



Municipal Planning Commission Meeting
Thursday, June 18, 2026 at **6:00 PM**

Farragut Town Hall
11408 Municipal Center Drive

AGENDA

- I) Call to Order
- II) Approval of Agenda
Agenda Item IV) D) is requested for postponement by the applicant.
- III) Approval of Minutes
 - A) Approval of minutes for the May 21, 2026 meeting.
- IV) Action Items
 - A) Appointment of Youth Representative for the next fiscal year
 - B) Discussion and public hearing on Resolution PC-26-07, a resolution for Planning Commission recommendation on Ordinance 26-13, an ordinance to amend the Farragut Zoning Map for a portion of the property located at 817 Virtue Road from S-1 (Community Service) and Agricultural (A) to R-1 (Rural Single-Family Residential), 8.55 Acres (Benchmark Associates, Inc., Applicant)
 - C) Discussion and public hearing on a final plat for Phase 2, Unit 2 of the Grove at Boyd Station Subdivision, 15.86 Acres, 32 Lots, Zoned R-1/OSMR (Lynch Surveys, LLC., Applicant)
 - D) Discussion and public hearing on a preliminary plat for Grigsby Park, Phase 2, 27.5 Acres, 47 Lots, Zoned R-4 and Floodplain District (Urban Engineering, Inc., Applicant)
- V) Discussion Items
- VI) Approval of Utilities

11408 MUNICIPAL CENTER DRIVE | FARRAGUT, TN 37934 | 865.966.7057 |
WWW.TOWNOFFARRAGUT.ORG

It is the policy of the Town of Farragut not to discriminate on the basis of race, color, natural origin, gender, gender identity, sexual orientation, age, religion, disability or veteran status pursuant to Title VI of the Civil Rights Act of 1964, Public Law 93-112 and 101-336 in its hiring, employment practices and programs. To request accommodations due to disabilities, please call 865-966-7057 in advance of the meeting

- A) Request for approval of a mostly aerial fiber installation for Charter/Spectrum along a section of Concord Road near 116 Concord Road (Mastec, Applicant)
- B) Request for approval of an aerial fiber installation for Charter/Spectrum along a section of N. Campbell Station Road and ending at 11656 Parkside Drive (Mastec, Applicant)

VII) Citizens Forum

**The Farragut Municipal Planning Commission welcomes and invites
Farragut residents to participate in public meetings.**

Public Participation Guidelines for Farragut Municipal Planning Commission meetings

At the end of each business meeting, there will be time reserved for public comment under the Citizen Forum agenda item. If you are interested in speaking, please fill out a blue comment card and turn it in to a staff member. This time is set aside specifically for comments on items that are not on the Planning Commission's agenda for the meeting. Each speaker will be given three (3) minutes to speak on his/her topic.

The Commission also seeks public comment on regular agenda items during the portion of the meeting devoted to discussion and consideration of the specific agenda item.

The Chairman may recognize individuals for public comment during both the regular agenda and Citizen Forum portions of the meeting based on the following guidelines.

1. The Chairman shall maintain and control the meeting to provide a professional and objective environment conducive to presentation and discussion of the agenda items;
2. Any Farragut resident interested in speaking should fill out a blue comment card stating which agenda item they would like to comment on and turn it in to a staff member;
3. Speakers shall come to the podium and identify themselves by name and street address;
4. Public comment shall be limited to three (3) minutes per individual. Time for public comment may be amended at the discretion of the Chairman; provided that when additional time is allowed, speakers with differing points of view are allowed the same amount of time if requested. Time is not transferable to other speakers;
5. Speakers should strive to avoid redundancy; different considerations than expressed by previous speakers on a subject are encouraged;
6. Comments that threaten violence or imminent physical harm toward any individual will not be tolerated.
7. Comments may support or oppose issues or measures;
8. Personal attacks on the character of individuals who hold different points of view that have no relationship to the merits of the matter or issue raised for discussion will not be tolerated.
9. An applicant, and/or their representative(s), for an item on the regular agenda shall be afforded the time necessary to present their request and respond to questions. The three (3) minute limitation shall not apply. However, the Chairman may ask an applicant to stay on point in order to facilitate the efficiency of the meeting.

Each speaker will be asked if they can agree to abide by the Comment Protocol. If so, please be prepared to

Speak when your name is called.

Tennessee Code Annotated 39-17-306. Disrupting meetings or processions.

1. A person commits an offense if, with the intent to prevent or disrupt a lawful meeting, procession, or gathering, the person substantially obstructs or interferes with the meeting, procession, or gathering by physical action or verbal utterance.
2. A violation of this section is a Class A misdemeanor.

REPORT TO THE MUNICIPAL PLANNING COMMISSION

Prepared By: Mark Shipley, Community Development Director

Subject: Approval of minutes for the May 21, 2026 meeting.

Introduction & Background: Minutes for May 21, 2026 meeting.

Discussion & Recommendations: Staff recommends approval.

Recommended By: Mark Shipley, Community Development Director

Proposed Motion: To approve the minutes as presented.



Town of Farragut, Tennessee
Municipal Planning Commission Meeting

Farragut Town Hall
11408 Municipal Center Drive

Thursday, May 21, 2026 at 6:00 PM

MINUTES

I) Call to Order

Chairman Pinchok called the meeting to order at 6:00 PM. Roll call for attendance: Commissioner Greene, Commissioner Povlin, Chairman Pinchok, Vice-Mayor Meyer, and Commissioner Wright. Also in attendance were Tammy Cheek with Farragut Press, Youth Representative, Albert Liu, Community Development Director, Mark Shipley, Assistant Town Engineer, Eric Schindler, and Operations Manager, Chris Sheffield. Mayor Williams, Commissioner Devlin, Commissioner Myers, and Commissioner Preston were absent.

II) Approval of Agenda

Motion was made to approve the agenda as presented. Moved by Commissioner Povlin, seconded by Vice-Mayor Meyer; voting yes, Commissioner Greene, Commissioner Povlin, Chairman Pinchok, Vice-Mayor Meyer and Commissioner Wright; voting nay, None; Mayor Williams, Commissioner Devlin, Commissioner Myers, and Commissioner Preston were absent. Motion Passed.

III) Approval of Minutes

A) Approval of minutes from the April 16, 2026 meeting

Motion was made to approve the minutes as presented. Moved by Commissioner Povlin, seconded by Vice-Mayor Meyer; voting yes, Commissioner Greene, Commissioner Povlin, Chairman Pinchok, Vice-Mayor Meyer and Commissioner Wright; voting nay, None; Mayor Williams, Commissioner Devlin, Commissioner Myers, and Commissioner Preston were absent. Motion Passed.

IV) Action Items

A) Request for approval of design plans for the Red Mill Dam parking lot, access trail, and trail head

Assistant Town Engineer, Eric Schindler and a representative from LDA Consulting, reviewed this item and recommended approval of the design plans.

Motion was made to approve the design plans as presented. Moved by Commissioner Povlin, seconded by Vice-Mayor Meyer; voting yes, Commissioner Greene,

Commissioner Povlin, Chairman Pinchok, Vice-Mayor Meyer and Commissioner Wright; voting nay, None; Mayor Williams, Commissioner Devlin, Commissioner Myers, and Commissioner Preston were absent. Motion Passed.

- B) Discussion and public hearing on a revision to the final plat for the Stonemeade Subdivision, Parcels 070 and 072, Tax Map 142 off Boring Road, 33 Lots, Zoned R-3 (Lynch Surveys, LLC, Applicant)

Staff, Mark Shipley, reviewed this item and recommended approval subject to the following conditions:

1. Lot 36 has been reduced and now part of Lots 17-20 extend beyond the retaining wall. The covenants will need to specifically address how these areas will be maintained. This may need to be shaded and noted as an area to be maintained by the HOA or the easement should be extended to include this portion of the house lots as HOA maintained areas.
2. Please include a plat note related to the HOA maintaining the alternative street name signs per the covenants to be approved by the Town Attorney. The covenants have not yet been submitted for the Town Attorney's approval and the covenants must be approved and recorded prior to the plat being signed.
3. Please include a plat note that the buffer strip shall be planted in the Fall of 2026 to meet Town of Farragut buffer strip requirements.
4. The street surface course must either be satisfactorily completed or a letter of credit provided for \$80,000 to cover completion.
5. Obtaining all required signatures.

Thomas Krajewski spoke on behalf of the applicant.

Motion was made to follow the staff's recommendation. Moved by Commissioner Povlin, seconded by Commissioner Greene; voting yes, Commissioner Greene, Commissioner Povlin, Chairman Pinchok, Vice-Mayor Meyer and Commissioner Wright; voting nay, None; Mayor Williams, Commissioner Devlin, Commissioner Myers, and Commissioner Preston were absent. Motion Passed.

- C) Discussion and public hearing on an amendment to a portion of the concept plan associated with the northwest portion of the Bridgemore Subdivision for what would be Phases 3B and 4, Zoned R-1/OSR (Placemakers No. 2 Partnership, Applicant)

Staff, Mark Shipley, reviewed this item and recommended that action be taken separately on the request to amend the concept plan and the variance needed for the length of the cul-de-sac referenced as Road G. The maximum length permitted is 500 feet and, as shown, Road G would be 866 feet.

Regarding the request to amend the concept plan for the northwest portion of the Bridgemore Subdivision, staff recommended approval due to topography (the original concept plan would result in significantly more grading and sizable retaining walls. The

revised concept plan layout would work better with the land and result in five additional acres of open space).

Carter McCall spoke on behalf of the applicant.

Motion was made to follow the staff's recommendation. Moved by Commissioner Povlin, seconded by Commissioner Greene; voting yes, Commissioner Greene, Commissioner Povlin, Chairman Pinchok, Vice-Mayor Meyer and Commissioner Wright; voting nay, None; Mayor Williams, Commissioner Devlin, Commissioner Myers, and Commissioner Preston were absent. Motion Passed.

Regarding the variance request from the maximum permitted length of a cul-de-sac, staff recommended approval due to topography. The cul-de-sac would result in less grading and more protection of open space.

Motion was made to follow the staff's recommendation. Moved by Commissioner Povlin, seconded by Commissioner Greene; voting yes, Commissioner Greene, Commissioner Povlin, Chairman Pinchok, Vice-Mayor Meyer and Commissioner Wright; voting nay, None; Mayor Williams, Commissioner Devlin, Commissioner Myers, and Commissioner Preston were absent. Motion Passed.

- D) Discussion and public hearing on a preliminary plat for the Bridgemore Subdivision, Phases 3B and 4, Parcel 025.03, Tax Map 152, 70.28 Acres, 102 Lots, Zoned R-1/OSR (Ardurra Group, Inc., Applicant)

Staff, Mark Shipley, reviewed this item and recommended approval of the preliminary plat subject to the following conditions:

1. Either the public street that ultimately connects Bridgemore to Allen Kirby Road (shown in Phase 5 on the amended concept plan) and the improvements to Allen Kirby Road be designed, presented to the Planning Commission for approval, and completed at this time or a letter of credit in an amount provided by the Town Engineer is provided to ensure that the public street connector road to Allen Kirby Road and improvements to Allen Kirby Road will occur in accordance with the Subdivision Regulations. If this letter of credit option is acceptable to the Planning Commission, the staff will recommend that it be tied to a timeline that is part of the letter of credit language and approved by the Town Attorney to ensure that the public street connector road to Allen Kirby Road and improvements to Allen Kirby Road will be completed within three years of the issuance of a grading permit for Phases 3B and 4.
2. The drainage permit fee is \$3,960 and will be required prior to issuance of a grading permit.
3. Please provide an irrevocable letter of credit in an amount of \$434,000 for erosion control and site stabilization.
4. Please submit the Notice of Coverage from TDEC.

5. Please specify a wire-backed silt fence around all sinkhole lip elevations. The fencing must be just outside the sinkhole lip elevation.
6. On Lots 246 and 247, the apparent building footprints/envelopes are within the 50-foot sinkhole setback shown on Sheet C8. Before final platting of these lots, the subdivider shall provide documentation that they can be built on without any variances in accordance with the applicable provisions of the Sinkhole Ordinance, Section 107.68, Part 6.
7. Please provide a detail for the 20-foot wide temporary fire apparatus access road that will eventually transition to a shared use path.
8. On Sheet C22, please move the storm sewer and headwall further away from the sinkhole lip elevation.
9. Tree removal or any disturbance within the sinkhole lip elevation is not permitted, unless documentation is provided to demonstrate compliance with the applicable provisions of Section 107-68 of the Sinkhole Ordinance. The shared use path that is to be extended through the sinkhole on the westernmost portion of the subdivision is an example of where the Planning Commission may permit the limited filling of a sinkhole area to facilitate the construction of a critical walkway extension to further the Town's adopted connectivity goals.

Carter McCall spoke on behalf of the applicant.

Motion was made to follow the staff's recommendation. Moved by Commissioner Povlin, seconded by Commissioner Greene; voting yes, Commissioner Greene, Commissioner Povlin, Chairman Pinchok, Vice-Mayor Meyer and Commissioner Wright; voting nay, None; Mayor Williams, Commissioner Devlin, Commissioner Myers, and Commissioner Preston were absent. Motion Passed.

- E) Discussion and public hearing on Resolution PC-26-06, a resolution for Planning Commission recommendation on Ordinance 26-10, an ordinance to amend the Farragut Code of Ordinances, Appendix A - Zoning, Chapter 3. - Specific District Regulations, to replace Section V. - Rural Single-Family Acre Residential District (R-1-S-A), with the Rural Large-Lot Estate District (RLE)

Staff, Mark Shipley, reviewed this item and recommended approval of Resolution PC-26-06 which recommends approval of Ordinance 26-10 to the Board of Mayor and Aldermen.

Dian Hall spoke on this item as a citizen.

Motion was made to follow the staff's recommendation. Moved by Commissioner Povlin, seconded by Commissioner Wright; voting yes, Commissioner Greene, Commissioner Povlin, Chairman Pinchok, Vice-Mayor Meyer and Commissioner Wright; voting nay, None; Mayor Williams, Commissioner Devlin, Commissioner Myers, and Commissioner Preston were absent. Motion Passed.

- V) Discussion Items

Discussion on a request to amend the Farragut Zoning Map for a portion of the property located at 817 Virtue Road from S-1 (Community Service) and Agricultural (A) to R-1 (Rural Single-Family Residential), 8.55 Acres (Benchmark Associates, Inc., Applicant)

For discussion purposes only. Benny Moorman spoke as the applicant.

VI) Approval of Utilities
None

VII) Citizens Forum
None

The meeting adjourned at 6:52 pm.

Secretary of the Planning Commission

REPORT TO THE MUNICIPAL PLANNING COMMISSION

Prepared By: Mark Shipley, Community Development Director

Subject: Appointment of Youth Representative for the next fiscal year

Introduction & Background: This agenda item involves the annual appointment of a Youth Representative for the Planning Commission. During the past fiscal year, Albert Liu has served as the Youth Representative and has done an excellent job. For the upcoming fiscal year, Kaylee Jin has applied to be the Planning Commission representative. Her application and letter of recommendation are included in the packet.

Discussion & Recommendations: Kaylee is a Junior at Farragut High School and, as her letter of recommendation indicates, is a very impressive student with a desire to be involved in her community. This is exactly why the Youth Representative program was created a number of years ago. The Planning Commission is intimately involved with how the community will look and feel over time and having someone present to address the perspective of young people is critical, especially with the upcoming update to the Comprehensive Land Use Plan that will be occurring over the next year.

Recommended By: Mark Shipley, Community Development Director

Proposed Motion: To appoint Kaylee Jin as the Youth Representative for the upcoming fiscal year.



Town of Farragut Youth Representative Committee Application

First Name	Kaylee
Last Name	Jin
Street Address	[REDACTED]
City	Farragut
State	TN
Zip	37934
Primary Phone Number	[REDACTED]
E-mail	[REDACTED]

Briefly describe your life goals/aspirations:

My core aspiration is to pursue a career in public policy and civic leadership, primarily focusing on optimizing data and infrastructure to improve daily life in communities. Throughout high school, I have spent many days in rooms full of passionate peers, debating and navigating complex global and state issues through conferences such as Model United Nations and Youth in Government. I have come to love the energy and diplomacy of it all, but I started to feel like the debate was lacking a crucial, real-world, tangible impact. This realization has driven me to look into the analytical side of matters—researching the math and data behind policies to make an impact in the community. My long-term goal thus became not just debating policy; I wanted to be someone who helps build and improve communities from the ground up, using both logical research and a deeper understanding of what residents of all ages actually need. Serving as a Youth Representative is the perfect first step to achieve my aspirations, taking everything I have learned about diplomacy and applying it to the very real neighborhoods and people right here in Farragut.

Which committees are you interested in serving?

Please select your first choice and second choice from the list below.

Youth Representatives serve a one-year term on the Arts and Beautification Committee, Farragut Museum Committee, Farragut Tourism / Visitor Advisory Committee, Parks and Athletics Council, Planning Commission, Stormwater Advisory Committee and the Visual Resources Review Board; Youth Representatives serve a two-year term on the Farragut Education Relations Committee.

Board or Commission of first choice: Farragut Planning Commission

Board or Commission of second choice: Farragut Education Relations Committee

Signature



Date

05/22/2026

School

Farragut High School

Grade Level for the 2026-2027
School Year

Junior

Please list any school clubs,
organizations or groups you are a
member of:

ALTMUN Chair (Model United Nations Conference System), Knoxville Symphony
Youth Orchestra, Farragut Model United Nations, Farragut Youth in Government,
Mu Alpha Theta, and Engineering Club.

School Official or Sponsor Name

Allison Maldonado

Phone Number

[REDACTED]

Please upload a letter of
recommendation:



Jin, Kaylee Town of Farragut Representative.pdf

Farragut High School

Grade Level Administrators

*Principal
John C Bartlett, Ed.D.*

*865 Academy Coach
Amanda Edsell, Ed.D.*

*Established 1904
11237 Kingston Pike, Knoxville, TN 37934
Phone 865.966.9775
Fax 865.671.7120*

*Patrick Bethel
Karey Lowdermilk, Ed.D.
Kim Mink
Cara Vaughn
Nick Walsh*

18 May 2026

To Whom It May Concern:

With much pleasure, I write this recommendation for Kaylee Jin, who is applying for a Student Youth Representative position for the Planning Commission. Kaylee has been, and continues to be an exemplary student and member of Farragut High School's student body. I believe, whole-heartedly, that she will be an excellent student representative for the town of Farragut.

Kaylee has been my student of Spanish in two of my classes (2 and 3 Honors Spanish). She is the type of student that all teachers dream to have in their class. Academically, she is "top-notch", but moving beyond academics, Kaylee brings a breath of fresh air as she enters the classroom. She is helpful to her peers and to me, she is attentive and interactive, and she is respectful and downright clever! Yes, Kaylee is respectful, but she is also not afraid to challenge her teachers if they have made mistakes or offer another opinion. I love that she is confident and comfortable to express herself and appreciate it when she does.

Kaylee emerged as a leader in Spanish 2H class and continued to be so in level three Spanish. In our classes, I like to have students show mastery of grammar and vocabulary through collaborative projects. Kaylee is a "take the bull by the horns" kind of student and was purposeful and dedicated to getting the "job" done. In group projects, some students tend to take the lead, and some tend to sit back and let the rest do their work for them. I remember Kaylee (whose job for a particular project was to be the "boss") speaking to her five-member team, asking them what they could do to make the project successful. She guided her group in a very respectful and non-threatening manner. I thought to myself, "wow" that kid has amazing communication skills. In addition, Kaylee is always willing to give 110% effort while working collaboratively – leading by example within her per group; consequently, Kaylee is well-liked by her peers.

Kaylee is involved in many different clubs in our school and her presence and influence reaches a wide variety and types of students. She is an incredible manager of her time as one can see on her resume. As the faculty advisor for National Honor Society (NHS), I am charged with finding a keynote speaker and musical entertainment for our annual NHS member induction ceremony that takes place in September. Knowing that Kaylee is a fine violin musician, I asked her if she could play at the induction ceremony before, during, and after the ceremony. Not only did she reply yes, she went on to find two other musicians (a pianist and a celloist) to form a musical group. Kaylee goes above and beyond to be helpful and demonstrates that she is reliable and true-blue when following through with her commitments.

When I asked Kaylee why she wanted to be a youth representative for the town of Farragut board, she replied, “I want to be involved in my community and I feel that I could represent the voice of students at FHS well.” She continued to say that “she enjoys talking with people and getting their opinions about our town of Farragut’s infrastructure and traffic problems. I feel as though I could provide a student’s perspective as well as community members as I chat with them about the good areas and some of the areas in Farragut that could use some improvements.” I thought to myself, “what a diplomatic answer for such a young person.”

Kaylee Jin will be an excellent addition to the Town of Farragut’s youth representative on the planning commission committee. I write this letter with the highest of recommendation and I say with confidence, that she will be an exemplary representative for the town of Farragut, just as she has been an exemplary student at Farragut High School.

Please feel free to contact me should you have any questions regarding Kaylee Jin.

Regards,

Allison Maldonado

Allison Maldonado, Spanish Teacher
National Honor Society & National Spanish Honor Society Advisor
Farragut High School
11237 Kingston Pike
Knoxville, TN 37934

REPORT TO THE MUNICIPAL PLANNING COMMISSION

Prepared By: Mark Shipley, Community Development Director

Subject: Discussion and public hearing on Resolution PC-26-07, a resolution for Planning Commission recommendation on Ordinance 26-13, an ordinance to amend the Farragut Zoning Map for a portion of the property located at 817 Virtue Road from S-1 (Community Service) and Agricultural (A) to R-1 (Rural Single-Family Residential), 8.55 Acres (Benchmark Associates, Inc., Applicant)

Introduction & Background: This agenda item was reviewed last month for discussion purposes only and involves a request to rezone portions of the property at 817 Virtue Road to support a re-subdivision of the property into three lots. The property is bisected by Virtue Road and is impacted by the Virtue Road improvement project. Staff has met jointly with the applicant and the Town's design engineers for the Virtue Road improvement project so that any future re-subdivision (if the property is rezoned) will be coordinated with the road improvement project.

For information purposes only, the envisioned re-subdivision plat is included in the packet.

Discussion & Recommendations: As discussed last month, the property is currently in three different zoning districts. The northern portion is zoned S-1 (Community Service), the portion of the property on the east side of Virtue Road is zoned Agricultural (A), and the remainder of the property is zoned Rural Single-Family Residential (R-1).

The applicant is requesting to rezone the property so that it is all zoned R-1. The Future Land Use Map (FLUM) shows this property as Open Space Cluster Residential. The requested rezoning is consistent with the FLUM since the density in R-1 is the same as the Open Space Cluster Residential land use.

Included in the packet is Resolution PC-26-07 which recommends approval of Ordinance 26-13 which is also included in the packet.

Recommended By: Mark Shipley, Community Development Director

Proposed Motion: To approved Resolution PC-26-07.

Certificate of Ownership and General Dedication
 I (we) hereby certify that I am (we are) the owner(s) of the property shown and described herein as evidenced in Instrument Number 202005050073167, County Register's Office, and that I (we) hereby adopt this plan of subdivision with my (our) free consent, establish the minimum building restriction lines, and dedicate all rights-of-way, streets, alleys, walks, easements, parks, and other open spaces to public or private use as noted.

James J. Mathis Jr. _____ Date _____
 Deborah Ann Mathis _____ Date _____

Certificate of Category and Accuracy of Survey
 I hereby certify that this is an accurate on the ground survey, made under my supervision, that this survey has been made using the latest recorded deed and any other information furnished by the title attorney; that there are no encroachments or projections other than those shown; that the survey is correct to the best of my knowledge and belief; & that this is a category 1 survey, with a ratio of precision exceeding 1:10,000, and that said survey was prepared in compliance with current edition of the rules of Tennessee State Board of Examiners for Land Surveyors—Standards of Practice.

Tennessee Registered Land Surveyor No. 1501 _____ Date _____

Certificate of Electric, Gas, and Telephone Availability
 This is to certify that every lot within this subdivision has available to it a source for the service identified by signature(s) below which service source is adequate to accommodate the reasonable needs of such lot as to such service within each subdivision.

Gas — KUB _____ Date _____

Electric — LUCB _____ Date _____

Telephone — AT&T _____ Date _____

Certificate of Approval of Street Names
 This is to certify that the subdivision shown herein has been reviewed for compliance with the Knox County Uniform Street Naming & Addressing System Ordinance, and the road names are hereby approved for recording.

Knox County Addressing Division _____ Date _____

Certificate of Water and Sewer Availability
 I hereby certify that every lot within this subdivision has available to it water and sewer service that is adequate to accommodate the reasonable needs of such lots.

Signature, FUD _____ Date _____

Certificate of Approval for Recording
 I hereby certify that the subdivision plot shown herein has been found to comply with the Subdivision Regulations for Farragut, Tennessee, with the exception of such variances, if any, as are noted in the minutes of the Planning Commission and that it has been approved for recording in the Office of the County Register of Deeds.

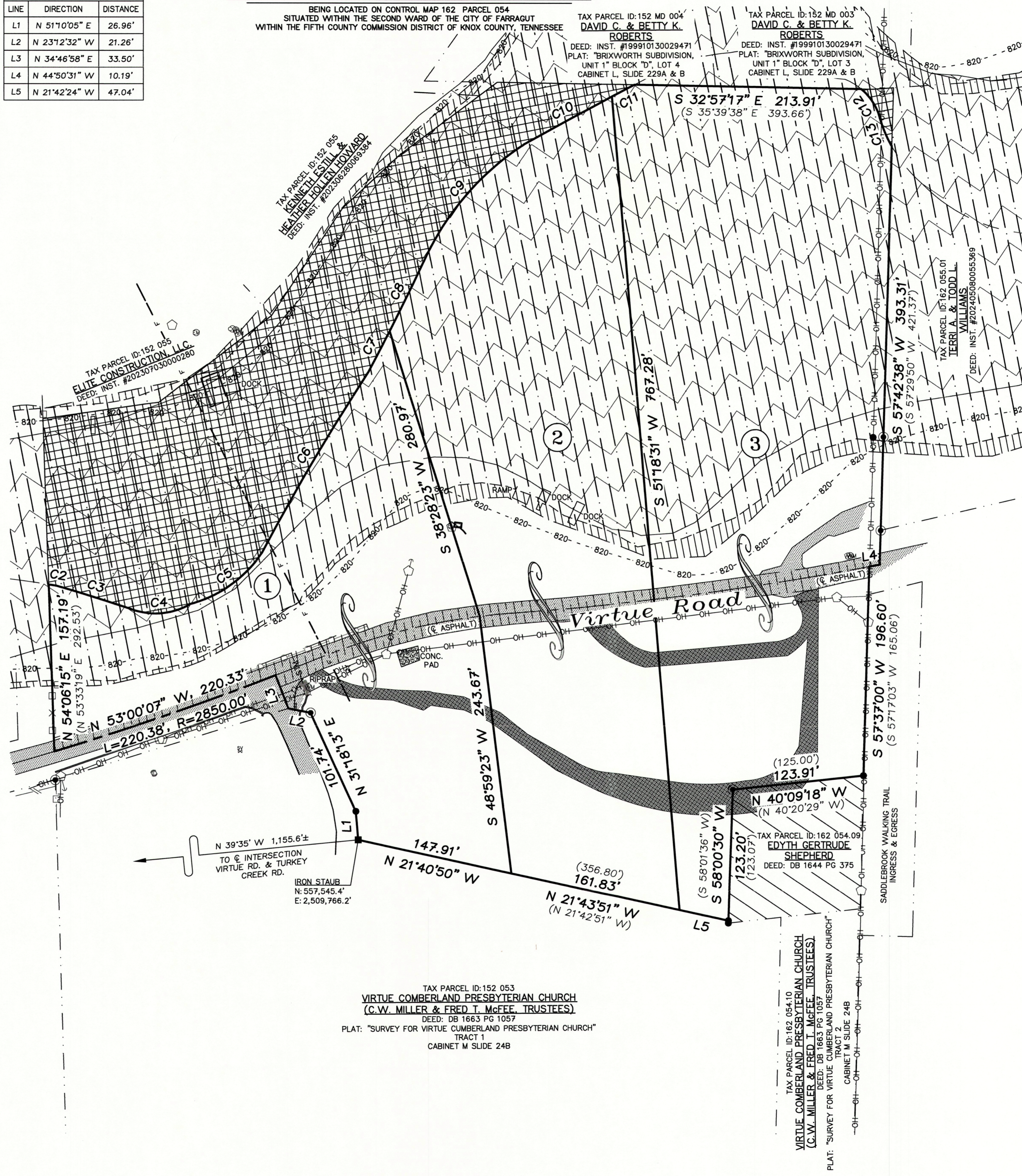
Secretary, Planning Commission _____ Date _____

PROPERTY CURVE TABLE				
CURVE	RADIUS	ARC LENGTH	CHORD DIRECTION	CHORD DISTANCE
C2	970.33'	7.61'	S 24°30'19" E	7.61'
C3	1850.83'	70.33'	S 16°39'25" E	70.32'
C4	65.59'	60.76'	S 37°47'57" E	58.61'
C5	117.16'	84.74'	S 69°20'35" E	82.91'
C6	2290.32'	198.44'	N 86°33'30" E	198.38'
C7	2092.41'	42.77'	N 83°40'10" E	42.77'
C8	2092.41'	73.34'	N 82°04'47" E	73.34'
C9	256.91'	146.67'	S 83°15'38" E	144.69'
C10	3869.79'	94.50'	S 62°28'29" E	94.50'
C11	3869.79'	23.77'	S 61°35'57" E	23.77'
C12	55.21'	29.03'	S 21°13'17" W	28.70'
C13	131.41'	32.72'	S 34°01'29" W	32.64'

PROPERTY LINE TABLE		
LINE	DIRECTION	DISTANCE
L1	N 51°10'05" E	26.96'
L2	N 23°12'32" W	21.26'
L3	N 34°46'58" E	33.50'
L4	N 44°50'31" W	10.19'
L5	N 21°42'24" W	47.04'

AREA BEFORE:		AREA AFTER:	
PARCEL 054	372.313 ± SQ. FT. 8.547 ± ACRES	LOT 1	92,547 ± SQ. FT. 2.125 ± ACRES
		LOT 2	125,992 ± SQ. FT. 2.892 ± ACRES
		LOT 3	153,774 ± SQ. FT. 3.530 ± ACRES
TOTAL	372.313 ± SQ. FT. 8.547 ± ACRES	TOTAL	372.313 ± SQ. FT. 8.547 ± ACRES

Final Plat of Subdivision of the James J., Jr. & Deborah Ann Mathis Property



- NOTES:**
- RECORD INFORMATION AS FOLLOWS:
 OWNER: JAMES J., JR. & DEBORAH ANN MATHIS
 MAP: 162 INSERT: N/A GROUP: N/A PARCEL: 054.00
 DEED: INSTRUMENT NO. 202005050073167
 ALL OF THE REGISTER'S OFFICE FOR KNOX COUNTY, TENNESSEE.
 - THE PURPOSE OF THIS PLAT IS TO SUBDIVIDE THE CURRENT PARCEL INTO 3 LOTS, CONSISTING OF 8.547 ± ACRES.
 - NORTH NOTE:**
 TENNESSEE COORDINATE SYSTEM OF 1983
 HORIZONTAL DATUM: NAD 83(2011) EPOCH: 2010
 VERTICAL DATUM: NAVD83 GEOID: 2003
GNSS INFORMATION:
 TDOT REFERENCE STATION: TNIA (E: 2,511,086.97' N: 592,902.24')
 RTK GNSS EQUIPMENT: LEICA GS17/CARLSON BRX7
 DATE(S) OF OBSERVATION: 22 NOVEMBER 2021, 14 FEBRUARY 2022, 30 SEPTEMBER 2025, 7 OCTOBER 2025, 20 FEBRUARY 2026
 COMBINED SCALE FACTOR AT SITE: 0.99985002
 GNSS POSITIONAL QUALITY: (0.11) (0.20)
 DISTANCES SHOWN HEREON: GROUND
 - FEMA FIRM INFORMATION:**
 FLOOD MAP NO. 47093C0356F (EFFECTIVE DATE: 2 MAY 2007)
 -SPECIAL FLOOD HAZARD AREAS: ZONE X (OTHER AREAS) -
 OUTSIDE THE 0.2% ANNUAL, ZONE AE (REGULATORY FLOODWAY)
 - THE SURVEYOR IS NOT RESPONSIBLE FOR ANY DETERMINATION OR LOCATION OF ANY UNDERGROUND CONDITION NOT VISIBLE AND INCLUDING BUT NOT LIMITED TO, SOILS, GEOLOGICAL CONDITIONS, PHYSICAL DEVICES AND PIPELINES OR BURIED CABLES AND SHALL NOT BE RESPONSIBLE FOR ANY LIABILITY THAT MAY ARISE OUT OF THE MAKING OF OR FAILURE TO MAKE SUCH DETERMINATION OR LOCATION OF ANY SUBSURFACE CONDITION. FOR UNDERGROUND UTILITY LOCATION CALL 811.
 - THE ACCOMPANYING SURVEY WAS MADE ON THE GROUND AND CORRECTLY SHOWS THE LOCATION OF ALL STRUCTURES AND OTHER IMPROVEMENTS SITUATED ON THE ABOVE PREMISES; THERE ARE NO VISIBLE ENCROACHMENTS ON THE SUBJECT PROPERTY OR UPON ADJACENT LAND ABUTTING SAID PROPERTY EXCEPT AS SHOWN HEREON. THIS SURVEY WAS MADE IN ACCORDANCE WITH LAWS AND/OR MINIMUM STANDARDS OF THE STATE OF TENNESSEE.
 - SURVEY WAS PREPARED UTILIZING THE MOST RECENT RECORD DOCUMENTS FOR THE SUBJECT AND SURROUNDING PROPERTIES. SURVEY IS SUBJECT TO ANY FINDING REVEALED BY AN ACCURATE TITLE SEARCH; NO TITLE SEARCH WAS PROVIDED TO THIS SURVEYOR FOR THE COMPILATION OF THIS SURVEY.
 - SUBJECT PROPERTY IS ZONED R-1 RURAL SINGLE-FAMILY RESIDENTIAL DISTRICT AND IS SUBJECT TO CURRENT ZONING REGULATIONS, SETBACKS AT TIME OF RECORDING BEING AS FOLLOWS:
 FRONT: 35'
 SIDE: 40' TOTAL, 15' ON 1 SIDE
 REAR: 25'
 - A 5' UTILITY, DRAINAGE, AND CONSTRUCTION EASEMENT IS PROVIDED ON EACH SIDE OF INTERIOR LOT LINES. A 10' UTILITY, DRAINAGE AND CONSTRUCTION EASEMENT IS PROVIDED ON THE INSIDE OF ROAD RIGHTS OF WAYS AND LOT LINES ALONG THE PERIPHERY OF THE SUBDIVISION.
 - WHEN THE SURVEYOR COMPARES THE DESCRIPTIONS FOR THE SUBJECT PROPERTY AND SURROUNDING PROPERTIES TO THE LOCATION LOCATED PROPERTY CORNER MONUMENTATION, THERE IS A SUBSTANTIAL GAP BETWEEN THE SUBJECT PROPERTY AND THE ELITE CONSTRUCTION, LLC, KENNETH ESTILL & HEATHER HOLLEN HOWARD, TERRI A. & TODD L. WILLIAMS AND DAVID C. & BETTY K. ROBERTS PROPERTIES RESPECTIVELY. THIS IS SHOWN HEREON. ELITE CONSTRUCTION, LLC, KENNETH ESTILL & HEATHER HOLLEN HOWARD, TERRI A. & TODD L. WILLIAMS AND DAVID C. & BETTY K. ROBERTS WERE SENT A LETTER BY THIS SURVEYOR EXPLAINING THIS ON 2/26/2026.

LEGEND

- IRON PIN FOUND
- IRON STAB
- ⊙ IRON PIN W/CAP
- ① LOT NUMBERS
- (N 0°0'0" E) RECORD CALLS
- PROPERTY CALLS
- WATER METER
- SEWER VALVE
- ELECTRIC MANHOLE
- LIGHT POLE
- POWER POLE & GUY WIRE
- F LIMITS OF FIS CROSS SECTION "A"
- OH-OH OVERHEAD POWER LINE
- X-X BARB WIRE FENCE LINE
- WOOD FENCE LINE
- WELD WIRE FENCE LINE
- GUARDRAIL
- 0.2% ANNUAL CHANCE FLOOD HAZARD LINE
- 1% ANNUAL CHANCE FLOOD HAZARD LINE
- PREScriptive EASEMENT CREATED BY ROAD MAINTENANCE
- PROPERTY GAP
- INGRESS/EGRESS ACCESS EASEMENT (DEED BOOK 1644 PAGE 375)
- ASPHALT SURFACE
- DIRT DRIVEWAY
- LAKE LIMITS PER GIS

BENCHMARK ASSOCIATES, INC.
 10308 Haradin Valley Road
 Knoxville, TN 37934
 Phone (865) 692-4090
 Facsimile (865) 692-4091

Land Surveyors
 Member: Association of Professional Surveyors

Final Plat of Subdivision of the James J., Jr. & Deborah Ann Mathis Property
 Site Address: Virtue Road Knoxville, Tennessee 37934

RESUBDIVISION PLAT

DATE: 4/1/26
 SCALE: 1"=60'
 DRAWN BY: MER
 FILE NAME: 21272-RESUB
 BH PROJECT NO.: 21-272

1 of 1

RESOLUTION PC-26-07

FARRAGUT MUNICIPAL PLANNING COMMISSION

A RESOLUTION TO APPROVE AN AMENDMENT TO THE FARRAGUT ZONING MAP, ORDINANCE 86-16, TO RECOMMEND THE APPROVAL OF THE REZONING OF A PORTION OF THE PROPERTY LOCATED AT 817 VIRTUE ROAD FROM S-1 (COMMUNITY SERVICE) AND AGRICULTURAL (A) TO R-1 (RURAL SINGLE-FAMILY RESIDENTIAL)

WHEREAS, the Tennessee Code Annotated, Section 13-4-201et seq, provides that the Municipal Planning Commission shall make and adopt a general plan for the physical development of the municipality; and

WHEREAS, the Farragut Municipal Planning Commission has adopted various elements of a zoning plan as an element of the general plan for physical development; and

WHEREAS, a public hearing was held on this request on June 18, 2026;

NOW, THEREFORE, BE IT RESOLVED that the Farragut Municipal Planning Commission hereby recommends approval of Ordinance 26-13 to the Farragut Board of Mayor and Aldermen, an ordinance amending the Farragut Zoning Map, Ordinance 86-16, by rezoning a portion of the property located at 817 Virtue Road, from S-1 and A to R-1.

ADOPTED this 18th day of June 2026.

Ron Pinchok, Chairman

Shannon Preston, Secretary

ORDINANCE: 26-13
PREPARED BY: Shipley
REQUESTED BY: Benchmark Associates, Inc.
CERTIFIED BY FMPC: June 18, 2026
PUBLIC HEARING: _____
PUBLISHED IN: _____
DATE: _____
1ST READING: _____
2ND READING: _____
PUBLISHED IN: _____
DATE: _____

AN ORDINANCE AMENDING THE ZONING ORDINANCE OF THE TOWN OF FARRAGUT, TENNESSEE, ORDINANCE 86-16, AS AMENDED, PURSUANT TO SECTION 13-4-201, TENNESSEE CODE ANNOTATED.

BE IT ORDAINED by the Board of Mayor and Aldermen of the Town of Farragut, Tennessee, that the Farragut Zoning Ordinance, Ordinance 86-16, as amended, is hereby amended as follows:

SECTION 1.

The Farragut Zoning Ordinance, Ordinance 86-16, as amended, is hereby amended by rezoning a portion of the property located at 817 Virtue Road from S-1 (Community Service) and Agricultural (A) to R-1 (Rural Single-Family Residential) (See Exhibit A).

SECTION 2.

This ordinance shall take effect from and after its final passage and publication, the public welfare requiring it.

 Ron Williams, Mayor

 Hailey Russell, Town Recorder

Certified to the Farragut Board of Mayor and Aldermen this ____ day of _____, 2026, with approval recommended by the Farragut Municipal Planning Commission (FMPC).

 Ron Pinchok, Chairman












 Shannon Preston, Secretary

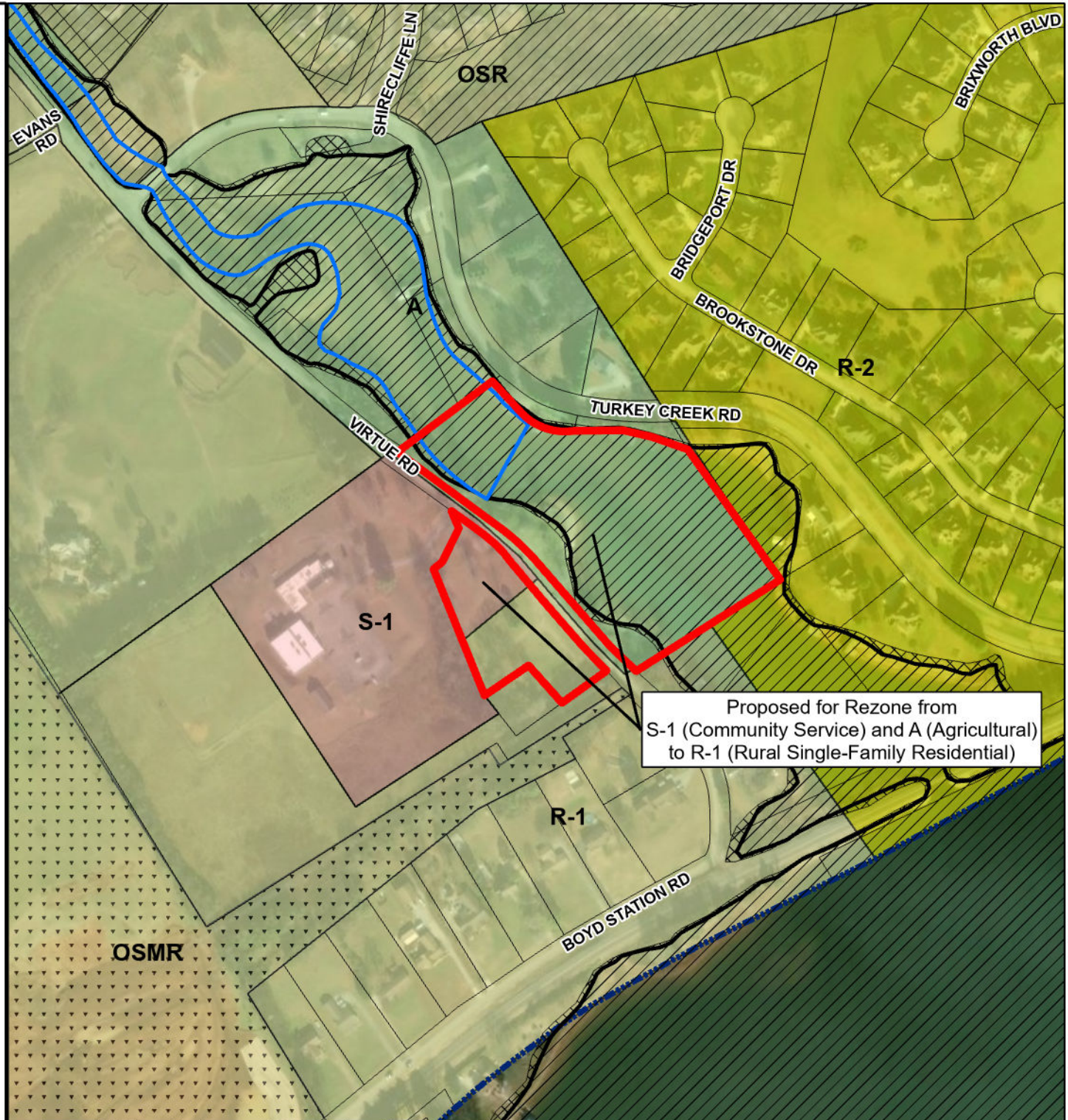
Exhibit A Ordinance 26-13

Rezone of 817 Virtue Road
Parcel 054, Tax Map 162

Proposed for Rezone from
S-1 (Community Service) and A (Agricultural)
to R-1 (Rural Single-Family Residential)

Legend

-  Floodway
-  100 year Flood Zone
-  500 year Flood Zone
-  Parcels
-  Subject Area
-  A, Agricultural
-  S-1, Community Service
-  R-1, Rural Single-Family Residential
-  R-2, General Single-Family Residential
-  R-1/OSR, Open Space Residential Overlay
-  R-1/OSMR, Open Space Mixed Residential Overlay



Proposed for Rezone from
S-1 (Community Service) and A (Agricultural)
to R-1 (Rural Single-Family Residential)



1:4,200

REPORT TO THE MUNICIPAL PLANNING COMMISSION

Prepared By: Mark Shipley, Community Development Director

Subject: Discussion and public hearing on a final plat for Phase 2, Unit 2 of the Grove at Boyd Station Subdivision, 15.86 Acres, 32 Lots, Zoned R-1/OSMR (Lynch Surveys, LLC., Applicant)

Introduction & Background: This agenda item includes a final plat for the next phase of the Grove at Boyd Station.

Discussion & Recommendations: This phase includes 32 house lots and two open space lots on 15.86 acres. The staff conducted a site inspection on June 8 and found the site to be ready for final plat consideration. The staff recommends approval of the final plat subject to the following conditions:

1. Providing a completion letter of credit in a dollar amount to be determined by the Town Engineer to cover surface course, sidewalks, and streetscaping.
2. Providing a maintenance letter of credit in a dollar amount to be determined by the Town Engineer to cover streets, pedestrian facilities, stormwater, and streetscaping.
3. Correcting Note #13 regarding an open space lot that is referenced but is not part of this unit.

Recommended By: Mark Shipley, Community Development Director

Proposed Motion: To approve the final plat subject to the following conditions:

1. Providing a completion letter of credit in a dollar amount to be determined by the Town Engineer to cover surface course, sidewalks, and streetscaping.
2. Providing a maintenance letter of credit in a dollar amount to be determined by the Town Engineer to cover streets,

- pedestrian facilities, stormwater, and streetscaping.
3. Correcting Note #13 regarding an open space lot that is referenced but is not part of this unit.

TOTAL AREA (THIS PHASE)
691,029 sq.ft.
15.86 Acres

TOTAL BUILDING LOTS THIS PHASE: 32

OPEN SPACE REQUIRED: 0.35 x 15.86 = 5.55 ACRES
OPEN SPACE THIS PHASE: 4.79 ACRES

PHASE 1 UNIT 1
AREA: 6.87 AC.
OPEN SPACE REQUIRED: 2.40 AC.
OPEN SPACE PROVIDED: 1.84 AC.

PHASE 2 UNIT 1
AREA: 16.15 AC.
OPEN SPACE REQUIRED: 5.65 AC.
OPEN SPACE PROVIDED: 5.69 AC.

PHASE 1 UNIT 2
AREA: 23.73 AC.
OPEN SPACE REQUIRED: 8.30 AC.
OPEN SPACE PROVIDED: 10.12 AC.

PHASE 2 UNIT 2
AREA: 13.86 AC.
OPEN SPACE REQUIRED: 5.55 AC.
OPEN SPACE PROVIDED: 4.79 AC.

PHASE 1 UNIT 3
AREA: 27.43 AC.
OPEN SPACE REQUIRED: 9.67 AC.
OPEN SPACE PROVIDED: 13.31 AC.

TOTAL AREA PHASE 1 AND PHASE 2
80 PAR: 90.24 AC.
OPEN SPACE REQUIRED: 31.58 AC.
OPEN SPACE PROVIDED: 35.75 AC.

Certificate of Approval of Sewer System

I hereby certify that it has been certified to us that the sewer systems outlined or indicated on the final subdivision plat entitled GROVE AT BOYD STATION PHASE 2 UNIT 2 have been installed in accordance with current local and state government requirements.

DATE: _____

FIRST UTILITY DISTRICT: _____

CERTIFICATION OF BONDING FOR REQUIRED IMPROVEMENTS

I certify that a security bond in the amount of \$ _____ has been posted with the Planning Commission to assure the completion of streets, sidewalks, utilities, and other required improvements.

Date: _____

Town Engineer: _____

License No.: _____

CERTIFICATE OF APPROVAL OF STREET NAMES

This is to certify that the subdivision shown hereon has been reviewed for compliance with the Knox County Uniform Street Naming & Addressing System Ordinance, and the road names are hereby approved for recording.

Knox County Addressing Division

Date: _____

Certificate of Electric, Gas and Telephone Availability

This is to certify that every lot within this subdivision has available to it a source for the service identified by signature(s) below which service source is adequate to accommodate the reasonable needs of such lot or to such service with such subdivision.

Gas (KUB): _____

Date: _____

Electric (LUCB): _____

Date: _____

Telephone (TDS): _____

Date: _____

CERTIFICATE OF APPROVAL OF WATER SYSTEM

I hereby certify that it has been certified to us that the water system(s) outlined or indicated on the final subdivision plat entitled GROVE AT BOYD STATION PHASE 2 UNIT 2 have been installed in accordance with current local and state government requirements.

Name, Title, and Agency of Authorized Approving Agent: _____

Date: _____

CERTIFICATION OF COMMON AREAS DEDICATION

As owner, in recording this plat I have designated certain areas of land shown hereon as common areas intended for use by the homeowners within GROVE AT BOYD STATION PHASE 2 UNIT 2 for recreation and related activities. The above described areas are not dedicated for use by the general public, but are dedicated to the common use of the homeowners within the named subdivision.

"Declaration of Covenants and Restrictions," applicable to the above named subdivision, is hereby incorporated and made a part of this plat.

Date/ Owner: _____

BEFORE YOU DIG STOP
CALL 1-800-351-1111
TENNESSEE ONE CALL
IT'S THE LAW

GRAPHIC SCALE

0 40 80 160 320
(IN FEET)
1 inch = 80 ft.

Certificate of Approval for Recording

I hereby certify that the subdivision plat shown here has been found to comply with the subdivision regulations for Farragut, Tennessee, with the exception of such variances, if any, as are noted in the minutes of the planning commission and that it has been approved for recording in the office of the county register of deeds.

Town Engineer: _____

License No.: _____

Date: _____

Date/ Secretary, Planning Commission: _____

CERTIFICATE FOR STREET APPROVAL

I certify that streets, sidewalks, and other required improvements have been installed in an acceptable manner and according to Town specifications, or that a security bond in the amount of \$ _____ has been posted with the Planning Commission to assure completion of all required improvements in case of default. Streets are public streets maintained at public expense.

Town Engineer: _____

License No.: _____

Date: _____

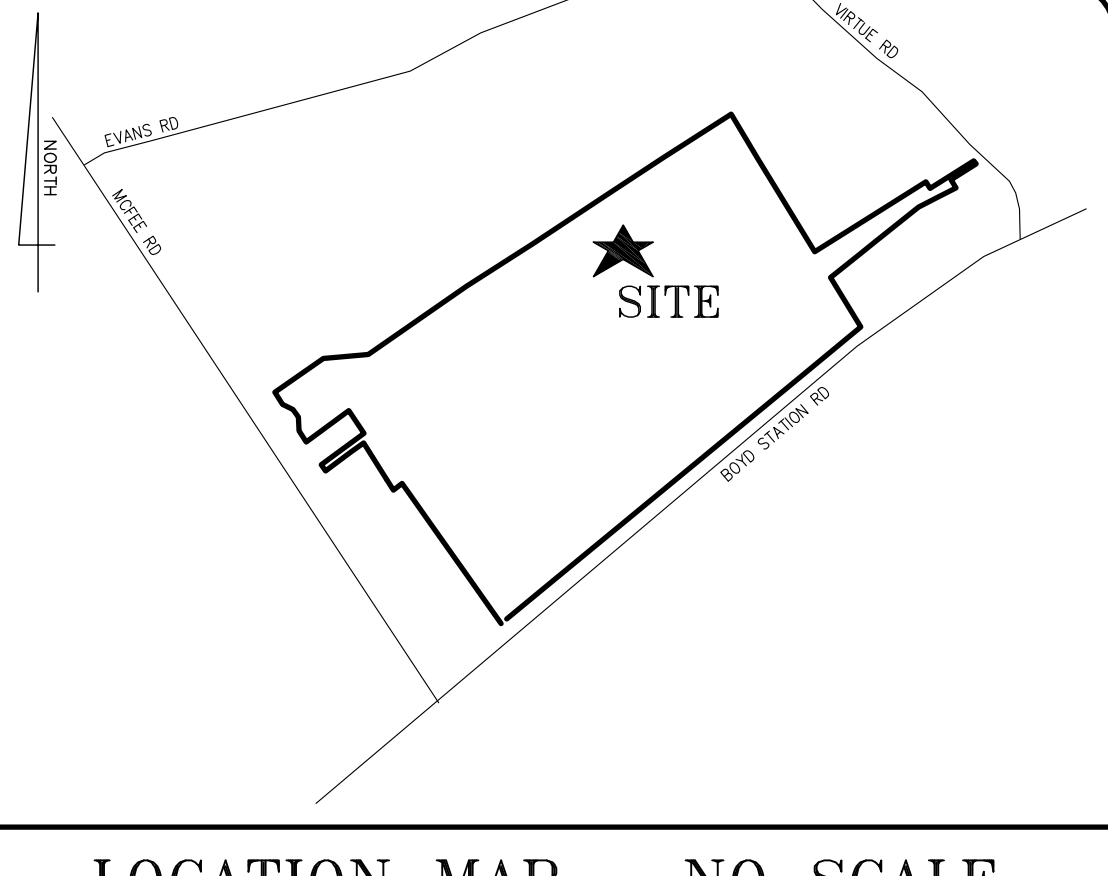
Property owners are responsible for maintenance of stormwater facilities. The covenant for maintenance of stormwater facilities is recorded as instrument # _____.

CERTIFICATE OF OWNERSHIP AND DEDICATION

I (we) hereby certify that I am (we are) the owner(s) of the property shown and described hereon as evidenced in Book Number _____, page _____, County Registers Office, and that I (we) hereby adopt this plan of subdivision with my (our) free consent, establish the minimum building restriction lines, and dedicate all streets, alleys, walks, parks, and other open space to public or private use as noted.

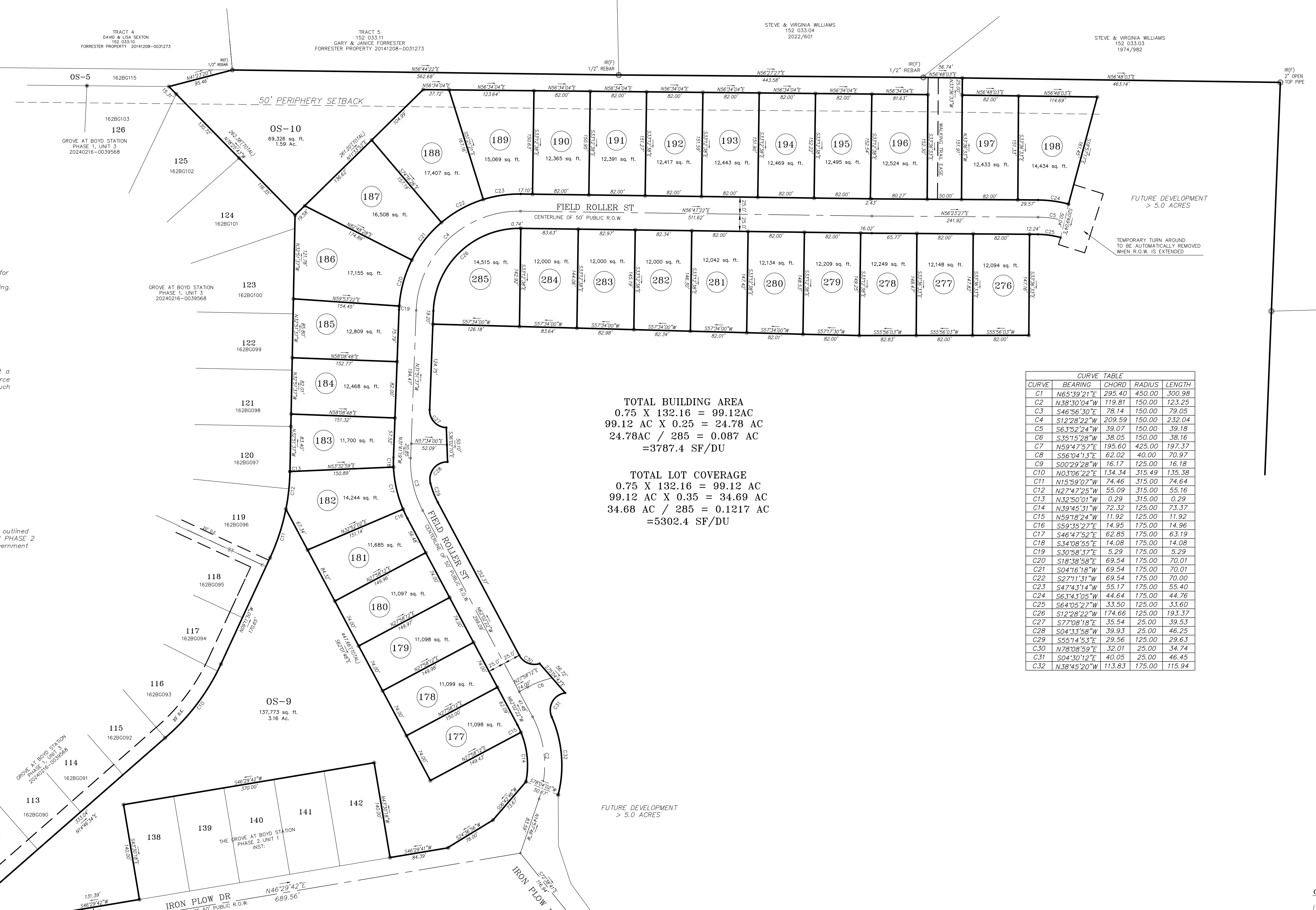
Owner: _____

Date: _____



LOCATION MAP NO SCALE

- IRON PINS SET AT ALL CORNERS, BY THIS SURVEY, UNLESS OTHERWISE NOTED. ALL NEW PROPERTY MONUMENTS ARE 1/2" x 18" REBAR IRON PINS WITH PLASTIC CAP STAMPED "LYNCH 2447".
- CLT TAX MAP 162 PARCELS: PART OF 050.
- DEED REFERENCES - 050 - 20210729-0007927
PLAT REFERENCE - SCHUBERT FAMILY LIMITED PARTNERSHIP
20210325-0078400
GROVE AT BOYD STATION PHASE 1
20220830-0013957
GROVE AT BOYD STATION PHASE 1, UNIT 2
20230110-0039136
GROVE AT BOYD STATION PHASE 1, UNIT 3
20240216-0039568
- THIS PROPERTY IS ZONED: FAR: R-1 OSMR
BUILDING SETBACKS FOR (R1, OSMR) ZONING ARE AS FOLLOWS:
FRONT YARD: 20 FEET
FRONT FACING GARAGE: 30 FEET
SIDE YARD: (MINIMUM OF 20 FEET BETWEEN BUILDINGS) 10 FEET UNLESS SHOWN OTHERWISE.
REAR: 25 FEET
PERIPHERY PROPERTY LINE: 50 FEET
- THIS PROPERTY DOES NOT LIE WITHIN A 100/500 YEAR FLOOD ZONE PER FIRM FLOOD INSURANCE RATE MAP NUMBER: 47093C0356F
EFFECTIVE DATE: MAY 02, 2007.
- NORTH ROTATION: NAD83(2011).
- ALL WALKING TRAILS SHALL HAVE A 20' EASEMENT IN FAVOR OF THE TOWN OF FARRAGUT AND ARE RESERVED FOR PUBLIC USE. UPON COMPLETION OF CONSTRUCTION OF WALKING TRAILS, AND THE EXPIRATION OF THE TWO YEAR MAINTENANCE LETTER OF CREDIT, THE TOWN OF FARRAGUT SHALL ACCEPT MAINTENANCE AND LIABILITY OF USE OF SAID EASEMENTS.
- REFERENCE TO TDOT R.O.W. MAP FOR MCFEE ROAD LAST REVISED 03-18-2005 KNOX COUNTY PROJ 47956-3519-54 TOD PROJ. STP-M-4700(39)
- THE WATER AND SEWER LINES INSTALLED IN THIS SUBDIVISION AND/OR AS SHOWN HEREON SHALL HAVE A 15-FOOT-WIDE EASEMENT, ON CENTER, SUBJECT TO THE RESTRICTIONS AND CONDITIONS OF RECORD PER INSTRUMENT #200908100011396 ON FILE AT THE KNOX COUNTY REGISTER OF DEEDS OFFICE. THE FULL EXTENT OF ALL SAID WATER AND SEWER LINE EASEMENTS ARE EITHER LOCATED WHOLLY WITHIN THE PLATTED ROAD RIGHTS-OF-WAY AND/OR NOTED STANDARD LOT LINE UTILITY AND DRAINAGE EASEMENTS, OR WHERE NOT LOCATED WHOLLY WITHIN, ARE SHOWN SEPARATELY ON THIS PLAT.
- PLAT REFERENCE: 202103250078400 - SEE PRIOR RECORDED PLAT FOR ADDITIONAL NOTES.
- STANDARD EASEMENTS NOTE: A FIVE (5) FOOT UTILITY, DRAINAGE, AND CONSTRUCTION EASEMENT ON EACH SIDE OF INTERIOR LOT LINES EXIST, AND A TEN (10) FOOT UTILITY, DRAINAGE, AND CONSTRUCTION EASEMENT EXISTS ON INSIDE OF ROAD RIGHTS-OF-WAYS AND EXTERIOR LOT LINES.
- LOTS OS-9 AND OS-10 ARE COMMON AREA / OPEN SPACE LOTS WHICH ARE TO BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION. LOT OS-9 SHALL BE FOR LANDSCAPING, WALKING TRAIL. A GENERAL OPEN SPACE LOT. LOT OS-7 SHALL BE OPEN SPACE, LANDSCAPING, AND BUFFER AREA.
- 20' DRAINAGE EASEMENT 10' ON EACH SIDE OF ALL DRAINAGE PIPES AND CENTERLINE OF SWALES AS CONSTRUCTED.



TOTAL BUILDING AREA
0.75 X 132.16 = 99.12AC
99.12 AC X 0.25 = 24.78 AC
24.78AC / 285 = 0.087 AC
=3787.4 SF/DU

TOTAL LOT COVERAGE
0.75 X 132.16 = 99.12 AC
99.12 AC X 0.35 = 34.69 AC
34.68 AC / 285 = 0.1217 AC
=5302.4 SF/DU

CURVE TABLE

CURVE	BEARING	CHORD	RADIUS	LENGTH
C1	N65°39'21"E	295.40	450.00	300.98
C2	N38°30'04"W	119.81	150.00	123.25
C3	S46°56'30"E	78.14	150.00	79.05
C4	S12°28'22"W	209.59	150.00	232.04
C5	S63°52'24"W	39.07	150.00	39.18
C6	S35°15'28"W	38.05	150.00	38.16
C7	N59°42'52"E	195.60	425.00	197.37
C8	S56°04'13"E	62.02	40.00	70.97
C9	S00°29'28"W	16.17	125.00	16.18
C10	N03°06'22"E	134.34	315.49	135.38
C11	N15°59'07"W	74.46	315.00	74.64
C12	N27°42'25"W	55.09	315.00	55.16
C13	N32°50'01"W	0.29	315.00	0.29
C14	N39°45'31"W	72.32	125.00	73.37
C15	N59°18'24"W	11.92	125.00	11.92
C16	S59°35'27"E	14.95	175.00	14.96
C17	S46°42'52"E	62.85	175.00	63.19
C18	S34°08'55"E	14.08	175.00	14.08
C19	S30°58'37"E	5.29	175.00	5.29
C20	S18°38'58"E	69.54	175.00	70.01
C21	S04°16'18"W	69.54	175.00	70.01
C22	S27°11'31"W	69.54	175.00	70.00
C23	S47°41'14"W	55.17	175.00	55.40
C24	S63°43'05"W	44.64	175.00	44.76
C25	S64°05'27"W	33.50	125.00	33.60
C26	S12°28'22"W	174.66	125.00	193.37
C27	S77°08'18"E	35.54	25.00	39.53
C28	S04°33'58"W	39.93	25.00	46.25
C29	S55°14'53"E	29.56	125.00	29.63
C30	N78°08'59"E	32.01	25.00	34.74
C31	S04°30'12"E	40.05	25.00	46.45
C32	N38°45'20"W	113.83	175.00	115.94

LINE LEGEND

---	PERIPHERAL SETBACK
---	DRAINAGE EASEMENT
---	SANITARY SEWER EASEMENT
---	DETENTION EASEMENT
---	WATER LINE EASEMENT

SYMBOL LEGEND

○	IRON ROD (SIZE&TYPE)
●	IRON ROD SET

20' D.E. = 20' DRAINAGE EASEMENT
15' S.S.E. = 15' SANITARY SEWER EASEMENT
15' W.E. = 15' WATER LINE EASEMENT

Certification of Class and Accuracy of Survey

I HEREBY CERTIFY THAT THIS IS A CATEGORY "IV" SURVEY IN ACCORDANCE WITH THE TENNESSEE STANDARDS OF PRACTICE.
CERTIFICATE OF SURVEY ACCURACY

I hereby certify that the plan shown and described hereon is a true and correct survey to the accuracy required by the Farragut Municipal Planning Commission and that the monuments have been placed as shown hereon, to the specification of the Subdivision Regulations. This is a Category I Land Survey and the ratio of precision of the undistorted survey is equal to or greater than 1:10,000.

Date: _____

RYAN S. LYNCH
Registered Surveyor

No. 2447



LYNCH SURVEYS LLC
SUBDIVISIONS | AS-BUILTS | SITE DESIGN
4405 COSTER RD. KNOXVILLE, TENN. 37912
865-584-2630 FAX: 865-584-2801 WWW.LYNCHSURVEY.COM

	REVISIONS
DRAWN BY: M.STRANGE	1
CHECKED BY: R. LYNCH	1
APPROVED BY: R.S.L.	3
SCALE: 1"=80'	4
DATE: 03/05/2026	5
	6

HOMESTEAD LAND HOLDINGS, LLC
122 Perimeter Park Drive
Knoxville, Tennessee 37922
Phone 865-966-8700

GROVE AT BOYD STATION - PHASE 2 UNIT 2
CLT: 162 PART OF 050
Town of Farragut, Tennessee
District 6, Knox County, Tennessee

PROJECT NO.
4400-18

REPORT TO THE MUNICIPAL PLANNING COMMISSION

Prepared By: Mark Shipley, Community Development Director

Subject: Request for approval of a mostly aerial fiber installation for Charter/Spectrum along a section of Concord Road near 116 Concord Road (Mastec, Applicant)

Introduction & Background: This utility project is a mostly aerial extension of fiber cable for Charter/Spectrum from just south of Anchor Green Drive on the west side of Concord Road and then boring under Concord Road just south of TN Bank to end at 116 Concord Road.

Discussion & Recommendations: The proposed plan is included in the packet. The staff recommends approval subject to obtaining a right of way permit from the Town and coordinating the work with the Town's Engineering Department.

Recommended By: Mark Shipley, Community Development Director

Proposed Motion: To approve the fiber cable extension project subject to obtaining a right of way permit from the Town and coordinating the work with the Town's Engineering Department.

GENERAL NOTES/ADDENDUM NOTES

1. THE CONTRACTOR IS REQUIRED TO CONTACT THE APPROPRIATE UTILITY COMPANIES INVOLVED AND MAKE SATISFACTORY ARRANGEMENTS TO ADJUST THE UTILITIES IN CONFLICT WITH THE PROPOSED WORK PRIOR TO BEGINNING CONSTRUCTION.
2. THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL ENVIRONMENTAL REGULATIONS AND SHALL OBTAIN ALL NECESSARY FEDERAL, STATE, AND LOCAL ENVIRONMENTAL PERMITS, INCLUDING BUT NOT LIMITED TO, THOSE RELATED TO SEDIMENT CONTROL, STORMWATER, WETLAND, STREAMS, ENDANGERED SPECIES, AND HISTORICAL SITES.
3. TRENCHING, BORE PITS, AND/OR OTHER EXCAVATIONS SHALL NOT BE LEFT OPEN OR UNSAFE OVERNIGHT. THE CONTRACTOR SHALL COMPLY WITH ALL OSHA REQUIREMENTS AND PROVIDE A COMPETENT PERSON ON SITE TO SUPERVISE EXCAVATION AT ALL TIMES.
4. ALL FILL AREAS/BACKFILL SHALL BE COMPACTED TO 95% DENSITY IN ACCORDANCE WITH AASHTO T99 AS MODIFIED BY THE TDOT. ALL MATERIAL TO A DEPTH OF 8 INCHES BELOW THE FINISHED SURFACE OF THE SUBGRADE SHALL BE COMPACTED TO DENSITY EQUAL TO AT LEAST 100% OF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH AASHTO T99.
5. VEGETATIVE COVER SHALL BE ESTABLISHED ON ALL DISTURBED AREAS IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE DIVISION ROADSIDE ENVIRONMENTAL ENGINEER.
6. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE T.D.O.T. STANDARDS AND SPECIFICATIONS MANUALS.
7. ANY DRAINAGE STRUCTURE DISTURBED OR DAMAGED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AS DIRECTED BY THE DISTRICT ENGINEER.
8. ALL DRIVEWAYS ALTERED DURING CONSTRUCTION SHALL BE RETURNED TO A STATE COMPARABLE WITH THE CONDITION OF THE DRIVEWAYS PRIOR TO CONSTRUCTION.
9. RIGHT OF WAY MONUMENTS DISTURBED DURING CONSTRUCTION SHALL BE REFERENCED BY A REGISTERED LAND SURVEYOR AND RESET AFTER CONSTRUCTION.
10. PROPER TRAFFIC CONTROL DEVICES, SIGNS, ETC., SHALL BE INSTALLED TO ENSURE PUBLIC SAFETY IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND ANY SUPPLEMENTS THERETO AND TDOT ROADWAY STANDARD DRAWINGS.
11. ALL LANES OF TRAFFIC ARE TO BE OPEN DURING THE HOURS OF 6:00AM TO 9:00AM AND FROM 4:00PM TO 7:00PM MONDAY THRU FRIDAY. TWO WAY TRAFFIC WILL BE MAINTAINED AT ALL TIMES.
12. INGRESS AND EGRESS SHALL BE MAINTAINED TO ALL BUSINESSES AND DWELLINGS AFFECTED BY THE PROJECT.
13. ANY WORK REQUIRING EQUIPMENT OR PERSONNEL WITHIN 5' OF THE EDGE OF ANY TRAVEL LANE OF AN UNDIVIDED FACILITY AND WITHIN 10' OF THE EDGE OF ANY TRAVEL LANE OF A DIVIDED FACILITY SHALL REQUIRE A LANE CLOSURE WITH APPROPRIATE TAPERS.
14. NO PARKING OR MATERIAL STORAGE SHALL BE ALLOWED ALONG THE SHOULDERS OF ANY ROADWAY.
15. DURING NON-WORKING HOURS, EQUIPMENT SHALL BE REMOVED FROM THE RIGHT OF WAY.
16. ALL ROADWAY SIGNS THAT ARE REMOVED DUE TO CONSTRUCTION SHALL BE REINSTALLED AS SOON AS POSSIBLE.
17. EXCAVATION MATERIAL SHALL NOT BE PLACED ON THE PAVEMENT. DRAINAGE STRUCTURES SHALL NOT BE BLOCKED WITH EXCAVATION MATERIALS.
18. ALL MANHOLES, SPLICE BOXES AND OTHER APPURTENANCES WITHIN THE TDOT RIGHT OF WAY SHALL BE LOCATED AT/OUTSIDE THE RIGHT OF WAY LINE. MANHOLES AND/OR VAULTS SHALL NOT BE PLACED IN THE DITCH LINE, SIDE SLOPES OF THE DITCHES OR IN THE PAVEMENT.
19. ALL MANHOLES, SPLICE BOXES, AND/OR VAULTS WITHIN TDOT RIGHT OF WAY SHALL BE OF A PRE-APPROVED DESIGN.
20. PROPOSED TRAFFIC-BEARING MANHOLES AND VALVE COVERS SHALL BE FLUSH MOUNTED AND SHALL BE OF A TDOT APPROVED DESIGN FOR HS-20 LOADING.
21. ALL WORK TO BE PERFORMED IN STRICT ACCORDANCE WITH THE APPLICABLE CODES OR REQUIREMENTS OF ANY REGULATING GOVERNMENTAL AGENCY, DUKE ENERGY, AND THE RIGHT-OF-WAY GRANTOR.
22. LOCATIONS OF SOME OF THE PHYSICAL FEATURES WERE OBTAINED FROM DATED EVALUATION MAPS OR OTHER DRAWINGS AND MAY NOT SHOWN OR DEPICTED ON THESE DRAWINGS.
23. UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE RECORDS AND FIELD OBSERVATIONS BUT ARE NOT NECESSARILY EXACT. THEREFORE, UTILITY LOCATIONS WILL BE VERIFIED AT LEAST 100 FEET IN ADVANCE OF TRENCHING OR PLOWING, SO THAT CHANGES IN CABLE PLACEMENT CAN BE MADE IN THE EVENT OF CONFLICT.
24. ALL KNOWN BURIED OBSTRUCTIONS ARE SHOWN ON THE CONSTRUCTION DRAWINGS, ANY AND ALL OTHERS ENCOUNTERED ARE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE, PROTECT, AND REPAIR IF DAMAGED.
25. ANY AND ALL IMPROVEMENTS, SUCH AS ASPHALT OR CONCRETE PAVEMENT, CURBS, GUTTERS, WALKS, DRAINAGE DITCHES, EMBANKMENTS, SHRUBS, TREES, GRASS SOD, ETC., IF DAMAGED, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND RESTORED TO ORIGINAL CONDITION.
26. EQUIPMENT TYPES SPECIFIED HEREIN (IE: "BACKHOE, "SWAMP PLOW" ETC.) ARE SUGGESTIONS ONLY AND ARE NOT INTENDED AS REQUIREMENTS. CONTRACTOR WILL BE NOTIFIED AS TO EXPECTATIONS.
27. SHORING OF BORE PITS AND TRENCHES IN ACCORDANCE WITH OSHA REGULATIONS SHALL BE MANDATORY.
28. BURIED CABLE MARKERS WILL BE PLACED AT ALL UNDERGROUND UTILITY LOCATIONS AND ALL OTHER LOCATIONS IN ACCORDANCE WITH THE CONSTRUCTION DRAWINGS AND THE OUTSIDE PLANT HANDBOOK.
29. ALL CONDUIT WILL BE SDR 11 OR AS SPECIFIED.
30. UNDERGROUND CONDUIT WILL BE PLACED AT 48" MINIMUM COVER UNLESS SPECIFIED ON THE CONSTRUCTION DRAWINGS.

ADDENDUM NOTES



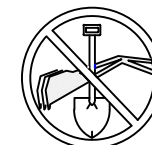
Tim Alexander
SIGNED, 1 MAY 2026
EXPIRES, 28 FEB 2027

BYERS ENGINEERING

PROJECT MANAGER: MICHELLE BRITTON
ENGINEERING FIRM: BYERS ENGINEERING
PROJECT: 1915396 OLT: 116 CONCORD RD
CITY/COUNTY/STATE:
FARRAGUT, KNOX, TN

DRAWING NAME: 116 CONCORD RD.dwg
SHEET: GENERAL NOTES

CONFIDENTIAL/PROPRIETARY

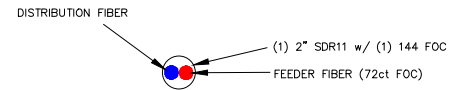


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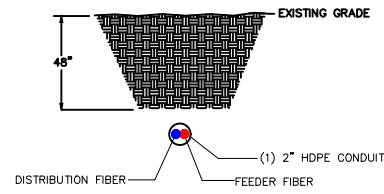


CONSTRUCTION DETAILS 1

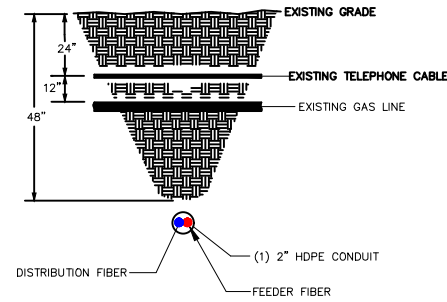
TYPICAL DETAIL "A"
CROSS SECTION OF PROPOSED HDPE



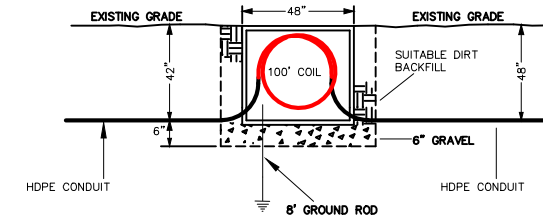
TYPICAL DETAIL "B"
DIRECTIONAL BORE CROSS SECTION FOR CONDUIT



TYPICAL DETAIL "C"
DIRECTIONAL BORE CROSS SECTION FOR CONDUIT PLACED BENEATH / PERPENDICULAR TO EXISTING UTILITIES

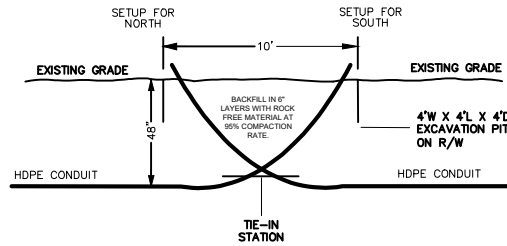


TYPICAL DETAIL "D"
HANDHOLE CONSTRUCTION DETAILS CONDUIT TO HANDHOLE PROFILE



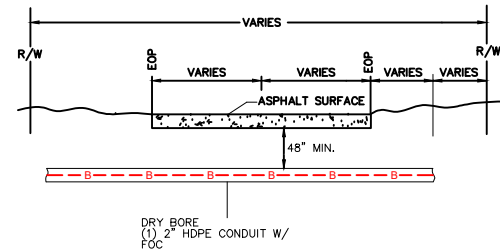
* ALL EXCAVATIONS OR TRENCHES 4 FEET OR GREATER IN DEPTH SHALL BE APPROPRIATELY BENCHED, SHORED, OR SLOPED ACCORDING TO THE PROCEDURES AND REQUIREMENTS SET FORTH IN OSHA'S EXCAVATION STANDARD, 29 CFR 1926.650, .651, and .652.

TYPICAL DETAIL "E"
DIRECTIONAL BORE TIE-IN DETAIL

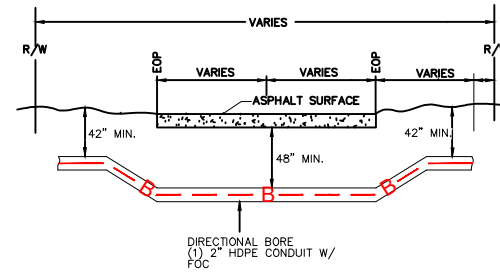


- * BORE FROM EACH DIRECTION IS RUN AT DESIGN DEPTH TO SOME POINT PAST THE INTENDED TIE-IN, THEN TURNED UP TO DAYLIGHT.
- * THE TIE-IN POINT IS EXCAVATED, PIPES CUT OFF WHERE THEY CROSS EACH OTHER AT DESIGN DEPTH, AND A COUPLER IS INSTALLED TO CONNECT THE TWO PIPES AT THE DESIGN DEPTH.
- * USE ALUMINUM HYDRAULIC PREP - ON BARBED RING COUPLER TO CONNECT PIPE
- * ALL EXCAVATIONS OR TRENCHES 4 FEET OR GREATER IN DEPTH SHALL BE APPROPRIATELY BENCHED, SHORED, OR SLOPED ACCORDING TO THE PROCEDURES AND REQUIREMENTS SET FORTH IN OSHA'S EXCAVATION STANDARD, 29 CFR 1926.650, .651, and .652.

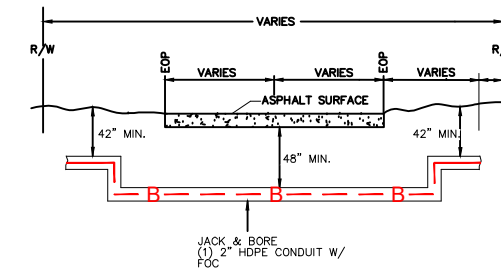
TYPICAL DETAIL "F"
CROSSING SECONDARY ROADWAY AND DRIVEWAY



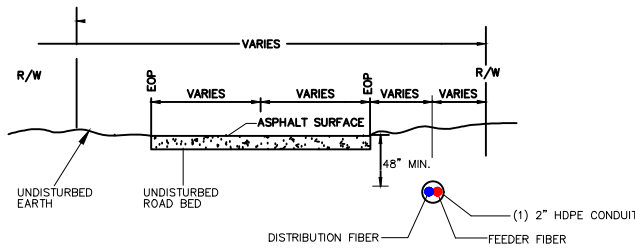
TYPICAL DETAIL "G"
CROSSING PRIMARY ROADWAY



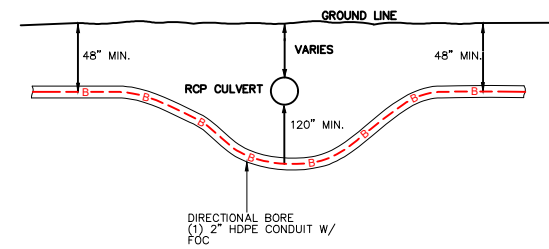
TYPICAL DETAIL "H"
CROSSING PRIMARY ROADWAY



TYPICAL DETAIL "I"
PARALLEL CONDUIT DETAIL FOR TDOT RIGHT OF WAY



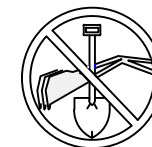
TYPICAL DETAIL "J"
CULVERT CROSSING DETAIL



Tim Alexander
SIGNED, 1 MAY 2026
EXPIRES, 28 FEB 2027

BYERS ENGINEERING

PROJECT MANAGER:	MICHELLE BRITTON
ENGINEERING FIRM:	BYERS ENGINEERING
PROJECT:	1915396 OLT: 116 CONCORD RD
CITY/COUNTY/STATE:	FARRAGUT, KNOX, TN
DRAWING NAME:	116 CONCORD RD.dwg
SHEET:	CONSTRUCTION DETAILS-1
CONFIDENTIAL/PROPRIETARY	



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CONSTRUCTION DETAILS 2

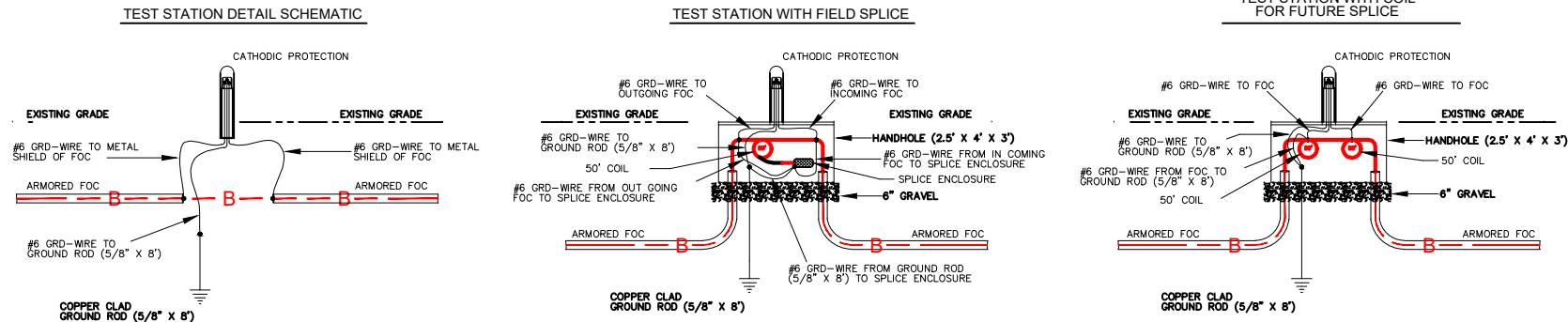
BONDING AND GROUNDING DETAILS

AERIAL NOTES:

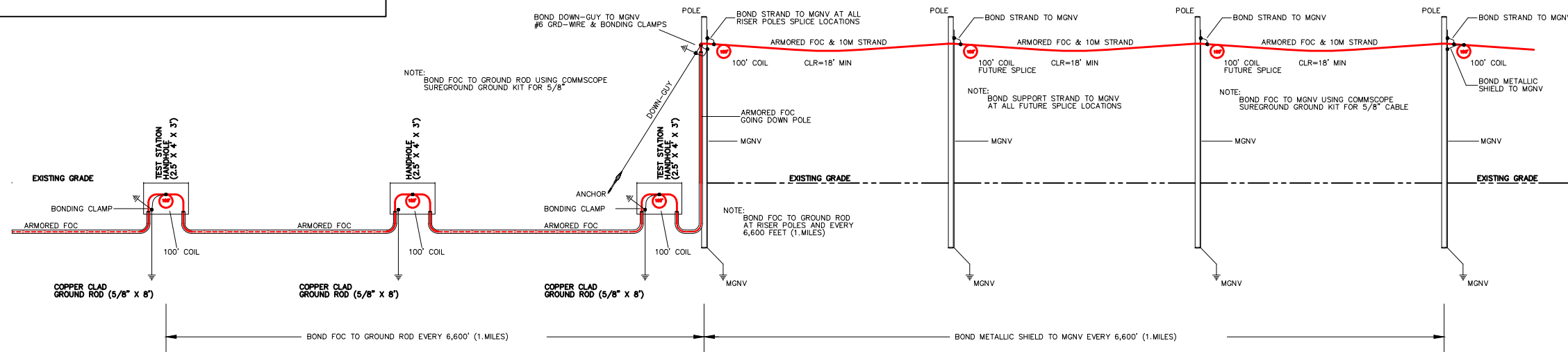
1. Establish and maintain continuity of all metallic components (strength member shield, moisture barrier, armor) across all aerial splices.
2. Bond metallic components to the support strand at all splice locations.
3. Bond support strand to pole NGNV at all riser poles, fiber loop (2,000') locations for future splice and fiber splice locations.
4. Place bonds between all metallic cable components and the support strand at least once every 1 1/4 miles (6,600 feet).

BURIED NOTES:

1. Establish and maintain continuity of all metallic sheath components and strength members in the cable and across all buried splices.
2. Bond metallic sheath components and strength members to 5/8" x 8' cooper clad ground rod at all buried splices.
3. Place 5/8" x 8' cooper clad ground rods at all handholes for future splicing and grounding.
4. Place bonds between all metallic cable components and cooper clad ground rods at least once every 1 1/4 miles (6,600 feet).
5. Place Cathodic Protection Test Station at all buried fiber cable splices and when bonding fiber metallic cable components to cooper clad ground rods every 1 1/4 miles.



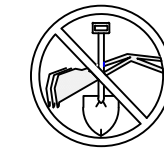
LAYOUT DETAIL



Tim Alexander
SIGNED, 1 MAY 2026
EXPIRES, 28 FEB 2027

BYERS ENGINEERING

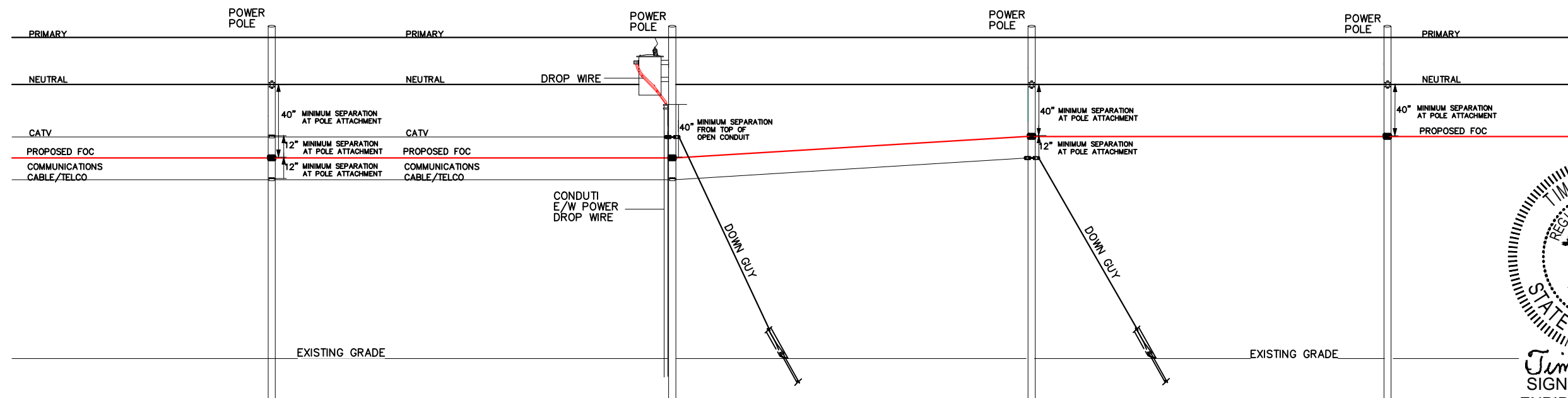
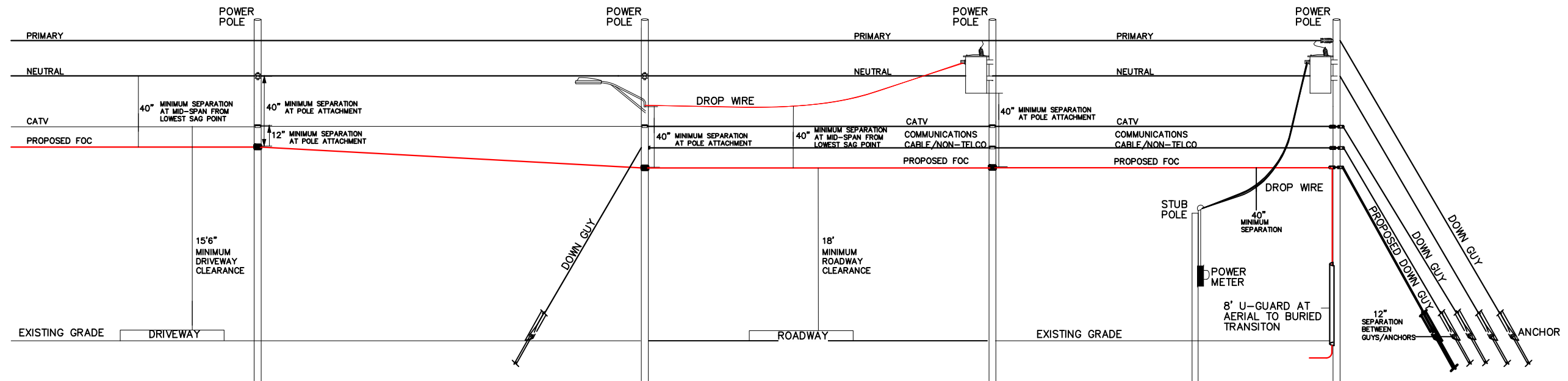
PROJECT MANAGER:	MICHELLE BRITTON
ENGINEERING FIRM:	BYERS ENGINEERING
PROJECT:	1915396 OLT: 116 CONCORD RD
CITY/COUNTY/STATE:	FARRAGUT, KNOX, TN
DRAWING NAME:	116 CONCORD RD.dwg
SHEET:	CONSTRUCTION DETAILS-2
CONFIDENTIAL/PROPRIETARY	



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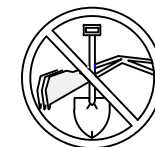
CONSTRUCTION DETAILS 3



Tim Alexander
 SIGNED, 1 MAY 2026
 EXPIRES, 28 FEB 2027

BYERS ENGINEERING

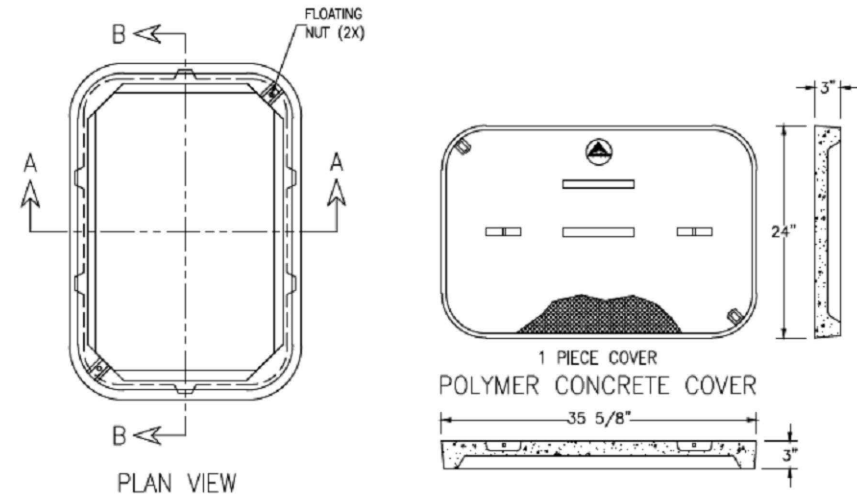
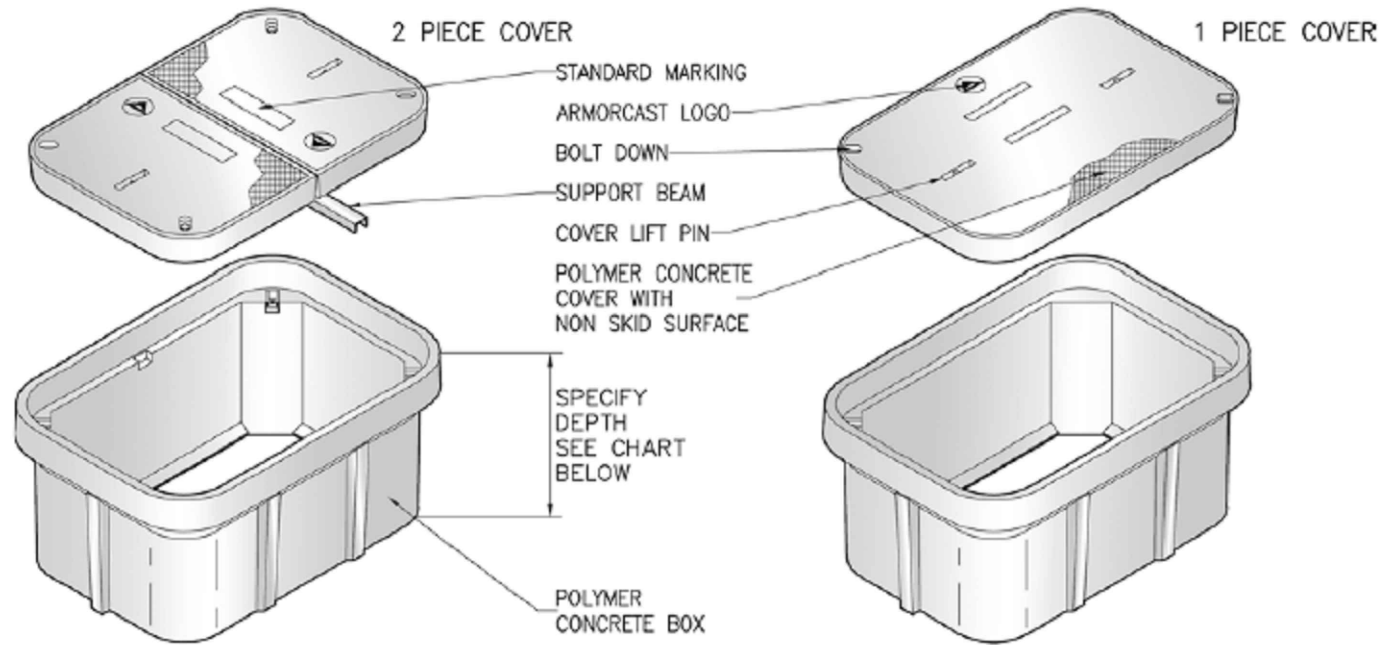
PROJECT MANAGER:	MICHELLE BRITTON
ENGINEERING FIRM:	BYERS ENGINEERING
PROJECT:	1915396 OLT: 116 CONCORD RD
CITY/COUNTY/STATE:	FARRAGUT, KNOX, TN
DRAWING NAME:	116 CONCORD RD.dwg
SHEET:	CONSTRUCTION DETAILS-3
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VAULT SPECIFICATIONS



24"W x 36"L BOX ASSEMBLIES Specify Depth Below

DESCRIPTION	NOMINAL SIZE W x L x D	LOAD RATING	ANSI TIER	PART NUMBER	APPROX. WEIGHT	PALLET QTY.
Box & Cover Assembly	24" x 36" x 12"	10K	8	A6001974APCX12	195 lbs.	8
	24" x 36" x 12"	20K	15 / 22	A6001974TAPCX12 / A6001974HDAPCX12	257 lbs.	8
Box & Cover Assembly	24" x 36" x 18"	10K	8	A6001974APCX18	231 lbs.	4
	24" x 36" x 18"	20K	15 / 22	A6001974TAPCX18 / A6001974HDAPCX18	293 lbs.	4
Box & Cover Assembly	24" x 36" x 24"	10K	8	A6001974APCX24	277 lbs.	2
	24" x 36" x 24"	20K	15 / 22	A6001974TAPCX24 / A6001974HDAPCX24	339 lbs.	2
Box & Cover Assembly	24" x 36" x 30"	10K	8	A6001974APCX30	302 lbs.	2
	24" x 36" x 30"	20K	15 / 22	A6001974TAPCX30 / A6001974HDAPCX30	364 lbs.	2
Box & Cover Assembly	24" x 36" x 36"	10K	8	A6001974APCX36	325 lbs.	2
	24" x 36" x 36"	20K	15 / 22	A6001974TAPCX36 / A6001974HDAPCX36	387 lbs.	2
Box & Cover Assembly	24" x 36" x 42"	10K	8	A6001974APCX42	369 lbs.	2
	24" x 36" x 42"	20K	15 / 22	A6001974TAPCX42 / A6001974HDAPCX42	431 lbs.	2

COMPONENTS

DESCRIPTION	NOMINAL SIZE W x L x D	LOAD RATING	ANSI TIER	PART NUMBER	APPROX. WEIGHT	PALLET QTY.
Replacement Covers	24" x 36" - 1 pc.	10K	8	A6001975	95 lbs.	20
	24" x 36" - 1 pc.	20K	15 / 22	A6001975T / A6001975HD	157 lbs.	20
Replacement Covers	24" x 36" - 2 pc.	10K	8	A6001978	54 lbs.	20
	24" x 36" - 2 pc.	20K	15 / 22	A6001978T / A6001978HD (2 pc. Req.)	54 lbs.	20
Replacement Boxes	24" x 36" x 12"	10K / 20K	22	A6001974PCX12	100 lbs.	8
	24" x 36" x 18"	10K / 20K	22	A6001974PCX18	136 lbs.	4
	24" x 36" x 24"	10K / 20K	22	A6001974PCX24	182 lbs.	2
	24" x 36" x 30"	10K / 20K	22	A6001974PCX30	207 lbs.	2
	24" x 36" x 36"	10K / 20K	22	A6001974PCX36	230 lbs.	2
	24" x 36" x 42"	10K / 20K	22	A6001974PCX42	274 lbs.	2



Tim Alexander
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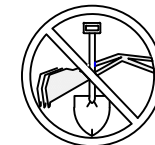
BYERS ENGINEERING

PROJECT MANAGER: MICHELLE BRITTON
ENGINEERING FIRM: BYERS ENGINEERING
PROJECT: 1915396 OLT: 116 CONCORD RD
CITY/COUNTY/STATE:
FARRAGUT, KNOX, TN

DRAWING NAME: 116 CONCORD RD.dwg

SHEET: VAULT SPEC

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LEGEND

SYMBOLS

- | | |
|-----------------------|---|
| Ⓢ SEWER | ▨ BORE PIT |
| Ⓜ MANHOLE | □ PROPOSED HH |
| Ⓦ WATER VAULT | □ EXISTING HH** |
| Ⓣ TELCO PED | 1-10M
12/27
3/4 DOWN GUY & ANCHOR |
| ⓔ ELECTRIC VAULT/BOX | 1-10M
12/25
3/4 SIDEWALK GUY & ANCHOR |
| Ⓜ FIRE HYDRANT | ⊗ POLE |
| □ XING SIGNAL | ⊕ AERIAL GROUND |
| ▬ DRAIN | ▲ PROPOSED SPLICE ARROW |
| Ⓢ UNKNOWN MH | Ⓢ MARKER POST |
| Ⓢ TREE | Ⓢ BURIED SLACK LOOP |
| — CULVERT | 100' AERIAL SLACK LOOP |
| ✱ LIGHT POLE | |
| Ⓢ EXISTING HH** | |
| 100' SPAN MEASUREMENT | |
| Ⓢ CABINET | |
| Ⓢ WATER METER/VALVE | |
| Ⓢ GAS METER/VALVE | |

LINESTYLES

- | | |
|-------------------|-----------------|
| — A — | AERIAL FOC |
| - - - B - - - | BURIED FOC |
| — · — · — · — | STRAND |
| — · — · — · — | OVERHEAD GUY |
| - - - | PLOW |
| - - - | FUTURE FEED FOC |
| — R/W — | RIGHT OF WAY |
| — □ — □ — □ — □ — | GUARD RAIL |
| — x — x — | FENCE |
| — ○ — ○ — ○ — ○ — | WALL |
| - - - - - | COUNTY BOUNDARY |
| | RR TRACKS |
| ○ ○ | OVERLASH |

- | | |
|---------|-----|
| — G — | G |
| — W — | W |
| — T — | T |
| — E — | E |
| — SEW — | SEW |
| — TV — | TV |
| — STM — | STM |
| — OIL — | OIL |

NOTES/LABELS

OWNER
TAG (CLASS-SIZE)
PWR 00'0"
CATV 00'0"
FOC 00'0"
UNK COM 00'0"

VAULT (00' EOP)
BORE PIT (4X4X4)
ROAD NAME (PRIVATE)
ROAD NAME (STATE #)
ROAD NAME (CITY)

DIRECTIONAL BORE 000'
(1) 2" HDPE EQUIPPED W/
(1) DIST. FOC

DIRECTIONAL BORE 000'
(1) 2" HDPE EQUIPPED W/
(1) DIST. FOC

← TO C.O.

DRIVEWAY



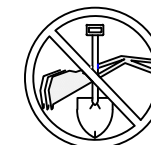
BUILDING



Tim Alexander
SIGNED, 1 MAY 2026
EXPIRES, 28 FEB 2027

BYERS ENGINEERING

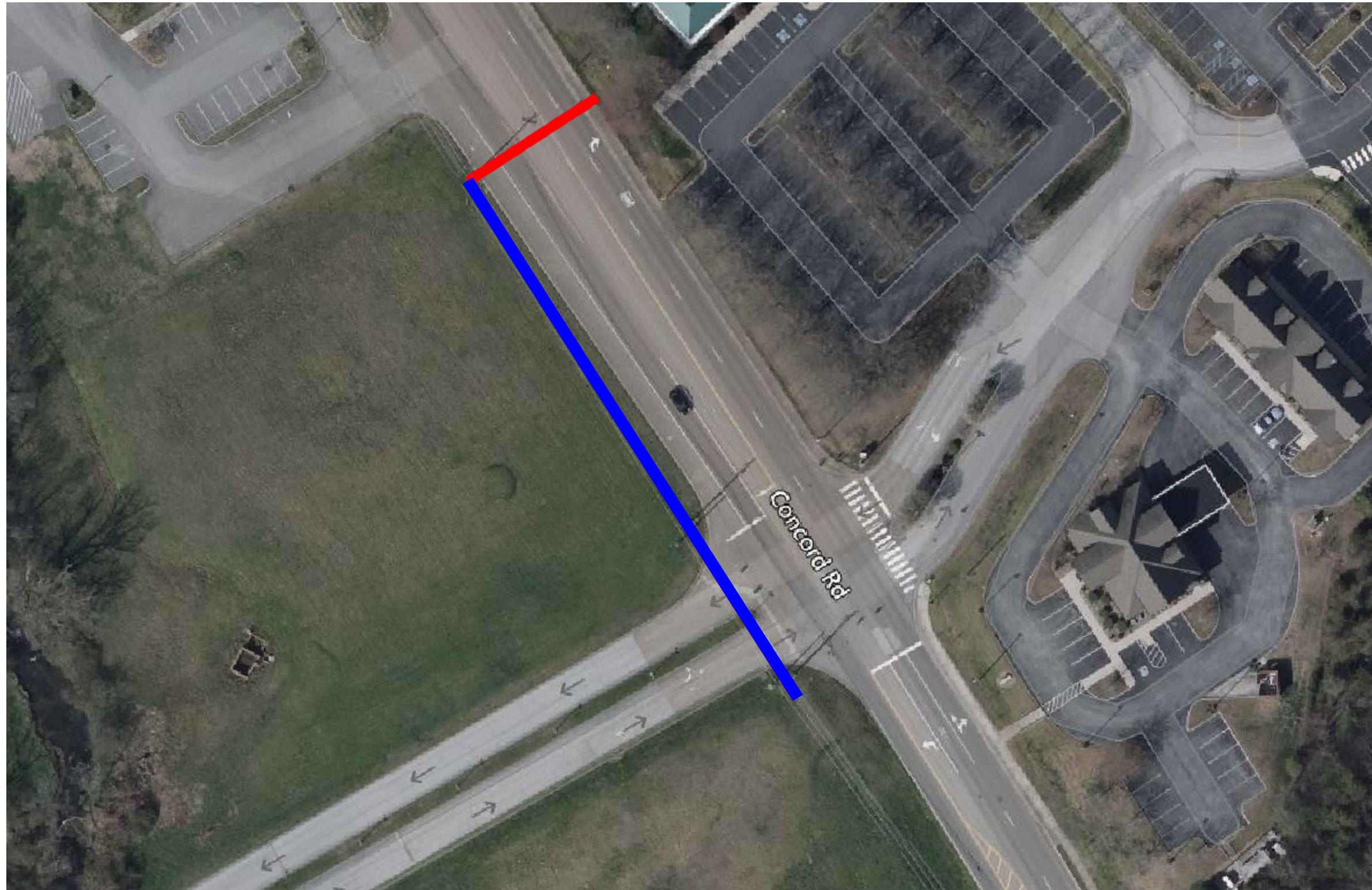
PROJECT MANAGER:	MICHELLE BRITTON
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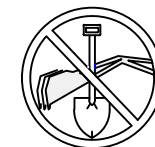
VICINITY MAP



Tim Alexander
 SIGNED: 1 MAY 2026
 EXPIRES: 28 FEB 2027

BYERS ENGINEERING

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SHEET:	VICINITY MAP
CONFIDENTIAL/PROPRIETARY	

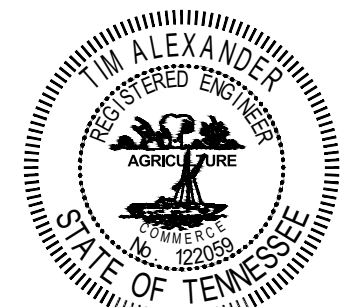


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BILL OF MATERIALS

TOTAL PLOW FOOTAGE	0	FEET
TOTAL DIRECTIONAL BORE FOOTAGE	82	FEET
TOTAL HDPE FOOTAGE	82	FEET
TOTAL 24X36X24 VAULTS	1	QTY
TOTAL AERIAL FOOTAGE	317	FEET



Tim Alexander
 SIGNED, 1 MAY 2026
 EXPIRES, 28 FEB 2027

BYERS ENGINEERING

PROJECT MANAGER: MICHELLE BRITTON
 ENGINEERING FIRM: BYERS ENGINEERING
 PROJECT: 1915396 OLT: 116 CONCORD RD
 CITY/COUNTY/STATE:
 FARRAGUT, KNOX, TN

DRAWING NAME: 116 CONCORD RD.dwg

SHEET: BILL OF MATERIALS

CONFIDENTIAL/PROPRIETARY

CONSTRUCTION NOTES

UNDERGROUND NOTES

ALL VAULTS, HANDHOLES, PEDESTALS, ETC. TO BE PLACED AT BACK OF DOT R/W.

ALL UNDERGROUND DRIVEWAY CROSSINGS WILL BE BORE ONLY

36" MINIMUM SEPARATION FROM DRAINAGE AND RCP

42" MINIMUM FLOW DEPTH
48" MINIMUM BORE DEPTH
120" BELOW PIPES

AERIAL NOTES

18' MINIMUM CLEARANCE HEIGHT OVER ALL ROADWAYS AND DRIVEWAYS AT LOWEST POINT OF SAG.

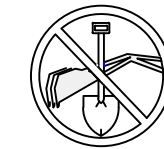
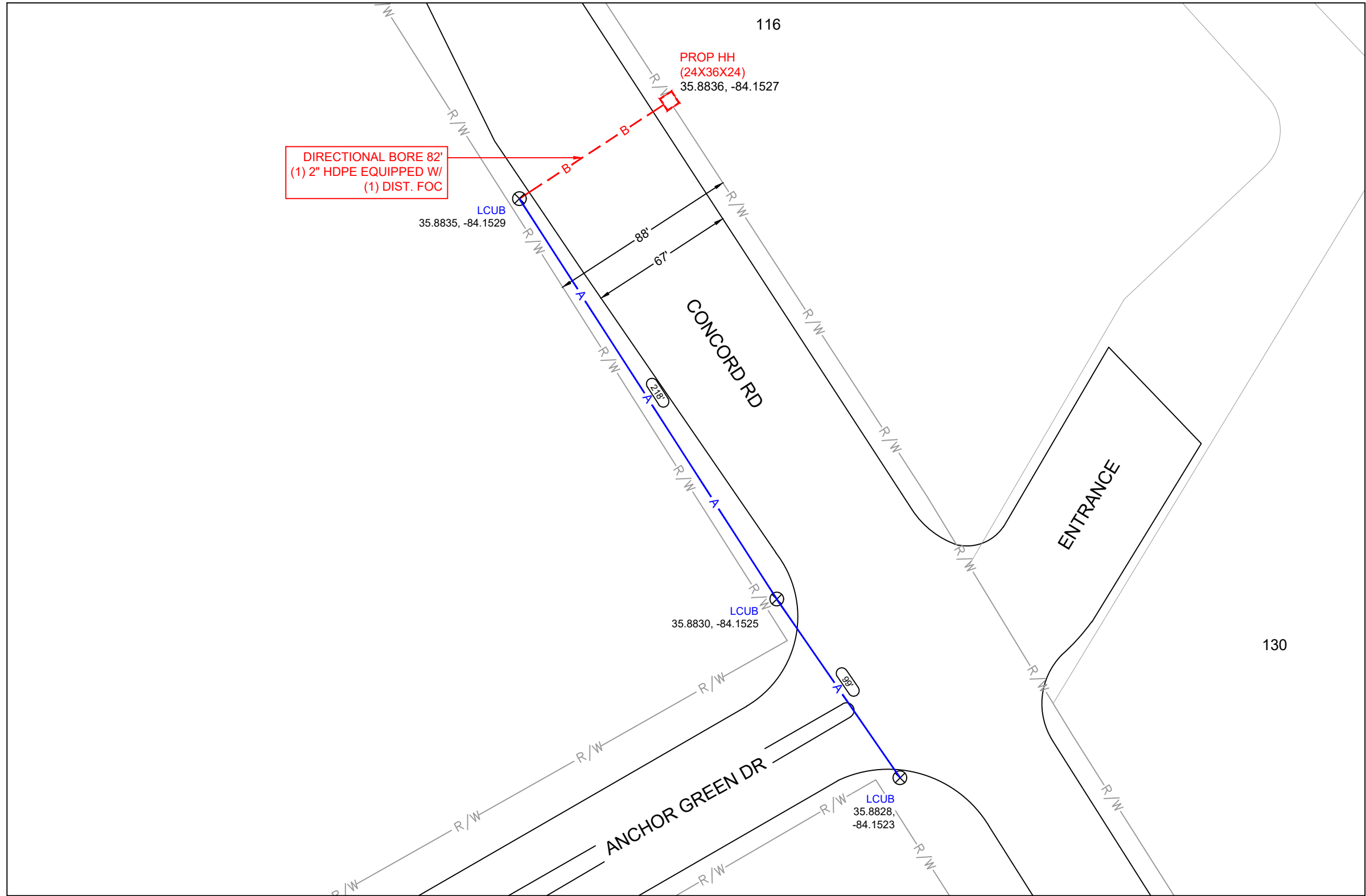
- NESC REQUIREMENTS**
- POWER TO COMM: 40" MINIMUM SEPARATION OF POWER AND COMMS
 - COMM TO COMM: 12" MINIMUM SEPARATION OF COMM LINES AT POINT OF ATTACHMENT, AND 6" MINIMUM SEPARATION AT MIDSPAN



Jim Alexander
SIGNED, 1 MAY 2026
EXPIRES, 28 FEB 2027
SCALE: 1"=50'

BYERS ENGINEERING

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SHEET:	1 OF 1
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REPORT TO THE MUNICIPAL PLANNING COMMISSION

Prepared By: Mark Shipley, Community Development Director

Subject: Request for approval of an aerial fiber installation for Charter/Spectrum along a section of N. Campbell Station Road and ending at 11656 Parkside Drive (Mastec, Applicant)

Introduction & Background: This fiber cable extension is along an existing aerial utility line system and begins on the south side of the Farragut Primary School access on the west side of N. Campbell Station Road and then extends to the north before crossing over N. Campbell Station Road to end at 11656 Parkside Drive. The plans are included in the packet.

Discussion & Recommendations: The staff recommends approval subject to obtaining a right of way permit from the Town and coordinating the work with the Town's Engineering Department.

Recommended By: Mark Shipley, Community Development Director

Proposed Motion: To approve the fiber cable extension project subject to obtaining a right of way permit from the Town and coordinating the work with the Town's Engineering Department.

GENERAL NOTES/ADDENDUM NOTES

1. THE CONTRACTOR IS REQUIRED TO CONTACT THE APPROPRIATE UTILITY COMPANIES INVOLVED AND MAKE SATISFACTORY ARRANGEMENTS TO ADJUST THE UTILITIES IN CONFLICT WITH THE PROPOSED WORK PRIOR TO BEGINNING CONSTRUCTION.
2. THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL ENVIRONMENTAL REGULATIONS AND SHALL OBTAIN ALL NECESSARY FEDERAL, STATE, AND LOCAL ENVIRONMENTAL PERMITS, INCLUDING BUT NOT LIMITED TO, THOSE RELATED TO SEDIMENT CONTROL, STORMWATER, WETLAND, STREAMS, ENDANGERED SPECIES, AND HISTORICAL SITES.
3. TRENCHING, BORE PITS, AND/OR OTHER EXCAVATIONS SHALL NOT BE LEFT OPEN OR UNSAFE OVERNIGHT. THE CONTRACTOR SHALL COMPLY WITH ALL OSHA REQUIREMENTS AND PROVIDE A COMPETENT PERSON ON SITE TO SUPERVISE EXCAVATION AT ALL TIMES.
4. ALL FILL AREAS/BACKFILL SHALL BE COMPACTED TO 95% DENSITY IN ACCORDANCE WITH AASHTO T99 AS MODIFIED BY THE TDOT. ALL MATERIAL TO A DEPTH OF 8 INCHES BELOW THE FINISHED SURFACE OF THE SUBGRADE SHALL BE COMPACTED TO DENSITY EQUAL TO AT LEAST 100% OF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH AASHTO T99.
5. VEGETATIVE COVER SHALL BE ESTABLISHED ON ALL DISTURBED AREAS IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE DIVISION ROADSIDE ENVIRONMENTAL ENGINEER.
6. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE T.D.O.T. STANDARDS AND SPECIFICATIONS MANUALS.
7. ANY DRAINAGE STRUCTURE DISTURBED OR DAMAGED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AS DIRECTED BY THE DISTRICT ENGINEER.
8. ALL DRIVEWAYS ALTERED DURING CONSTRUCTION SHALL BE RETURNED TO A STATE COMPARABLE WITH THE CONDITION OF THE DRIVEWAYS PRIOR TO CONSTRUCTION.
9. RIGHT OF WAY MONUMENTS DISTURBED DURING CONSTRUCTION SHALL BE REFERENCED BY A REGISTERED LAND SURVEYOR AND RESET AFTER CONSTRUCTION.
10. PROPER TRAFFIC CONTROL DEVICES, SIGNS, ETC., SHALL BE INSTALLED TO ENSURE PUBLIC SAFETY IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND ANY SUPPLEMENTS THERETO AND TDOT ROADWAY STANDARD DRAWINGS.
11. ALL LANES OF TRAFFIC ARE TO BE OPEN DURING THE HOURS OF 6:00AM TO 9:00AM AND FROM 4:00PM TO 7:00PM MONDAY THRU FRIDAY. TWO WAY TRAFFIC WILL BE MAINTAINED AT ALL TIMES.
12. INGRESS AND EGRESS SHALL BE MAINTAINED TO ALL BUSINESSES AND DWELLINGS AFFECTED BY THE PROJECT.
13. ANY WORK REQUIRING EQUIPMENT OR PERSONNEL WITHIN 5' OF THE EDGE OF ANY TRAVEL LANE OF AN UNDIVIDED FACILITY AND WITHIN 10' OF THE EDGE OF ANY TRAVEL LANE OF A DIVIDED FACILITY SHALL REQUIRE A LANE CLOSURE WITH APPROPRIATE TAPERS.
14. NO PARKING OR MATERIAL STORAGE SHALL BE ALLOWED ALONG THE SHOULDERS OF ANY ROADWAY.
15. DURING NON-WORKING HOURS, EQUIPMENT SHALL BE REMOVED FROM THE RIGHT OF WAY.
16. ALL ROADWAY SIGNS THAT ARE REMOVED DUE TO CONSTRUCTION SHALL BE REINSTALLED AS SOON AS POSSIBLE.
17. EXCAVATION MATERIAL SHALL NOT BE PLACED ON THE PAVEMENT. DRAINAGE STRUCTURES SHALL NOT BE BLOCKED WITH EXCAVATION MATERIALS.
18. ALL MANHOLES, SPLICE BOXES AND OTHER APPURTENANCES WITHIN THE TDOT RIGHT OF WAY SHALL BE LOCATED AT/OUTSIDE THE RIGHT OF WAY LINE. MANHOLES AND/OR VAULTS SHALL NOT BE PLACED IN THE DITCH LINE, SIDE SLOPES OF THE DITCHES OR IN THE PAVEMENT.
19. ALL MANHOLES, SPLICE BOXES, AND/OR VAULTS WITHIN TDOT RIGHT OF WAY SHALL BE OF A PRE-APPROVED DESIGN.
20. PROPOSED TRAFFIC-BEARING MANHOLES AND VALVE COVERS SHALL BE FLUSH MOUNTED AND SHALL BE OF A TDOT APPROVED DESIGN FOR HS-20 LOADING.
21. ALL WORK TO BE PERFORMED IN STRICT ACCORDANCE WITH THE APPLICABLE CODES OR REQUIREMENTS OF ANY REGULATING GOVERNMENTAL AGENCY, DUKE ENERGY, AND THE RIGHT-OF-WAY GRANTOR.
22. LOCATIONS OF SOME OF THE PHYSICAL FEATURES WERE OBTAINED FROM DATED EVALUATION MAPS OR OTHER DRAWINGS AND MAY NOT SHOWN OR DEPICTED ON THESE DRAWINGS.
23. UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE RECORDS AND FIELD OBSERVATIONS BUT ARE NOT NECESSARILY EXACT. THEREFORE, UTILITY LOCATIONS WILL BE VERIFIED AT LEAST 100 FEET IN ADVANCE OF TRENCHING OR PLOWING, SO THAT CHANGES IN CABLE PLACEMENT CAN BE MADE IN THE EVENT OF CONFLICT.
24. ALL KNOWN BURIED OBSTRUCTIONS ARE SHOWN ON THE CONSTRUCTION DRAWINGS, ANY AND ALL OTHERS ENCOUNTERED ARE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE, PROTECT, AND REPAIR IF DAMAGED.
25. ANY AND ALL IMPROVEMENTS, SUCH AS ASPHALT OR CONCRETE PAVEMENT, CURBS, GUTTERS, WALKS, DRAINAGE DITCHES, EMBANKMENTS, SHRUBS, TREES, GRASS SOD, ETC., IF DAMAGED, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND RESTORED TO ORIGINAL CONDITION.
26. EQUIPMENT TYPES SPECIFIED HEREIN (IE: "BACKHOE, "SWAMP PLOW" ETC.) ARE SUGGESTIONS ONLY AND ARE NOT INTENDED AS REQUIREMENTS. CONTRACTOR WILL BE NOTIFIED AS TO EXPECTATIONS.
27. SHORING OF BORE PITS AND TRENCHES IN ACCORDANCE WITH OSHA REGULATIONS SHALL BE MANDATORY.
28. BURIED CABLE MARKERS WILL BE PLACED AT ALL UNDERGROUND UTILITY LOCATIONS AND ALL OTHER LOCATIONS IN ACCORDANCE WITH THE CONSTRUCTION DRAWINGS AND THE OUTSIDE PLANT HANDBOOK.
29. ALL CONDUIT WILL BE SDR 11 OR AS SPECIFIED.
30. UNDERGROUND CONDUIT WILL BE PLACED AT 48" MINIMUM COVER UNLESS SPECIFIED ON THE CONSTRUCTION DRAWINGS.

ADDENDUM NOTES



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EXPIRES, 28 FEB 2027

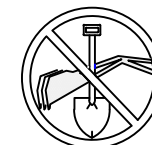
BYERS ENGINEERING

PROJECT MANAGER: MICHELLE BRITTON
ENGINEERING FIRM: BYERS ENGINEERING
PROJECT: 1915396 OLT: 11656 PARKSIDE DR
CITY/COUNTY/STATE:
FARRAGUT, KNOX, TN

DRAWING NAME: 11656 PARKSIDE DR.dwg

SHEET: GENERAL NOTES

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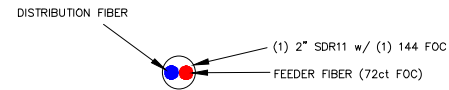


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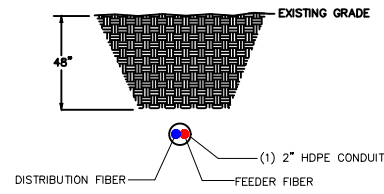


CONSTRUCTION DETAILS 1

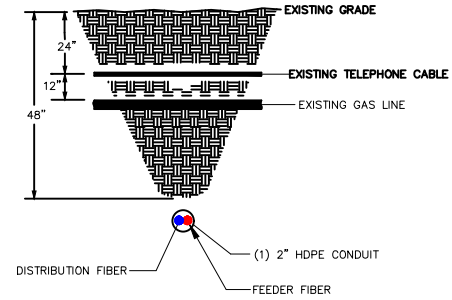
TYPICAL DETAIL "A"
CROSS SECTION OF PROPOSED HDPE



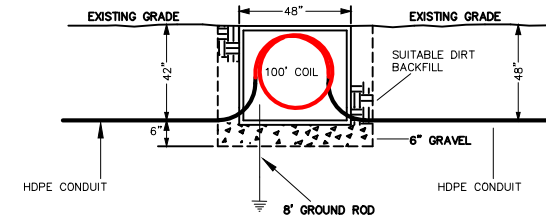
TYPICAL DETAIL "B"
DIRECTIONAL BORE CROSS SECTION FOR CONDUIT



TYPICAL DETAIL "C"
DIRECTIONAL BORE CROSS SECTION FOR CONDUIT PLACED BENEATH / PERPENDICULAR TO EXISTING UTILITIES

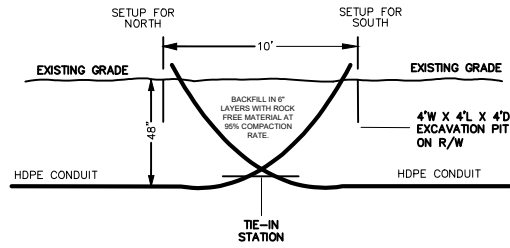


TYPICAL DETAIL "D"
HANDHOLE CONSTRUCTION DETAILS CONDUIT TO HANDHOLE PROFILE



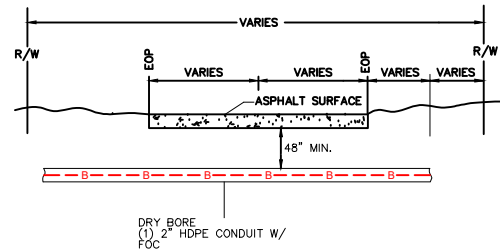
* ALL EXCAVATIONS OR TRENCHES 4 FEET OR GREATER IN DEPTH SHALL BE APPROPRIATELY BENCHED, SHORED, OR SLOPED ACCORDING TO THE PROCEDURES AND REQUIREMENTS SET FORTH IN OSHA'S EXCAVATION STANDARD, 29 CFR 1926.650, .651, and .652.

TYPICAL DETAIL "E"
DIRECTIONAL BORE TIE-IN DETAIL

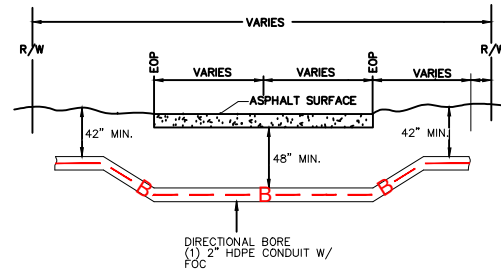


- * BORE FROM EACH DIRECTION IS RUN AT DESIGN DEPTH TO SOME POINT PAST THE INTENDED TIE-IN, THEN TURNED UP TO DAYLIGHT.
- * THE TIE-IN POINT IS EXCAVATED, PIPES CUT OFF WHERE THEY CROSS EACH OTHER AT DESIGN DEPTH, AND A COUPLER IS INSTALLED TO CONNECT THE TWO PIPES AT THE DESIGN DEPTH.
- * USE ALUMINUM HYDRAULIC PREP - ON BARBED RING COUPLER TO CONNECT PIPE
- * ALL EXCAVATIONS OR TRENCHES 4 FEET OR GREATER IN DEPTH SHALL BE APPROPRIATELY BENCHED, SHORED, OR SLOPED ACCORDING TO THE PROCEDURES AND REQUIREMENTS SET FORTH IN OSHA'S EXCAVATION STANDARD, 29 CFR 1926.650, .651, and .652.

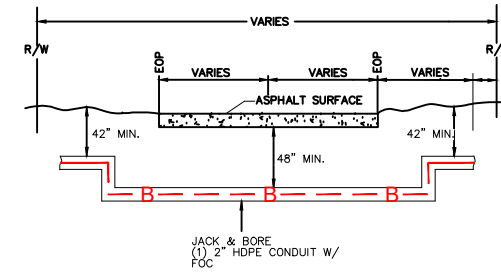
TYPICAL DETAIL "F"
CROSSING SECONDARY ROADWAY AND DRIVEWAY



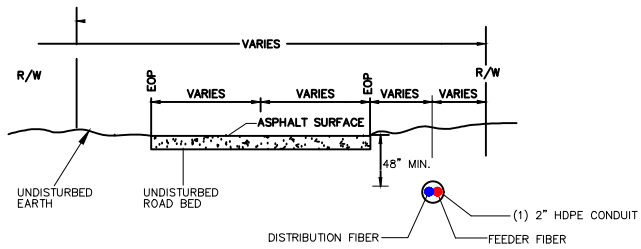
TYPICAL DETAIL "G"
CROSSING PRIMARY ROADWAY



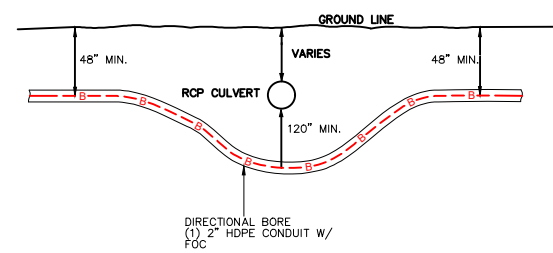
TYPICAL DETAIL "H"
CROSSING PRIMARY ROADWAY



TYPICAL DETAIL "I"
PARALLEL CONDUIT DETAIL FOR TDOT RIGHT OF WAY



TYPICAL DETAIL "J"
CULVERT CROSSING DETAIL



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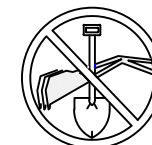
BYERS ENGINEERING

PROJECT MANAGER: MICHELLE BRITTON
ENGINEERING FIRM: BYERS ENGINEERING
PROJECT: 1915396 OLT: 11656 PARKSIDE DR
CITY/COUNTY/STATE:
FARRAGUT, KNOX, TN

DRAWING NAME: 11656 PARKSIDE DR.dwg

SHEET: CONSTRUCTION DETAILS-1

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CONSTRUCTION DETAILS 2

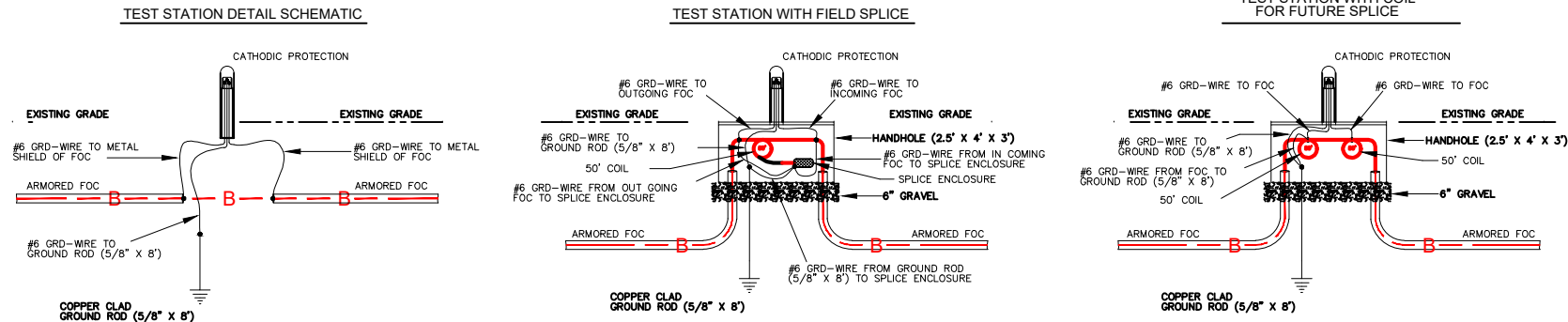
BONDING AND GROUNDING DETAILS

AERIAL NOTES:

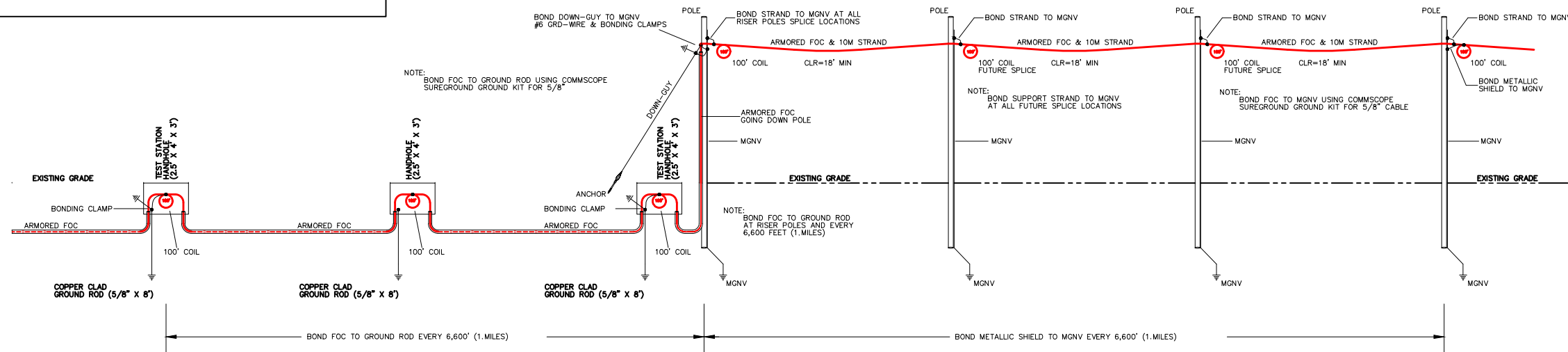
1. Establish and maintain continuity of all metallic components (strength member shield, moisture barrier, armor) across all aerial splices.
2. Bond metallic components to the support strand at all splice locations.
3. Bond support strand to pole NGNV at all riser poles, fiber loop (2,000') locations for future splice and fiber splice locations.
4. Place bonds between all metallic cable components and the support strand at least once every 1 1/4 miles (6,600 feet).

BURIED NOTES:

1. Establish and maintain continuity of all metallic sheath components and strength members in the cable and across all buried splices.
2. Bond metallic sheath components and strength members to 5/8" x 8' cooper clad ground rod at all buried splices.
3. Place 5/8" x 8' cooper clad ground rods at all handholes for future splicing and grounding.
4. Place bonds between all metallic cable components and cooper clad ground rods at least once every 1 1/4 miles (6,600 feet).
5. Place Cathodic Protection Test Station at all buried fiber cable splices and when bonding fiber metallic cable components to cooper clad ground rods every 1 1/4 miles.



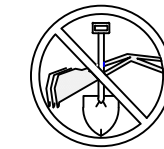
LAYOUT DETAIL



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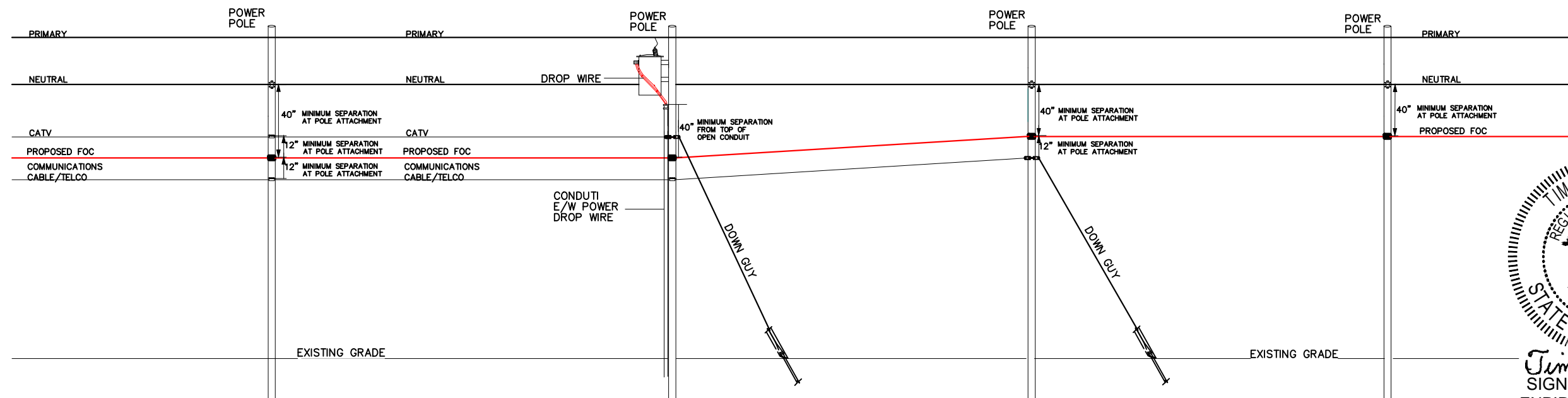
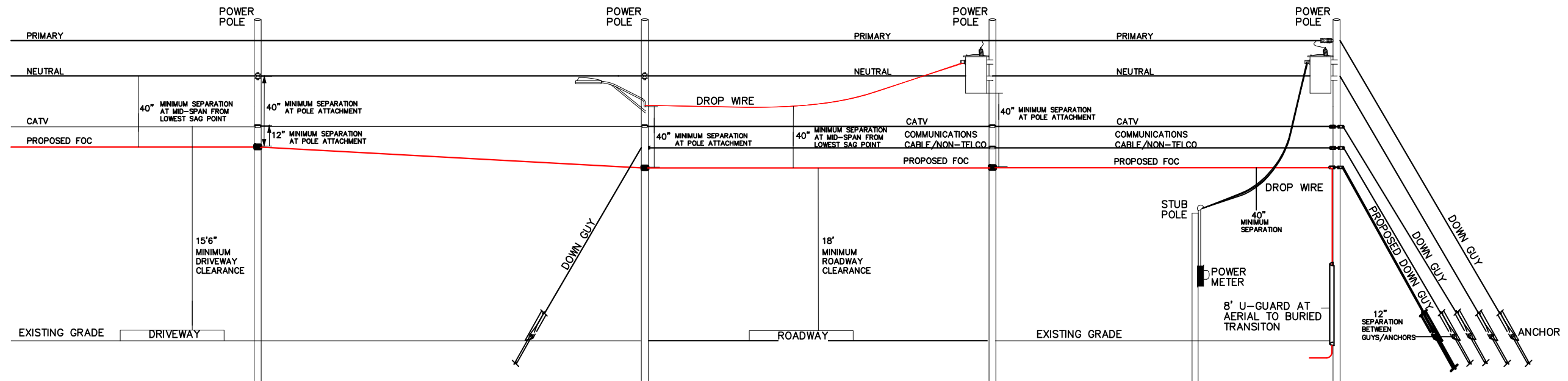
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PROJECT:	1915396 OLT: 11656 PARKSIDE DR
CITY/COUNTY/STATE:	FARRAGUT, KNOX, TN
DRAWING NAME:	11656 PARKSIDE DR.dwg
SHEET:	CONSTRUCTION DETAILS-2
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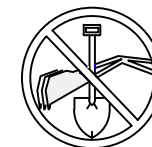
CONSTRUCTION DETAILS 3



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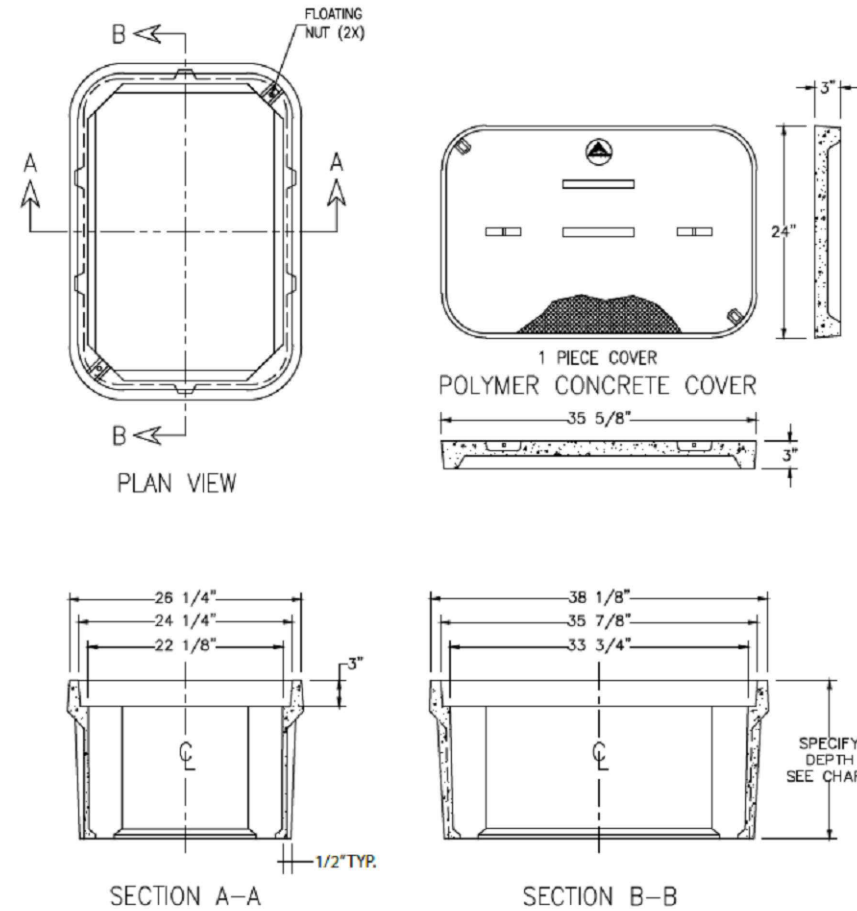
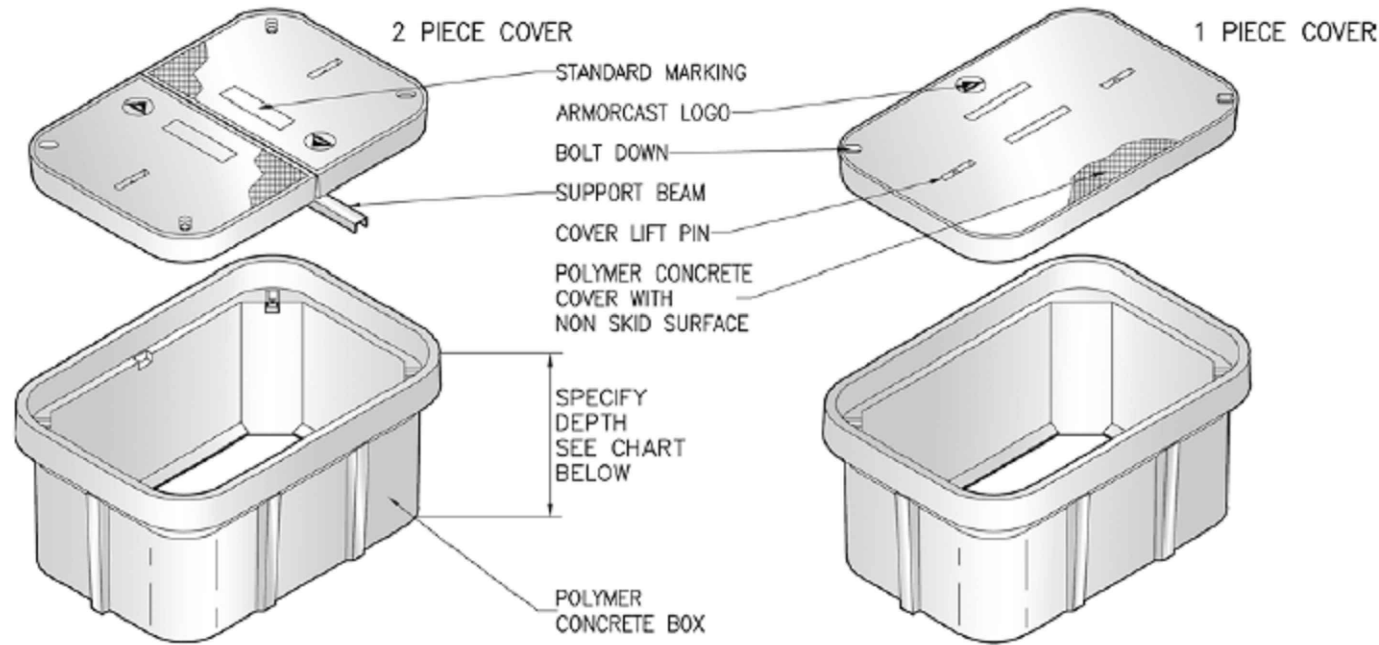
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VAULT SPECIFICATIONS

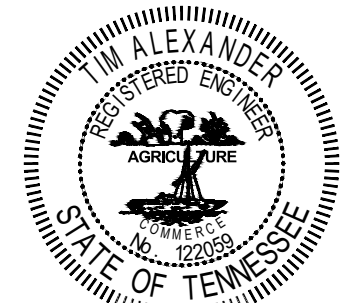


24"W x 36"L BOX ASSEMBLIES Specify Depth Below

DESCRIPTION	NOMINAL SIZE W x L x D	LOAD RATING	ANSI TIER	PART NUMBER	APPROX. WEIGHT	PALLET QTY.
Box & Cover Assembly	24" x 36" x 12"	10K	8	A6001974APCX12	195 lbs.	8
	24" x 36" x 12"	20K	15 / 22	A6001974TAPCX12 / A6001974HDAPCX12	257 lbs.	8
Box & Cover Assembly	24" x 36" x 18"	10K	8	A6001974APCX18	231 lbs.	4
	24" x 36" x 18"	20K	15 / 22	A6001974TAPCX18 / A6001974HDAPCX18	293 lbs.	4
Box & Cover Assembly	24" x 36" x 24"	10K	8	A6001974APCX24	277 lbs.	2
	24" x 36" x 24"	20K	15 / 22	A6001974TAPCX24 / A6001974HDAPCX24	339 lbs.	2
Box & Cover Assembly	24" x 36" x 30"	10K	8	A6001974APCX30	302 lbs.	2
	24" x 36" x 30"	20K	15 / 22	A6001974TAPCX30 / A6001974HDAPCX30	364 lbs.	2
Box & Cover Assembly	24" x 36" x 36"	10K	8	A6001974APCX36	325 lbs.	2
	24" x 36" x 36"	20K	15 / 22	A6001974TAPCX36 / A6001974HDAPCX36	387 lbs.	2
Box & Cover Assembly	24" x 36" x 42"	10K	8	A6001974APCX42	369 lbs.	2
	24" x 36" x 42"	20K	15 / 22	A6001974TAPCX42 / A6001974HDAPCX42	431 lbs.	2

COMPONENTS

DESCRIPTION	NOMINAL SIZE W x L x D	LOAD RATING	ANSI TIER	PART NUMBER	APPROX. WEIGHT	PALLET QTY.
Replacement Covers	24" x 36" - 1 pc.	10K	8	A6001975	95 lbs.	20
	24" x 36" - 1 pc.	20K	15 / 22	A6001975T / A6001975HD	157 lbs.	20
Replacement Covers	24" x 36" - 2 pc.	10K	8	A6001978	54 lbs.	20
	24" x 36" - 2 pc.	20K	15 / 22	A6001978T / A6001978HD (2 pc. Req.)	54 lbs.	20
Replacement Boxes	24" x 36" x 12"	10K / 20K	22	A6001974PCX12	100 lbs.	8
	24" x 36" x 18"	10K / 20K	22	A6001974PCX18	136 lbs.	4
	24" x 36" x 24"	10K / 20K	22	A6001974PCX24	182 lbs.	2
	24" x 36" x 30"	10K / 20K	22	A6001974PCX30	207 lbs.	2
	24" x 36" x 36"	10K / 20K	22	A6001974PCX36	230 lbs.	2
	24" x 36" x 42"	10K / 20K	22	A6001974PCX42	274 lbs.	2



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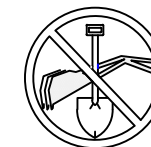
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CITY/COUNTY/STATE:
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DRAWING NAME: 11656 PARKSIDE DR.dwg

SHEET: VAULT SPEC

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LEGEND

SYMBOLS

- Ⓢ SEWER
- Ⓜ MANHOLE
- Ⓦ WATER VAULT
- Ⓣ TELCO PED
- ⓔ ELECTRIC VAULT/BOX
- Ⓜ FIRE HYDRANT
- ⓧ XING SIGNAL
- Ⓜ DRAIN
- Ⓢ UNKNOWN MH
- Ⓢ TREE
- Ⓢ CULVERT
- Ⓢ LIGHT POLE
- Ⓢ EXISTING HH**
- Ⓢ SPAN MEASUREMENT
- Ⓢ CABINET
- Ⓢ WATER METER/VALVE
- Ⓢ GAS METER/VALVE
- ▨ BORE PIT
- PROPOSED HH
- EXISTING HH**
- 1-10M
12/27
3/4 DOWN GUY & ANCHOR
- 1-10M
12/25
3/4 SIDEWALK GUY & ANCHOR
- ⊗ POLE
- Ⓢ AERIAL GROUND
- ▲ PROPOSED SPLICE ARROW
- Ⓢ MARKER POST
- Ⓢ BURIED SLACK LOOP
- 100' AERIAL SLACK LOOP

DRIVEWAY



BUILDING

LINESTYLES

- A — AERIAL FOC
- - - B - - - BURIED FOC
- · · STRAND
- · - OVERHEAD GUY
- - - PLOW
- - - FUTURE FEED FOC
- R/W — RIGHT OF WAY
- x — x — GUARD RAIL
- o — o — FENCE
- o — o — WALL
- - - COUNTY BOUNDARY
- ||||| RR TRACKS
- o o OVERLASH

- G —
- W —
- T —
- E —
- SEW —
- TV —
- STM —
- OIL —

NOTES/LABELS

OWNER
TAG (CLASS-SIZE)
PWR 00'0"
CATV 00'0"
FOC 00'0"
UNK COM 00'0"

VAULT (00' EOP)
BORE PIT (4X4X4)
ROAD NAME (PRIVATE)
ROAD NAME (STATE #)
ROAD NAME (CITY)

DIRECTIONAL BORE 000'
(1) 2" HDPE EQUIPPED W/
(1) DIST. FOC

DIRECTIONAL BORE 000'
(1) 2" HDPE EQUIPPED W/
(1) DIST. FOC

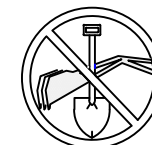
← TO C.O.



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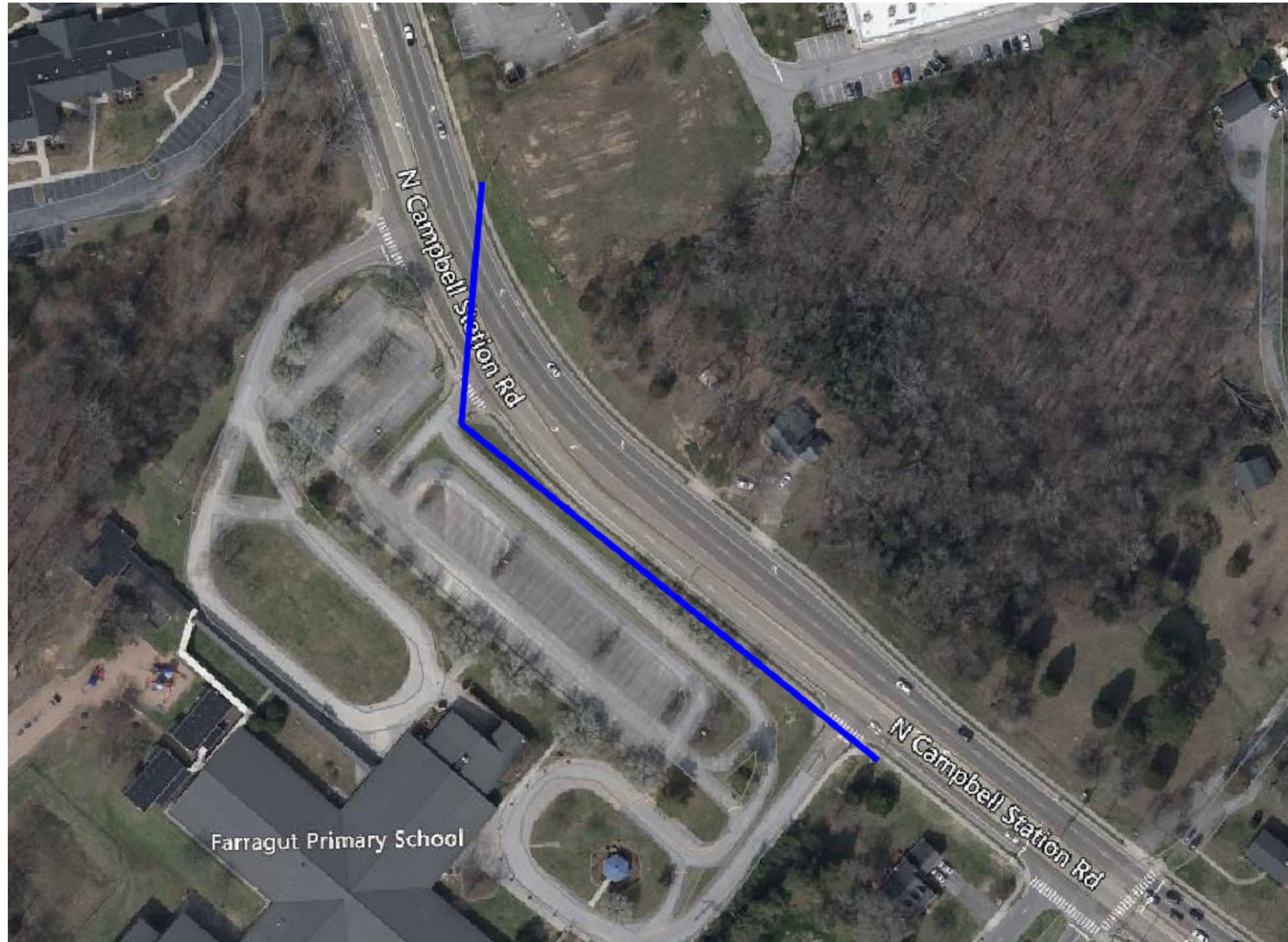
PROJECT MANAGER:	MICHELLE BRITTON
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PROJECT:	1915396 OLT: 11656 PARKSIDE DR
CITY/COUNTY/STATE:	FARRAGUT, KNOX, TN
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SHEET:	LEGEND
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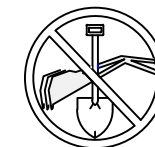
VICINITY MAP



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 EXPIRES: 28 FEB 2027

BYERS ENGINEERING

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SHEET:	VICINITY MAP
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BILL OF MATERIALS

TOTAL PLOW FOOTAGE	0	FEET
TOTAL DIRECTIONAL BORE FOOTAGE	0	FEET
TOTAL HDPE FOOTAGE	0	FEET
TOTAL 24X36X24 VAULTS	0	QTY
TOTAL AERIAL FOOTAGE	770	FEET



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CITY/COUNTY/STATE:	FARRAGUT, KNOX, TN
DRAWING NAME:	11656 PARKSIDE DR.dwg
SHEET:	BILL OF MATERIALS
CONFIDENTIAL/PROPRIETARY	

CONSTRUCTION NOTES

UNDERGROUND NOTES

ALL VAULTS, HANDHOLES, PEDESTALS, ETC. TO BE PLACED AT BACK OF DOT R/W.

ALL UNDERGROUND DRIVEWAY CROSSINGS WILL BE BORE ONLY

36" MINIMUM SEPARATION FROM DRAINAGE AND RCP

42" MINIMUM FLOW DEPTH
48" MINIMUM BORE DEPTH
120" BELOW PIPES

AERIAL NOTES

18' MINIMUM CLEARANCE HEIGHT OVER ALL ROADWAYS AND DRIVEWAYS AT LOWEST POINT OF SAG.

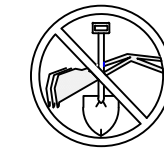
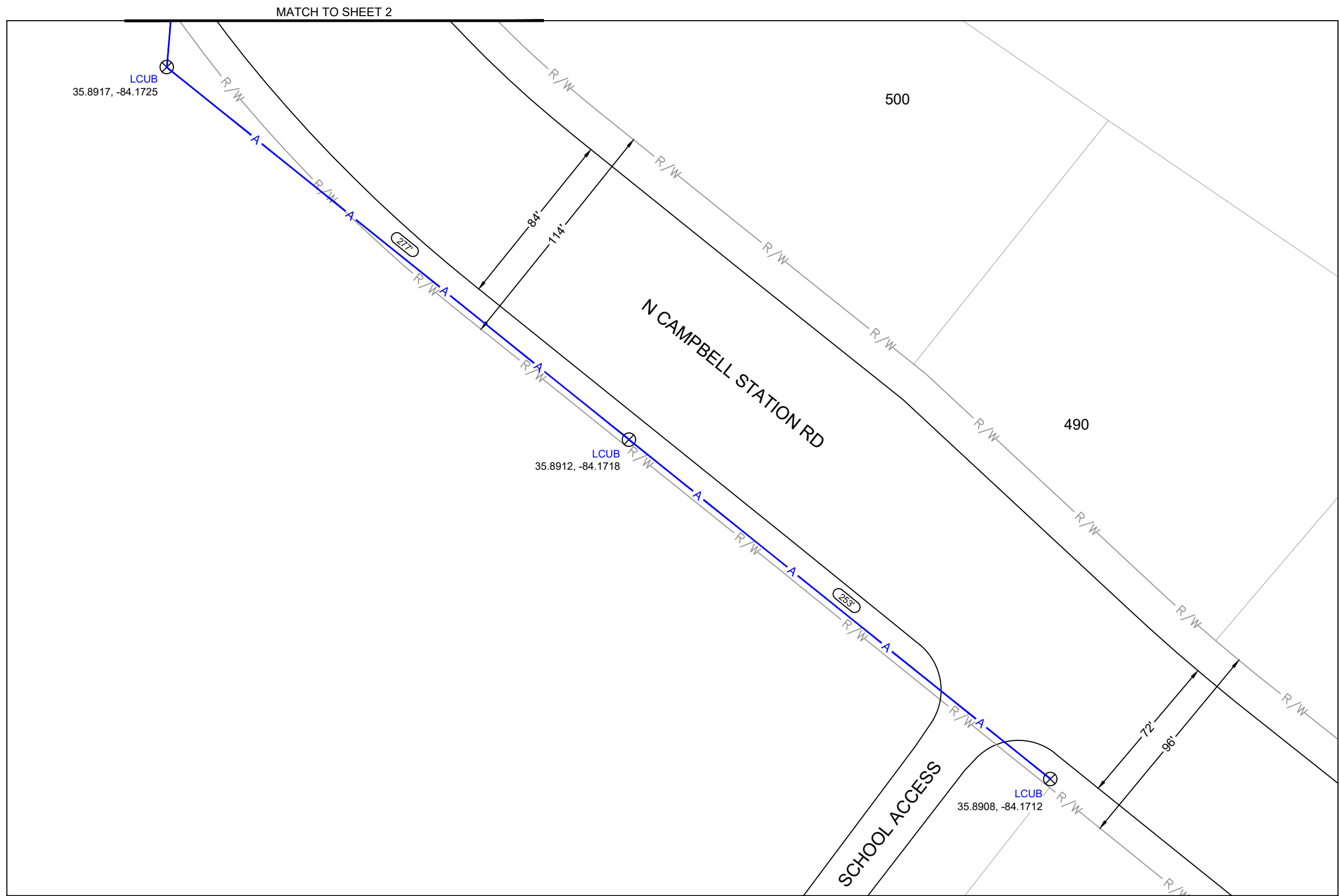
- NESC REQUIREMENTS**
- POWER TO COMM: 40" MINIMUM SEPARATION OF POWER AND COMMS
 - COMM TO COMM: 12" MINIMUM SEPARATION OF COMM LINES AT POINT OF ATTACHMENT, AND 6" MINIMUM SEPARATION AT MIDSPAN



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EXPIRES, 28 FEB 2027
SCALE: 1"=50'

BYERS ENGINEERING

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PROJECT:	1915396 OLT: 11656 PARKSIDE DR
CITY/COUNTY/STATE:	FARRAGUT, KNOX, TN
DRAWING NAME:	11656 PARKSIDE DR.dwg
SHEET:	1 OF 2
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CONSTRUCTION NOTES

UNDERGROUND NOTES

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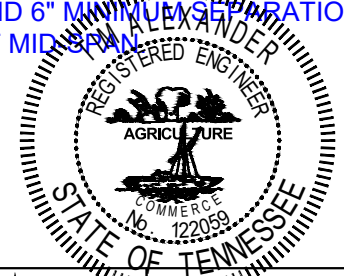
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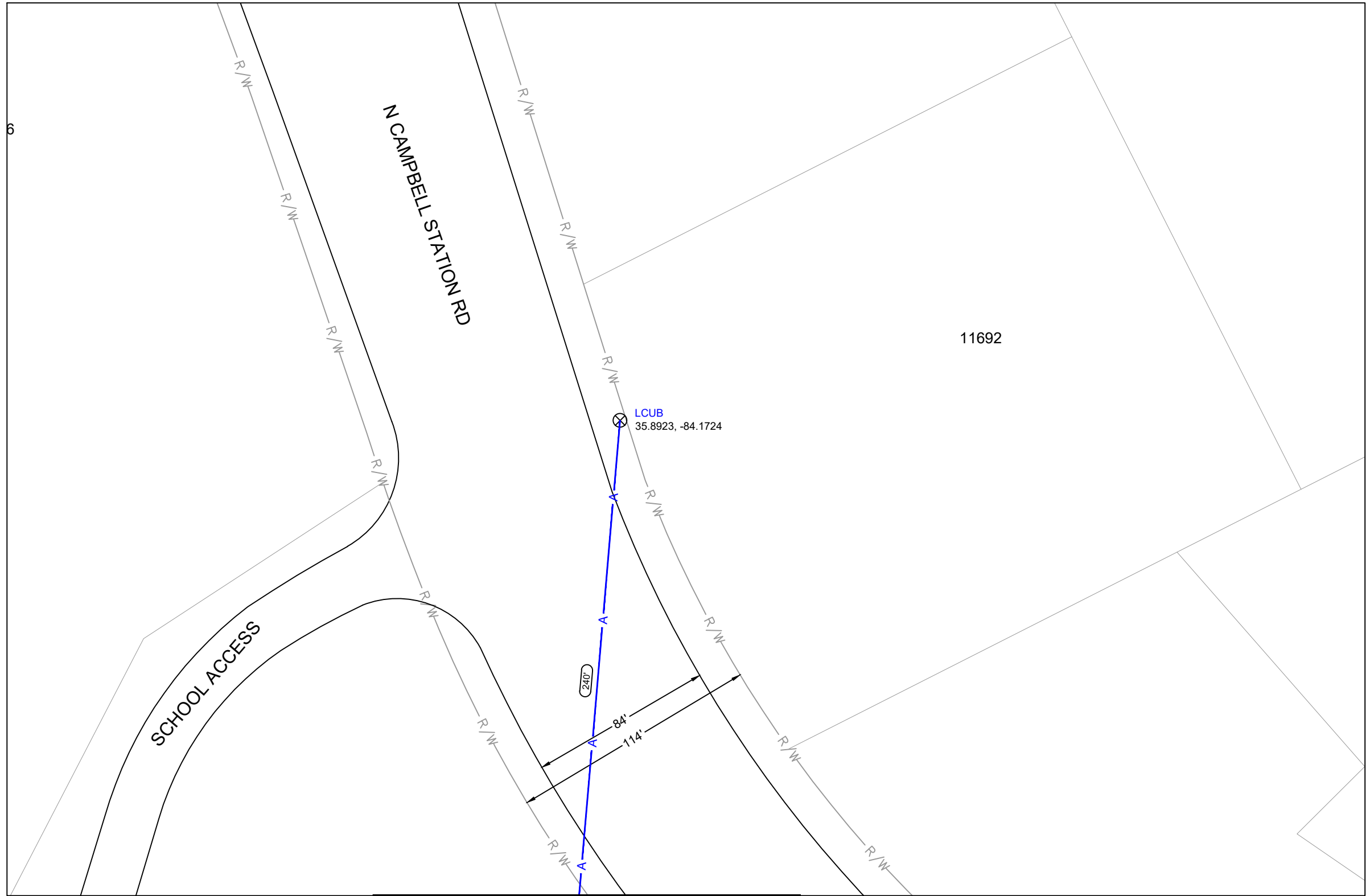
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- POWER TO COMM: 40" MINIMUM SEPARATION OF POWER AND COMMS
 - COMM TO COMM: 12" MINIMUM SEPARATION OF COMM LINES AT POINT OF ATTACHMENT, AND 6" MINIMUM SEPARATION AT MIDSPAN



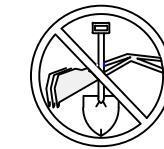
SIGNED, 1 MAY 2026
EXPIRES, 28 FEB 2027
SCALE: 1"=50'

BYERS ENGINEERING

PROJECT MANAGER:	MICHELLE BRITTON
ENGINEERING FIRM:	BYERS ENGINEERING
PROJECT:	1915396 OLT: 11656 PARKSIDE DR
CITY/COUNTY/STATE:	FARRAGUT, KNOX, TN
DRAWING NAME:	11656 PARKSIDE DR.dwg
SHEET:	2 OF 2
CONFIDENTIAL/PROPRIETARY	



MATCH TO SHEET 1



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