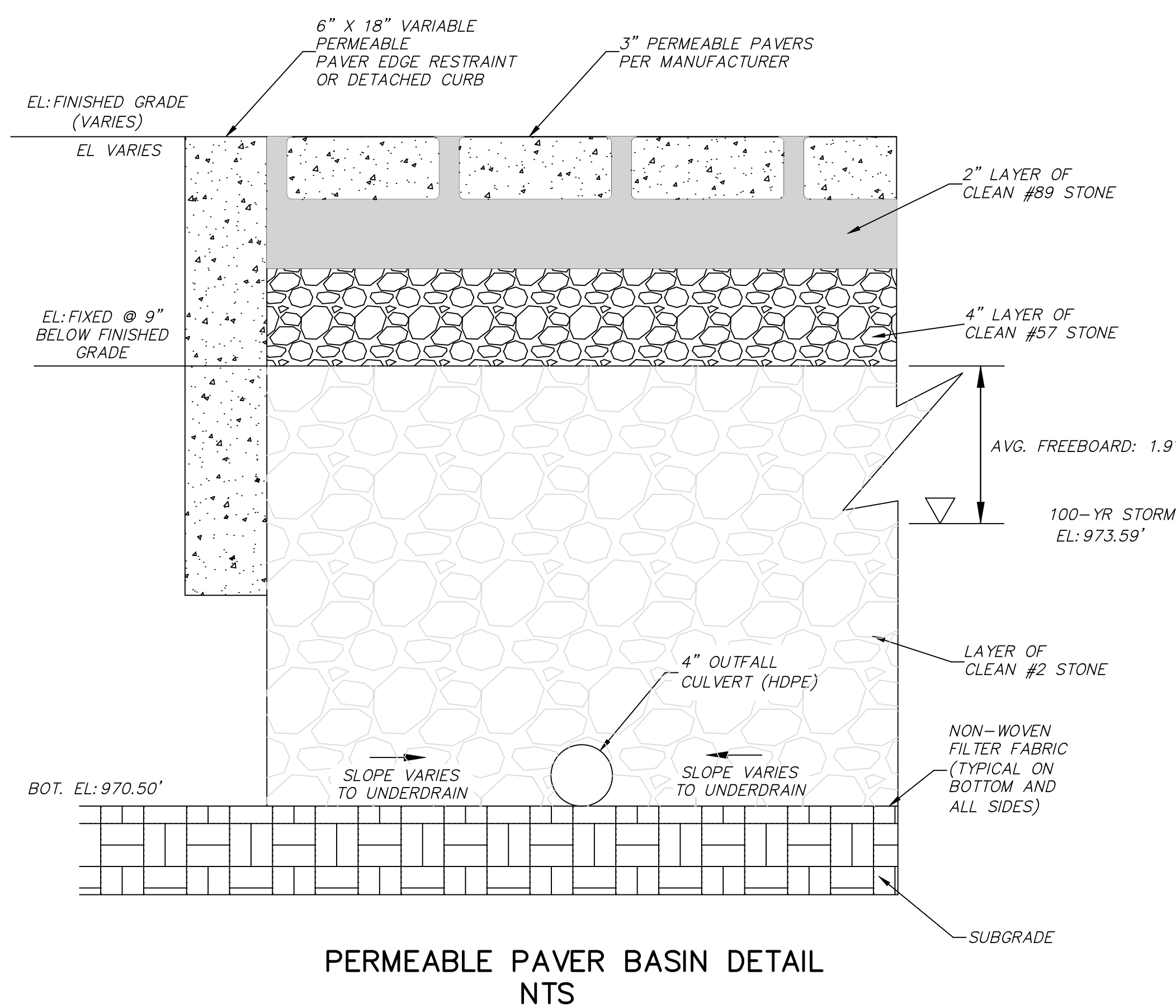


Any alternate methods of anchorage, meeting the approval of the Engineer, may be substituted for the cast iron lugs as shown herein.

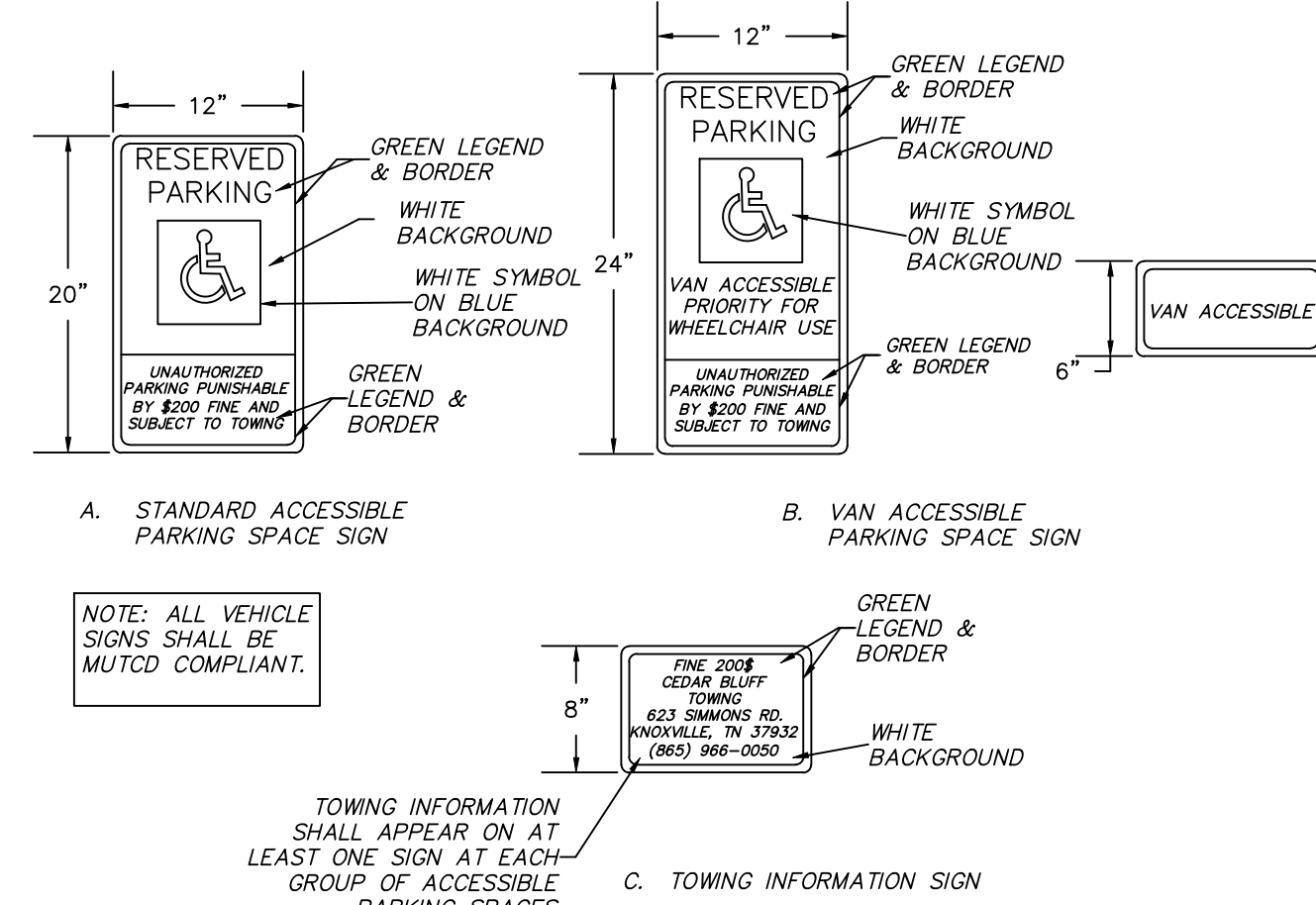
APPROXIMATE WEIGHT
Cast Iron
Grate 36.32-18 lbs.



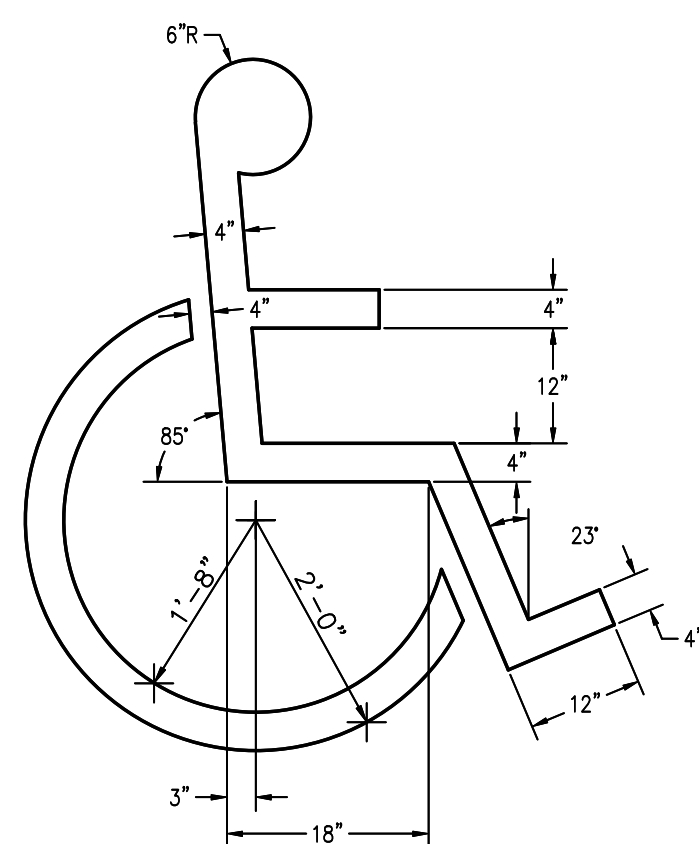
AREA DRAIN (10' MAX. DEPTH)



PERMEABLE PAVER BASIN DETAIL NTS

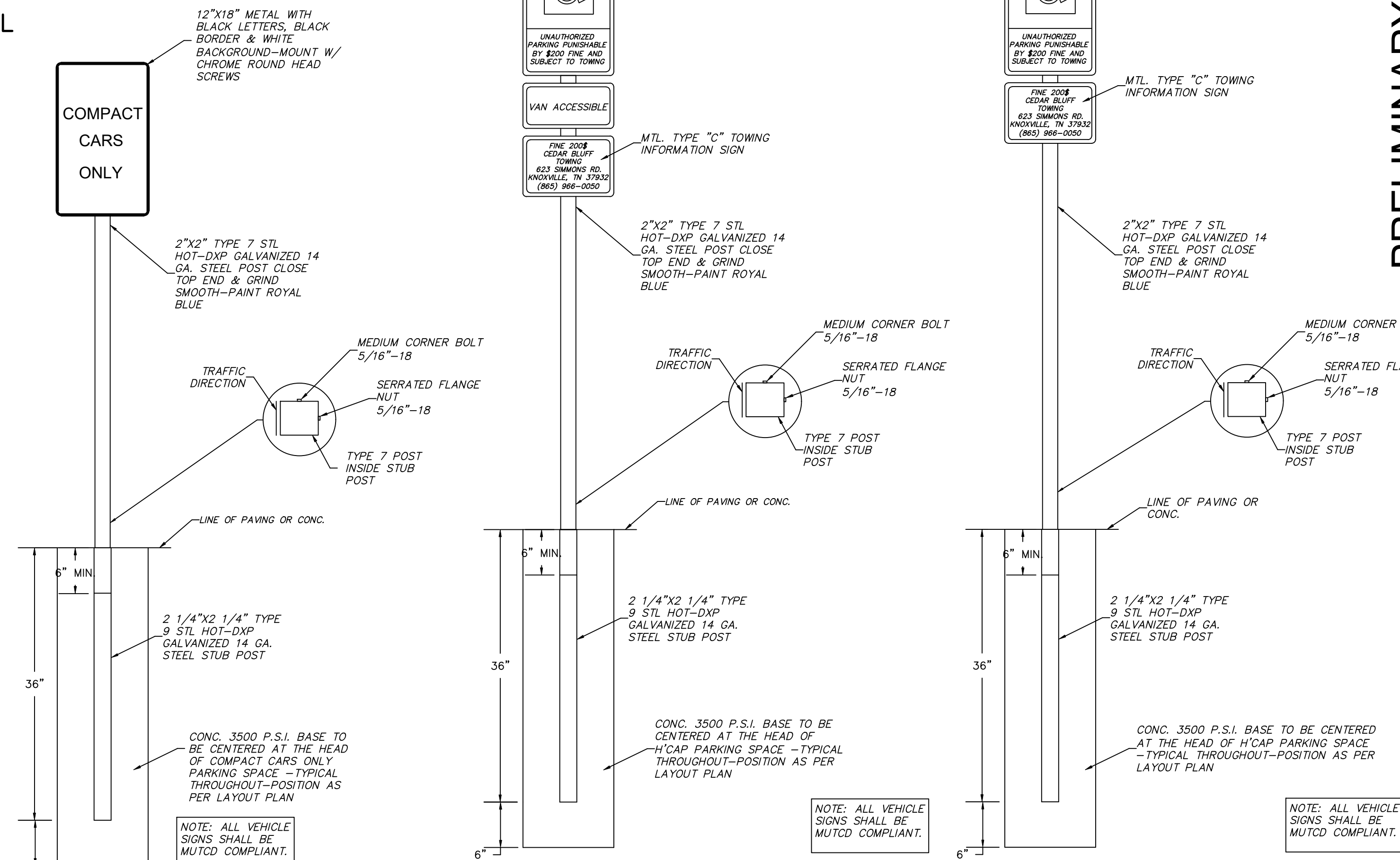


HANDICAP SIGN DETAIL



- HANDICAP SYMBOL TO BE 4" WIDE LINES PAINTED WITH TRAFFIC MARKING PAINT (COLOR-BLUE)
- SYMBOL TO BE PAINTED IN THE CENTER OF EACH DESIGNATED HANDICAP PARKING SPACE

HANDICAP SYMBOL



COMPACT CARS ONLY SIGN

HANDICAP SIGN STANDARD & VAN ACCESSIBLE

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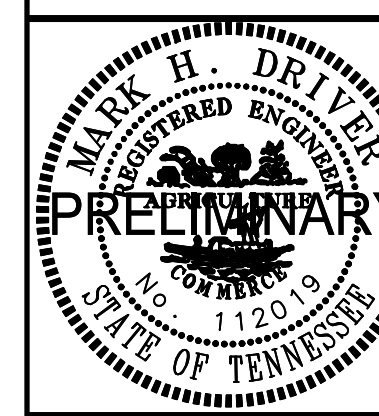
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sierra tango
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PRELIMINARY - NOT FOR CONSTRUCTION

LAKESEDGE RETAIL CENTER
LOT 6R - PARKSIDE DRIVE

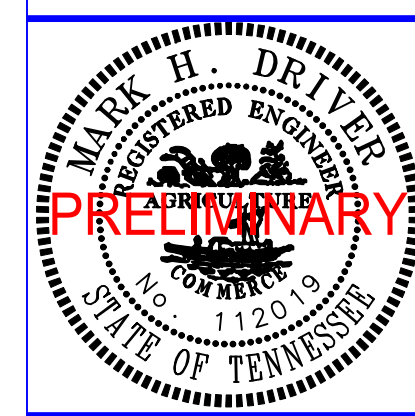
11328 to 11334 CAMPBELL LAKES DRIVE, FARRAGUT, TENNESSEE 37934

MARK	DATE	ISSUE FOR:
	10/14/25	TOP Review
	11/10/25	TOP Review

DRAWN: M. DRIVER

SITE DETAILS

SHEET 10 OF 10
D1.1
PROJECT: 0006



PRELIMINARY - NOT FOR CONSTRUCTION

**LAKESEDGE RETAIL CENTER
LOT 6R - PARKSIDE DRIVE**

11328 to 11334 CAMPBELL LAKES DRIVE, FARRAGUT, TENNESSEE 37934

MARK	DATE	ISSUE FOR
	11/10/25	TOP Review
DRAWN: M. DRIVER		

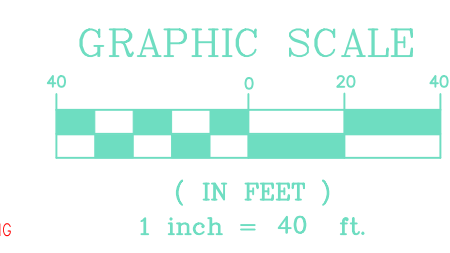
WATERSHED MAP

SHEET 1 OF 1
WM
PROJECT: 0006
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Water Quality Calculations - Lot 6R Lakesedge Drive					
Knowns:					
Total Drainage Area (SF.):	45303	1.04001377	Acres	0.001625022	Mi ²
Total Site Area (SF):	45303	1.04001377	Acres		
85th Percentile (Inches):	1			Fp	1
P (Inches)	1		Use		
I: % Impervious (Per Site):		68.9777719	69	WQ DA (SF)	Acres
On-Site Imp Area (SF)	31249			45303	1.040014
Total	31249	0.71737833			
Rv (0.015+0.0092I)	0.6498				
WQv (Ac-Ft)	0.056317	2453.15745	CF		
		3189.10469	w/ 30% Voids		
Dwq (Runoff Depth - Inches)	0.6498				
(Dwq = 1.1Rv)					
		Use			
CN	96.27197	96			
Ia (From Table)	0.083				
Ia/P	0.083				
Tc (Min.)	5				
Tc (Hrs.)	0.083333				
qu (cfs/mi ² /in)	1000				
Qp (cfs)	1.055939				
(quAQFp)					



D-Series Size 1 LED Area Luminaire

Specifications

EPA: 0.69 ft² (8.96 m²)
Length: 32.2" (81.1 cm)
Width: 14.26" (36.2 cm)
Height H1: 7.88" (20.0 cm)
Height H2: 2.73" (6.9 cm)
Weight: 34 lbs (15.4 kg)

Ordering Information EXAMPLE: DSX1 LED P7 40K 70CRI T3M MVOLT SPA NLTAR2 PIRHN DBXD

Series	LEDs	Color Temperature	Color Rendering Index	Beam-Diameter	Voltage	Mounting
DSX1 LED	Forward optics (this section 70CRI only)	30K 3000K	90CRI	T15 Type 1 short	120V-277V	SPA Square pole mounting (80 drilling)
P1 P6	40K 4000K	70CRI	T2M Type II medium	120V-277V	SPA Round pole mounting (80 drilling)	
P2 P7	50K 5000K	90CRI	T3M Type III medium	120V-277V	SPA Round pole mounting (85 drilling)	
P3 P8	50K 5000K	90CRI	T4G Type IV long glass	120V-277V	SPA Round pole mounting (85 drilling)	
P4 P9	50K 5000K	90CRI	T5M Type V medium	120V-277V	SPA Round pole mounting (85 drilling)	
P5	27K 2700K	85CRI	T6M Type VI medium	120V-277V	SPA Round pole mounting (85 drilling)	
P6	30K 3000K	85CRI	T7M Type VII medium	120V-277V	SPA Round pole mounting (85 drilling)	
P7	40K 4000K	85CRI	T8M Type VIII medium	120V-277V	SPA Round pole mounting (85 drilling)	
P8	50K 5000K	85CRI	T9M Type IX medium	120V-277V	SPA Round pole mounting (85 drilling)	
P9	50K 5000K	85CRI	T10M Type X medium	120V-277V	SPA Round pole mounting (85 drilling)	

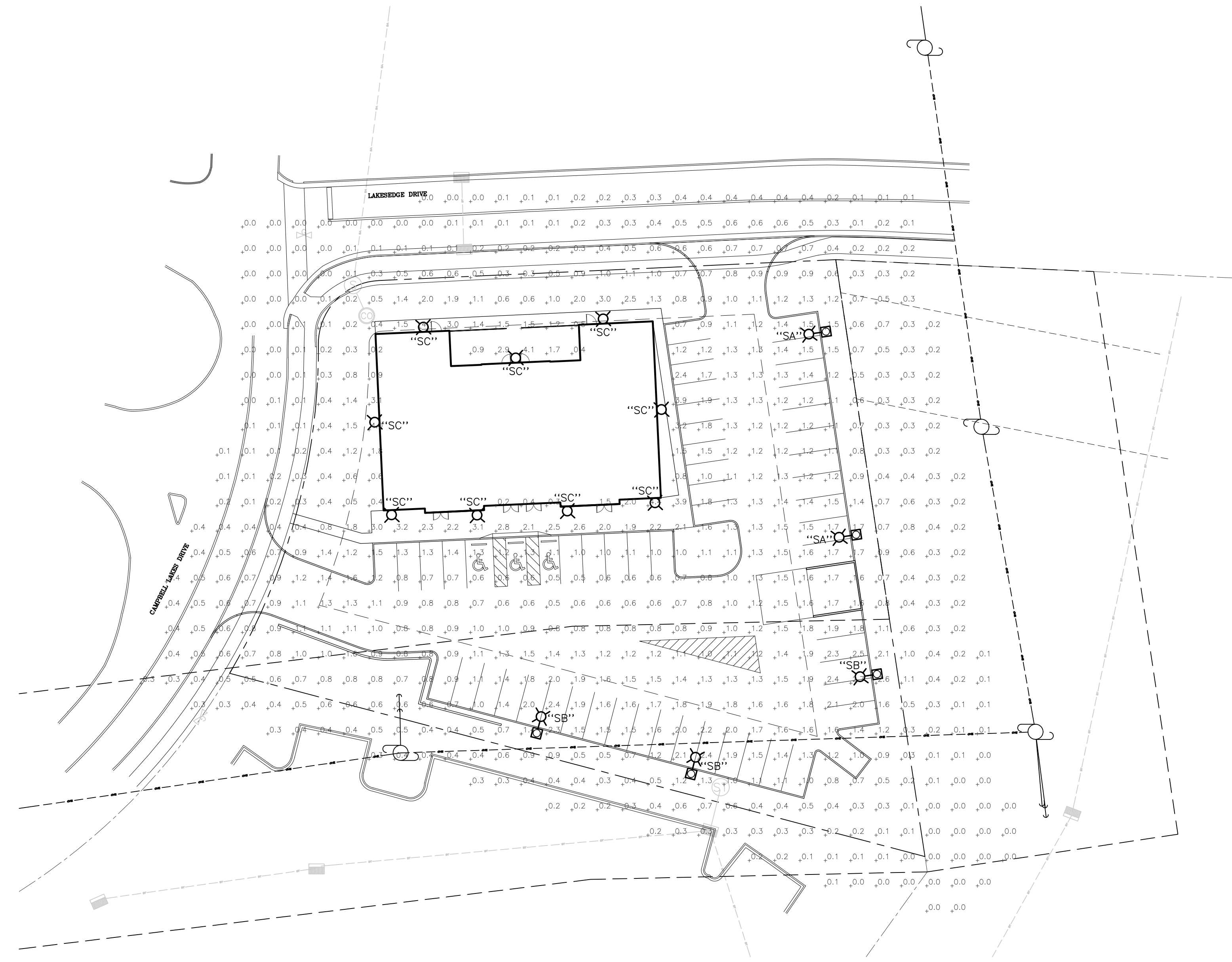
Shipped included

DSX1	Dark bronze
DLSD	Black
DLWD	White
DLAD	Aluminum
DLWD	White
DLAD	Aluminum
DLWD	White
DLAD	Aluminum

Other options

FR7	5-year warranty
FR10	10-year warranty
FR15	15-year warranty
FR20	20-year warranty
FR25	25-year warranty
FR30	30-year warranty
FR35	35-year warranty
FR40	40-year warranty
FR45	45-year warranty
FR50	50-year warranty
FR55	55-year warranty
FR60	60-year warranty
FR65	65-year warranty
FR70	70-year warranty
FR75	75-year warranty
FR80	80-year warranty
FR85	85-year warranty
FR90	90-year warranty
FR95	95-year warranty
FR100	100-year warranty

LIGHTING FIXTURE TYPE "SA" AND "SB" CUT SHEET



SITE ILLUMINATION PLAN
SCALE: 1"=30'-0"

ILLUMINATION PLAN NOTES:

- VALUES INDICATE COMPUTER CALCULATED MAINTAINED ILLUMINATION LEVELS IN FOOTCANDELS; USING A TOTAL MAINTENANCE FACTOR UTILIZED OF 0.82.
- FOOTCANDLE LEVELS SHOWN INDICATE CONTRIBUTIONS FROM LUMINAIRES ILLUSTRATED ON THIS DRAWING.

SITE PLAN REVISED, UPDATED LIGHT FIXTURE LOCATIONS AND FOOTCANDLE LEVELS.

WPX LED Wall Packs

Specifications

Height (H): 11.1" (28.3 cm)
Width (W): 13.7" (34.8 cm)
Depth (D): 4.0" (10.2 cm)
Weight: 6.1 lbs (2.8 kg)

Ordering Information EXAMPLE: WPX2 LED 40K MVOLT DBXD

Series	Color Temperature	Voltage	Options	Finish	
WPX1 LED P1	5,500 Lumens, 11W	30K 3000K	MVOLT 120V-277V	(blank) None	DBSD Dark bronze
WPX1 LED P2	2,900 Lumens, 24W	40K 4000K	347V 347V	EMW Emergency battery backup, CCC compliant (EMW, CCC, ENEC)	DLWD White
WPX2 LED	6,000 Lumens, 47W	50K 5000K		EWK Emergency battery backup, CCC compliant (EWK, CCC, ENEC, CE, RoHS)	DLSD Black
WPX3 LED	9,300 Lumens, 69W			FE PhotoEye	Note: For other options, consult factory.

Features & Specifications

INTENDED USE: The WPX LED wall packs are designed to provide a cost-effective, energy-efficient solution for the one-for-one replacement of existing HID wall packs. The WPX1, WPX2 and WPX3 are ideal for applications up to 1200, 2000, and 4000 KLM lumens respectively. WPX luminaire deliver a uniform, wide distribution. WPX is rated for 40°C to 42°C.

CONSTRUCTION: WPX features a cast aluminum main body with optimal thermal management that both minimizes LED thermal and electrical component life. The luminaires are IP66 rated, and sealed against moisture or environmental contaminants.

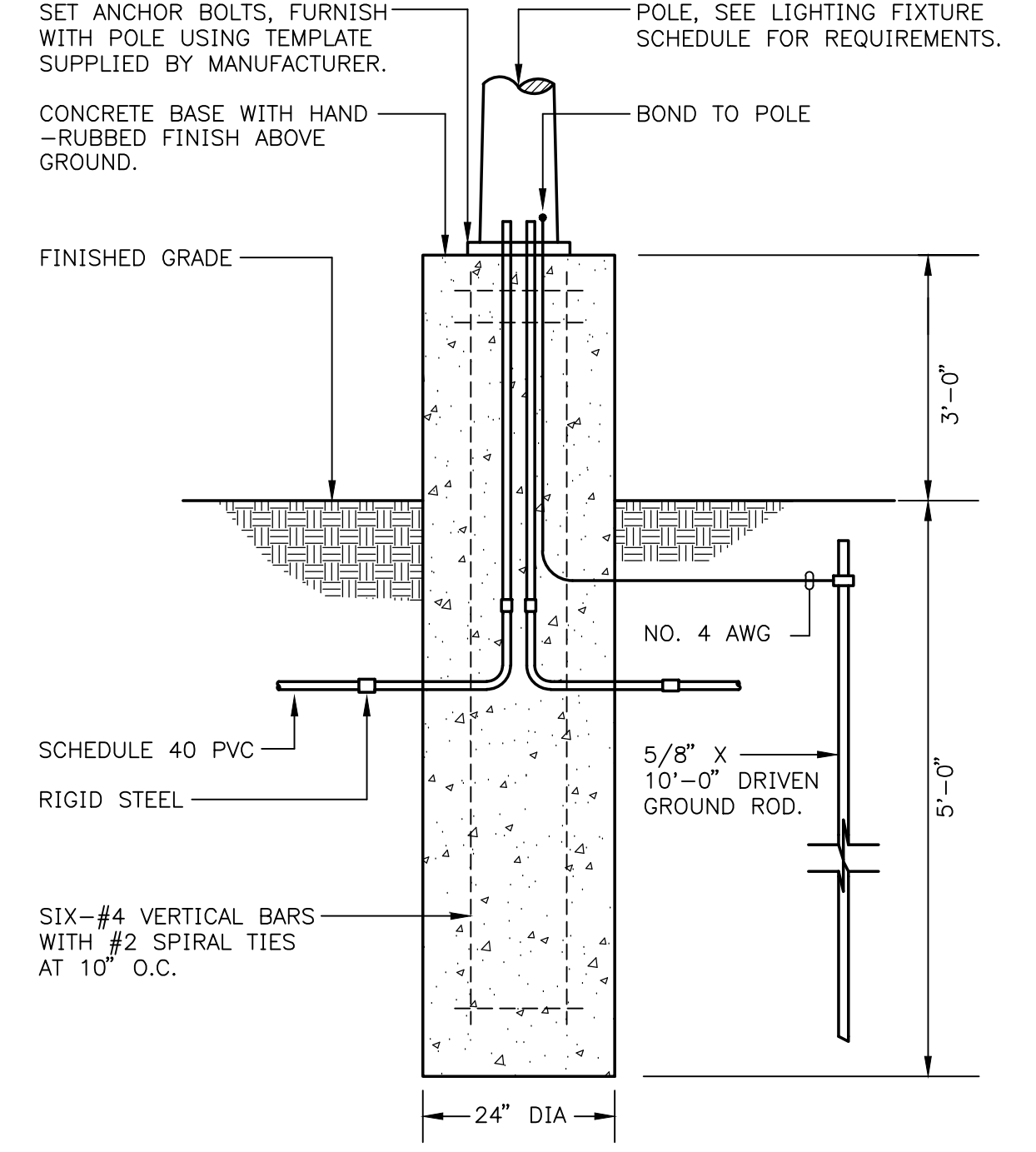
ELECTRICAL: LIGHT emitting diodes consist of high-efficiency LEDs and LED lumen maintenance of 100,000 hours. Color temperature (CCT) options of 3000K, 4000K and 5000K with minimum CRI of 90. Electronic driver ensures optimum power factor (PF) and THD < 20%. All luminaires have 80V surge protection. WPX1 LED P1 package comes with a standard surge protection rating of 250V. P2 can be ordered with an optional 40V surge protection.

INSTALLATION: WPX LED P1 package comes with a standard surge protection rating of 250V. P2 can be ordered with an optional 40V surge protection.

WARRANTY: System limited warranty. This is the only warranty provided and no other statements in this specification shall create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at www.lithonia.com/Support/Products/LED/LED%20Wall%20Pack/WPX1%20LED%20P1

Notes: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25°C. Specifications subject to change without notice.

LIGHTING FIXTURE TYPE "SC" CUT SHEET



POLE BASE DETAIL
NO SCALE

SITE LIGHTING FIXTURE SCHEDULE

DESIGNATION	ILLUMINATION		COLOR TEMPERATURE	POLE DESCRIPTION: MATERIAL, SHAPE, HEIGHT ABOVE FINISHED GRADE			DESCRIPTION: SHIELDING, TYPE MATERIALS, FINISH, MOUNTING	MANUFACTURER'S PRODUCT ITEM		REMARKS	
	WATTS	DELIVERED LUMENS		STEEL	ROUND	SQUARE		COMPANY	POLE CATALOG NO.		LUMINAIRE CATALOG NO.
S A	102	13,968	4000	•	•	28 FT.	POLE MOUNTED LUMINAIRE, TYPE 4 DISTRIBUTION, FULL CUT-OFF, 25 FT. POLE	LITHONIA	SSS 25 5C DM19AS DBXD	DSX1 LED P3 40K 70CRI T4M MVOLT SPA DBXD	-
S B	51	7,707	4000	•	•	16 FT.	POLE MOUNTED LUMINAIRE, TYPE 4 DISTRIBUTION, FULL CUT-OFF, 13 FT. POLE	LITHONIA	SSS 13 5C DM19AS DBXD	DSX1 LED P1 40K 70CRI T4M MVOLT SPA DBXD	-
S C	24	2,900	4000			12 FT.	WALL PACK, FULL CUT-OFF, SQUARE FORM	LITHONIA		WPX1 LED P2 40K MVOLT DBXD	

Vreeland Engineers Inc.
3107 Sutherland Ave.
P.O. Box 10648
Knoxville, TN 37939
865-637-4451
1-800-362-9789
vreelandengineers.com

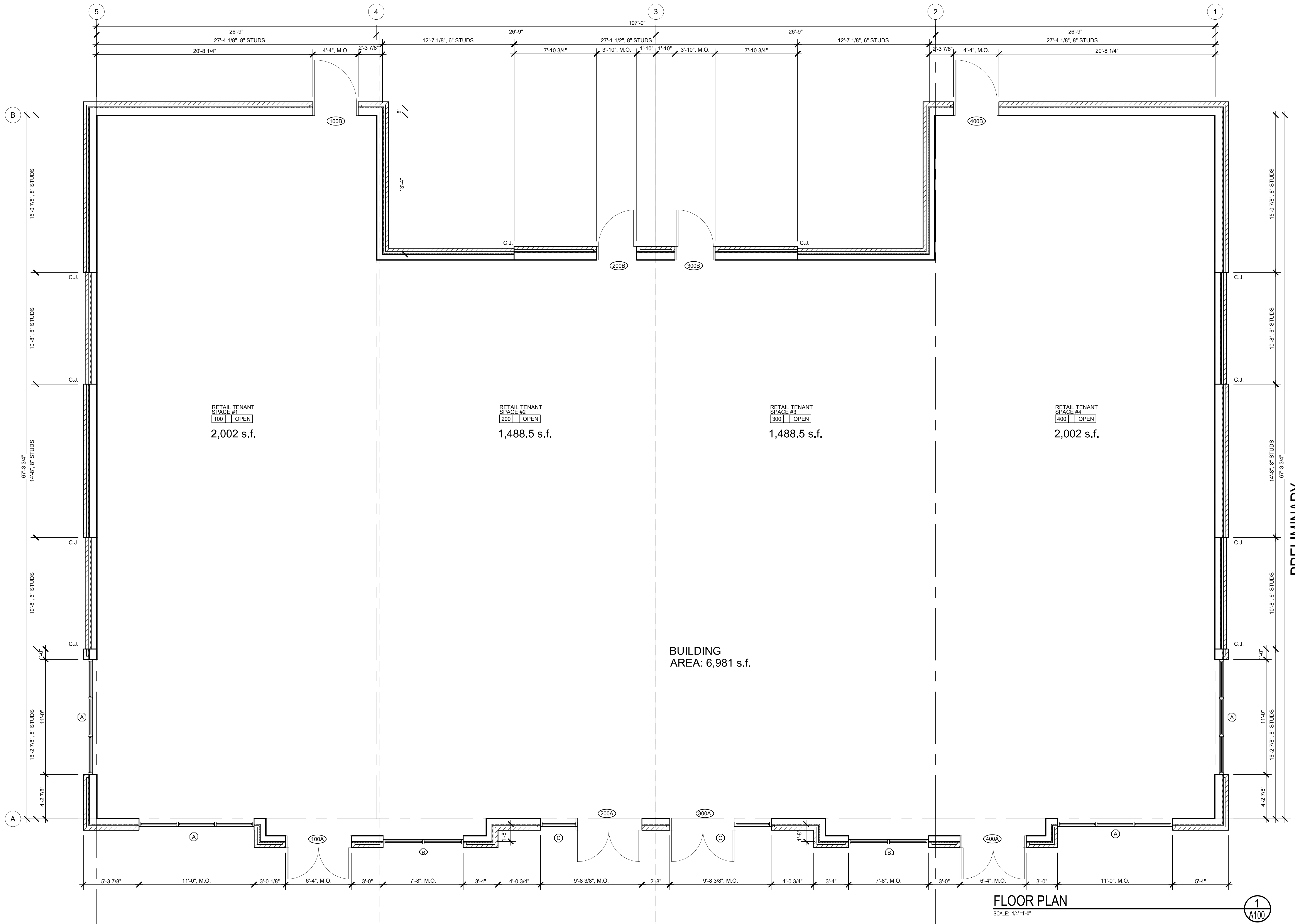
LAKESEDGE RETAIL CENTER

LAKESEDGE DRIVE, FARRAGUT, TENNESSEE 37934

MARK	DATE	ISSUE FOR
1	10/17/25	Client Review
2	10/17/25	Site Revision

DRAWN:

SE1
PROJECT: 0006
© COPYRIGHT 2025



PRELIMINARY - NOT FOR CONSTRUCTION

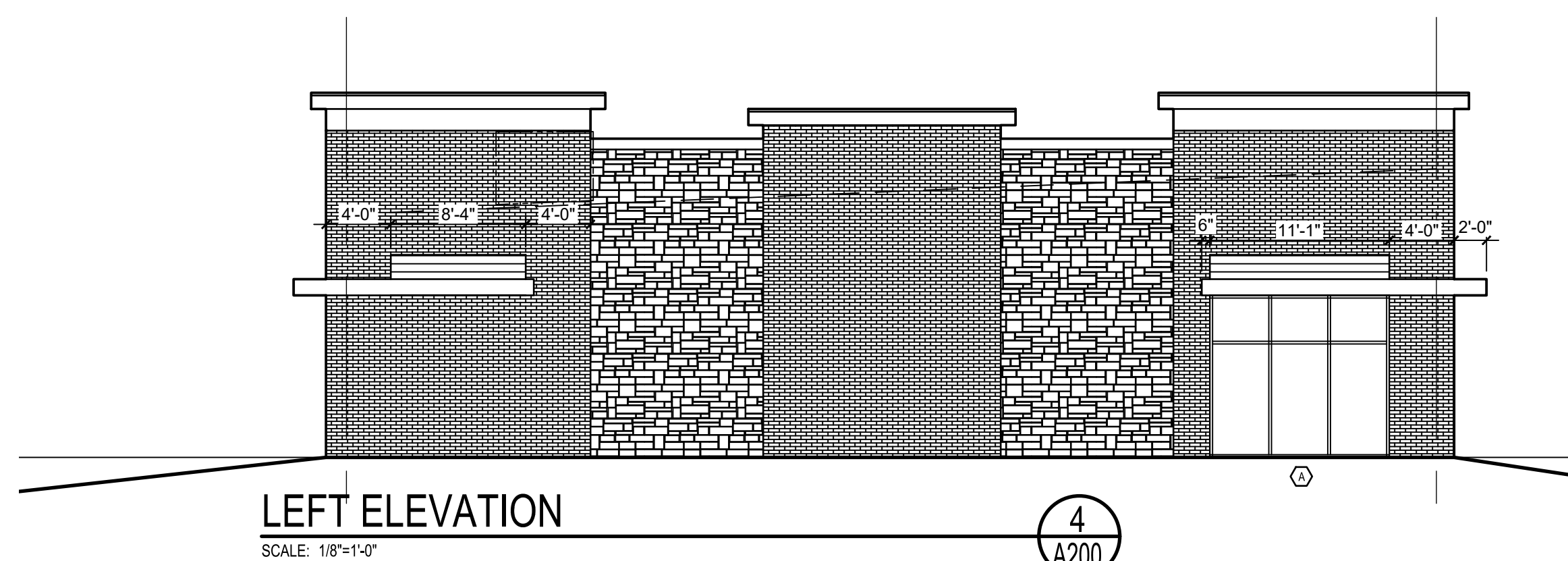
LAKESEDGE RETAIL CENTER

LAKESEDGE DRIVE, FARRAGUT, TENNESSEE 37934

MARK	DATE	ISSUE FOR:
	10/2/25	Pre-submittal Review

DRAWN: SDS
FLOOR PLAN

A100



LEFT ELEVATION

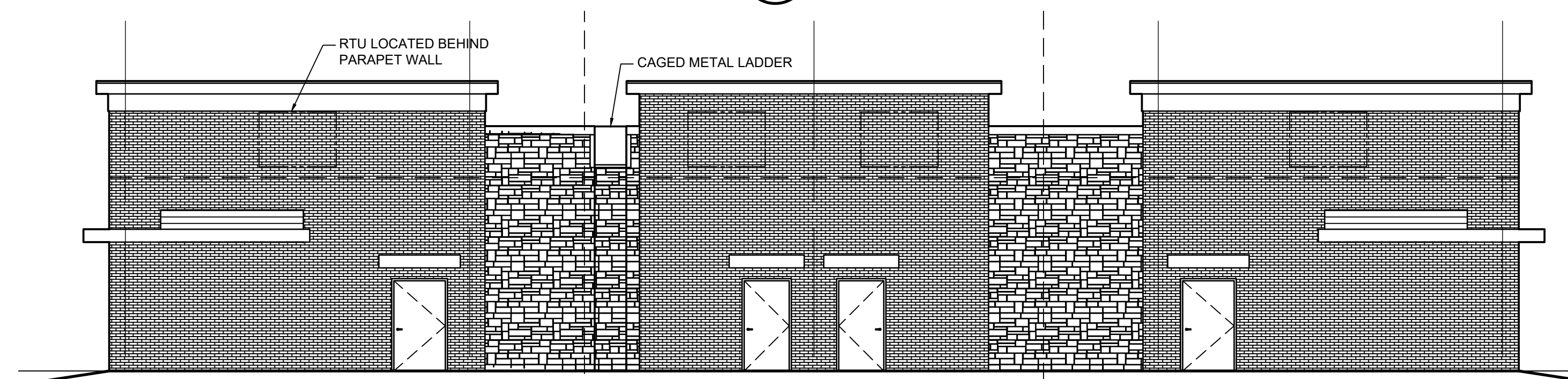
SCALE: 1/8"=1'-0"

4
A200

CODE INFORMATION
TYPE III-B, NOT SPRINKLERED CONSTRUCTION
6,981 S.F. BUILDING AREA
22'-6" MAXIMUM BUILDING HEIGHT

FASCADE CALCULATION
6,182 S.F. MASONRY
7,734 S.F. TOTAL ELEVATION

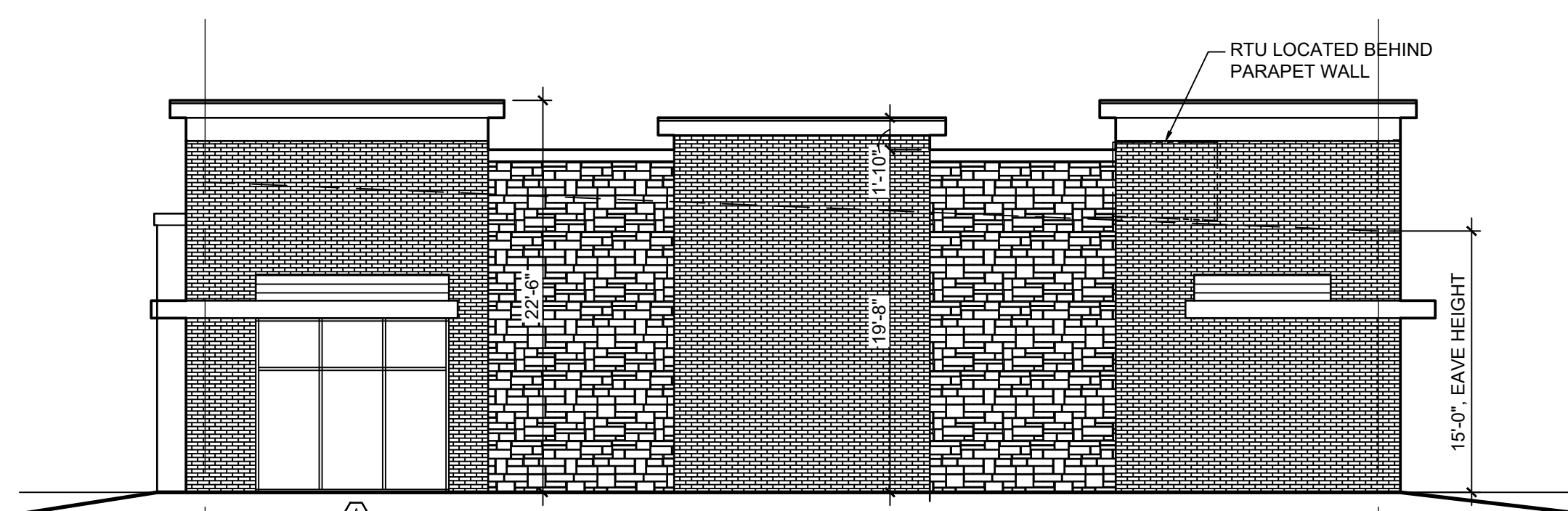
80% NET FACADE AREA



REAR ELEVATION

SCALE: 1/8"=1'-0"

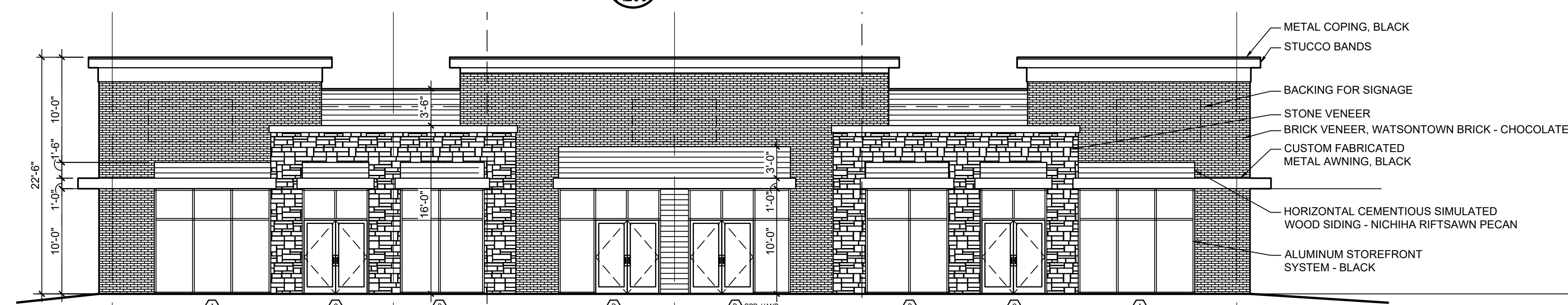
3
A200



RIGHT ELEVATION

SCALE: 1/8"=1'-0"

2
A200



FRONT ELEVATION

SCALE: 1/8"=1'-0"

1
A200

PRELIMINARY - NOT FOR CONSTRUCTION

LAKESEDGE RETAIL CENTER

LAKESEDGE DRIVE, FARRAGUT, TENNESSEE 37934

MARK	DATE	ISSUE FOR:
	10/9/25	Pre-submittal Review
	11/02/25	Review Revisions

DRAWN: SDS

ELEVATIONS

A200

PROJECT: 0006

REPORT TO THE MUNICIPAL PLANNING COMMISSION

Prepared By: Mark Shipley, Community Development Director

Subject: Discussion on a request to rezone Parcel 05501, Tax Map 152 and Parcel 055, Tax Map 152 (12232 Turkey Creek Road) from Agricultural (A) to General Single-Family Residential (R-2)(Midtown Legal, Applicant)

Introduction & Background: This agenda item is for discussion purposes only and is related to a workshop discussion that occurred prior to the regular July 17, 2025, Planning Commission meeting. The item involves a single parcel that was sold as part of an estate sale as two tracts without being legally subdivided.

Discussion & Recommendations: As noted at the July 17 workshop, the parcel is bisected by Turkey Creek Road and has a house on the lakeside portion of the parcel referenced as 12232 Turkey Creek Road. The larger portion of the parcel is on the opposite side of Turkey Creek Road. As part of the estate sale, the parcel was sold as two separate tracts to two different owners.

The lakeside portion of the parcel is 9,403 square feet and the portion on the opposite side of Turkey Creek Road is 20,521 square feet. The applicant presented the Planning Commission with a request for feedback in terms of whether the Planning Commission would be open to approving a resubdivision plat that would legally separate the parcel into the two tracts that now have different owners. Currently, the property is still recognized as one parcel and since there is an existing dwelling unit on the lake portion of the parcel, no additional dwelling unit is permitted on the non-lake portion of the parcel. The owner of that portion of the parcel would like to build a home and this would require the parcel to be legally separated.

During discussion at the workshop session, the staff noted that the parcel is currently zoned Agricultural (A) and that the (A) Zoning District has a five-acre minimum lot size with a 50-foot front

setback, 25-foot side setbacks, and a 35-foot rear setback. The approval of a plat would further compound the parcel's nonconforming status in terms of size and setbacks and would first require a review from the Board of Zoning Appeals since the requirements related to lot size and setbacks are in the Zoning Ordinance.

To help lessen the amount of variances that would be needed to divide the parcel, the applicant noted that, as discussed with the staff and Town Attorney, before taking this to the Board of Zoning Appeals, the parcel should be rezoned from (A) to General Single-Family Residential (R-2). The (R-2) Zoning District is the same as the abutting Brixworth Subdivision and requires a minimum lot size of 15,000 square feet. This district would be more appropriate for the parcel since the parcel is clearly not large enough for agricultural purposes and proposed structures on the vacant portion of the parcel would not be able to meet the required setbacks. The rezoning would bring the parcel into compliance for the non-lake portion and would help the portion that abuts the lake to be much more compliant in terms of lot size. The effect of this would be to lessen the variance request needed for the resubdivision plat to only a variance from the minimum lot size for the lake portion of the parcel.

The applicant has now applied for a rezoning and is presenting this to the Planning Commission for discussion purposes. The staff understands that the applicant is working with both property owners on the rezoning. The applicant can update the Planning Commission on this at the meeting.

Recommended By:









Proposed Motion: For discussion purposes only.

Zoning Request

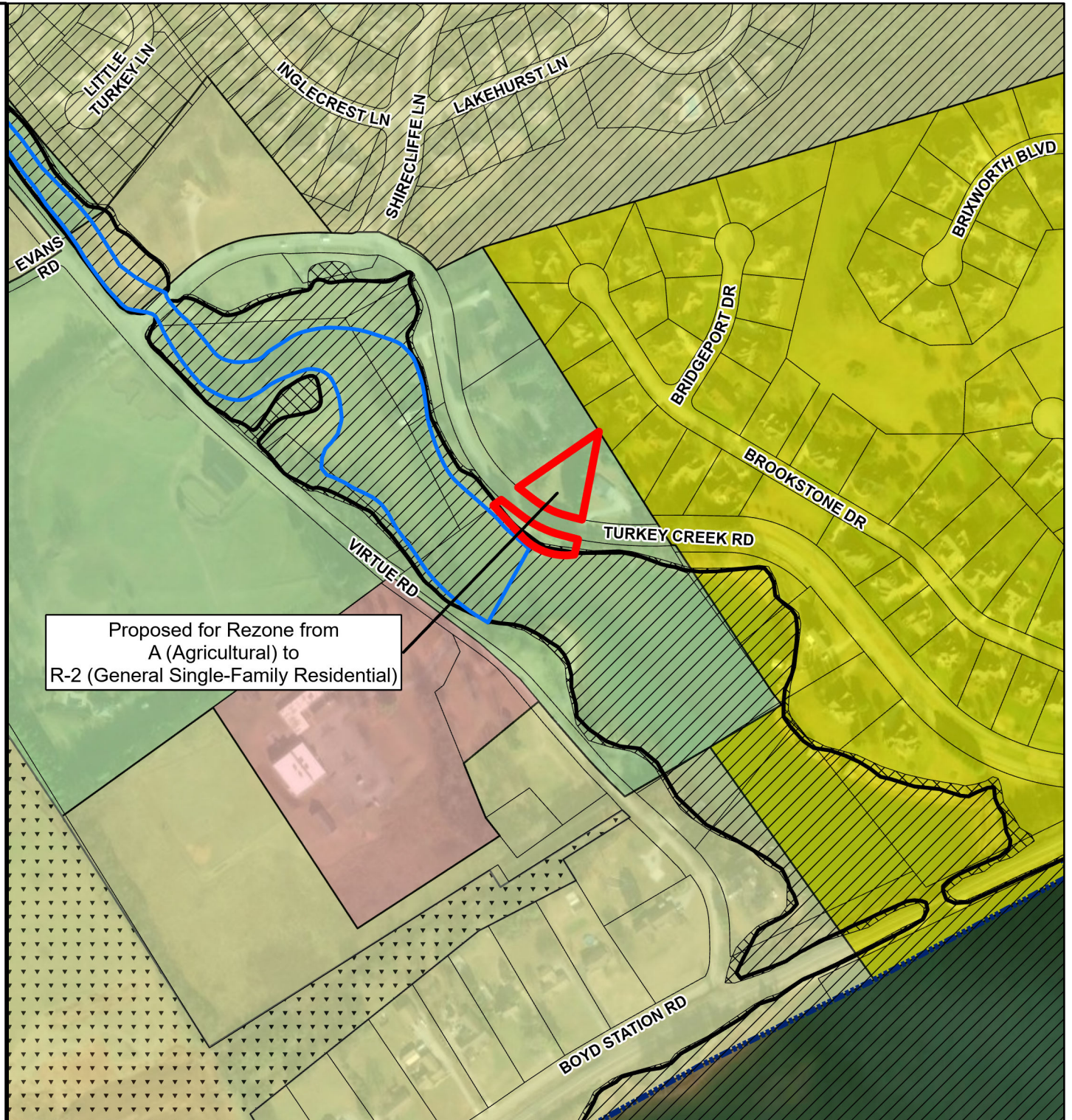
Rezone of 12232 Turkey Creek Rd
Parcel 152, Tax Map 055 and 05501

Proposed for Rezone from
A (Agricultural) to
R-2 (General Single-Family Residential)

Legend

-  Floodway
-  100 year Flood Zone
-  500 year Flood Zone
-  Parcels
-  Subject Area
-  A, Agricultural
-  S-1, Community Service
-  R-1, Rural Single-Family Residential
-  R-2, General Single-Family Residential
-  R-1/OSR, Open Space Residential Overlay
-  R-1/OSMR, Open Space Mixed Residential Overlay

Proposed for Rezone from
A (Agricultural) to
R-2 (General Single-Family Residential)



1:4,224

REPORT TO THE MUNICIPAL PLANNING COMMISSION

Prepared By: Mark Shipley, Community Development Director

Subject: Discussion on a request to amend the Farragut Code of Ordinances, Appendix A - Zoning, Chapter 3, Section XVII. Office district (O-1), as it may apply to "Interactive Sports Analysis Services" being a permitted use and to include a definition for "Interactive Sports Analysis Services" in Chapter 2 of the Zoning Ordinance (Christian Miller, Applicant)

Introduction & Background: This item is for discussion purposes only and involves a request to amend the Office (O-1) Zoning District to provide for "Interactive Sports Analysis Services" to be a permitted use and to define this term in Chapter 2 of the Zoning Ordinance.

Discussion & Recommendations: The applicant would like to open a business in a building that is currently zoned Office. The business would involve a member-only appointment based indoor golf practice and play simulation experience. Members would schedule a session, bring in their golf clubs, and practice on a simulated golf course. The idea for this was developed in California with a business named Golf Envy.

Though specific to golf in this case, such sports analysis services could also apply to other sports and activities. In the current Office Zoning District, the closest permitted use would likely be "professional services" and, in Chapter 2 of the Zoning Ordinance, those are defined as "Services provided by a member of a recognized profession. Such activities include: medical, legal, dental, scientific consulting, insurance agent, architectural, engineering, land-planning, financial and business consulting services, accounting offices, and other similar activities as defined by the board of zoning appeals."

Rather than ask the board of zoning appeals for direction in this matter, the staff recommended that the applicant pursue the text amendment being requested so that this and similar uses may be evaluated in terms of compatibility with the Office Zoning District. In reviewing such compatibility, an important

consideration is whether the envisioned use would be similar to other office-type uses that are intended to serve as transitional uses between commercial and residential developments. In the packet, the applicant's amendment request is included, which describes in more detail the justification for the text amendment.

During discussion at the staff/developer meeting on November 4, the proposed use, though not specifically provided for currently, was seen as generally compatible with the Office Zoning District since the use would be limited to members and appointments and the space devoted to the use would be limited to 3,500 gross square feet, as proposed in the applicant's amendment language. One concern that was raised is how noise would be controlled so that impacts on abutting tenants would be mitigated. Some language that was discussed specific to amendments to the Office Zoning District were to add "Interactive Sports Analysis Services" as a permitted use provided that the space devoted to this use was limited to 3,500 gross square feet and any noise associated with the use would be controlled within the space with noise-proofing measures reflected on tenant space completion plans. The use would also not involve the sale of retail goods or alcohol."

Recommended By:

Proposed Motion: For discussion purposes only.

**Farragut
Zoning/Municipal Code Text
Amendments**

Submitted by:
Christian Miller
christian.miller@golfenvy.com
(865) 223-1298

Online Request #: PZ12451

Project #: 2025-432-CT

Location: **12756 KINGSTON PIKE**

City: **FARRAGUT** State: **TN** Zip: **37934**

Contact Information

Applicant's Contact Information

Title: First Name: **Christian** Last Name: **Miller** Suffix:

Business Name: **OakWest Ventures d/b/a Golf Envy Knoxville**

Mailing Address: **8847 Samuel Andrew Lane**

City: **Knoxville** State: **TN** Zip: **37922**

Email Address: **Christian.miller@golfenvy.com**

Cell Phone: **(865) 223-1298** Work Phone: Home Phone:

Owner's Contact Information

Title: First Name: **Christian** Last Name: **Miller** Suffix:

Business Name: **OakWest Ventures LLC, d/b/a Golf Envy Knoxville**

Mailing Address: **8847 Samuel Andrew Lane**

City: **Knoxville** State: **_** Zip: **37922**

Email Address: **christian.miller@golfenvy.com**

Cell Phone: **(865) 223-1298** Work Phone: Home Phone: **(865) 223-1298**

Application Questionnaire (* denotes required question)

Ordinance Text Amendment



You can complete this application and view updates online at [MGO Connect](#)

Project Name *

O-1 Use Text Amendment - New Permitted Use with Definition

Application Acknowledgement *

I HEREBY CERTIFY THAT THE ABOVE INFORMATION IS ACCURATE AND COMPLETE AND I AM THE APPLICANT OR THE LEGAL REPRESENTATIVE OF THE APPLICANT FOR THIS PROJECT. enter your full name to acknowledge.

Christian Miller

CHANGE REQUESTED *

Amend Zoning Ordinance, Sign Ordinance, or Municipal Code text as follows:

Appendix A, Chapter 3, Sec. XVII. – Office District (O-1), Subsection B:
Add “Interactive Analysis Services” as a permitted use, provided that the tenant space does not exceed 3,500 square feet and does not include the sale of retail goods, food, or alcohol.

Appendix A, Chapter 2 – Definitions:
Add the following definition:

Interactive Analysis Services: A low-occupancy, secure-entry establishment that employs simulation or analytical technology to provide appointment-based measurement, evaluation, and analysis of individual performance. Access shall be limited to members by advance reservation, and no public walk-in use shall be permitted.



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Proposed Amendment Necessity *

The proposed amendment is necessary due to the following changed or changing conditions: (be specific)

The proposed amendment is necessary to ensure the O-1 district keeps pace with modern service and technology-based businesses that do not fit neatly into existing categories.

As business models evolve, many low-intensity, appointment-driven services like, Interactive Analysis Services, fall outside the current permitted use list, despite operating in the same quiet, controlled manner as other O-1 uses. Without a clear designation, these businesses risk being excluded or misclassified under categories not intended for them.

Interactive Analysis Services are designed around secure entry, limited occupancy, and appointment-based access available only to members, with no public walk-in use permitted. These built-in limitations ensure that the intensity of use remains consistent with the professional office character of the district.

By adding this category, the Town modernizes its ordinance language, provides a path for innovative professional services, and protects the O-1 district's intended purpose as a low-impact, community-compatible environment.

Documents Uploaded

The following documents are attached to the Application.

example layout - similar sq footage.pdf

12756 kp floor plan - highlighted to show area of use.pdf



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